



# 65 Beech Glen Road

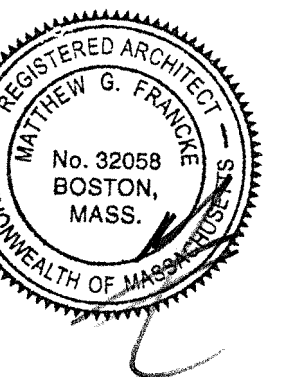
65 Beech Glen Road, Roxbury, MA 02119

## DRAWING LIST

A001	TITLE SHEET
A003	ZONING ANALYSIS
EX 01	EXISTING CONDITIONS PLAN
AS100	SITE PLAN
D100	BASEMENT DEMOLITION PLAN
D101	FIRST FLOOR DEMOLITION PLAN
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D103	THIRD FLOOR DEMOLITION PLAN
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A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
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A201	NORTH ELEVATION
A202	SOUTH ELEVATION
A300	SECTION
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S-1.3	THIRD FLOOR FRAMING PLAN

### CONSULTANTS:

ISSUE FOR PERMIT



### REVISIONS:

PROJECT NAME:  
65  
BEECH GLEN  
ROAD  
ROXBURY, MA  
DATE ISSUED: 02/22/2018  
PROJECT # 17017

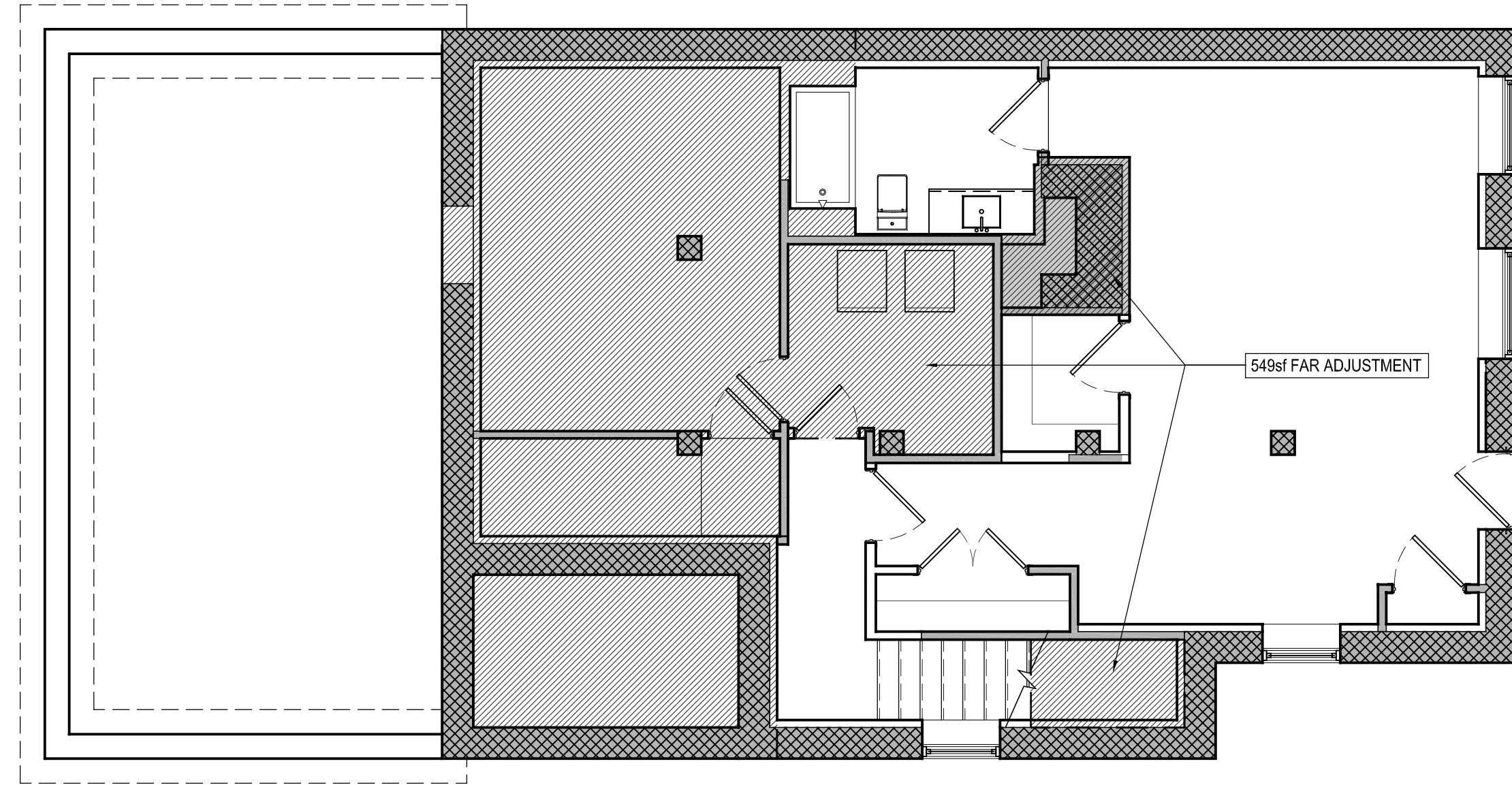
COVER SHEET

**A001**

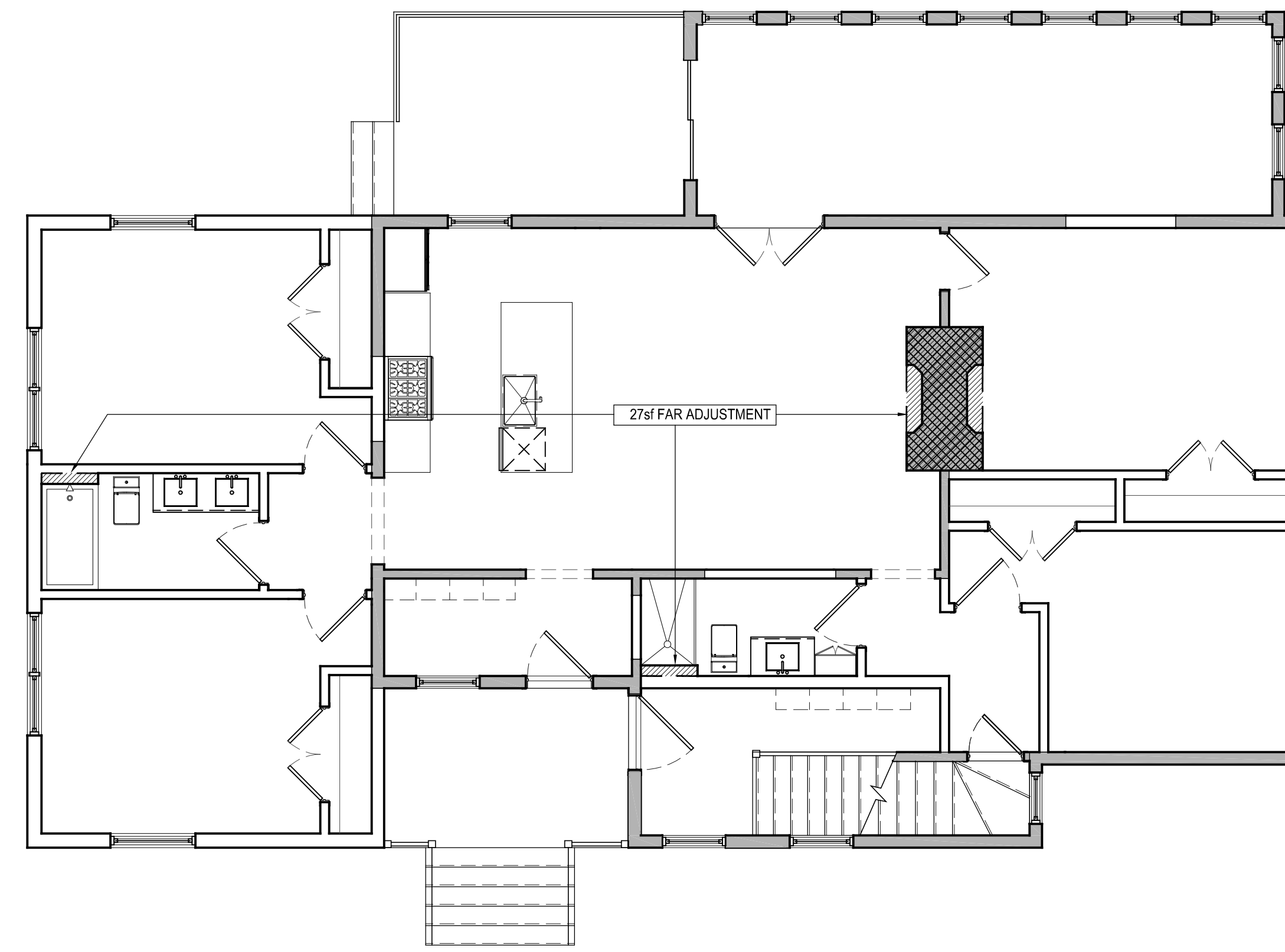
**65 BEECH GLEN ROAD DEVELOPMENT PROPOSAL**

BUILDING AREA (GSF)	FLOOR	UNIT 101	UNIT 102	TOTAL GROSS AREA	TOTAL FAR ADJUSTED
		SQUARE FEET	SQUARE FEET		SQUARE FEET
	BASEMENT	1,256	0	1,256	707
	FIRST	1,791	132	1,923	1,896
	SECOND	0	1,165	1,165	1,029
	THIRD	0	1,080	1,080	732
	ROOF	0	0		
	<b>TOTAL</b>	<b>3,047</b>	<b>2,377</b>	<b>5,424</b>	<b>4,364</b>

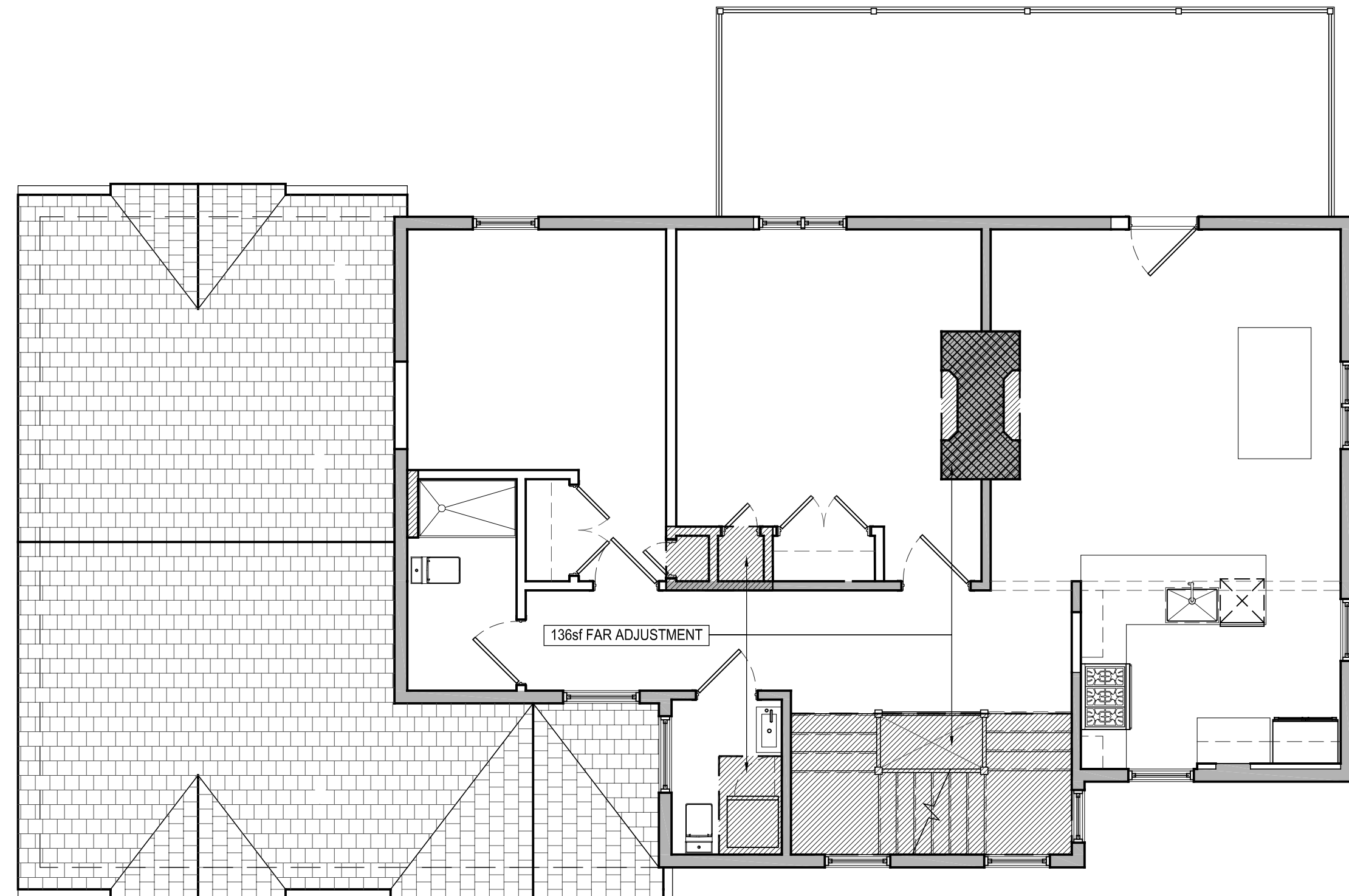
DIMENSIONAL REGULATIONS	REGULATION	ZONING REQUIRED	PROVIDED	COMPLIANCE
		LOT AREA	4,000 for 1 Unit	10,714 SF
	LOT WIDTH	45 FT/bldg.	100.7 FT	COMPLIANT
	LOT FRONTAGE	45 FT/bldg.	102.65 FT	COMPLIANT
	FLOOR AREA RATIO	0.8 max	0.41	COMPLIANT
Multi-Family Residential	BUILDING HT. STORES/FT	3 / 35 FT maximum	3/32.9 FT	COMPLIANT
Other Dwelling/Use	OPEN SPACE (SF)/UNIT	650 SF / 1 Unit minimum	9,139 SF	COMPLIANT
Local Services	FRONT YARD (A) DEPTH	20 FT minimum	15.6 FT	COMPLIANT
Article 50	SIDE YARD WIDTH	10 FT minimum	21.14 FT, 28.03 FT	COMPLIANT
NDOD, Boulevard	REAR YARD DEPTH	30 FT minimum	42.6 FT	COMPLIANT
Planning, Neighborhood	BY ACCESSORY	25% maximum	0.80%	COMPLIANT
Design Review				



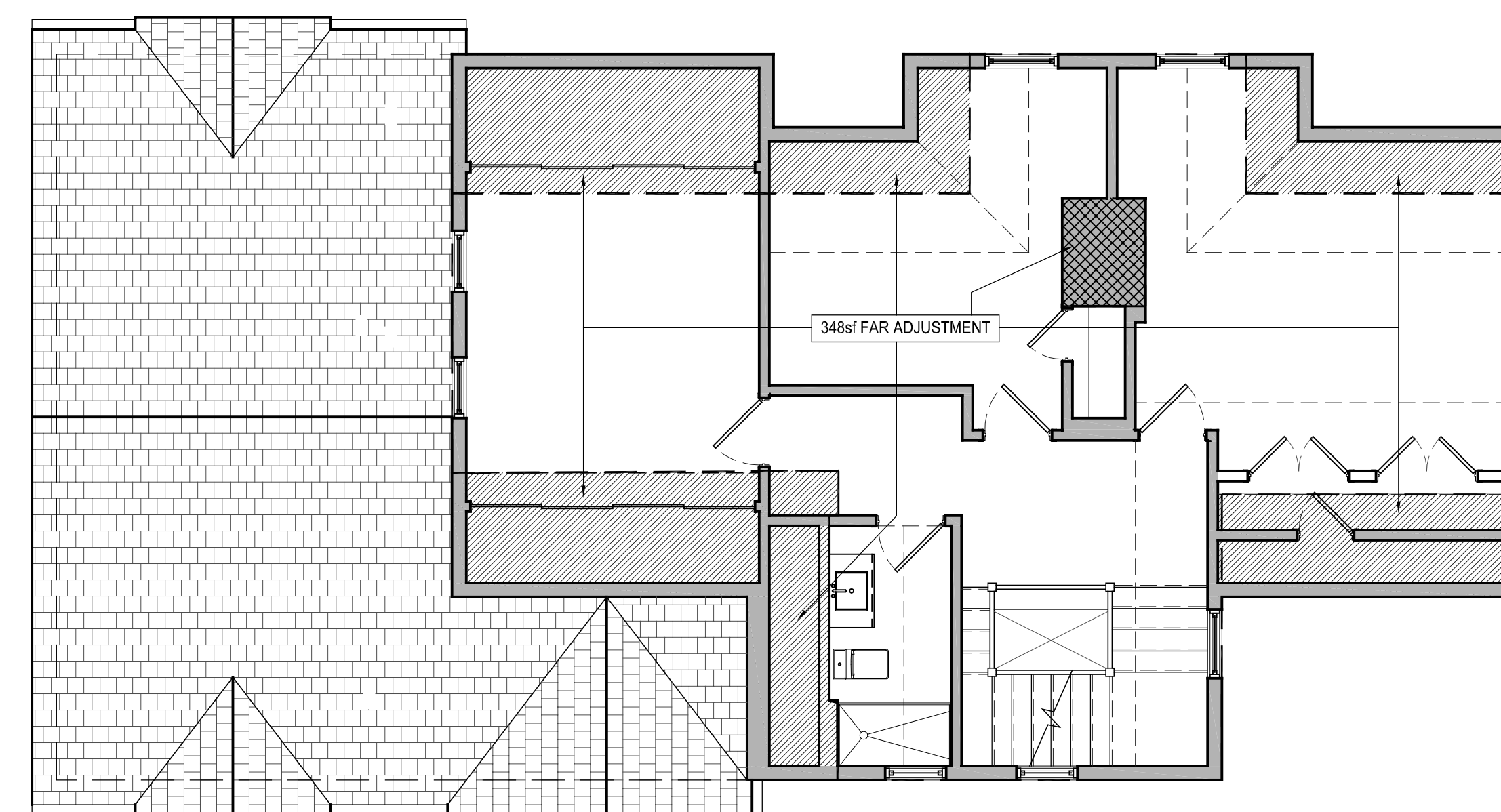
**1 BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"



**2 FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



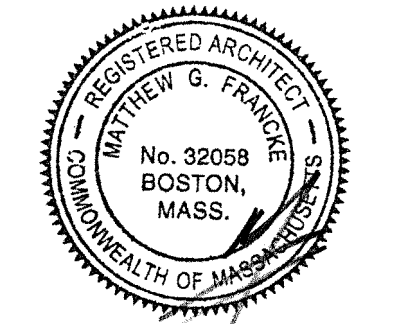
**3 SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**4 THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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ROXBURY, MA  
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ZONING ANALYSIS

ZONING LEGEND		
ZONING DISTRICT: 3F-4000 (THREE FAMILY RESIDENTIAL)		
	REQUIRED	EXISTING
MIN. AREA	4,000 S.F.	10,714 ± S.F.
MIN. FRONTAGE	25'	28.9' ±
MIN. YARD FRONT	20'	15.6' ±
MIN. YARD SIDE	10'	21.1' ±
MIN. YARD REAR	30'	42.6' ±
REAR YARD OCCUPANCY	25%	0.8%
USABLE OPEN SPACE PER DWELLING UNIT	650 S.F.	9,139± S.F.
MIN. LOT WIDTH	45'	100.7'
MAX. BLDG. HEIGHT	35'	-
MAX. STORIES	3	2
MAX. F.A.R.	0.8	-

**GENERAL NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES (08/14/17). SURFACE & SUBSURFACE INDICATORS AND AVAILABLE RECORD PLANS FROM UTILITY & PUBLIC AGENCIES. THE INFORMATION IS NOT TO BE RELIED ON AS EXACT OR COMPLETE.
2. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAPS, THE DEVELOPMENT AS OUTLINED IN THIS CIVIL DRAWING SET (PARCEL# 1100524000) FALLS IN AN AREA DESIGNATED AS ZONE X, AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN.
3. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER IS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXISTS.
4. DEED REFERENCE BOOK 58399 PAGE 144, PLAN REFERENCE BOOK 1577 PAGE 58, SUFFOLK COUNTY REGISTRY OF DEEDS.

COMMUNITY PANEL #: 250250078G  
EFFECTIVE DATE: SEPTEMBER 25<sup>TH</sup>, 2009

**PROJECT INFORMATION**

PROJECT LOCATION: 65 BEECH GLEN STREET  
BOSTON (ROX.), MA 02119

CURRENT OWNER: BOSTON REAL ESTATE COLLABORATIVE LLC  
1904 WASHINGTON ST  
BOSTON, MA 02118

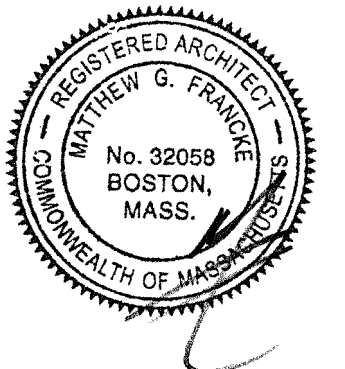
ATTN: COREY BRADLEY  
(857) 991-1105 (EXT.3)

WATER ACCOUNT #: 0000000000  
METER SIZE: 00"

WARD: 11  
PARCEL ID: 1100524000  
LAND USE CODE: 3F (3 FAMILY RESIDENTIAL)

TOTAL LOT AREA: 10,714± SF  
TOTAL IMP: 0000± SF

ISSUED FOR PERMIT



**REVISIONS:**

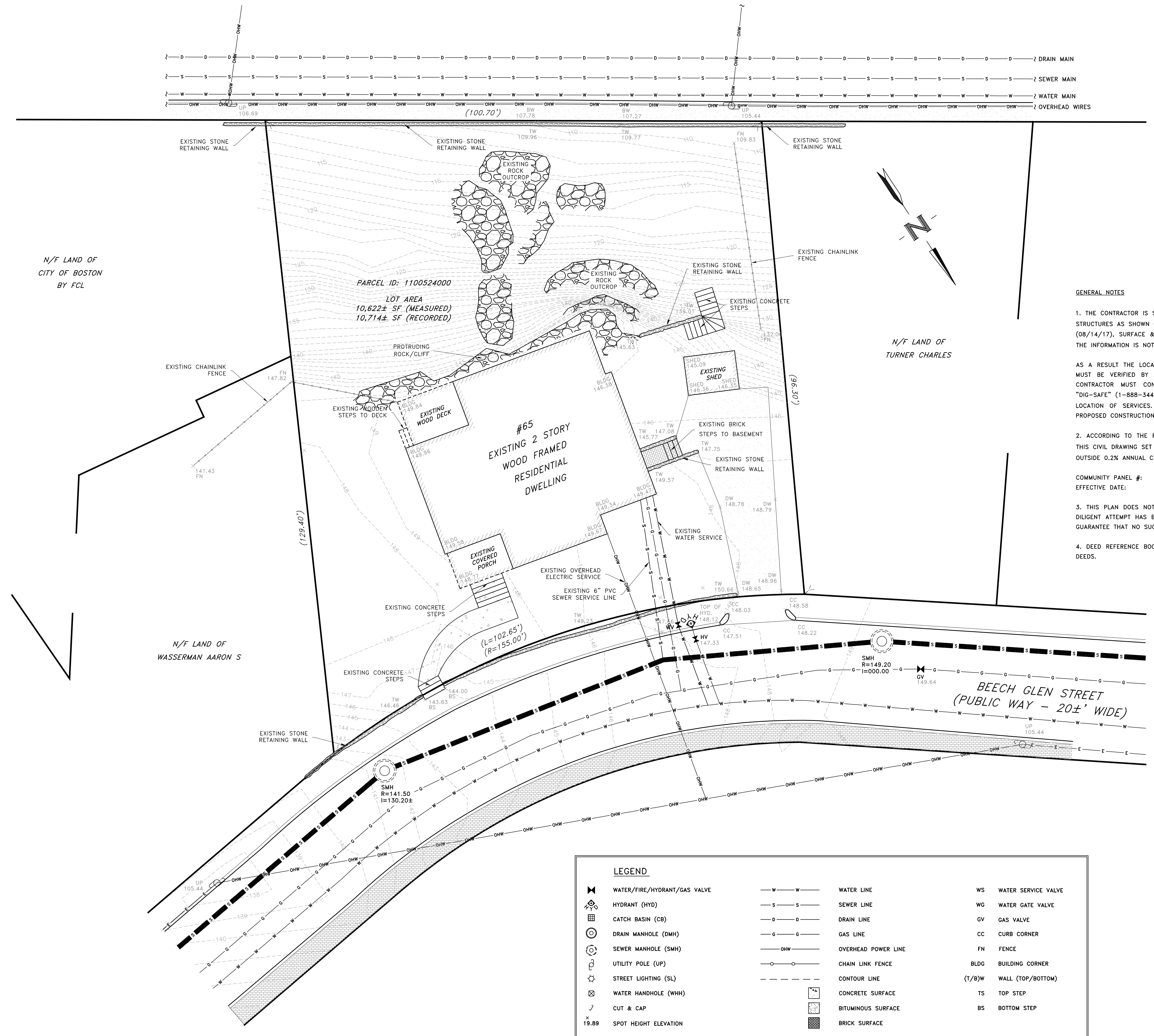
NO.	DATE	DESCRIPTION

PROJECT NAME:  
**65 Beech Glen Street**  
Boston, MA

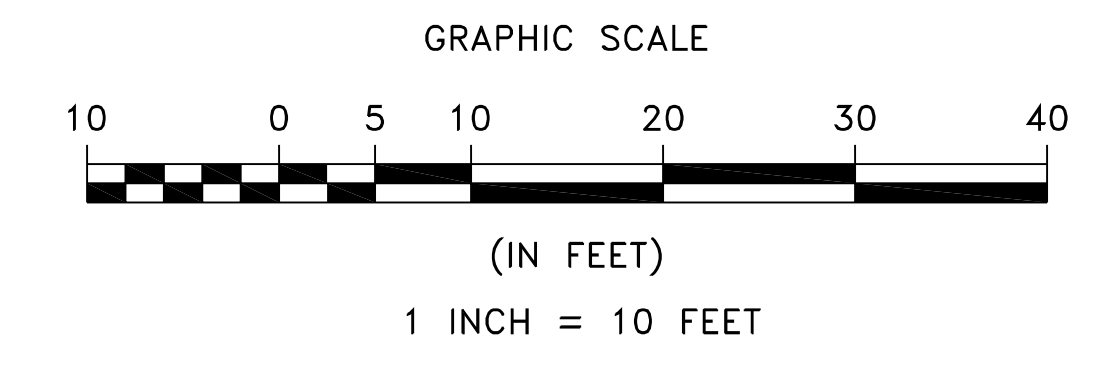
DATE ISSUED: 02/22/2018  
PROJECT # 00000

EXISTING  
CONDITIONS  
PLAN

**EX 01**



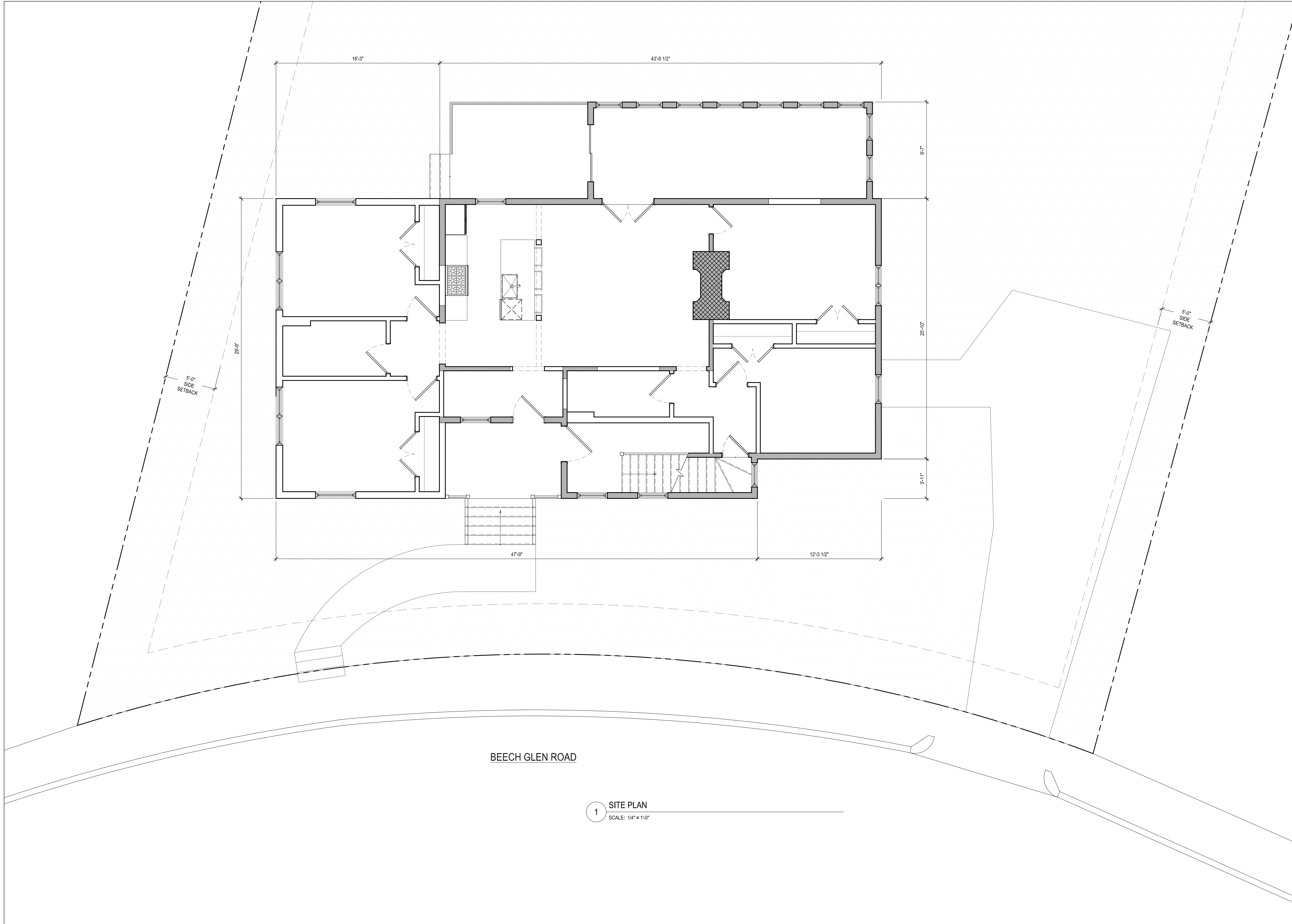
LEGEND		
	WATER/FIRE/HYDRANT/GAS VALVE	WS WATER SERVICE VALVE
	HYDRANT (HYD)	WG WATER GATE VALVE
	CATCH BASIN (CB)	GV GAS VALVE
	DRAIN MANHOLE (DMH)	CC CURB CORNER
	SEWER MANHOLE (SMH)	FN FENCE
	UTILITY POLE (UP)	BLDG BUILDING CORNER
	STREET LIGHTING (SL)	(T/B)W WALL (TOP/BOTTOM)
	WATER HANDHOLE (WHH)	TS TOP STEP
	CUT & CAP	BS BOTTOM STEP
	SPOT HEIGHT ELEVATION	
	WATER LINE	
	SEWER LINE	
	DRAIN LINE	
	GAS LINE	
	OVERHEAD POWER LINE	
	CHAIN LINK FENCE	
	CONTOUR LINE	
	CONCRETE SURFACE	
	BITUMINOUS SURFACE	
	BRICK SURFACE	



N/F LAND OF  
CITY OF BOSTON  
BY FCL

N/F LAND OF  
TURNER CHARLES

N/F LAND OF  
WASSERMAN AARON S



5'-0" SIDE SETBACK

5'-0" SIDE SETBACK

16'-3"

43'-8 1/2"

8'-7"

25'-10"

3'-11"

28'-9"

47'-9"

12'-3 1/2"

BEECH GLEN ROAD

1 SITE PLAN  
SCALE: 1/4" = 1'-0"

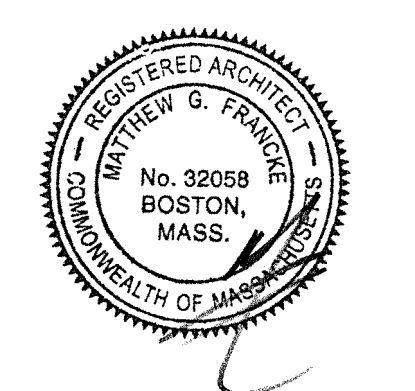
FRANCKE | FRENCH  
ARCHITECTS

660 COLUMBUS AVENUE SUITE A BOSTON, MA 02118  
1017.606.4408  
WWW.FRANCKE-FRENCH.COM

CONSULTANTS:

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ISSUE FOR PERMIT




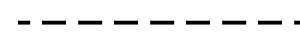
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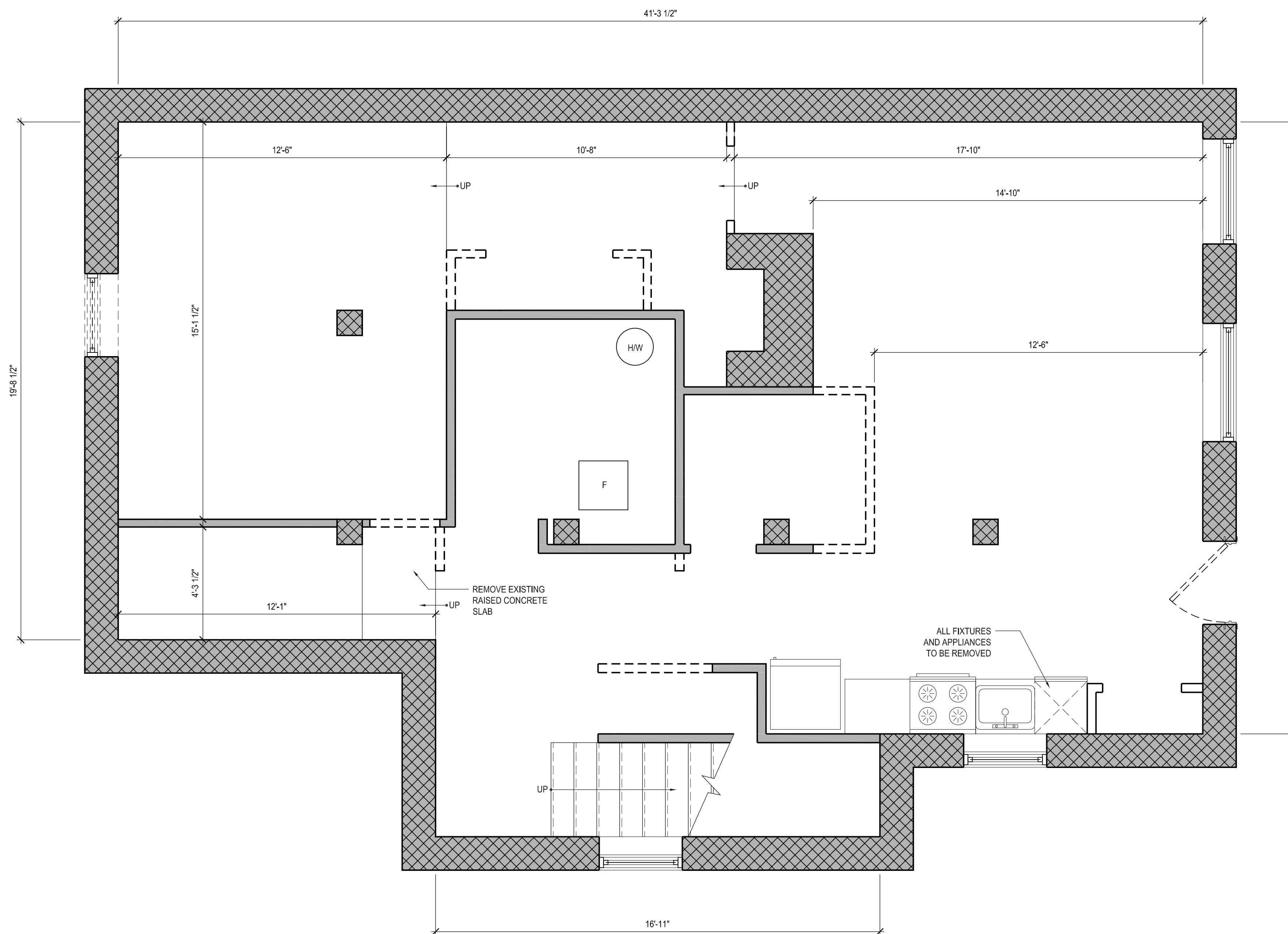

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PROPOSED  
SITE PLAN

AS100

DEMOLITION GRAPHIC LEGEND

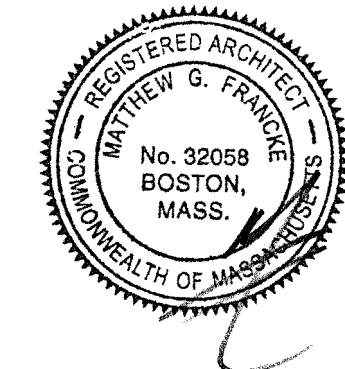
	EXISTING WALLS/ DOORS TO REMAIN
	EXISTING WALLS/ DOORS TO BE REMOVED



1 BASEMENT PLAN  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

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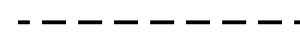


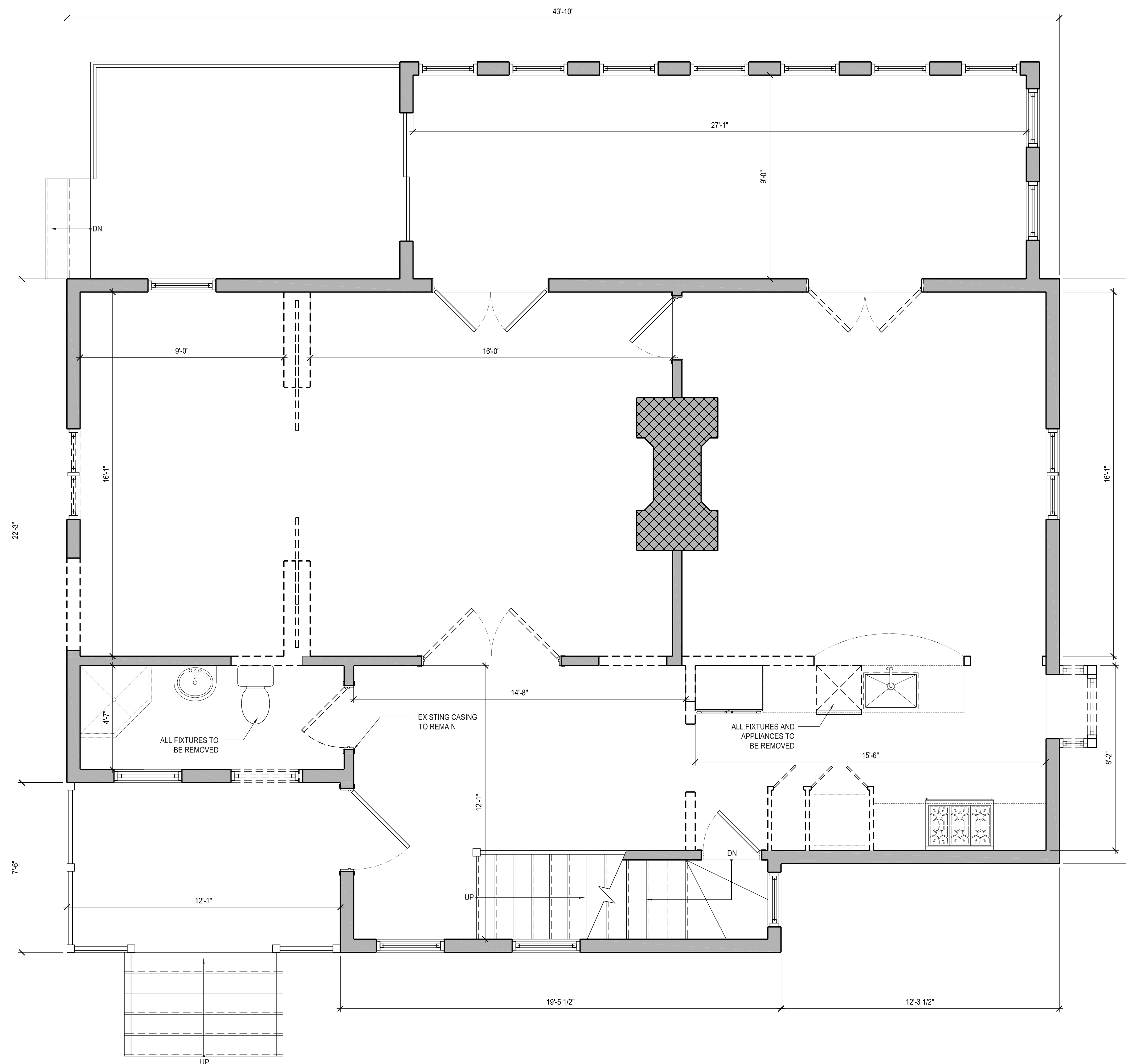
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DEMOLITION  
PLAN

DEMOLITION GRAPHIC LEGEND

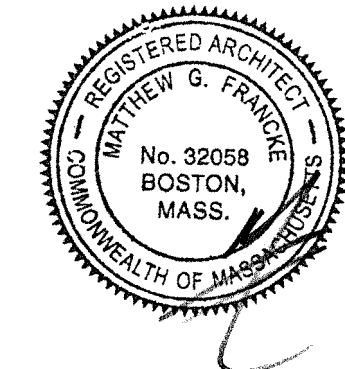
	EXISTING WALLS/ DOORS TO REMAIN
	EXISTING WALLS/ DOORS TO BE REMOVED



1 FIRST FLOOR PLAN  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

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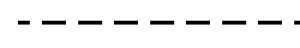


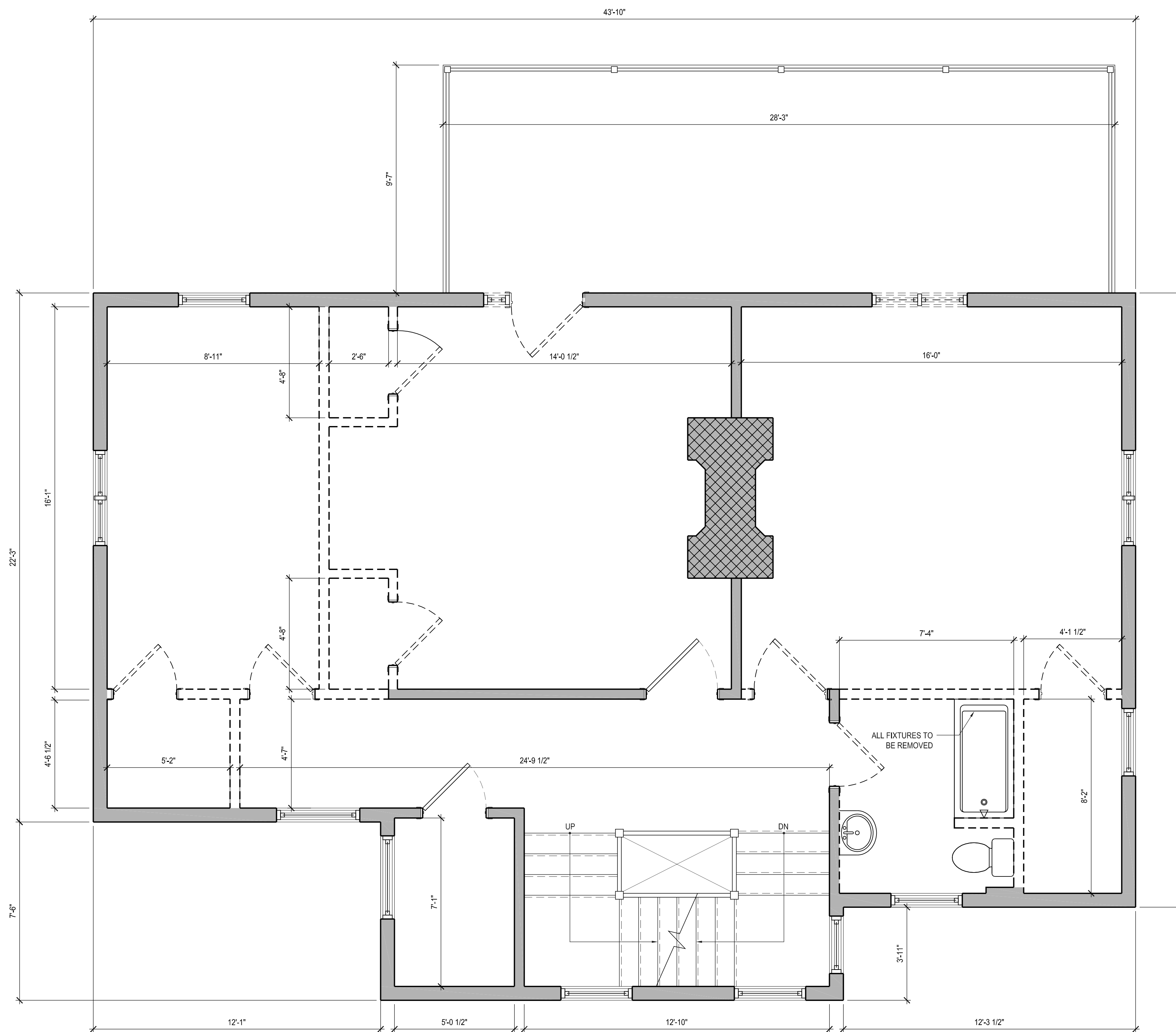
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DEMOLITION  
PLAN

DEMOLITION GRAPHIC LEGEND

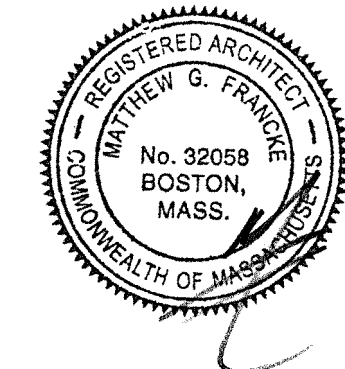
	EXISTING WALLS/ DOORS TO REMAIN
	EXISTING WALLS/ DOORS TO BE REMOVED



1 SECOND FLOOR PLAN  
SCALE: 3/8" = 1'-0"

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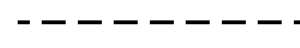


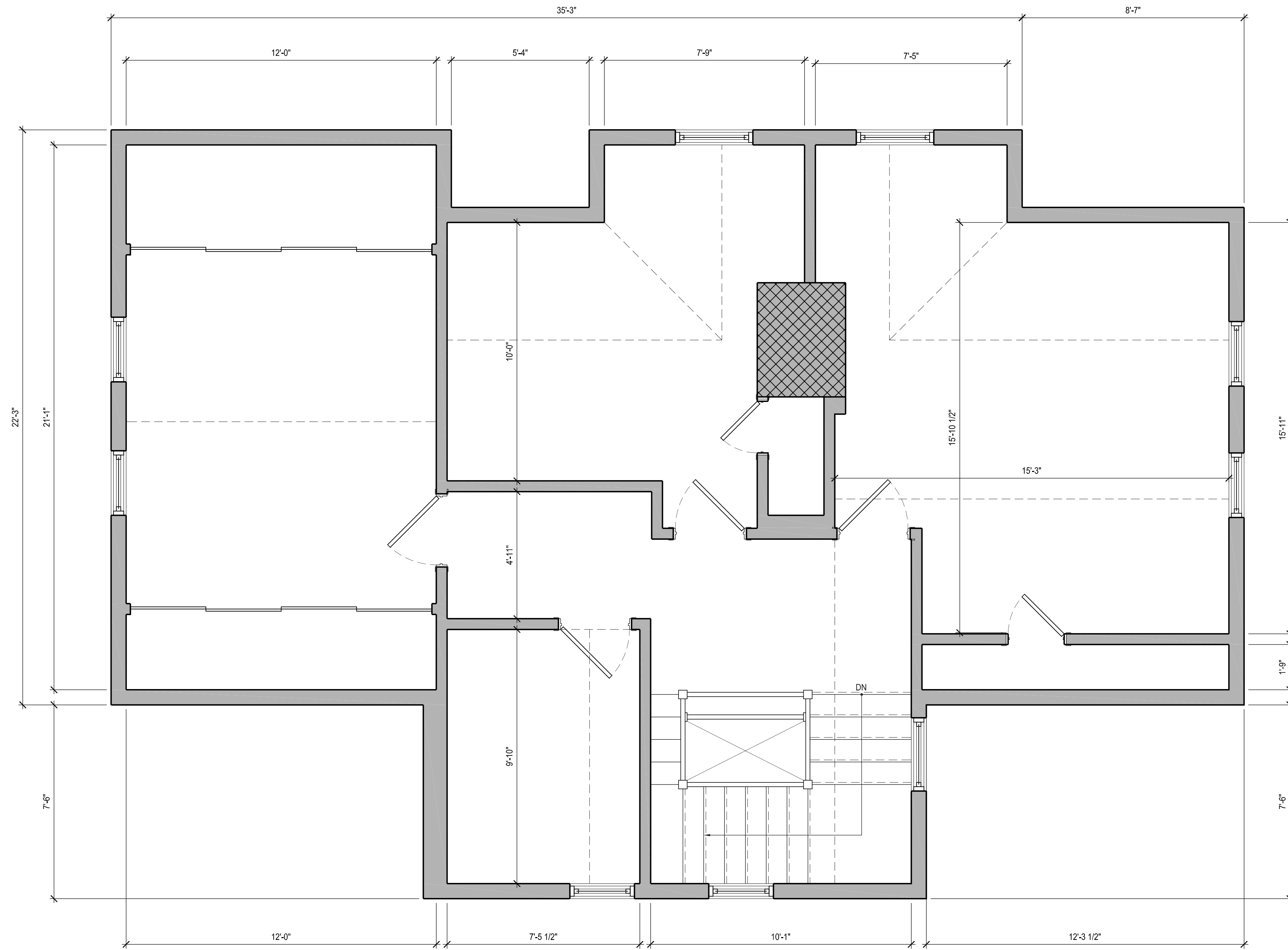
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DEMOLITION  
PLAN

DEMOLITION GRAPHIC LEGEND

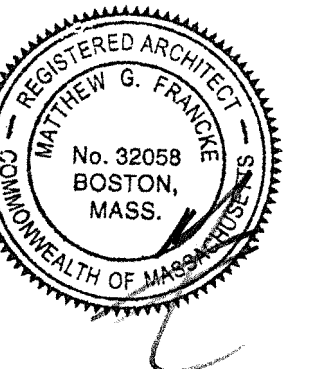
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1 THIRD FLOOR PLAN  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

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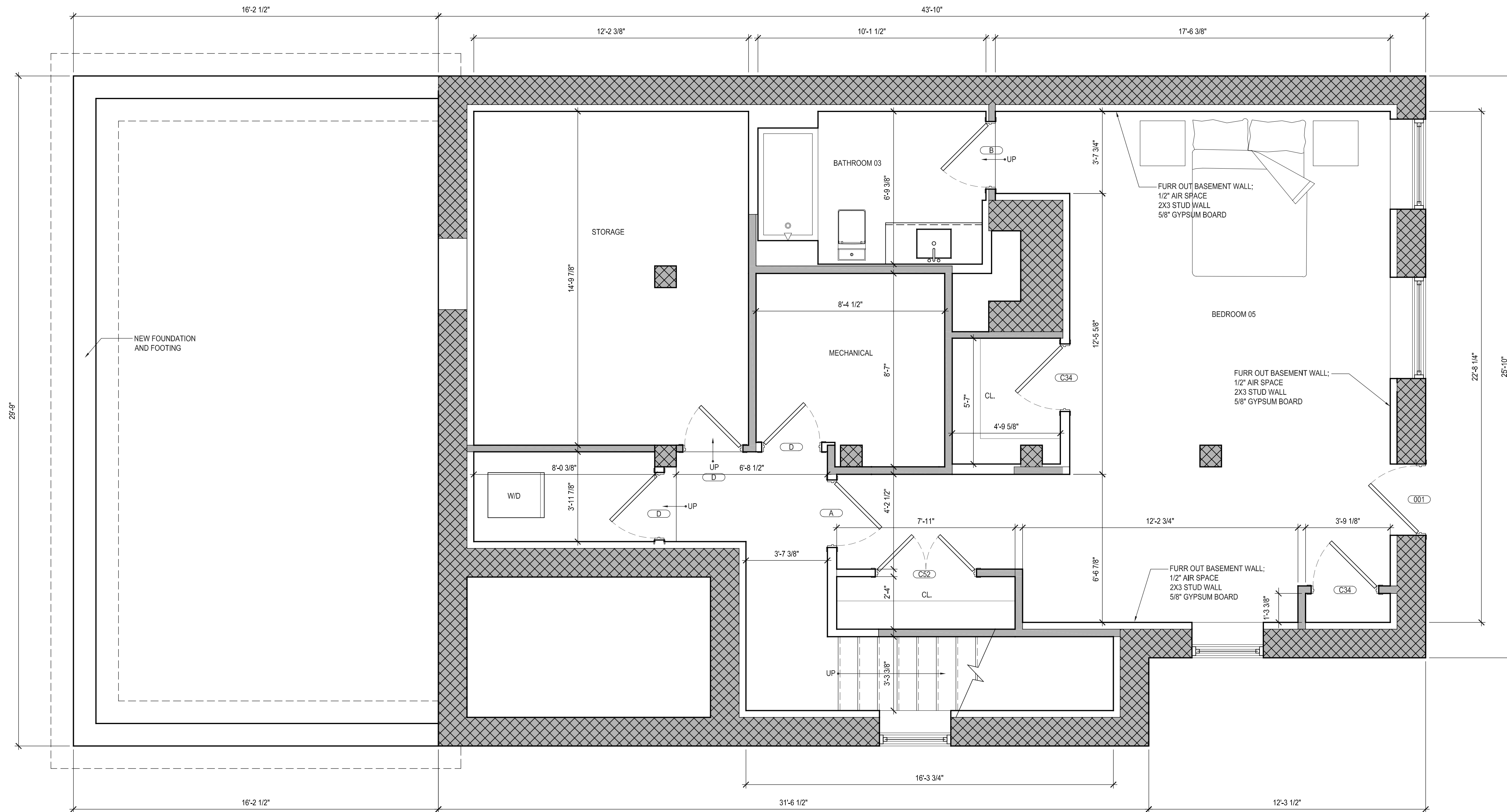


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DEMOLITION  
PLAN

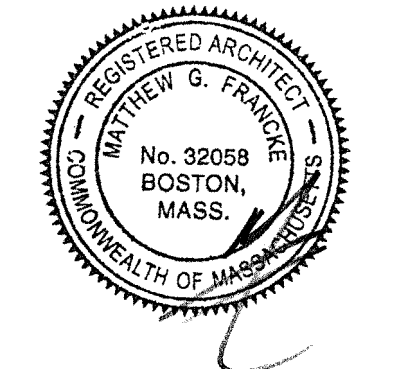




1 BASEMENT PLAN  
SCALE: 3/8" = 1'-0"

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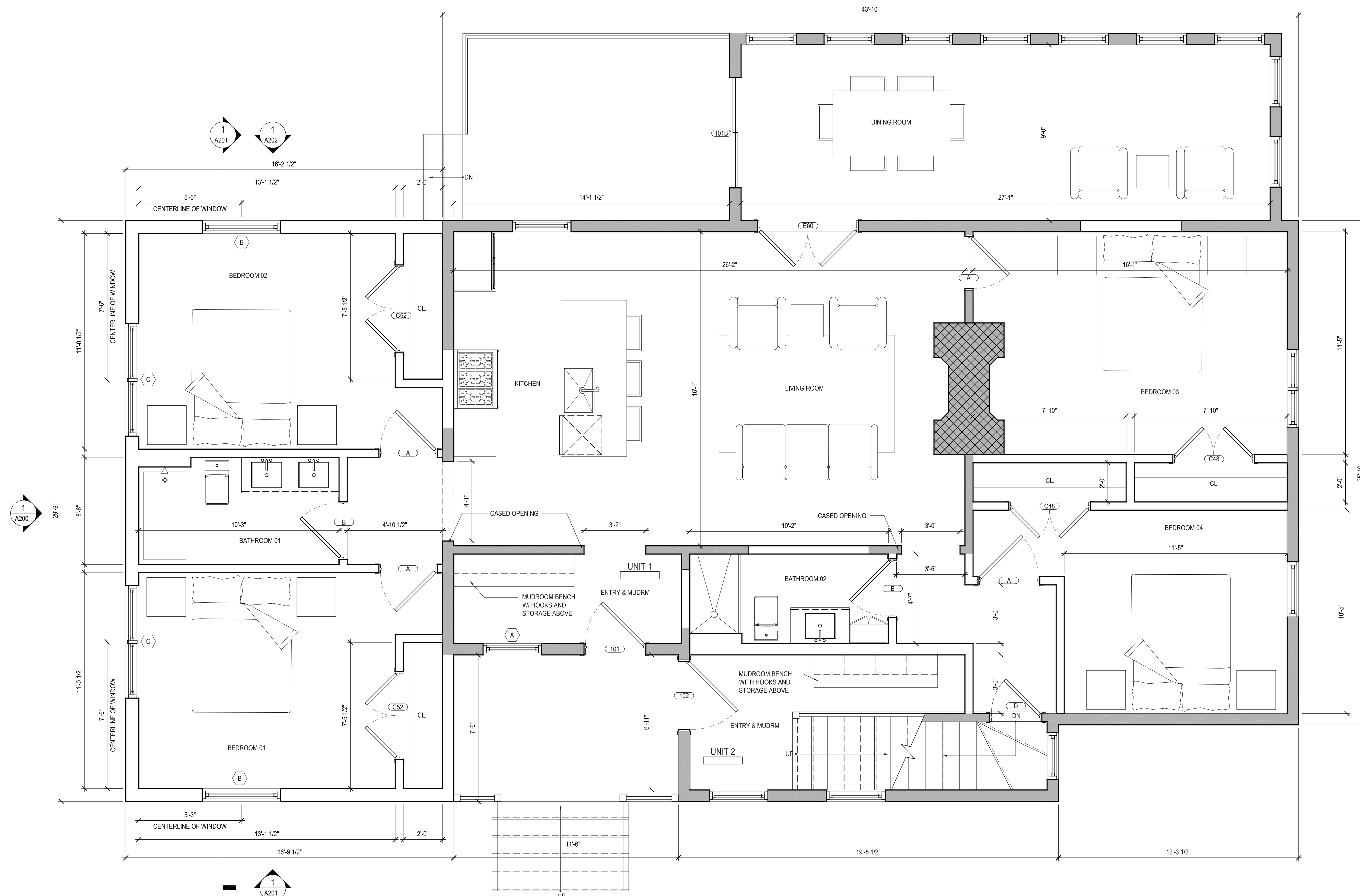
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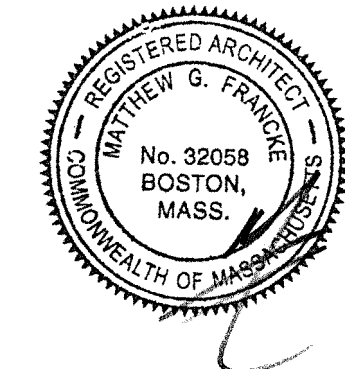
PROPOSED  
PLAN



1 FIRST FLOOR PLAN  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

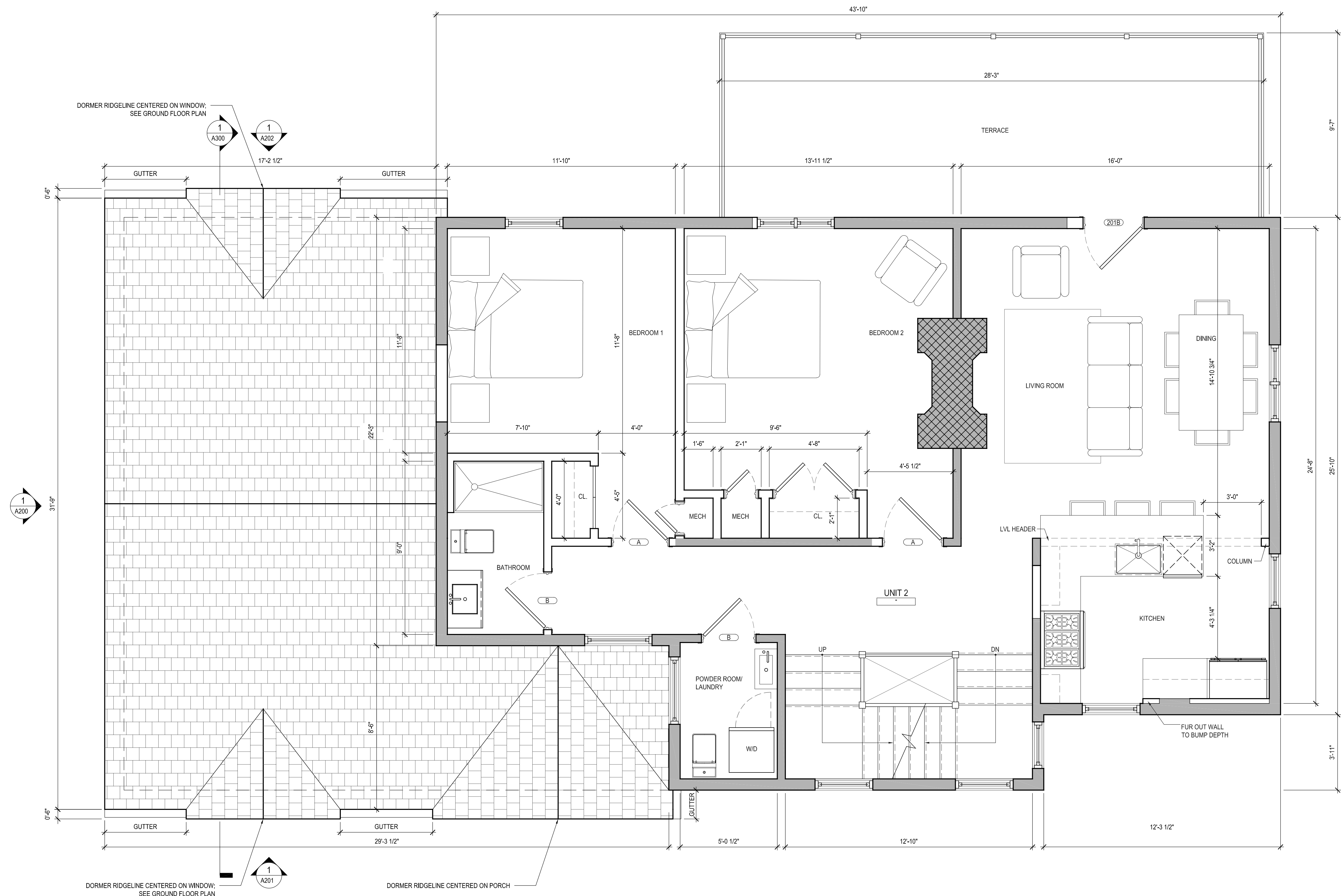
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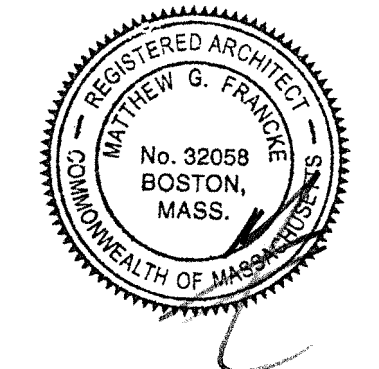
PROPOSED  
PLAN



1 SECOND FLOOR PLAN  
SCALE: 3/8" = 1'-0"

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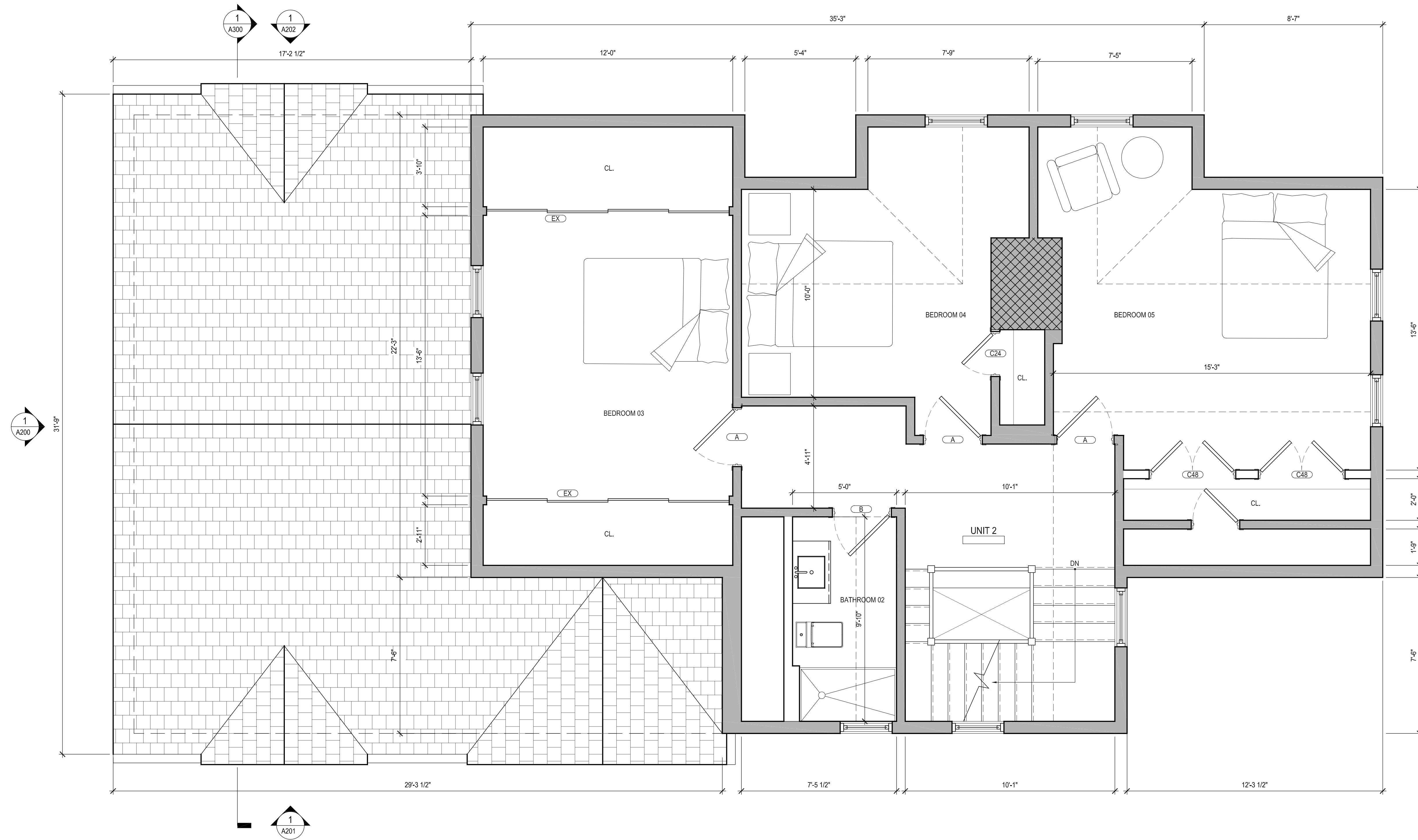
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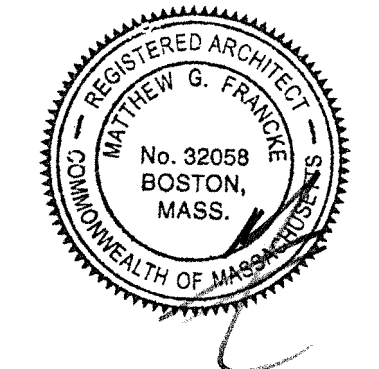
PROPOSED  
PLAN



1 THIRD FLOOR PLAN  
SCALE: 3/8" = 1'-0"

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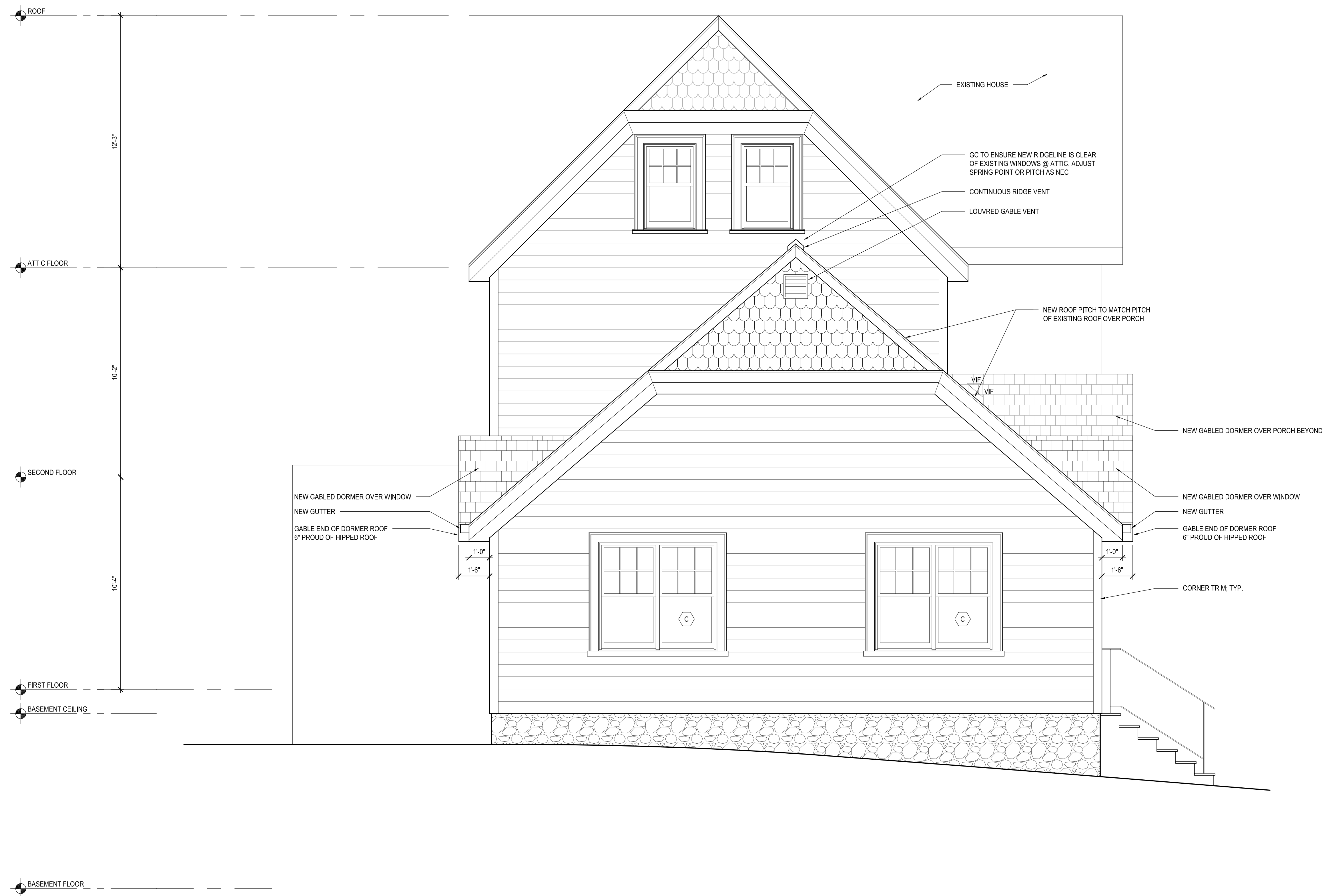
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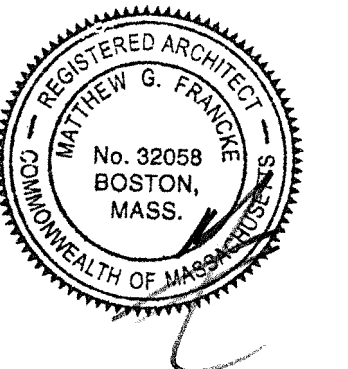
PROPOSED  
PLAN



1 EAST ELEVATION  
SCALE: 3/8" = 1'-0"

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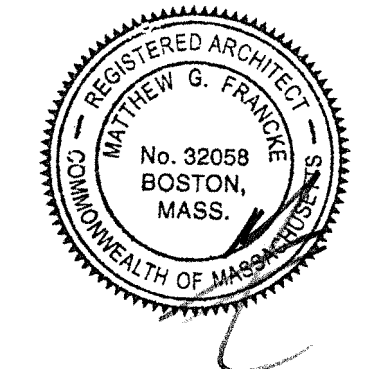
PROPOSED  
ELEVATIONS



1 NORTH ELEVATION  
SCALE: 3/8" = 1'-0"

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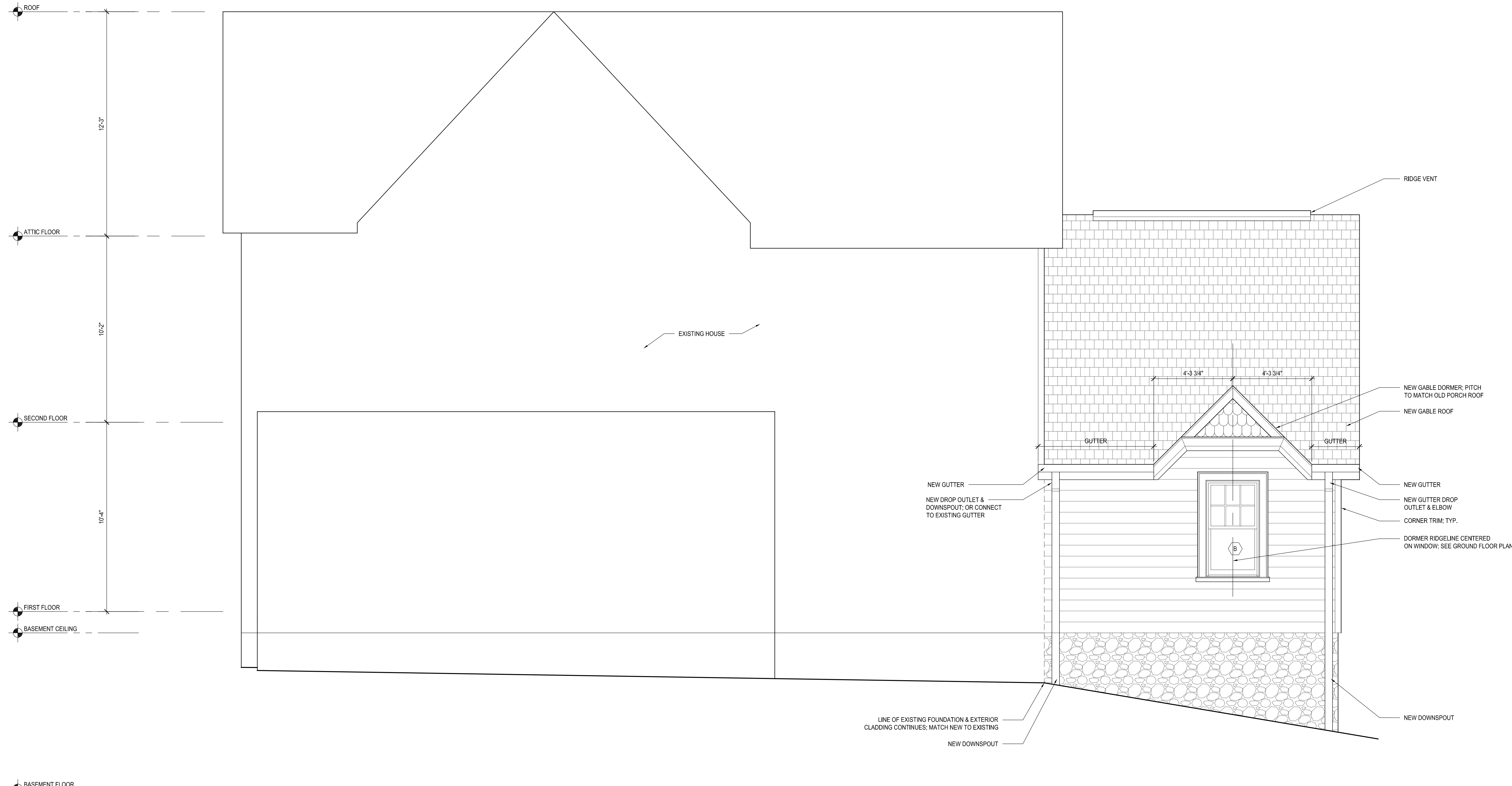


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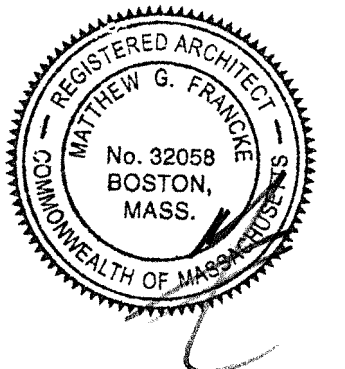
PROPOSED  
ELEVATIONS



1 SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"

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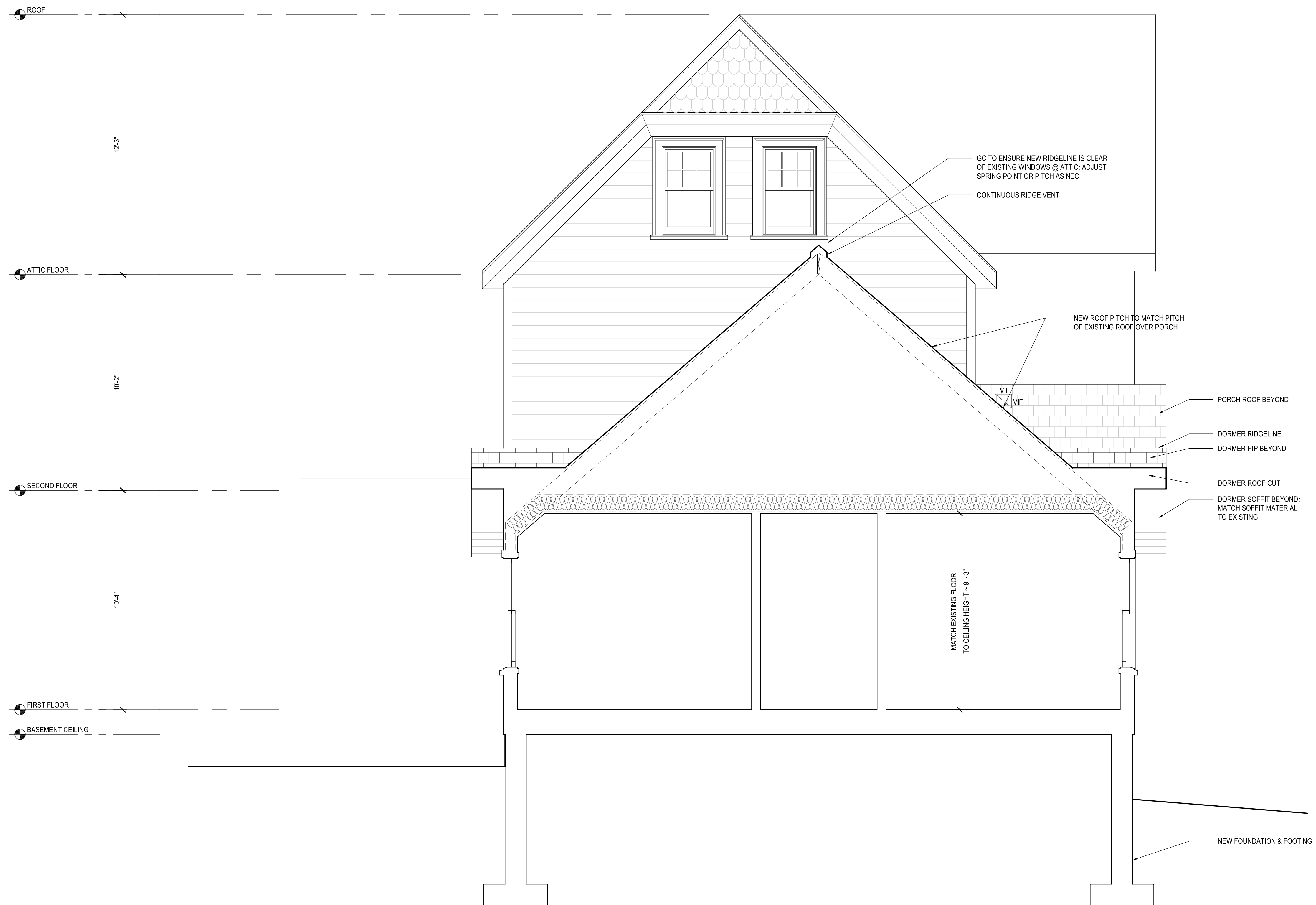


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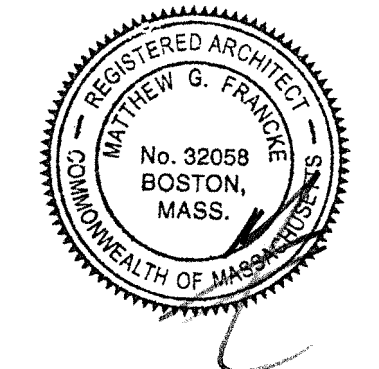
PROPOSED  
ELEVATIONS



1 BUILDING SECTION  
 SCALE: 3/8" = 1'-0"  
 NORTH-SOUTH THRU BEDRMS

CONSULTANTS:

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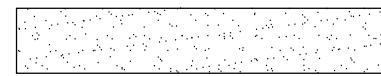




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PROPOSED SECTION



## REFLECTED CEILING PLAN LEGEND

GYPSUM WALL BOARD CEILING	
RECESSED 6" LIGHT	
SMOKE DETECTOR	
CO DETECTOR	
PENDANT LIGHT	

### SMOKE ALARMS

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.

Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

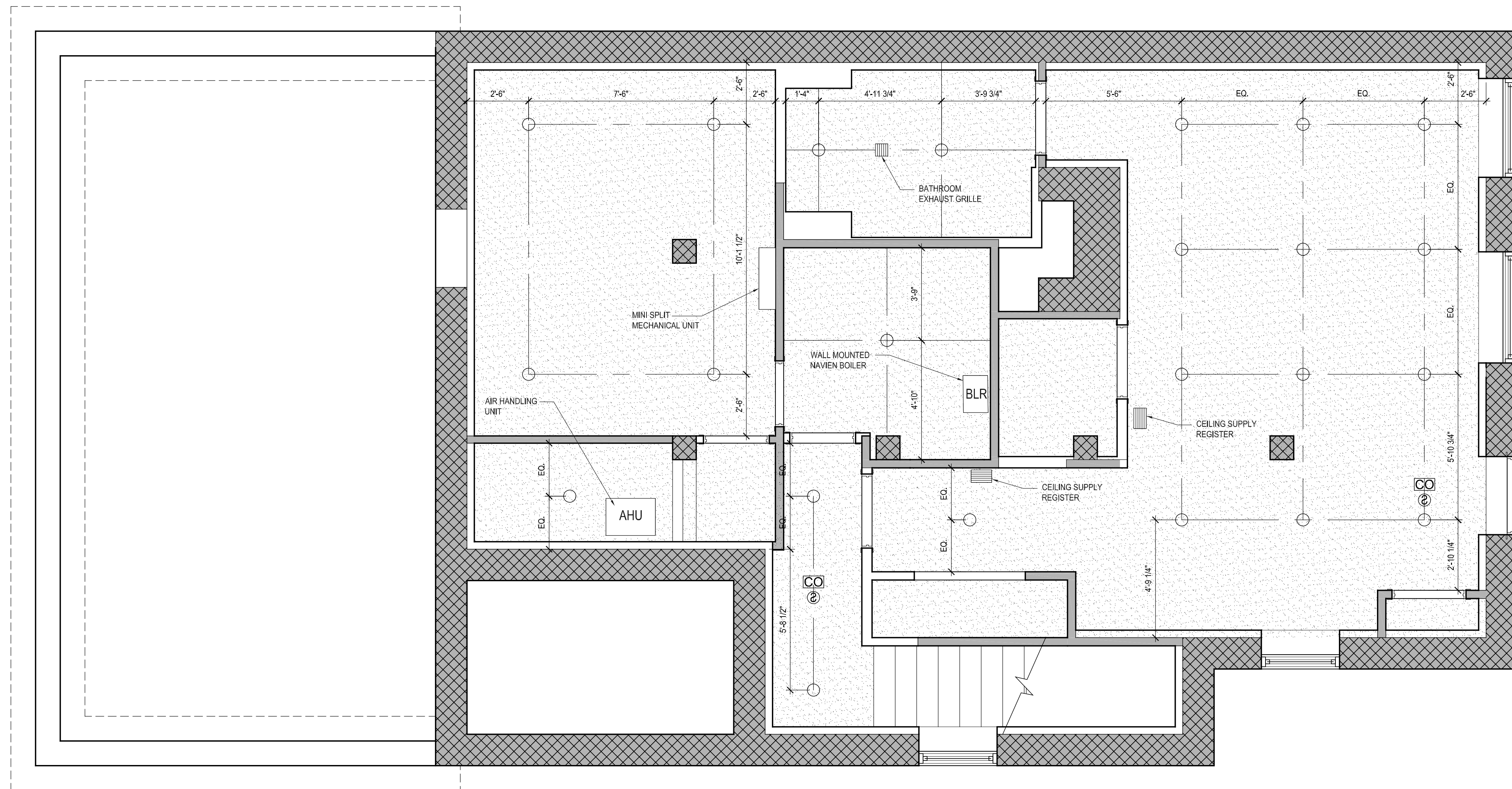
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

### CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.



1 BASEMENT RCP & MECH PLAN  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT



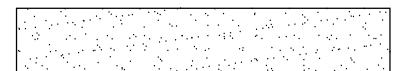




REVISIONS:

PROJECT NAME:  
65  
BEECH GLEN  
ROAD  
ROXBURY, MA  
DATE ISSUED: 02/22/2018  
PROJECT # 17017

RCP &  
MECH PLAN -  
BASEMENT

A700

**REFLECTED CEILING PLAN LEGEND**

- GYPSUM WALL BOARD CEILING 
- RECESSED 6" LIGHT 
- SMOKE DETECTOR 
- CO DETECTOR 
- PENDANT LIGHT 

**SMOKE ALARMS**

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.

Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area within 10'-0" of each bedroom door.
3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

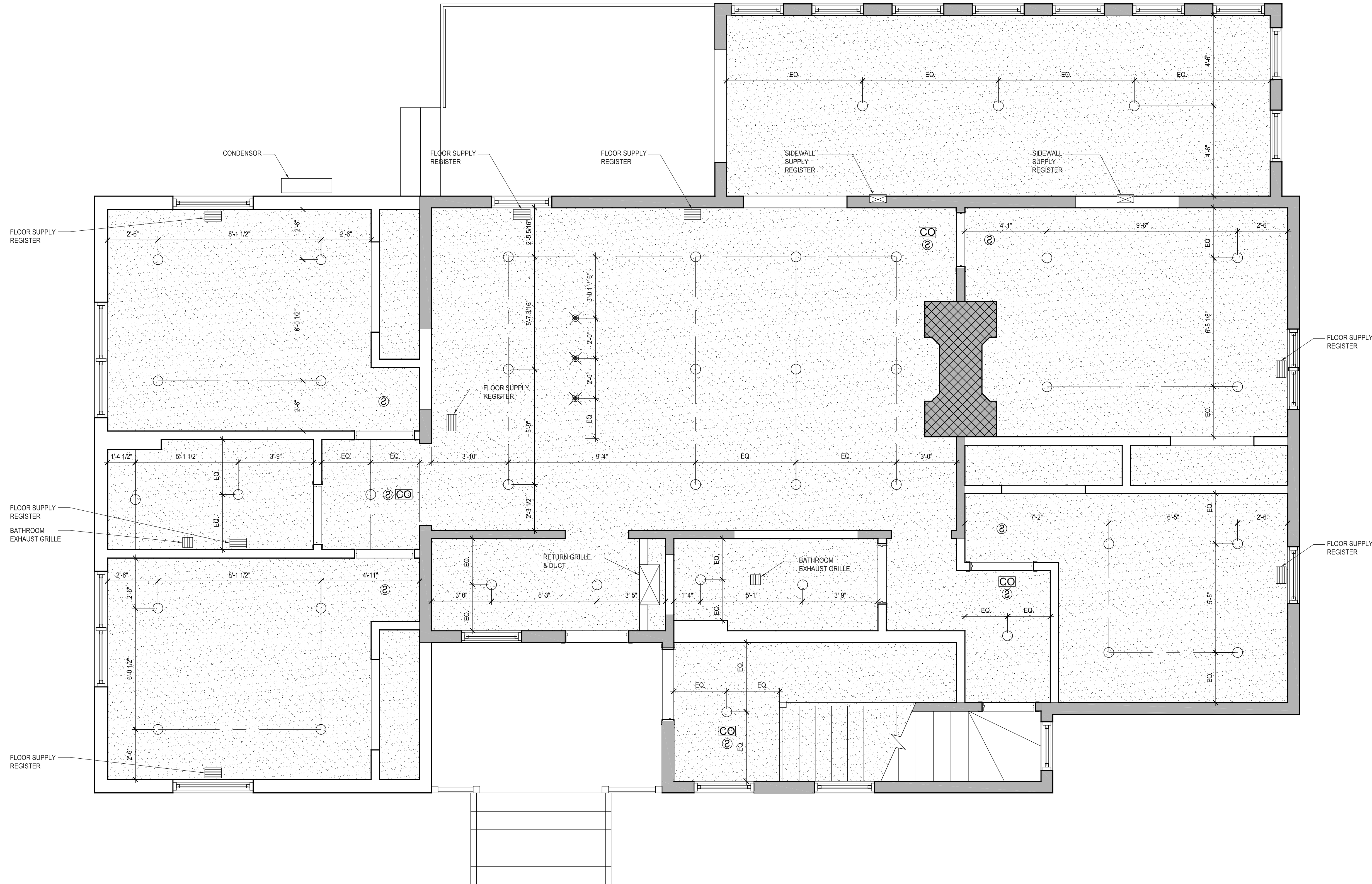
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

**CARBON MONOXIDE ALARMS**

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

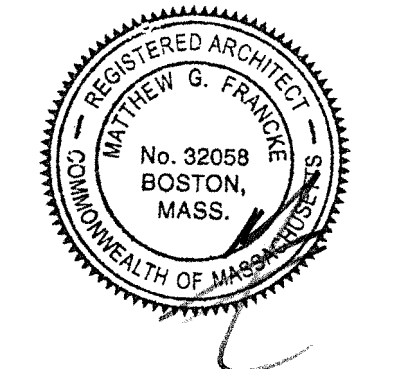
Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.



**1 FIRST FLOOR RCP & MECH PLAN**  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT



REVISIONS:

PROJECT NAME:  
**65 BEECH GLEN ROAD ROXBURY, MA**  
DATE ISSUED: 02/22/2018  
PROJECT # 17017

RCP & MECH PLAN - FIRST FLOOR

# REFLECTED CEILING PLAN LEGEND

GYPSUM WALL BOARD CEILING	
RECESSED 6" LIGHT	
SMOKE DETECTOR	
CO DETECTOR	
PENDANT LIGHT	

## SMOKE ALARMS

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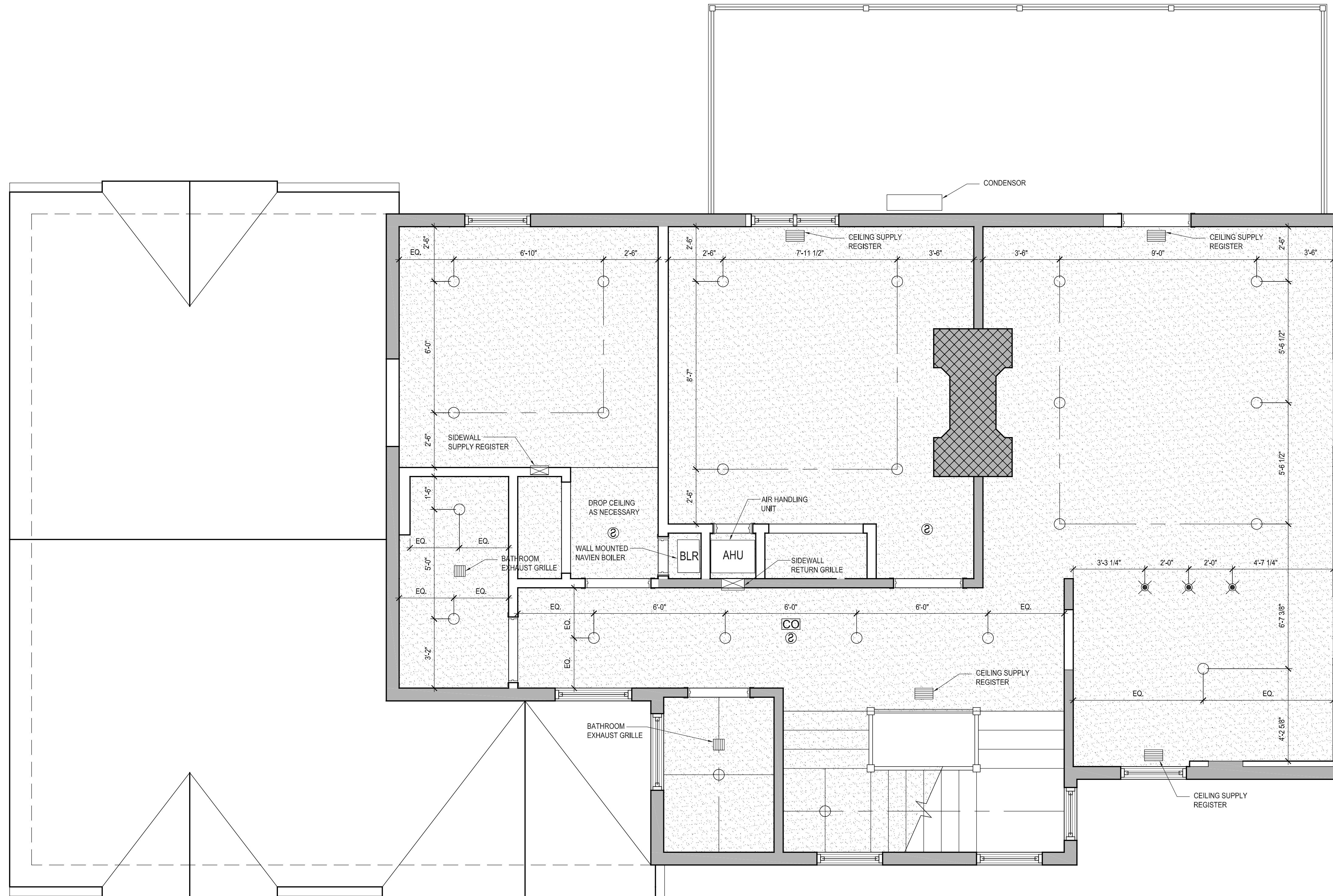
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

## CARBON MONOXIDE ALARMS

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

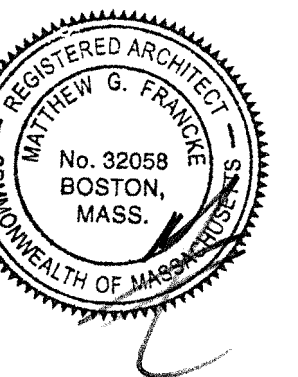
Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.



1 SECOND FLOOR RCP & MECH PLAN  
SCALE: 3/8" = 1'-0"

### CONSULTANTS:

ISSUE FOR PERMIT



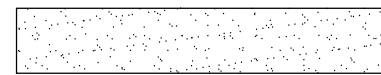




### REVISIONS:

PROJECT NAME:  
65  
BEECH GLEN  
ROAD  
ROXBURY, MA  
DATE ISSUED: 02/22/2018  
PROJECT # 17017

RCP &  
MECH PLAN -  
SECOND FLOOR

A702

**REFLECTED CEILING PLAN LEGEND**

GYPSUM WALL BOARD CEILING	
RECESSED 6" LIGHT	
SMOKE DETECTOR	
CO DETECTOR	
PENDANT LIGHT	

**SMOKE ALARMS**

Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.

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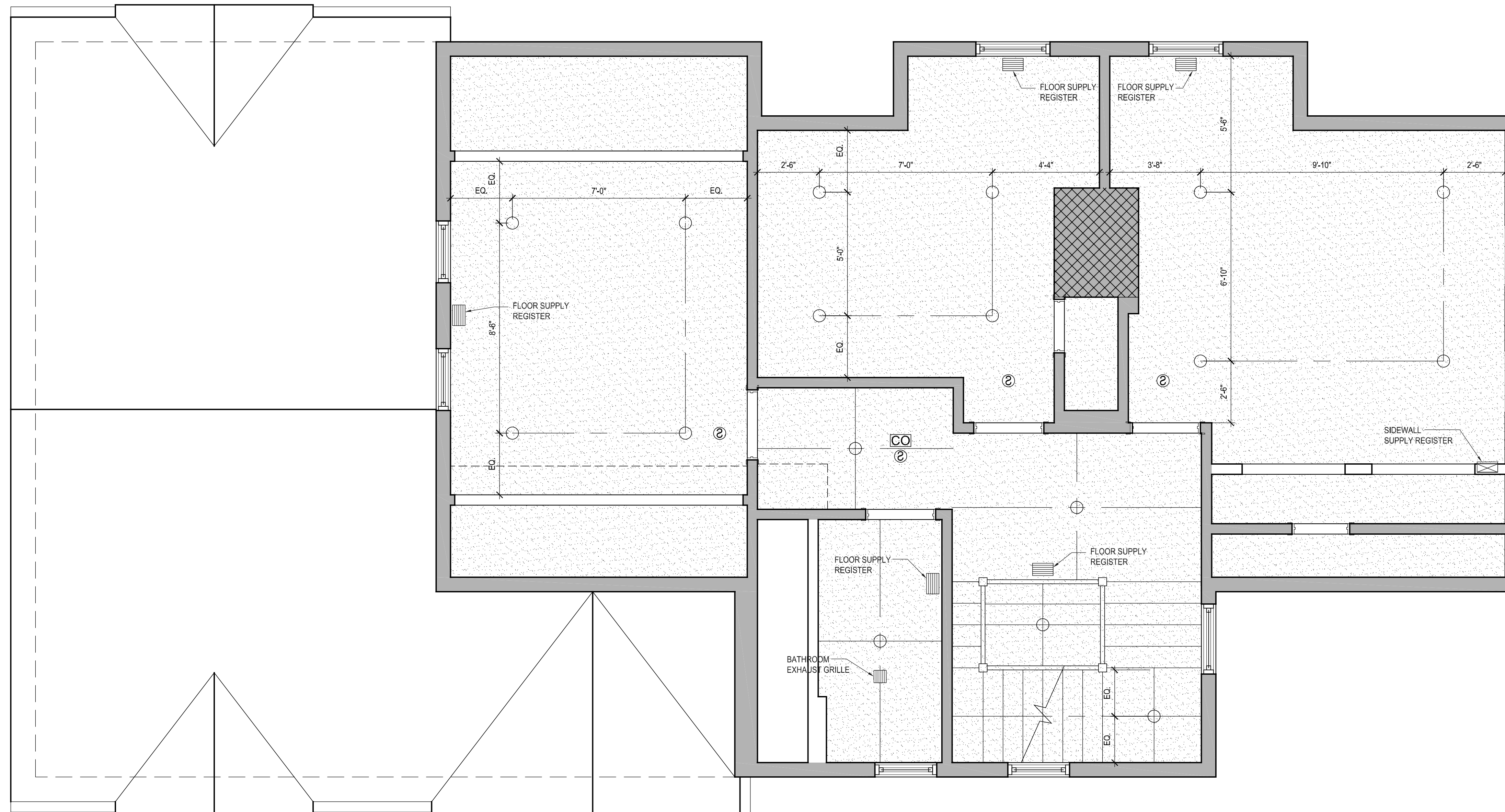
4. In the immediate vicinity of each gas fireplace
5. At the bottom of each stair
6. A heat sensor shall be provided in each garage space

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

**CARBON MONOXIDE ALARMS**

Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

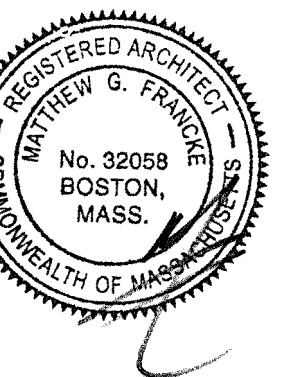
Alarm requirements. Single station carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.



1 THIRD FLOOR RCP & MECH PLAN  
SCALE: 3/8" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT



REVISIONS:

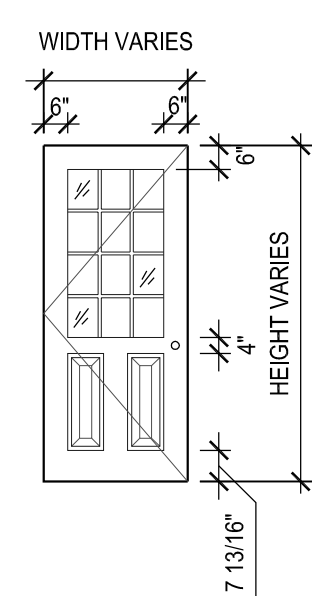
PROJECT NAME:  
65  
BEECH GLEN  
ROAD  
ROXBURY, MA  
DATE ISSUED: 02/22/2018  
PROJECT # 17017

RCP &  
MECH PLAN -  
THIRD FLOOR

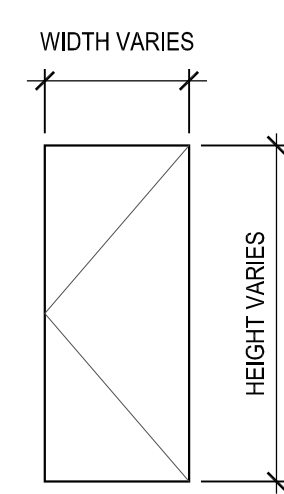
**A703**

EXTERIOR FRAME AND DOOR SCHEDULE - BY DOOR NUMBER												
LOCATION			FRAME DETAILS		DOOR DETAILS					LABEL	HDWR SET	REMARKS
DOOR	FLOOR	ROOM NAME	ELEV	MATL	ELEV	MATL	WIDTH	HGT	THK			
001	B	BASEMENT ENTRY	AA	WD	A	WD	2'-10"	6'-8"	1-3/4"	--		
101	1	RESIDENTIAL ENTRY	AA	WD	A	WD	3'-0"	6'-8"	1-3/4"	--		
102	1	RESIDENTIAL ENTRY	AA	WD	A	WD	3'-0"	6'-8"	1-3/4"	--		
101B	1	DECK	AA	WD	C	WD	2'-10"	6'-8"	1-3/4"	--		DOUBLE SLIDING DOOR
201B	2	DECK	AA	WD	C	WD	3'-0"	6'-8"	1-3/4"	--		

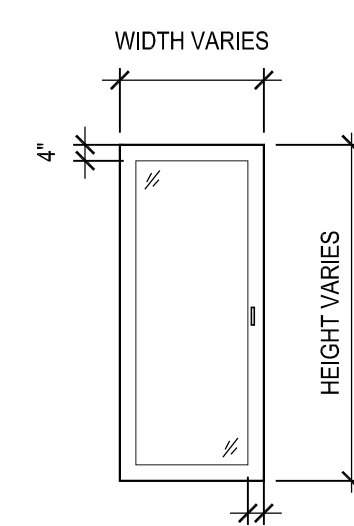
INTERIOR FRAME AND DOOR SCHEDULE - BY DOOR NUMBER												
LOCATION			FRAME DETAILS		DOOR DETAILS					LABEL	HDWR SET	REMARKS
DOOR	ROOM NAME	ELEV	MATL	ELEV	MATL	WIDTH	HGT	THK				
A	BEDROOM/STUDY	AA	WD	A	WD	2'-10"	6'-8"	1-3/4"	--			
B	BATHROOM	AA	WD	A	WD	2'-10"	6'-8"	1-3/4"	--			
C24	CLOSET	AA	WD	A	WD	2'-0"	6'-8"	1-3/4"	--			
C34	CLOSET	AA	WD	A	WD	2'-10"	6'-8"	1-3/4"	--			
C48	CLOSET	AA	WD	A	WD	2'-0"	6'-8"	1-3/4"	--			
C52	CLOSET	AA	WD	A	WD	2'-2"	6'-8"	1-3/4"	--			
D	STAIRS/STORAGE/UTILITY	AA	WD	A	WD	2'-6"	6'-8"	1-3/4"	--			
E60	SUNROOM	AA	WD	C	WD	2'-6"	6'-8"	1-3/4"	--			



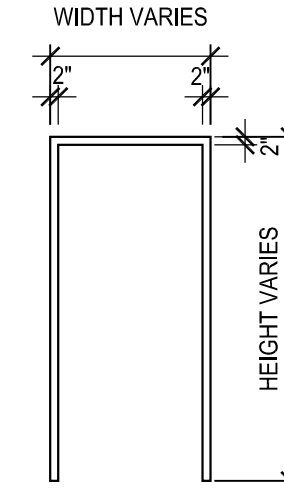
**A** DOOR ELEVATION A  
SCALE: 1/4" = 1'-0"



**B** DOOR ELEVATION B  
SCALE: 1/4" = 1'-0"



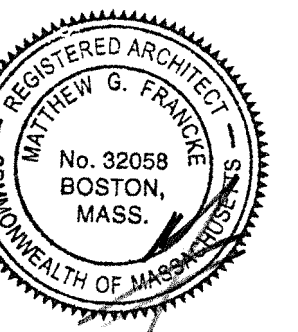
**C** DOOR ELEVATION C  
SCALE: 1/4" = 1'-0"



**AA** DOOR ELEVATION AA  
SCALE: 1/4" = 1'-0"

CONSULTANTS:

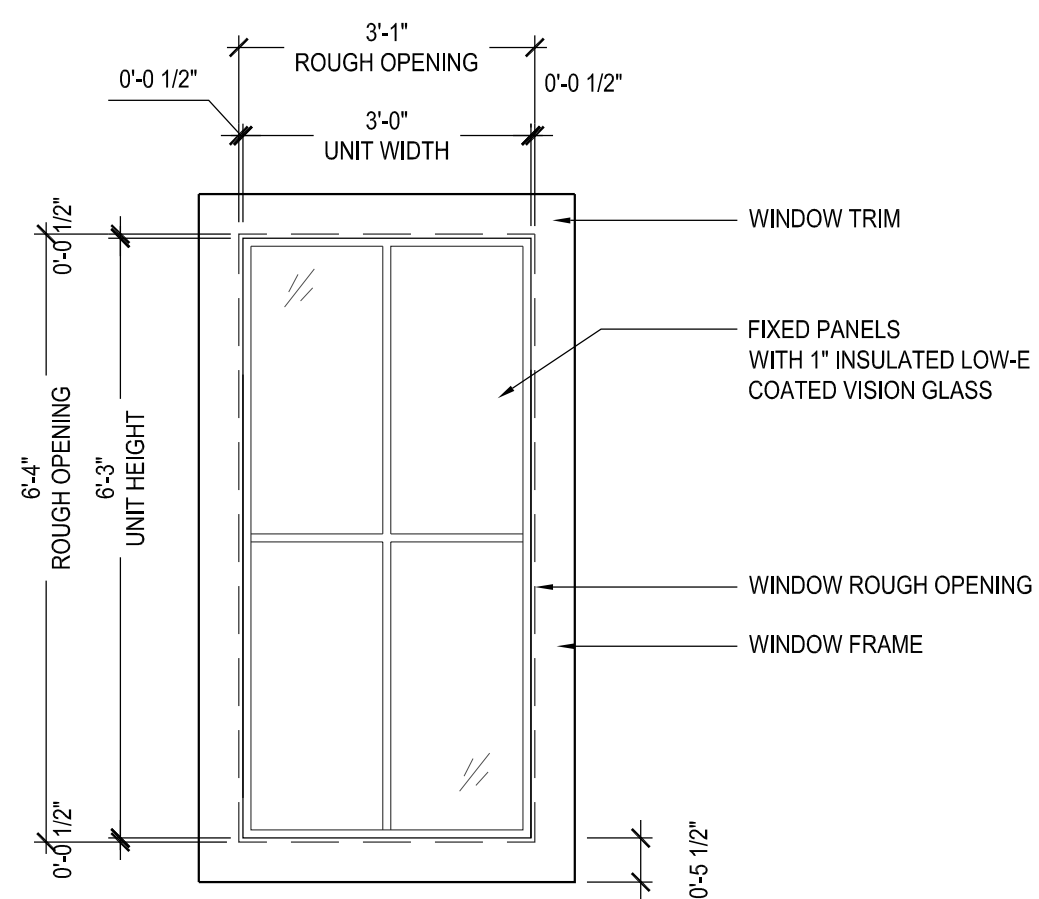
ISSUE FOR PERMIT



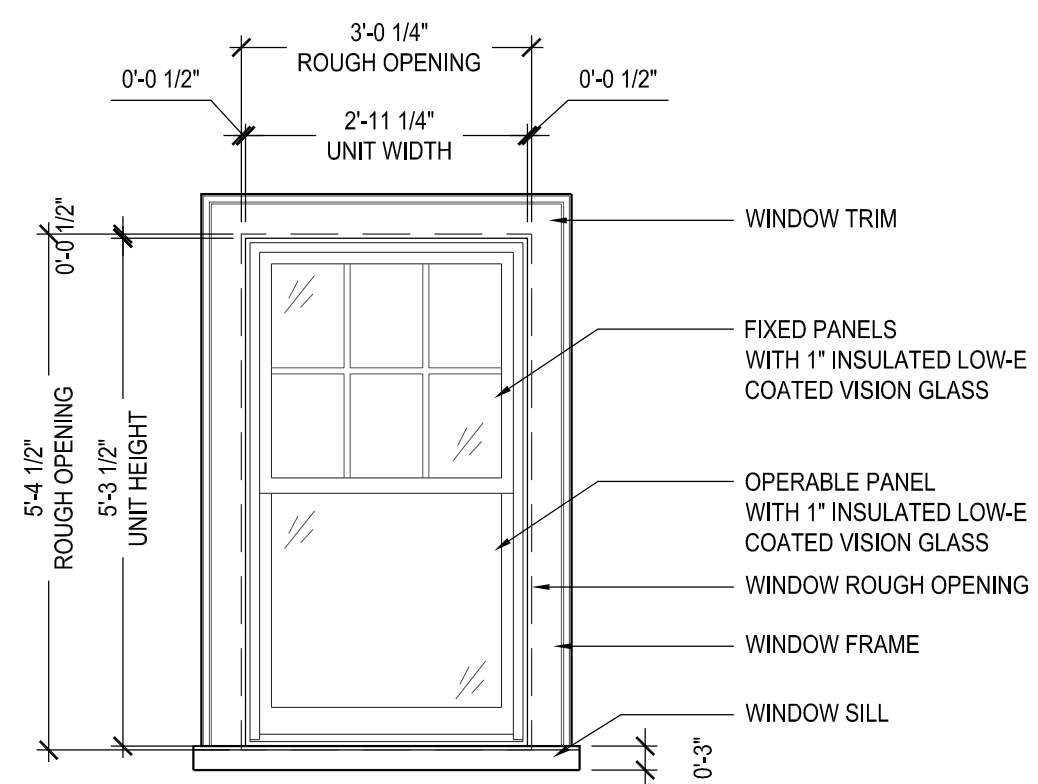
REVISIONS:

PROJECT NAME:  
65  
BEECH GLEN  
ROAD  
ROXBURY, MA  
DATE ISSUED: 02/22/2018  
PROJECT # 17017

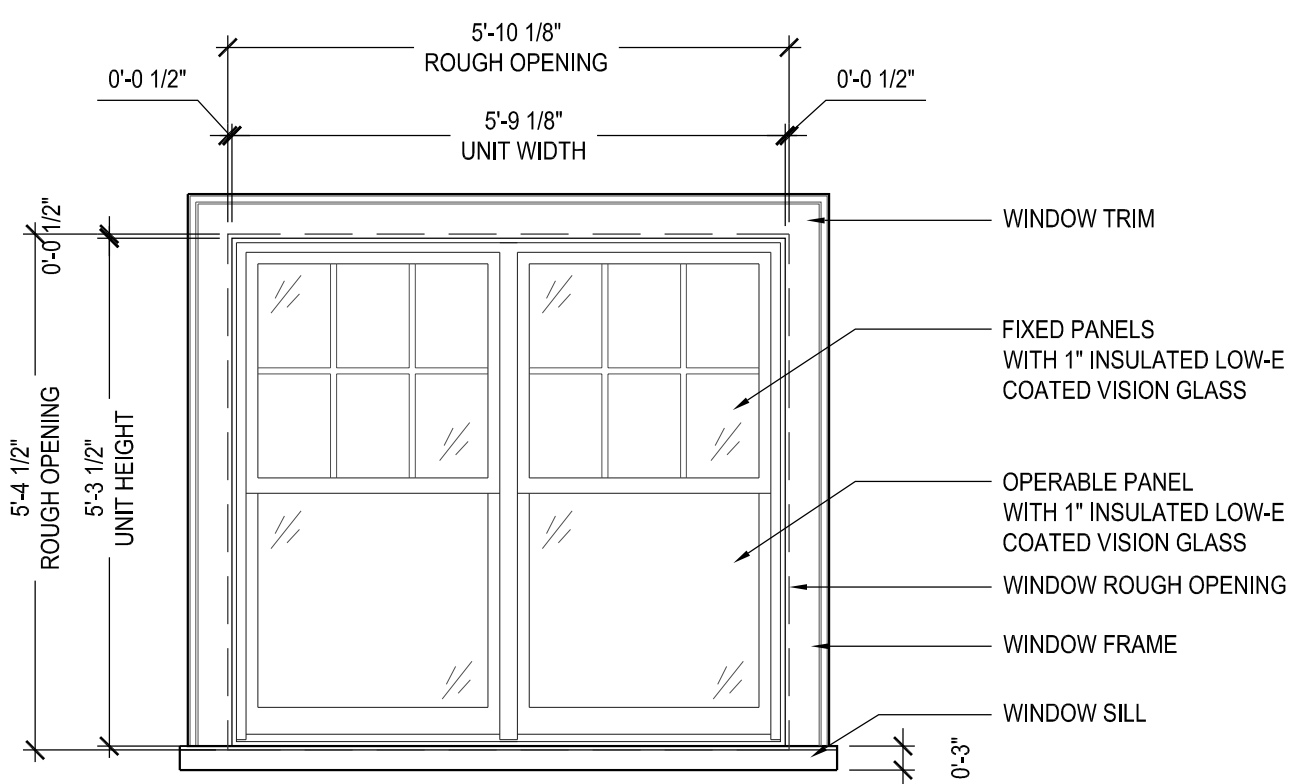
DOOR  
SCHEDULE



**A** WINDOW TYPE A  
SCALE: 1/2" = 1'-0"



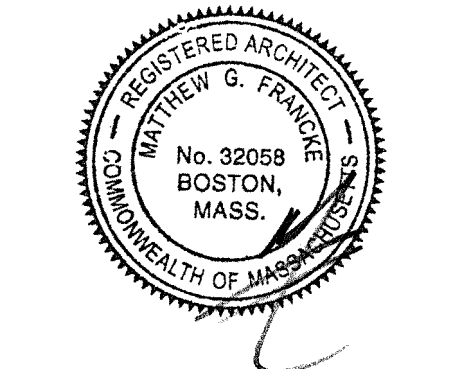
**B** WINDOW TYPE B  
SCALE: 1/2" = 1'-0"



**C** WINDOW TYPE C  
SCALE: 1/2" = 1'-0"

CONSULTANTS:

ISSUE FOR PERMIT



REVISIONS:


PROJECT NAME:  
**65 BEECH GLEN ROAD ROXBURY, MA**  
DATE ISSUED: 02/22/2018  
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WINDOW SCHEDULE

**STRUCTURAL DESIGN CRITERIA**

1. THE STRUCTURAL DESIGN IS BASED ON THE 2009 INTERNATIONAL RESIDENTIAL CODE AND THE MASSACHUSETTS AMENDMENTS.

2. LIVE LOADS:

RESIDENTIAL SLEEPING ROOMS	30 PSF
RESIDENTIAL OTHER THAN SLEEPING ROOMS	40 PSF
STAIRS	40 PSF
BALCONIES AND EXTERIOR DECKS	40 PSF

3. DEAD LOADS:

WEIGHT OF MATERIALS	
ME/P PLUS MISC	3 PSF

4. SNOW LOADS:

BASIC GROUND SNOW, P <sub>g</sub>	40 PSF
FLAT ROOF SNOW, P <sub>f</sub>	28 PSF
C <sub>e</sub>	1.0
C <sub>i</sub>	1.1
I	1.0
DRIFT	AS APPLICABLE PER CODE

5. WIND LOAD:

BASIC WIND SPEED	100 MPH
W <sub>0</sub>	II
BUILDING CATEGORY	B
EXPOSURE	II

WOOD: 1. WOOD MEMBERS SHALL BE AS PER THE DRAWINGS. MEMBERS OF EQUIVALENT STRENGTH AND STIFFNESS MAY BE SUBSTITUTED IF PERMITTED BY THE ARCHITECT/ENGINEER. USE SPRUCE PINE FIR NO. 2 AS A MINIMUM, UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

2. WALLS (UNLESS NOTED OTHERWISE):

INTERIOR BEARING WALL	2x6 @ 16" O.C. SPF, NO.2
EXTERIOR WALL	2x4 @ 16" O.C. SPF, NO.2
INTERIOR PARTITION WALL	4x4 OR 6x6 SPF, NO.2, UNLESS NOTED OTHERWISE
INTERIOR POST IN WALL	4x4 OR 6x6 SPF, NO.2, UNLESS NOTED OTHERWISE

3. PLYWOOD AND OTHER SIMILAR SHEATHING MATERIALS SHALL BE AS PER THE DRAWINGS. APA RATED MATERIALS SHALL BE USED. THE STRONG AXIS OF SHEATHING MATERIALS SHALL RUN PERPENDICULAR TO THE JOIST AND WALL MEMBERS.

4. EXTERIOR PLYWOOD SHEATHING SHALL BE A MINIMUM IF 1/2" APA RATED. EXPOSURE 1 SHEATHING NAILED TO THE WALL FRAMING W/ 8d NAILS AT 6 INCH CENTERS AT PANEL EDGES AND 12 INCH CENTERS AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. SEE SECTION R602.10.8 FOR PANEL JOINTS AT BRACED WALL PANELS.

5. FLOOR PLYWOOD SHEATHING SHALL BE A MINIMUM OF 3/4" PLYWOOD NAILED TO THE FLOOR FRAMING W/ 8d NAILS AT 6 INCH CENTERS AT PANEL EDGES AND 12 INCH CENTERS AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.

6. HANGERS, CLIPS, ETC SHALL BE AS PER THE DRAWINGS. CONTRACTOR TO BRING ANY UNIDENTIFIED HANGARS, ETC TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.

7. ALL ENGINEERED LUMBER SHOWN ON THE DRAWINGS ARE STANDARD SIZE DEPTH AND THICKNESS. IF SIZES SHOWN ON THE DRAWINGS APPEAR TO REQUIRE MODIFICATION TO ACQUIRE THE DEPTH AND/OR THICKNESS SHOWN ON THE DRAWINGS CONTACT THE ENGINEER FOR CLARIFICATION.

8. USE ENGINEERED LUMBER MANUFACTURERS GUIDELINES FOR MEMBER WEB OR FLANGE PENETRATIONS, MAXIMUM ALLOWED NOTCHES, BRIDGING REQUIREMENTS, INTERIOR AND EXTERIOR BEARING REQUIREMENTS, ETC.

9. CONTACT THE ENGINEER REGARDING ALL DIMENSIONAL LUMBER PENETRATIONS, NOTCHES, ETC.

10. ALL TIMBER POST TO BEAM CONNECTIONS TO RECEIVE SIMPSON TP311 PLATES ON EACH SIDE U.N.O.

11. HEADERS SHALL HAVE A MINIMUM OF (2) JACK STUDS UNLESS OTHERWISE NOTED.

12. BUILT-UP LVL BEAMS SHALL BE FASTENED TOGETHER AS FOLLOWS:

13.1. (2)-PLY LVL - (2) ROWS OF 10d NAILS SPACED AT 12" O.C. OR (2) ROWS OF TRUSSLOKS SPACED AT 24" O.C.

13.2. (3)-PLY LVL - (3) ROWS OF 10d NAILS SPACED AT 12" O.C. EACH SIDE OF BEAM OR (2) ROWS OF 5" LONG TRUSSLOKS SPACED AT 24" O.C.

13.3. (4)-PLY LVL - (2) ROWS OF 6-3/4" LONG TRUSSLOKS SPACED AT 24" O.C.

14. CONTRACTOR IS RESPONSIBLE FOR ORDERING SKEWABLE HANGERS AS REQUIRED.

**FOUNDATIONS**

1. ASSUMED BEARING CAPACITY IS 3000 PSF. WHEN EXCAVATION FOR FOUNDATIONS STARTS CONTRACTOR SHALL CONTACT ENGINEER TO ALLOW ENGINEER TO OBSERVE IN SITU SOIL CONDITIONS. IF SOIL APPEARS TO HAVE BEARING CAPACITY LESS THAN ASSUMED VALUE, ARCHITECT WILL EVALUATE FOUNDATION DESIGN AND INFORM CONTRACTOR OF DESIGN IMPACT.

2. DO NOT PLACE FOOTINGS ON FROZEN GROUND OR IN WATER.

3. PLACE FOOTINGS ON UNDISTURBED MATERIAL. COMPACT MATERIALS AS REQUIRED.

4. CONTRACTOR IS RESPONSIBLE FOR PROPERLY BRACING FOUNDATION WALLS DURING BACKFILLING OPERATIONS.

5. SILL ANCHOR PLACEMENT TO BE AS FOLLOWS:

A. NO LESS THAN (2) ANCHORS PER PLATE SECTION.

B. PLACE BOLTS NO LESS THAN 3-1/2" AND NO MORE THAN 12" FROM END OF PLATE.

**REINFORCED CONCRETE**

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.

2. ALL REINFORCING BARS TO BE ASTM A615.

3. CONTRACTOR TO PROTECT CONCRETE FROM DAMAGE DUE TO FREEZING OR HIGH TEMPERATURES.

4. CONCRETE COVER SHALL BE PER LATEST ACI REQUIREMENTS.

5. LAP BARS PER LATEST ACI REQUIREMENTS.

6. DO NOT EXPOSE CONCRETE TO ANY CALCIUM CHLORIDES PRIOR OR DURING CONSTRUCTION.

7. PLACE CONCRETE SLAB ON 2" RIGID INSULATION AND VAPOR BARRIER.

8. IF THE FLOOR ABOVE THE SLAB IS IN PLACE AT THE TIME OF SLAB INSTALLATION, PLACE A 3/4" LAYER OF SAND ON THE CRUSHED STONE FOLLOWED BY A 10 MIL VAPOR BARRIER. OTHERWISE PLACE A 3/4" LAYER OF SAND ON THE CRUSHED STONE FOLLOWED BY A 10 MIL VAPOR BARRIER BELOW THE CONCRETE SLAB.

**CONTRACTORS RESPONSIBILITIES:**

1. G.C. TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD. IF THERE ARE ANY QUESTIONS, CONSULT WITH THE ENGINEER IMMEDIATELY.

2. THE G.C. IS RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS AND THESE DRAWINGS. ANY DISCREPANCIES OR INCONSISTENCIES MUST BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BEGINNING CONSTRUCTION.

3. PERMITS AND INSPECTIONS MUST BE OBTAINED AND SCHEDULED BY THE G.C. THE G.C. SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THIS WORK.

4. PROPERTY INSURANCE AND LIABILITY INSURANCE MUST BE RETAINED BY THE GENERAL CONTRACTOR.

5. G.C. IS RESPONSIBLE FOR ALL TEMPORARY SHORING, BRIDGING, AND ANY OTHER ACTIVITY REQUIRED AS PART OF THE MEANS & METHODS OF CONSTRUCTION.

6. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE STANDARDS INDICATED IN THESE DRAWINGS, IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, IN CONFORMANCE WITH THE REQUIREMENTS OF LOCAL BUILDING OFFICIALS, AND IN CONFORMANCE WITH GENERALLY ACCEPTED STANDARDS OF GOOD WORKMANSHIP AND GOOD BUILDING PRACTICE IN THIS REGION.

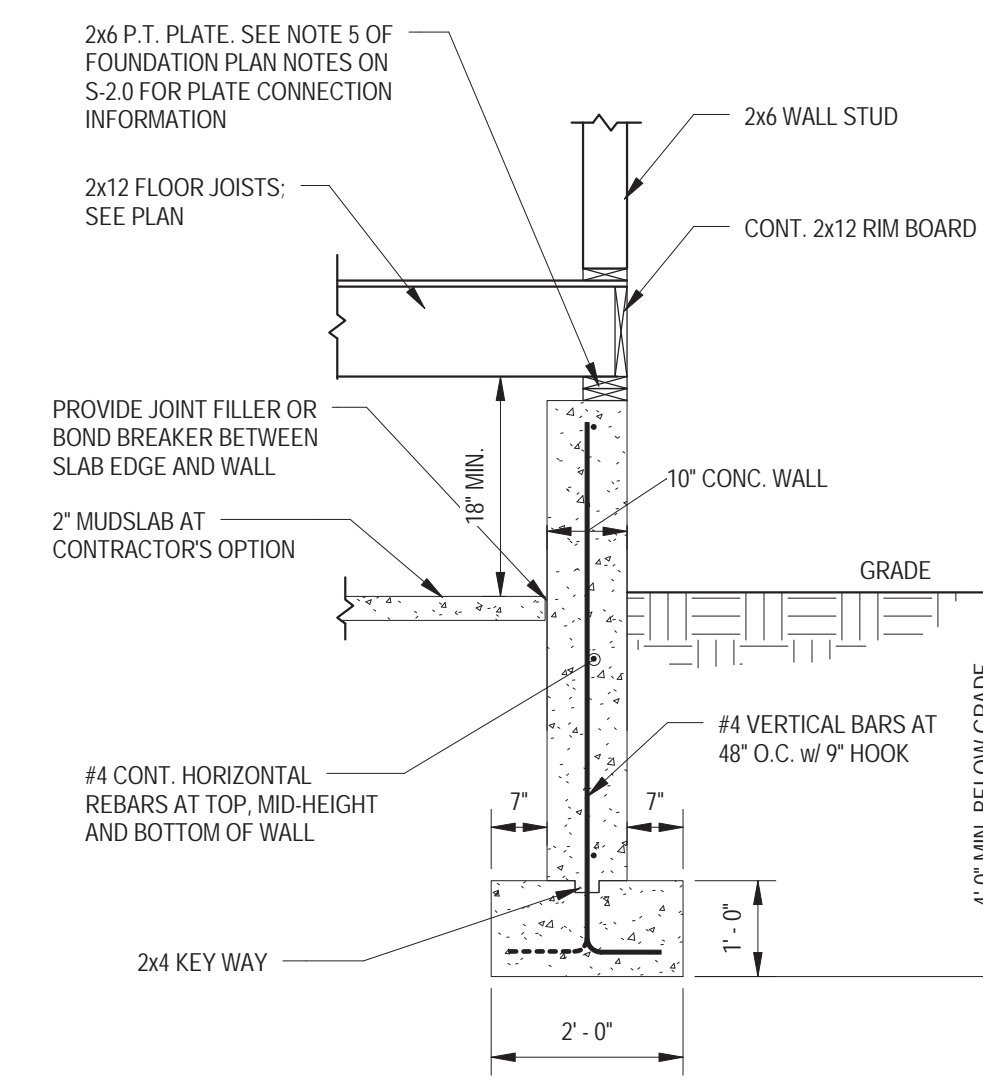
7. ALL CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL BUILDING CODES.

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER <sup>a,b,c</sup>	SPACING OF FASTENERS
<b>Roof</b>			
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 1/2" x 0.113")	---
2	Ceiling joists to plate, toe nail	3-8d (2 1/2" x 0.113")	---
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	---
4	Collar tie rafter, face nail or 1 1/4" x 20 gage ridge strap	3-10d (3" x 0.128")	---
5	Rafter to plate, toe nail	2-16d (3 1/2" x 0.135")	---
6	Roof rafters to ridge, valley or hip rafters	---	---
	toe nail	4-16d (3 1/2" x 0.135")	---
	face nail	3-16d (3 1/2" x 0.135")	---
<b>Wall</b>			
7	Built-up corner studs	10d (3" x 0.128")	24" o.c.
8	Built-up header, two pieces with 1/2" spacer	16d (3 1/2" x 0.135")	16" o.c. along each edge
9	Continued header, two pieces	16d (3 1/2" x 0.135")	16" o.c. along each edge
10	Continuous header to stud, toe nail	4-8d (2 1/2" x 0.113")	---
11	Double studs, face nail	10d (3" x 0.128")	24" o.c.
12	Double top plates, face nail	10d (3" x 0.128")	24" o.c.
13	Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d (3 1/2" x 0.135")	---
14	Sole plate to joist or blocking, face nail	16d (3 1/2" x 0.135")	16" o.c.
15	Sole plate to joist or blocking at braced wall panels	3-16d (3 1/2" x 0.135")	16" o.c.
16	Stud to sole plate, toe nail	3-8d (2 1/2" x 0.113") or 2-16d (3 1/2" x 0.135")	---
17	Top or sole plate to stud, end nail	2-16d (3 1/2" x 0.135")	---
18	Top plates, laps at corners and intersections, face nail	2-10d (3" x 0.128")	---
19	1" brace to each stud and plate, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/4"	---
20	1" x 6" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/4"	---
21	1" x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 3 staples 1 1/4"	---
22	Wider than 1" x 8" sheathing to each bearing, face nail	3-8d (2 1/2" x 0.113") 4 staples 1 1/4"	---
<b>Floor</b>			
23	Joist to sill or girder, toe nail	3-8d (2 1/2" x 0.113")	---
24	1" x 6" subfloor or less to each joist, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/4"	---
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 1/2" x 0.135")	---
26	Rim joist to top plate, toe nail (roof applications also)	8d (2 1/2" x 0.113")	6" o.c.
27	2" planks (plank & beam - floor & roof)	2-16d (3 1/2" x 0.135")	at each bearing
28	Built-up girders and beams, 2-inch lumber layers	10d (3" x 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
29	Ledger strip supporting joists or rafters	3-16d (3 1/2" x 0.135")	At each joist or rafter

ITEM	DESCRIPTION OF BUILDING	DESCRIPTION OF FASTENER <sup>b,c,e</sup>	SPACING OF FASTENERS	
			Edges (inches) <sup>f</sup>	Intermediate supports <sup>g</sup> (inches)
<b>Wood structural panels, subfloor, roof and interior wall sheathing to framing and particle board wall sheathing to framing</b>				
30	3/8" - 1 1/2"	6d common (2" x 0.113") nail (subfloor wall)	6	12 <sup>h</sup>
31	3/8" - 1"	8d common (2 1/2" x 0.131") nail (roof) <sup>i</sup>	6	12 <sup>h</sup>
32	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6	12
<b>Other wall sheathing<sup>h</sup></b>				
33	1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/16" crown or 1" crown staple 16 ga., 1 1/4" long	3	6
34	5/8" structural cellulose fiberboard sheathing	1 3/4" galvanized roofing nail, 1/16" crown or 1" crown staple 16 ga., 1 1/2" long	3	6
35	1/2" gypsum sheathing <sup>d</sup>	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/4" screws, Type W or S	7	7
36	5/8" gypsum sheathing <sup>d</sup>	1 3/4" galvanized roofing nail; staple galvanized, 1 3/8" long; 1 3/8" screws, Type W or S	7	7
<b>Wood structural panel, combination subfloor underlayment to framing</b>				
37	3/4" and less	6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6	12

FOR SI: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 MILE PER HOUR = 0.447 M/S; 1 KSI = 6.895 MPA.

- A. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (20D COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.
- B. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH.
- C. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- D. FOUR-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- E. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
- F. FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER: 8D DEFORMED (1 1/2" x 0.120) NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIMUM.
- G. FOR REGIONS HAVING BASIC WIND SPEED OF 100 MPH OR LESS: NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100 MPH, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
- H. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.
- I. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.



1 TYP. FOUNDATION WALL SECTION  
1/2" = 1'-0"

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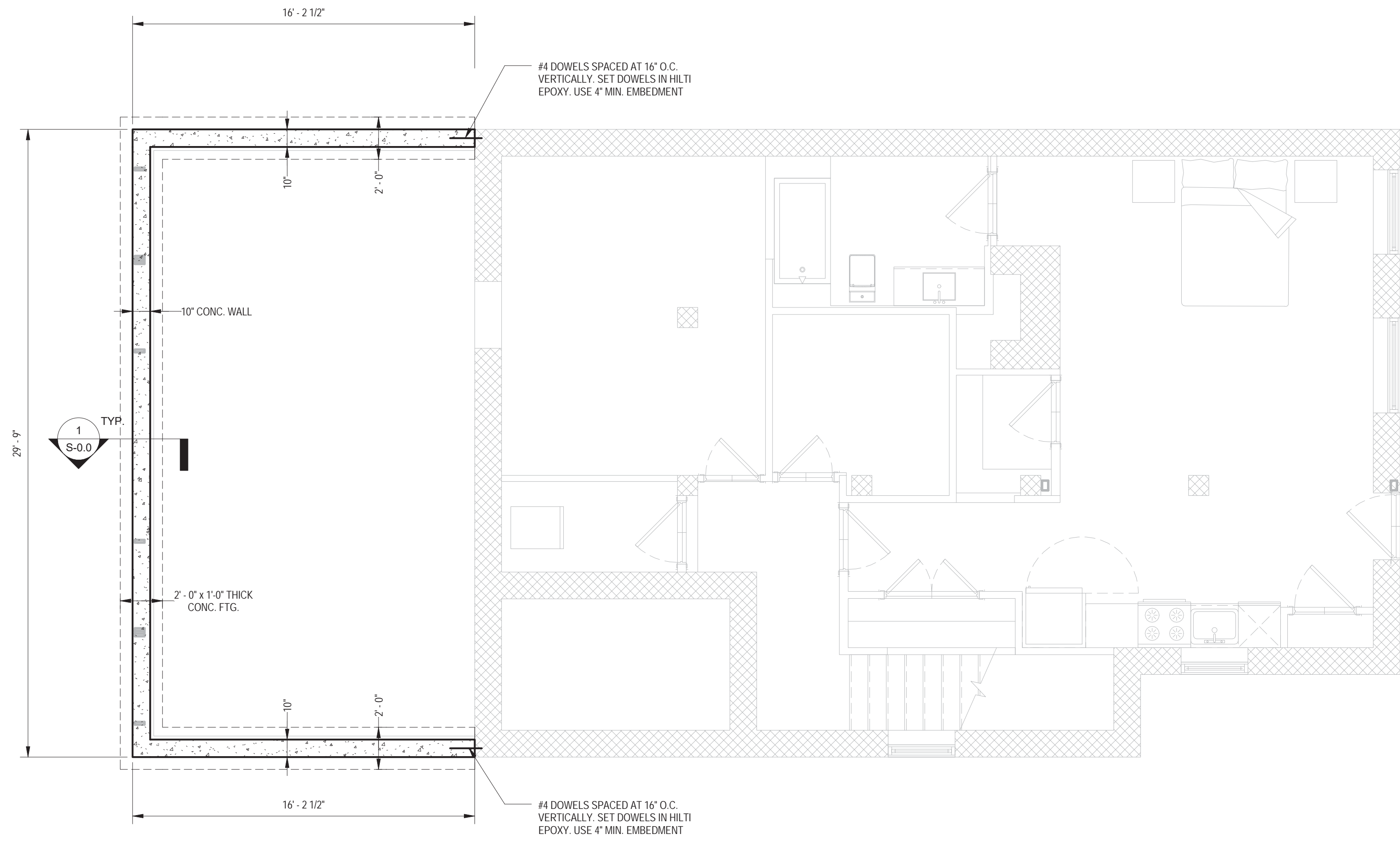

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**ROXBURY, MA**

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**STRUCTURAL NOTES**



**FOUNDATION PLAN NOTES:**

1. FOR TYPICAL FOUNDATION SECTIONS AND DETAILS SEE S-0.0
2. VERIFY DIMENSIONS IN THE FIELD
3. CONNECT P.T. PLATE TO TOP OF CONCRETE WALLS WITH 1/2"Ø ANCHOR BOLTS W/ 7" MIN. EMBEDMENT SPACED AT 6'-0" O.C. MAXIMUM AND WITHIN 12" OF THE ENDS OF WALL AND NOT LESS THAN 3-1/2" FROM END OF PLATE.

① FOUNDATION PLAN  
1/4" = 1'-0"

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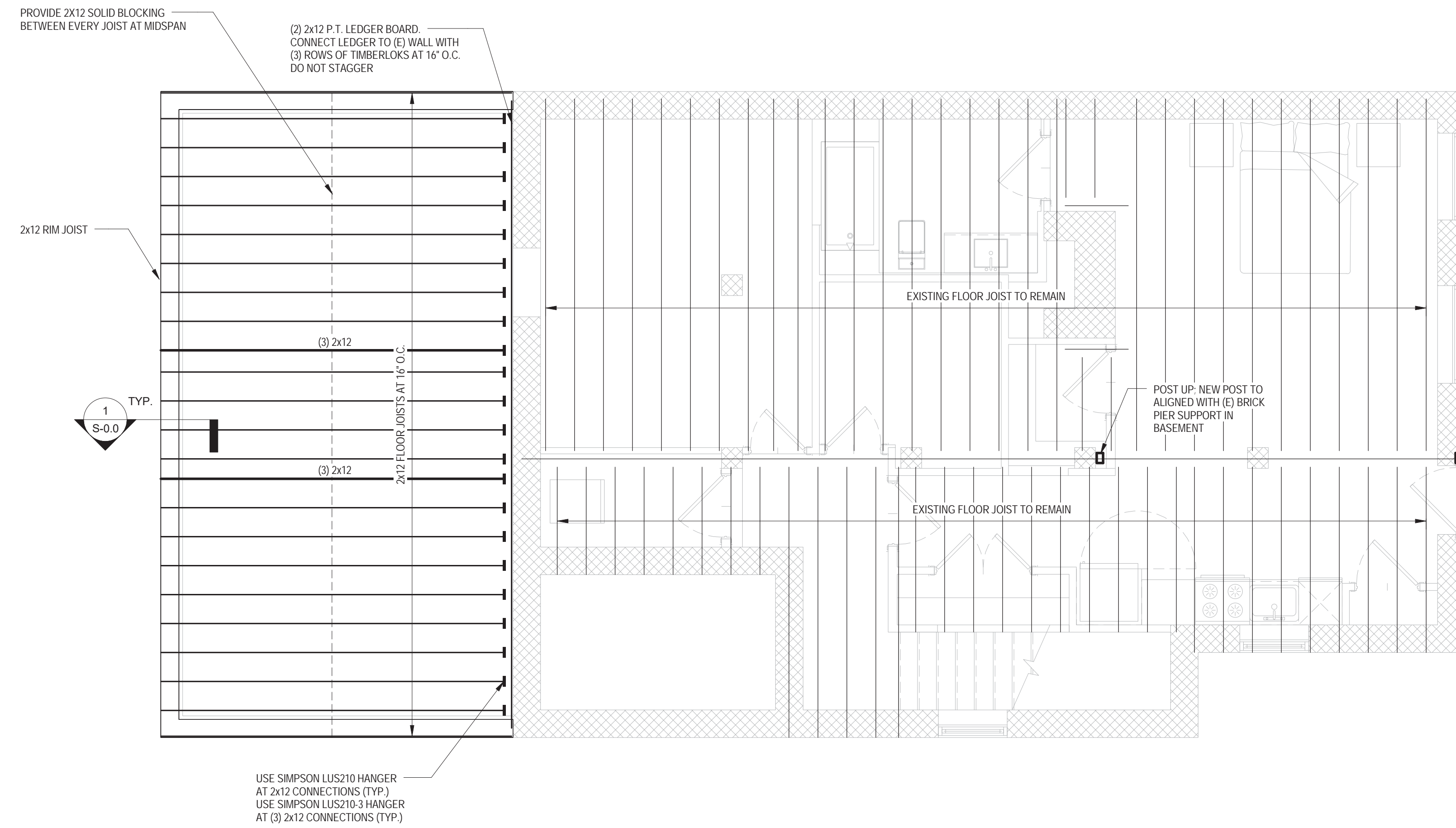
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FOUNDATION  
PLAN





- FLOOR FRAMING PLAN NOTES:**
- FOR NEW FLOOR USE 3/4" FLOOR SHEATHING. ATTACH SHEATHING TO FRAMING WITH 6d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS
  - FOR NEW WALL USE 1/2" MIN. APA RATED WALL SHEATHING. ATTACH SHEATHING TO FRAMING WITH 6d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS
  - FLOOR SHEATHING STRONG AXIS (LONG DIMENSION OF SHEET) RUNS PERPENDICULAR TO FLOOR JOISTS
  - WHERE 2x FRAMING RUNS PARALLEL TO SHEATHING STRONG AXIS, SOLID BLOCKING IS PROVIDED TO SUPPORT SHEATHING. NAIL SHEETS TO MAIN FRAMING AND BLOCKING IN THESE AREAS. SPACE ALL NAILS AT 6" O.C. IN THESE AREAS.
  - USE SIMPSON LUS210 HANGERS AT 2x10 JOISTS, UNLESS NOTED OTHERWISE
  - SEE FRAMING PLANS FOR POST LOCATIONS. POST AND JACK STUDS SHOULD EXTEND DOWN CONTINUOUSLY TO THE FOUNDATION WALL UNLESS INTERRUPTED BY A BEAM OR JACK STUDS.
  - PROVIDE SOLID WOOD BLOCKING WITHIN FLOOR FRAMING AT ALL POST AND JACK STUDS LOCATIONS
  - COORDINATE FLOOR ELEVATIONS WITH ARCHITECTURAL DRAWINGS.

1 FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"

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FIRST FLOOR  
FRAMING PLAN



OVERLAP JOISTS 8" MINIMUM AT CEILING JOIST SPLICE. USE (8) 10d NAILS AT EA. LAP JOINT

- FLOOR FRAMING PLAN NOTES**
- FOR NEW FLOOR USE 3/4" FLOOR SHEATHING. ATTACH SHEATHING TO FRAMING WITH 8d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS
  - FOR NEW WALL USE 1/2" MIN. APA RATED WALL SHEATHING. ATTACH SHEATHING TO FRAMING WITH 6d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS
  - FLOOR SHEATHING STRONG AXIS (LONG DIMENSION OF SHEET) RUNS PERPENDICULAR TO FLOOR JOISTS
  - WHERE 2x FRAMING RUNS PARALLEL TO SHEATHING STRONG AXIS, SOLID BLOCKING IS PROVIDED TO SUPPORT SHEATHING. NAIL SHEETS TO MAIN FRAMING AND BLOCKING IN THESE AREAS. SPACE ALL NAILS AT 6" O.C. IN THESE AREAS
  - USE SIMPSON LUS210 HANGERS AT 2x10 JOISTS, UNLESS NOTED OTHERWISE
  - SEE FRAMING PLANS FOR POST LOCATIONS. POST AND JACK STUDS SHOULD EXTEND DOWN CONTINUOUSLY TO THE FOUNDATION WALL UNLESS INTERRUPTED BY A BEAM OR JACK STUDS
  - PROVIDE SOLID WOOD BLOCKING WITHIN FLOOR FRAMING AT ALL POST AND JACK STUDS LOCATIONS
  - COORDINATE FLOOR ELEVATIONS WITH ARCHITECTURAL DRAWINGS.

1 2ND FLOOR FRAMING PLAN  
1/4" = 1'-0"

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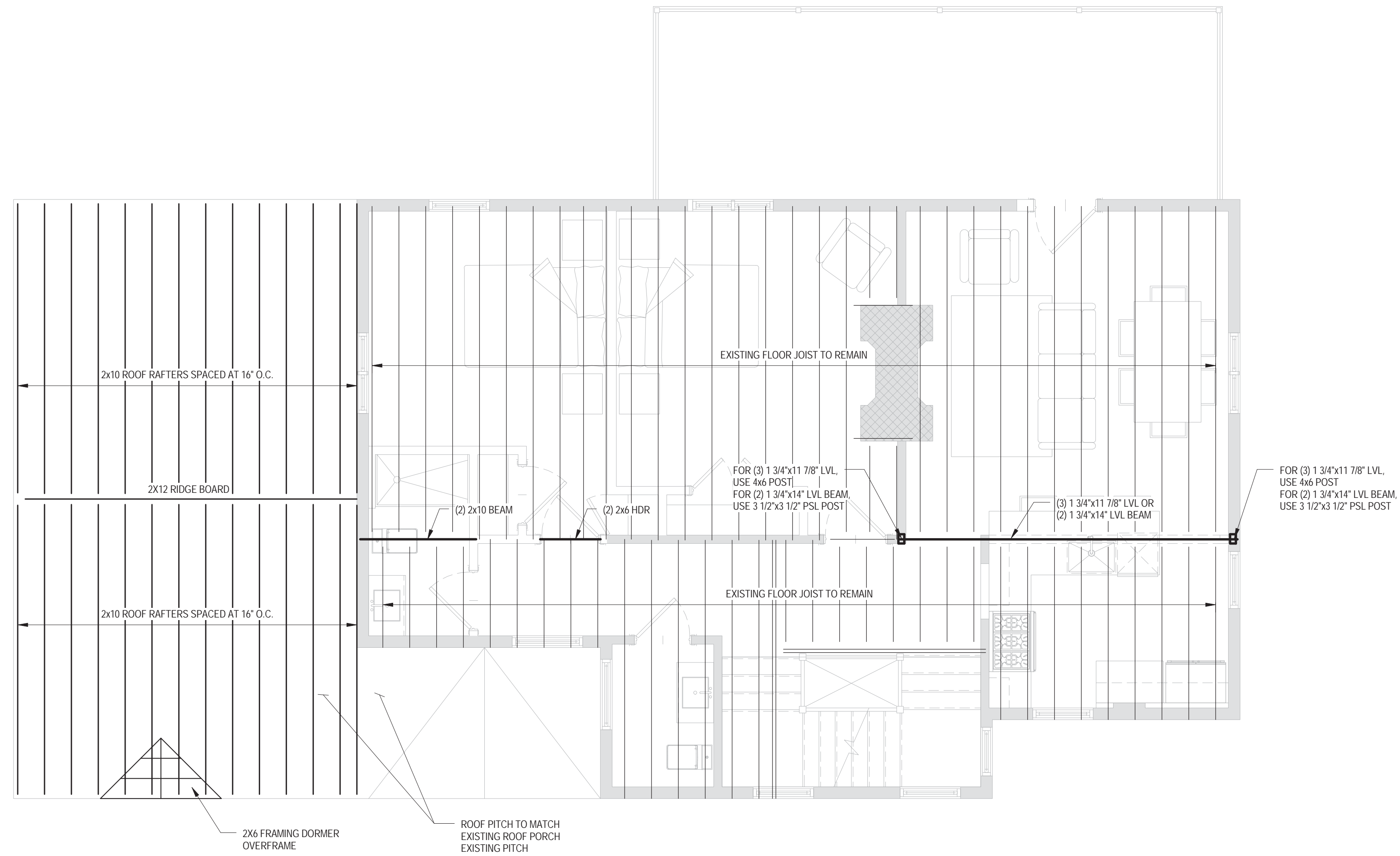
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SECOND FLOOR  
FRAMING PLAN



- ROOF FRAMING NOTES:**
1. AT NEW ROOF FRAMING USE 5/8" APA RATED EXPOSURE 1 ROOF SHEATHING. SHEATHING TO BE FASTENED TO FRAMING WITH 8d NAILS SPACED AT 6" O.C. AT SHEATHING PANELS EDGES AND 12" O.C. AT INTERMEDIATE SHEATHING FRAMING SUPPORTS. FASTEN SHEATHING TO LEDGERS ANISHEAR WALLS FRAMING WITH 8d NAILS AT 4" O.C.
  2. AT NEW WALLS USE 1/2" MIN. APA RATED WALL SHEATHING. ATTACH SHEATHING TO FRAMING WITH 6d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS
  3. FLOOR SHEATHING STRONG AXIS (LONG DIMENSION OF SHEET) RUNS PERPENDICULAR TO ROOF RAFTERS.
  4. WHERE 2x FRAMING RUNS PARALLEL TO SHEATHING STRONG AXIS, SOLID BLOCKING IS PROVIDED TO SUPPORT SHEATHING. NAIL SHEETS TO MAIN FRAMING AND BLOCKING IN THESE AREAS. SPACE ALL NAILS AT 6" O.C. IN THESE AREAS.
  5. SEE FRAMING PLANS FOR POST LOCATIONS. POST AND JACK STUDS SHOULD EXTEND DOWN CONTINUOUSLY TO THE FOUNDATION WALL UNLESS INTERRUPTED BY A BEAM OR JACK STUDS.
  6. PROVIDE SOLID WOOD BLOCKING WITHIN FLOOR FRAMING AT ALL POST AND JACK STUDS LOCATIONS IF NOT INDICATED ON DRAWING USE (2) JACKS STUDS AND (1) KING STUD SUPPORTS AT EACH END WINDOW HEADERS
  7. INSTALL SIMPSON HURRICANE H2.5A TIES AT ALL RAFTER SUPPORTS (NEW AND EXISTING)
  8. CONNECT RAFTERS TO CEILING JOISTS WITH (6) 16d NAILS MINIMUM OR (8) 10d NAILS

① 3RD FLOOR FRAMING PLAN  
1/4" = 1'-0"

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THIRD FLOOR  
FRAMING PLAN