

64 WAVERLY ST

DND UNIT TYPE D3
64 WAVERLY STREET
BOSTON, MA 02135



PROJECT TEAM

OWNER
PWN Development
853 Main Street, Suite 204
Tewksbury, MA 01876
(617)858-9674

ARCHITECTURE
Zephyr Architects
315 A Street Suite A
Boston, MA 02210
(617)960-0796

STRUCTURAL
Gregorian Engineers
1 Canochet Street
Canton, MA 02021
(617)484-3565

PROJECT INFORMATION

Proposed Use Group: R-3
Stories: 3
Construction Classification: VB

ZONING ANALYSIS

Roxbury Neighborhood District : 3F - 4000 - 4,014 sq. ft. lot			
	Allowable	Proposed	Compliance
Min Lot Size	-	-	-
Min Area/Unit	2000	4,014 sq.ft.	Yes
Min Lot Width	25ft.	37.5 ft.	Yes
Height	35ft.	29 ft.	Yes
Stories	3	3	Yes
FAR	0.8	0.39	Yes
Min Usable Open	650/Unit sq.ft.	2,700 sq.ft.	Yes
Min Front Yard	20 ft./Building Alignment	23'	Yes
Min Side Yard	10 ft.	10 ft.*	Yes
Min Rear Yard	30 ft.	59 ft.	Yes
Parking	1.0 per Unit	1.0 per Unit	Yes

*No side yard required on attached side of semi-attached dwellings.

GROSS AREA (FAR)

Floor	Enclosed Area	FAR Area (GSF)
Level 1	607.50	607.50
Level 2	607.50	607.50
Level 3	348.80	348.80
Total	1,563.80	1,563.80 GSF

UNITS

Unit 1 - 2 Bed / 1.5 Bath

Level 1	607.5
Level 2	607.5
Level 3	348.80

Total 1,563.80 GSF

SUSTAINABILITY AND SYSTEMS

This project is designed to be LEED 'Certifiable' at the Silver level per LEED v4.1 Residential BD +C.

Building design is compliant with NHI window, hot water and HVAC efficiency, and air tightness requirements. Windows and opaque elements will comply with Massachusetts Stretch Energy Code. Roof areas are solar-ready and have minimal obstructions for future photovoltaic arrays. Building materials will be selected to minimize embodied energy.

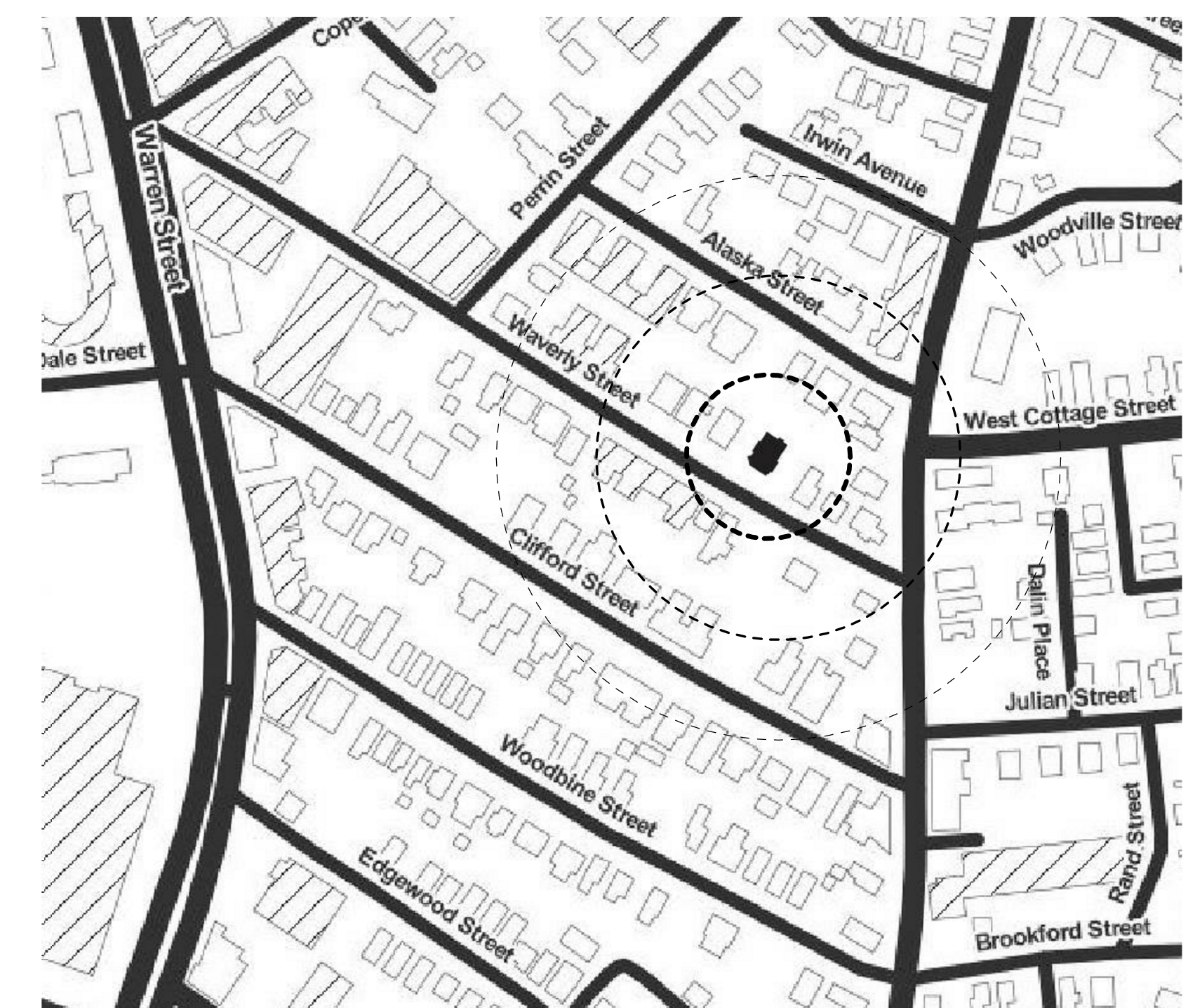
Space heating and cooling shall be by heat pump split systems with a minimum efficiency of 3.0 COP / 15 SEER. Water heating shall be by on-demand electric systems with a minimum COP of 1.0. Heat recovery ventilation will be provided to all units.

Units are not required to have fire suppression sprinklers per CMR 780, Section R313.2.

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Locus Map



Zephyr Architects

315 A Street, Suite A
Boston, MA 02210

PROJECT

Waverly-Clifford Neighborhood Homes

64 Waverly

64 Waverly Street
Boston, MA 02119

DEVELOPER / OWNER

PWN Development

853 Main Street, Suite 204
Tewksbury, MA 01876

STRUCTURAL

Gregorian Engineers

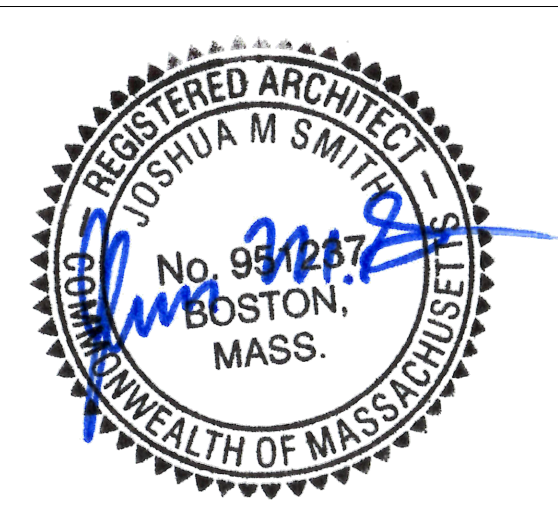
1 Canochet Street
Canton, MA 02021

CIVIL

AGH Engineering

166 Water Street
Stoughton, MA 02072

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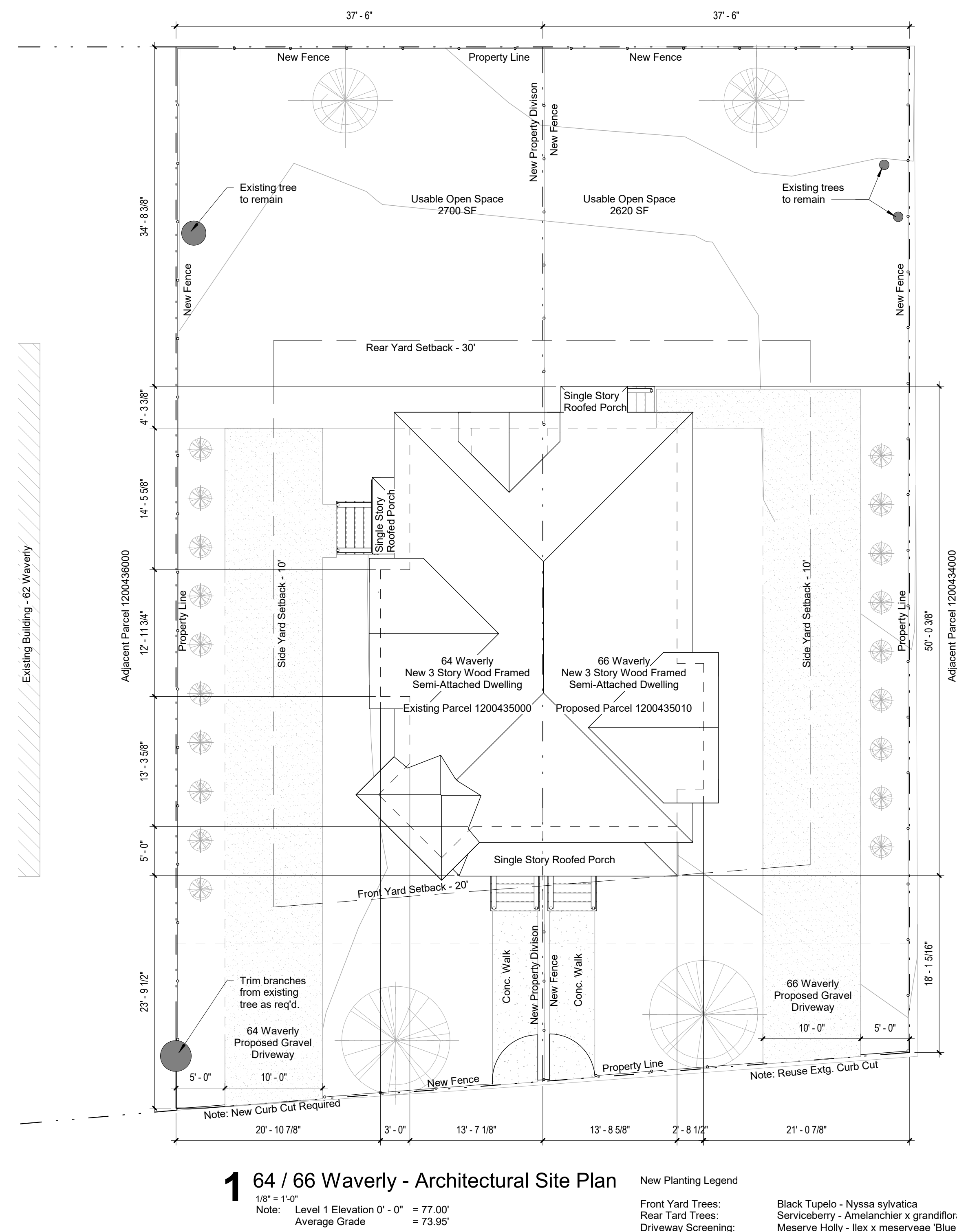
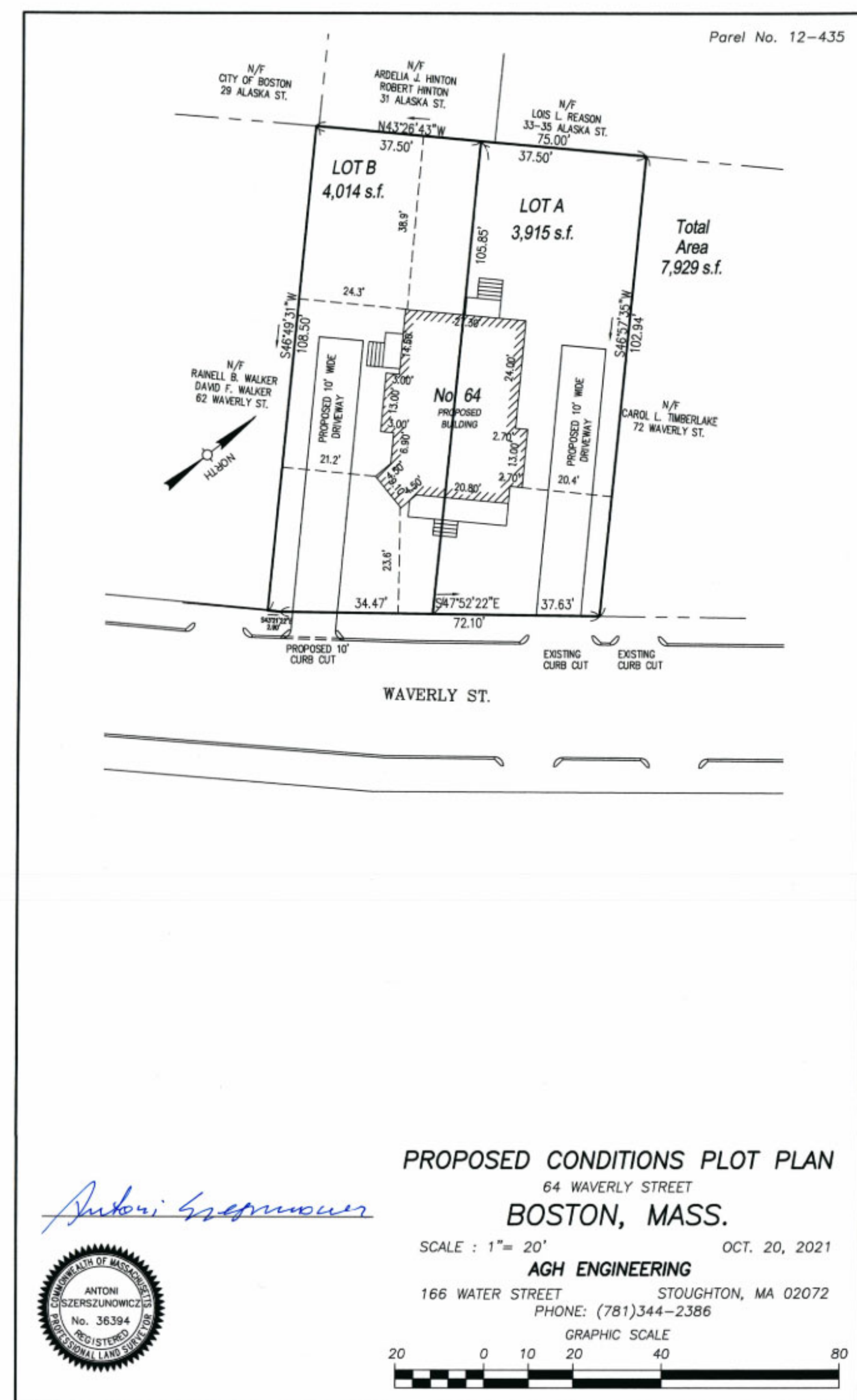
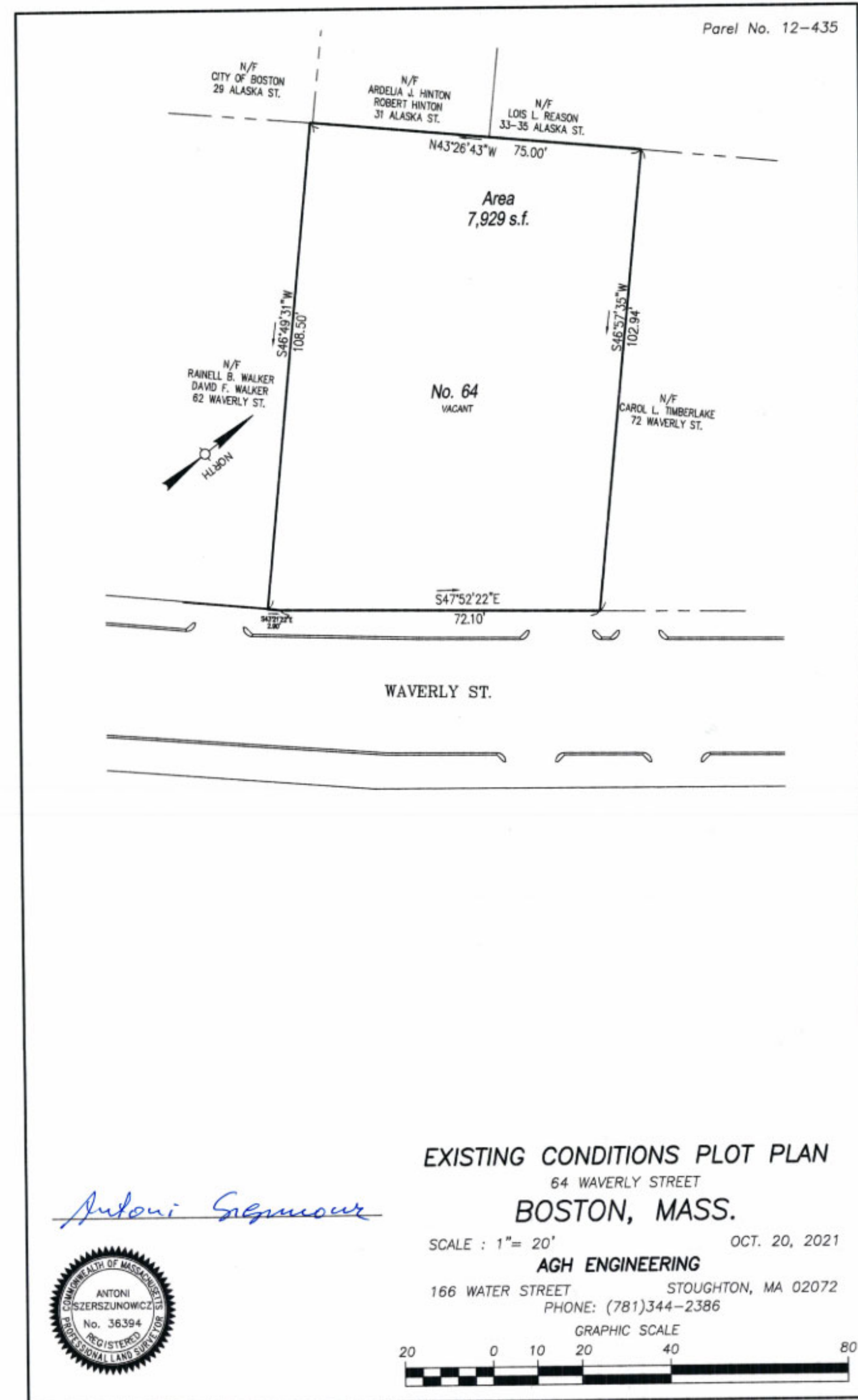
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Cover Sheet - 64 Waverly
DND Unit Type D3

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DRAWING NO.

G000-4
TYPE D3 TWO-FAMILY



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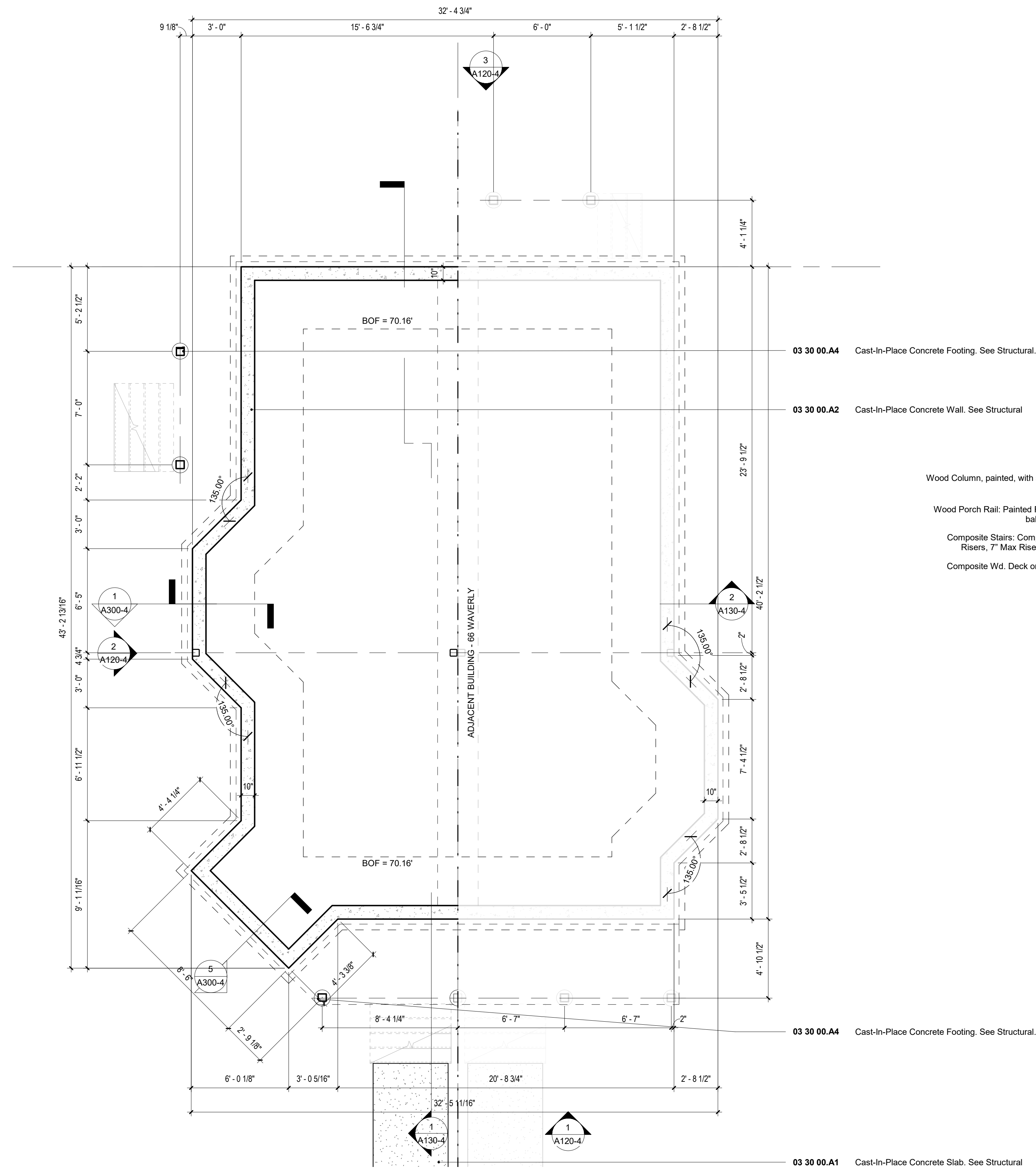
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Site Plans

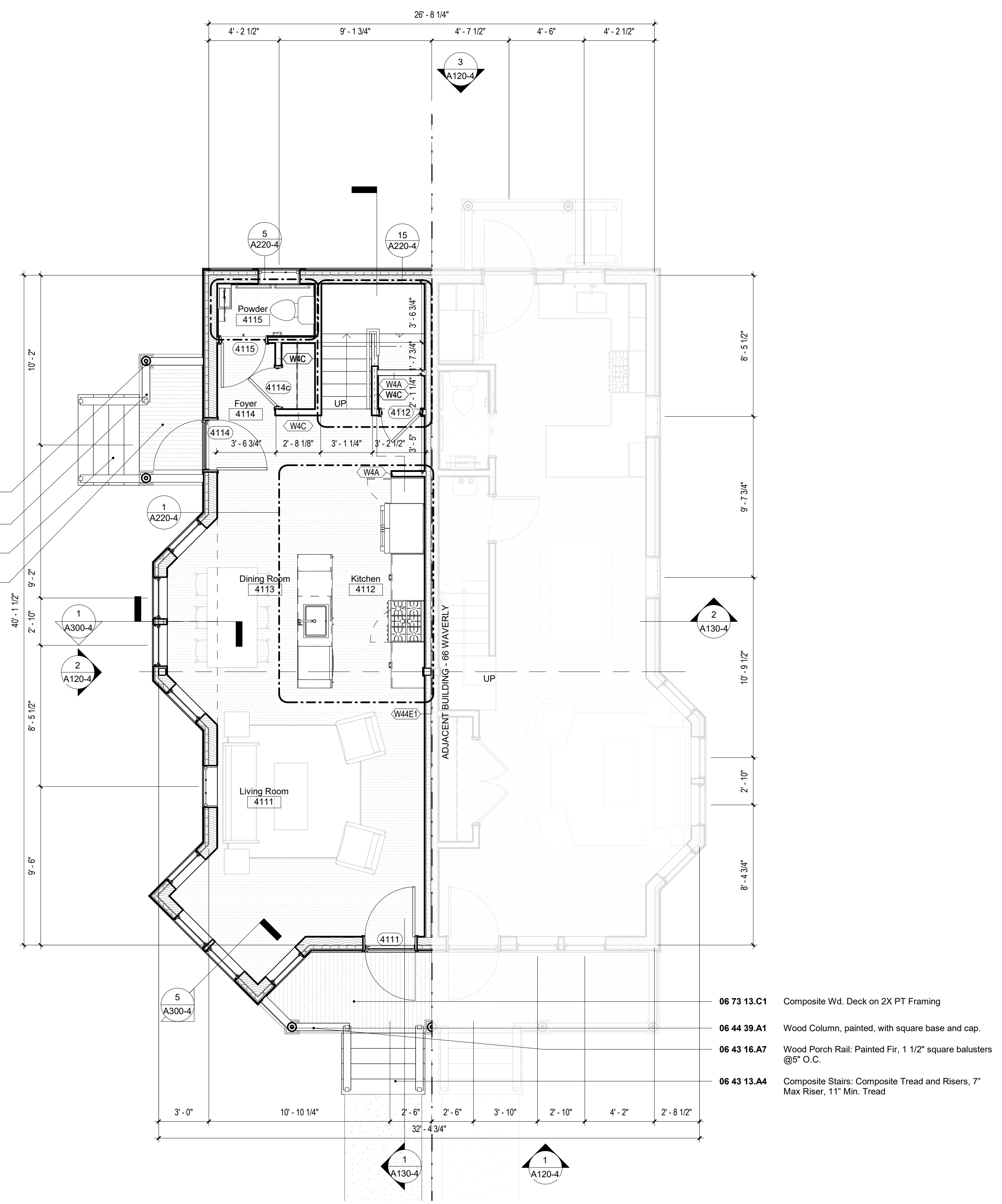
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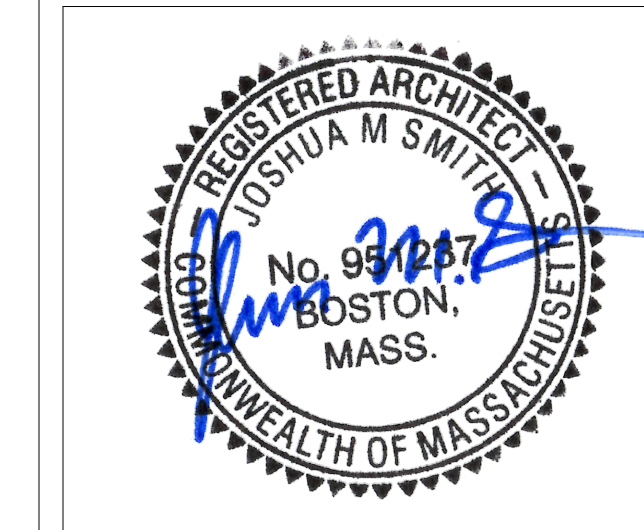
1 UNIT TYPE D3 64 WAVERLY
FOUNDATION PLAN
1/4" = 1'-0"

- 06 44 39.A1 Wood Column, painted, with square base and cap.
- 06 43 16.A7 Wood Porch Rail: Painted Fir, 1 1/2" square balusters @5" O.C.
- 06 43 13.A4 Composite Stairs: Composite Tread and Risers, 7" Max Riser, 11" Min. Tread
- 06 73 13.C1 Composite Wd. Deck on 2X PT Framing



2 UNIT TYPE D3 64 WAVERLY
FIRST FLOOR PLAN
1/4" = 1'-0"

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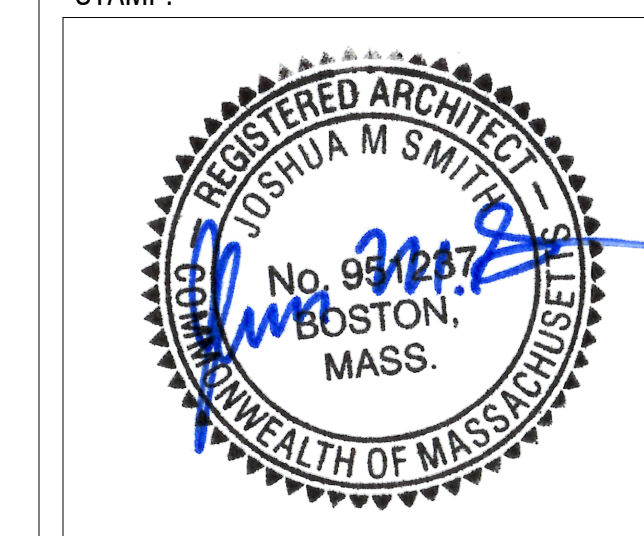
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Floor Plans I

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A100-4
TYPE D3 TWO-FAMILY

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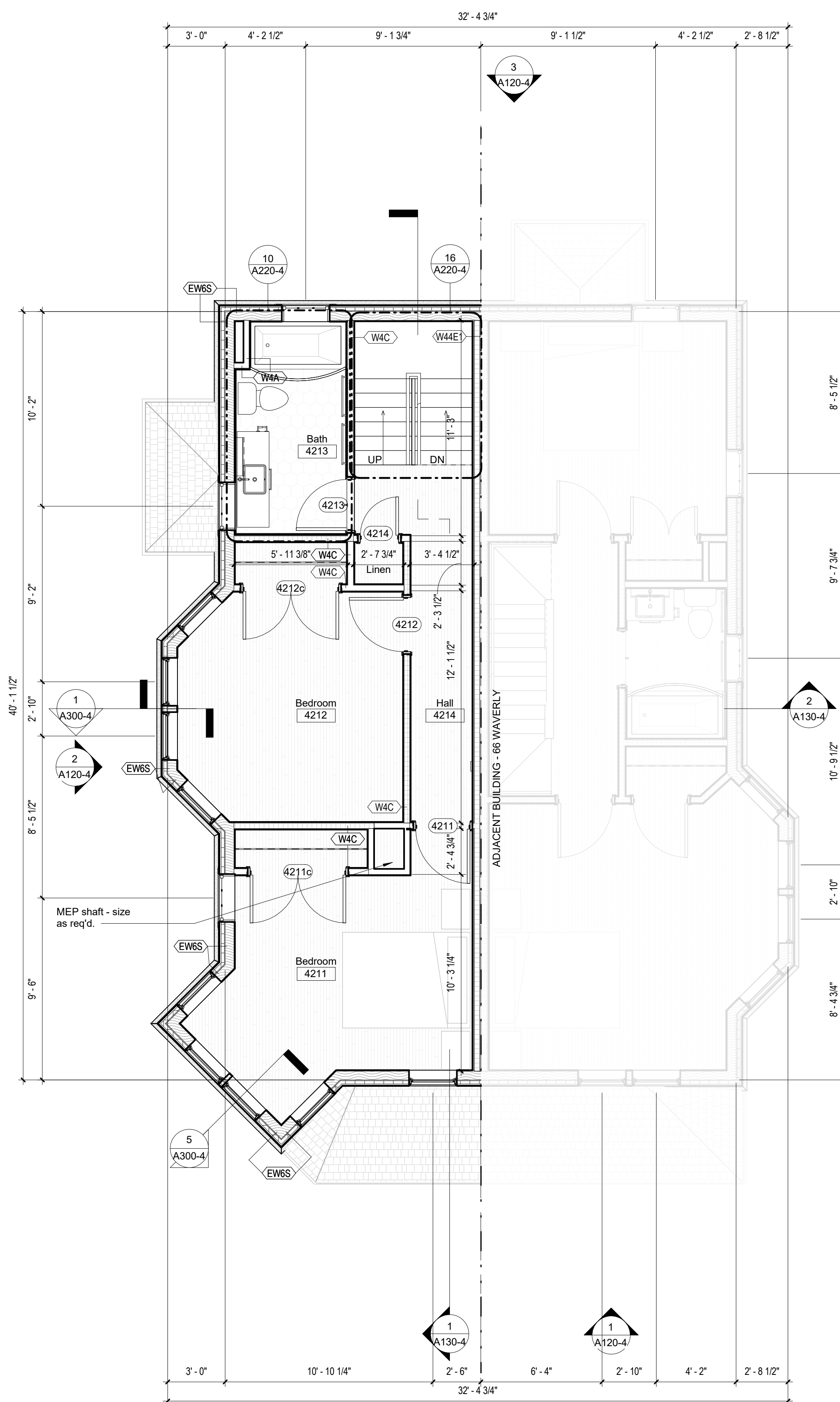
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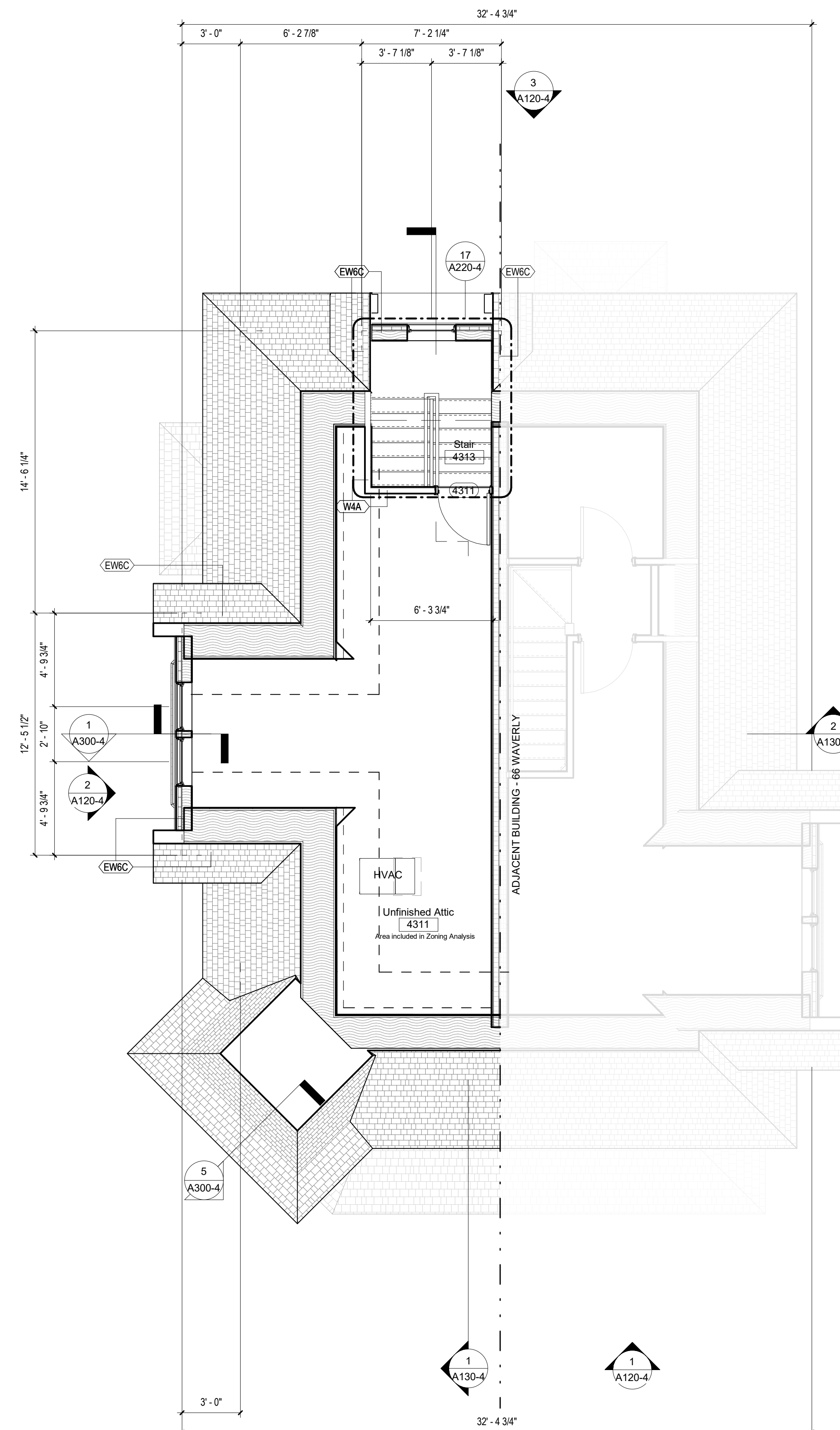
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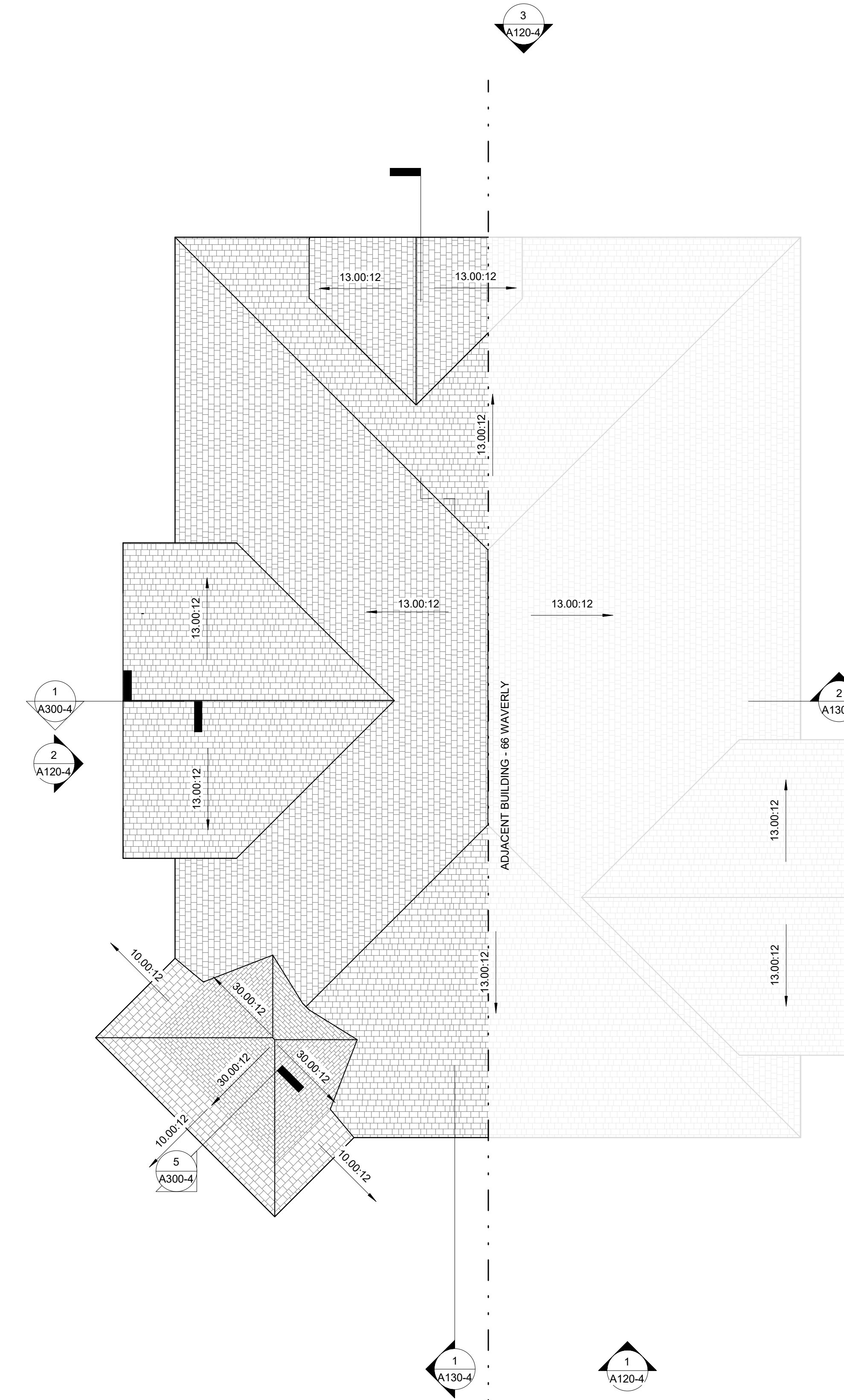
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A101-4
TYPE D3 TWO-FAMILY



1 UNIT TYPE D3 64 WAVERLY
SECOND FLOOR PLAN
1/4" = 1'-0"

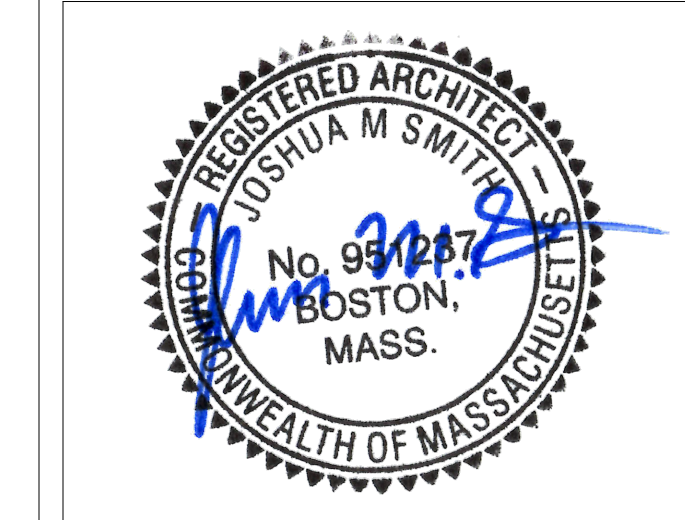


2 UNIT TYPE D3 64 WAVERLY
ATTIC PLAN
1/4" = 1'-0"



1 UNIT TYPE D3 64 WAVERLY
ROOF PLAN
1/4" = 1'-0"

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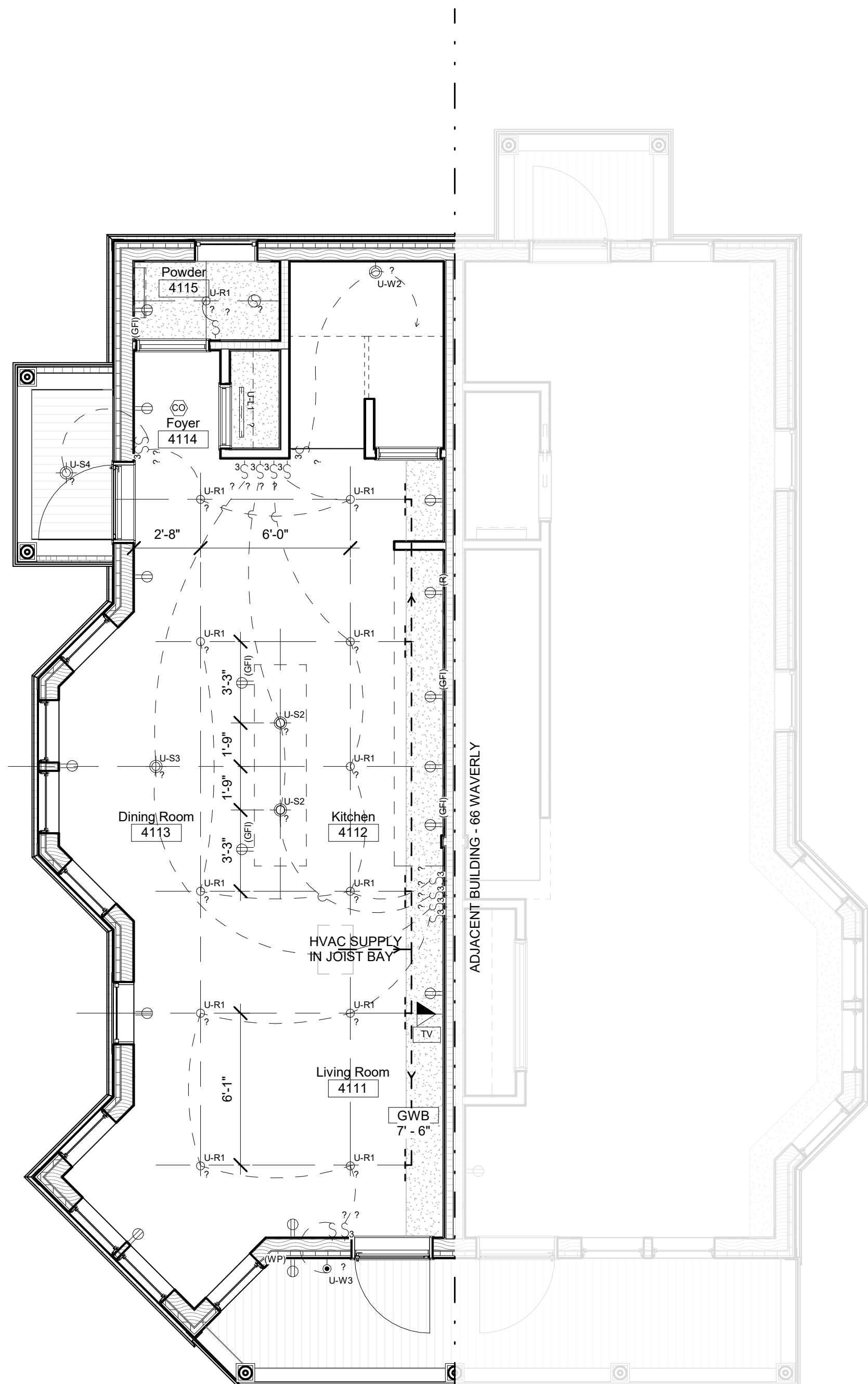
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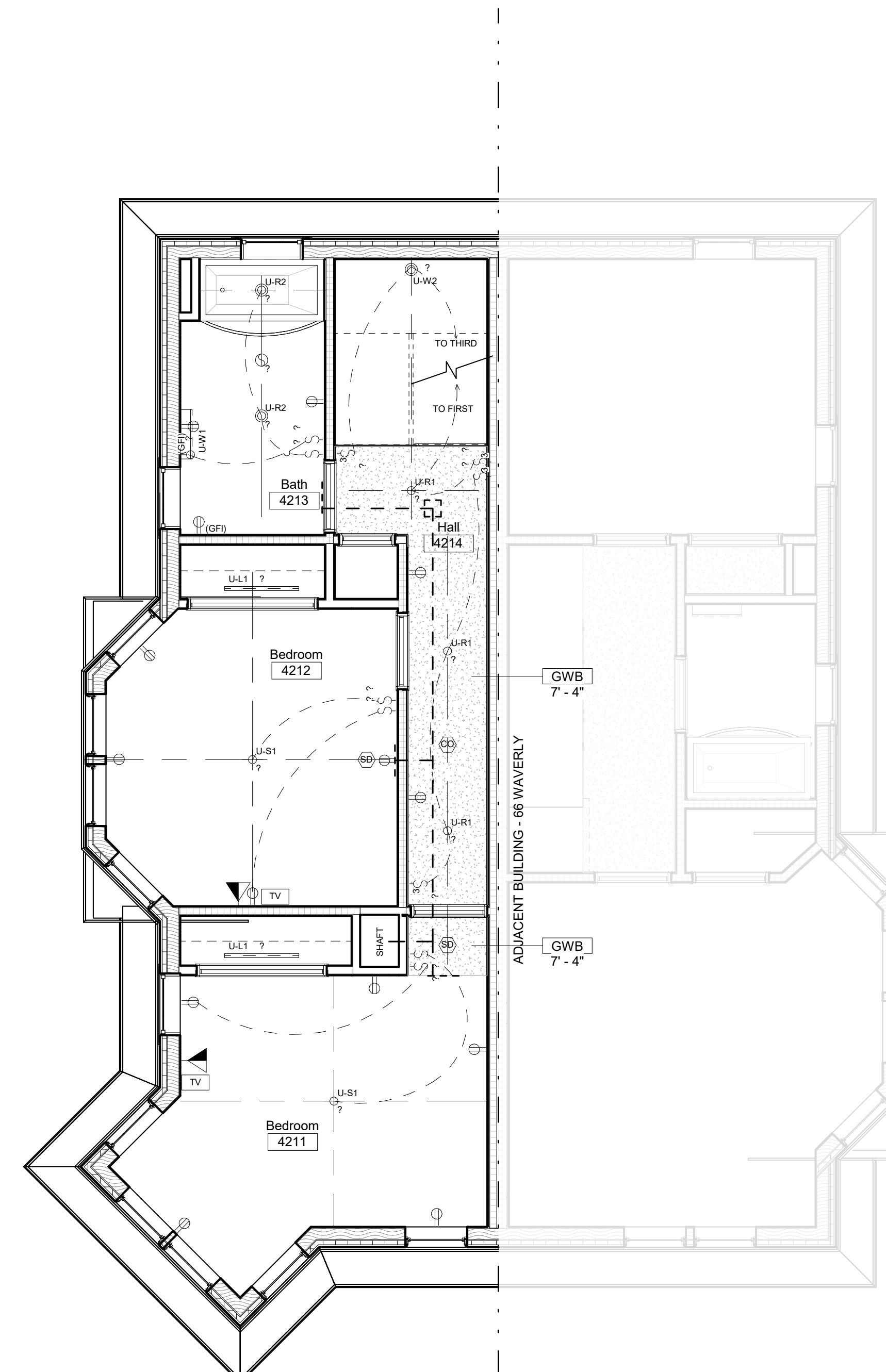
Floor Plans III

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A102-4
TYPE D3 TWO-FAMILY



1 UNIT TYPE D3 64 WAVERLY
FIRST FLOOR CEILING PLAN
1/4" = 1'-0"



2 UNIT TYPE D3 64 WAVERLY
SECOND FLOOR CEILING PLAN
1/4" = 1'-0"

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RCPS I

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A110-4
TYPE D3 TWO-FAMILY

Zephyr Architects

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PROJECT

Waverly-Clifford Neighborhood Homes

64 Waverly

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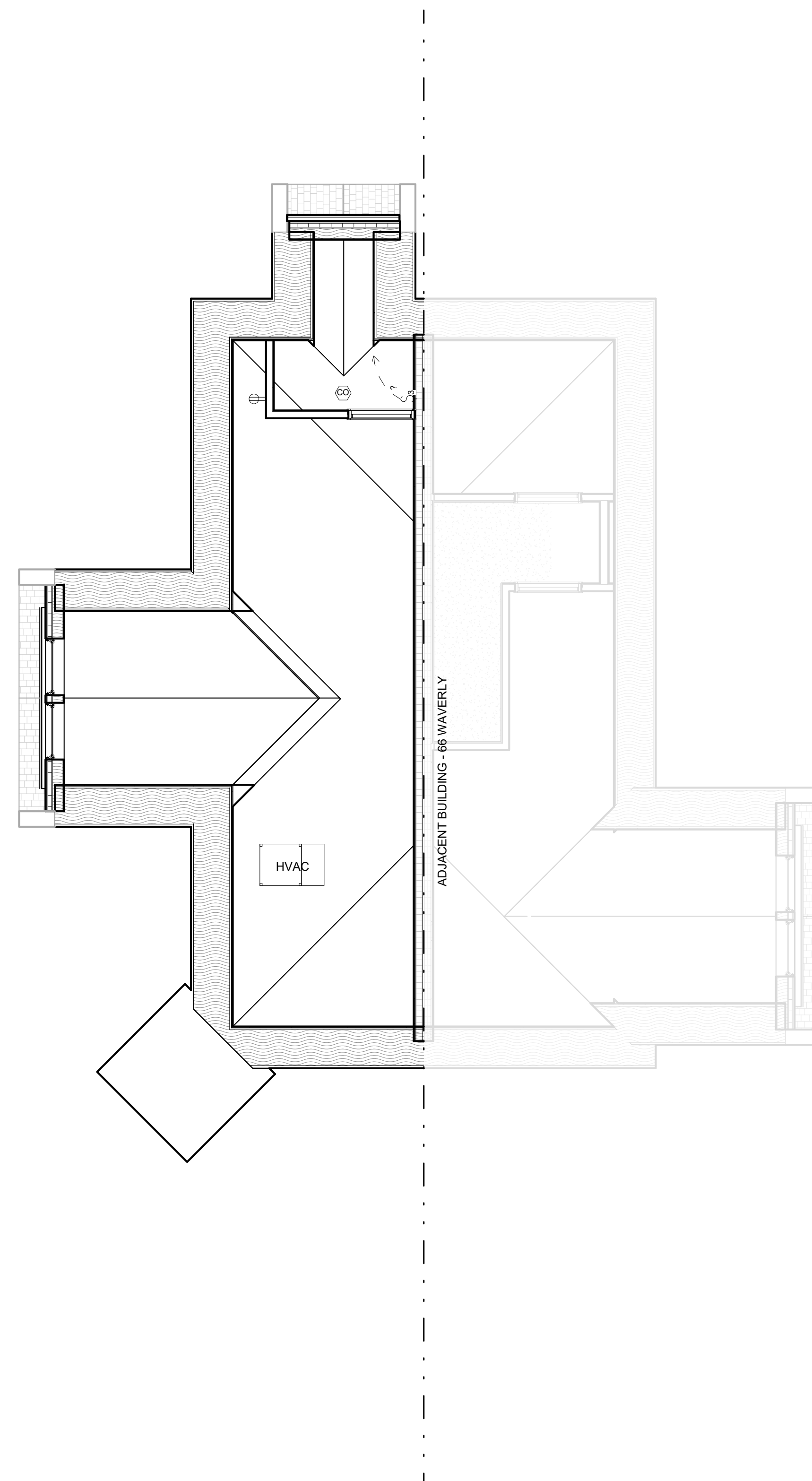
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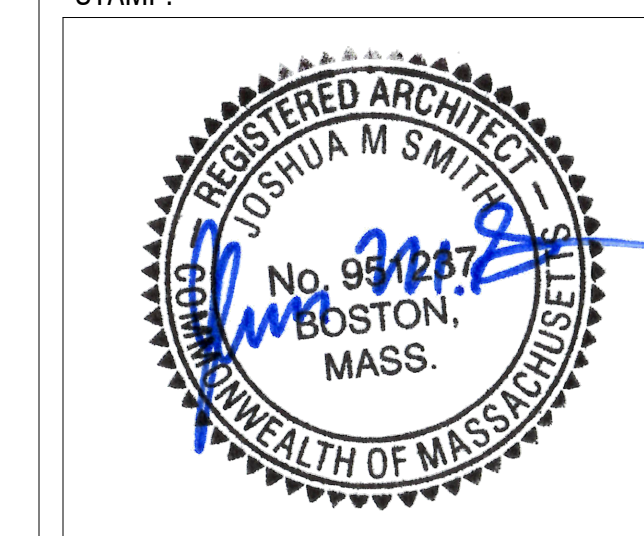
AGH Engineering

166 Water Street
Stoughton, MA 02072



1 UNIT TYPE D3 64 WAVERLY
ATTIC CEILING PLAN
1/4" = 1'-0"

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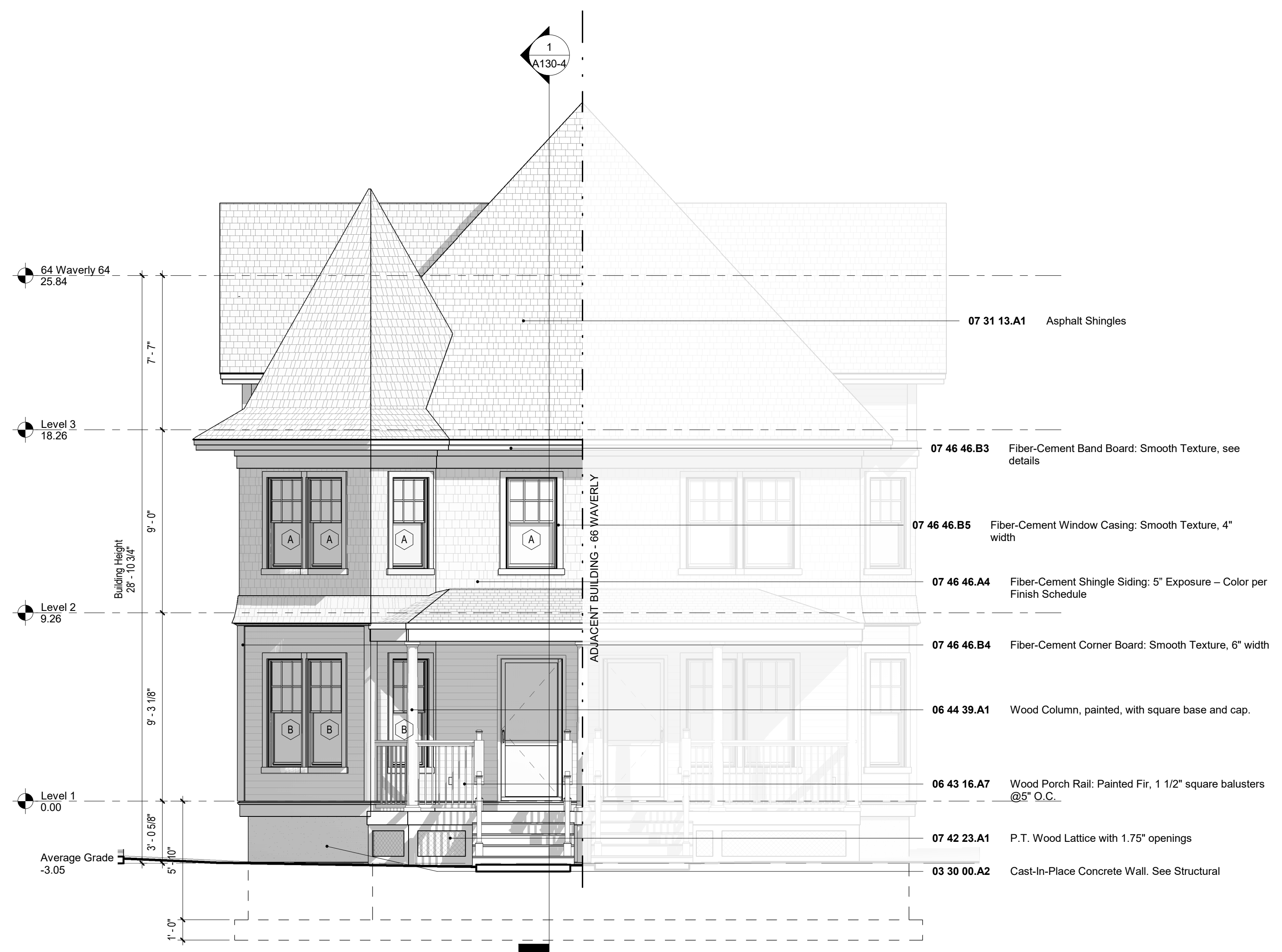
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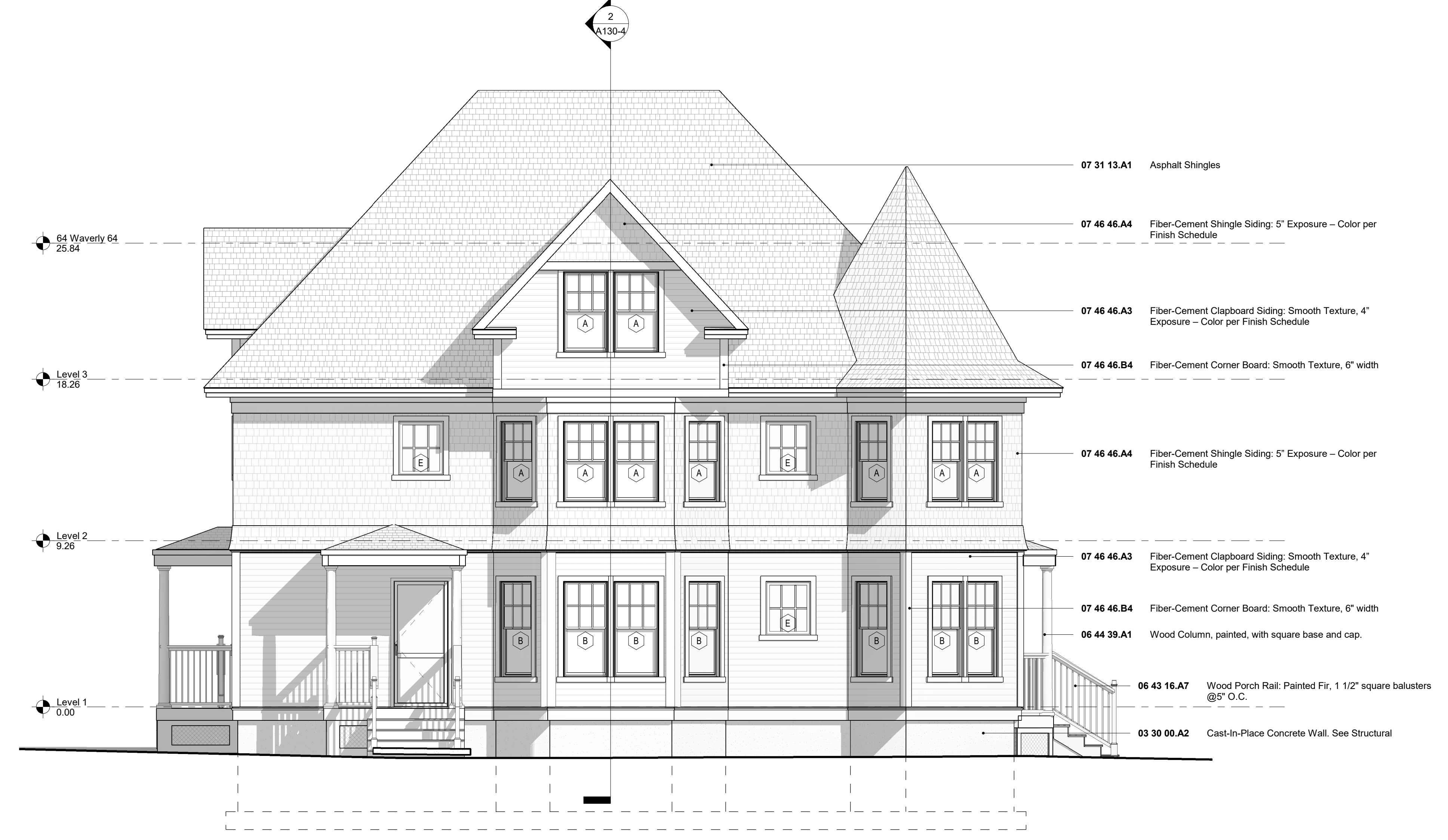
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A111-4
TYPE D3 TWO-FAMILY



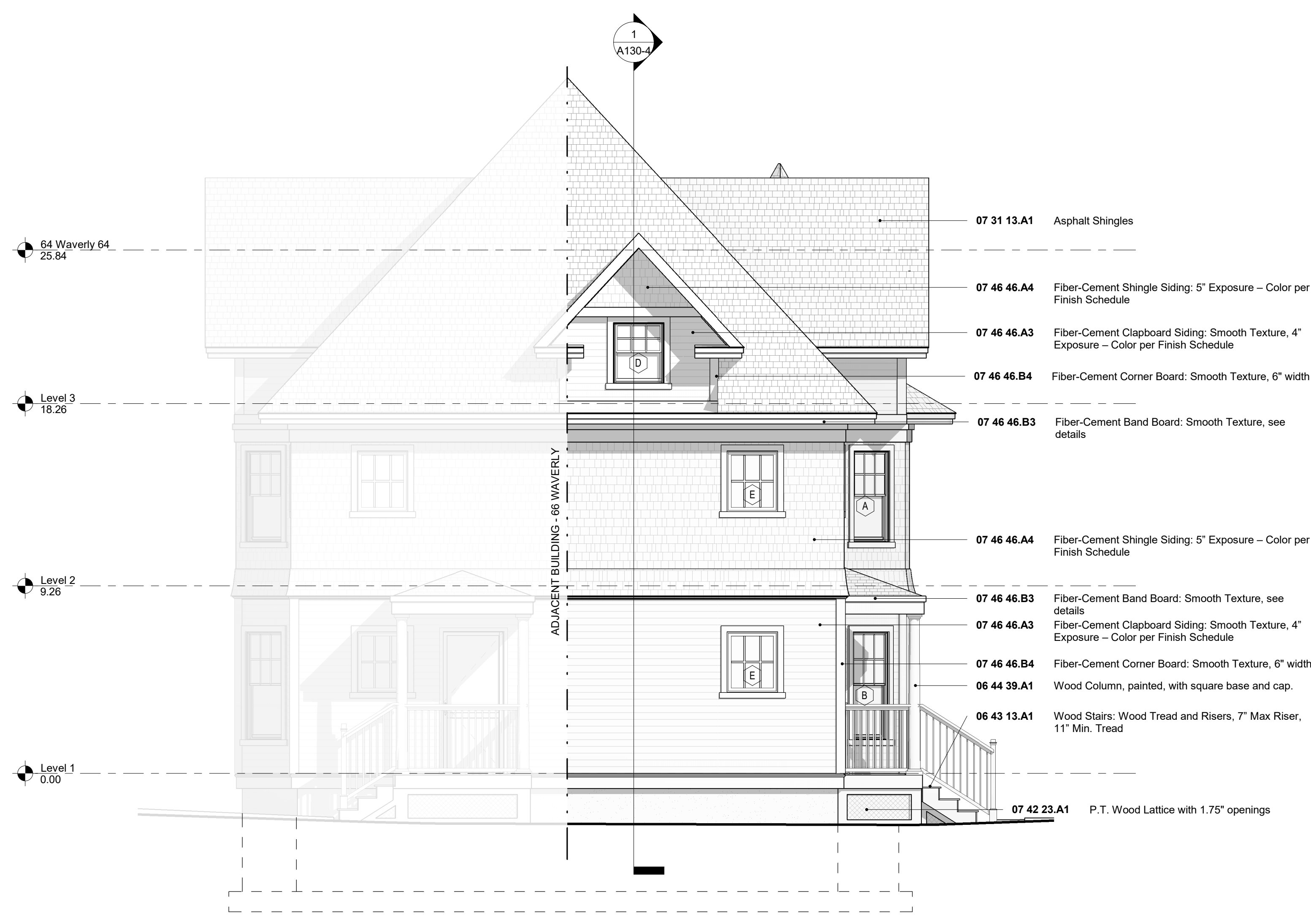
1 UNIT TYPE D3 64 WAVERLY
EXTERIOR ELEVATION - FRONT (SOUTH)

Note: Level 1 Elevation 0' - 0" = 77.00'
Average Grade = 73.95'



2 UNIT TYPE D3 64 WAVERLY
EXTERIOR ELEVATION - LEFT (WEST)

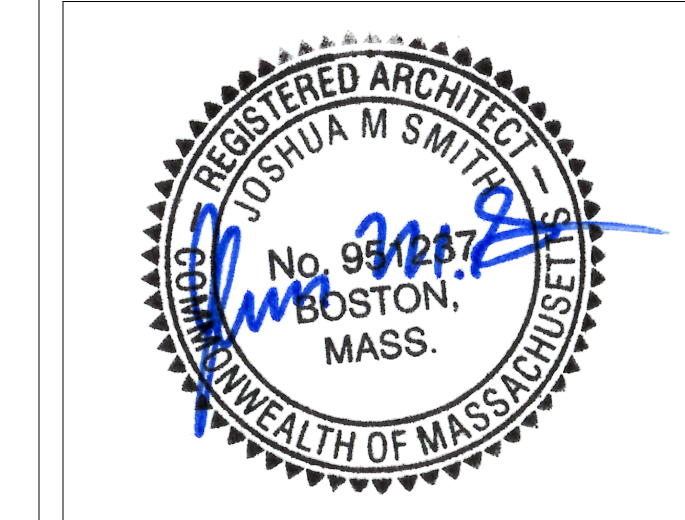
1/4" = 1'-0"



3 UNIT TYPE D3 64 WAVERLY
EXTERIOR ELEVATION - REAR (NORTH)

1/4" = 1'-0"

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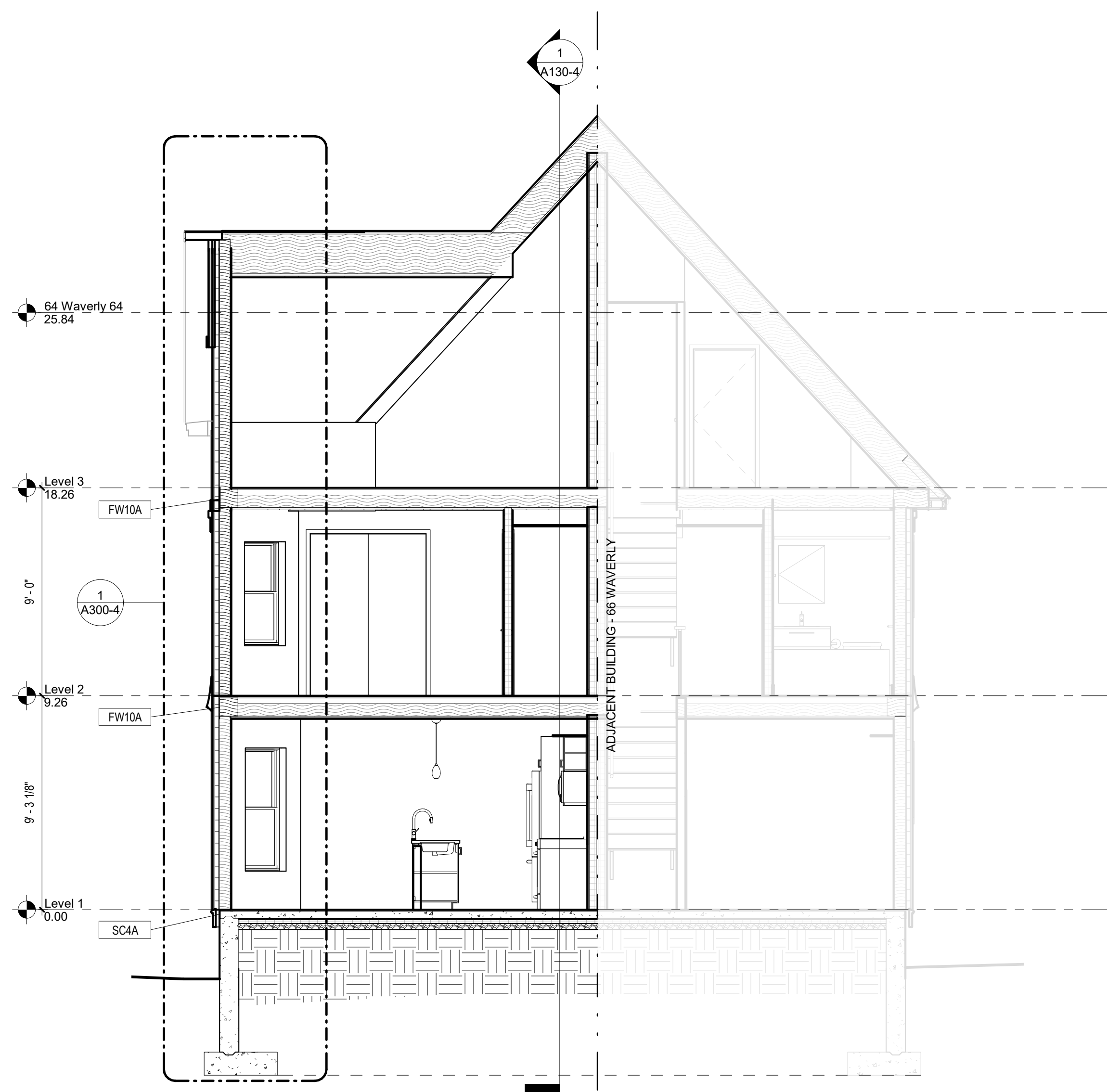
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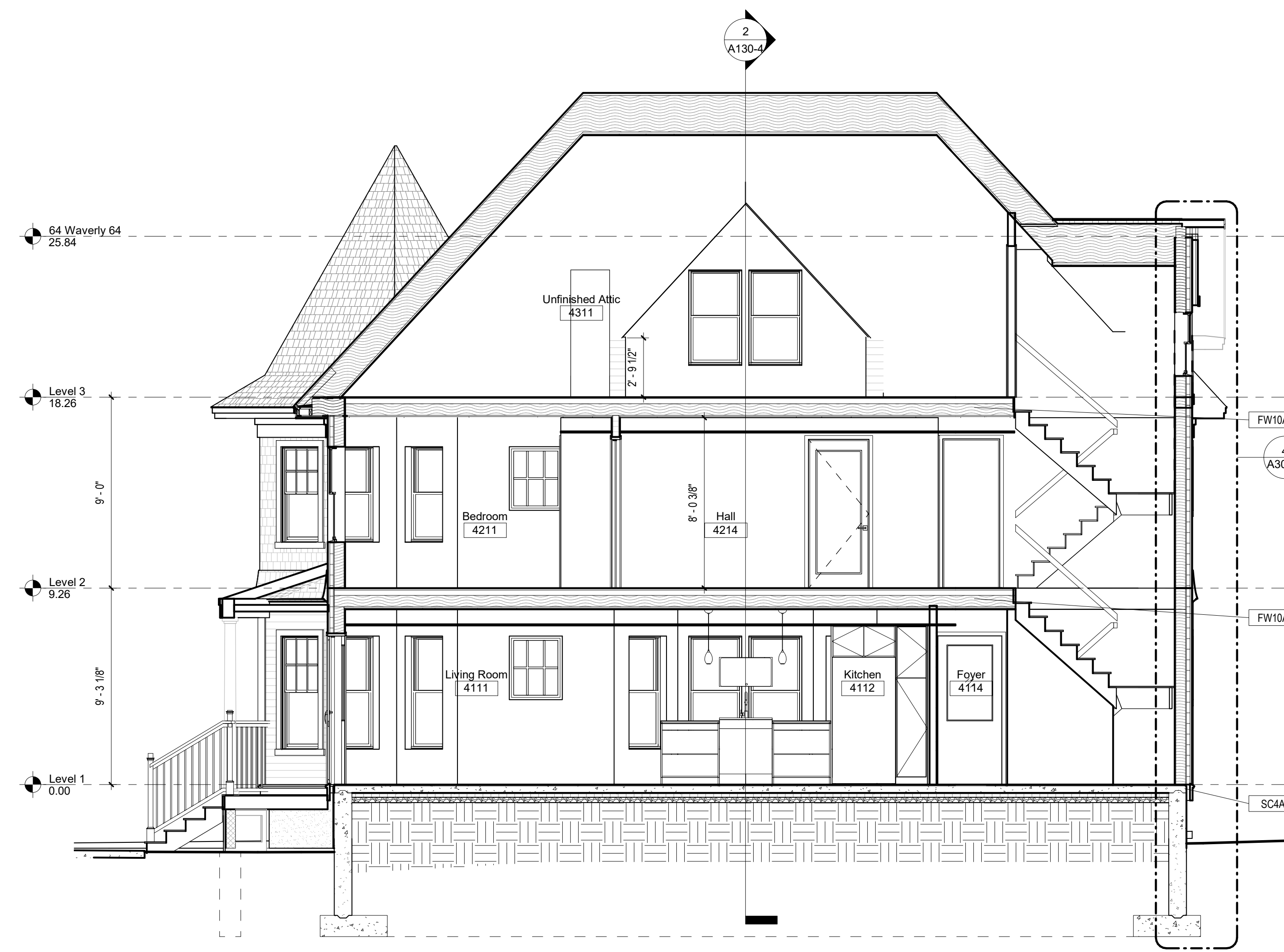
Elevations

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A120-4
TYPE D3 TWO-FAMILY

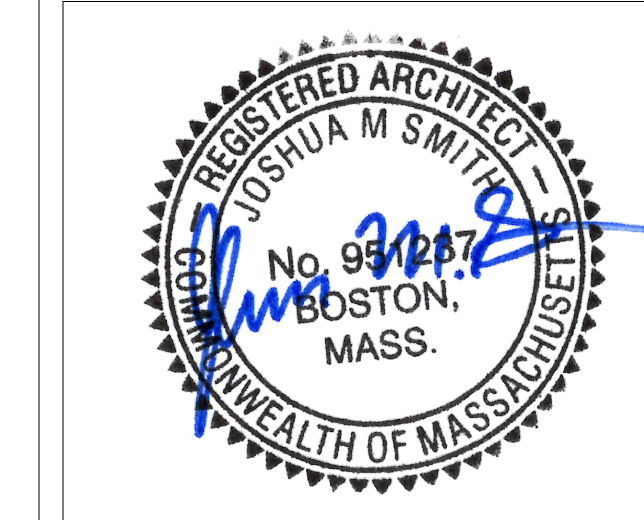


2 UNIT TYPE D3 64 WAVERLY
BUILDING SECTION 2
1/4" = 1'-0"



1 UNIT TYPE D3 64 WAVERLY
BUILDING SECTION 1
1/4" = 1'-0"

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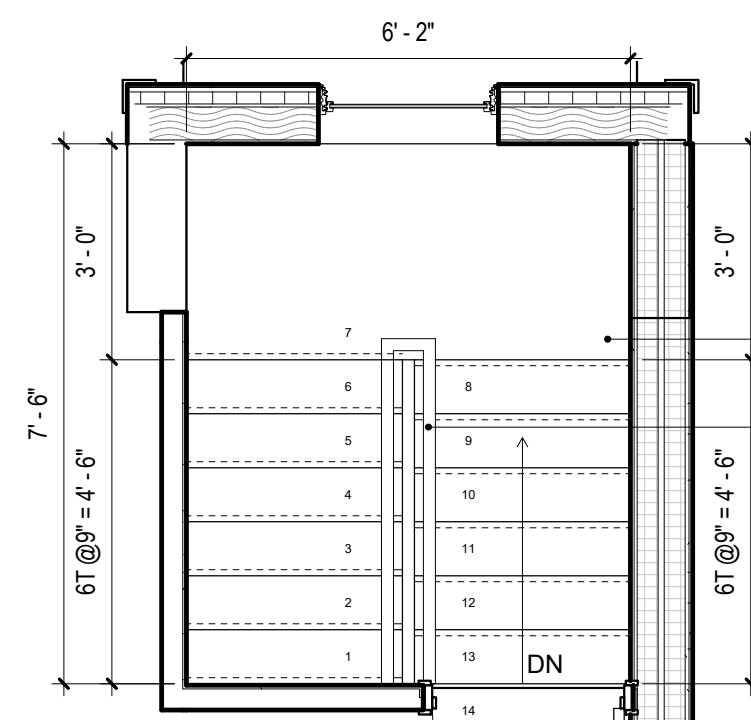
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Building Sections

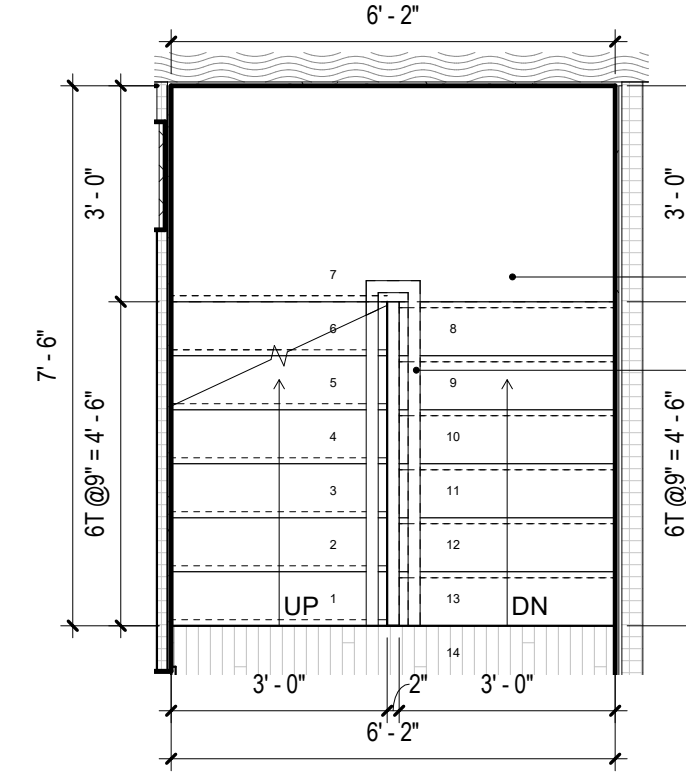
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A130-4
TYPE D3 TWO-FAMILY



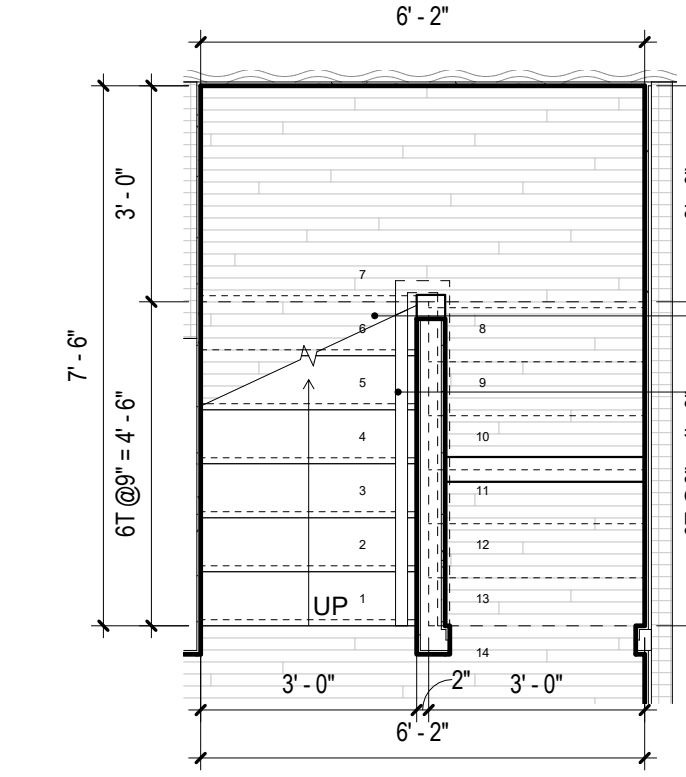
17 64 Waverly - Level 3 Stair Plan
3/8" = 1'-0"

06 43 13.A3 Wood Stairs: Wood Tread and Risers, 7 3/4" Max Riser, 9" Min. Tread
06 43 16.A4 Wood Hand Rail: Cont. Solid Maple Handrail, Round, 1 1/2" Diameter



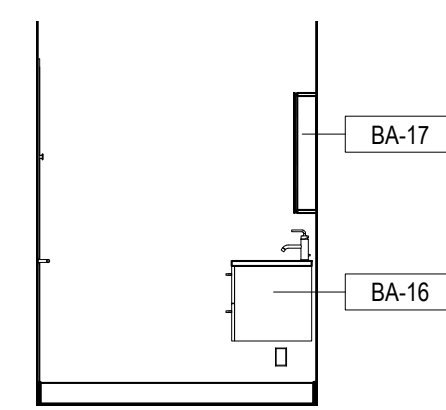
16 64 Waverly - Level 2 Stair Plan
3/8" = 1'-0"

06 43 13.A3 Wood Stairs: Wood Tread and Risers, 7 3/4" Max Riser, 9" Min. Tread
06 43 16.A4 Wood Hand Rail: Cont. Solid Maple Handrail, Round, 1 1/2" Diameter

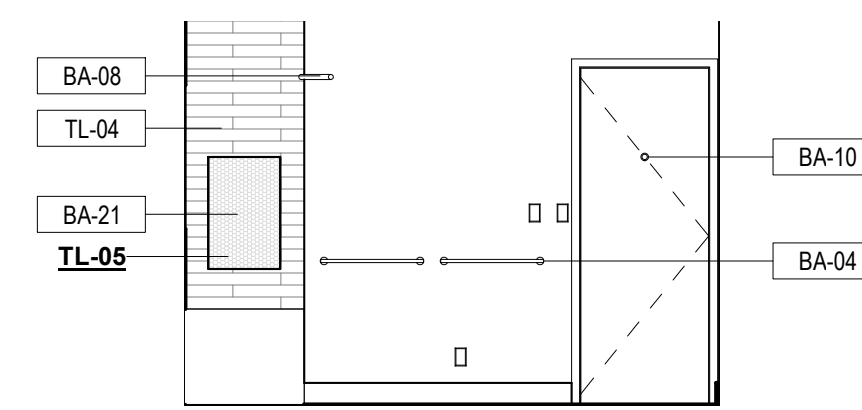


15 64 Waverly - Level 1 Stair Plan
3/8" = 1'-0"

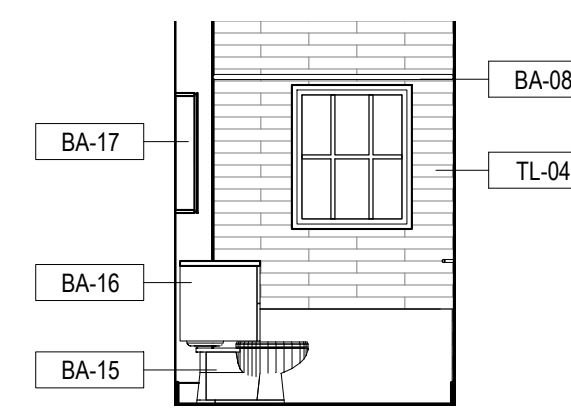
06 43 13.A3 Wood Stairs: Wood Tread and Risers, 7 3/4" Max Riser, 9" Min. Tread
06 43 16.A4 Wood Hand Rail: Cont. Solid Maple Handrail, Round, 1 1/2" Diameter



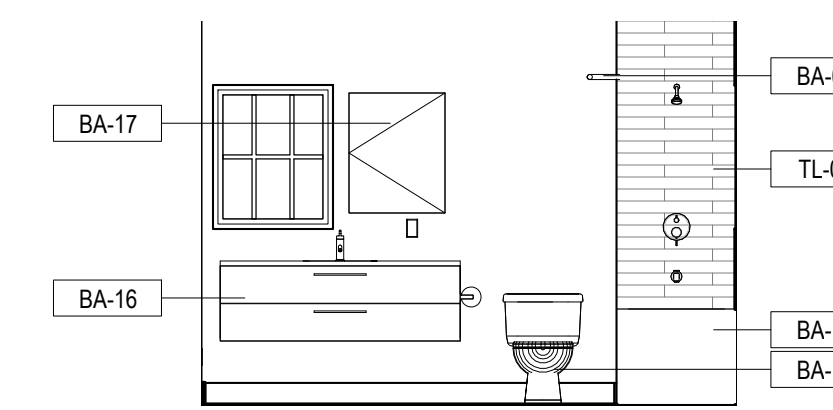
14 Level 2 Bath South Elevation
1/4" = 1'-0"



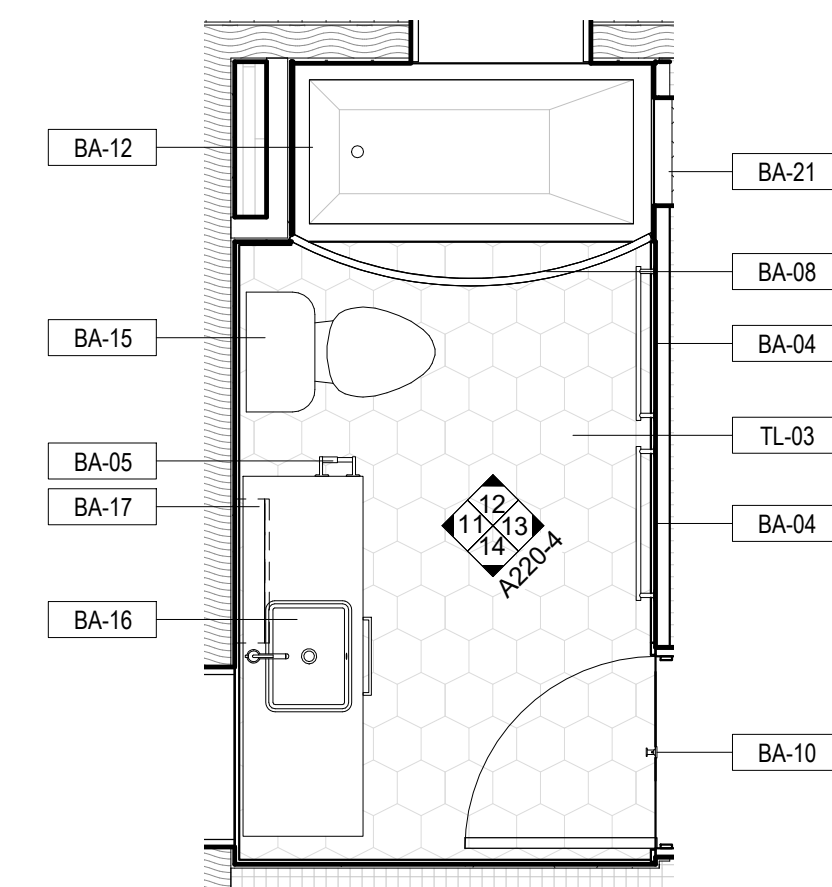
13 Level 2 Bath East Elevation
1/4" = 1'-0"



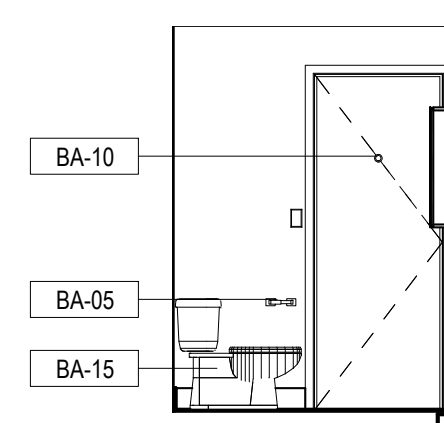
12 Level 2 Bath North Elevation
1/4" = 1'-0"



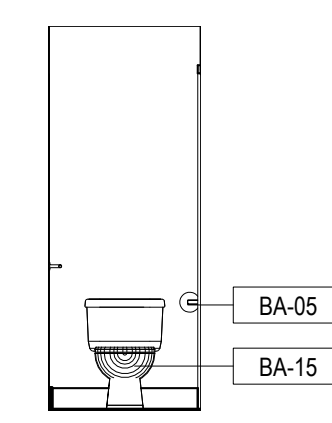
11 Level 2 Bath West Elevation
1/4" = 1'-0"



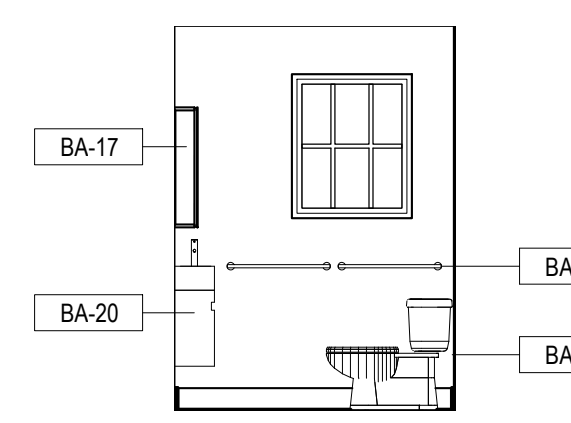
10 64 Waverly - Level 2 Bath
3/8" = 1'-0"



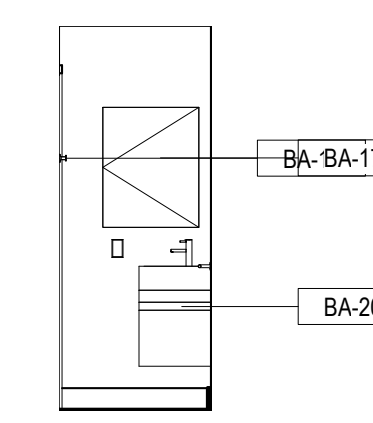
9 Powder South Elevation
1/4" = 1'-0"



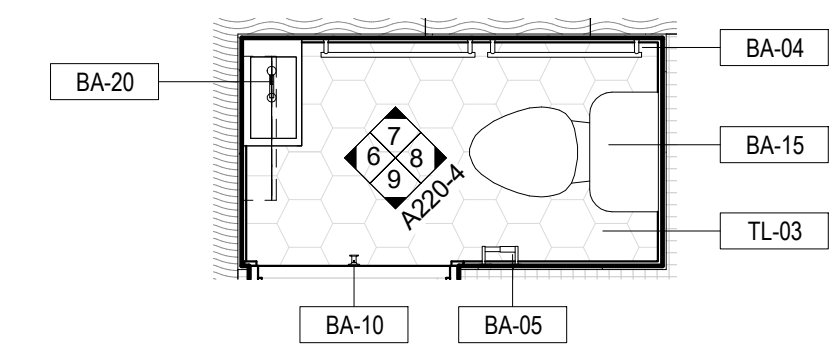
8 Powder East Elevation
1/4" = 1'-0"



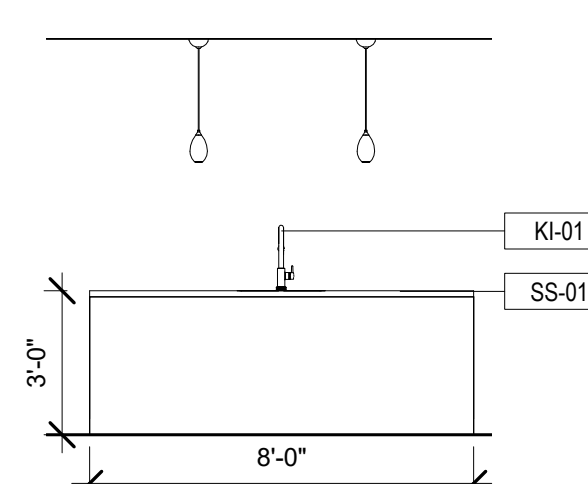
7 Powder North Elevation
1/4" = 1'-0"



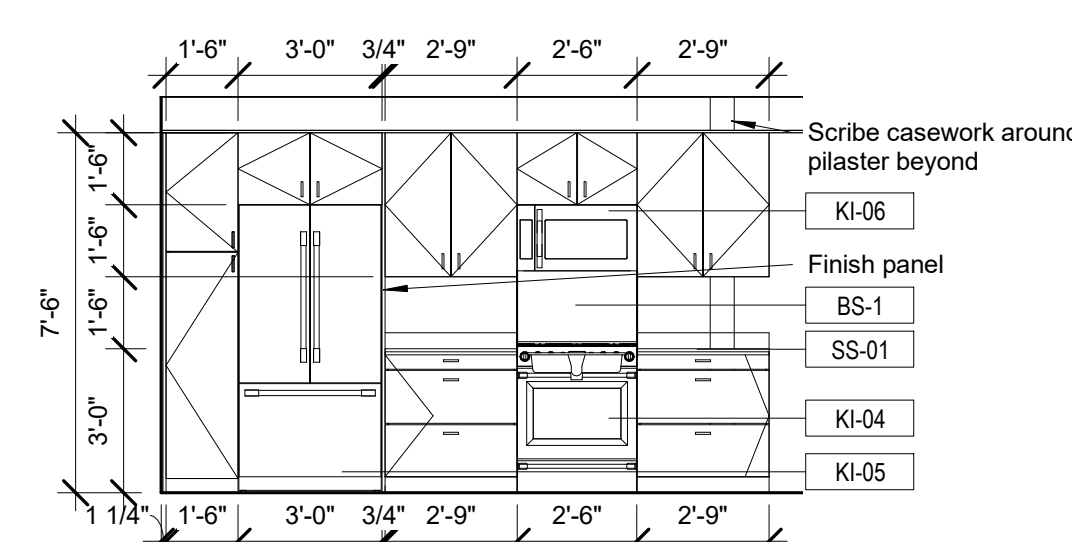
6 Powder West Elevation
1/4" = 1'-0"



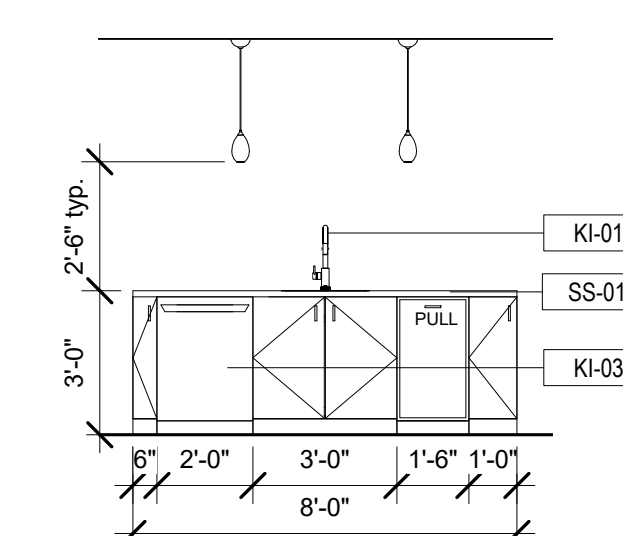
5 64 Waverly - Level 1 Powder
3/8" = 1'-0"



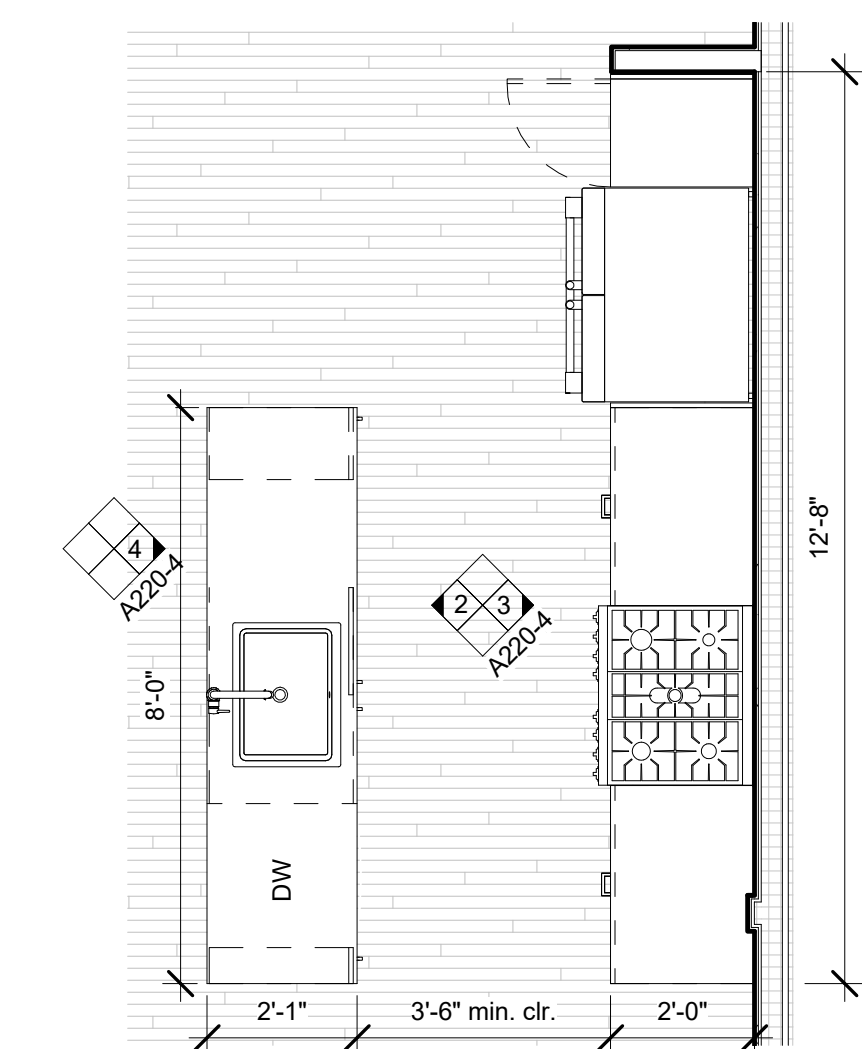
4 Kitchen Island Elevation
1/4" = 1'-0"



3 Kitchen East Elevation
1/4" = 1'-0"

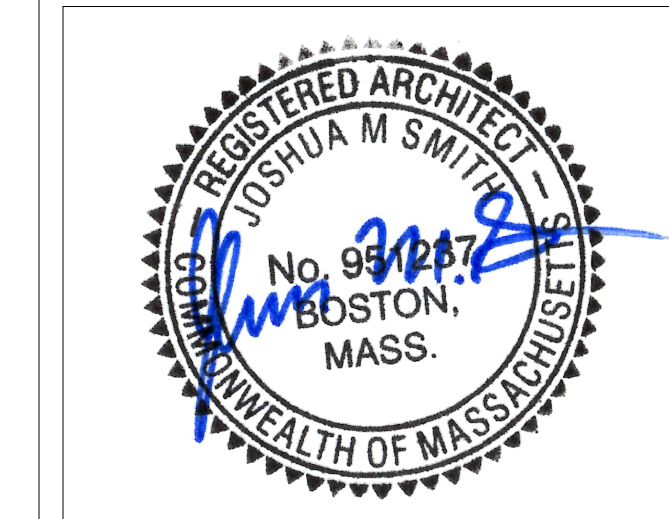


2 Kitchen West Elevation
1/4" = 1'-0"



1 64 Waverly - Kitchen Plan
3/8" = 1'-0"

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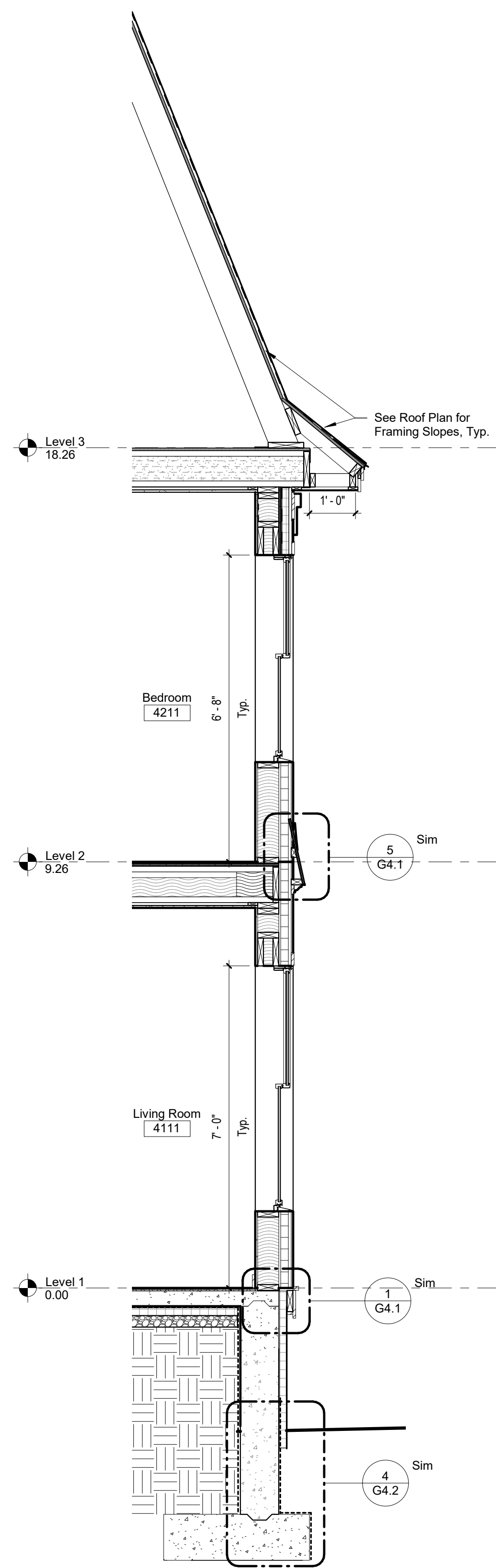
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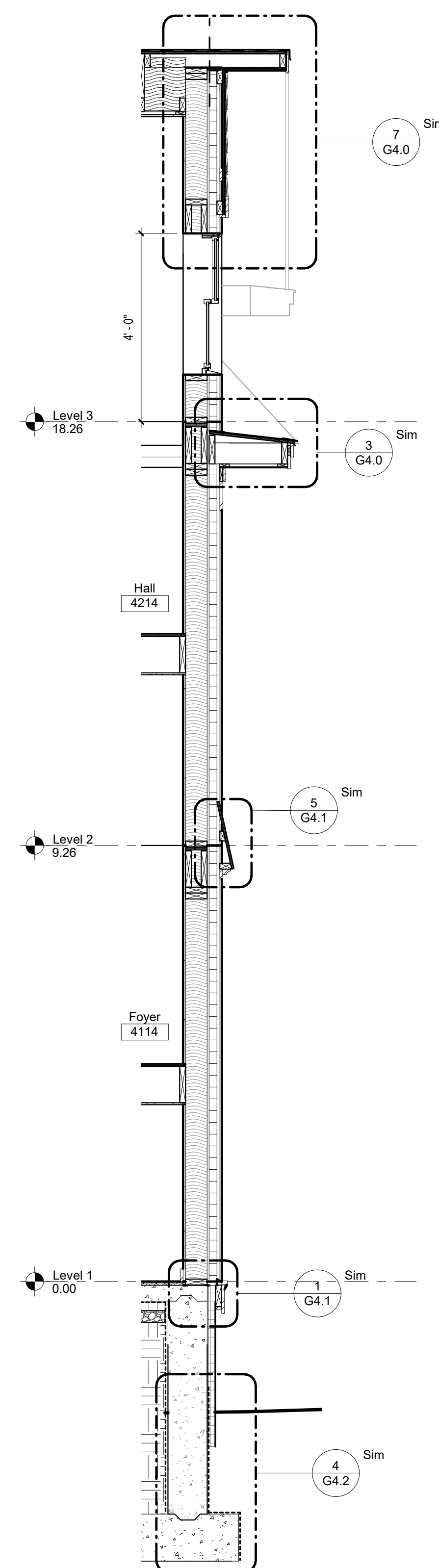
Enlarged Plans and Elevations

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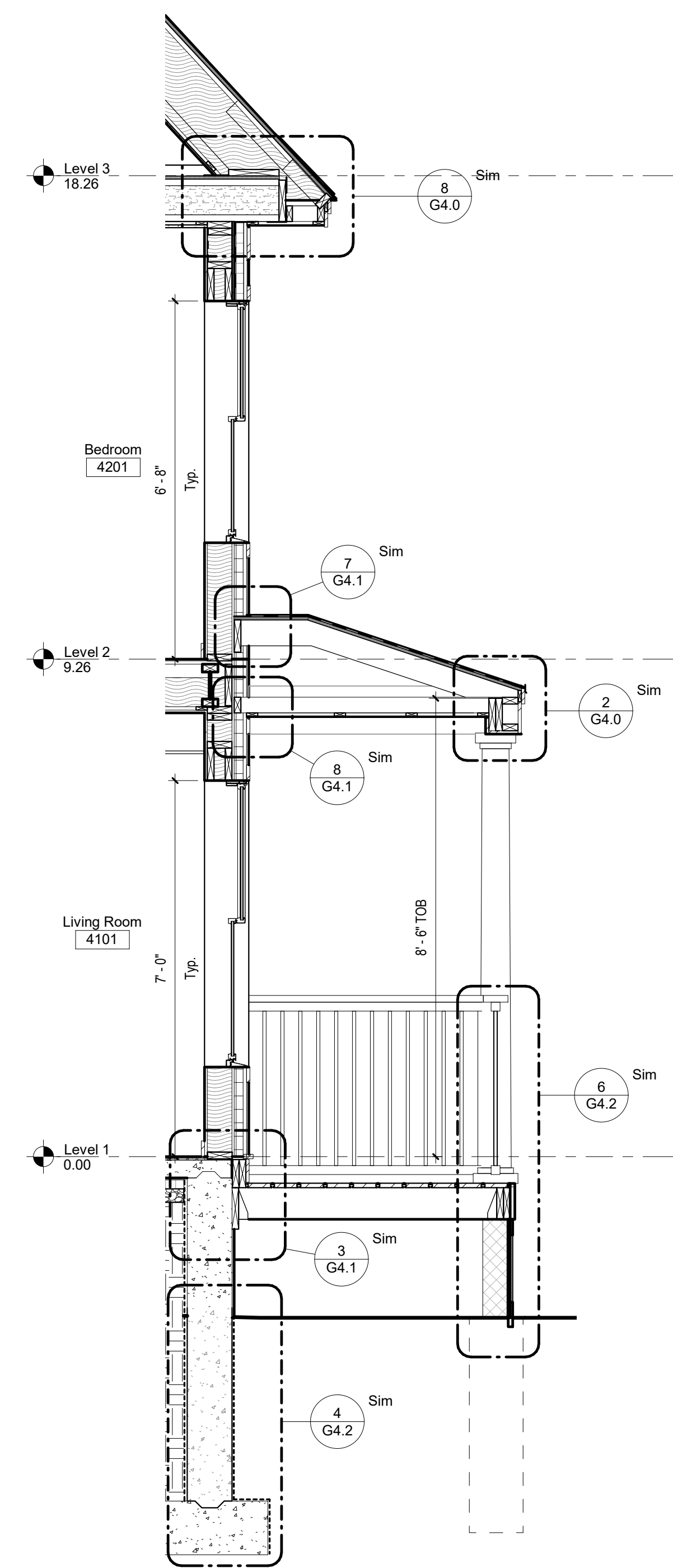
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A220-4
TYPE D3 TWO-FAMILY



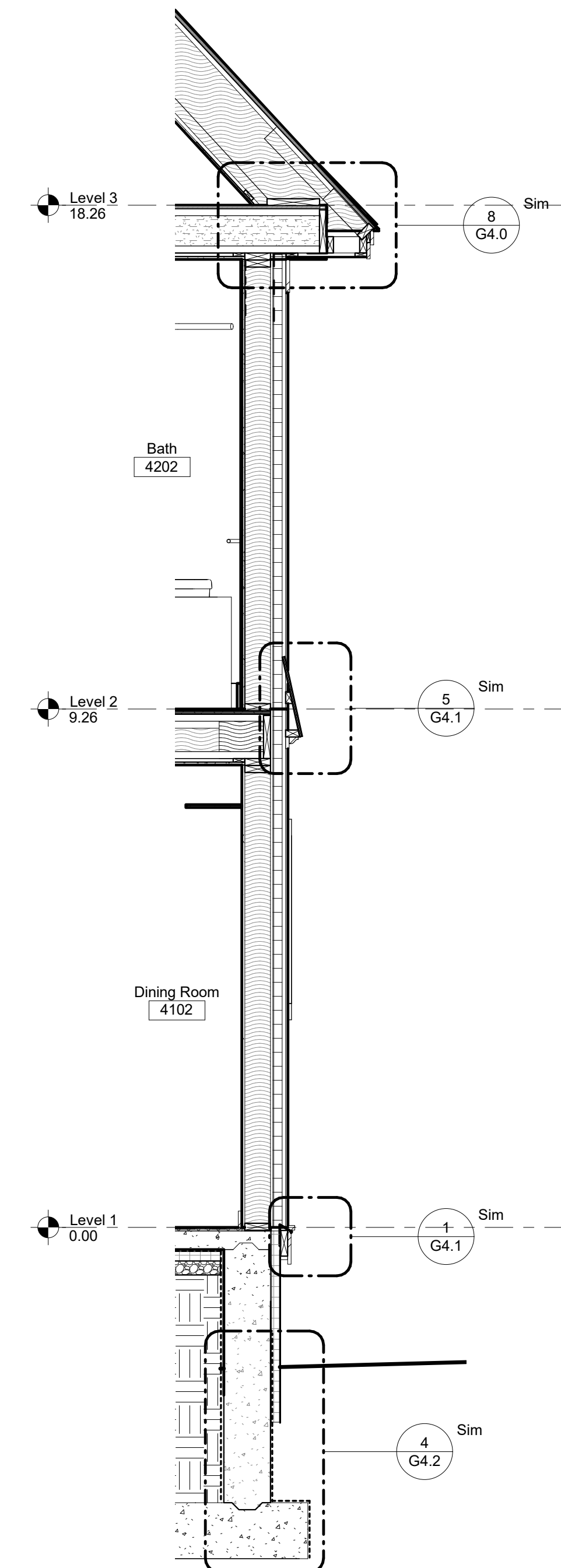
5 64 Waverly - Wall Section 5
1/2" = 1'-0"



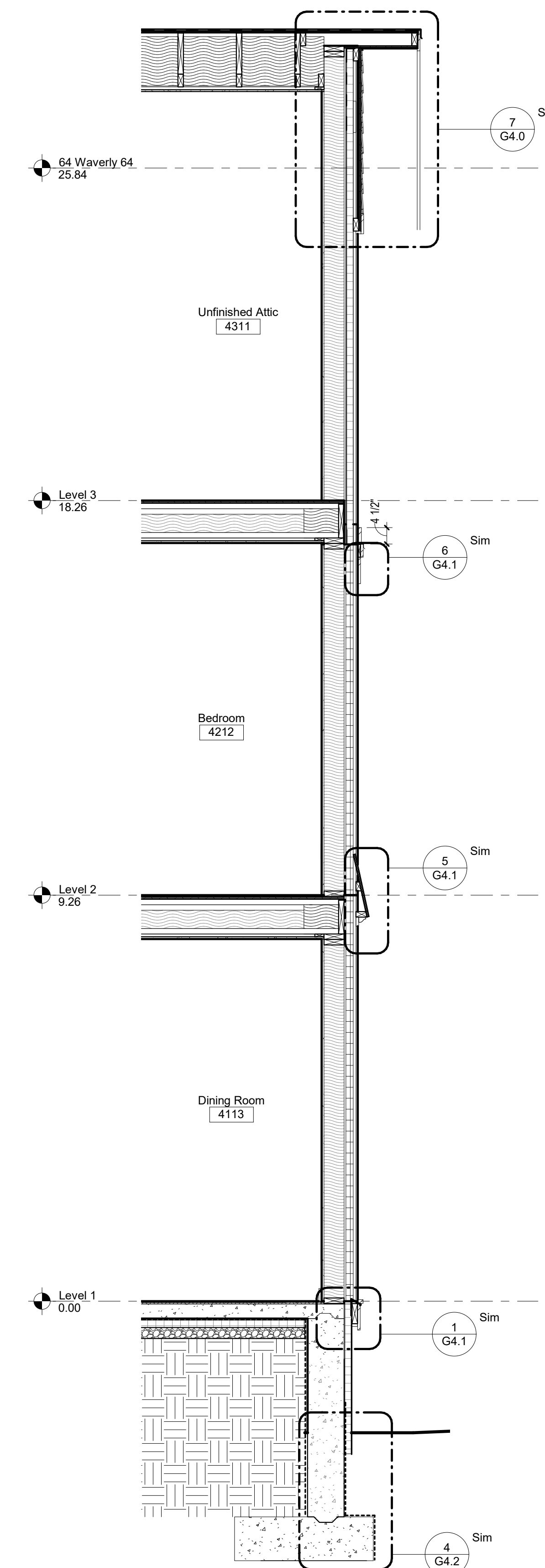
4 64 Waverly - Wall Section 4
1/2" = 1'-0"



3 64 Waverly - Wall Section 3
1/2" = 1'-0"



2 64 Waverly - Wall Section 2
1/2" = 1'-0"



1 64 Waverly - Wall Section 1
1/2" = 1'-0"

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Wall Sections

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DRAWING NO.
A300-4
TYPE D3 TWO-FAMILY