

66 WAVERLY ST

DND UNIT TYPE D3
66 WAVERLY STREET
BOSTON, MA 02135



PROJECT INFORMATION

Proposed Use Group: R-3
Stories: 3
Construction Classification: VB

ZONING ANALYSIS

Roxbury Neighborhood District : 3F - 4000 - 3,915 sq. ft. lot			
	Allowable	Proposed	Compliance
Min Lot Size	-	-	-
Min Area/Unit	2000	3,915 sq.ft.	Yes
Min Lot Width	25ft.	37.5 ft.	Yes
Height	35ft.	29 ft.	Yes
Stories	3	3	Yes
FAR	0.8	0.39	Yes
Min Usable Open	650/Unit sq.ft.	2,700 sq.ft.	Yes
Min Front Yard	20 ft./Building Alignment	23'	Yes
Min Side Yard	10 ft.	10 ft.*	Yes
Min Rear Yard	30 ft.	59 ft.	Yes
Parking	1.0 per Unit	1.0 per Unit	Yes

*No side yard required on attached side of semi-attached dwellings.

GROSS AREA (FAR)

Floor	Enclosed Area	FAR Area (GSF)
Level 1	583.30	583.30
Level 2	583.30	583.30
Level 3	295.87	295.87
Total	1,462.47	1,462.47 GSF

UNITS

Unit - 2 Bed / 1.5 Bath

Level	Area
Level 1	583.30
Level 2	583.30
Level 3	295.87
Total	1,462.47 GSF

SUSTAINABILITY AND SYSTEMS

This project is designed to be LEED 'Certifiable' at the Silver level per LEED v4.1 Residential BD +C.

Building design is compliant with NHI window, hot water and HVAC efficiency, and air tightness requirements. Windows and opaque elements will comply with Massachusetts Stretch Energy Code. Roof areas are solar-ready and have minimal obstructions for future photovoltaic arrays. Building materials will be selected to minimize embodied energy.

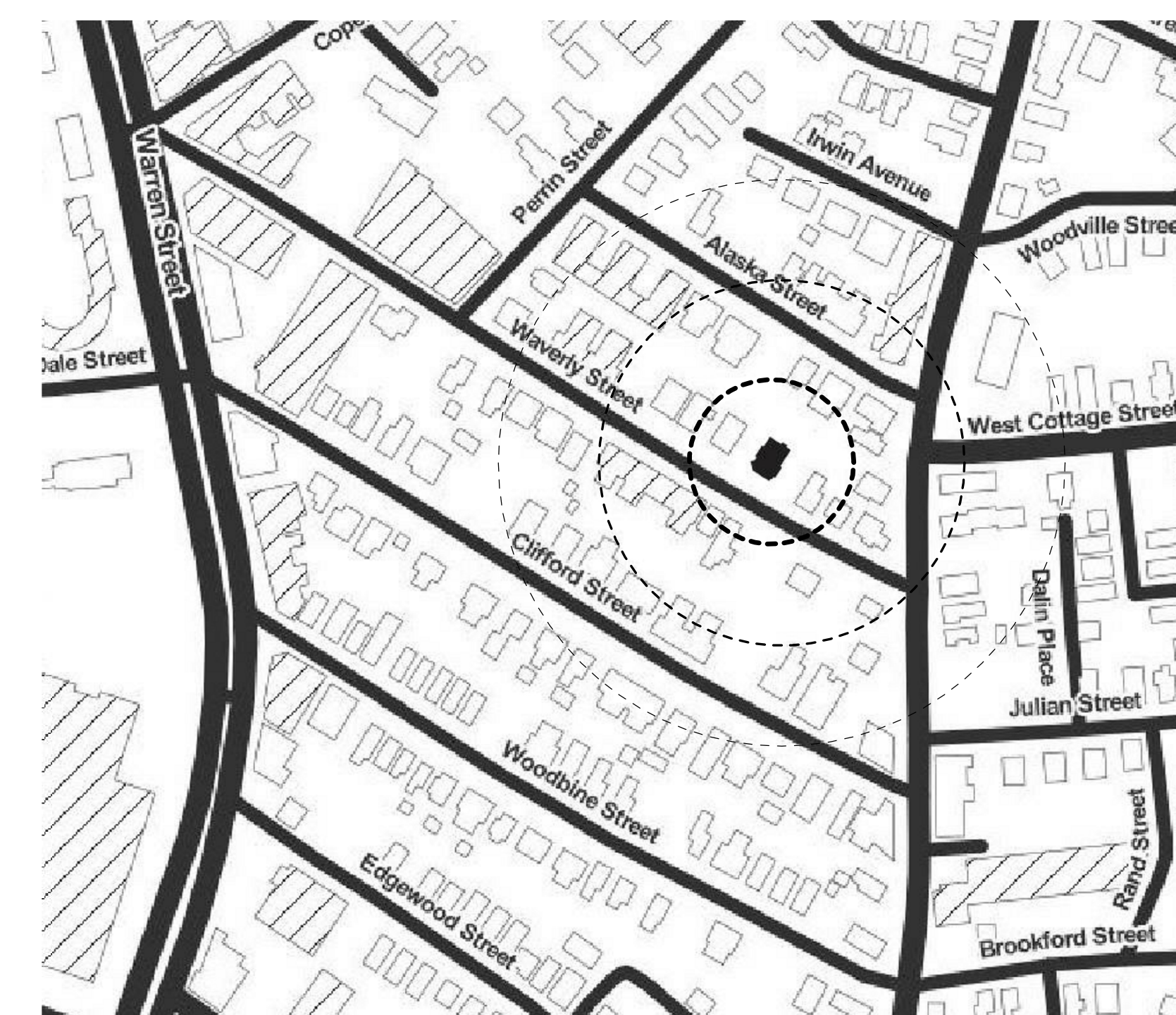
Space heating and cooling shall be by heat pump split systems with a minimum efficiency of 3.0 COP / 15 SEER. Water heating shall be by on-demand electric systems with a minimum COP of 1.0. Heat recovery ventilation will be provided to all units.

Units are not required to have fire suppression sprinklers per CMR 780, Section R313.2.

SHEET INDEX

Sheet Number	Sheet Name
G000-5	Cover Sheet - 66 Waverly DND Unit Type D3
G1.0	Symbols, Abbreviations & Keynotes
G1.1	Notes & Standards
G1.2	Specifications
G2.0	Wall Types
G2.1	Floor and Roof Assembly Types
G3.0	Window Types and Details
G4.0	Typical Details
G4.1	Typical Details
G4.2	Typical Details
G6.0	Finish Schedule
A001-5	Site Plans
A100-5	Floor Plans I
A101-5	Floor Plans II
A102-5	Floor Plans III
A110-5	RCPs I
A111-5	RCPs II
A120-5	Elevations
A130-5	Building Sections
A220-5	Enlarged Plans and Elevations
A300-5	Wall Sections

Locus Map



Zephyr Architects

315 A Street, Suite A
Boston, MA 02210

PROJECT

Waverly-Clifford Neighborhood Homes

66 Waverly

66 Waverly Street
Boston, MA 02119

DEVELOPER / OWNER

PWN Development

853 Main Street, Suite 204
Tewksbury, MA 01876

STRUCTURAL

Gregorian Engineers

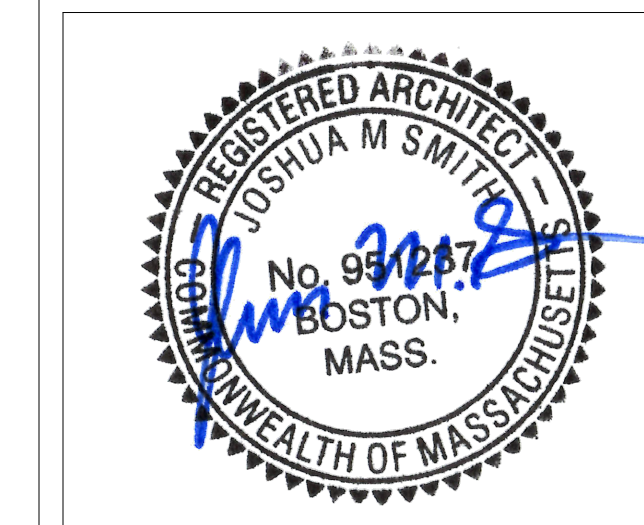
1 Canochet Street
Canton, MA 02021

CIVIL

AGH Engineering

166 Water Street
Stoughton, MA 02072

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Cover Sheet - 66 Waverly
DND Unit Type D3

SCALE:
DATE: 4.12.2022
DRAWN BY: J.M.S.
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FILE: 21008

DRAWING NO.
G000-5
TYPE D3 TWO-FAMILY

PROJECT TEAM

OWNER
PWN Development
853 Main Street, Suite 204
Tewksbury, MA 01876

(617)858-9674

ARCHITECTURE
Zephyr Architects
315 A Street Suite A
Boston, MA 02210

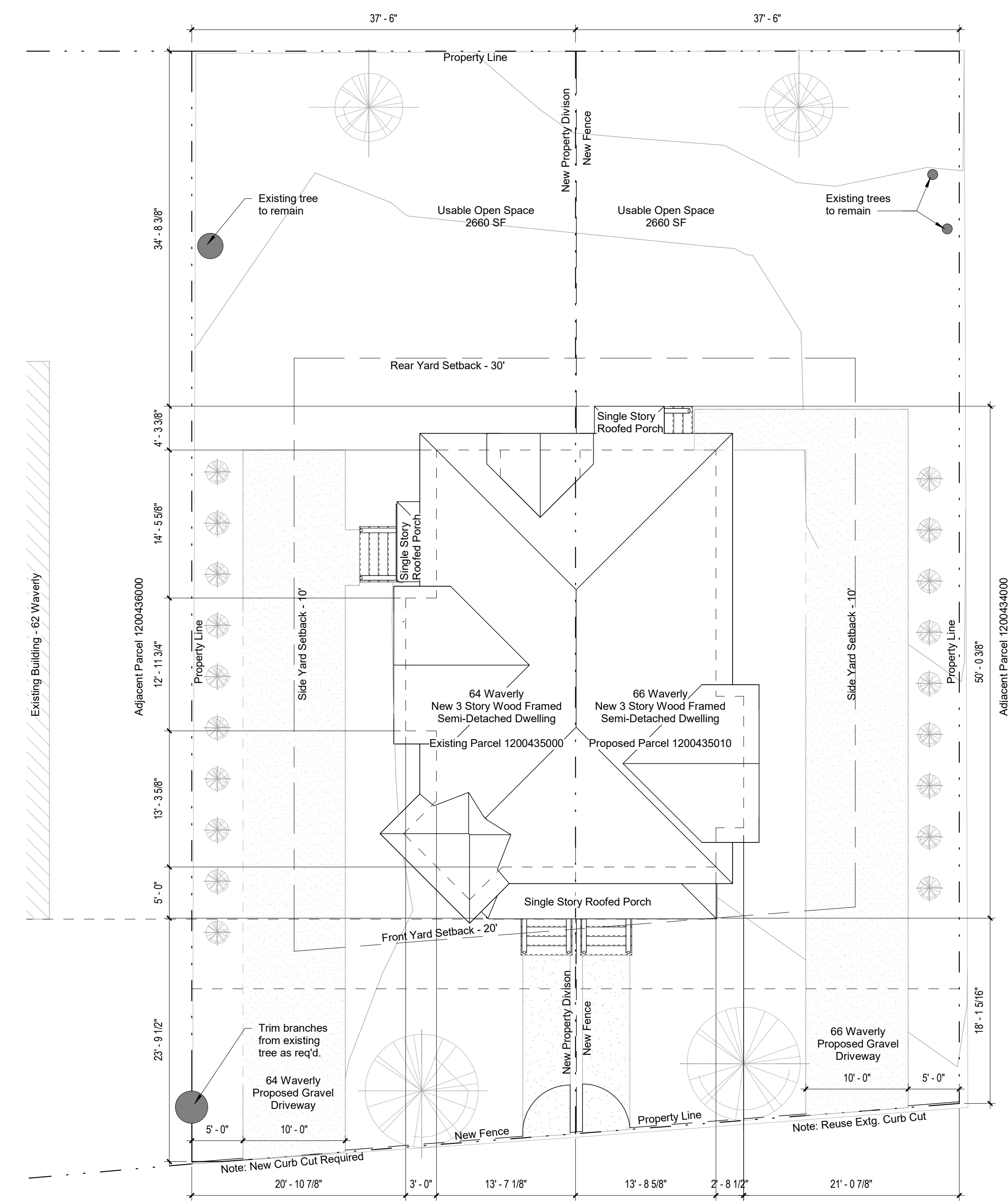
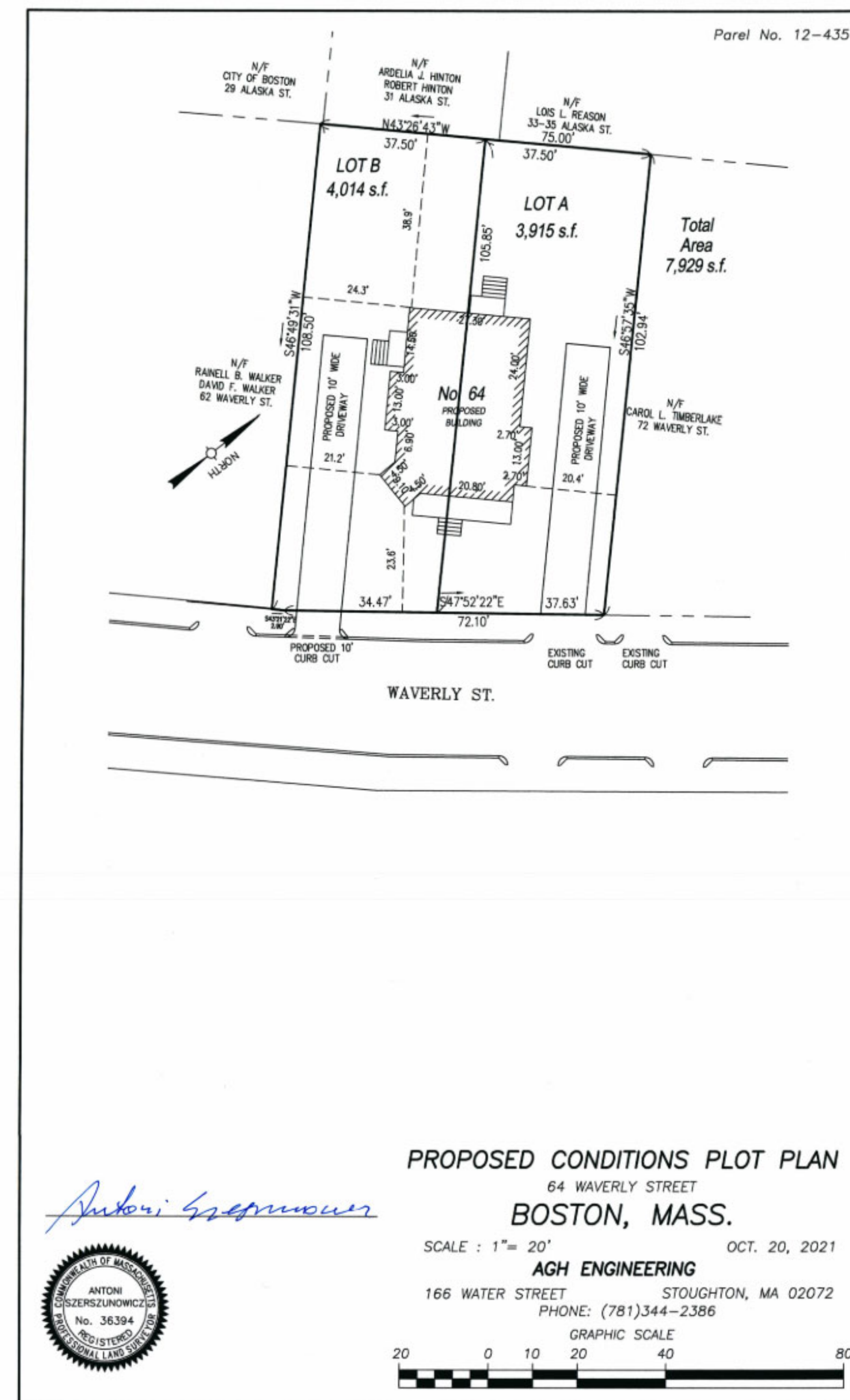
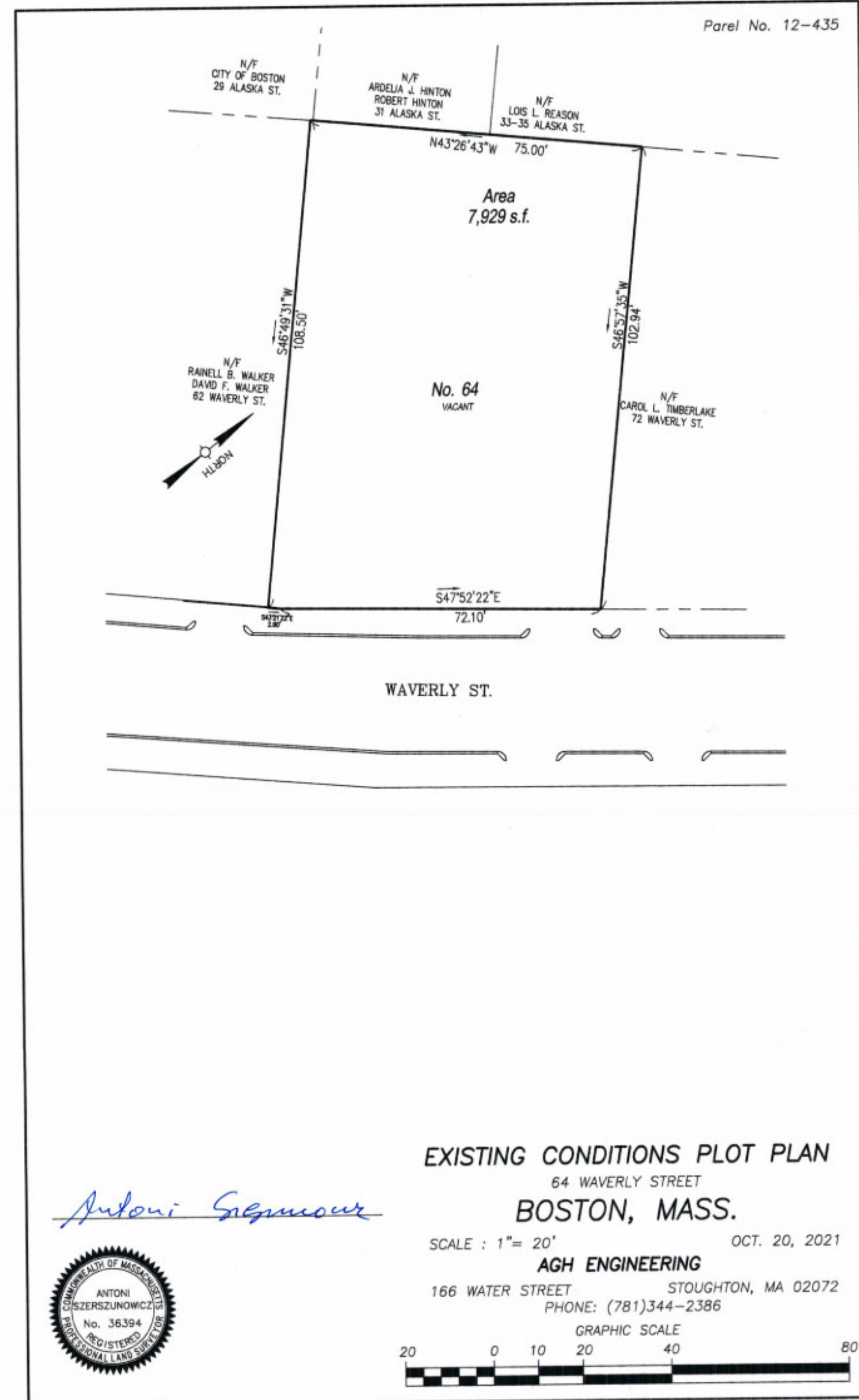
(617)960-0796

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Gregorian Engineers
1 Canochet Street
Canton, MA 02021

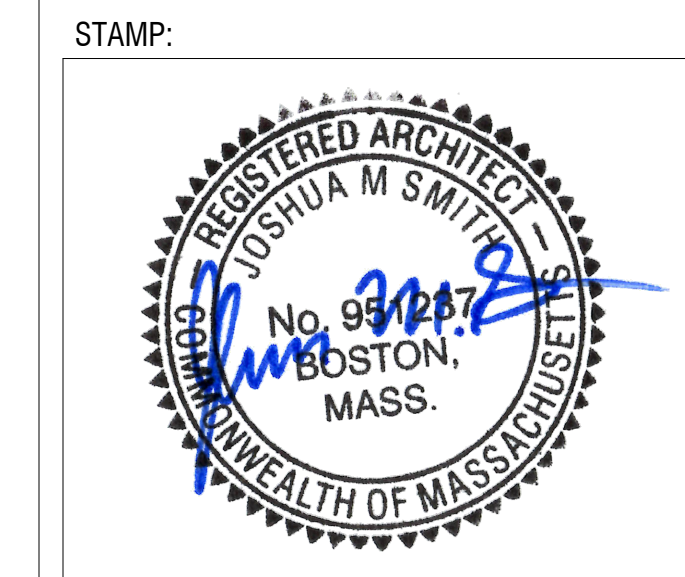
(617)484-3565

CIVIL
AGH Engineering
166 Water Street
Stoughton, MA 02072

(781)344-2386



1 64/66 Waverly - Architectural Site Plan
New Planting Legend
Front Yard Trees: Black Tupelo - Nyssa sylvatica
Rear Yard Trees: Serviceberry - Amelanchier x grandiflora
Driveway Screening: Meserve Holly - Ilex x meserveae 'Blue Girl'
or Hicks Yew - Taxus x media 'Hicksii'



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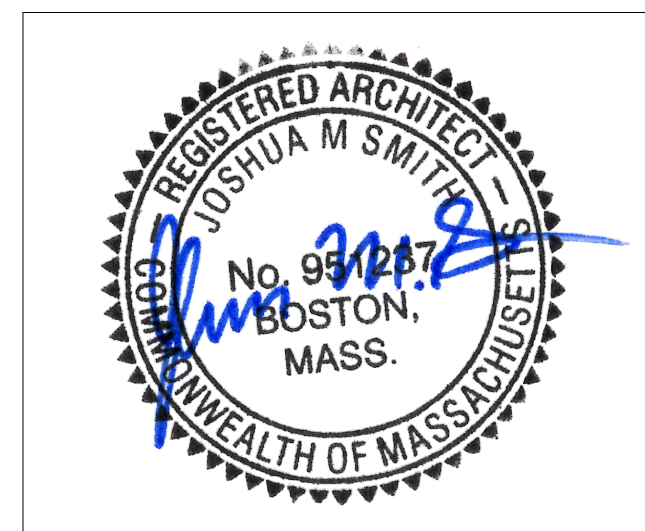
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Site Plans
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TYPE D3 TWO-FAMILY

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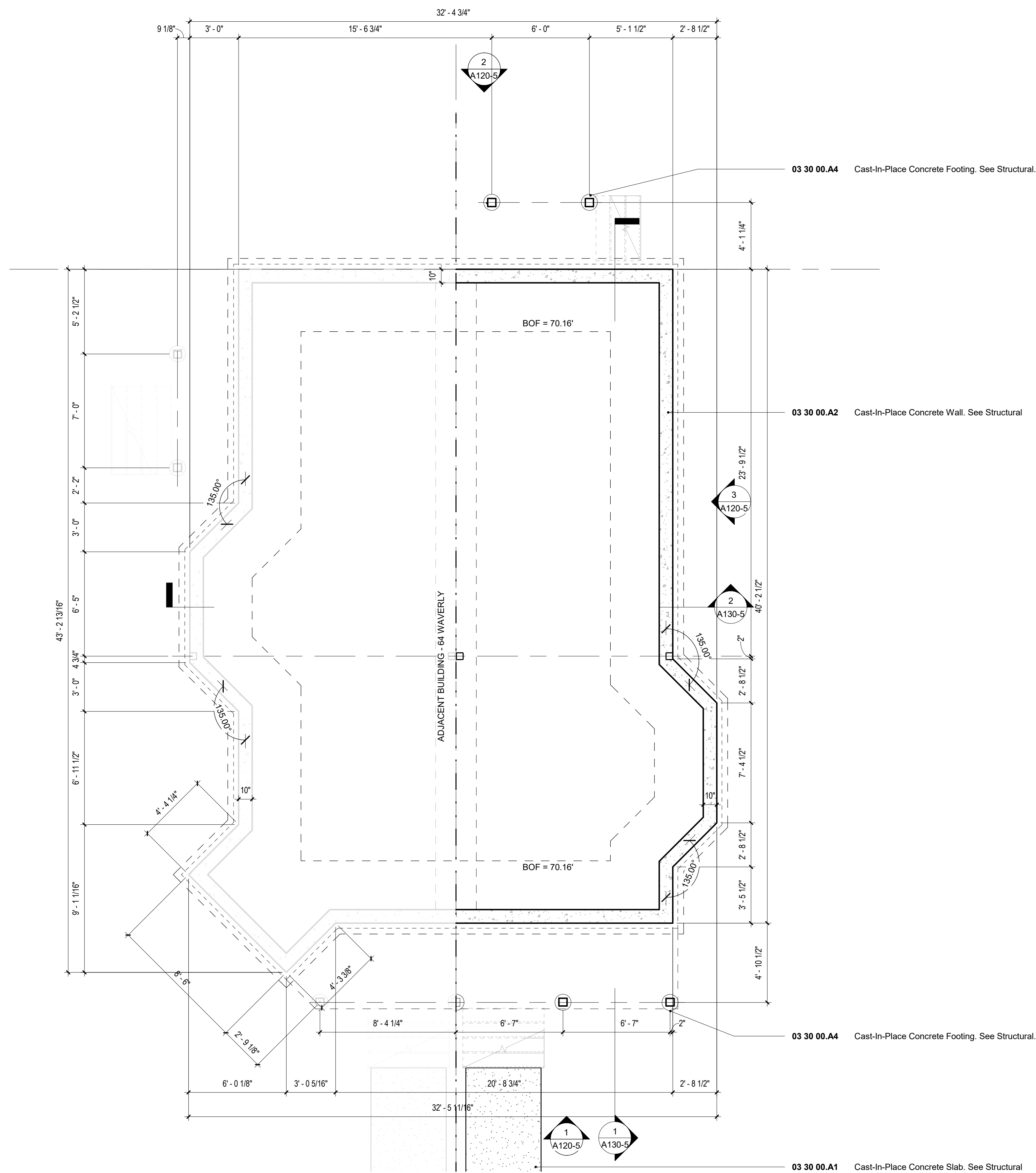
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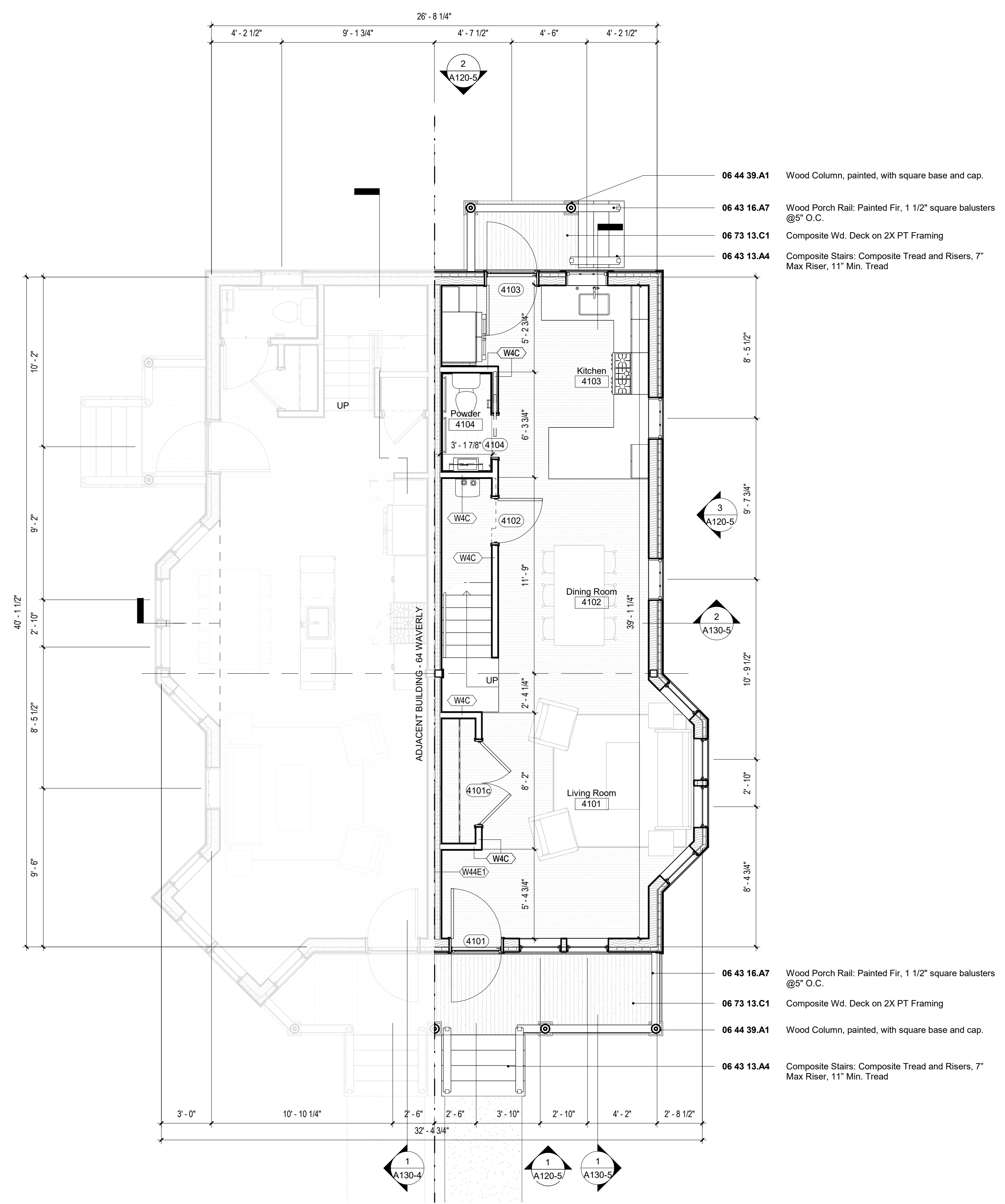
Floor Plans I

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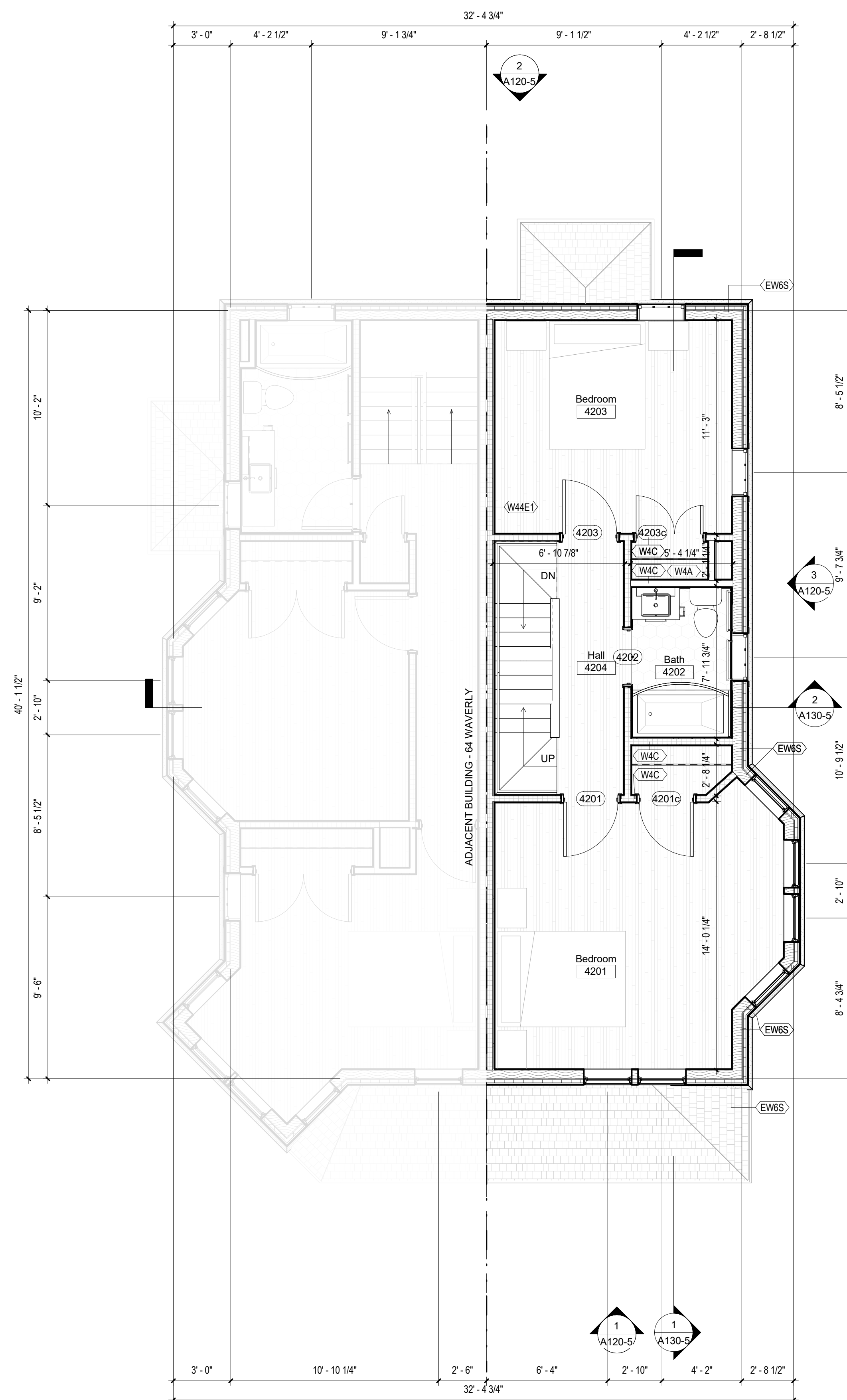
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A100-5
TYPE D3 TWO-FAMILY



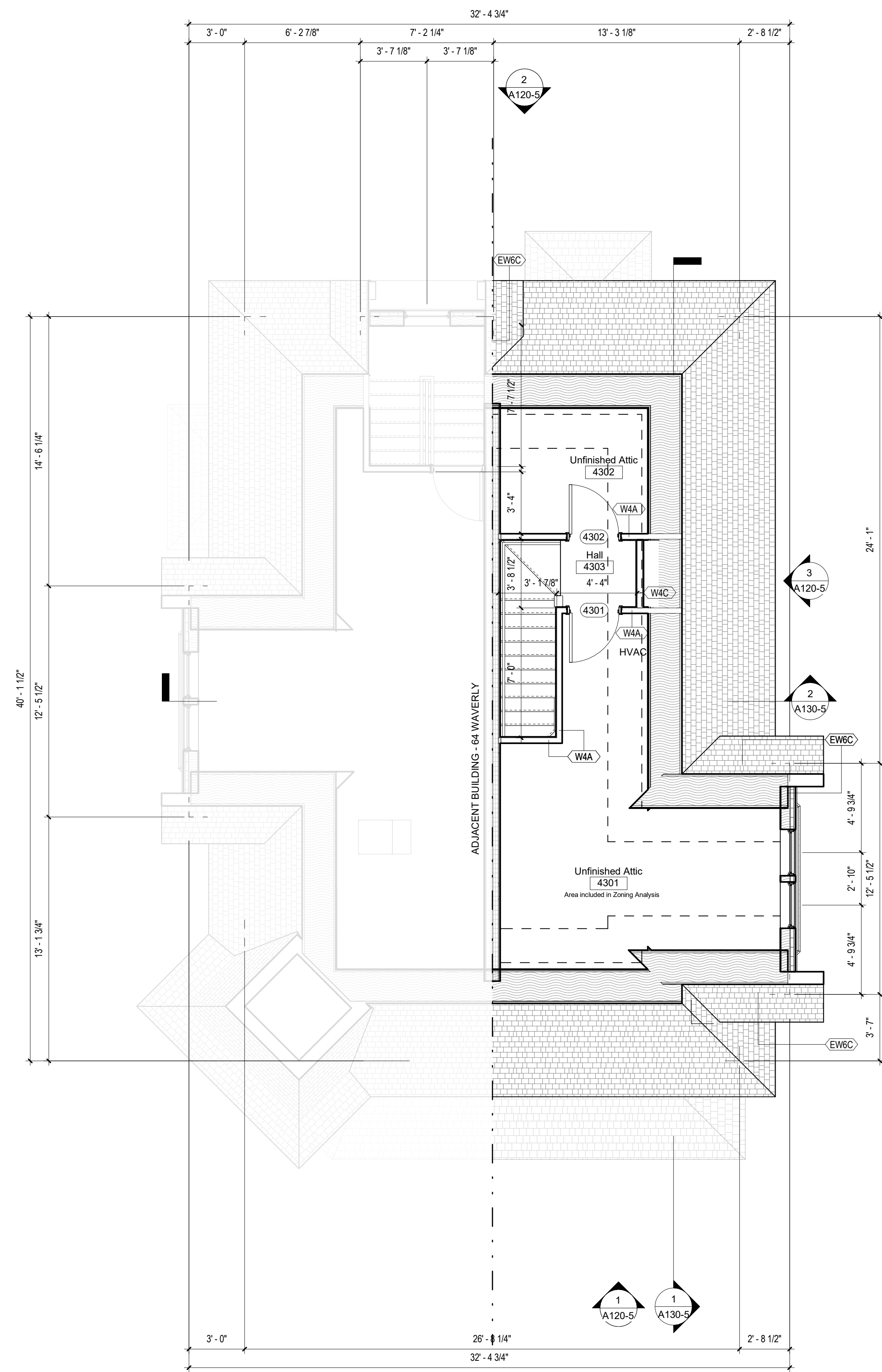
1 UNIT TYPE D3 66 WAVERLY
FOUNDATION PLAN
1/4" = 1'-0"



2 UNIT TYPE D3 66 WAVERLY
FIRST FLOOR PLAN
1/4" = 1'-0"

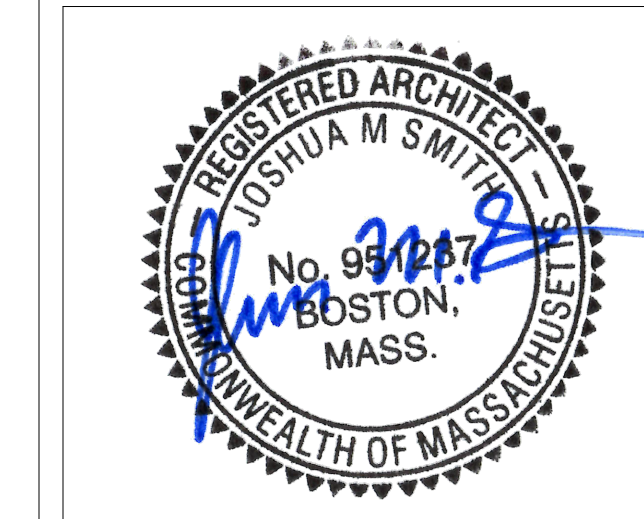


1 UNIT TYPE D3 66 WAVERLY
SECOND FLOOR PLAN
1/4" = 1'-0"



2 UNIT TYPE D3 66 WAVERLY
ATTIC PLAN
1/4" = 1'-0"

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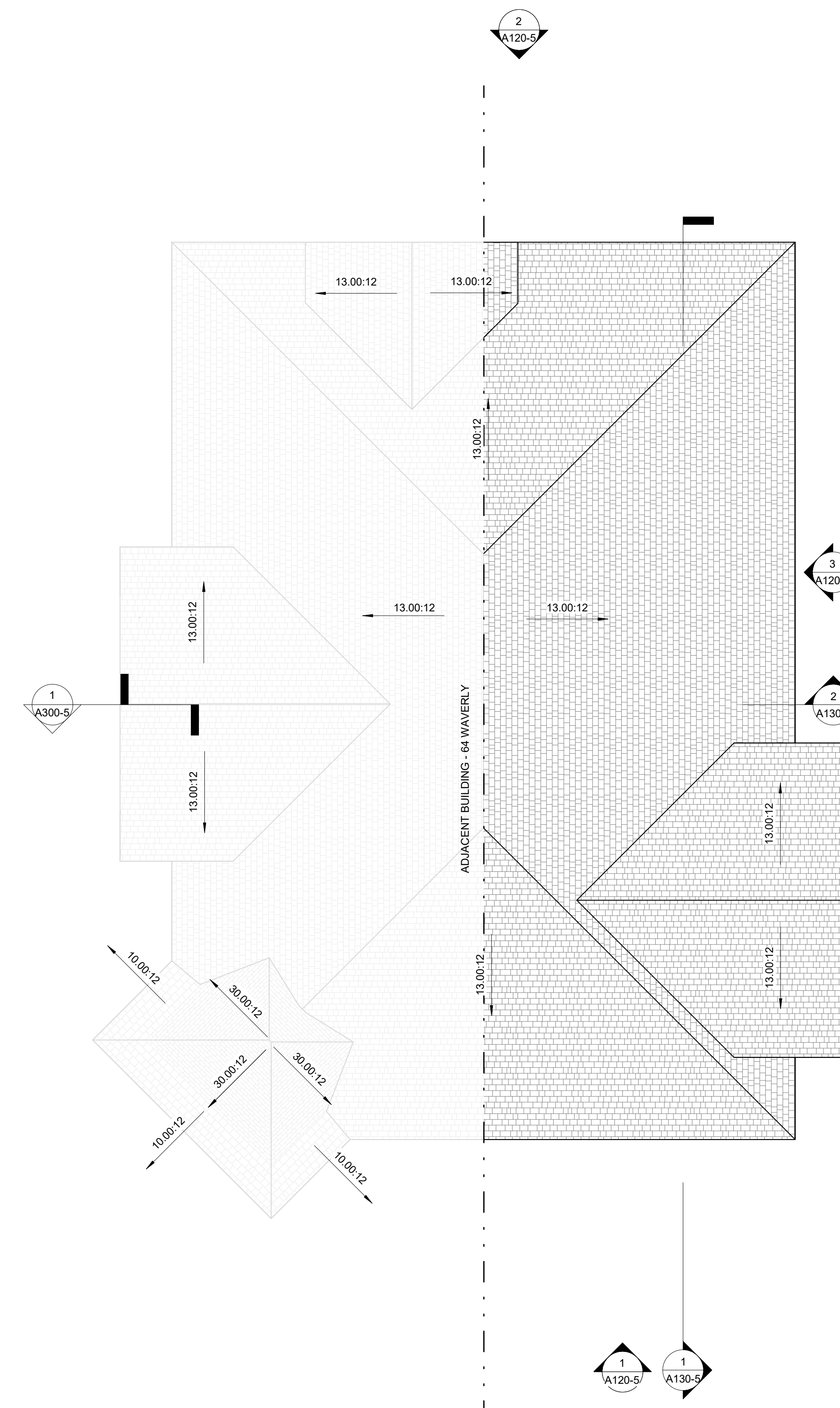
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Floor Plans II

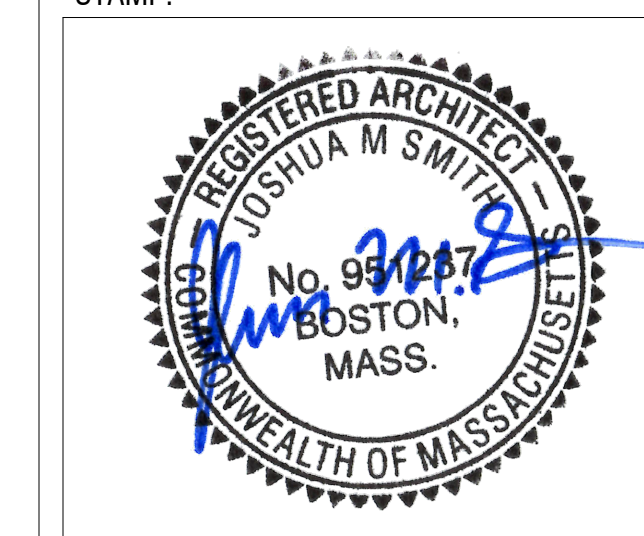
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A101-5
TYPE D3 TWO-FAMILY



1 UNIT TYPE D3 66 WAVERLY
ROOF PLAN
1/4" = 1'-0"

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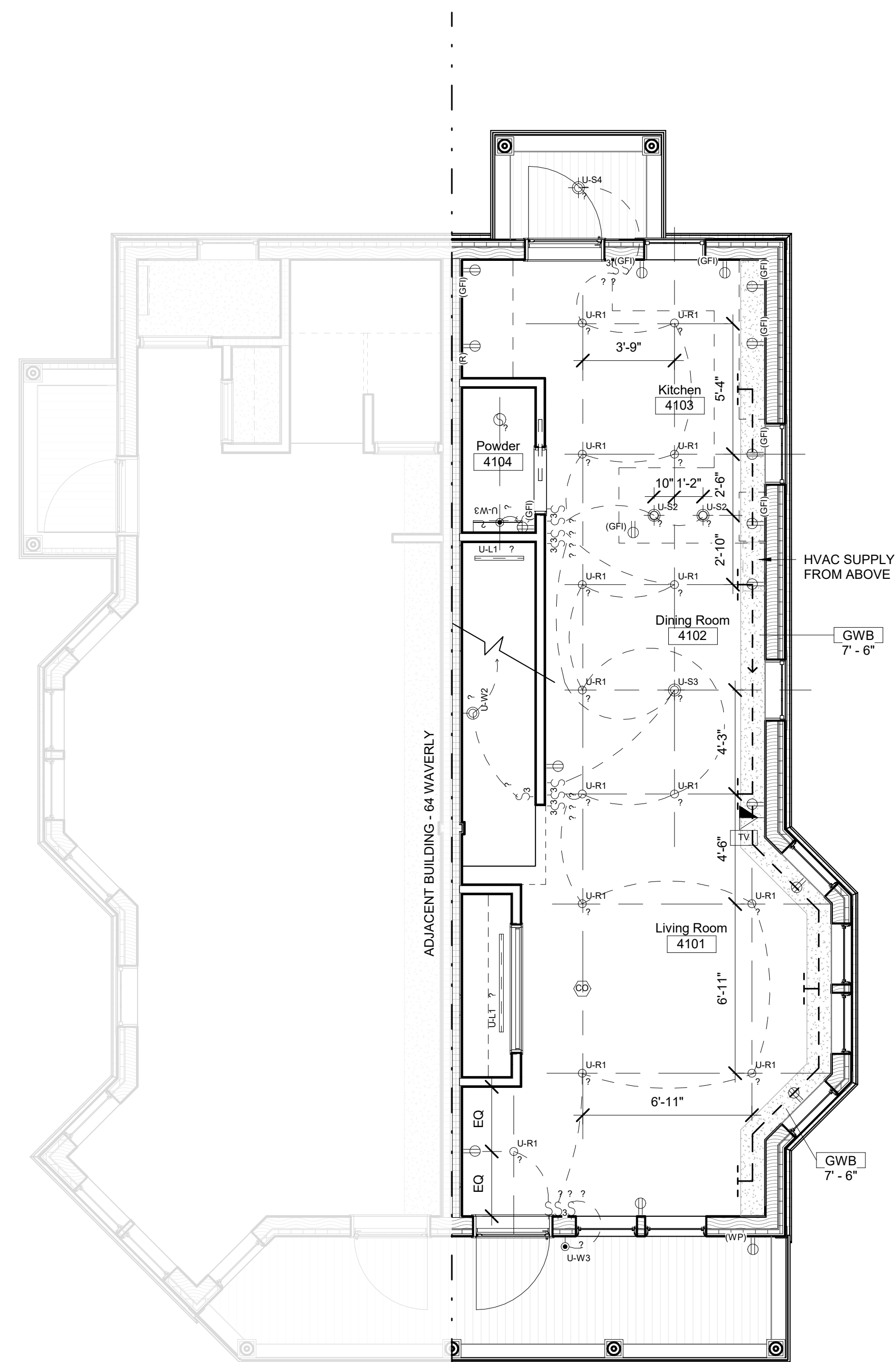
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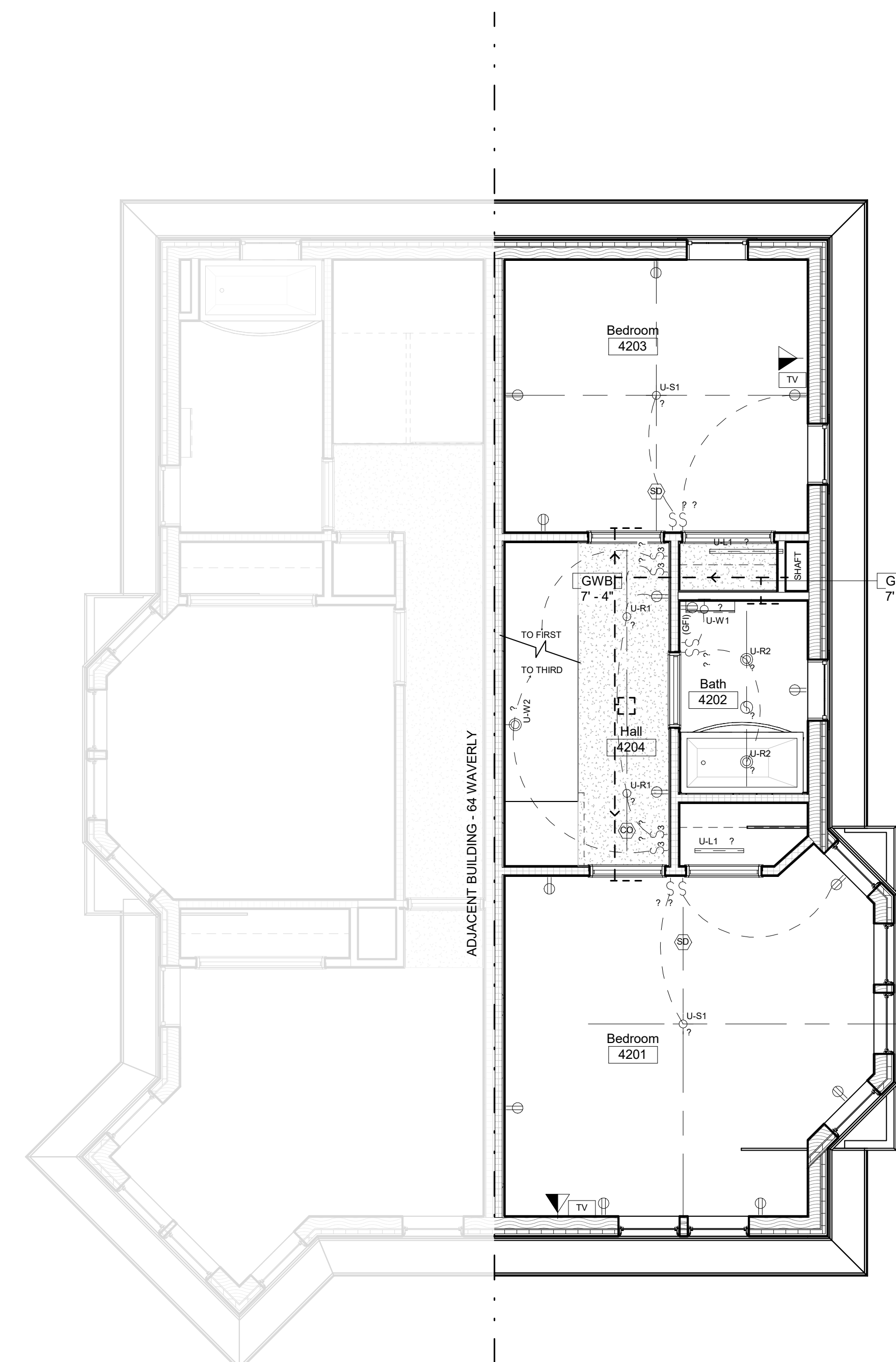
Floor Plans III

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A102-5
TYPE D3 TWO-FAMILY

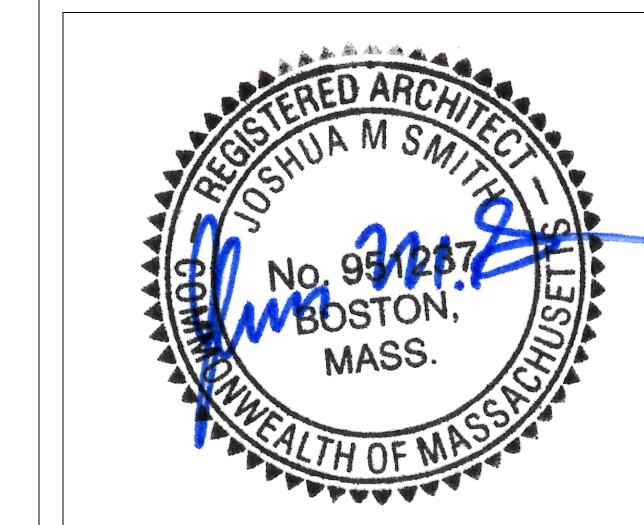


1 UNIT TYPE D3 66 WAVERLY
FIRST FLOOR CEILING PLAN
1/4" = 1'-0"



2 UNIT TYPE D3 66 WAVERLY
SECOND FLOOR CEILING PLAN
1/4" = 1'-0"

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RCPS I

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A110-5
TYPE D3 TWO-FAMILY

Zephyr Architects

315 A Street, Suite A
Boston, MA 02210

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Waverly-Clifford Neighborhood Homes

66 Waverly

66 Waverly Street
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DEVELOPER / OWNER

PWN Development

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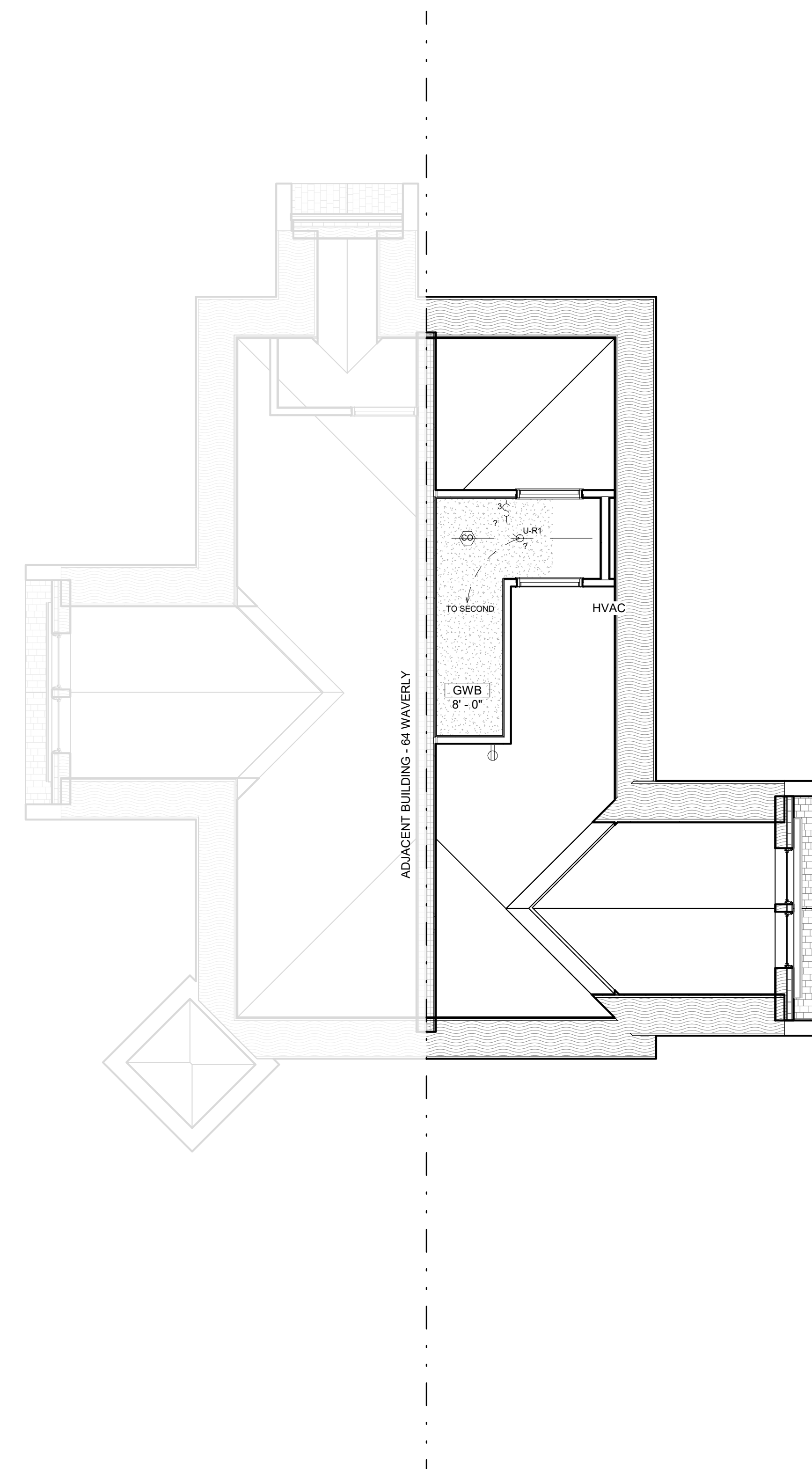
Gregorian Engineers

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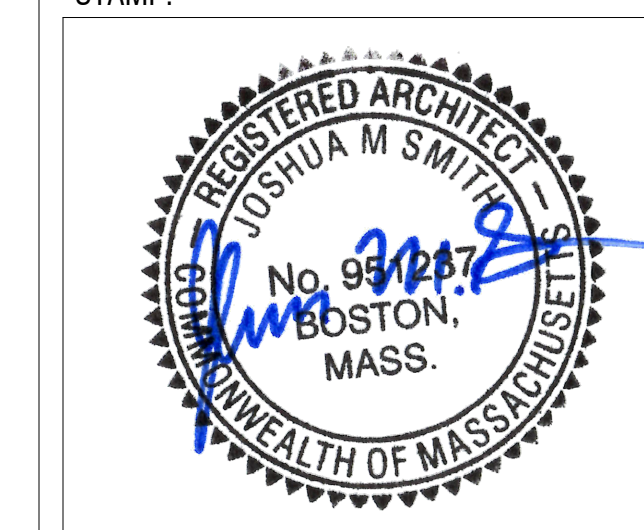
AGH Engineering

166 Water Street
Stoughton, MA 02072



1 UNIT TYPE D3 66 WAVERLY
ATTIC CEILING PLAN
1/4" = 1'-0"

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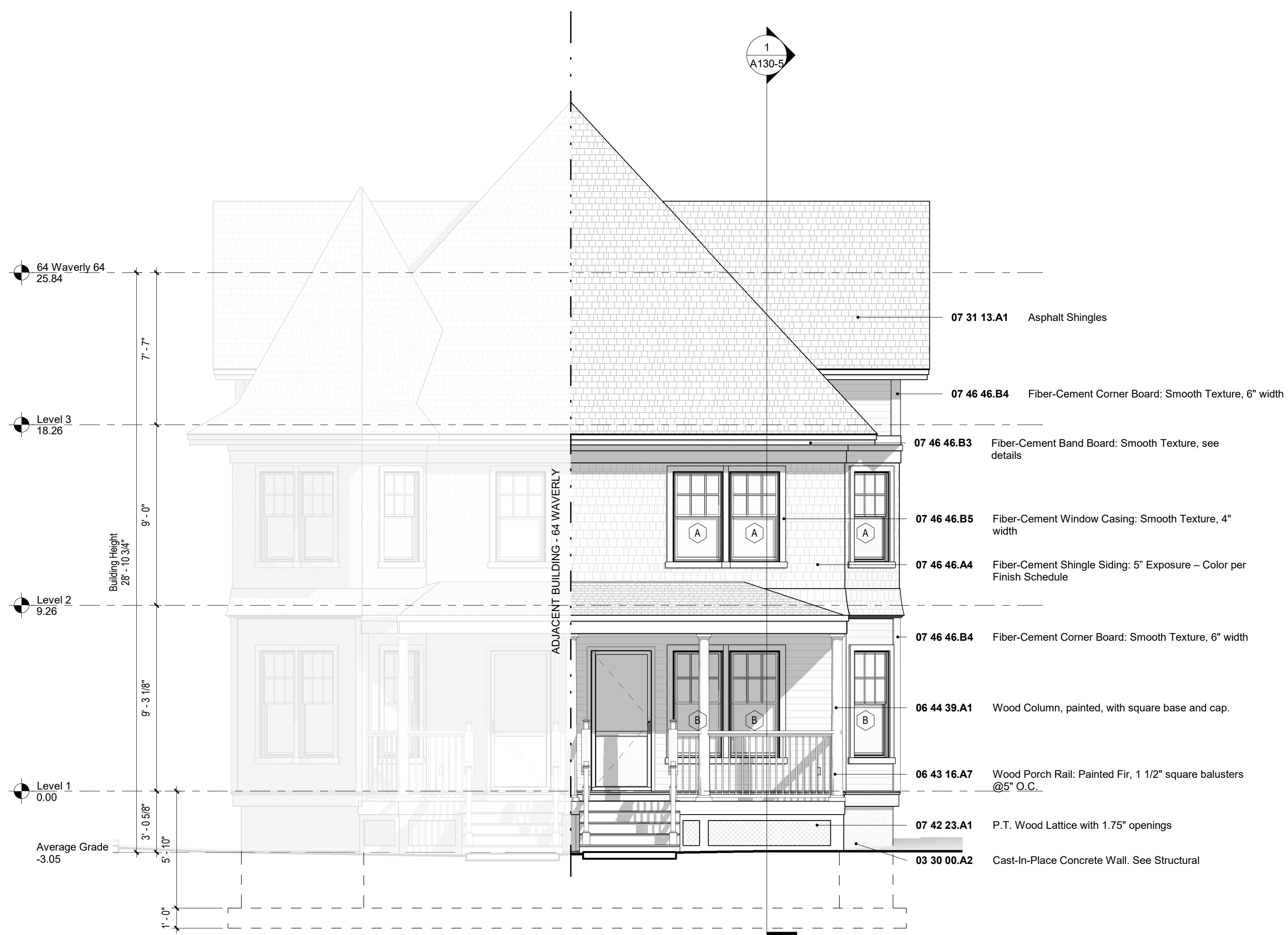
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RCPS II

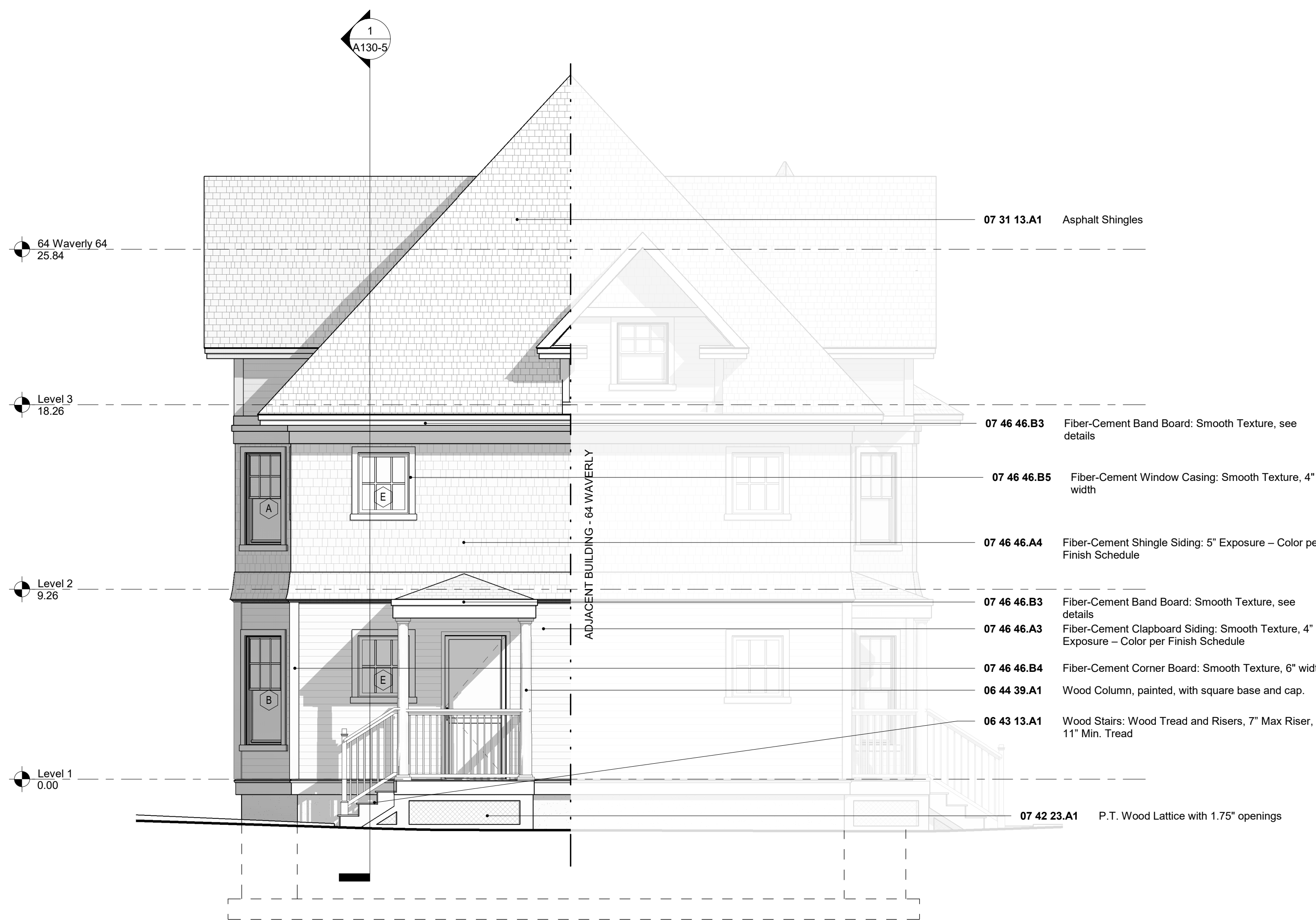
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A111-5
TYPE D3 TWO-FAMILY



1 UNIT TYPE D3 66 WAVERLY
EXTERIOR ELEVATION - FRONT (SOUTH)

1/4" = 1'-0"
Note: Level 1 Elevation 0' - 0" = 77.00'
Average Grade = 73.95'



2 UNIT TYPE D3 66 WAVERLY
EXTERIOR ELEVATION - REAR (NORTH)

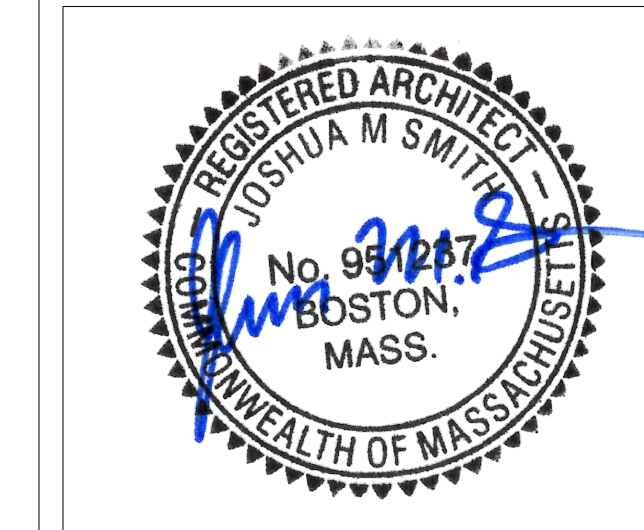
1/4" = 1'-0"



3 UNIT TYPE D3 66 WAVERLY
EXTERIOR ELEVATION - RIGHT(EAST)

1/4" = 1'-0"

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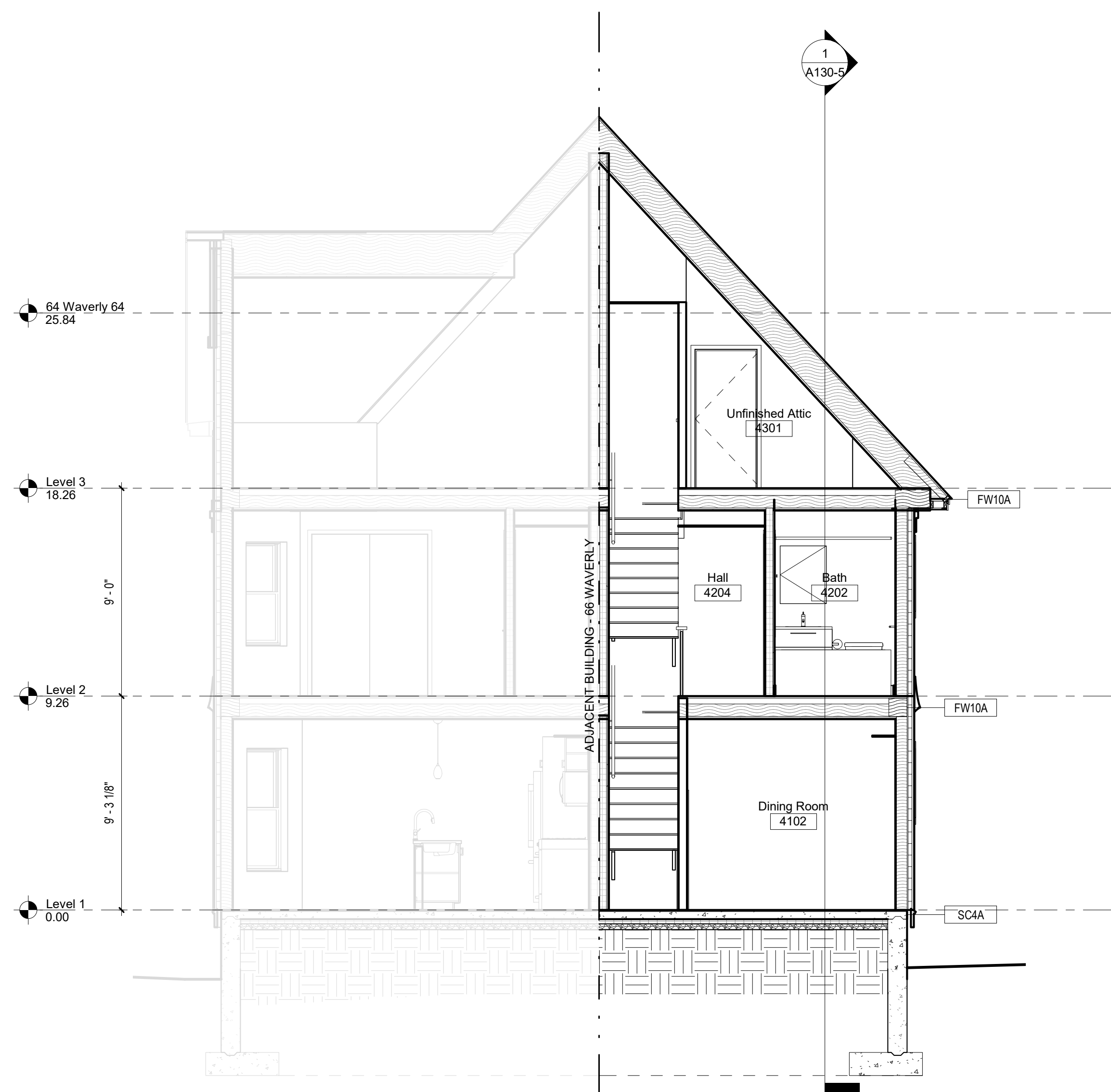
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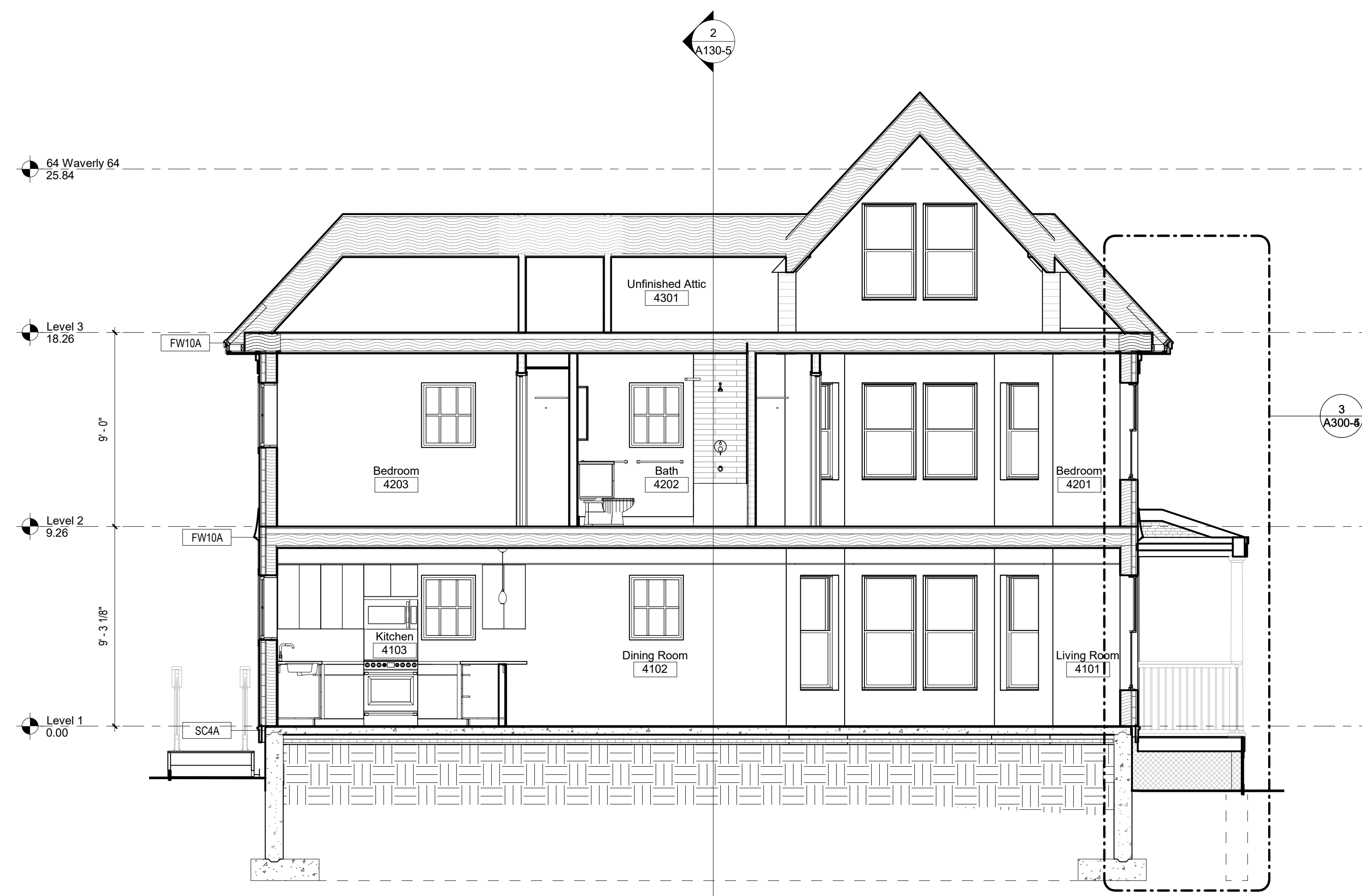
Elevations

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A120-5
TYPE D3 TWO-FAMILY



2 UNIT TYPE D3 64 WAVERLY
BUILDING SECTION 2
1/4" = 1'-0"



1 UNIT TYPE D3 66 WAVERLY
BUILDING SECTION 1
1/4" = 1'-0"

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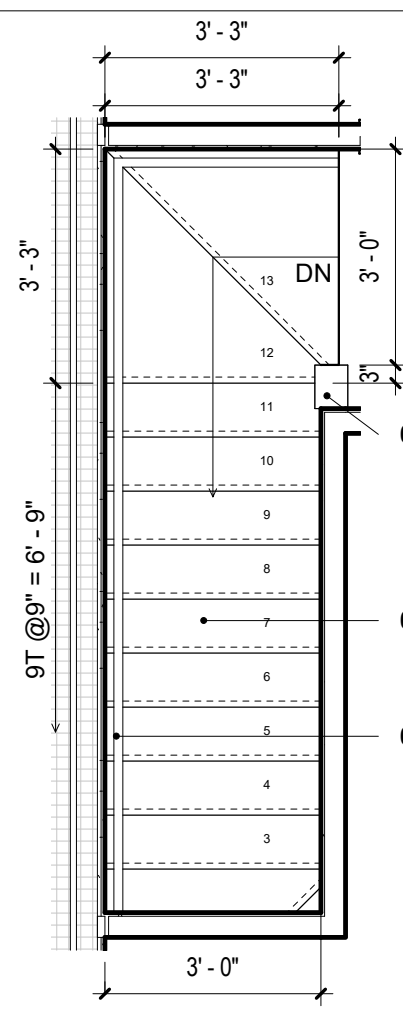
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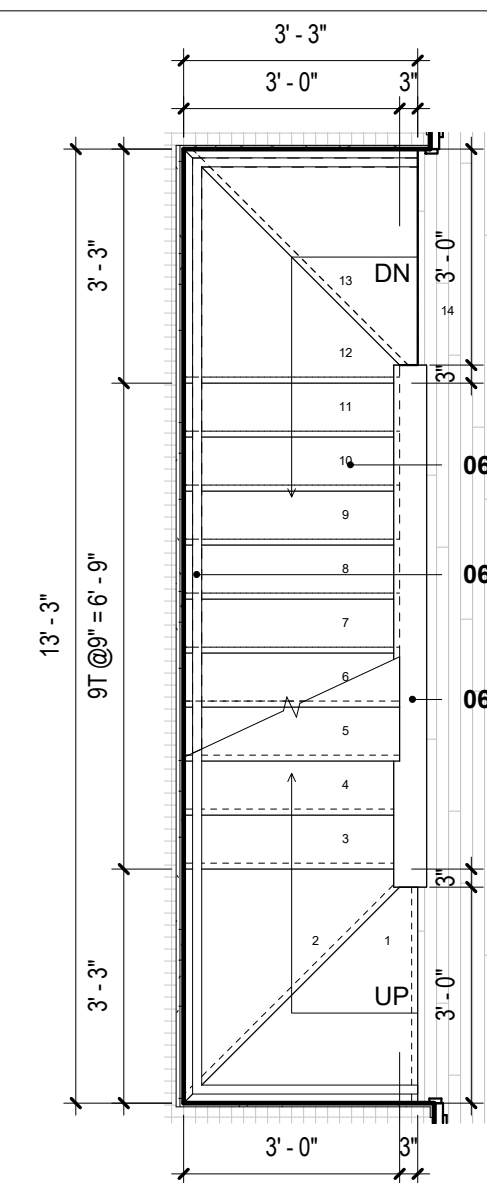
Building Sections

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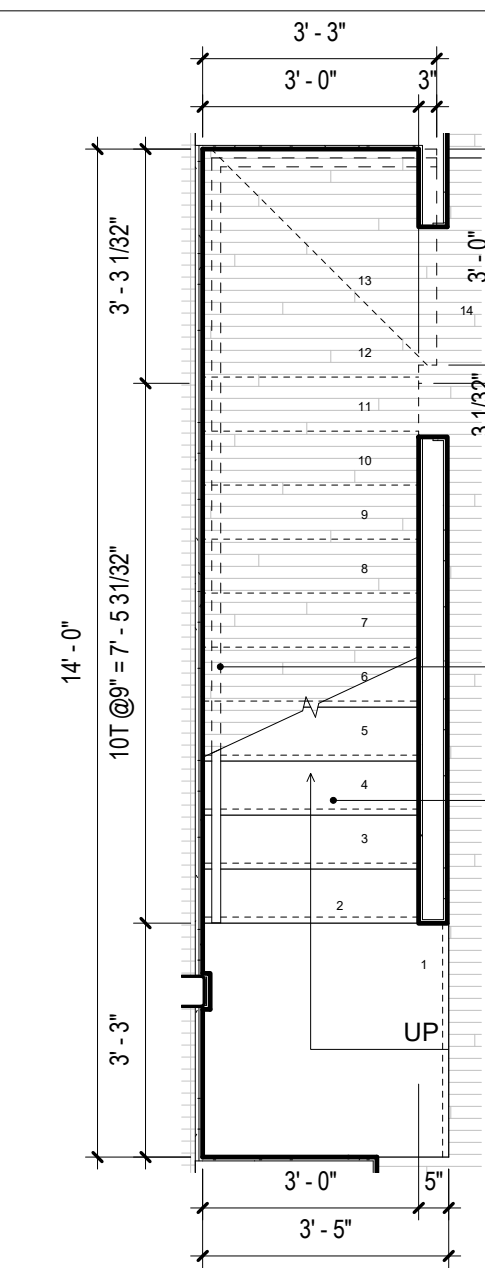
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A130-5
TYPE D3 TWO-FAMILY



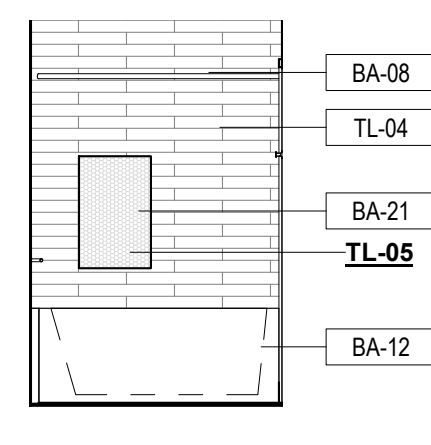
19 66 Waverly - Level 3 Stair Plan
3/8" = 1'-0"



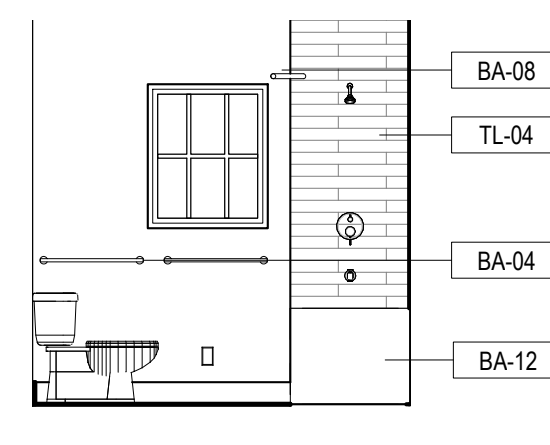
18 66 Waverly - Level 2 Stair Plan
3/8" = 1'-0"



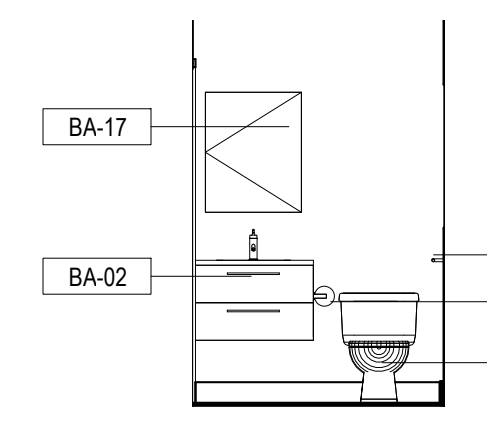
17 66 Waverly - Level 1 Stair Plan
3/8" = 1'-0"



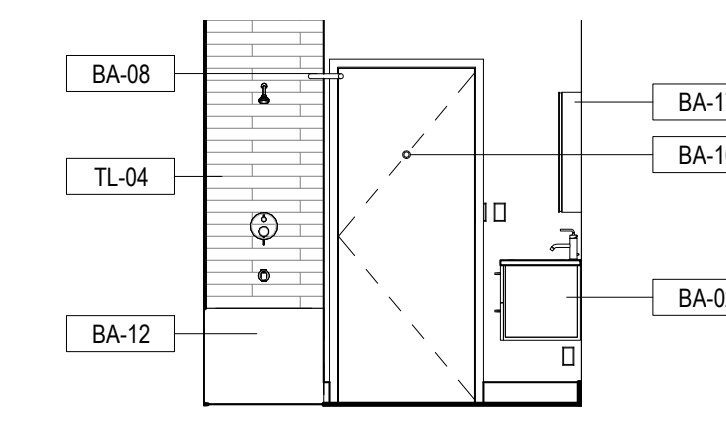
16 Level 2 Bath South Elevation
1/4" = 1'-0"



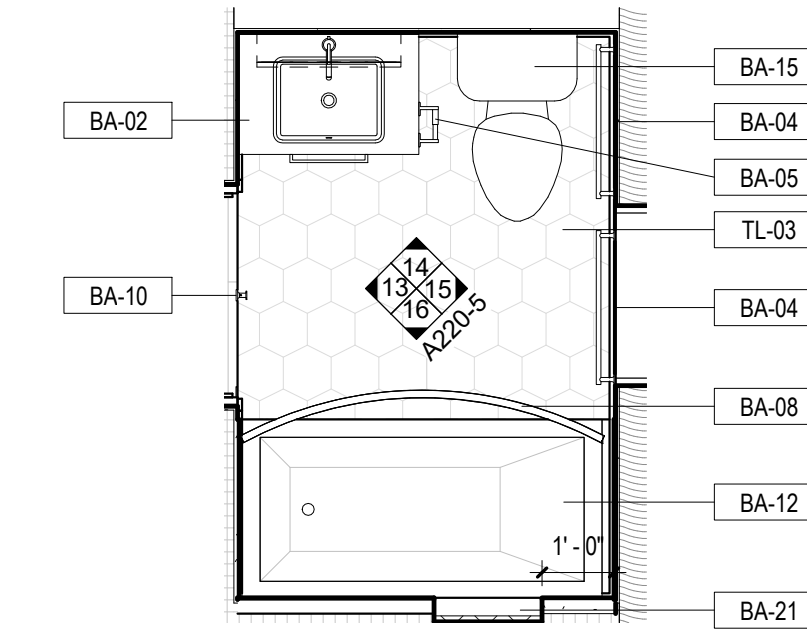
15 Level 2 Bath East Elevation
1/4" = 1'-0"



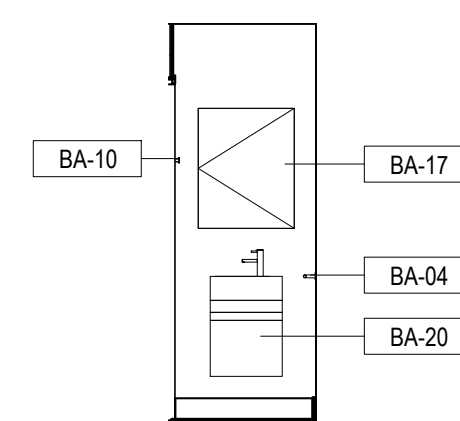
14 Level 2 Bath North Elevation
1/4" = 1'-0"



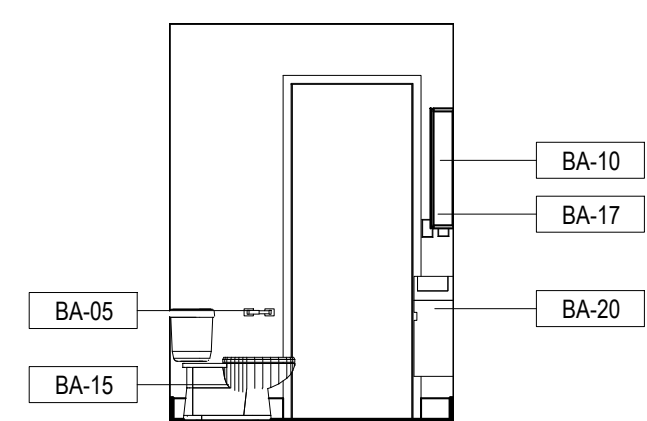
13 Level 2 Bath West Elevation
1/4" = 1'-0"



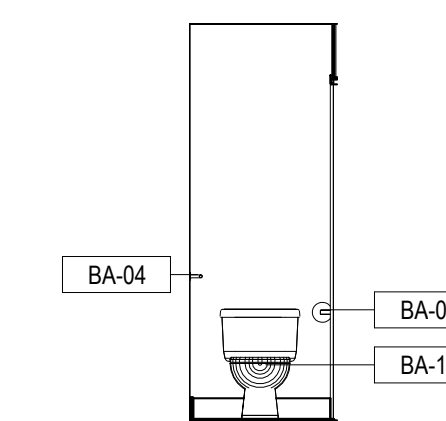
12 66 Waverly - Level 2 Bath
3/8" = 1'-0"



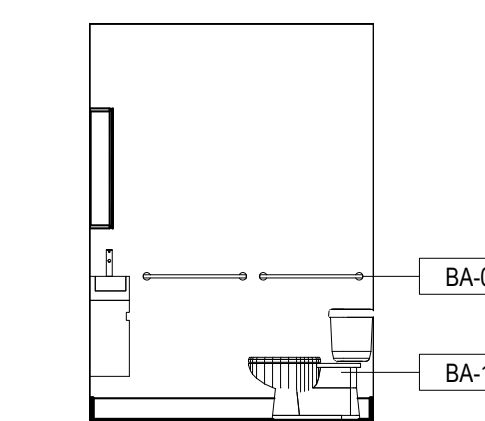
11 Powder South Elevation
1/4" = 1'-0"



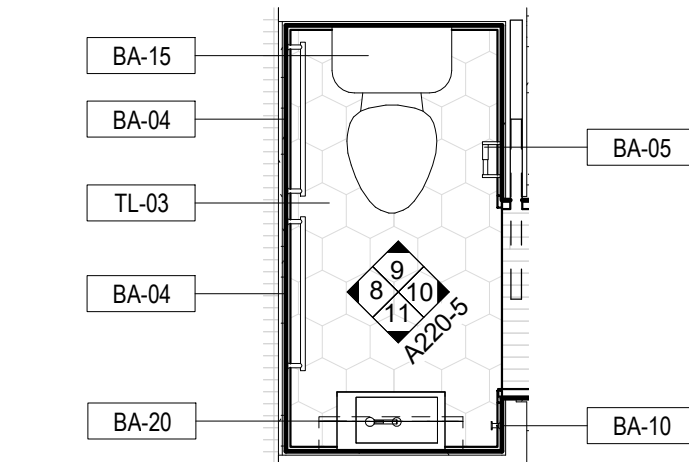
10 Powder East Elevation
1/4" = 1'-0"



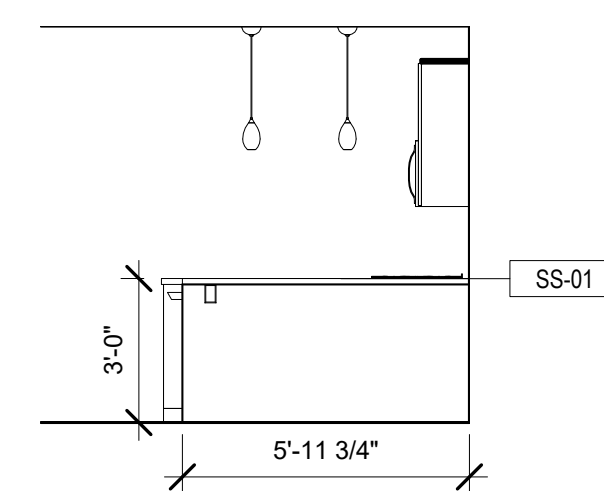
9 Powder North Elevation
1/4" = 1'-0"



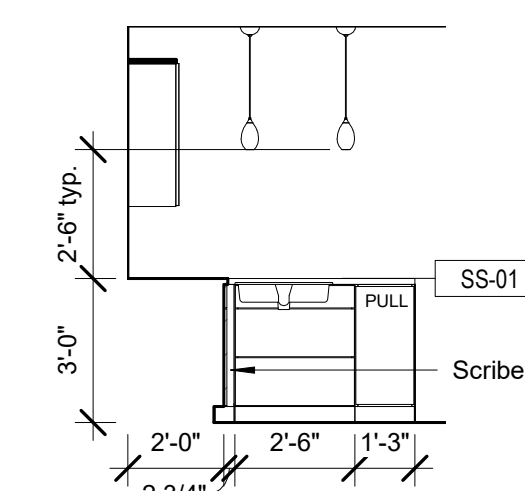
8 Powder West Elevation
1/4" = 1'-0"



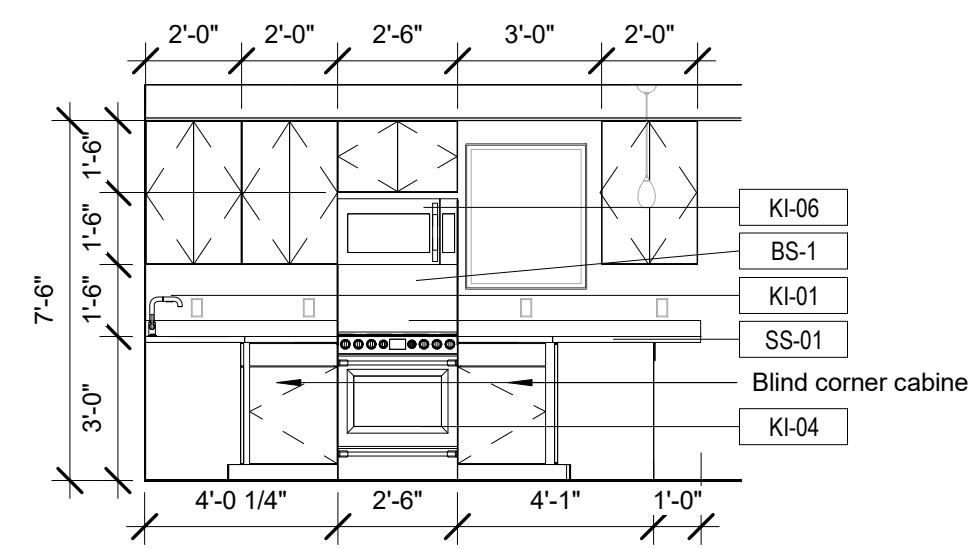
7 66 Waverly - Level 1 Powder
3/8" = 1'-0"



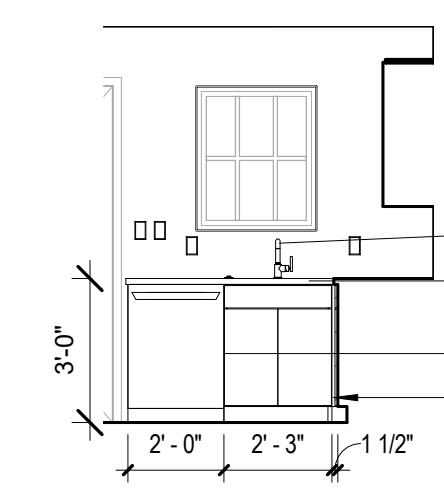
6 Kitchen Peninsula Elevation
1/4" = 1'-0"



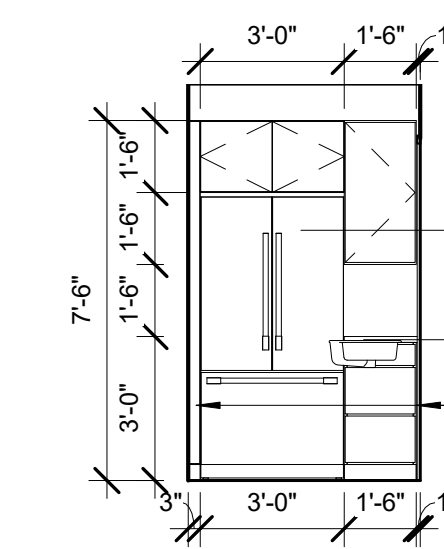
5 Kitchen South Elevation
1/4" = 1'-0"



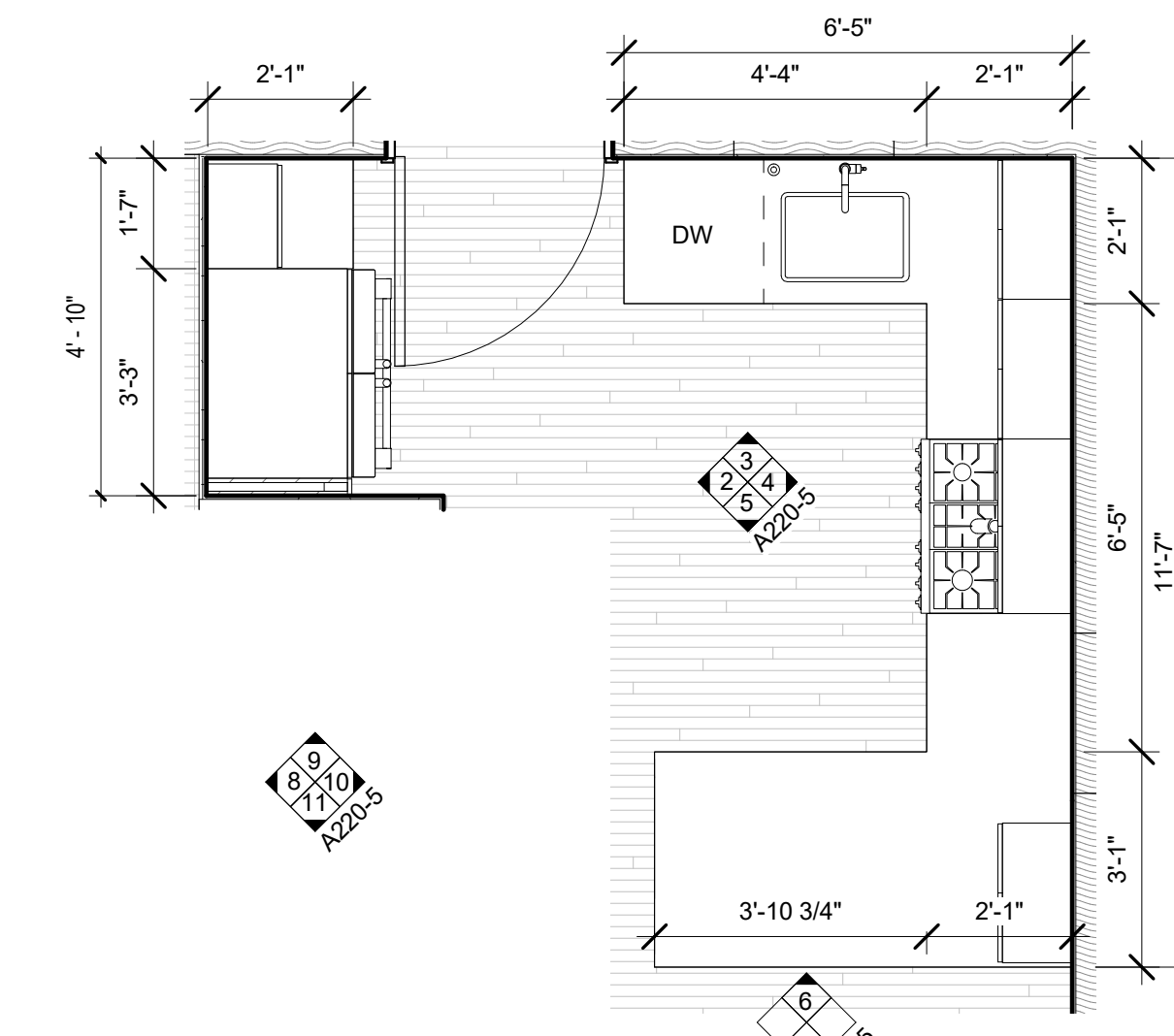
4 Kitchen East Elevation
1/4" = 1'-0"



3 Kitchen North Elevation
1/4" = 1'-0"

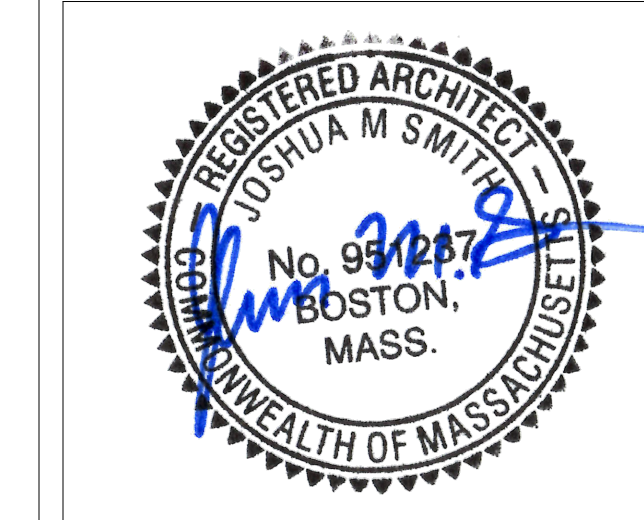


2 Kitchen West Elevation
1/4" = 1'-0"



1 66 Waverly - Kitchen
3/8" = 1'-0"

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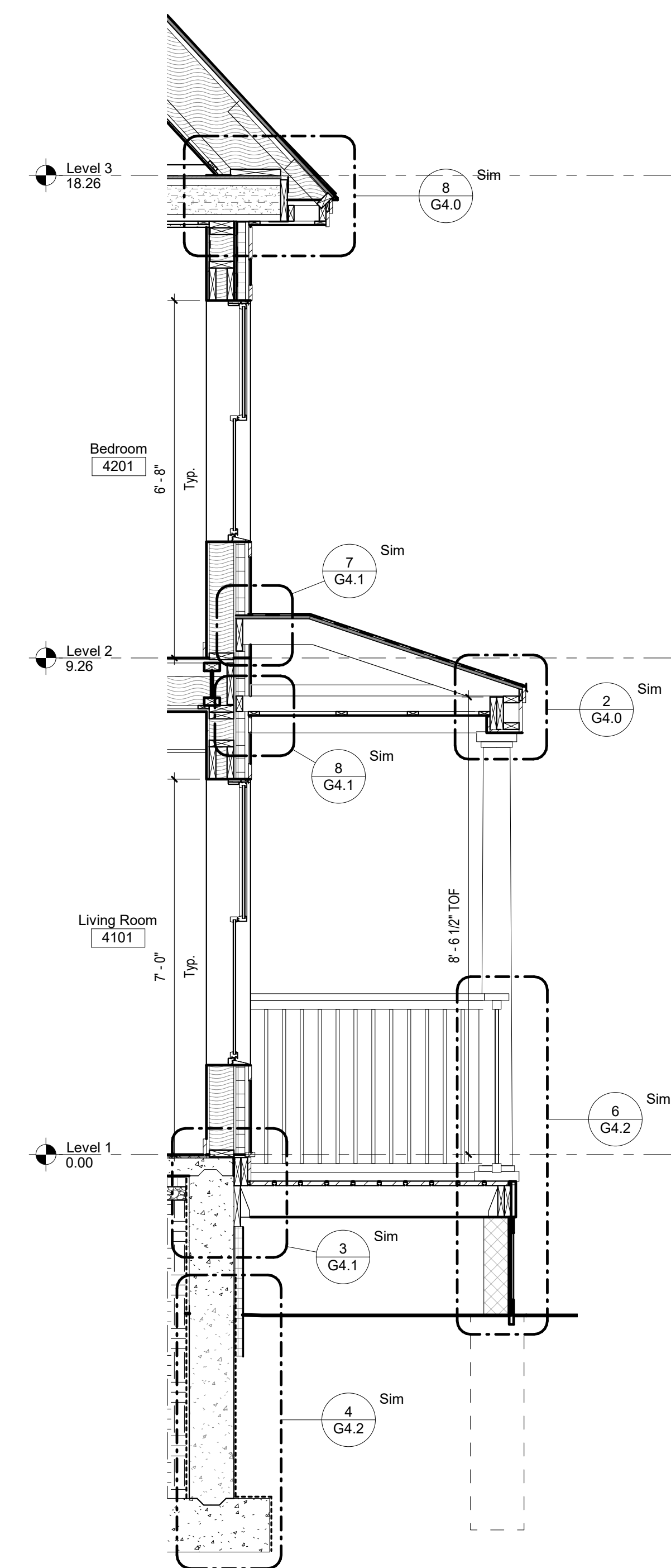
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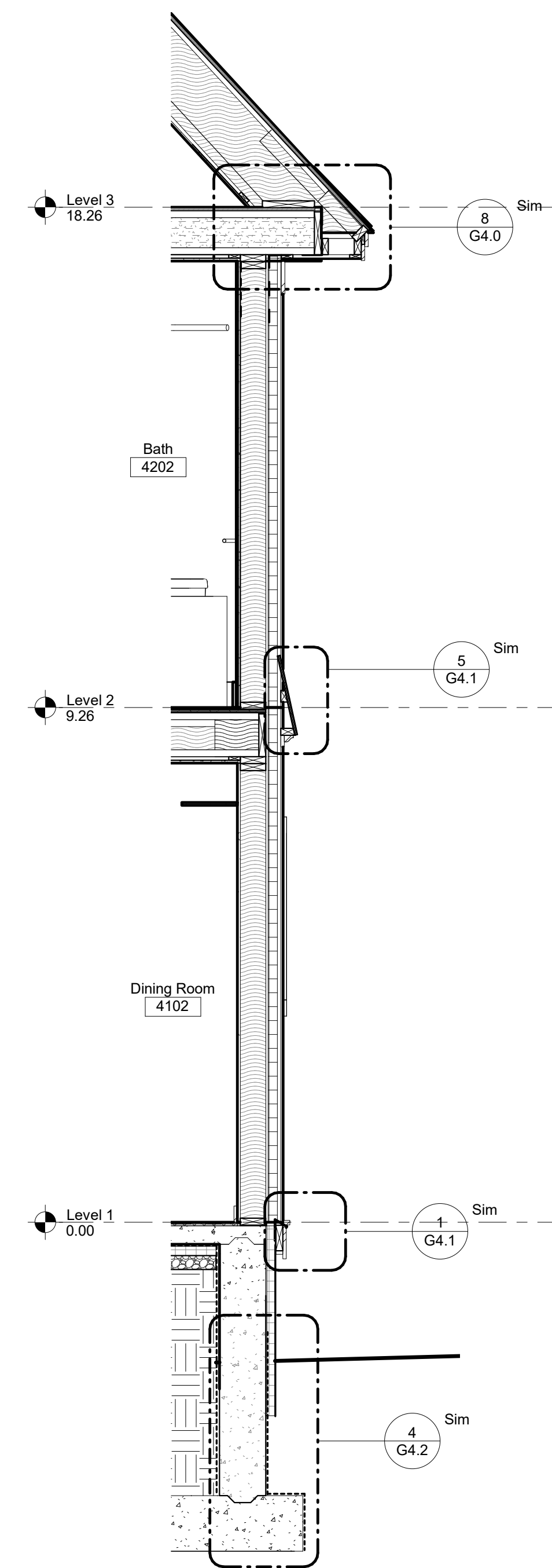
Enlarged Plans and Elevations

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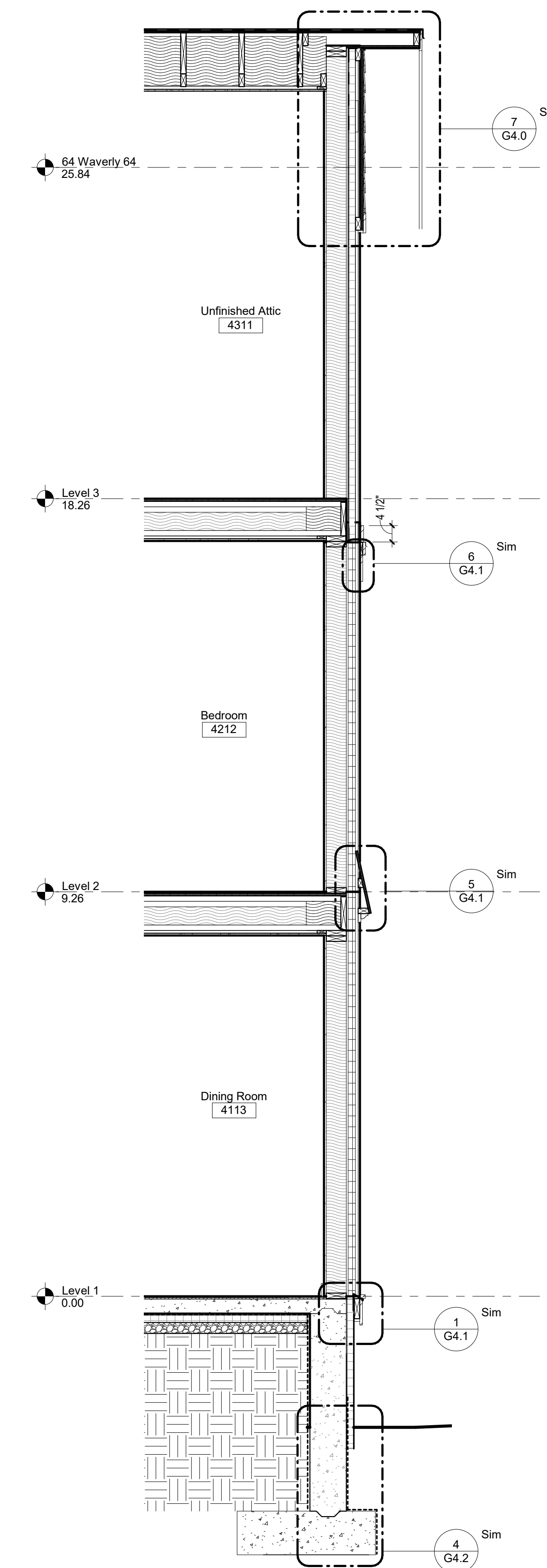
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A220-5
TYPE D3 TWO-FAMILY



3 66 Waverly - Wall Section 3
1/2" = 1'-0"

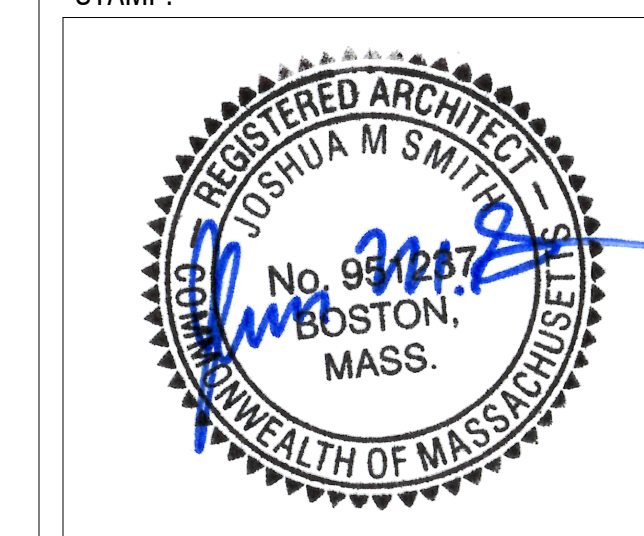


2 66 Waverly - Wall Section 2
1/2" = 1'-0"



1 66 Waverly - Wall Section 1
1/2" = 1'-0"

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Wall Sections

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A300-5
TYPE D3 TWO-FAMILY