

**BPDA Design Review Provisos**  
**67 Perrin Street, Roxbury**  
**April 23, 2024**

**General**

1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency (“BPDA”) for review and approval.
2. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the BPDA.
3. All site improvements, including but not limited to hardscape and plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the BPDA for a delay in completing the site improvements.

**Landscape/Street/Site**

4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing trees on the parcel shall be prioritized for preservation when considering lot coverage and building footprint. Mature, healthy and native trees of 6” caliper and above are particularly significant and should be protected to the greatest extent possible. Where impacts are unavoidable and trees must be removed, trees shall be mitigated as specified in the following:
  - a. Tree replacement shall be based on 1:1 ratio, based on caliper size of removed trees.
  - b. Replacement trees are to be planted in landscaped areas within the project site, or off-site in the near vicinity (in open pits or other available areas in the general location of the project), with approval by the City.
  - c. The Proponent shall be responsible for installation of trees, and maintenance of newly planted trees for at least 24 months after the date of Final Inspection, or issuance of a Certificate of Occupancy.
6. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree’s canopy.
  - a. Where impacts are unavoidable and public street trees must be removed, the proponent must apply for tree removal approval from the City’s Tree Warden and provide mitigation as specified by the Parks and Recreation Department.

7. Fences shall be of high-quality material; wood or metal is preferred. Chain link fencing is not preferred, especially in front yards; if chain-link is used, it must be vinyl-coated chain link in combination with landscaping. Fences shall not be higher than 6'-0" without ZBA approval. Fences of 6'-0" height are only allowed for rear yards. Front yard fences should not be taller than 42" (3'-6").
8. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
9. Parking shall be located in the rear, as such that it is not visible from the public realm, wherever possible. Parking shall not be located in the front yard. Screening and buffering shall be provided between parking and the public right of way, and from your neighbors if space allows. A minimum five (5) foot wide buffer is encouraged. Parking shall not be partially covered by the building; it should be wholly within the footprint of the building and screened or entirely outside the building footprint.
10. Curb-cuts should be limited to 10ft wide for residential projects, and 20ft wide for commercial projects. The pedestrian sidewalk must be continuous over the access driveway.
11. Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
12. Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.
13. Public sidewalks fronting the project site should be upgraded to meet the Americans with Disabilities Act (ADA) minimum 4' wide clear path of travel (exclusive of the 6" curb).
14. Projects are encouraged to provide usable open space for its residents. Open space at the ground level is encouraged to contribute to an active and engaging public realm, such as at-grade courtyards or garden spaces. Balconies, terraces, accessible rooftops, green roofs, and other means of providing above-grade amenities are also encouraged.

### **Building**

15. Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
16. Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window

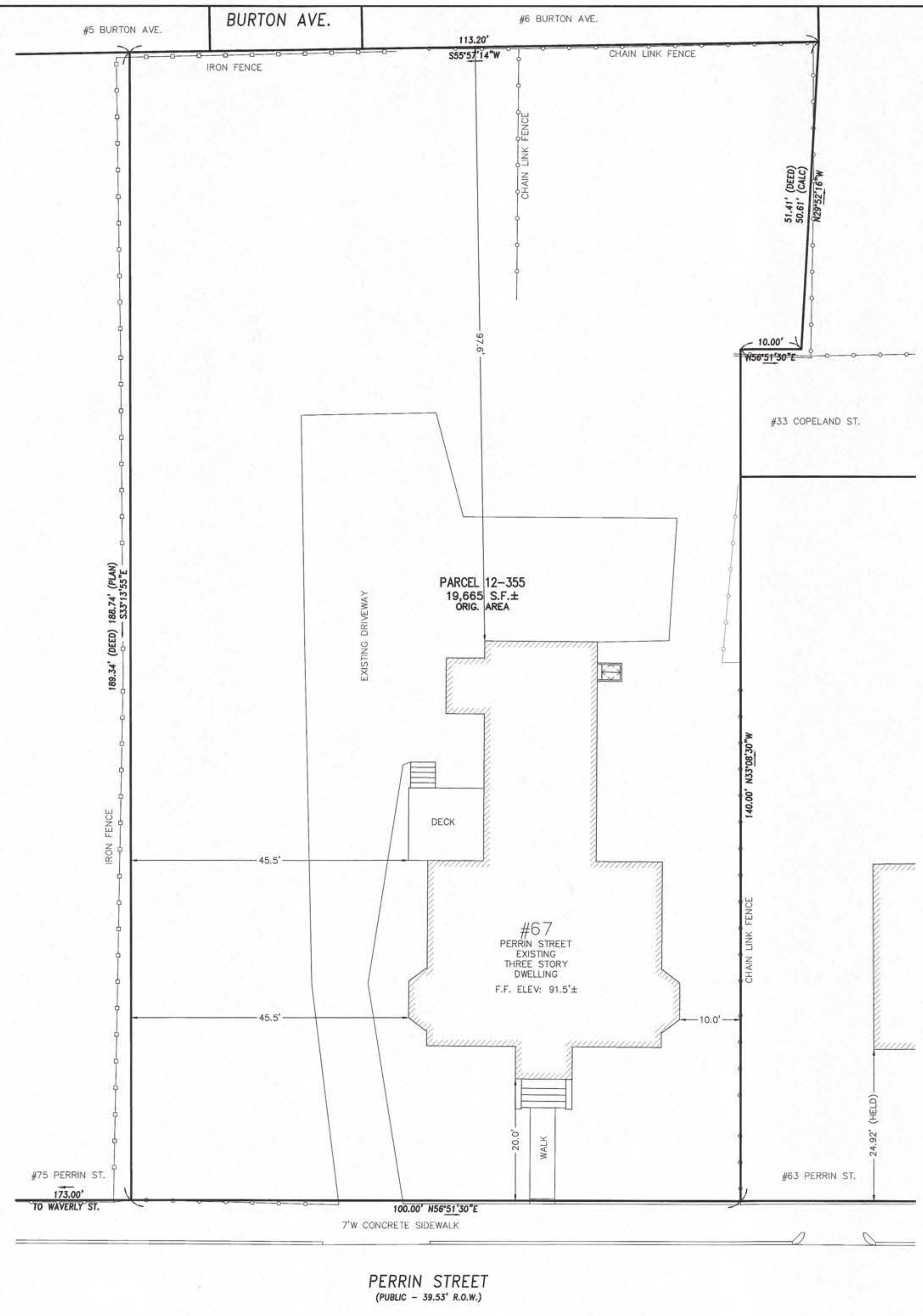
casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.

17. Windows: Windows should be wood or wood clad in another material, such as aluminum, fiberglass, or vinyl. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
18. All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.
19. Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of PVC, composite, and/or natural wood materials is acceptable.

### **Mechanical**

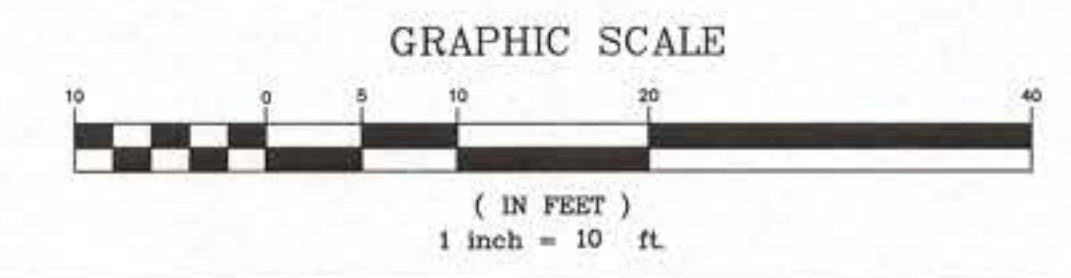
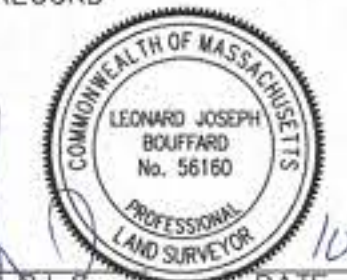
20. The final location of the HVAC compressors, gas meters, electric meters, generators, switchgear, and transformers shall be adequately screened from public view and will not be allowed in the front yard.
21. All mechanical vents shall be through the roof or rear wall and shall not be visible from the public street. Vents located on elevations that do not directly face a public way should be composed on the facade so as to minimize their appearance.





I HEREBY CERTIFY THAT THE DWELLING SHOWN HEREON AND SETBACKS HAVE BEEN DETERMINED FROM INSTRUMENT SURVEY AND PROPERTY LINES HAVE BEEN DETERMINED FROM DEEDS AND PLANS OF RECORD

*Leonard Joseph Bouffard*  
 LEONARD JOSEPH BOUFFARD, P.L.S. DATE 10-9-2023

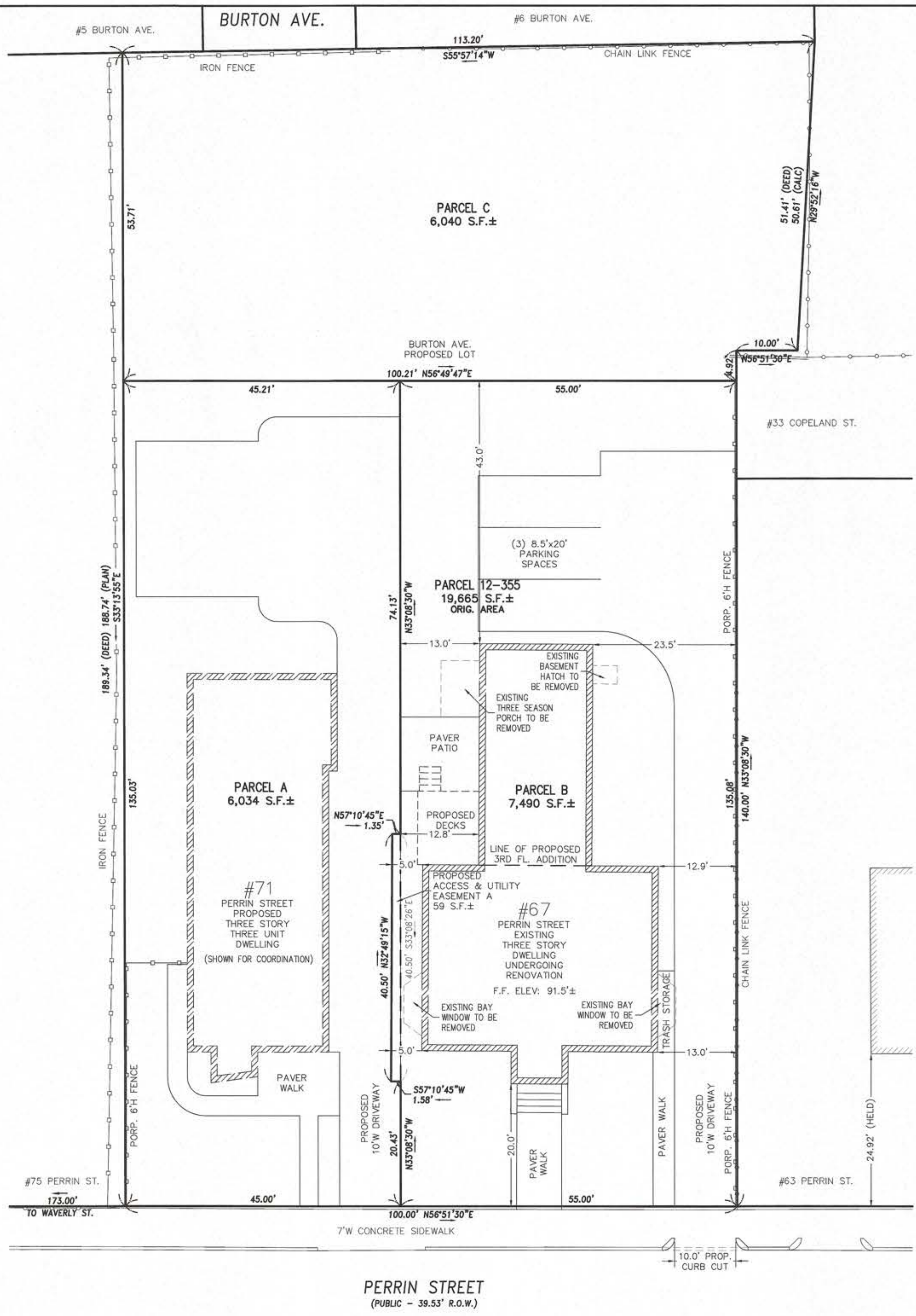


REFERENCES:  
 DEED: BOOK 7858 PAGE 452  
 PARCEL ID: 1200355000  
 PLAN:  
 PLAN IN BOOK 8147 PAGE 716  
 LAND COURT PLAN 9513A  
 LAND COURT PLAN 13240A  
 CITY OF BOSTON SURVEY DEPT.  
 NB 1213 PAGES 128-129  
 NB 538 PAGES 137-139  
 NB 1442 PAGES 92-111

EXISTING SITE PLAN  
 67 & 71 PERRIN STREET  
 ROXBURY, MA  
 FOR  
 LONGDEN REALTY, LLC  
 CIVIL ENVIRONMENTAL CONSULTANTS  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1	DATE: 10/9/2023 JOB: 4525
DRAWN BY: C.R.L.	





Designed by:  
*Seth Raman*  
 CD038A849040CF

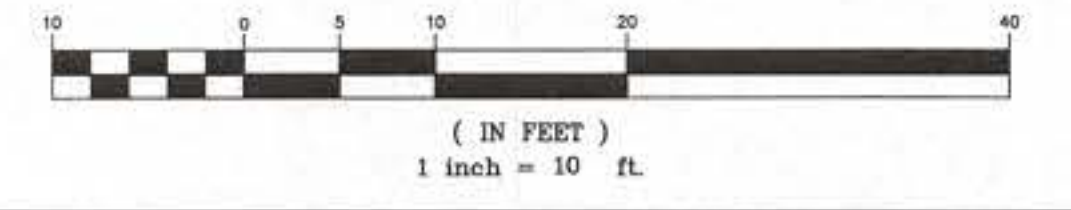
04/22/2024

ALSO SEE ATTACHED PROVISOS.

I HEREBY CERTIFY THAT THE DWELLING SHOWN HEREON AND SETBACKS HAVE BEEN DETERMINED FROM INSTRUMENT SURVEY AND PROPERTY LINES HAVE BEEN DETERMINED FROM DEEDS AND PLANS OF RECORD

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GRAPHIC SCALE



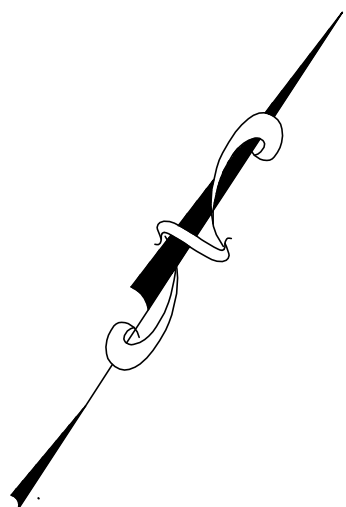
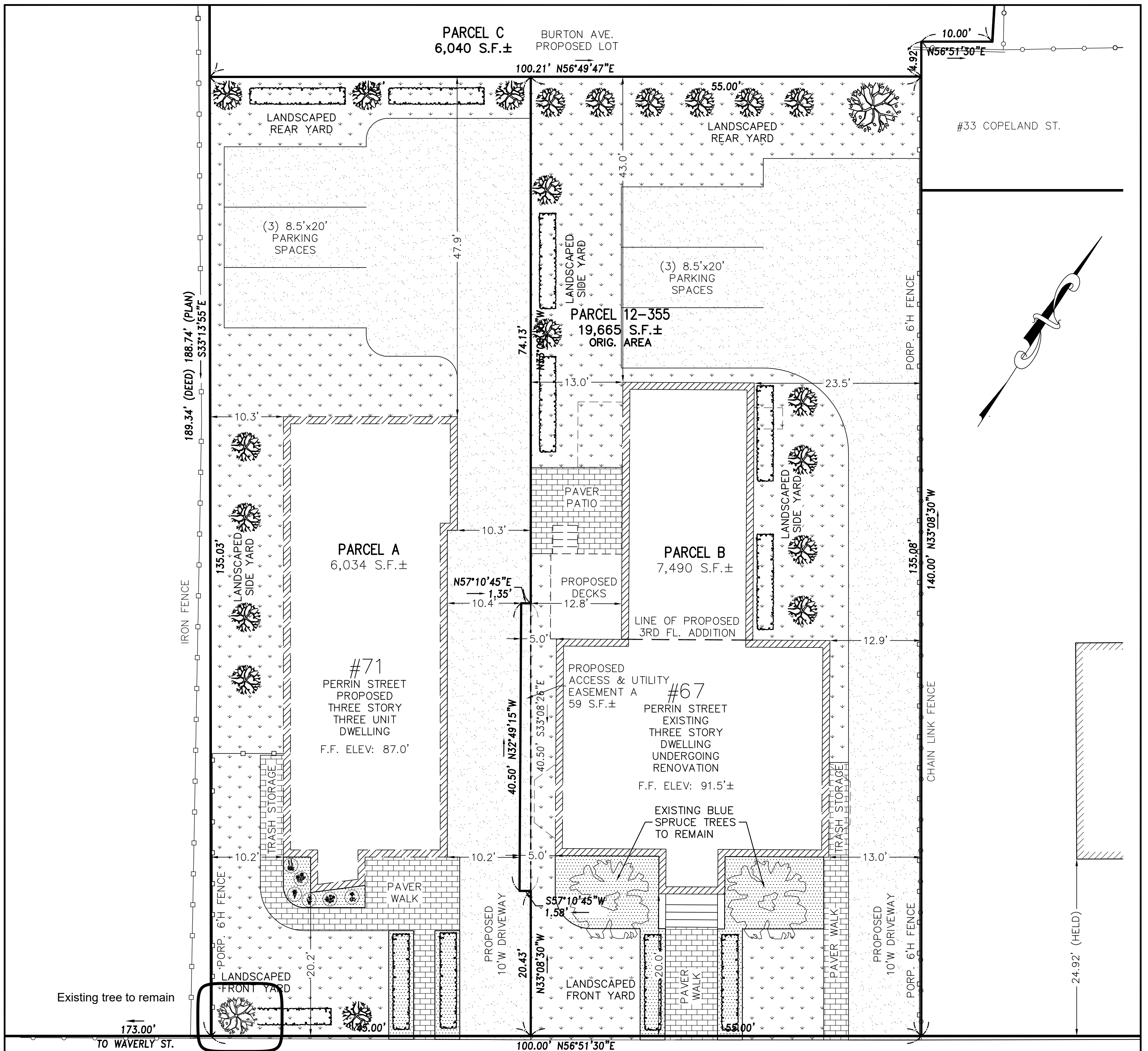
PROPOSED SITE PLAN  
 67 PERRIN STREET  
 ROXBURY, MA  
 FOR  
 LONGDEN REALTY, LLC  
 CIVIL ENVIRONMENTAL CONSULTANTS  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1      DATE: 10/9/2023 JOB: 4525  
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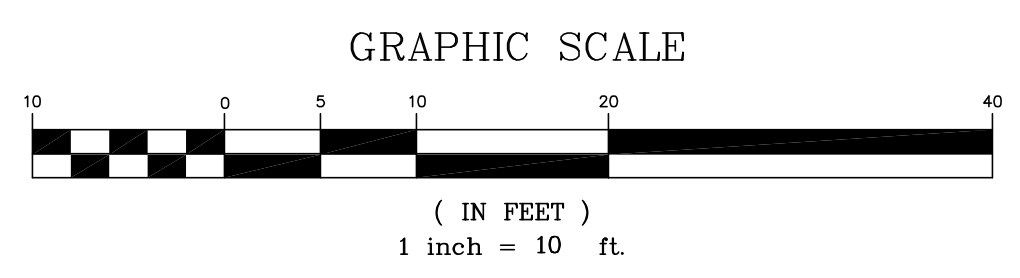
PERRIN STREET  
 (PUBLIC - 39.53' R.O.W.)





DS  
APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE *Seth P...*  
04/22/2024

**PERRIN STREET**  
(PUBLIC - 39.53' R.O.W.)



ALSO SEE ATTACHED PROVISOS

**LEGEND**

- (22) 2 1/2" CAL. PRUNUS SEROTINA (BLACK CHERRY)
- (1) 3" CAL. GLEDITSIA TRIACANTHOS (HONEYLOCUST)
- (12) MYRICA PENSYLVANICA ROWS (BAYBERRY SHRUB)
- VARIOUS FLOWERING, PERENNIAL & ANNUAL
- MULCHED PLANTING BED



**LANDSCAPE PLAN**  
**67 & 71 PERRIN STREET**  
**ROXBURY, MA**  
**FOR**  
**LONGDEN REALTY, LLC**  
**CIVIL ENVIRONMENTAL CONSULTANTS**  
8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1	DATE: 1/17/2024 JOB: 4525
DRAWN BY: C.R.L.	





Existing Photo

# 67 Perrin Street

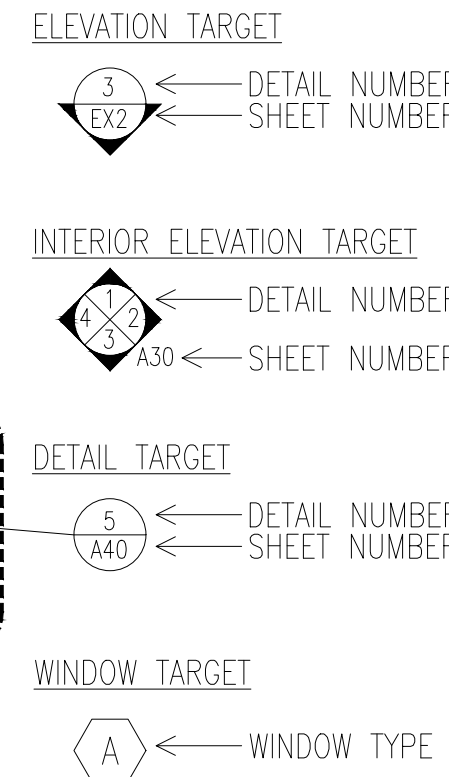
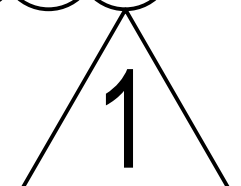
## Roxbury, Boston, Massachusetts

### Owner: Tim Longden - Issued for Permit: 07/27/2023

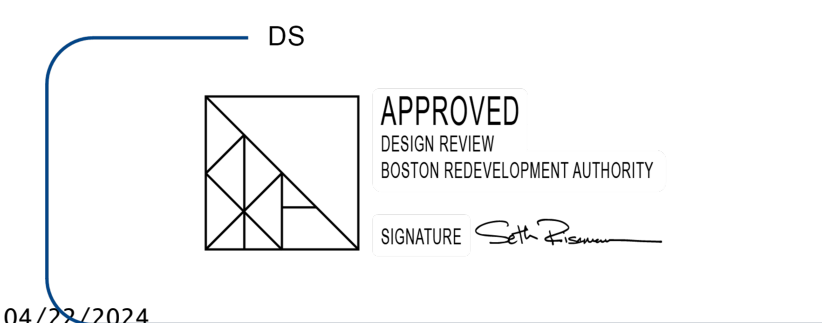
### Issued for Revision: 02/29/2024

Modifications from the Revision set dated 07/27/2024 included in this drawing set:

- Levels 1-3: Deck area decreased.



- GENERAL NOTES:**
- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
  - THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
  - THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
  - THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.
  - THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
  - BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
  - WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
  - THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
    - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
    - DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
    - ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
    - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 2 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT PERPENDICULAR WALL.
  - CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
  - ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
  - ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
    - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
    - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
    - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
    - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
    - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
    - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
    - ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
  - WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
  - EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
    - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
    - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
    - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
  - PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
  - ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
  - SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
  - EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING. CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
    - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES



ALSO SEE ATTACHED PROVISOS



1 LOCATION PLAN SCALE: NOT TO SCALE

- APPLICABLE CODES:**
- BUILDING CODE: CMR 780 MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
  - ACCESSIBILITY: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD CMR 521 AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
  - FIRE PROTECTION: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE CMR 527 1.00 - 2015 NFPA 1: FIRE CODE WITH AMENDMENTS
  - ELECTRICAL: 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2020 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
  - MECHANICAL: INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
  - PLUMBING: 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
  - ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2018 (IECC)
  - AMERICANS WITH DISABILITIES ACT
  - BOSTON ZONING CODE
  - MGL CH. 148 SECTION 26G

**BUILDING DESCRIPTION:**  
 EXISTING TWO-FAMILY RESIDENTIAL BUILDING TO BE CONVERTED INTO A THREE-FAMILY RESIDENTIAL BUILDING WITH THREE PARKING SPACES. BUILDING WILL NOT HAVE AN ELEVATOR. BUILDING WILL BE FULLY SPRINKLERED.

- CODE SUMMARY:**
- PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-2
    - OCCUPANT LOAD: (200 GROSS SF/PERSON PER TABLE 1004.1.2) APPROX. 6,012 SF = 31 PERSONS
  - CONSTRUCTION TYPE: V.B. - TABLE 504.4
    - PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE NOT REQUIRED TO BE RATED
    - MAX. AREA IS UNLIMITED PER FLOOR PER TABLE 506 AND MAXIMUM HEIGHT IS 3 STORIES ABOVE GRADE - 504.4
  - PER TABLE 1006.3.2(1) FOR USE GROUP R-2 - ONLY ONE EXIT IS REQUIRED WHEN THERE ARE LESS THAN FOUR STORIES AND 4 DWELLING UNITS OR LESS PER STORY. TRAVEL DISTANCE IS LIMITED TO 125'
  - MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
  - MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
  - FIRE RATED CONSTRUCTION:
    - PER TABLE 602, IN V.B. CONSTRUCTION EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED.
    - DEMISING PARTITION/CORRIDORS MUST BE 1 HOUR IN A TYPE V.B BUILDING 420.2 AND 708.3
    - HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1 HOUR IN A TYPE V.B BUILDING PER 420.3 AND 711.2.4.3 - REFER TO DETAIL ON A-20
    - STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED. STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
    - PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS. 1 HOUR AND 1/2 HOUR CORRIDORS SHALL HAVE A MINIMUM 20 MIN. RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 90 MINUTE RATED DOORS.
  - DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2 AND MIN. 50 IIC BETWEEN FLOORS
  - ACCESSIBILITY REQUIREMENTS:
    - CMR 521 9.3 - EXISTING BUILDINGS RENOVATED FOR RESIDENTIAL USE ARE EXEMPT FROM MAAB REQUIREMENTS PER 521 CMR, ARCHITECTURAL ACCESS BOARD, PARAGRAPH 9.2.1

- ENERGY REQUIREMENTS:**  
 MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018
- CLIMATE ZONE 5 PER TABLE 301.1
  - EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 503.1
  - PER IECC TABLE 402.4, FENESTRATION SHALL HAVE A U-FACTOR OF 0.38 OR BETTER.
  - SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.55 OR BETTER PER 402.4.
  - VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
  - R402.1.3 - CEILING: R=49; WOOD FRAME WALL: R=20 (CAVITY)+ 3.8 (CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10
  - DEMAND RECIRCULATION WATER SYSTEMS SHALL HAVE CONTROLS THAT COMPLY WITH REQUIRED CODES
  - HOT WATER PIPES IN UNCONDITIONED SPACES SHALL ALL BE INSULATED TO AT LEAST R-3, AND HOT WATER PIPES IN CONDITIONED SPACES 3/4" AND LARGER SHALL BE INSULATED TO AT LEAST R-3.

ZONING ANALYSIS:	3F-4000	EXISTING	PROPOSED	COMMENTS
LOT AREA MIN.	4,000 SF/ 1 OR 2 UNITS	19,665 SF	7,504 SF	*LOT TO BE SUBDIVIDED
ADD'L LOT AREA REQ'D FOR EA. UNIT	2,000 SF	-	7,504 SF = 3 UNITS	*PROPOSED 3 UNITS
MIN. LOT WIDTH	45'	100'	45'	*LOT TO BE SUBDIVIDED
MIN. LOT FRONTAGE	45'	100'	45'	*LOT TO BE SUBDIVIDED
MAX. F.A.R.	0.8	5.164 SF/ 19,665 SF = 0.26	6.012 SF/ 7,504 SF = 0.8	
MAX. HEIGHT (STORIES/FEET)	3 / 35'	3 / 35'	3 / 35'	*ADDITION TO FOLLOW XST ROOF HEIGHT
USABLE OPEN SPACE / UNIT	650	5,230 SF/3 = 1,743 SF	2,982 SF/3 = 994 SF	
MIN. FRONT YARD SETBACK	20'	25'	25'	*EXISTING FRONT SETBACK
MIN. SIDE YARD SETBACK	10'	13'-4"	5'	*PROPOSED SIDE SETBACK AFTER LOT SUBDIVISION
MIN. REAR YARD SETBACK	30'	40'-10"	40'-10"	
PARKING REQUIREMENT	1.0 / UNIT	-	3 FULL SPACES	

- LIST OF DRAWINGS**
- A-01 ANALYSIS, DRAWING LIST AND NOTES
  - A-02 SITE PLAN
  - A-10 PROPOSED PLANS
  - A-11 PROPOSED PLANS
  - A-30 PROPOSED ELEVATIONS
  - A-31 PROPOSED ELEVATIONS
  - A-40 PROPOSED SECTION AND DETAILS
  - A-41 PROPOSED DETAILS
  - X-A1 EXISTING PLANS
  - X-A2 EXISTING PLANS
  - X-A2 EXISTING ELEVATIONS
  - X-A3 EXISTING ELEVATIONS

# 2/29/2024



**67 Perrin St.**  
 Tim Longden

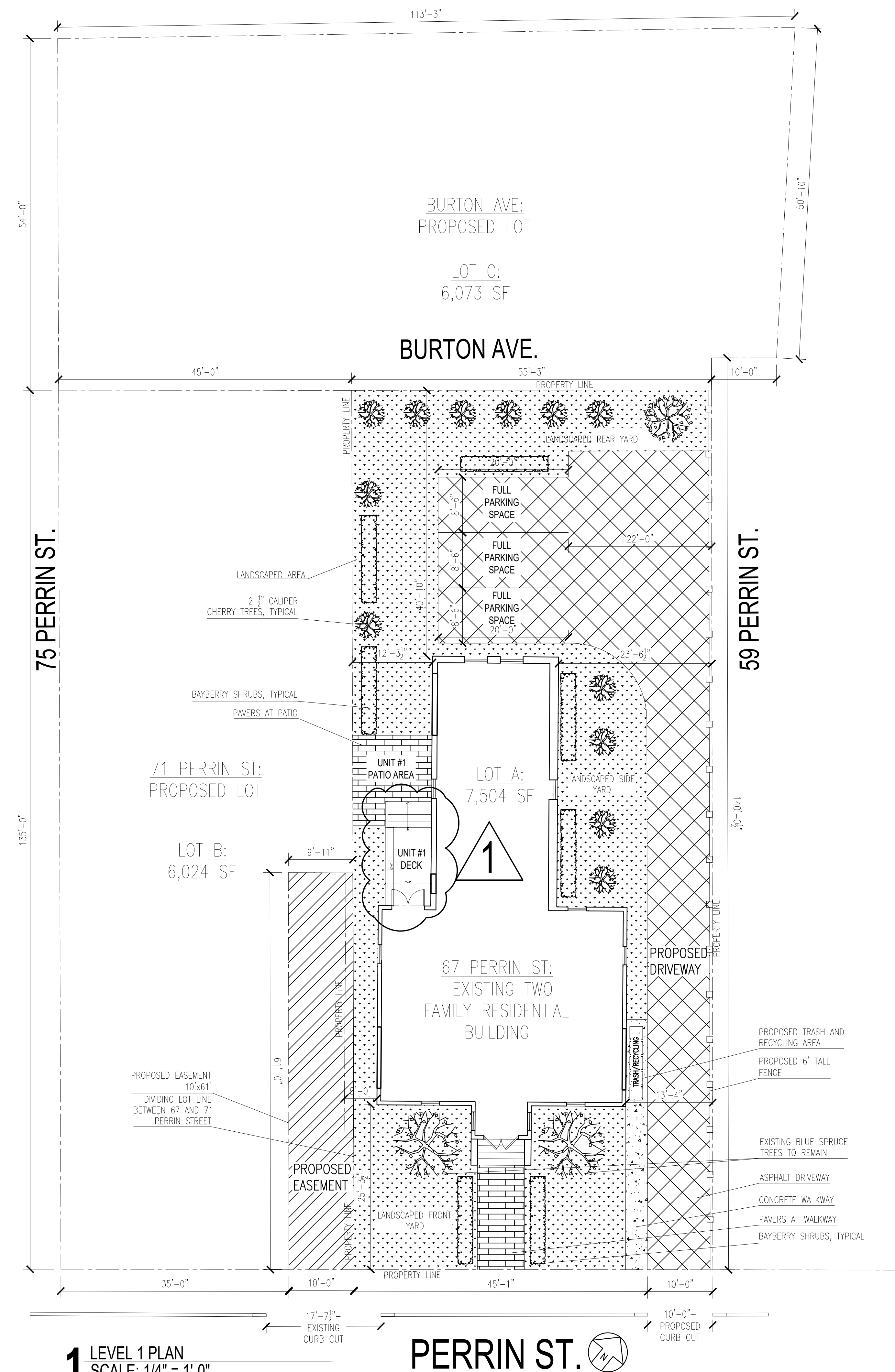
**context**  
 a collaborative design workshop

Roxbury, Boston, Massachusetts 02119

02 01	Issued for Revision	02/29/2024
	Issued for Permit	07/27/2023
No.	Description	Date
Drawing Title: ANALYSIS, DWG LIST, NOTES		
Project No.: 592	Checked by: EZ	

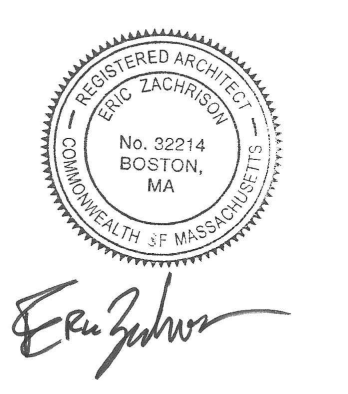
# A-01





**1** LEVEL 1 PLAN  
 SCALE: 1/4" = 1'-0"

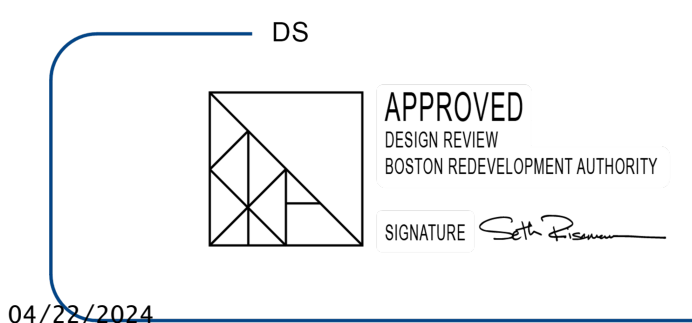
2/29/2024



**67 Perrin St.**  
 Tim Longden

**context**  
 a collaborative design workshop

Roxbury, Boston, Massachusetts  
 02119



ALSO SEE ATTACHED PROVISOS

02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023
No.	Description	Date
Drawing Title: Proposed Plans		
Project No.: 592		
Checked by: EZ		

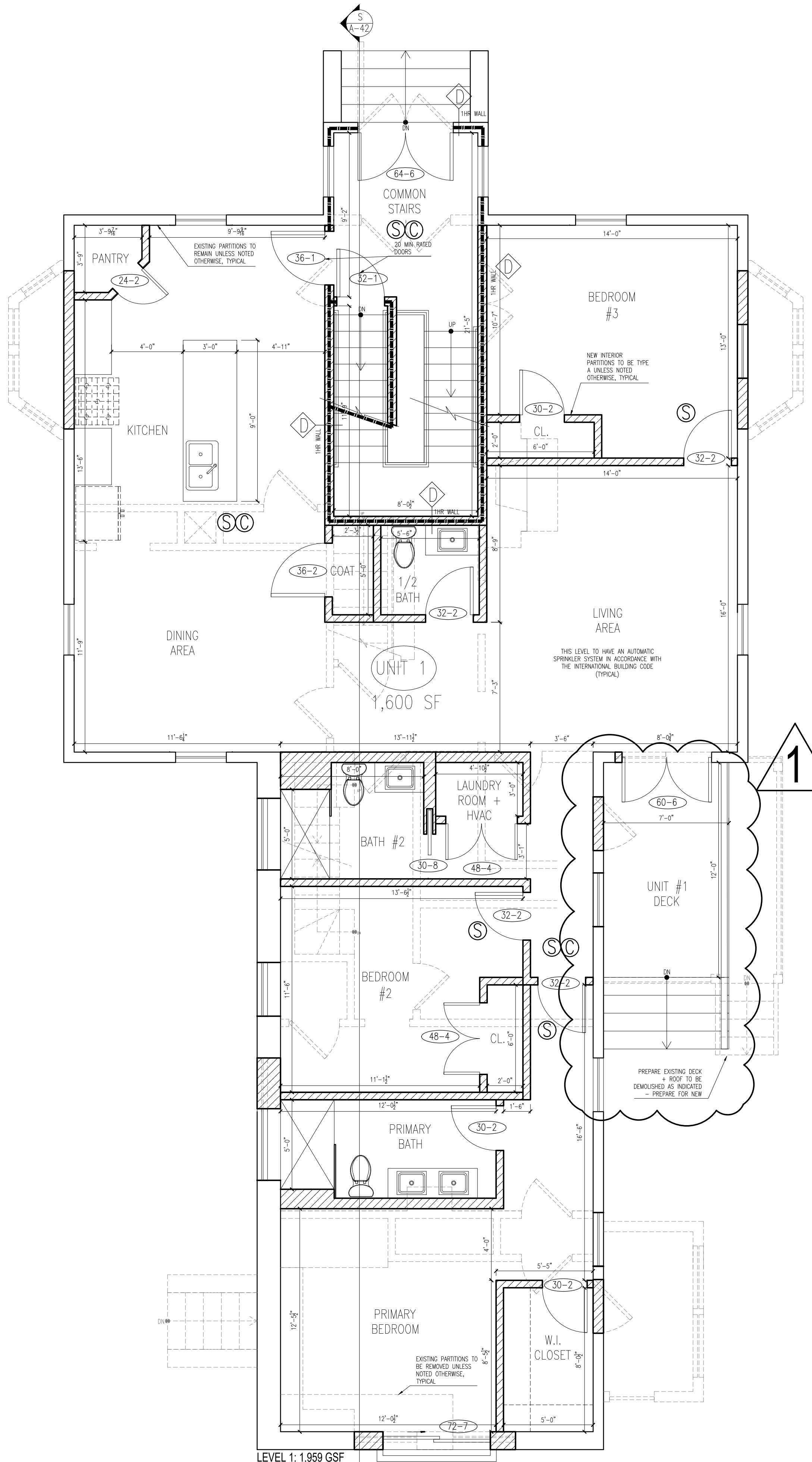
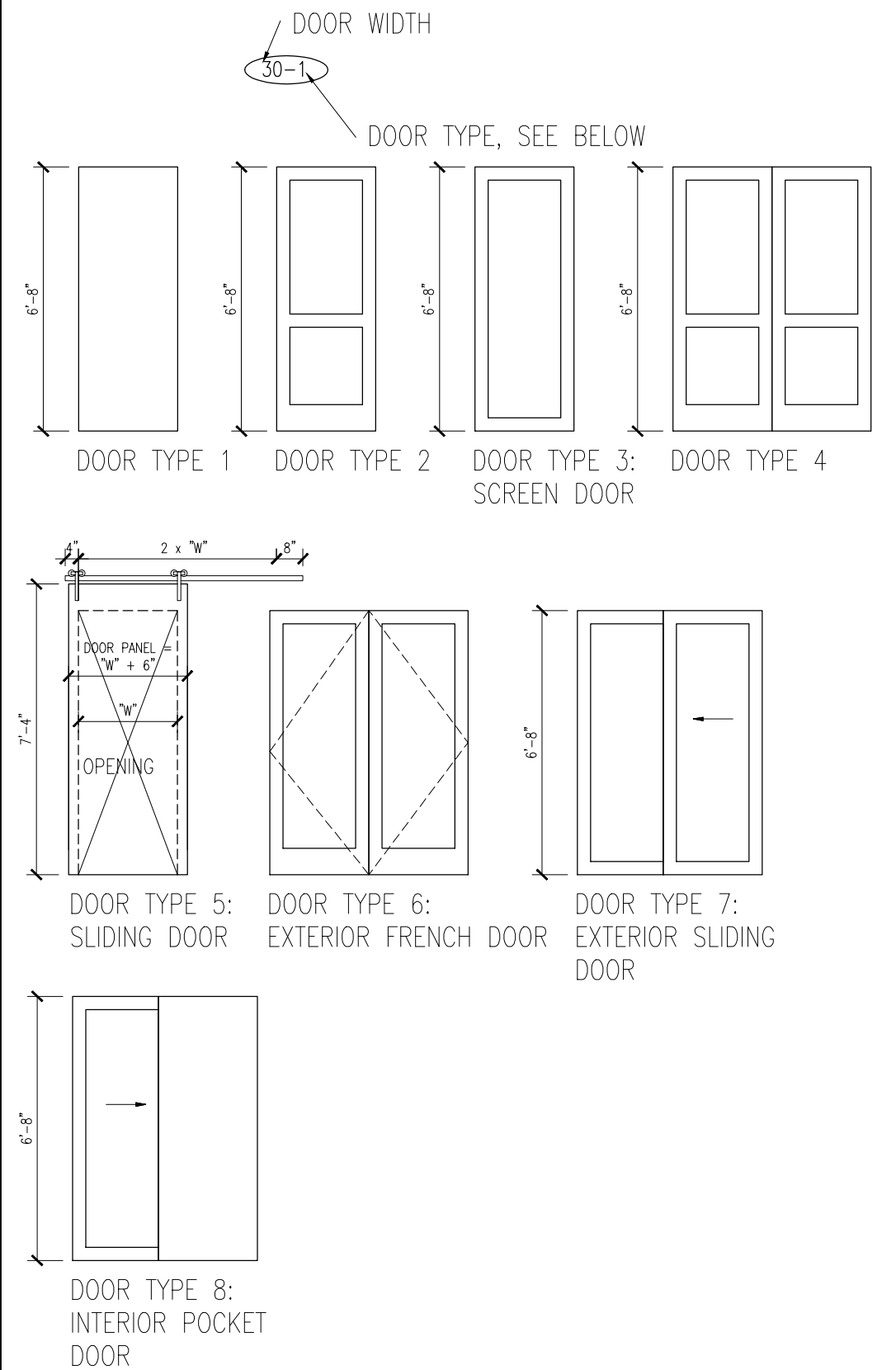
A-02

- LEGEND**
- NEW PARTITION
  - EXISTING PARTITION TO REMAIN
  - EXISTING PARTITION TO BE REMOVED
  - 1 HOUR RATED PARTITION
  - EXISTING DOOR TO REMAIN
  - EXISTING DOOR TO BE REMOVED
  - NEW DOOR
  - 
  - SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
  - CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
  - HEAT DETECTOR, HARDWIRED AND INTERCONNECTED
  - WALL TYPE, REFER TO DRAWING A-01

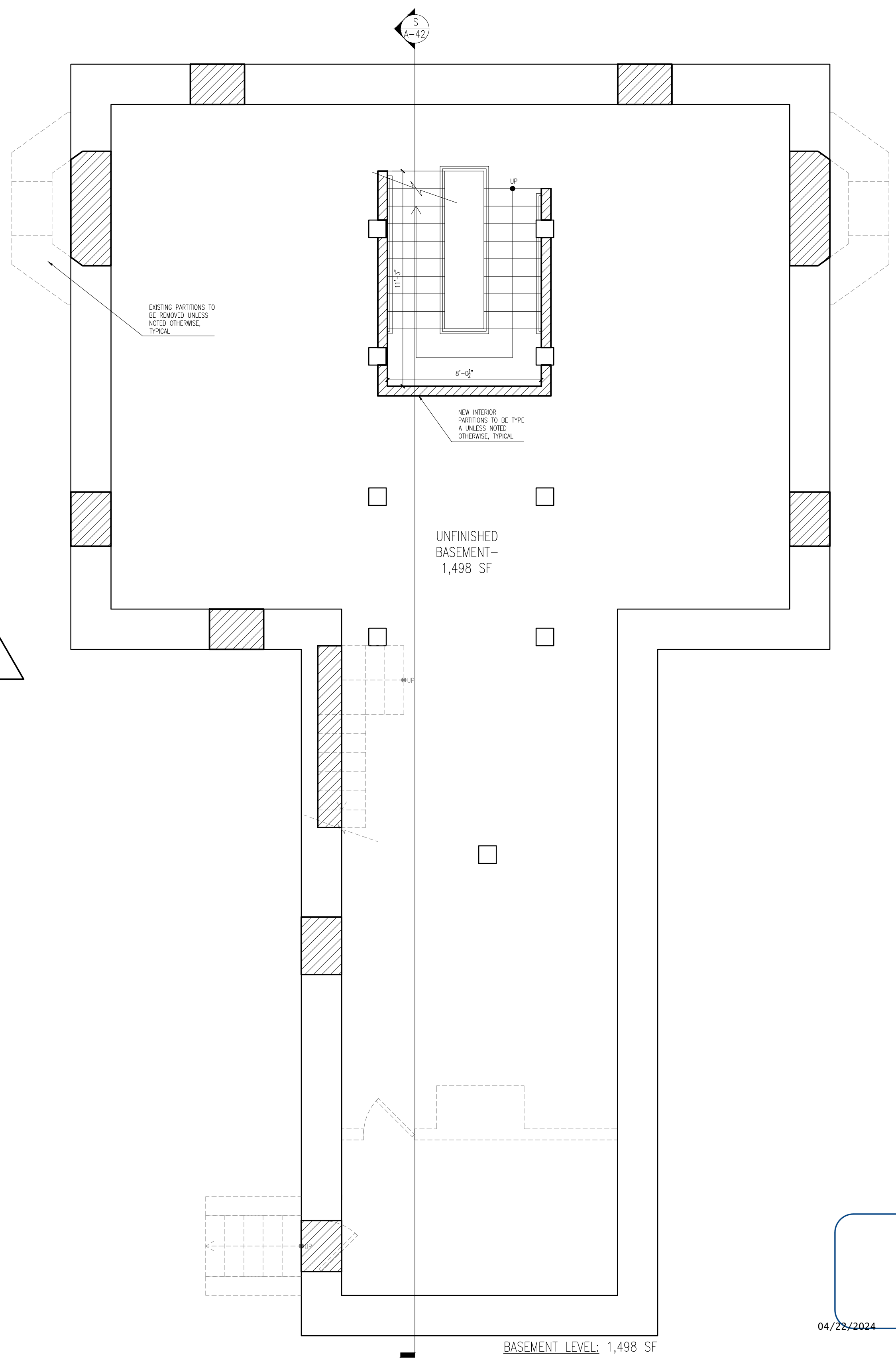


- FINISH NOTES:**
- ALL WALLS TO BE PAINTED GWB, (WHITE TO MATCH ARCHITECT'S SAMPLE)
  - FLOORS TO BE HARDWOOD UNLESS NOTED OTHERWISE.

- DOOR NOTES:**
- ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES.
  - INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
  - DOOR TARGETS:



**1 LEVEL 1 PLAN**  
SCALE: 1/4" = 1'-0"



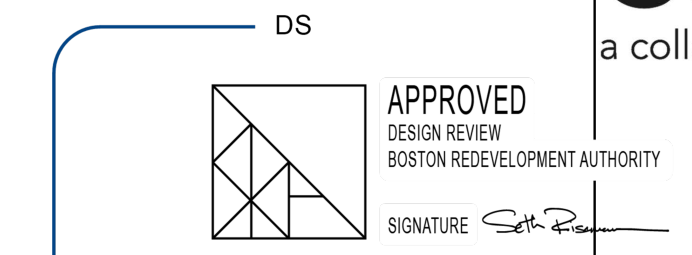
**B BASEMENT LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

2/29/2024



67 Perrin St.  
Tim Longden

**context**  
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Roxbury, Boston, Massachusetts 02119

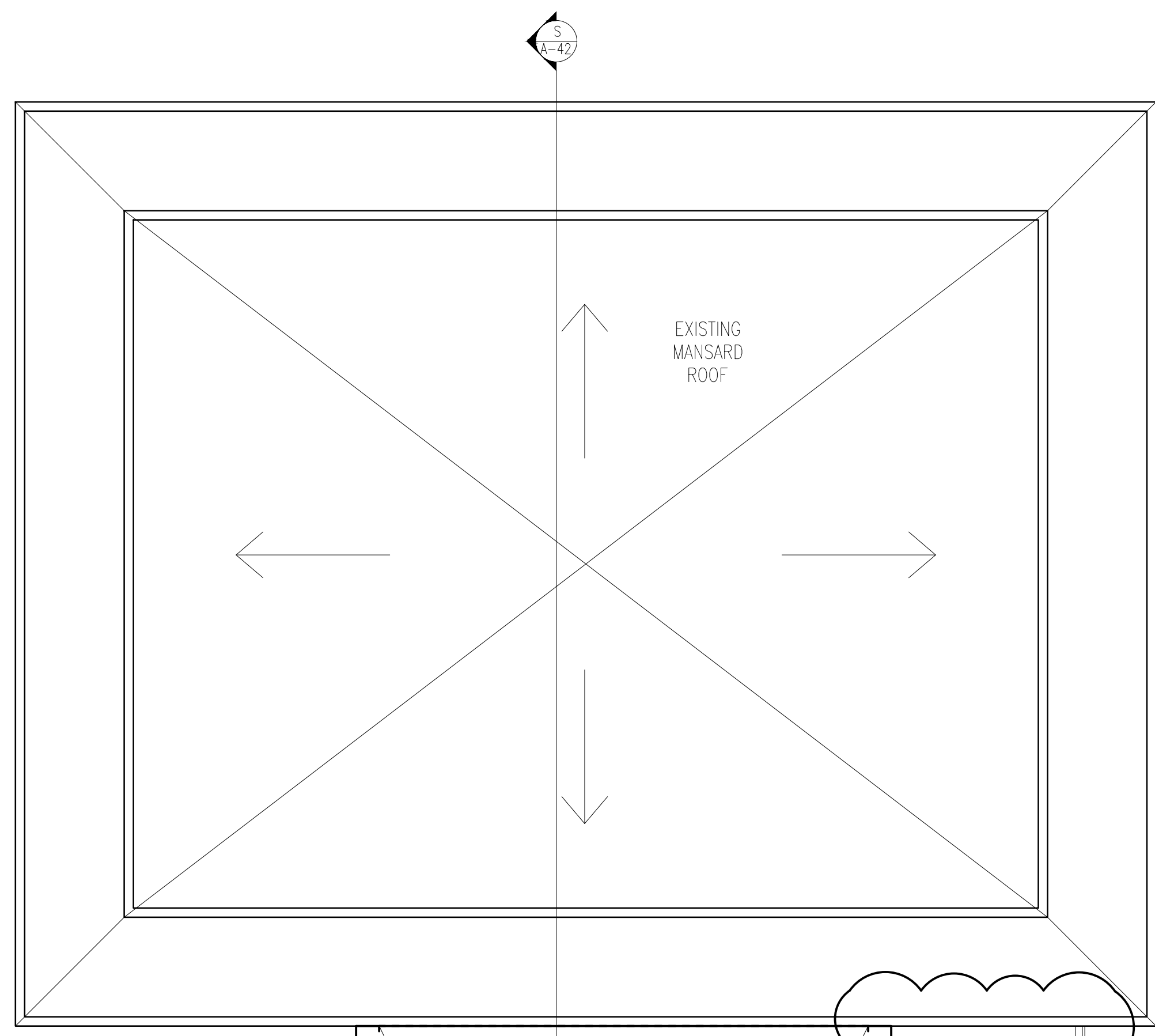
ALSO SEE ATTACHED PROVISOS

No.	Description	Date
02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

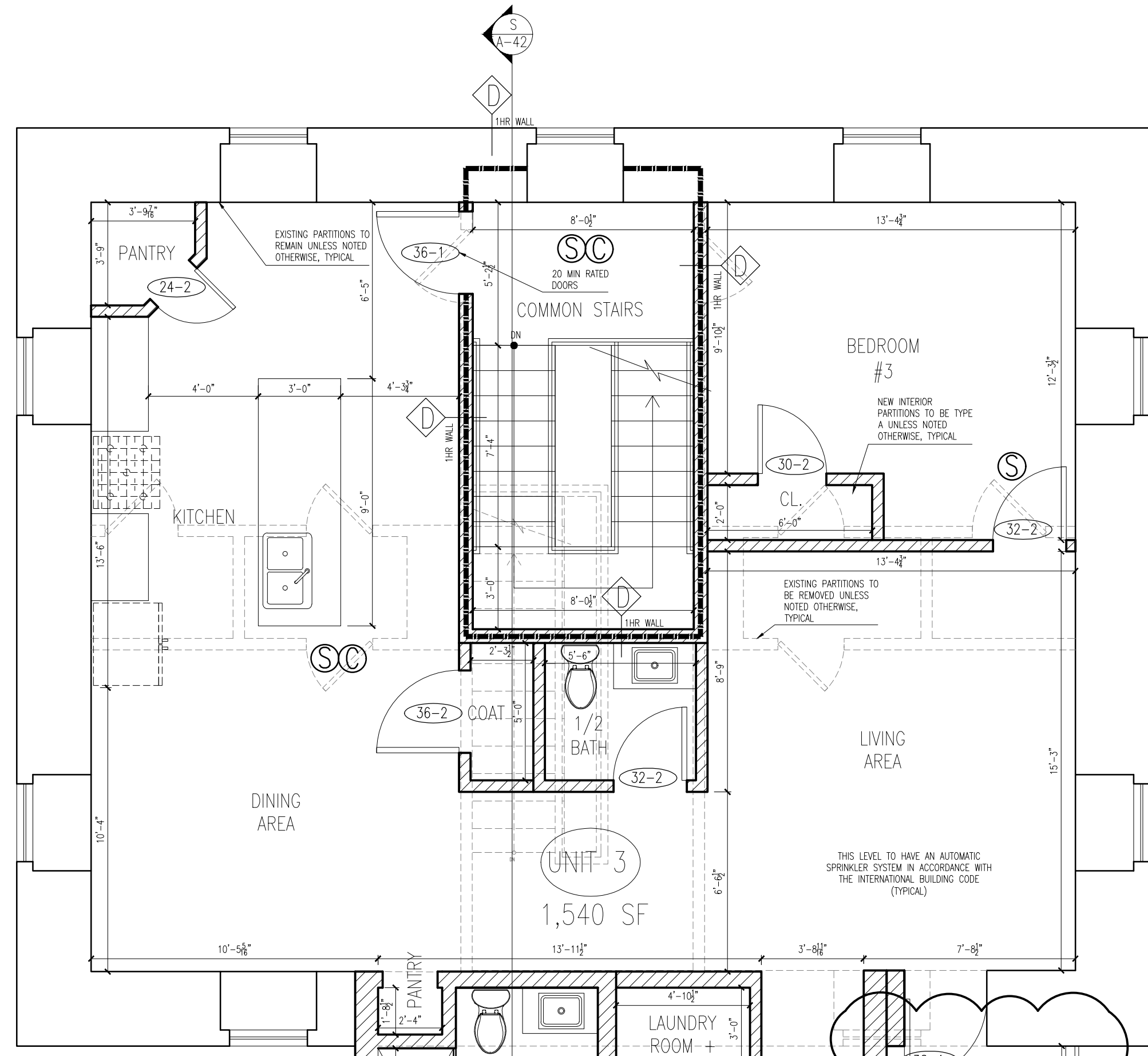
Drawing Title: Proposed Plans  
Project No.: 592  
Checked by: EZ

A-10

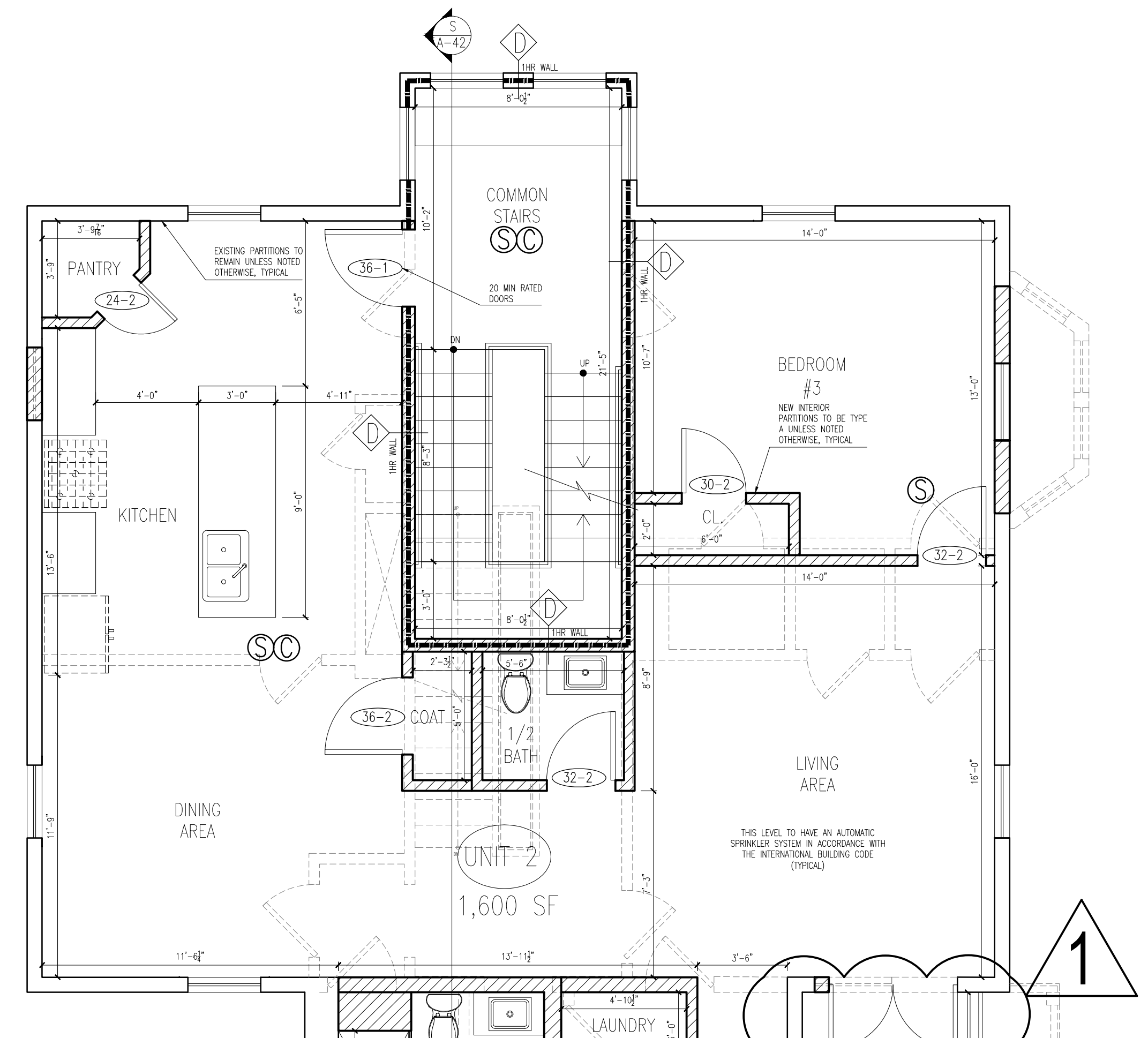




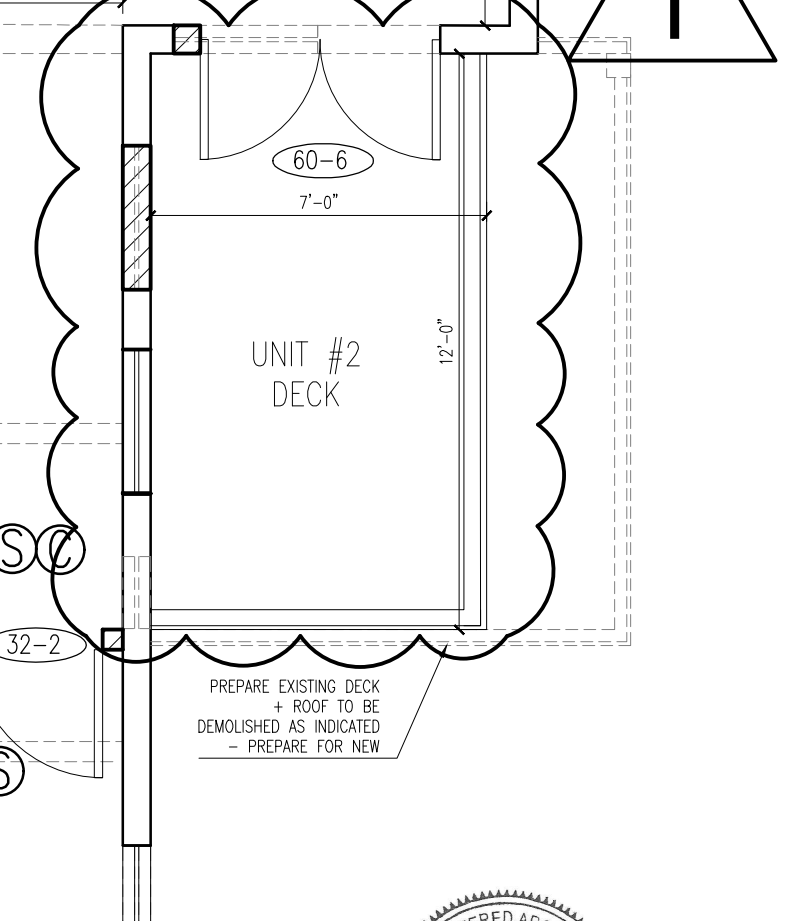
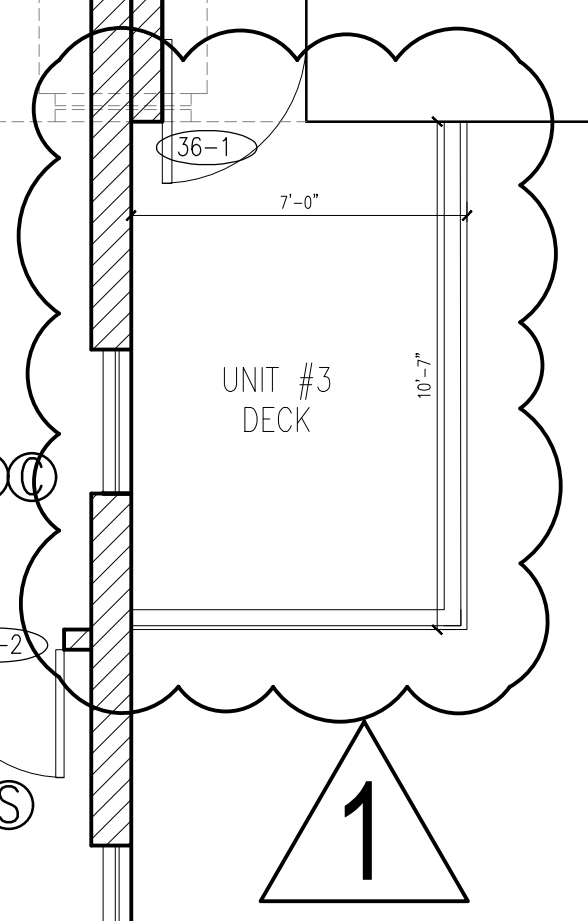
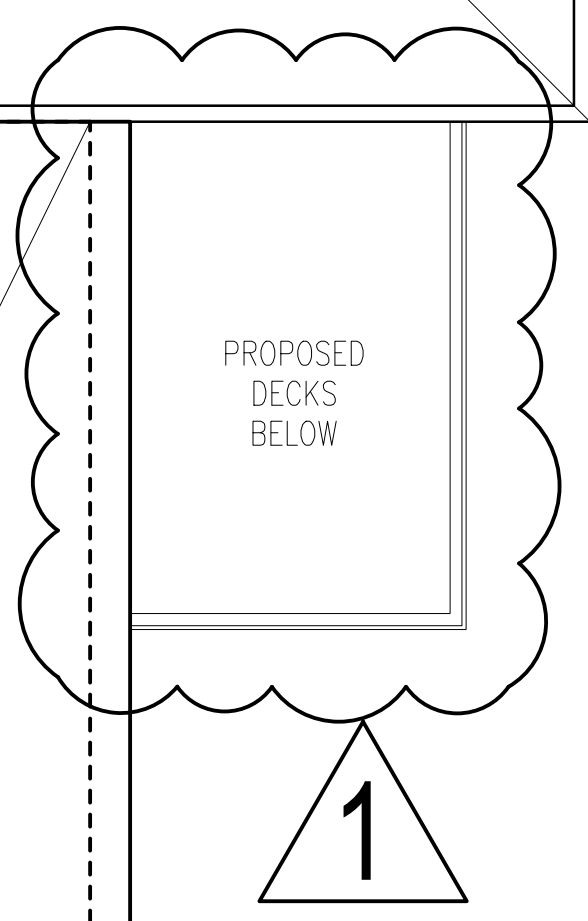
**R** ROOF LEVEL PLAN  
SCALE: 1/4" = 1'-0"



**3** LEVEL 3 PLAN  
SCALE: 1/4" = 1'-0"



**2** LEVEL 2 PLAN  
SCALE: 1/4" = 1'-0"



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Massachusetts  
02119

No.	Description	Date
02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

Drawing Title: Proposed Plans

Project No.: 592 Checked by: EZ

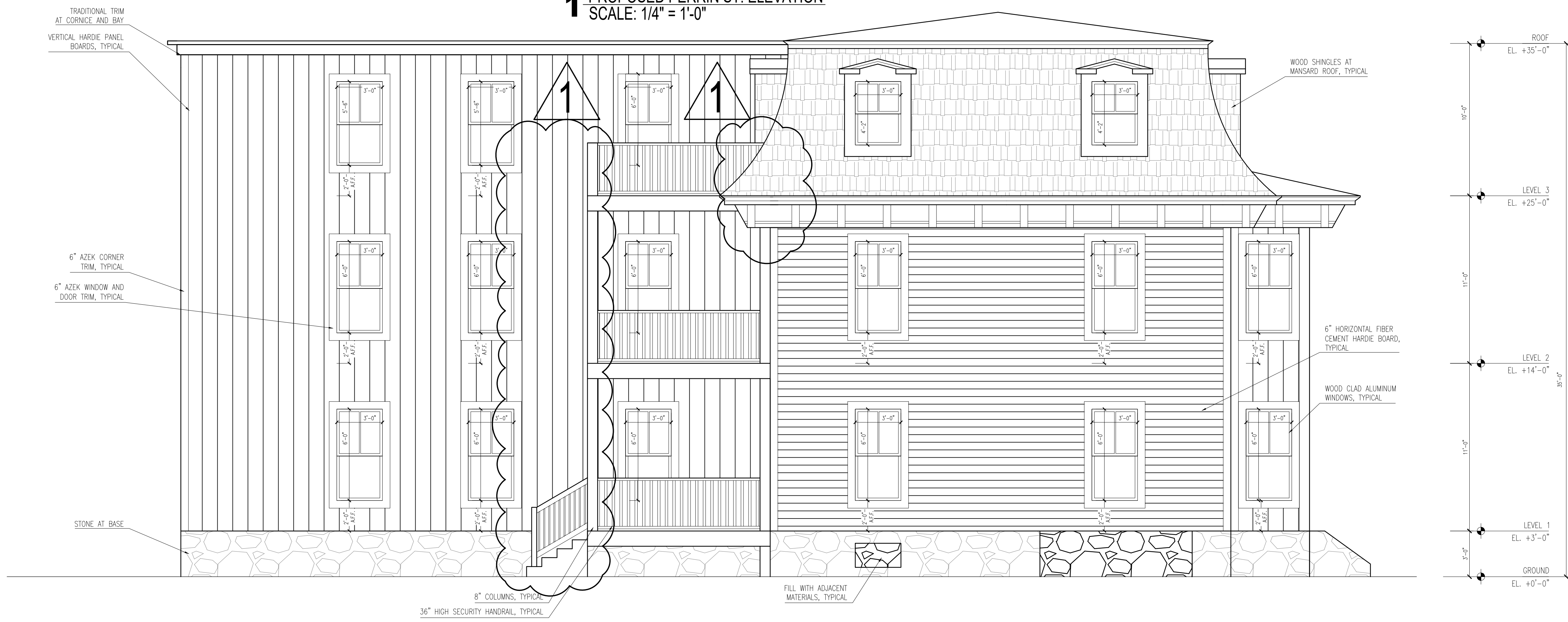
A-11

2/29/2024



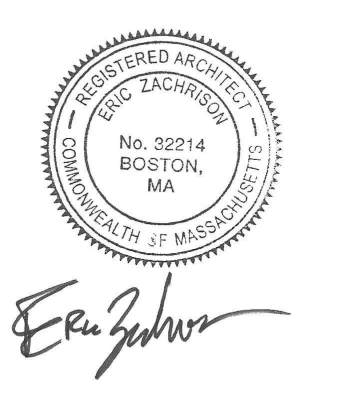


**1** PROPOSED PERRIN ST. ELEVATION  
SCALE: 1/4" = 1'-0"



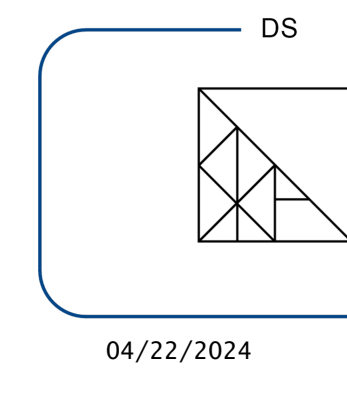
**2** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

2/29/2024



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APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE

04/22/2024

Roxbury, Boston, Massachusetts 02119

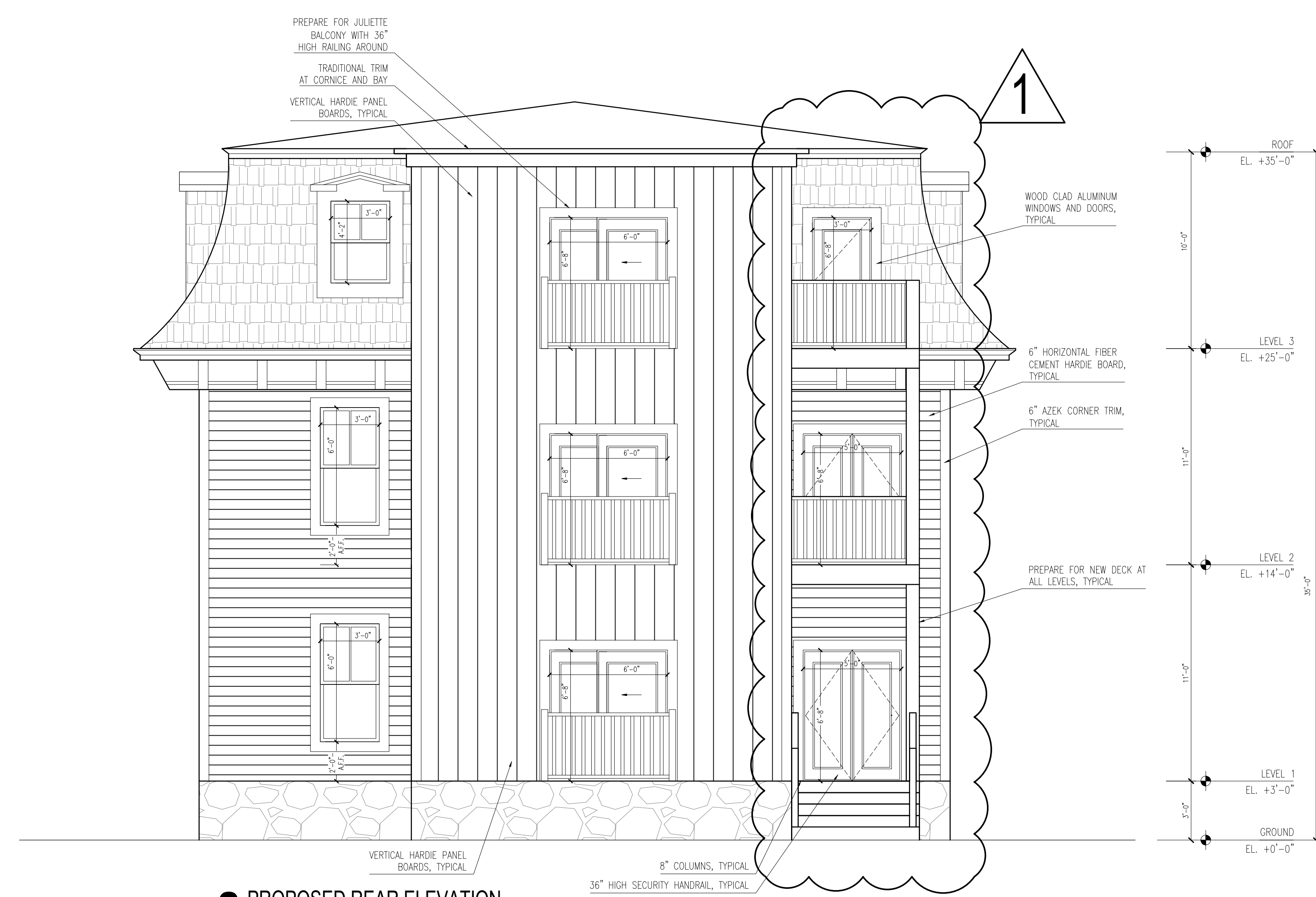
No.	Description	Date
02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

Drawing Title: Proposed Elevations

Project No.: 592 Checked by: EZ

A-30

ALSO SEE ATTACHED PROVISOS

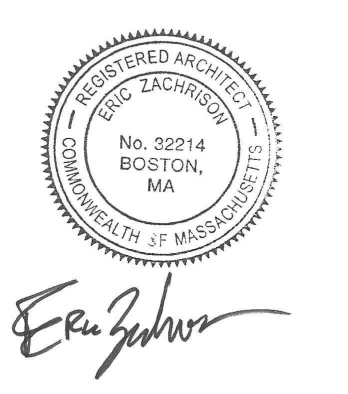


**3** PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



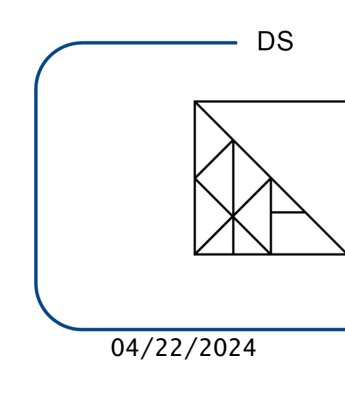
**4** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

2/29/2024



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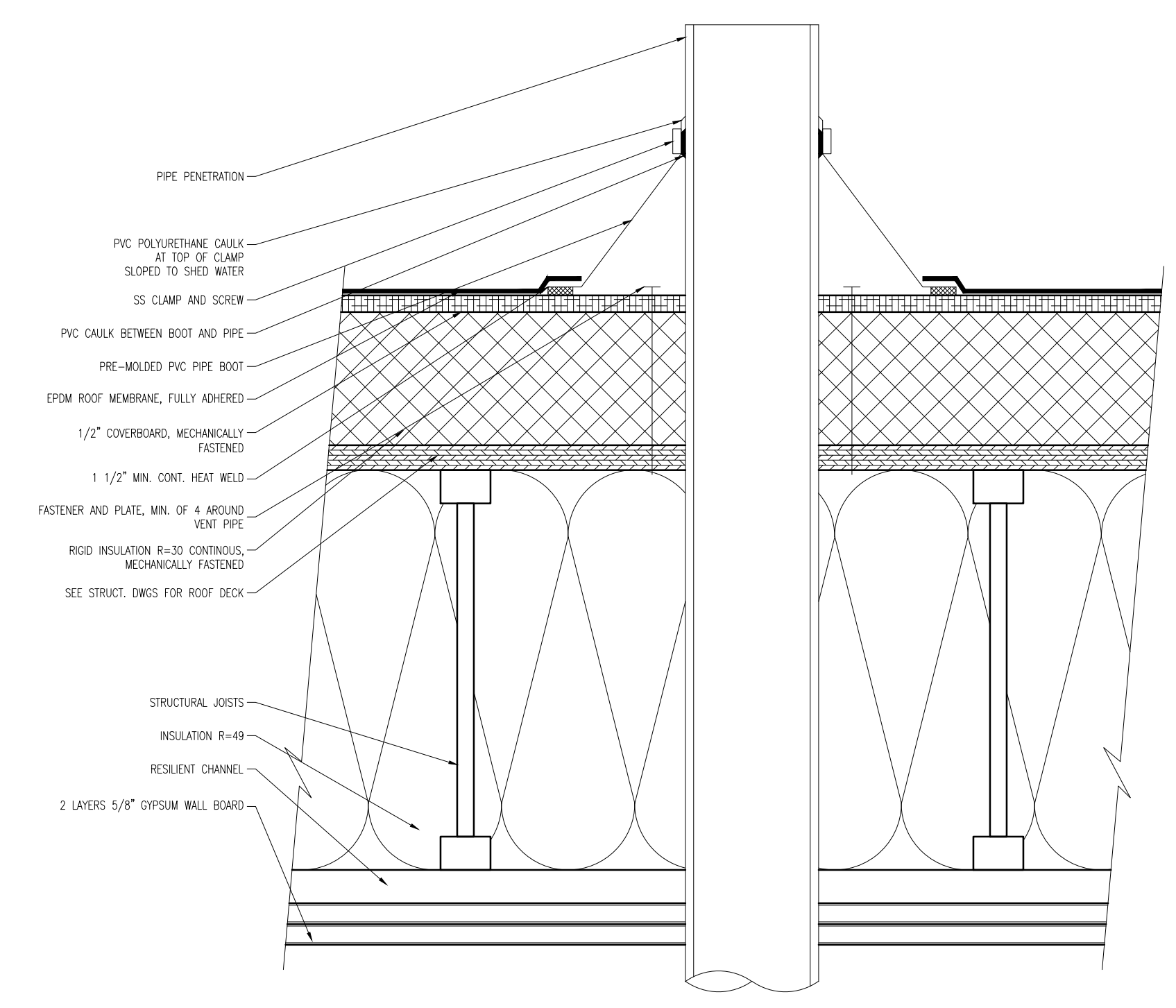
APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE: *[Signature]*

Roxbury, Boston, Massachusetts  
02119

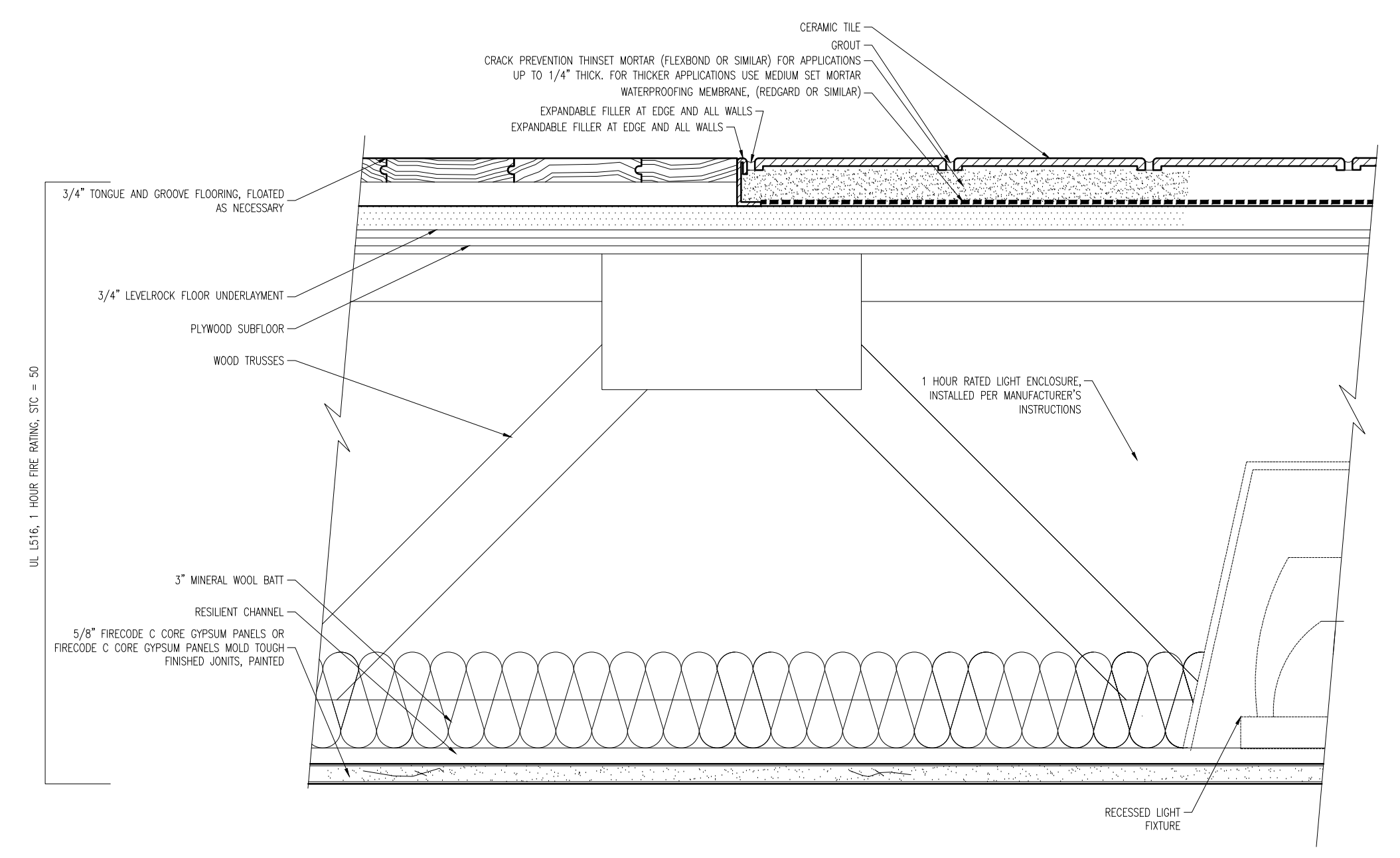
No.	Description	Date
02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

Drawing Title: Proposed Elevations  
Project No.: 592  
Checked by: EZ

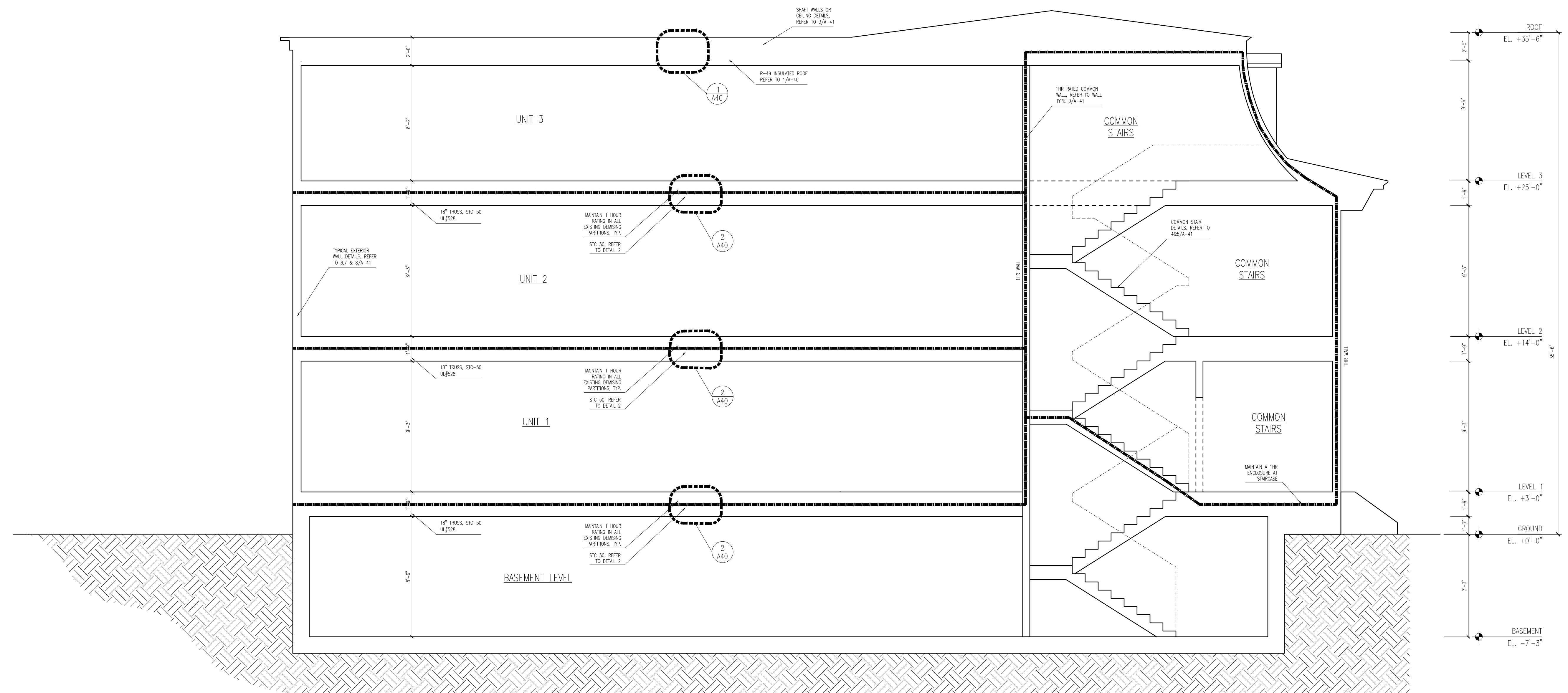
A-31



**1** ROOF PENETRATION SECTION DETAIL  
SCALE: 3" = 1'-0"

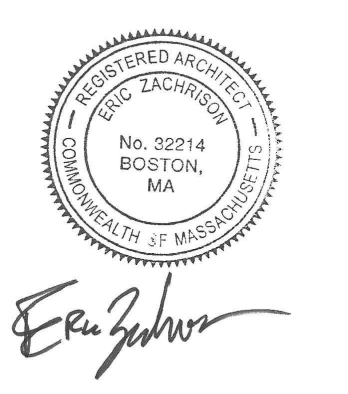


**2** CEILING SANDWICH SECTION DETAIL  
SCALE: 3" = 1'-0"



**4** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

2/29/2024



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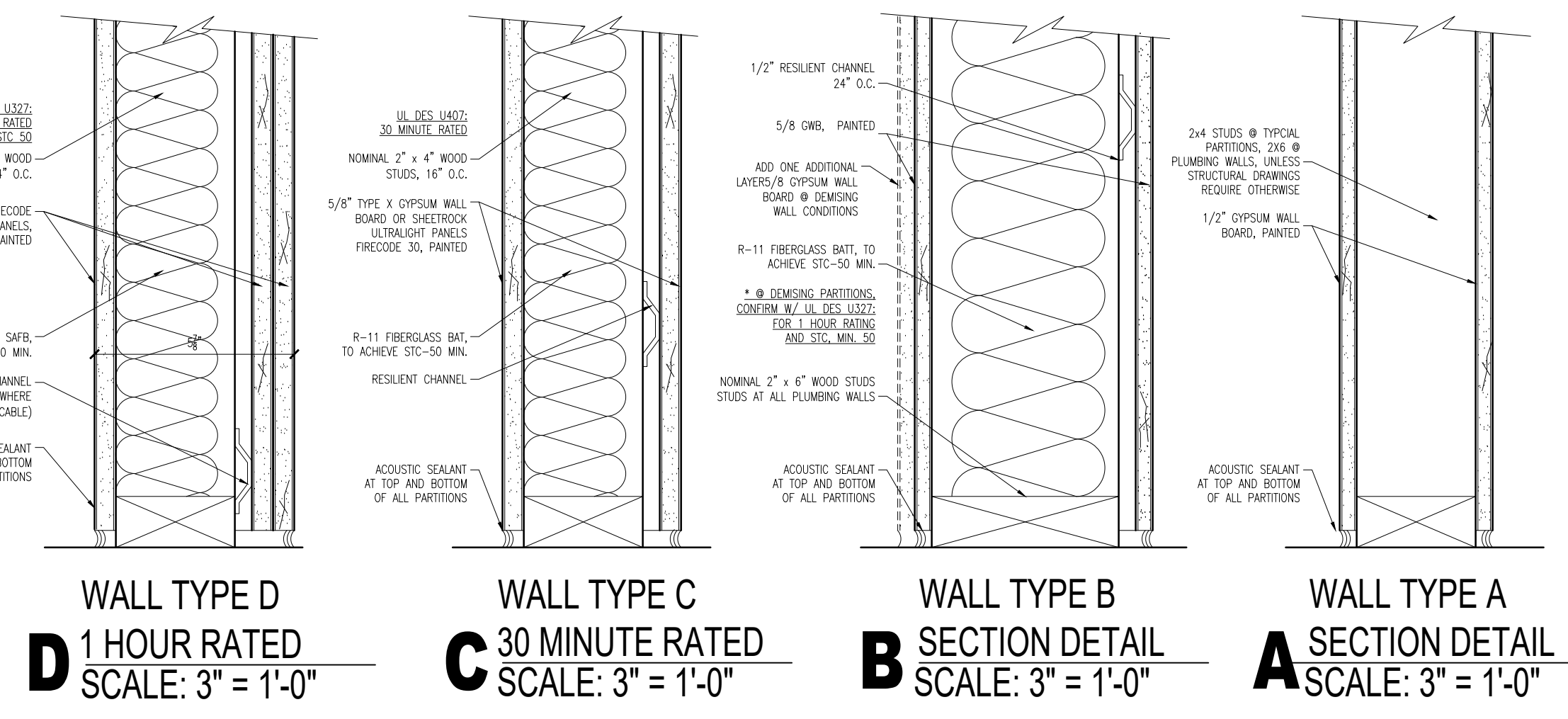
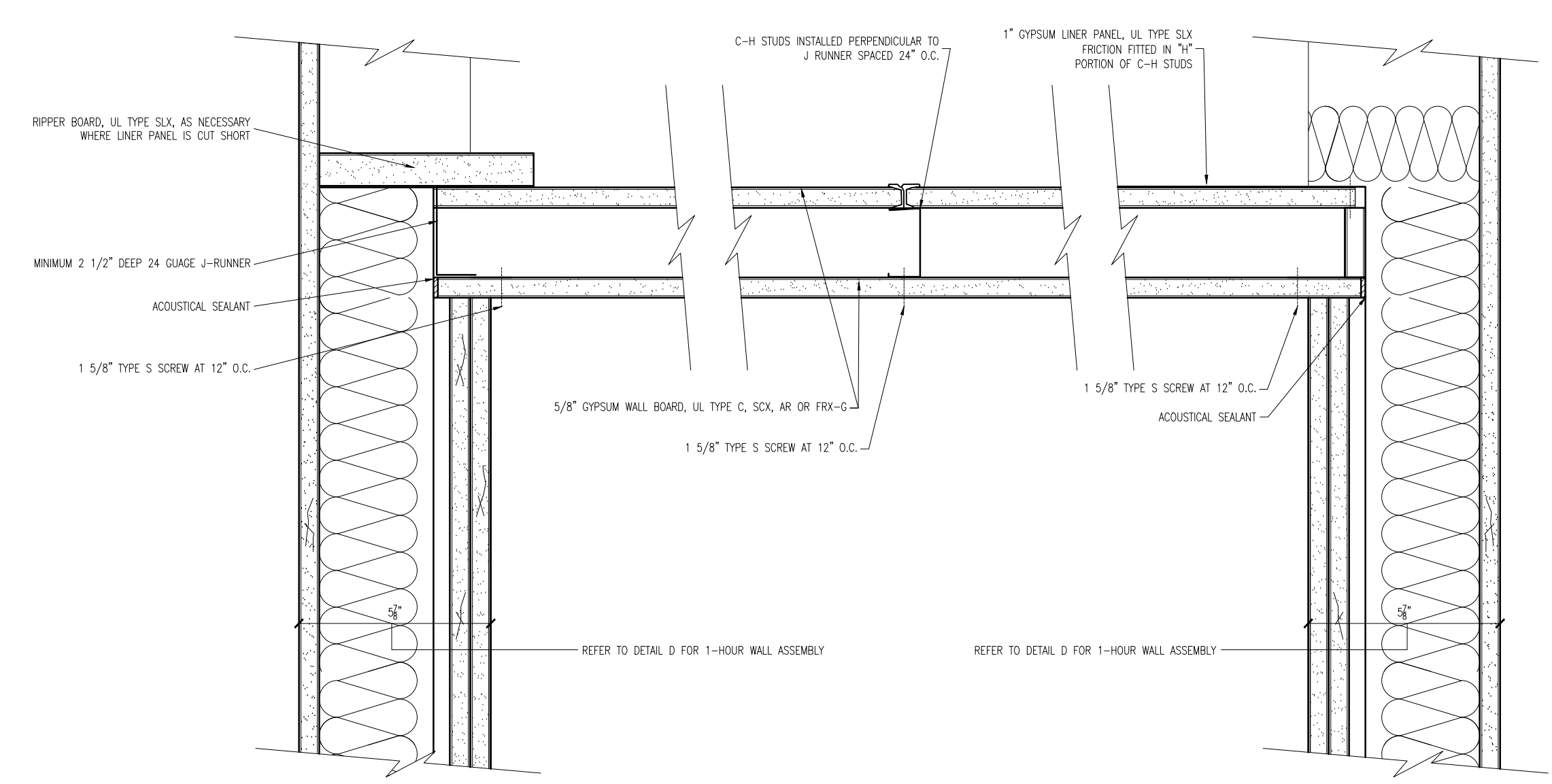
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Massachusetts  
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02 01	Issued for Revision Issued for Permit	02/29/2024 07/27/2023
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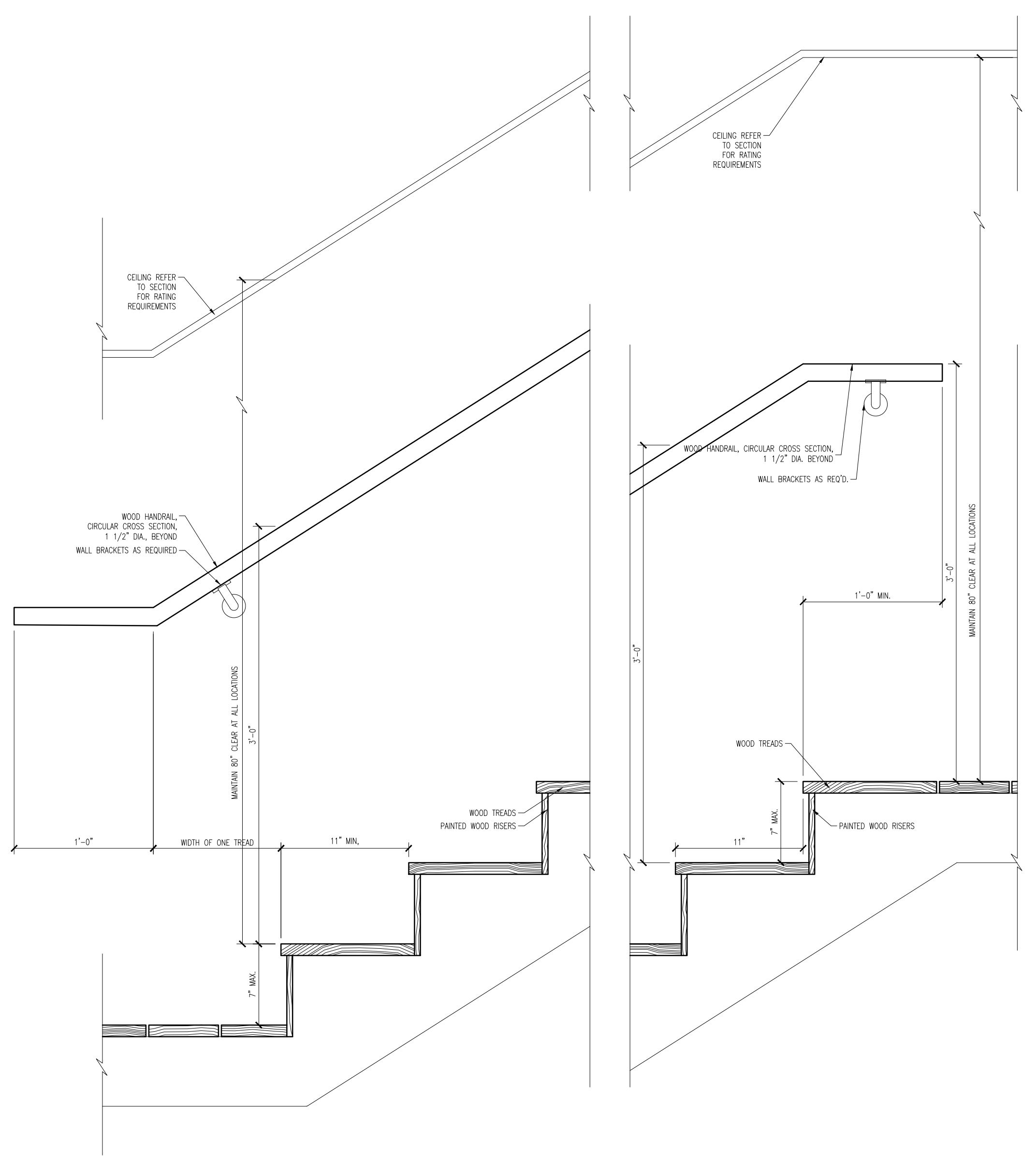
No.	Description	Date
Drawing Title: Proposed Section and Details		
Project No.: 592 Checked by: EZ		

A-40



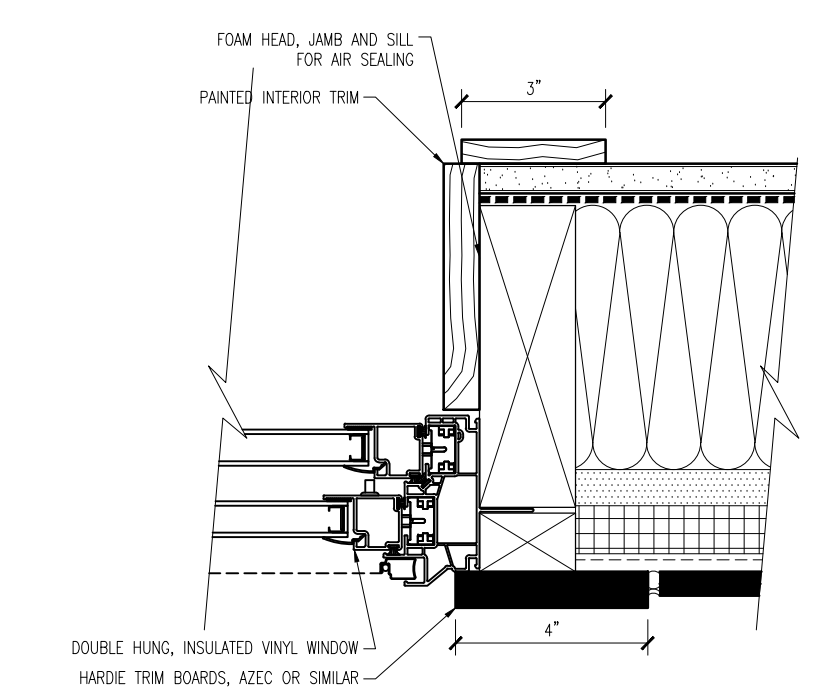


**3** SHAFT WALL/CEILING DETAIL  
SCALE: 3" = 1'-0"

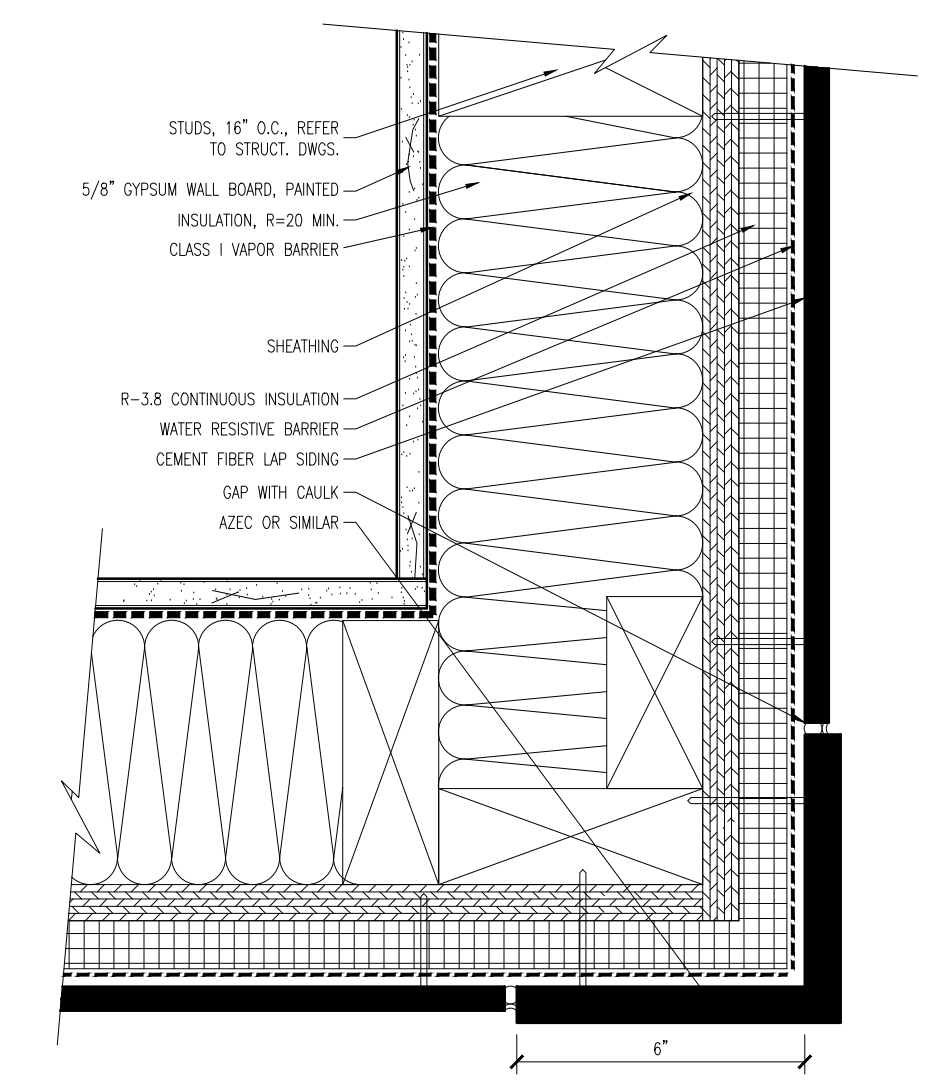


**4** BASE OF INTERIOR COMMON STAIR DETAIL  
SCALE: 1 1/2" = 1'-0"

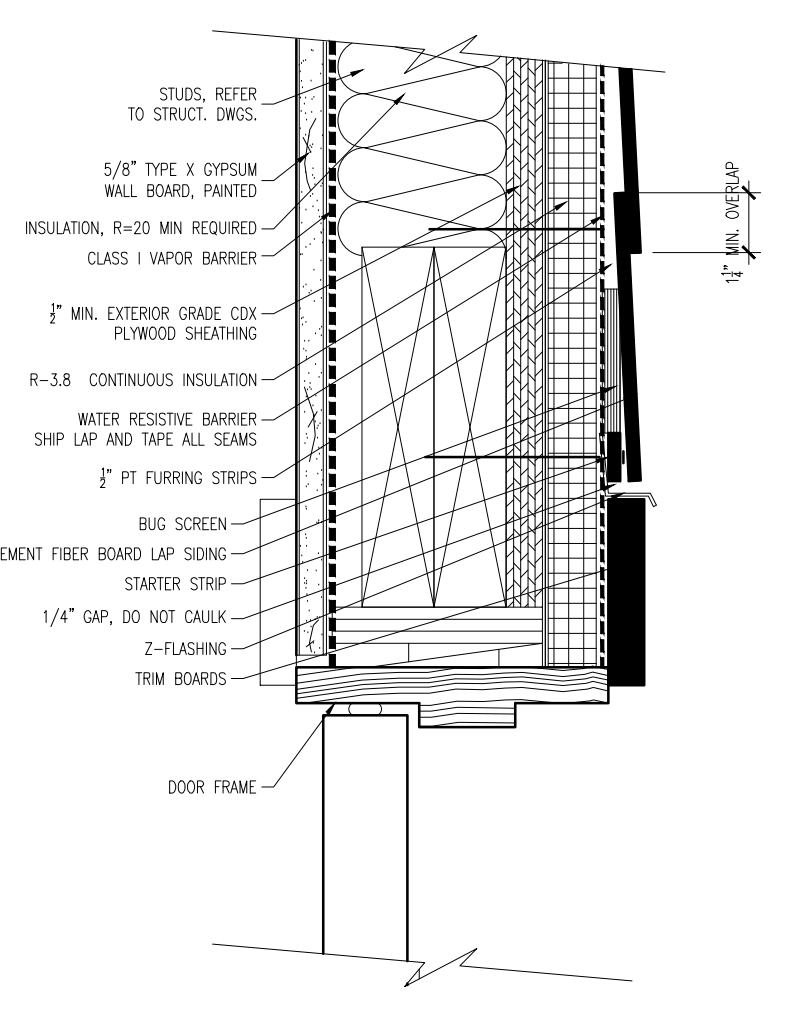
**5** TOP OF INTERIOR COMMON STAIR DETAIL  
SCALE: 1 1/2" = 1'-0"



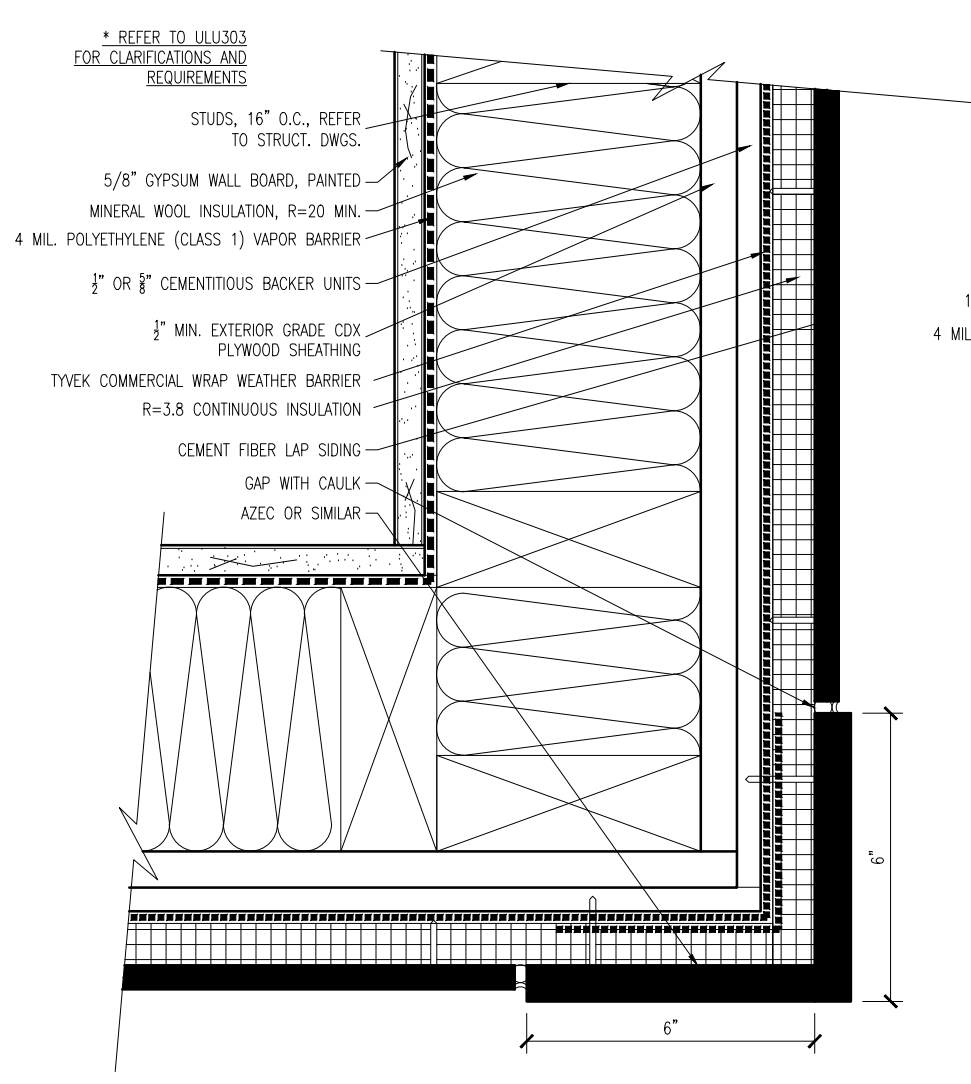
**6** WINDOW JAMB WALL PLAN DETAIL  
SCALE: 3" = 1'-0"



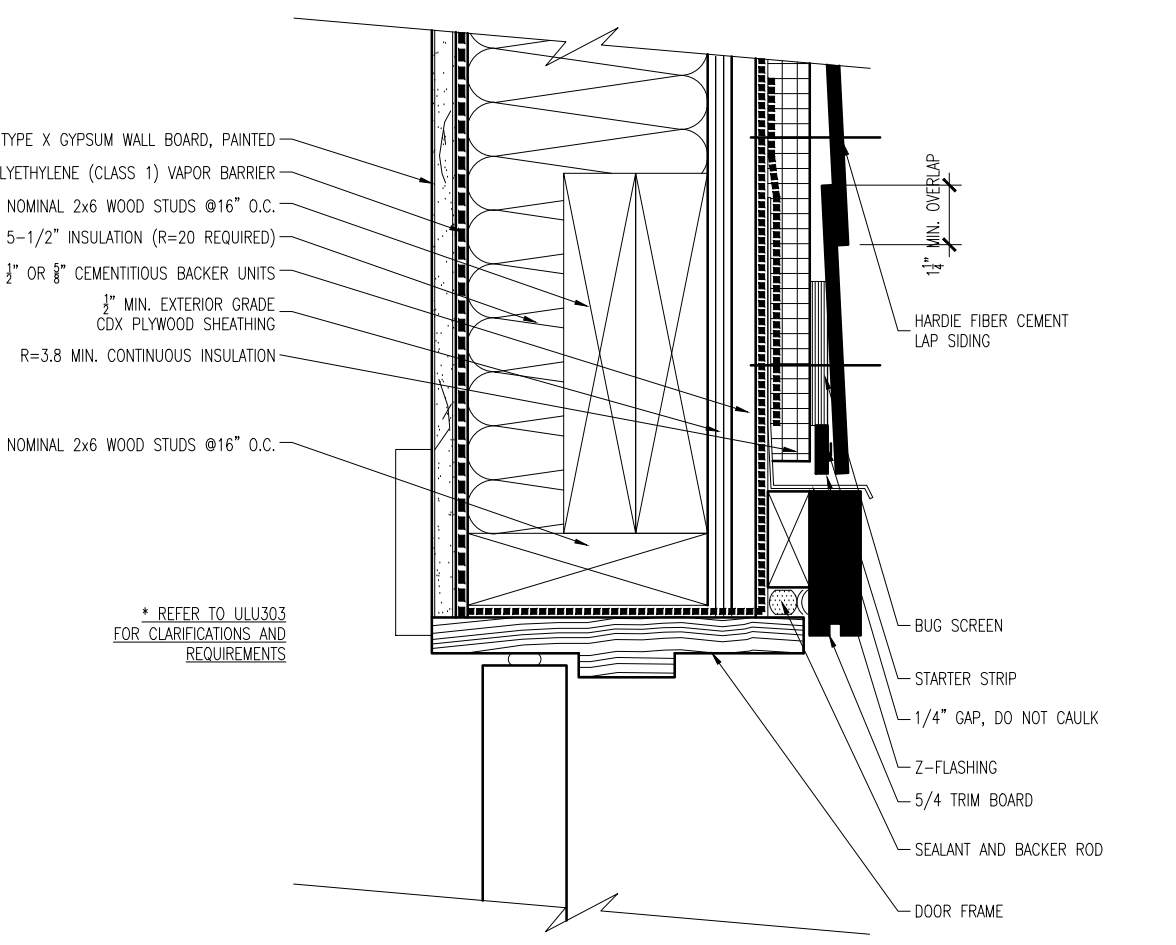
**7** EXTERIOR WALL PLAN DETAIL  
SCALE: 3" = 1'-0"



**8** EXTERIOR WALL SECTION DETAIL  
SCALE: 3" = 1'-0"



**9** RATED EXTERIOR WALL PLAN DETAIL  
SCALE: 3" = 1'-0"



**10** RATED EXTERIOR WALL SECTION DETAIL  
SCALE: 3" = 1'-0"

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Tim Longden

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02119

2/29/2024

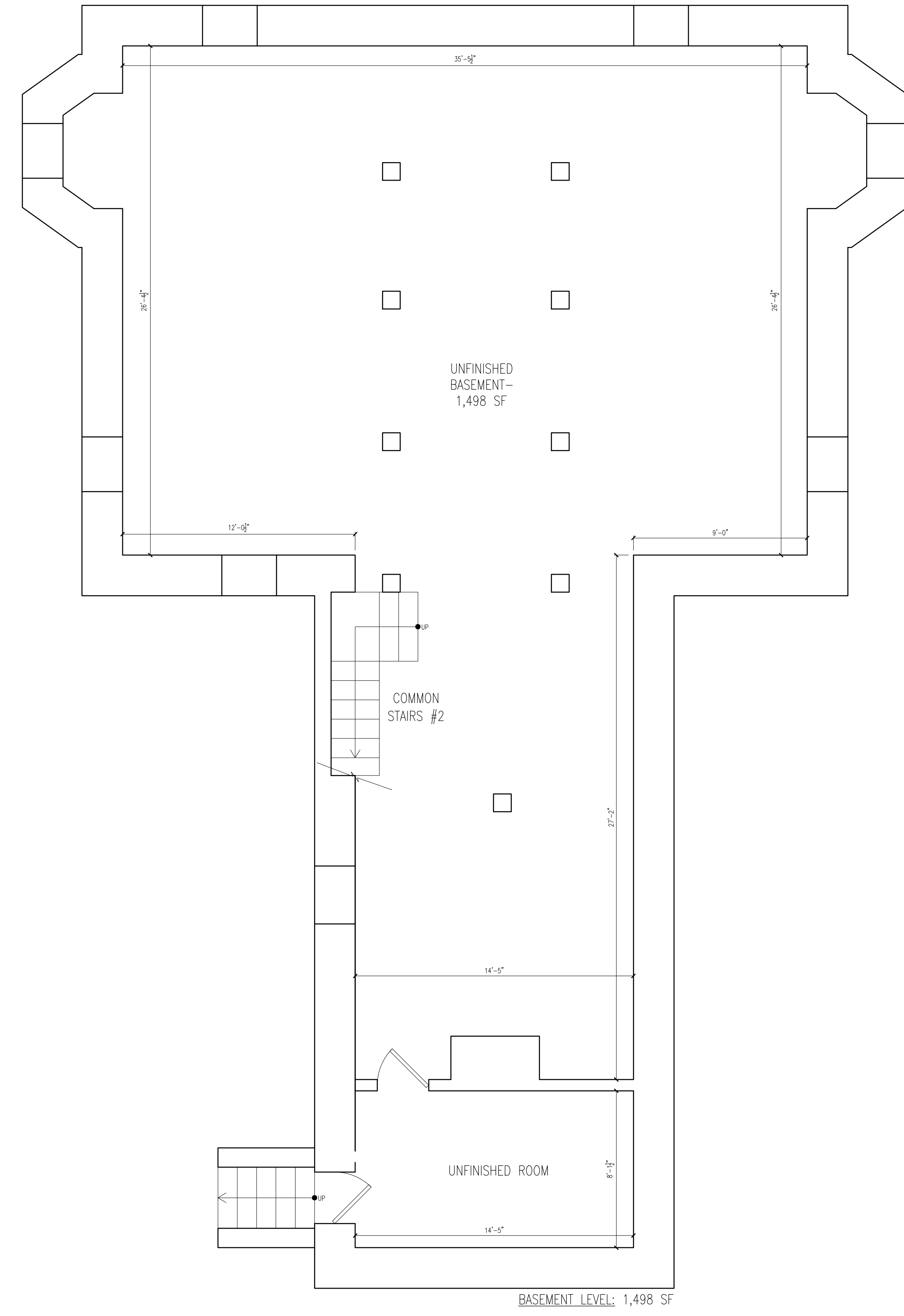
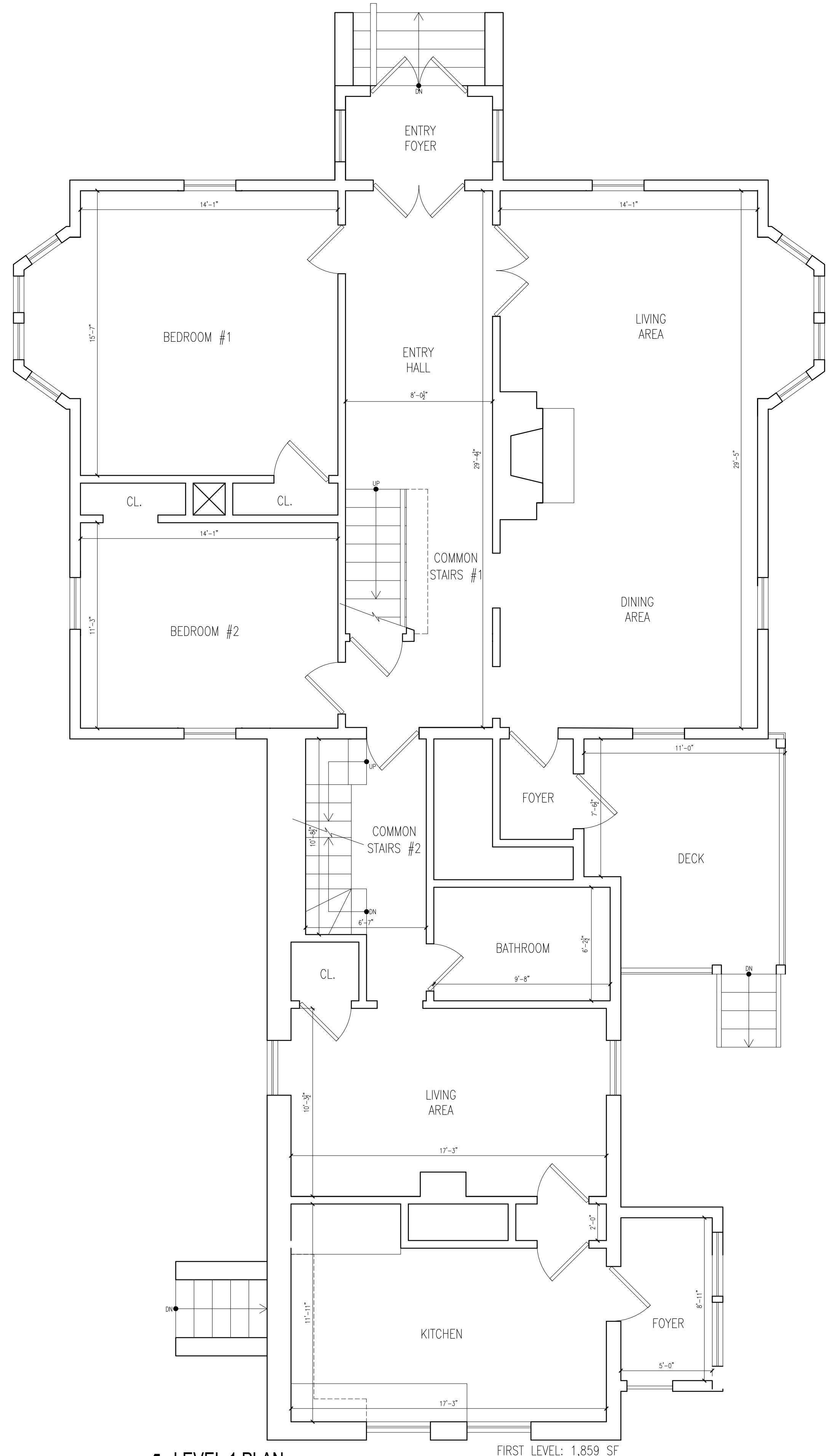


02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

No.	Description	Date
Drawing Title: Proposed Details		
Project No.: 592		Checked by: EZ

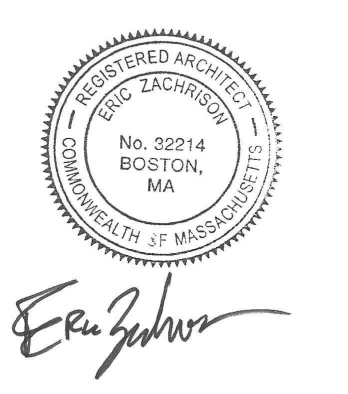
A-41

# PERRIN ST.



**B** BASEMENT LEVEL PLAN  
SCALE: 1/4" = 1'-0"

## 2/29/2024



67 Perrin St.  
Tim Longden

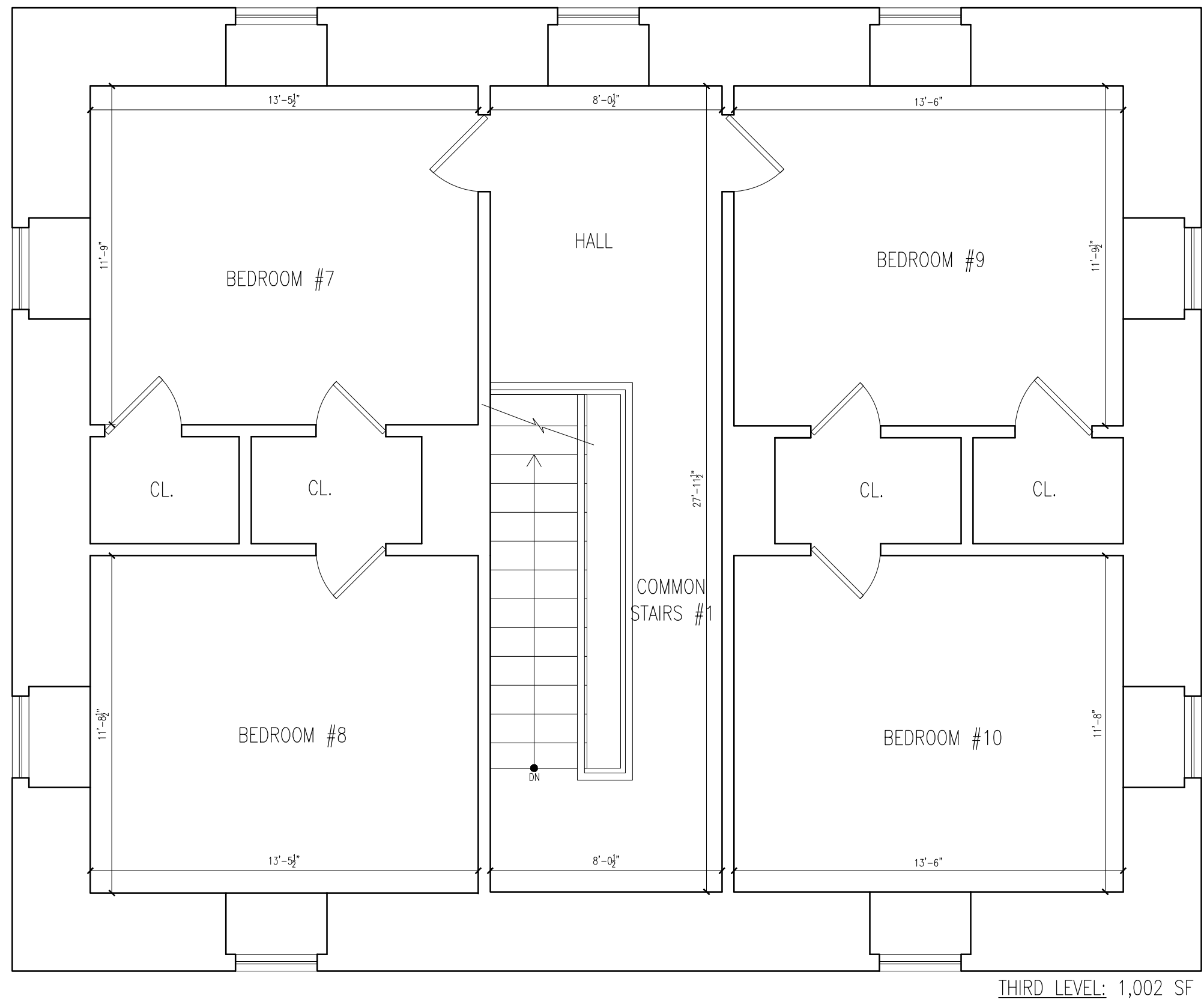
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Massachusetts  
02119

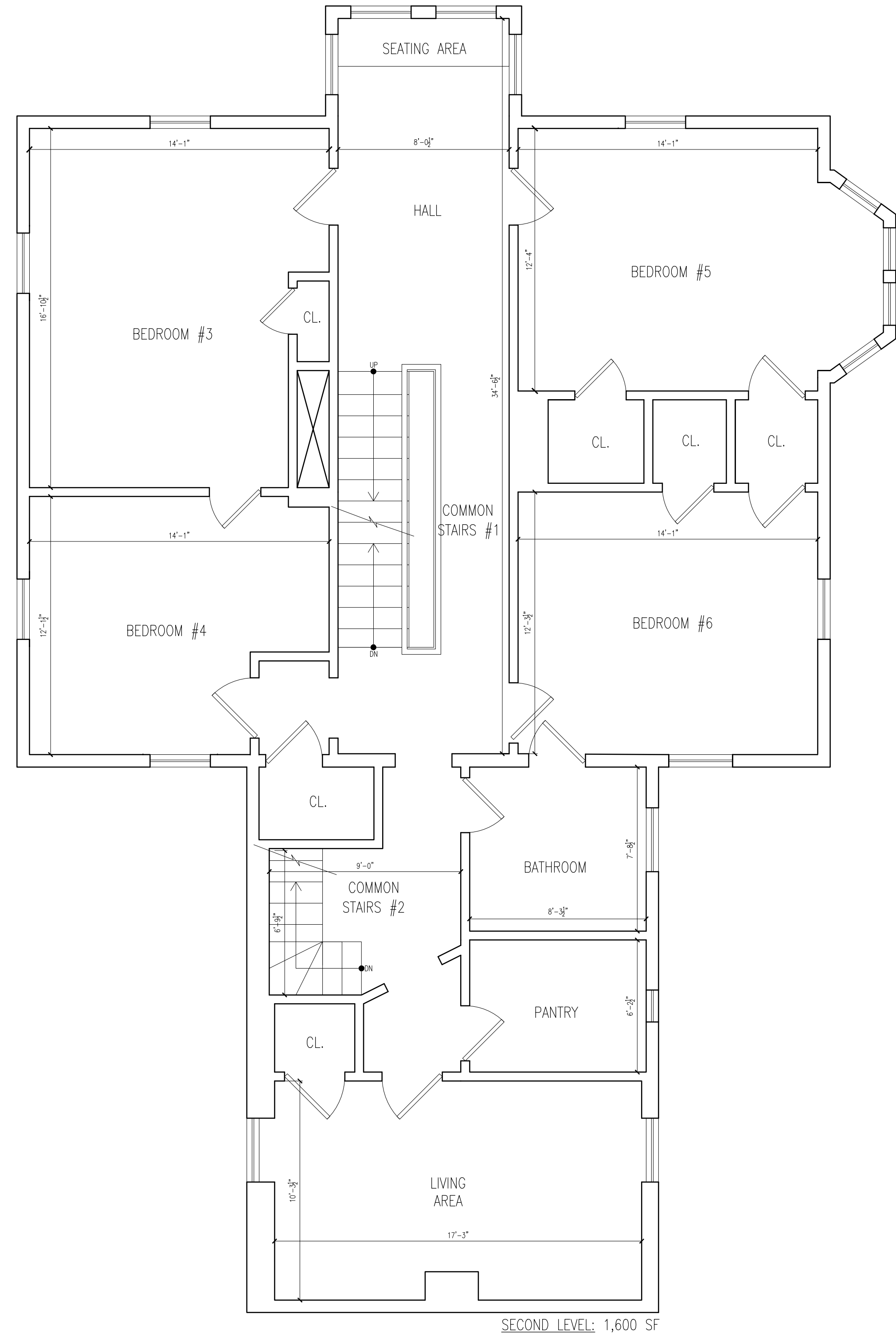
02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

No.	Description	Date
Drawing Title: Existing Plans		
Project No.: 592		
Checked by: EZ		

### XA-1



**3** LEVEL 3 PLAN  
SCALE: 1/4" = 1'-0"



**2** LEVEL 2 PLAN  
SCALE: 1/4" = 1'-0"

2/29/2024



*Eric Johnson*

67 Perrin St.  
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02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

No.	Description	Date
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Drawing Title: Existing Plans

Project No.: 592 Checked by: EZ

XA-2





**1** EXISTING PERRIN ST. ELEVATION  
SCALE: 1/4" = 1'-0"



**2** EXISTING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

2/29/2024



*Eric Johnson*

**67 Perrin St.**  
*Tim Longden*

**context**  
a collaborative design workshop

Roxbury, Boston,  
Massachusetts  
02119

02 01	Issued for Revision Issued for Permit	02/29/2024 07/27/2023
No.	Description	Date

Drawing Title: Existing Elevations

Project No.: 592 Checked by: EZ

**X-A3**



**3** EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



**4** EXISTING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

2/29/2024



*Eric Johnson*

67 Perrin St.  
Tim Longden

**context**  
a collaborative design workshop

Roxbury, Boston,  
Massachusetts  
02119

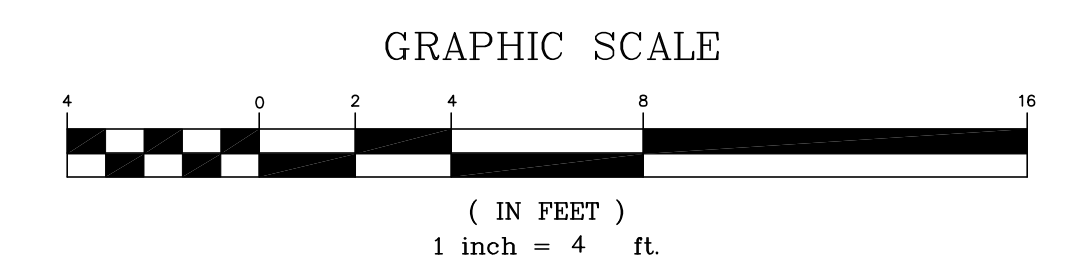
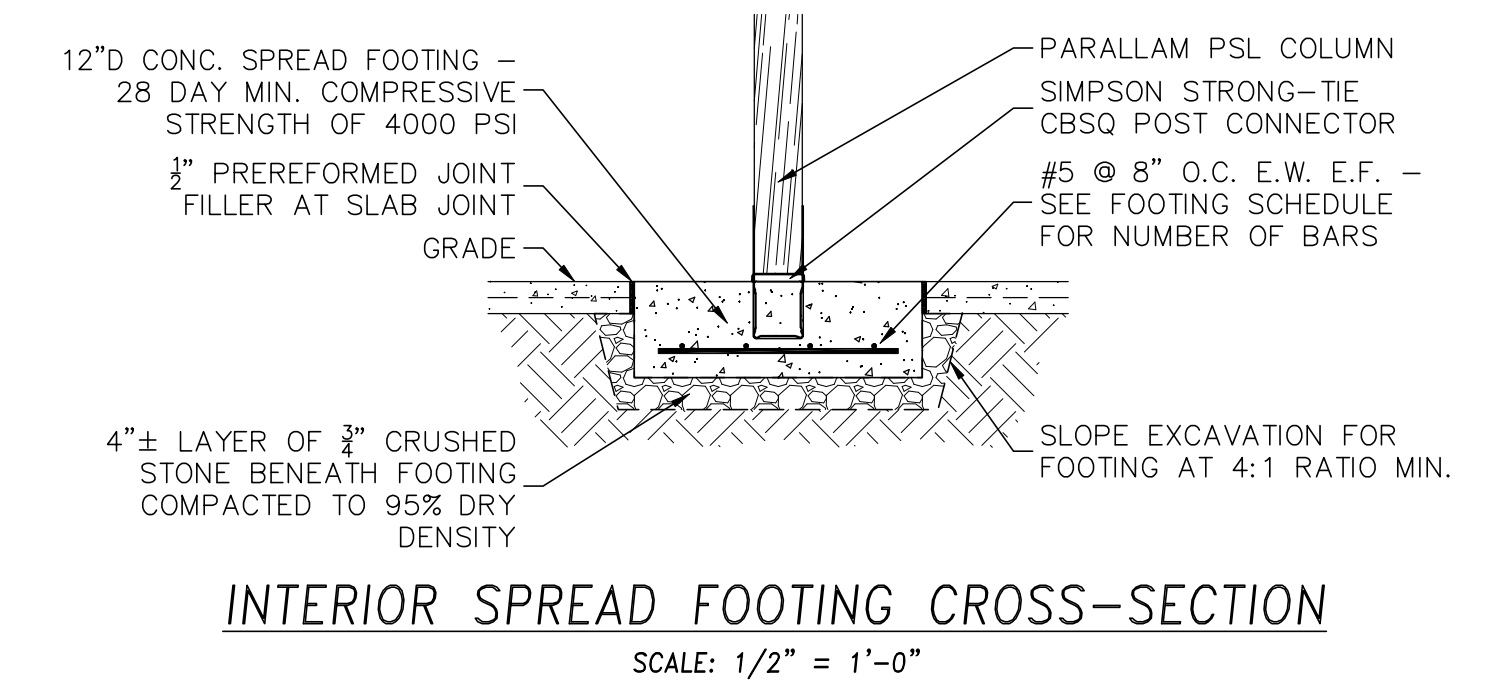
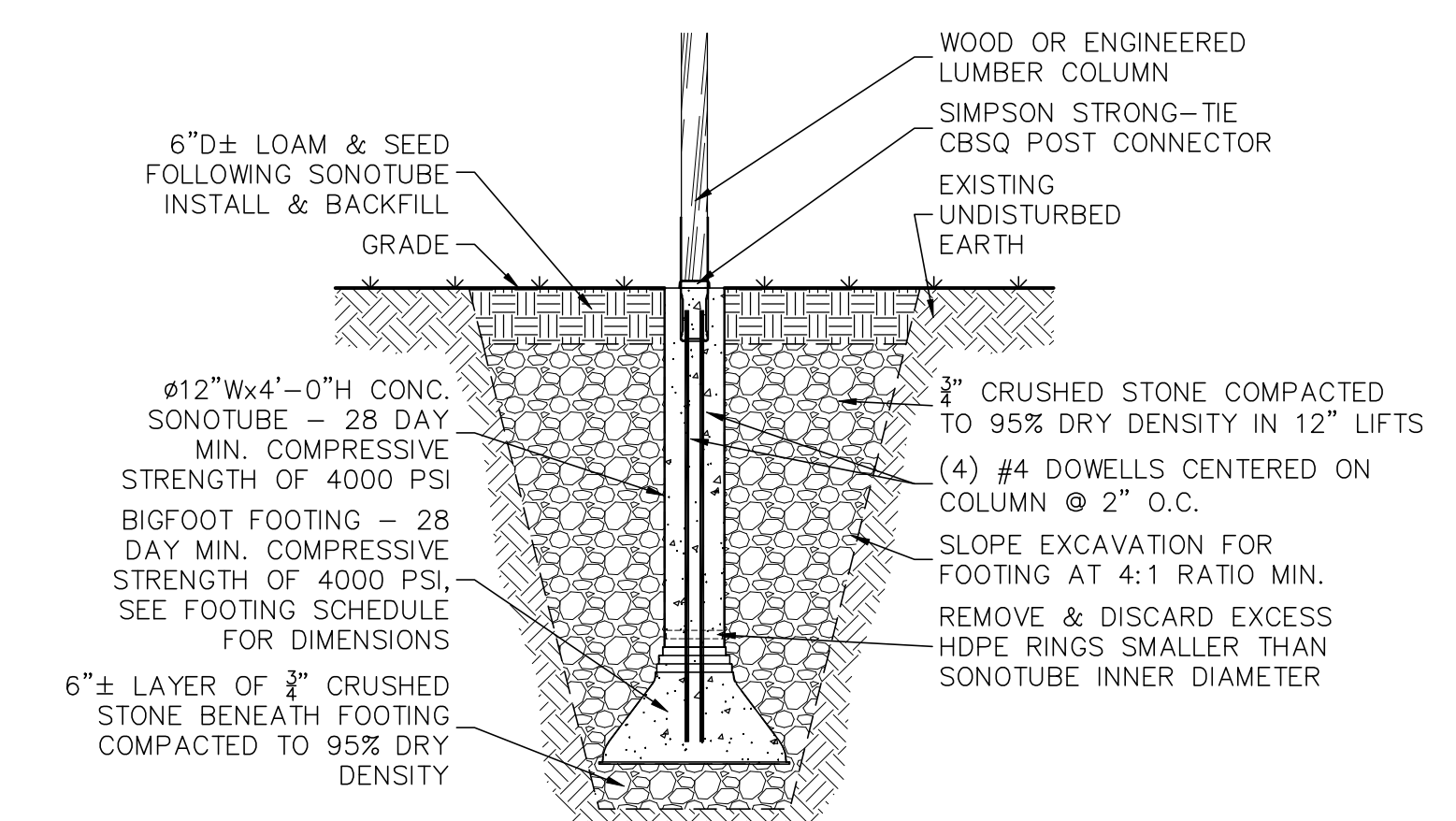
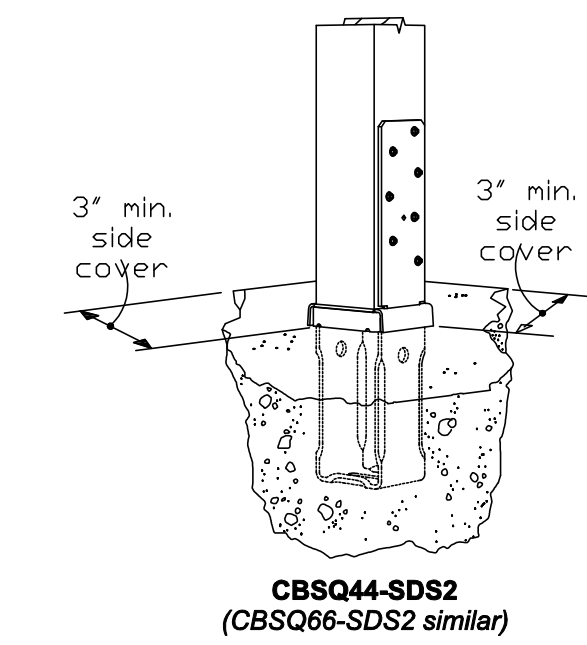
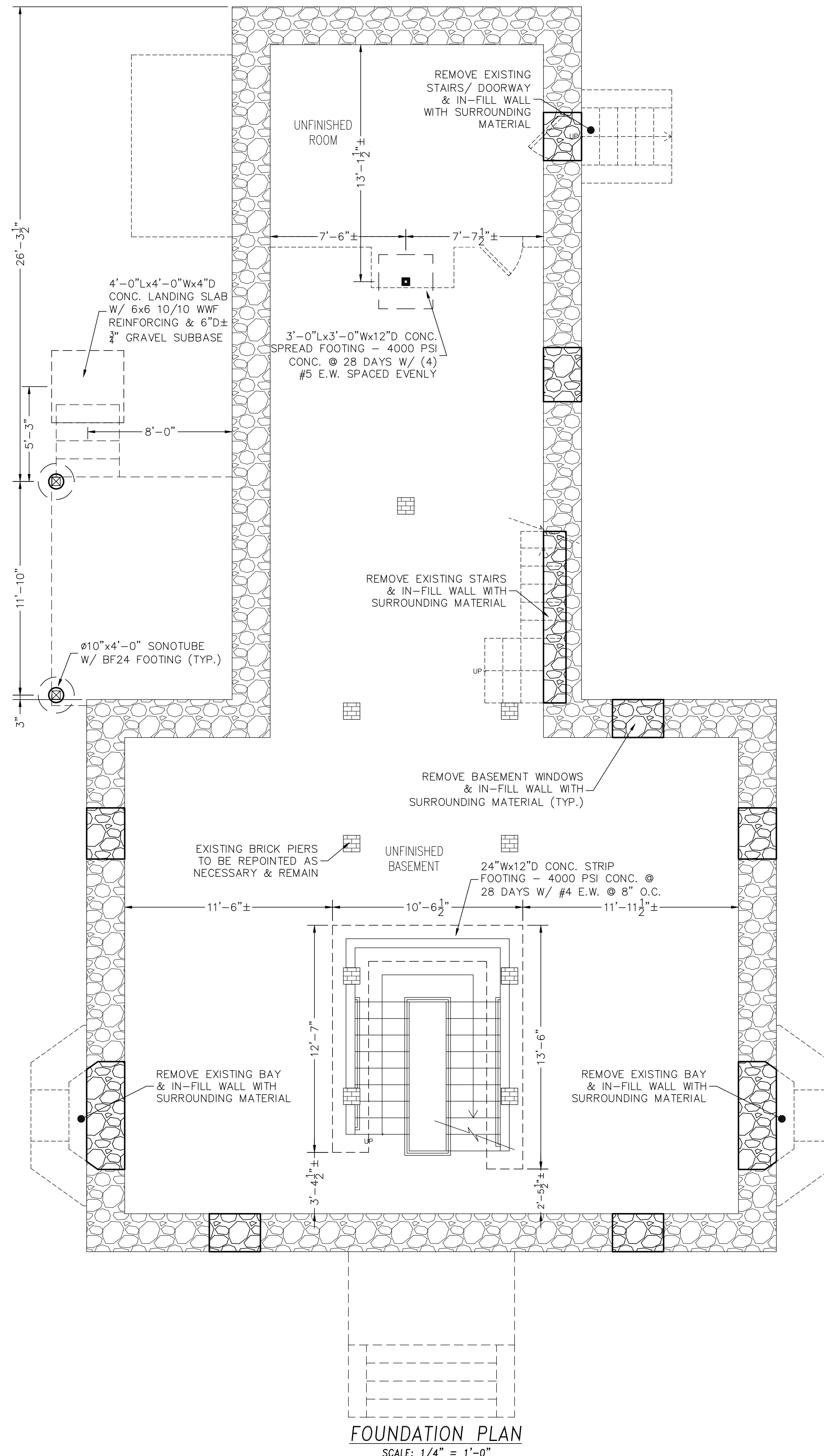
02	Issued for Revision	02/29/2024
01	Issued for Permit	07/27/2023

No.	Description	Date
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Drawing Title: Existing Elevations

Project No.: 592 Checked by: EZ

X-A4



**LEGEND**

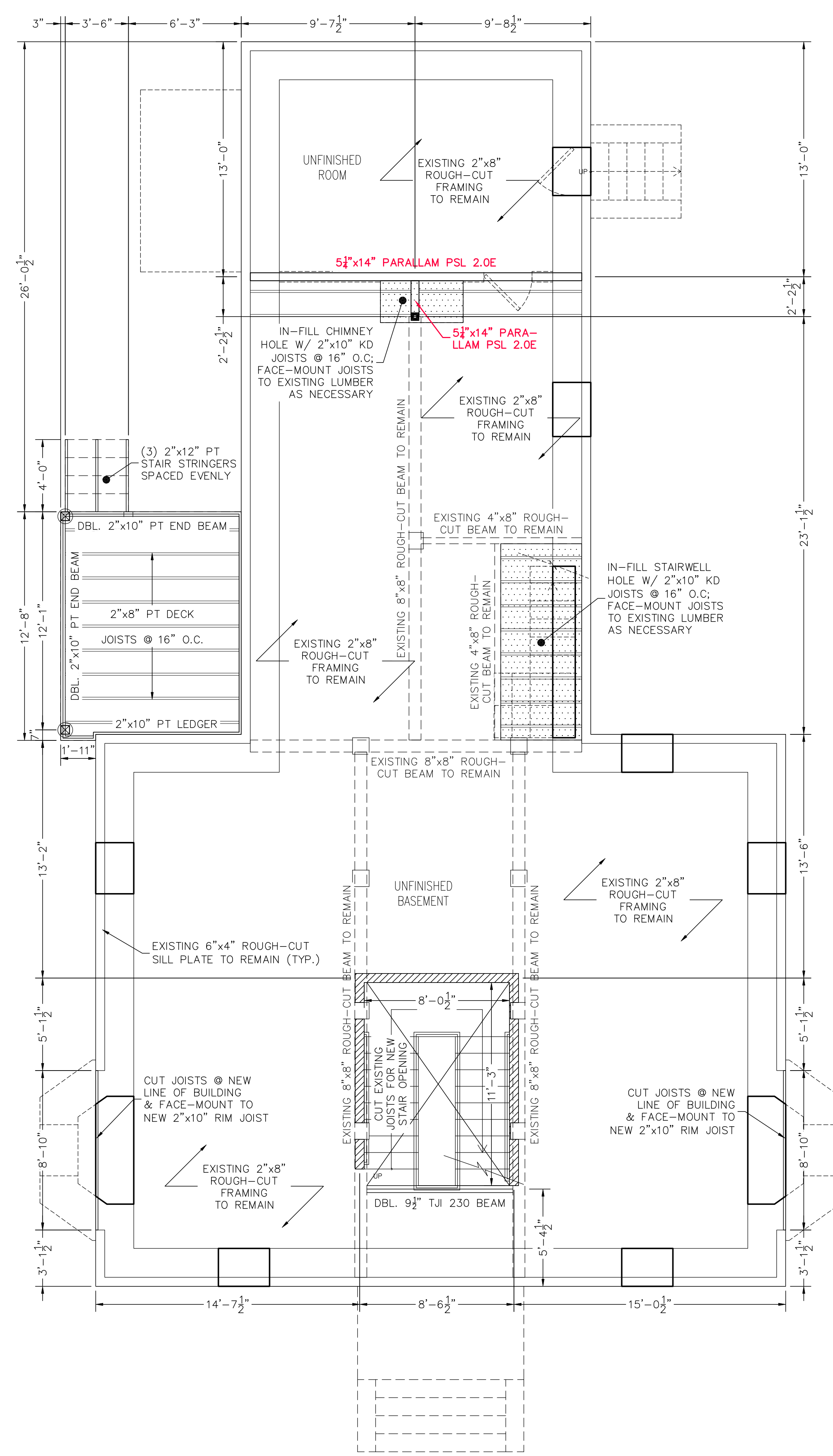
- - 5 1/4" x 5 1/4" PARALLAM PSL POST 1.8E
- ⊠ - 6" x 6" SPF POST

NOTE: ALL EXTERIOR WALLS ARE TREATED AS BEARING WALLS AND MAY BE UNMARKED AS SUCH FOR VISUAL CLARITY

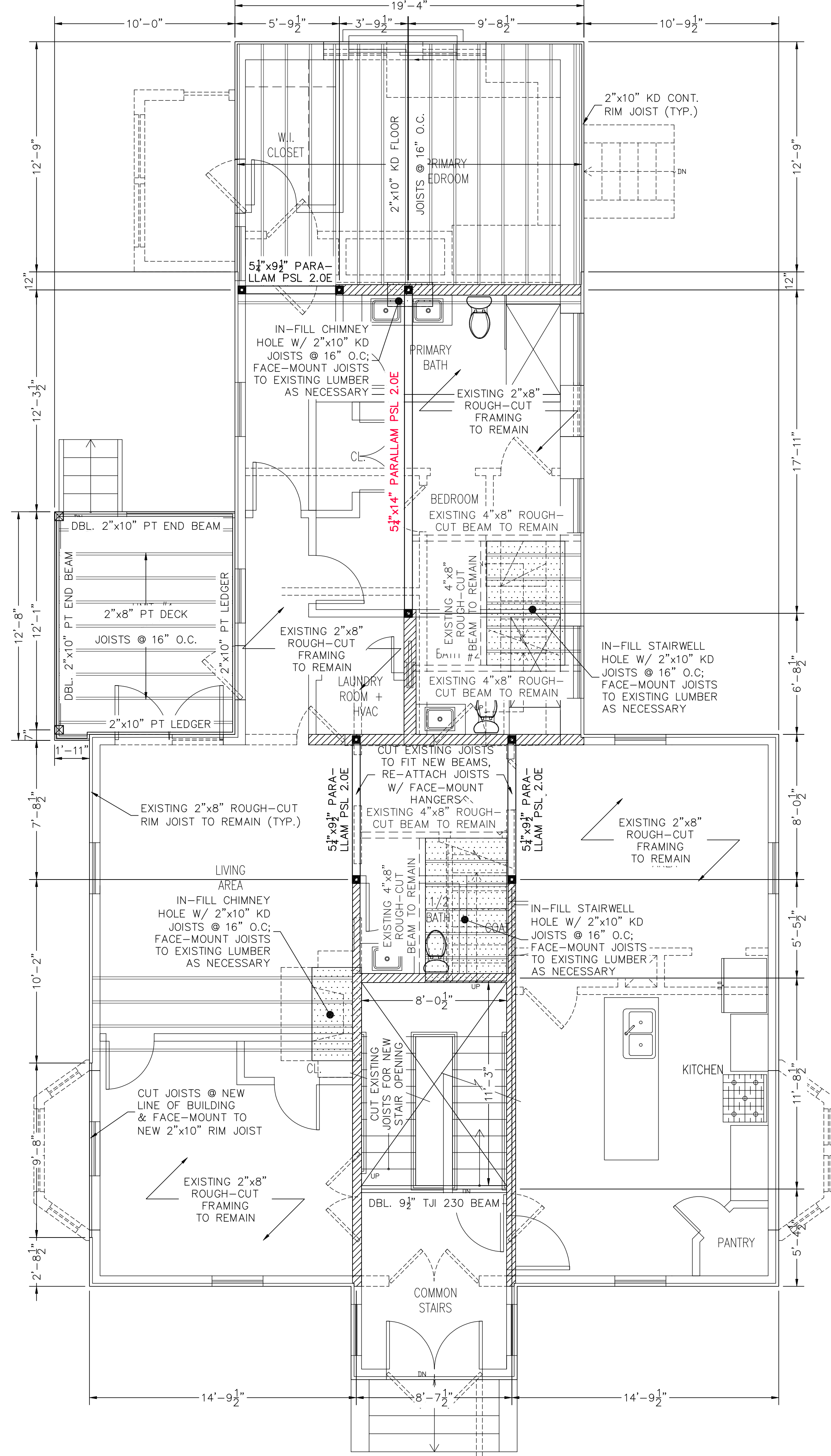
PROPOSED FOUNDATION PLAN  
67 PERRIN STREET  
ROXBURY, MA  
FOR  
LONGDEN REALTY, LLC  
CIVIL ENVIRONMENTAL CONSULTANTS  
8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: S-1.0  
DATE: 10/3/2023 JOB: 4525  
DRAWN BY: C.R.L.

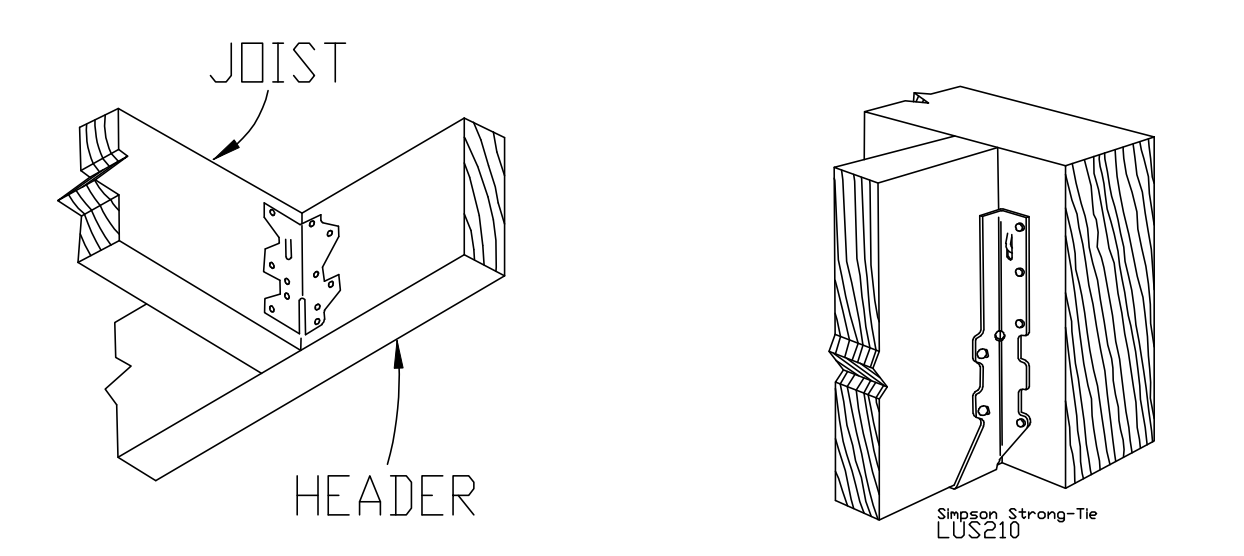




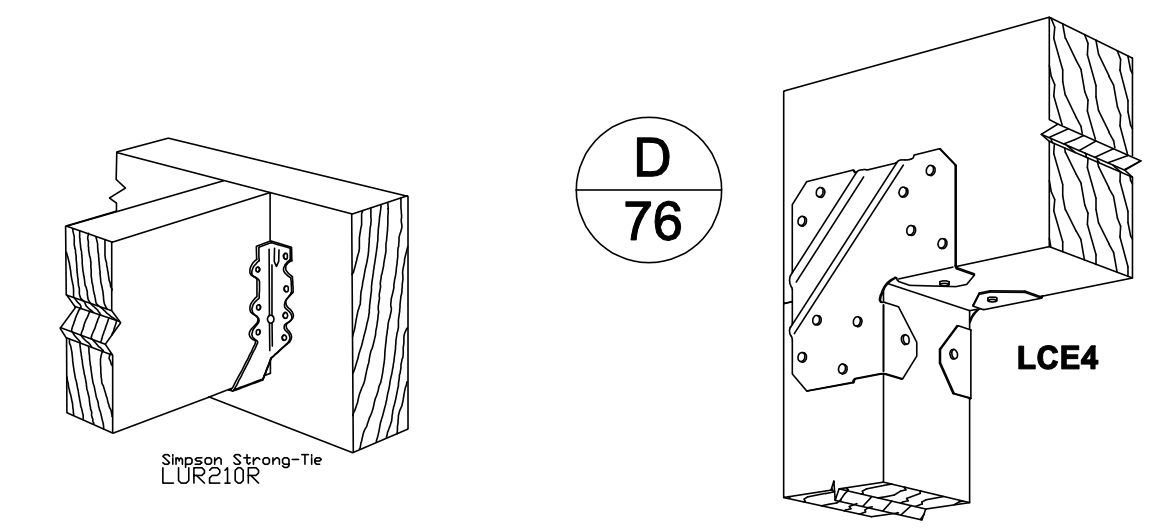
**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



Simpson Strong-Tie  
A35 Framing Anchor



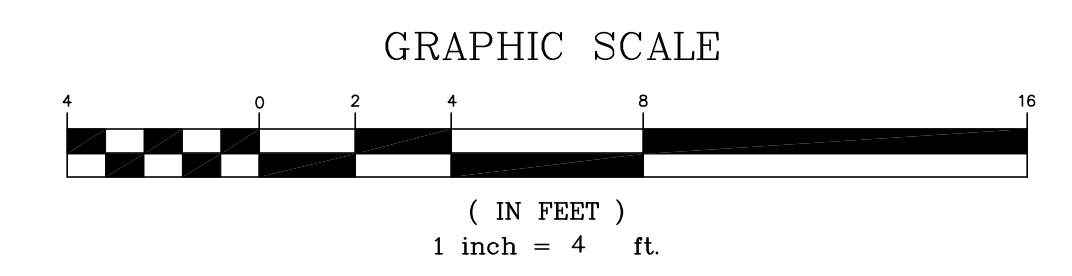
D  
76

LCE4



**LEGEND**

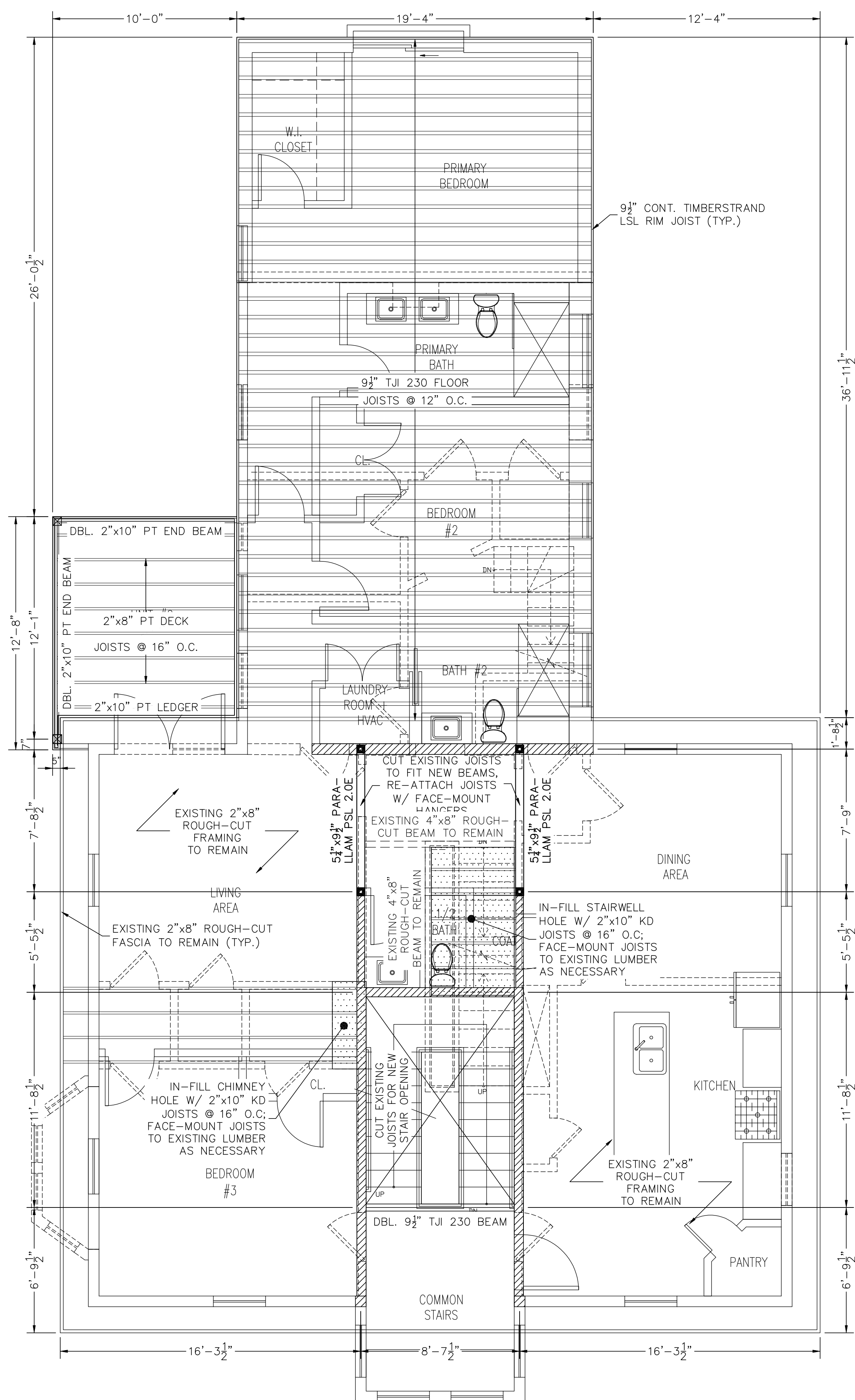
- - 5 1/2" x 5 1/2" PARALLAM PSL POST 1.8E
  - ⊠ - 6" x 6" SPF POST
- NOTE: ALL EXTERIOR WALLS ARE TREATED AS BEARING WALLS AND MAY BE UNMARKED AS SUCH FOR VISUAL CLARITY



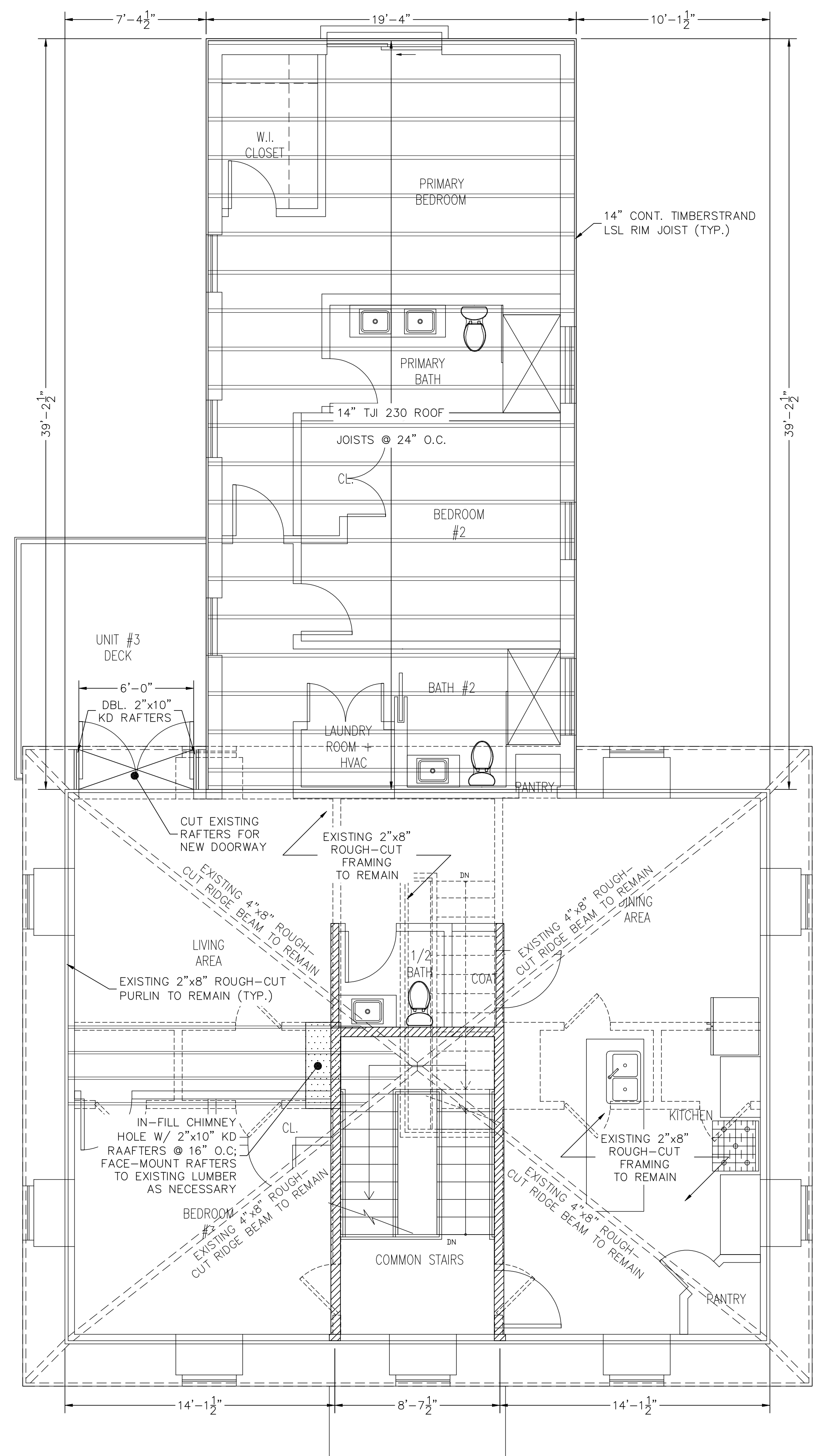
**PROPOSED STRUCTURAL PLANS**  
**67 PERRIN STREET**  
**ROXBURY, MA**  
**FOR**  
**LONGDEN REALTY, LLC**  
**CIVIL ENVIRONMENTAL CONSULTANTS**  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: S-2.0	DATE: 10/3/2023 JOB: 4525
DRAWN BY: C.R.L.	

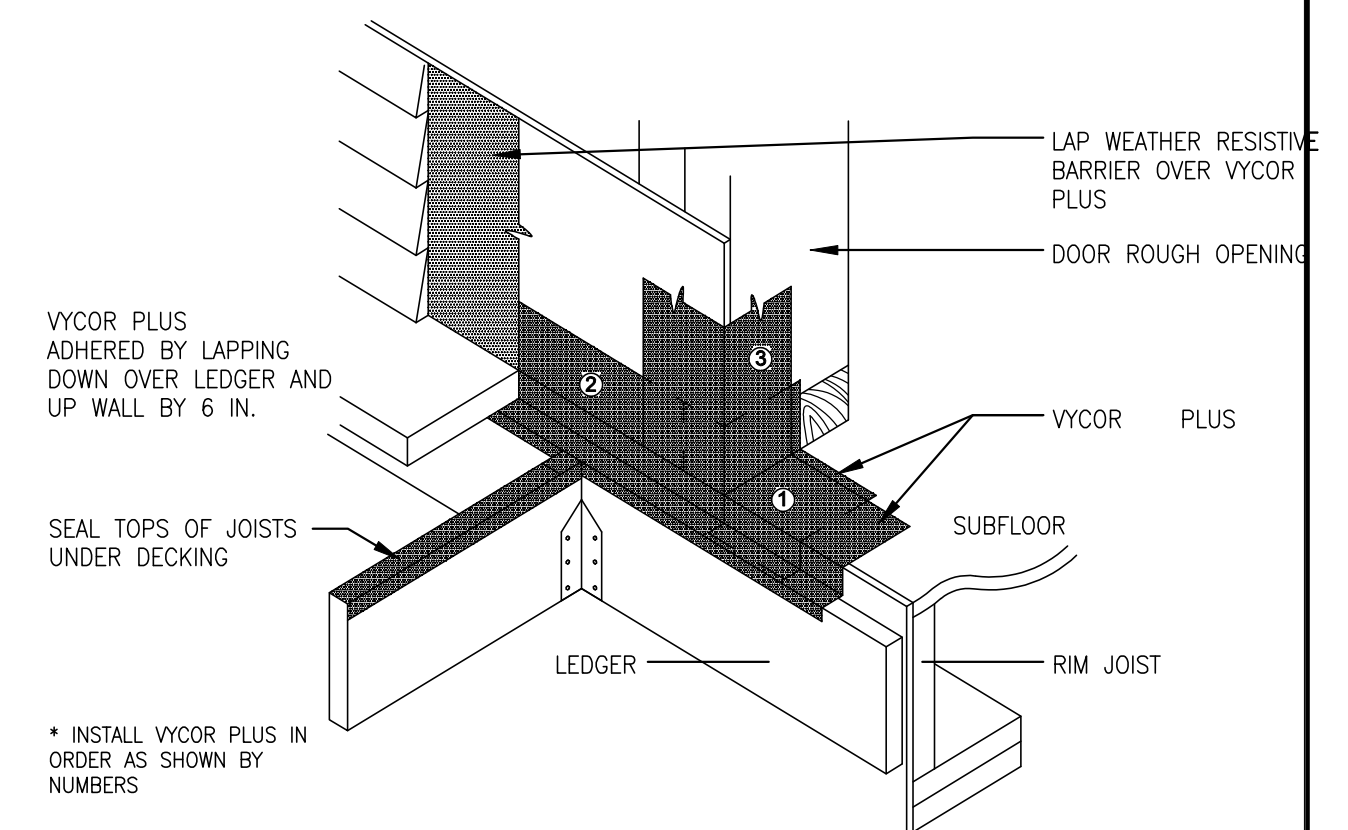




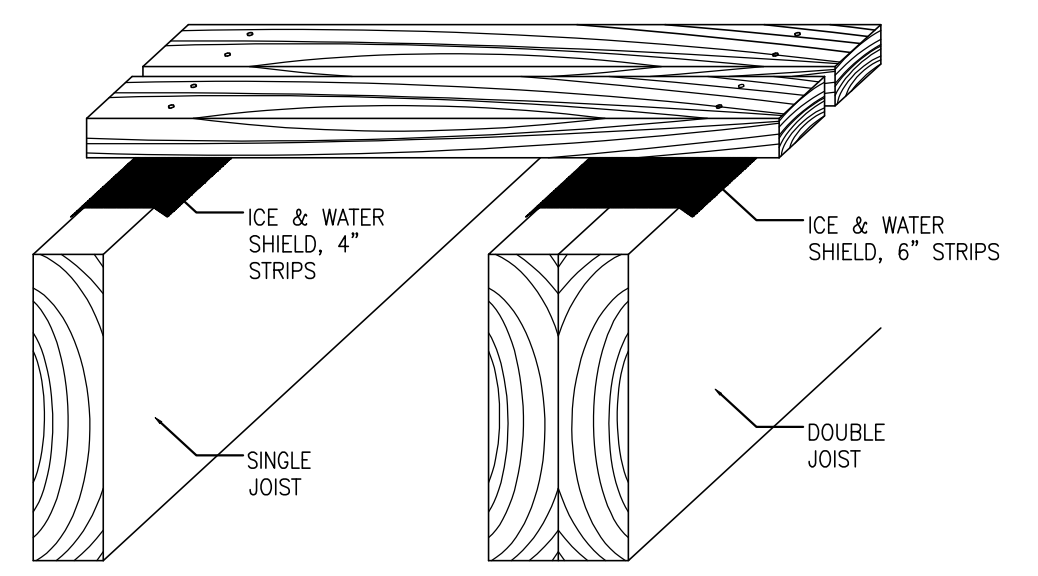
**THIRD FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



TYPICAL DECK DETAIL @ DOOR  
SCALE: NTS



TYPICAL DECK DETAIL  
SCALE: NTS

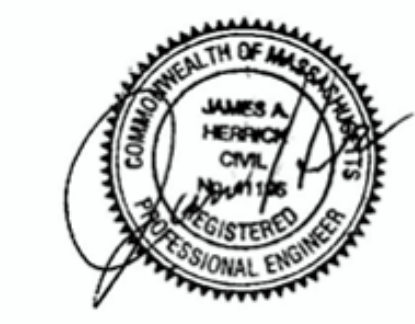
**LEGEND**

- - 5 1/2" x 5 1/2" PARALLAM PSL POST 1.8E
- ⊠ - 6" x 6" SPF POST

NOTE: ALL EXTERIOR WALLS ARE TREATED AS BEARING WALLS AND MAY BE UNMARKED AS SUCH FOR VISUAL CLARITY

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 4 ft.



**PROPOSED STRUCTURAL PLANS**  
**67 PERRIN STREET**  
**ROXBURY, MA**  
**FOR**  
**LONGDEN REALTY, LLC**  
**CIVIL ENVIRONMENTAL CONSULTANTS**  
8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: S-2.1      DATE: 10/3/2023      JOB: 4525  
DRAWN BY: C.R.L.



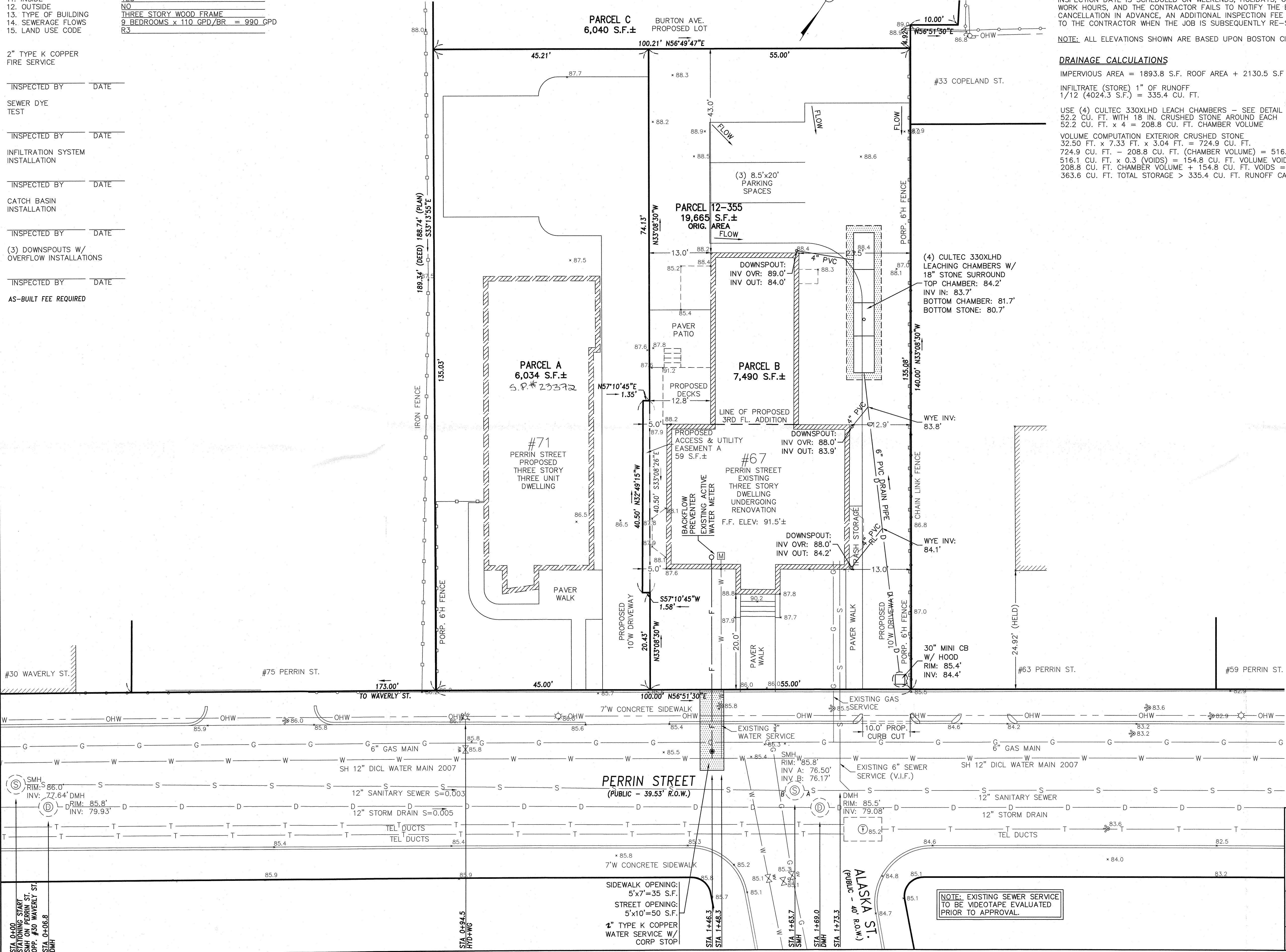
- 1. ACCOUNT NUMBER 1220163
- 2. PARCEL NUMBER 355
- 3. WARD 12
- 4. PROPERTY LOCATION 67 PERRIN STREET
- 5. NEIGHBORHOOD ROXBURY
- 6. ZIP CODE 02119-2650
- 7. OWNER ADDRESS 1A TREETOP CIR, NORTHBOROUGH, MA 01532
- 8. OWNER TELEPHONE NO. TIMOTHY LONGDEN - 508-769-8921
- 9. TYPE OF PREMISE THREE FAMILY RESIDENTIAL
- 10. METER SIZE 5/8"
- 11. INSIDE YES
- 12. OUTSIDE NO
- 13. TYPE OF BUILDING THREE STORY WOOD FRAME
- 14. SEWERAGE FLOWS 9 BEDROOMS x 110 GPD/BR = 990 GPD
- 15. LAND USE CODE R3

- 2" TYPE K COPPER FIRE SERVICE
- INSPECTED BY DATE
- SEWER DYE TEST
- INSPECTED BY DATE
- INFILTRATION SYSTEM INSTALLATION
- INSPECTED BY DATE
- CATCH BASIN INSTALLATION
- INSPECTED BY DATE
- (3) DOWNSPOUTS W/ OVERFLOW INSTALLATIONS
- INSPECTED BY DATE
- AS-BUILT FEE REQUIRED

THIS PLAN HAS BEEN CALCULATED FROM INSTRUMENT SURVEY AND FROM RECORD INFORMATION ONLY. THE ABSENCE OR EXACTNESS OF UTILITIES IS NEITHER INTENDED OR IMPLIED. THE CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES.

CONTRACTOR TO NOTIFY DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

NOTE: EXISTING SEWER SERVICE TO BE VIDEOTAPE EVALUATED PRIOR TO APPROVAL.



AFTER THE SITE PLAN IS SIGNED BY THE CHIEF ENGINEER OF THEIR DESIGNEE, A GENERAL SERVICE APPLICATION (GSA) MUST BE FILLED OUT AND SIGNED BY THE PROPERTY OWNER OR AN AGENT OF THE OWNER PRIOR TO THE TIME OF INSTALLATION OF DOMESTIC WATER SERVICE, FIRE PIPE SERVICE, BUILDING SANITARY SEWER OR BUILDING STORM DRAIN CONNECTIONS. A PREREQUISITE FOR FILING A GSA WITH THE BOSTON WATER AND SEWER COMMISSION (BWSC) FOR NEW CONSTRUCTION IS THE ROUGH CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT (ISD). AN INSPECTION FEE WILL BE CHARGED FOR EACH NEW WATER AND SEWER CONNECTION. TWENTY-FOUR (24) HOURS ADVANCED NOTICE IS REQUIRED FOR INSPECTION SCHEDULING. IF ANY INSPECTION DATE IS SCHEDULED ON WEEKENDS, HOLIDAYS, OR AFTER REGULAR WORK HOURS, AND THE CONTRACTOR FAILS TO NOTIFY THE BWSC INSPECTORS OF CANCELLATION IN ADVANCE, AN ADDITIONAL INSPECTION FEE WILL BE CHARGED TO THE CONTRACTOR WHEN THE JOB IS SUBSEQUENTLY RE-SCHEDULED.

NOTE: ALL ELEVATIONS SHOWN ARE BASED UPON BOSTON CITY BASE U.O.S.

**DRAINAGE CALCULATIONS**  
 IMPERVIOUS AREA = 1893.8 S.F. ROOF AREA + 2130.5 S.F. DRIVEWAY/PARKING  
 INFILTRATE (STORE) 1" OF RUNOFF  
 1/12 (4024.3 S.F.) = 335.4 CU. FT.  
 USE (4) CULTEC 330XLHD LEACH CHAMBERS - SEE DETAIL  
 52.2 CU. FT. WITH 18 IN. CRUSHED STONE AROUND EACH  
 52.2 CU. FT. x 4 = 208.8 CU. FT. CHAMBER VOLUME  
 VOLUME COMPUTATION EXTERIOR CRUSHED STONE  
 32.50 FT. x 7.33 FT. x 3.04 FT. = 724.9 CU. FT.  
 724.9 CU. FT. - 208.8 CU. FT. (CHAMBER VOLUME) = 516.1 CU. FT.  
 516.1 CU. FT. x 0.3 (VOIDS) = 154.8 CU. FT. VOLUME VOIDS STORAGE  
 208.8 CU. FT. CHAMBER VOLUME + 154.8 CU. FT. VOIDS = 363.6 CU. FT.  
 363.6 CU. FT. TOTAL STORAGE > 335.4 CU. FT. RUNOFF CALCULATION

BOSTON WATER AND SEWER COMMISSION  
 LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

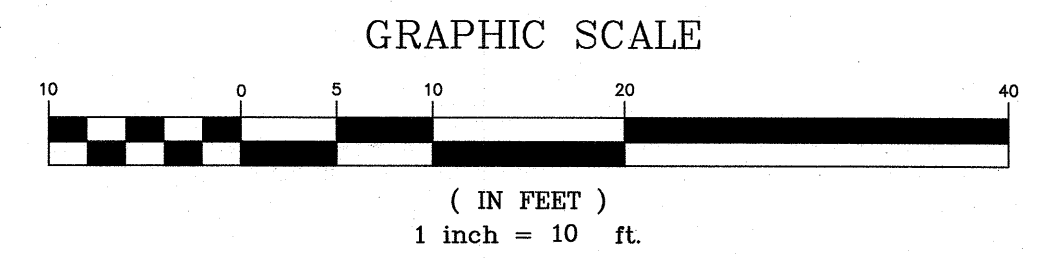
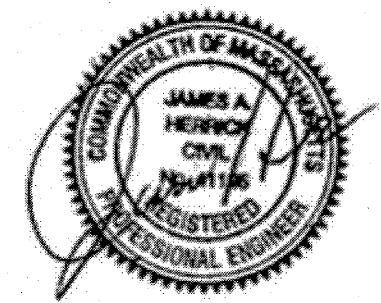
REVIEWED AND APPROVED AS TO PROPOSED CONNECTION(S) TO EXISTING WATER AND SEWER FACILITIES AS SHOWN, FOR ISSUE OF BUILDING PERMIT ONLY. ADDITIONAL PERMITS MUST BE OBTAINED FROM BWSC PRIOR TO CONNECTION TO BWSC FACILITIES. SITE PLANS ARE VALID FOR A PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL.

JOHN P. SULLIVAN JR., P.E.  
 CHIEF ENGINEER  
 DATE: 9/29/23

FOR BWSC ONLY

ALL WATER, SEWER, AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER, LICENCED BY THE BOSTON WATER AND SEWER COMMISSION.

BOSTON WATER AND SEWER COMMISSION  
 BACKFLOW PREVENTER INSTALLATION  
 APPROVAL: DATE: 9/27/23



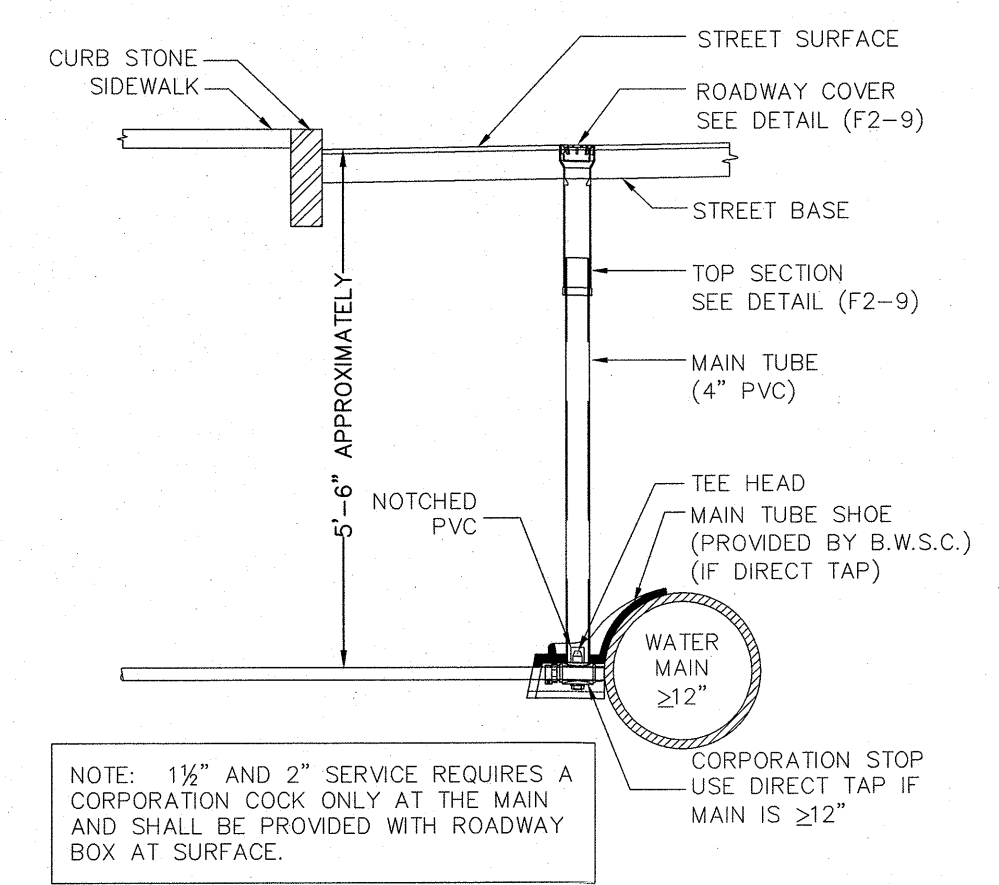
SITE PLAN #23-373  
 67 PERRIN STREET  
 ROXBURY, MA  
 FOR  
 LONGDEN REALTY, LLC  
 CIVIL ENVIRONMENTAL CONSULTANTS, LLC  
 8 OAK STREET PEABODY, MA 01960 - (978) 531-1191  
 SHEET NO: 1 OF 2  
 DATE: 9/20/2023 JOB: 4525  
 DRAWN BY: C.R.L.

REVIEWED AND APPROVED AS TO PROPOSED CONNECTION(S) TO EXISTING WATER AND SEWER FACILITIES AS SHOWN, FOR ISSUE OF BUILDING PERMIT ONLY. ADDITIONAL PERMITS MUST BE OBTAINED FROM BWSC PRIOR TO CONNECTION TO BWS FACILITIES. SITE PLANS ARE VALID FOR A PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL.

JOHN P. SULLIVAN JR., P.E. DATE  
CHIEF ENGINEER

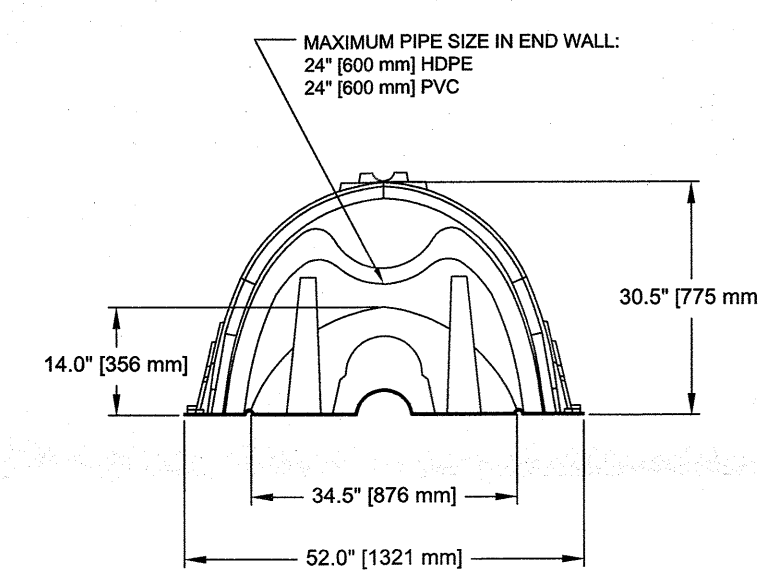
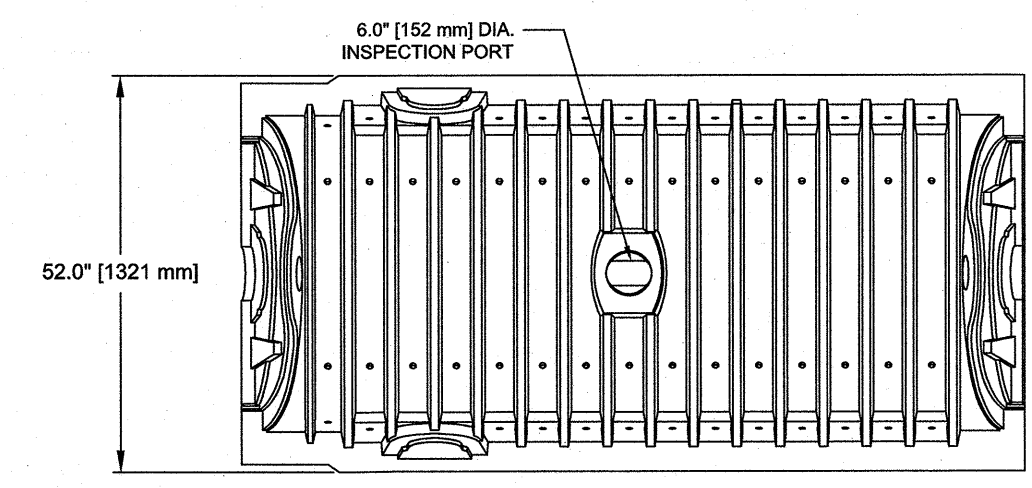
FOR BWSC ONLY

ALL WATER, SEWER, AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER, LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

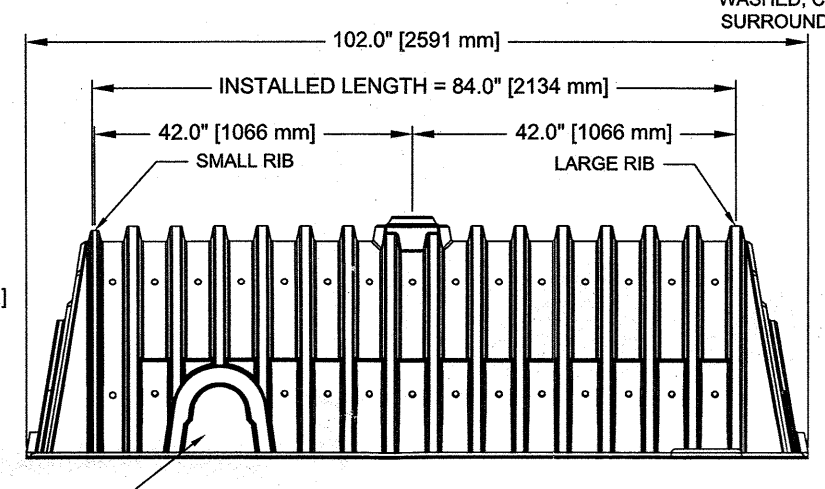


FIRE SERVICE CONNECTION DETAIL

NOTE: 1 1/2\"/>

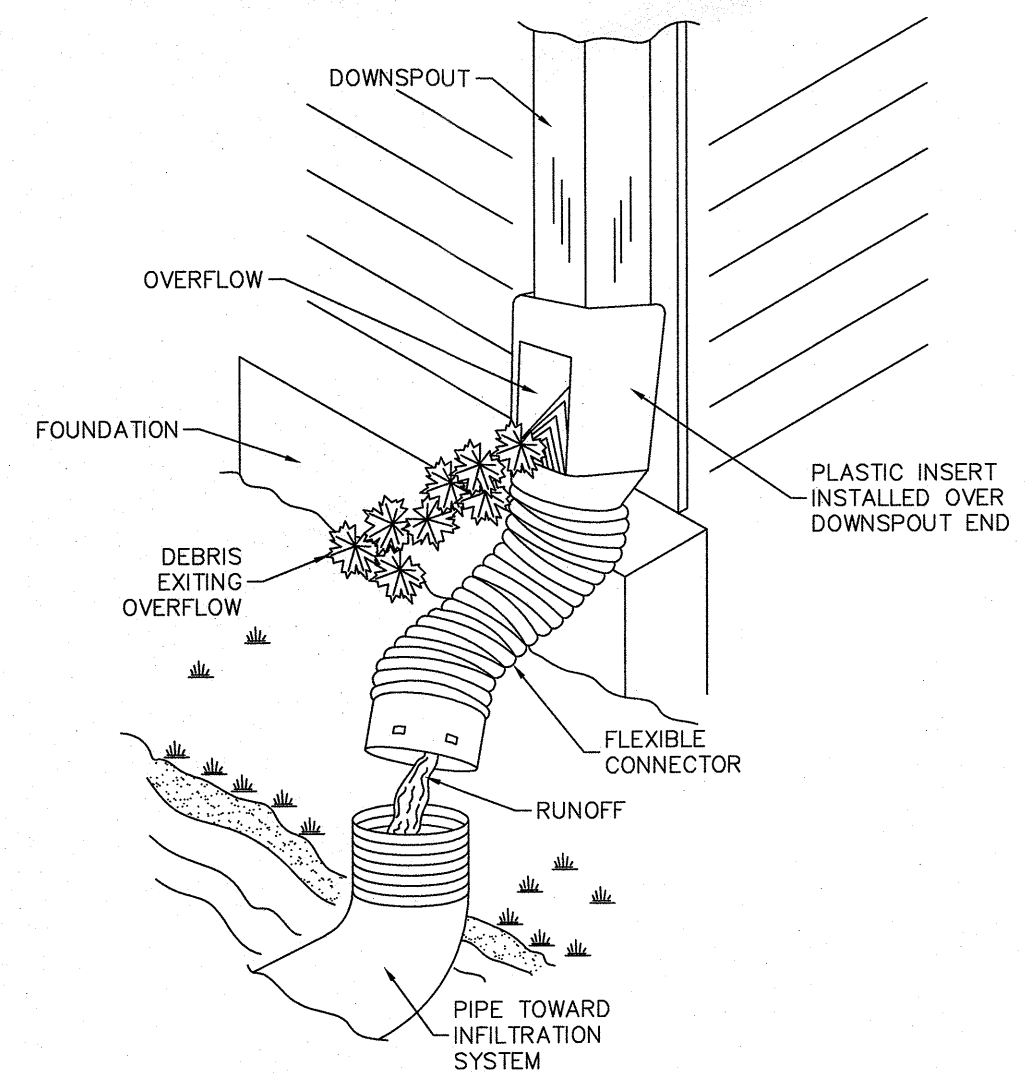
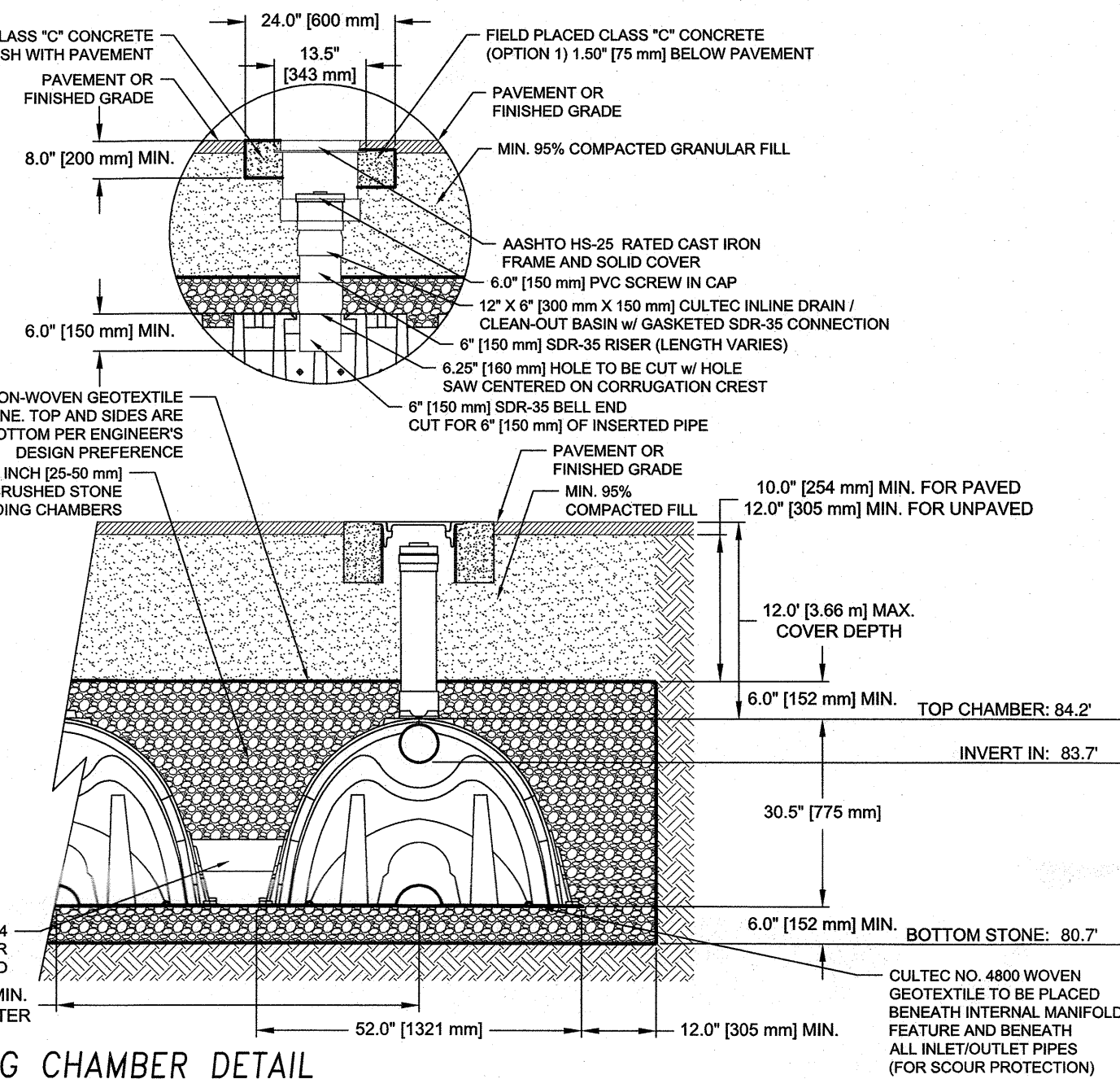


CULTEC RECHARGER 330XLHD CHAMBER STORAGE = 7.459 CF/FT [0.693 m<sup>3</sup>/m]  
INSTALLED LENGTH ADJUSTMENT = 1.5' [0.46 m]  
SINGLE CHAMBER MAX. STORAGE = 52.21 CF [1.478 m<sup>3</sup>]  
SIDE PORTAL ACCEPTS CULTREC HVLV FC-24 FEED CONNECTOR

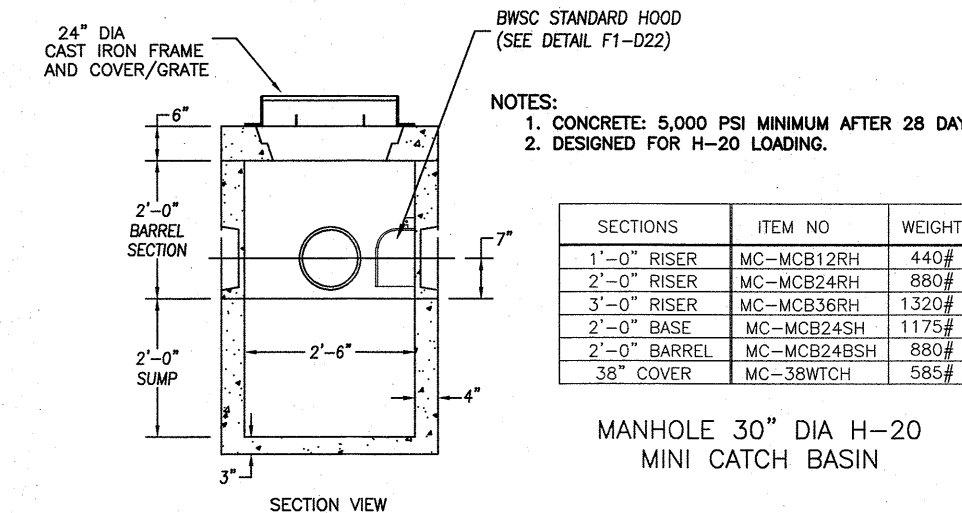


CULTEC 330XLHD LEACHING CHAMBER DETAIL

NOTE: PROJECT ENGINEER OF RECORD OR GEOTECHNICAL CONSULTANT IS RESPONSIBLE FOR ENSURING THAT THE REQUIRED BEARING CAPACITY OF SUB-GRADE SOILS HAS BEEN MET.



ROOF DOWNSPOUT DETAIL  
SCALE: N.T.S.

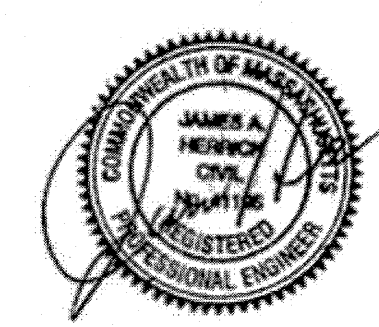


30" MINI CATCH BASIN DETAIL

NOTES:  
1. CONCRETE 5,000 PSI MINIMUM AFTER 28 DAYS.  
2. DESIGNED FOR H-20 LOADING.

SECTIONS	ITEM NO.	WEIGHT
1'-0" RISER	MC-MC812RS1	440#
2'-0" RISER	MC-MC824RH	880#
3'-0" RISER	MC-MC836RH	1320#
2'-0" BASE	MC-MC824SH	1175#
2'-0" BARREL	MC-MC824RSH	880#
3/4" COVER	MC-30WCH	555#

MANHOLE 30" DIA H-20 MINI CATCH BASIN



SITE PLAN #23-\_\_\_ DETAILS  
67 PERRIN STREET  
ROXBURY, MA  
FOR  
LONGDEN REALTY, LLC

CIVIL ENVIRONMENTAL CONSULTANTS, LLC  
8 OAK STREET PEABODY, MA 01960 - (978) 531-1191

SHEET NO: 2 OF 2 DATE: 9/20/2023 JOB: 4525  
DRAWN BY: C.R.L.





KRONOS CO. 4 LONGFELLOW PL BOSTON MA

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ENGINEERING STAMP:



# RESIDENTIAL MULTI UNIT

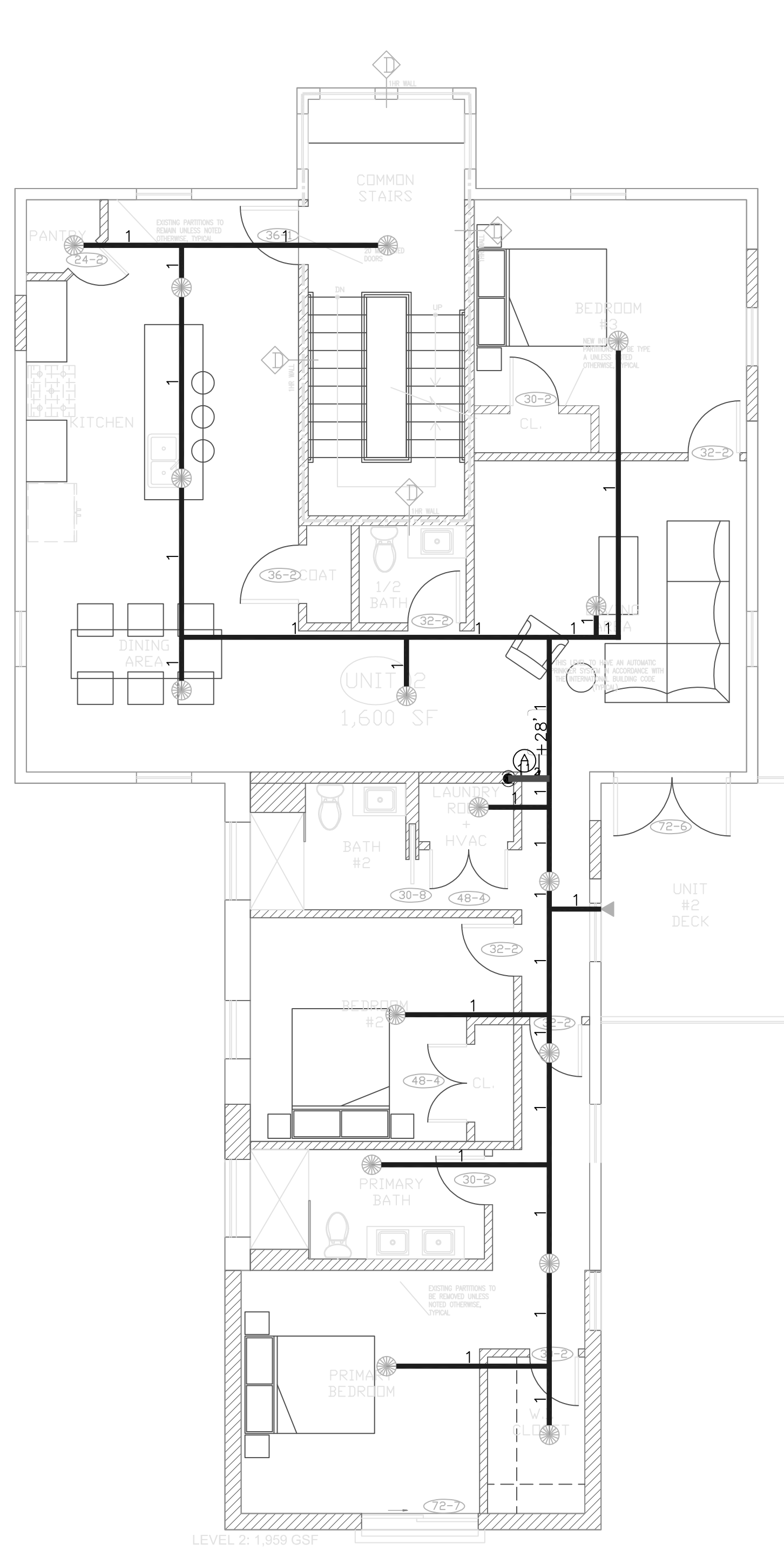
67 PERRIN ST BOSTON, MA

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: FIRE PROTECTION			

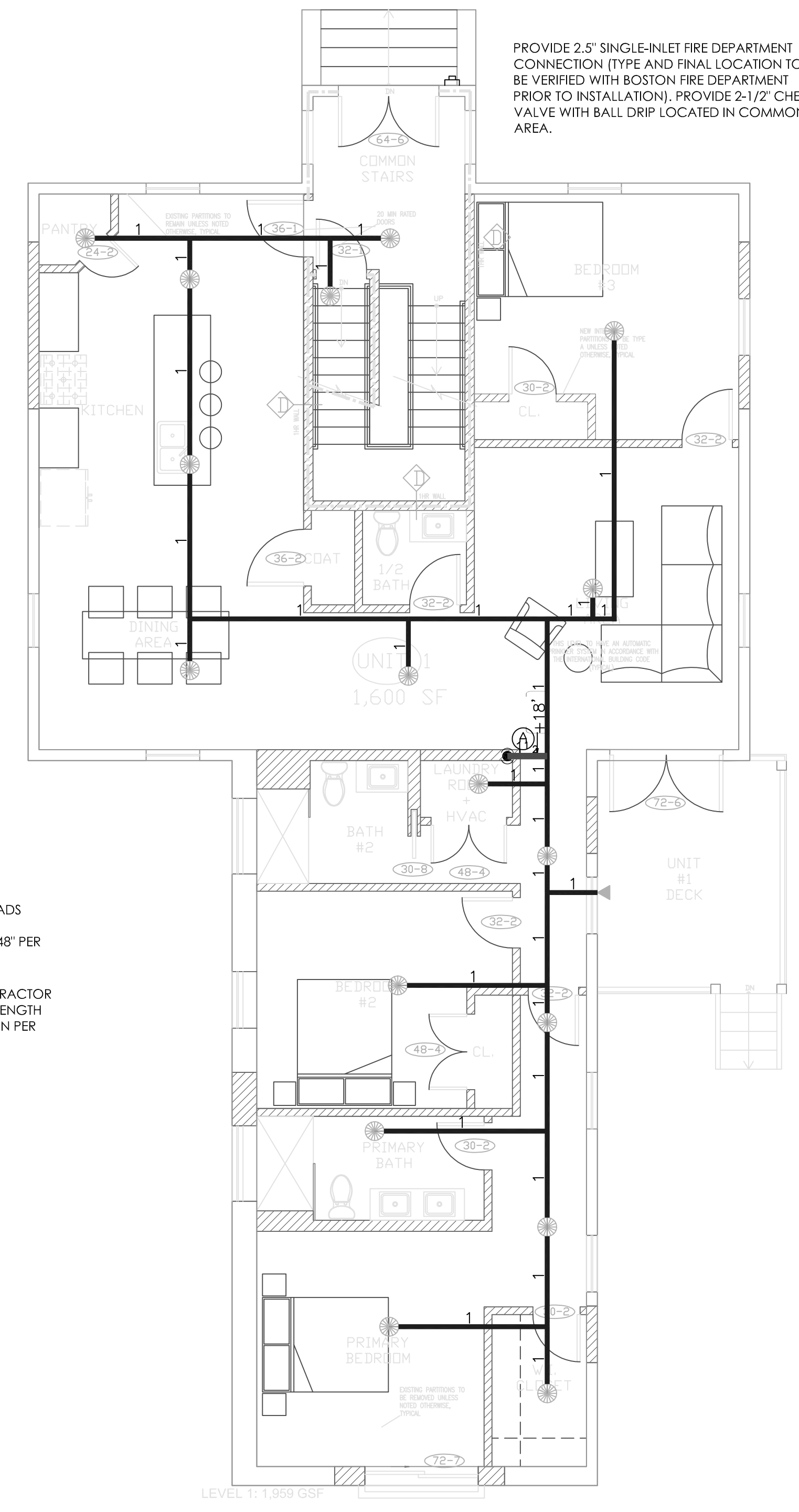
CLIENT:  
  
ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 67 PERRIN ST  
BOSTON, MA  
TITLE: FIRE PROTECTION  
BASE-2ND  
SCALE AT: 3/16"=1'-0" DATE: 8/3/23 DRAWN: JK CHECKED: NB  
PROJECT NO: DRAWING NO: FP 1 REVISION:

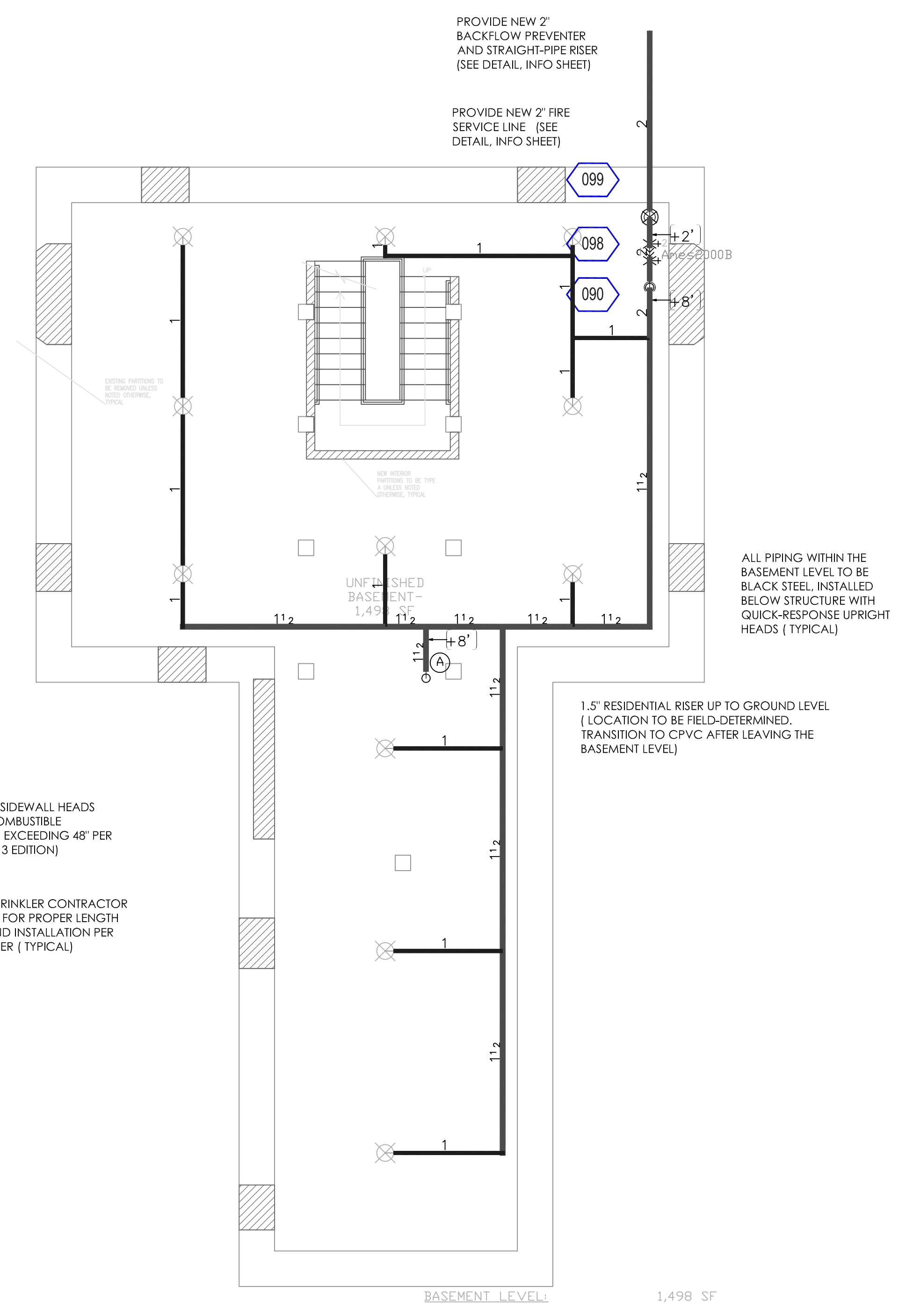
# PERRIN ST.



2ND FLOOR PLAN



1ST FLOOR PLAN



BASEMENT PLAN





KRONOS CO. 4 LONGFELLOW PL BOSTON MA

Notes:

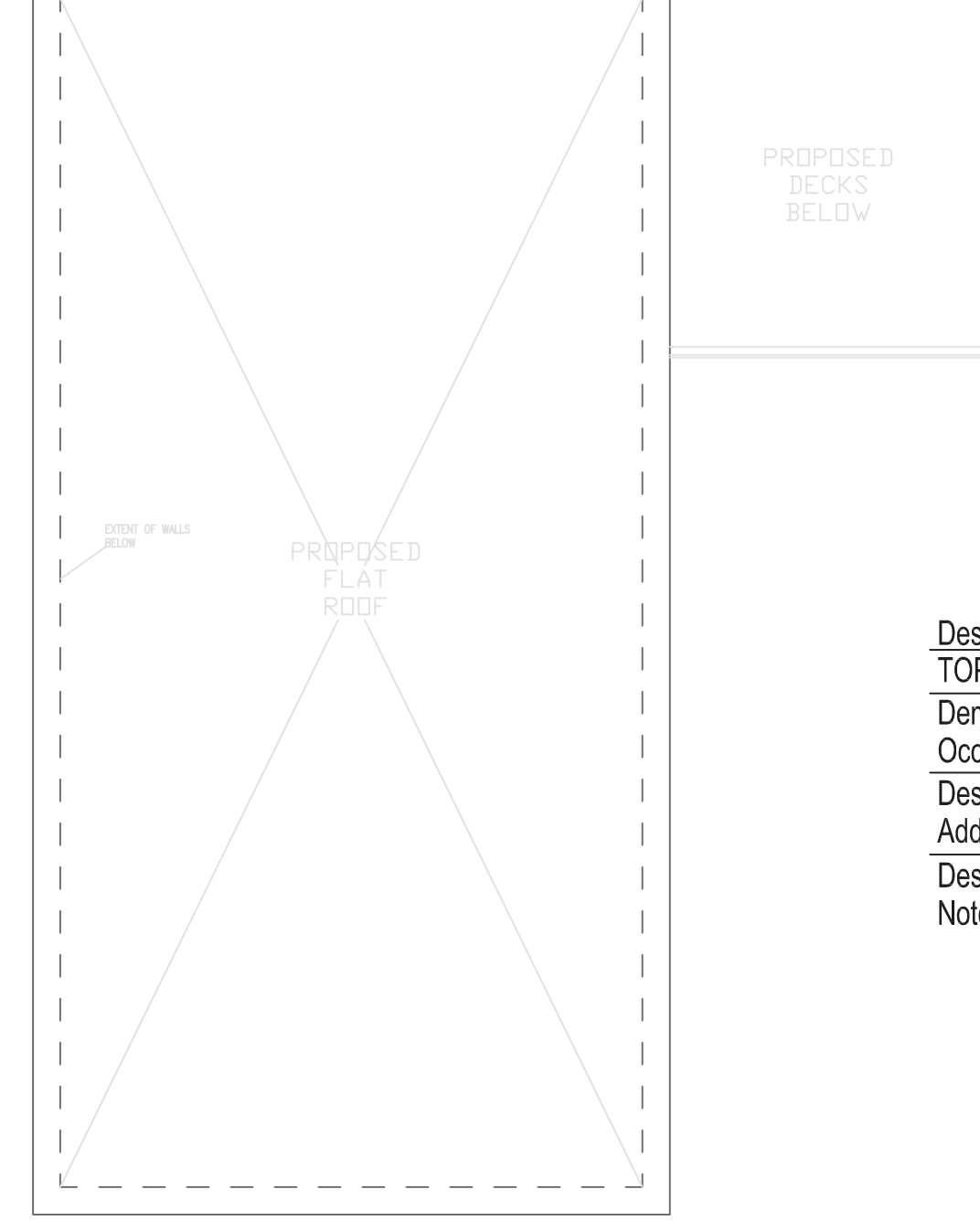
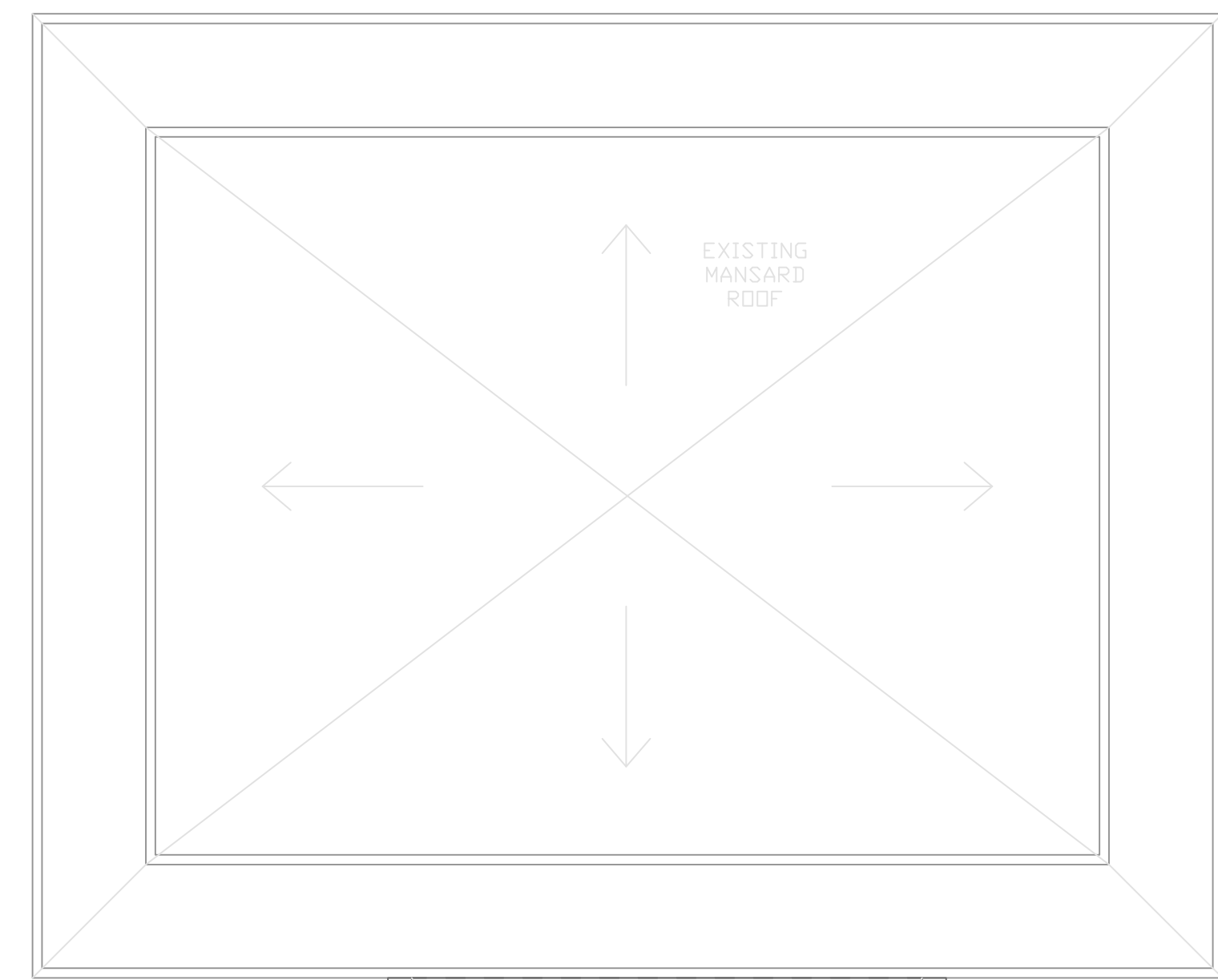
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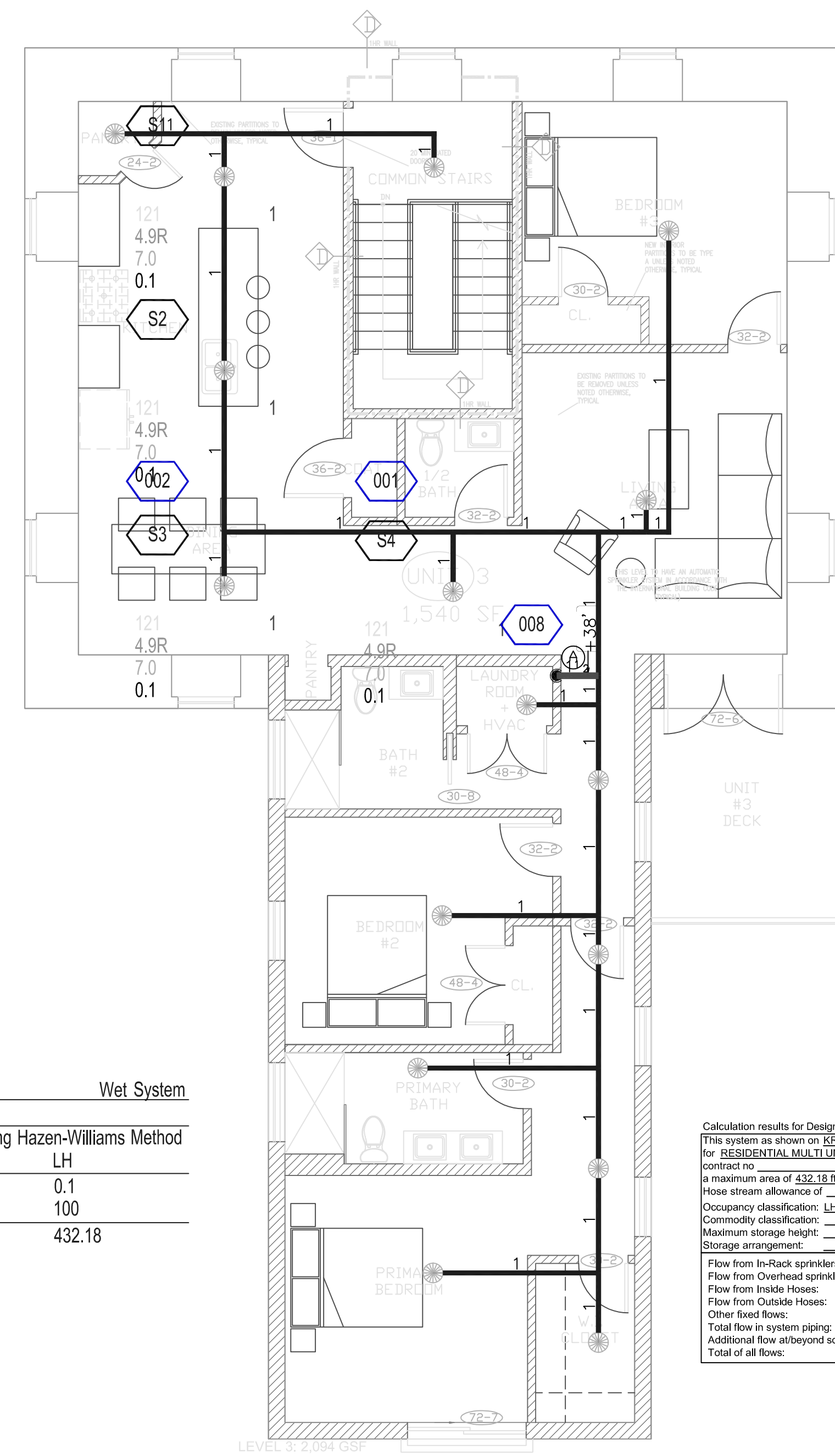


# RESIDENTIAL MULTI UNIT

67 PERRIN ST BOSTON, MA



Design Area 1	Wet System
TOP FLOOR	
Demand Calculations using Hazen-Williams Method	
Occupancy Classification:	LH
Design Area Density:	0.1
Additional Outside Hose:	100
Design Area Size:	432.18
Notes:	



3RD FLOOR PLAN

Calculation results for Design Area 1		TOP FLOOR	
This system as shown on KRONOS COLLABORATIVE company print no. dated 8/3/23			
for RESIDENTIAL MULTI UNIT at 67 PERRIN ST			
contract no. is designed to discharge at a rate of 0.1 gpm/ft <sup>2</sup> (L/min/m <sup>2</sup> ) of floor area over			
in a maximum area of 432.18 ft <sup>2</sup> when supplied with water at a rate of 59.6 gpm, at 66.8 psi at the base of the riser.			
Hose stream allowance of is included in the above.			
Occupancy classification:	LH	Number of heads flowing:	4
Commodity classification:		System Type:	Wet
Maximum storage height:		Maximum velocity:	20.22 ft/s
Storage arrangement:			
Flow from In-Rack sprinklers:	0 gpm	Pressure Required at Source:	66.8 psi
Flow from Overhead sprinklers:	59.6 gpm	Pressure Available at Source:	72 psi
Flow from Inside Hoses:	0 gpm	Surplus Pressure at Source:	5.2 psi
Flow from Outside Hoses:	0 gpm		
Other fixed flows:	0 gpm		
Total flow in system piping:	59.6 gpm		
Additional flow at/beyond source:	100 gpm		
Total of all flows:	159.6 gpm		

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: FIRE PROTECTION			

CLIENT:

ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 67 PERRIN ST  
BOSTON, MA

TITLE: FIRE PROTECTION  
3RD-ROOF

SCALE AT:	DATE:	DRAWN:	CHECKED:
3/16"=1'-0"	8/3/23	JK	NB
PROJECT NO:	DRAWING NO:	REVISION:	
	FP 2		





KRONOS CO. 4 LONGFELLOW PL BOSTON MA

Notes:

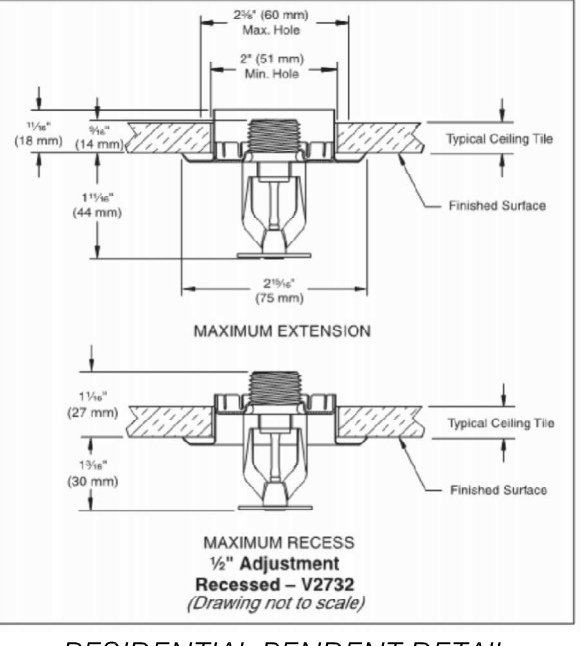
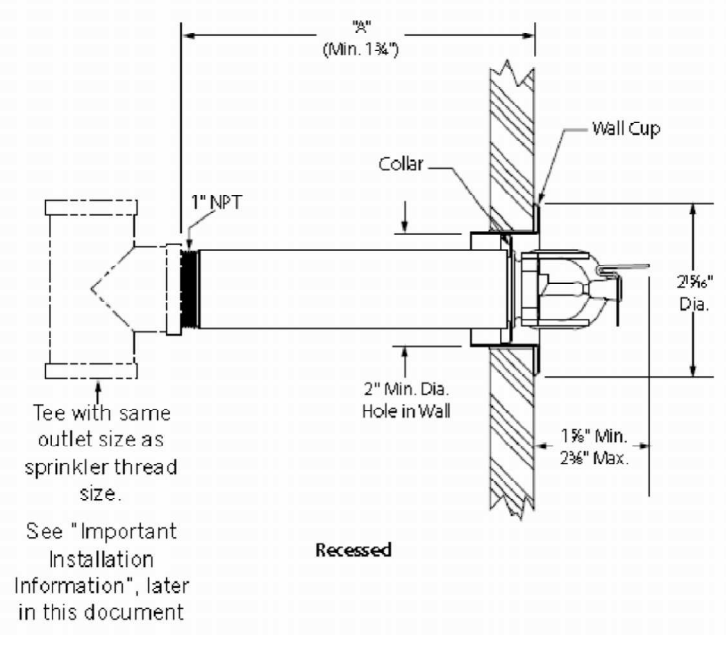
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ENGINEERING STAMP:



RESIDENTIAL MULTI UNIT

67 PERRIN ST BOSTON, MA



**JOB: RESIDENTIAL MULTI UNIT**

Address: 67 PERRIN ST, BOSTON, MA, Zip/Postal Code: 02119  
 Contract #: KRONOS COLLABORATIVE, Date: 8/23, Designer: JK  
 Address: 4 LONGFELLOW PL, BOSTON, MA, Zip/Postal Code:  
 Phone: 617-433-3533, Fax: , Email:   
 Approving Authority: , Standards: NFPA13  
 Design Details: Default Sprig Size: 1, Default Drop Material: 1 CPVC  
 Default Sprig Material: CPVC, Default Drop Elevation: 0  
 Default Sprig Elevation: 0

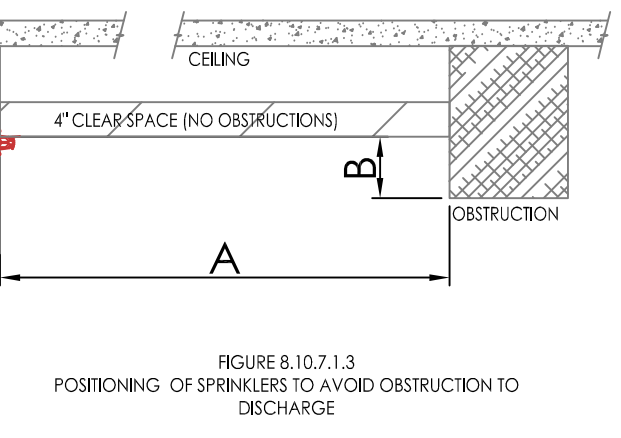
**MAX. HANGER SPACING**

PIPE TYPE	NOMINAL PIPE SIZE (IN)							
	1	1 1/4	1 1/2	2	2 1/2	4	6	8
SCW 1040 SRED	120	120	150	150	150	150	150	150
UL LISTED CPVC	6-0	6-0	7-0	8-0	9-0			

3/4\"/>

**TABLE 8.10.7.1.3 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE**

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 8 FT	0
8'-0\"/>	



**CLOSETS (TYPICAL)**

EXCEPT WHERE SPECIFIED IN SECTION 6.6.4 (NFPA 13D, 13R, 2013 EDITION), SPRINKLERS SHALL NOT BE REQUIRED IN CLOTHES CLOSETS, LINEN CLOSETS, AND PANTRIES THAT MEET ALL OF THE FOLLOWING CONDITIONS:

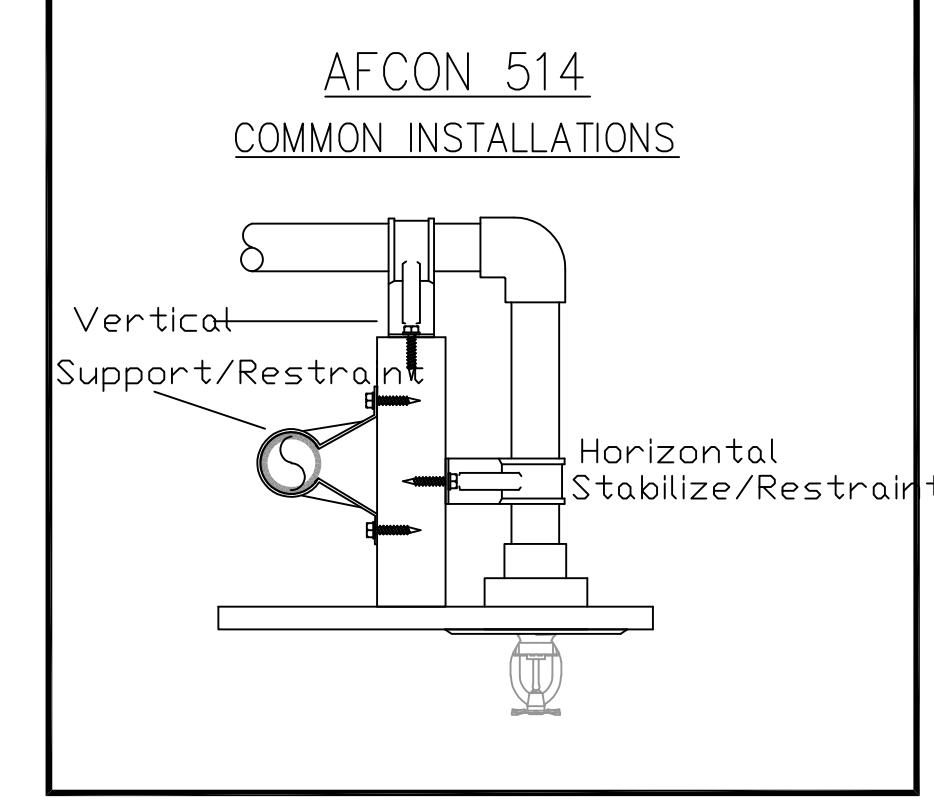
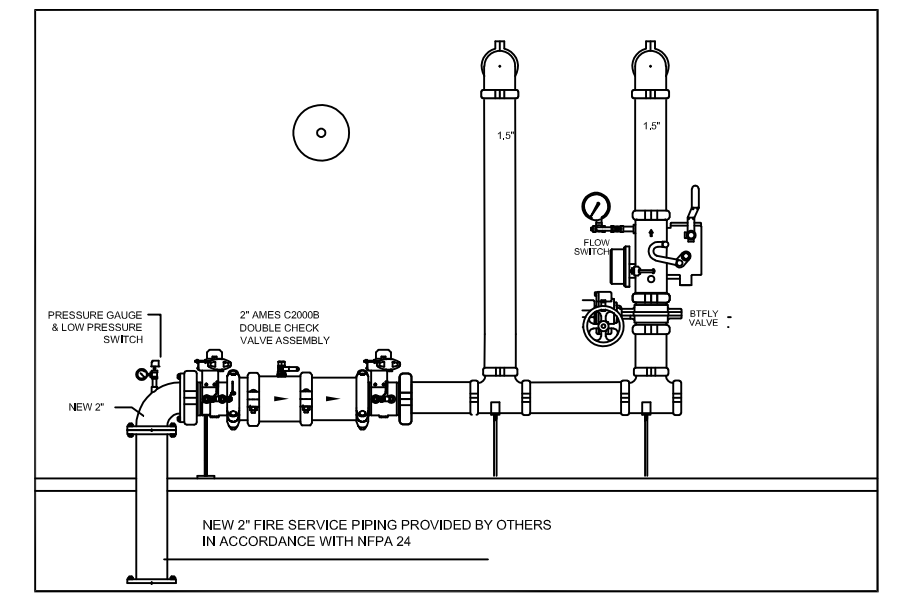
- 1) THE AREA OF THE SPACE DOES NOT EXCEED 24 SF
- 2) THE LEAST DIMENSION DOES NOT EXCEED 3 FT
- 3) THE WALLS AND CEILINGS ARE SURFACED WITH NONCOMBUSTIBLE OR LIMITED-COMBUSTIBLE MATERIALS AS DEFINED IN NFPA 220.

NOTE: WHEN MECHANICAL EQUIPMENT OR LAUNDRY MACHINES ARE PLACED IN THE CLOSET, THE CLOSET IS NO LONGER CONSIDERED A CLOTHES CLOSET, LINEN CLOSET, OR PANTRY, SO THE EXCEPTION OF 6.6.3 IS NO LONGER VALID AND SPRINKLERS MUST BE INSTALLED.

SPRINKLER HEAD LOCATIONS HAVE NOT BEEN COORDINATED WITH CEILING-MOUNTED FIXTURES. INSTALLING SPRINKLER CONTRACTOR SHALL COORDINATE WITH ELECTRICIAN AND LOCATE SPRINKLERS AT LEAST 36\"/>



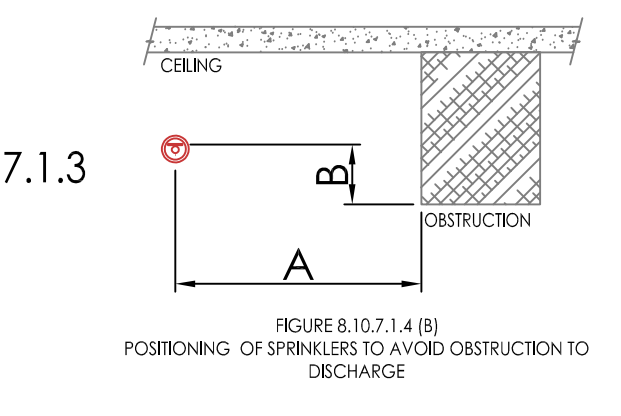
SPRINKLER CONTRACTOR SHALL TAKE PRECAUTIONS WHEN INSTALLING SPRINKLER PIPING IN JOISTS ON TOP FLOOR. GENERAL CONTRACTOR SHALL BE REQUIRED TO INSTALL SUFFICIENT INSULATION TO MAINTAIN 40-DEGREES IN ALL AREAS WHERE SPRINKLER PIPING AND HEADS ARE INSTALLED



**NFPA 13 TABLE 8.10.7.1.3 + FIGURE 8.10.7.1.3 RESIDENTIAL SIDEWALL SPRINKLERS**

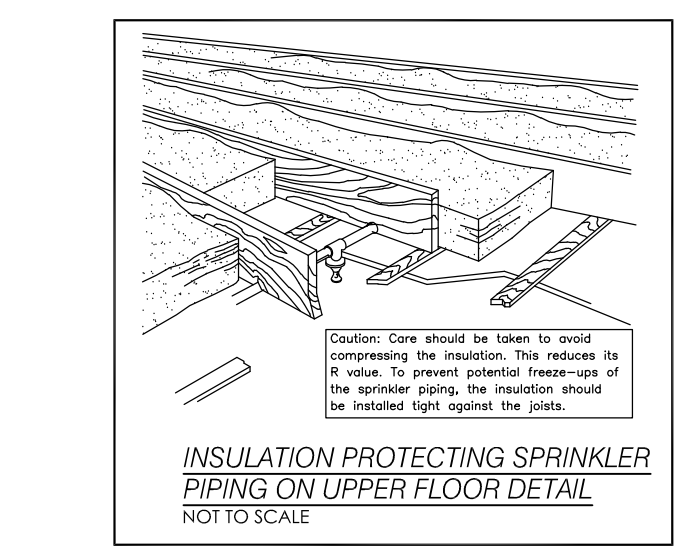
**TABLE 8.10.7.1.4 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE**

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 1'-6\"/>	



NOTE: WHEN MECHANICAL EQUIPMENT OR LAUNDRY MACHINES ARE PLACED IN THE CLOSET, THE CLOSET IS NO LONGER CONSIDERED A CLOTHES CLOSET, LINEN CLOSET, OR PANTRY, SO THE EXCEPTION OF 6.6.3 IS NO LONGER VALID AND SPRINKLERS MUST BE INSTALLED.

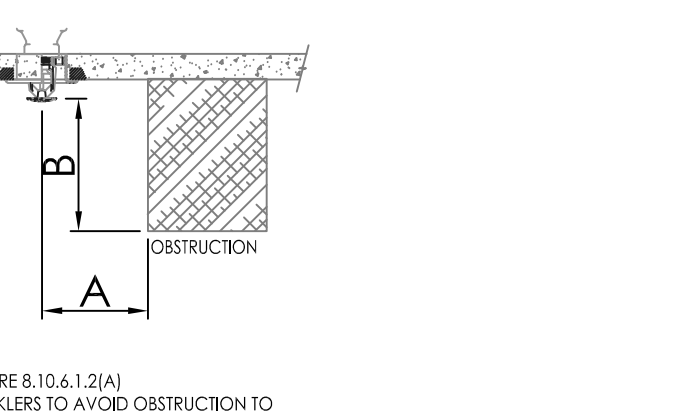
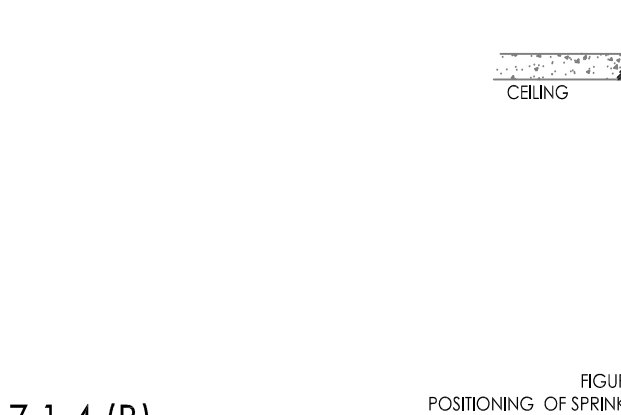
SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL #
☉	49	PEND	BRASS	160	4.90	1/2"	TY2524	Tyco	LFII
◀	2	SIDE	WHITE	155	5.60	1/2"	TY3302	Tyco	EC-5
⊗	10	UPR	BRASS	155	5.60	1/2"	TY3151	Tyco	TY-B



**NFPA 13 TABLE 8.10.7.1.4 + FIGURE 8.10.7.1.4 (B) STANDARD SIDEWALL SPRINKLERS**

**TABLE 8.10.6.1.2 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE**

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 1 FT	0
1'-0\"/>	



**NFPA 13 TABLE 8.10.6.1.2 + FIGURE 8.10.6.1.2(A) RESIDENTIAL PENDENT AND UPRIGHT SPRAY SPRINKLERS**

**TABLE 8.3.2.5(c) TEMPERATURE RATINGS OF SPRINKLERS IN SPECIFIED RESIDENTIAL AREAS**

HEAT SOURCE	MINIMUM DISTANCE FROM EDGE OF SOURCE TO ORIGINAL TEMPERATURE SPRINKLER (INCHES)	MINIMUM DISTANCE FROM EDGE OF SOURCE TO WIREMANTLE TEMPERATURE SPRINKLER (INCHES)
SIDE OF OPEN OR RECESSED FIREPLACE	36	12
FRONT OF RECESSED FIREPLACE	60	36
KITCHEN RANGE	18	9
WALL OVEN	18	9
SIDE OF CEILING OR WALL MOUNTED HOT AIR DIFFUSER	24	12
FRONT OF WALL MOUNTED HOT AIR DIFFUSER	36	18
HOT WATER HEATER OR FURNACE	6	3
LIGHT FIXTURE: 0W-250W	6	3
LIGHT FIXTURE: 250W-899W	12	6

**FREEZE PROTECTION**

THE BUILDING OWNER IS RESPONSIBLE FOR PROVIDING HEAT IN ALL AREAS CONTAINING SPRINKLER PIPING AND HEADS TO PREVENT PIPE FROM FREEZING. ANY AREAS THAT RAISE CONCERN WITH REGARD TO FREEZING POTENTIAL SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION, IN WRITING, PRIOR TO INSTALLATION. THE ENGINEER OF RECORD TAKE NO RESPONSIBILITY FOR DAMAGES CAUSED BY FREEZE-UPS OF THE SPRINKLER SYSTEM.

**FIRE PROTECTION NOTES:**

THE PURPOSE OF THIS FIRE PROTECTION DRAWING AND THE ASSOCIATED FIRE PROTECTION DESIGN NARRATIVE IS TO INDICATE THE PROPOSED RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED WITHIN THE RENOVATED MULTI-UNIT BUILDING LOCATED AT 67 PERRIN ST BOSTON, MASSACHUSETTS.

THIS BUILDING CONSISTS OF A BASEMENT LEVEL, FIRST LEVEL, SECOND LEVEL AND A THIRD LEVEL AS INDICATED ON THE ASSOCIATED ARCHITECTURAL DRAWINGS.

THIS RESIDENTIAL SPRINKLER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13R (2013 EDITION) FOR A RESIDENTIAL BUILDING UP TO 4 STORIES IN HEIGHT .

THE SPRINKLER CONTRACTOR SHALL FOLLOW THE LATEST REQUIREMENTS OF NFPA 13R (2013 EDITION), MASSACHUSETTS STATE BUILDING CODE (780 CMR, 9TH EDITION) AND BOSTON FIRE DEPARTMENT REQUIREMENTS.

THIS SYSTEM WILL BE SUPPLIED BY A NEW 2\"/>

THE SYSTEM HAS BEEN HYDRAULICALLY CALCULATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13R, INCLUDING THE FOUR HYDRAULICALLY MOST DEMANDING HEADS IN A SINGLE COMPARTMENT BASED ON THE REQUIREMENTS OF THE SPECIFIC SPRINKLER HEAD AND THE SPACING USED IN THIS DESIGN (16X18\"/>

**INSTALLATION NOTES:**

ALL WORK SHALL BE PERFORMED BY A MASSACHUSETTS LICENSED SPRINKLER CONTRACTOR. THE SPRINKLER CONTRACTOR SHALL FOLLOW THE LATEST REQUIREMENTS OF NFPA 13R (2013 EDITION), MASSACHUSETTS STATE BUILDING CODE (9TH EDITION) AND THE BOSTON FIRE DEPARTMENTS.

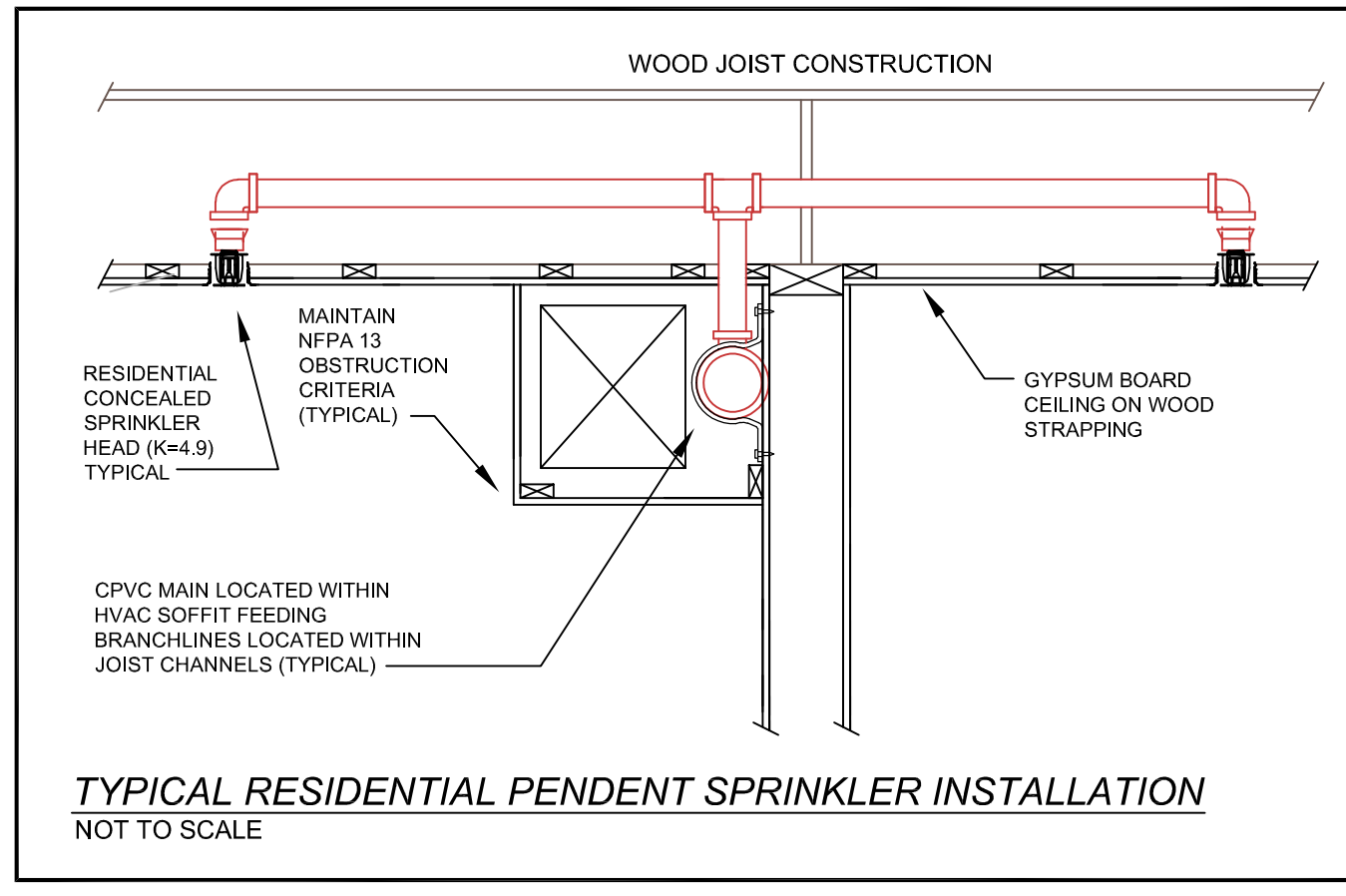
THE ARCHITECTURAL BACKGROUND OF BUILDING MAY DIFFER SLIGHTLY FROM ACTUAL LAYOUT. DRAWINGS ARE NOT INTENDED TO SHOW ALL OFFSETS AND PIPING ELEVATION CHANGES. CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS PRIOR TO FABRICATION.

CONTRACTOR SHALL HYDROSTATICALLY TEST ALL SPRINKLER PIPING AT 200 PSI FOR 2 HOURS AND IS RESPONSIBLE FOR THE COMPLETION OF ALL ABOVE GROUND TEST CERTIFICATES, SUPPLIED TO THE OWNER.

ALL PIPING INSTALLED THROUGHOUT THE RESIDENTIAL AREAS OF THE BUILDING SHALL BE UL LISTED CPVC SPRINKLER PIPING. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13R (2013 EDITION) AND ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS. ALL PIPING SHALL BE PITCHED TO DRAIN WITH LOW-POINT DRAINS AT SECTIONS OF PIPING SUBJECT TO WATER TRAPPING. SPRINKLER CONTRACTOR SHALL PROVIDE PROTECTIVE PLATES WHERE CPVC PIPING IS RUN THROUGH STUDS TO PREVENT PUNCTURING OF THE SPRINKLER PIPING DURING DRYWALL INSTALLATION AS REQUIRED BY NFPA STANDARDS.

ALL SPRINKLER HEADS WITHIN RESIDENTIAL AREAS OF THE BUILDING SHALL BE RESIDENTIAL PENDENT SPRINKLERS. ALL HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF NFPA 13R (2013 EDITION).

THE BUILDING OWNER IS RESPONSIBLE FOR MAINTAINING THIS SPRINKLER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 25, INCLUDING THE PROVISION OF HEAT IN ALL AREAS CONTAINING SPRINKLER PIPING AND HEADS TO PREVENT PIPE FROM FREEZING. THE ENGINEER OF RECORD TAKE NO RESPONSIBILITY FOR ANY DAMAGES CAUSED BY FREEZE UPS.



C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
	FIRE PROTECTION		

CUSTOMER:

ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 67 PERRIN ST  
BOSTON, MA

TITLE: FIRE PROTECTION  
INFO SHEET

SCALE AT: 1/4\"/>



# PERRIN ST.

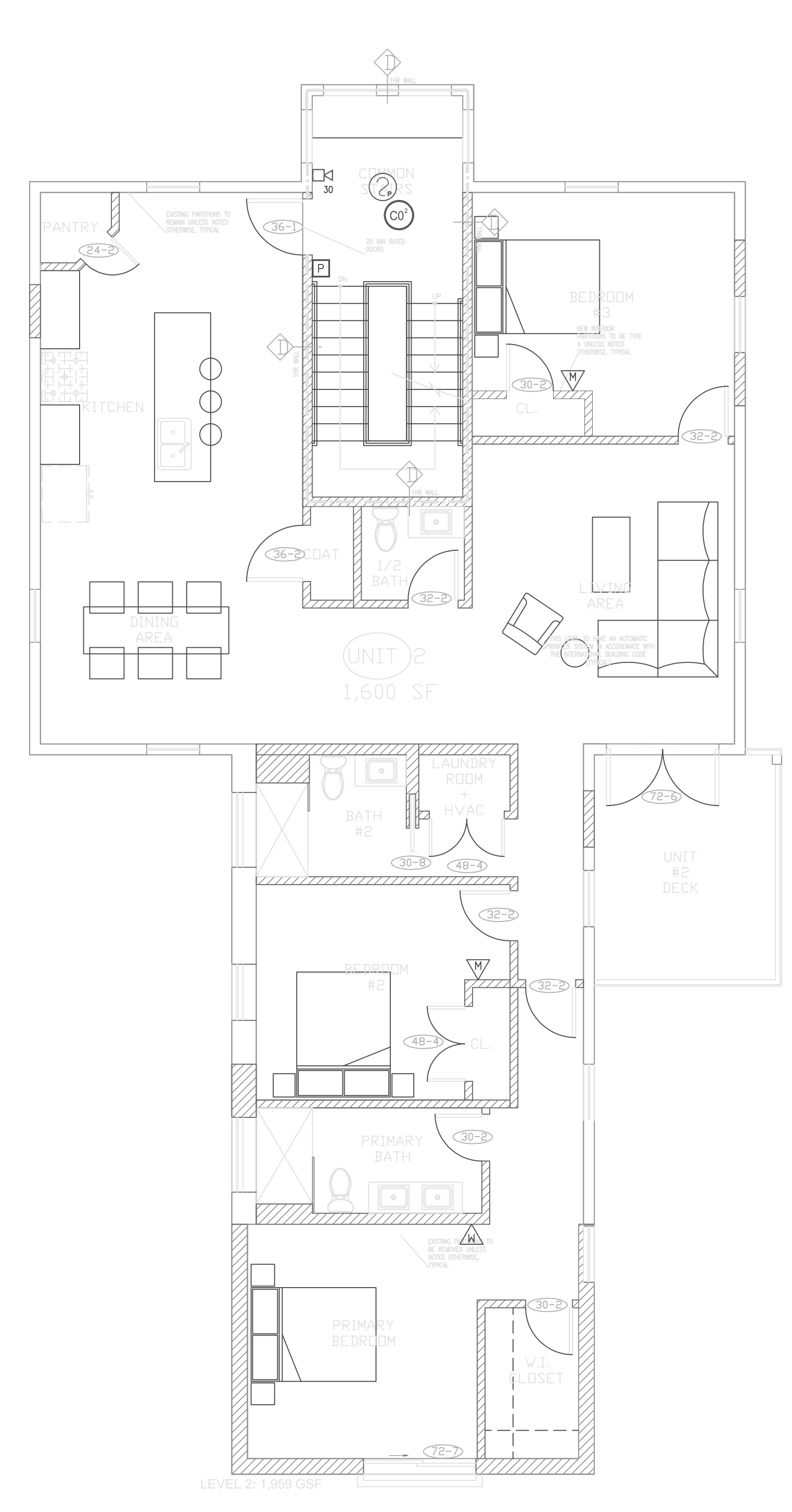


KRONOS CO. 4 LONGFELLOW PL BOSTON MA

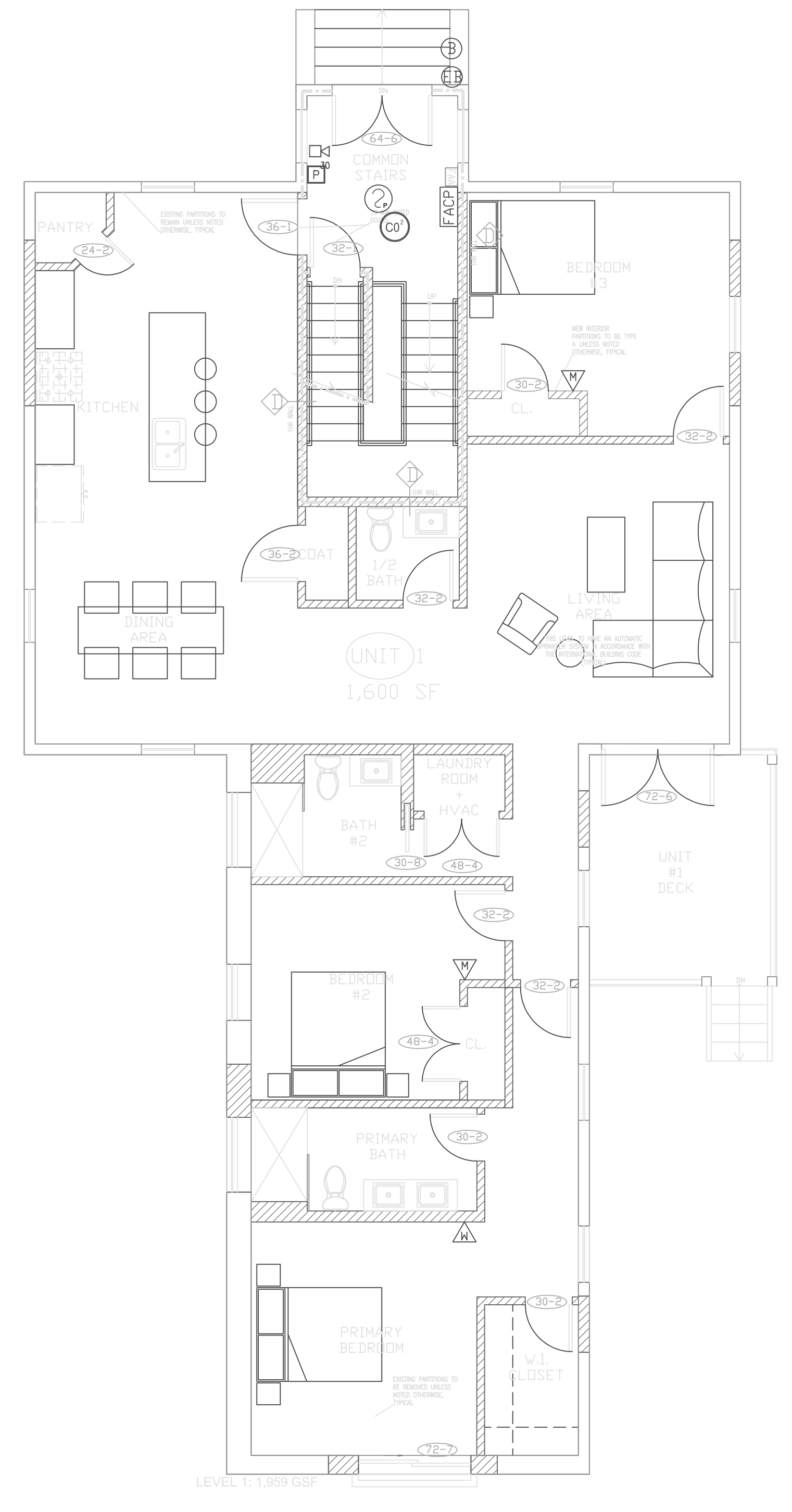
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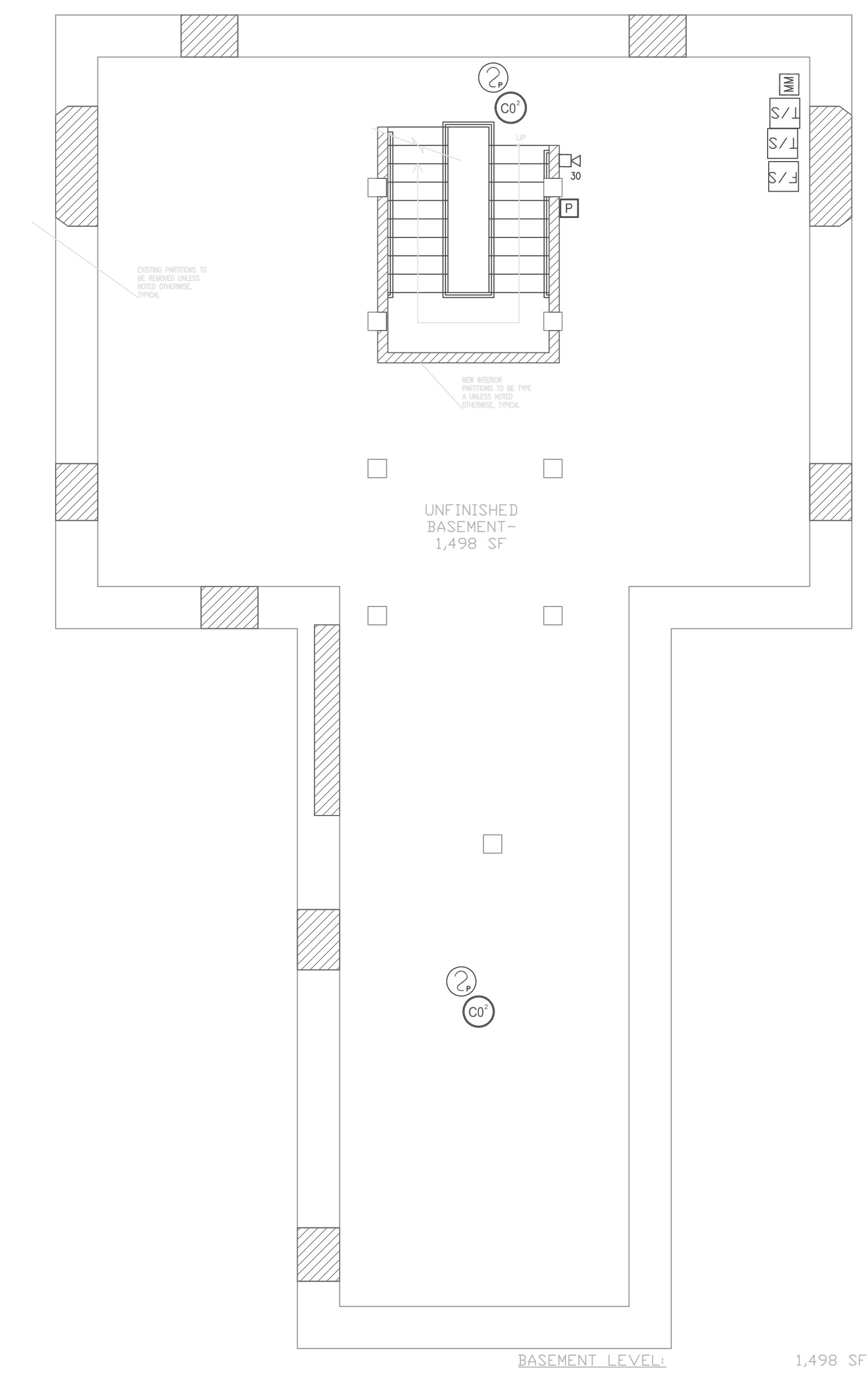
**ENGINEERING STAMP:**



**2ND FLOOR PLAN**



**1ST FLOOR PLAN**



**BASEMENT PLAN**

## RESIDENTIAL MULTI UNIT

67 PERRIN ST BOSTON, MA

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
	FIRE ALARM		

CLIENT:  
ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 67 PERRIN ST  
BOSTON, MA  
TITLE: FIRE ALARM  
BASE-2ND  
SCALE AT: 3/16"=1'-0"  
DATE: 8/3/23  
DRAWN: JK  
CHECKED: NB  
PROJECT NO:  
DRAWING NO: FA 1  
REVISION:



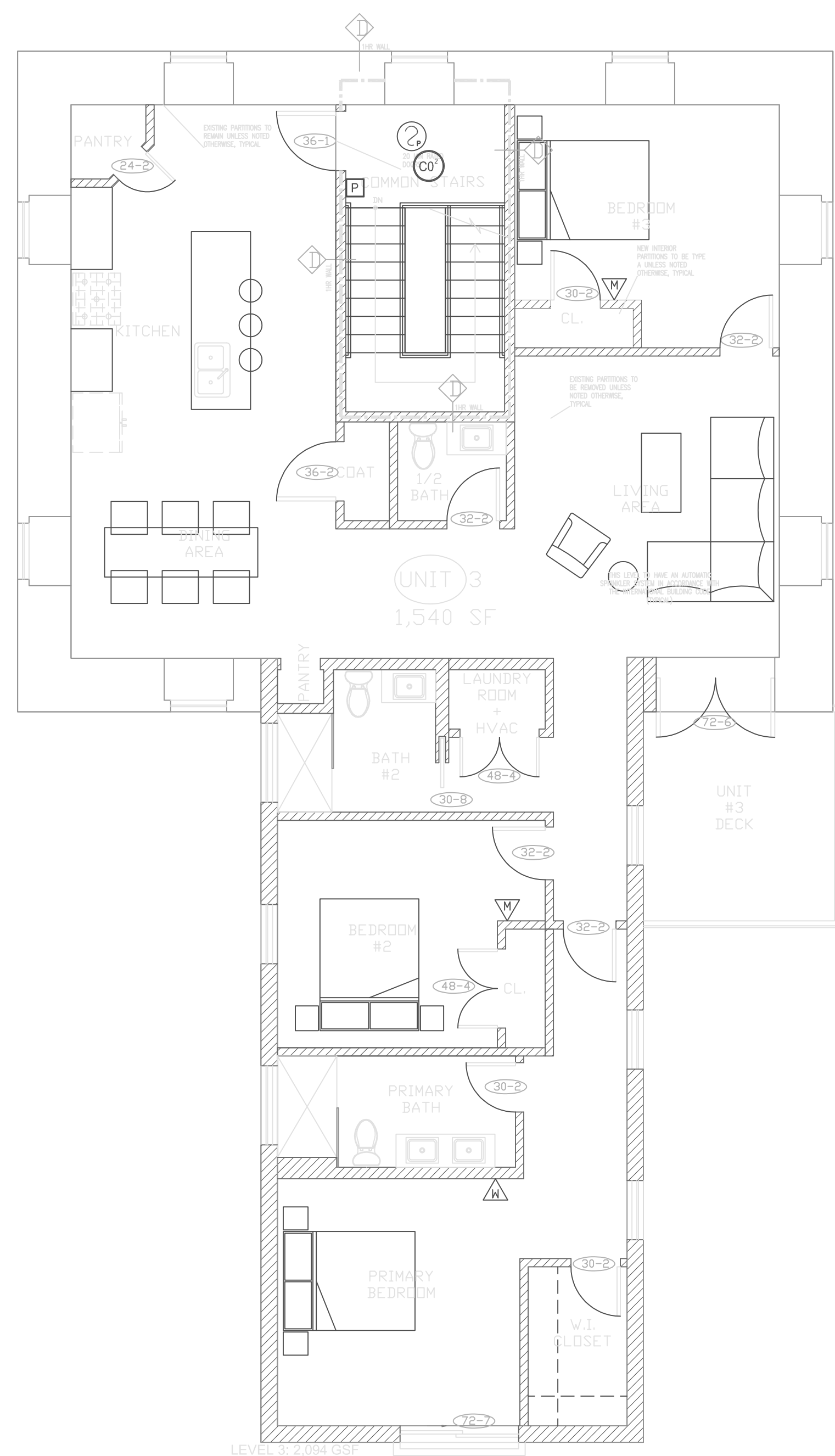
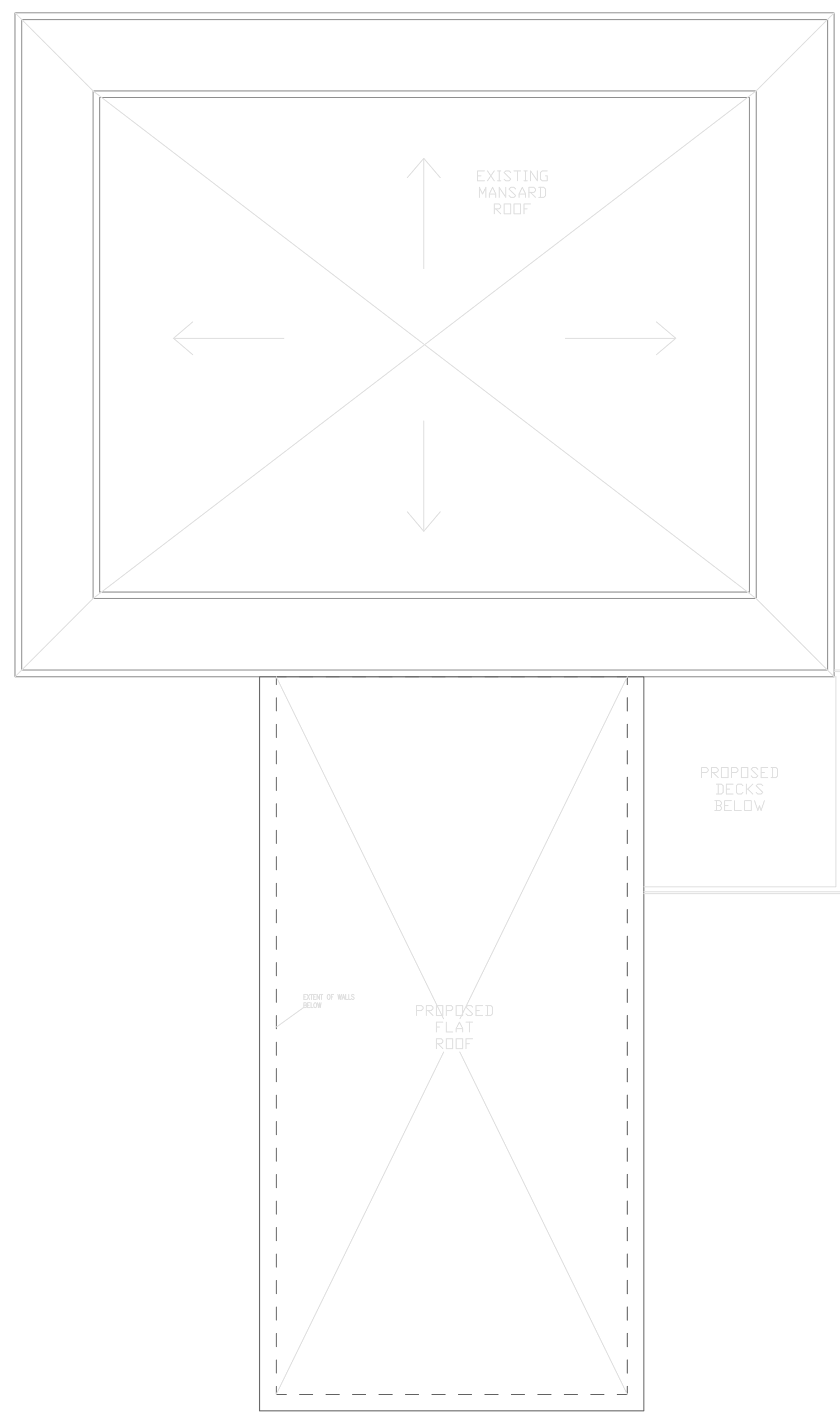


KRONOS CO. 4 LONGFELLOW PL BOSTON MA

Notes:

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ENGINEERING STAMP:



3RD FLOOR PLAN

# RESIDENTIAL MULTI UNIT

67 PERRIN ST BOSTON, MA

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
	FIRE ALARM		

CLIENT:

ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 67 PERRIN ST  
BOSTON, MA

TITLE: FIRE ALARM  
3RD-ROOF

SCALE AT A1:	DATE:	DRAWN:	CHECKED:
3/16"=1'-0"	8/3/23	JK	NB
PROJECT NO:	DRAWING NO:	REVISION:	
		FA 2	



KRONOS CO. 4 LONGFELLOW PL BOSTON MA

Notes:

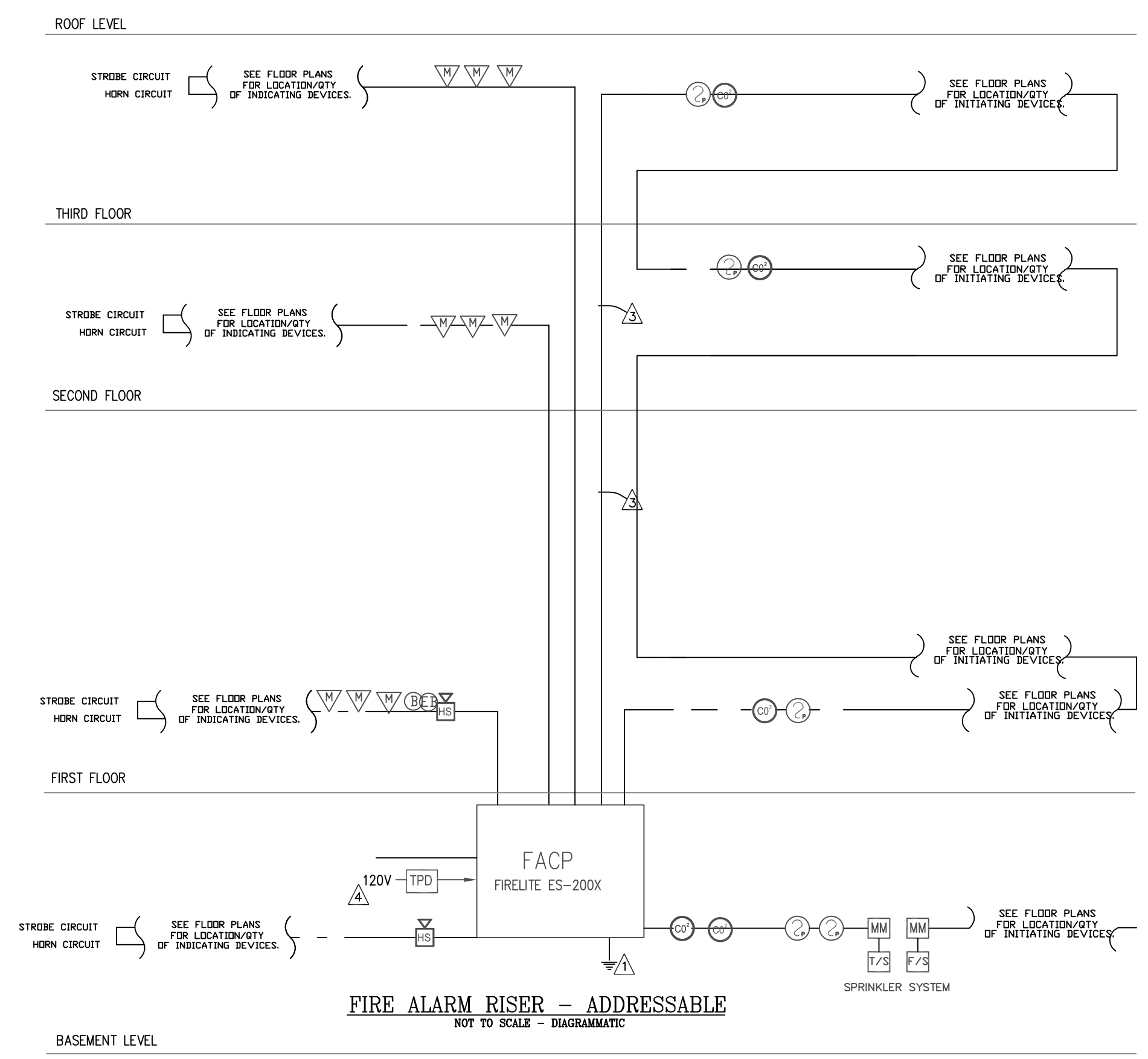
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ENGINEERING STAMP:



# RESIDENTIAL MULTI UNIT

67 PERRIN ST BOSTON, MA



### FIRE ALARM SYMBOLS

- TS TAMPER SWITCH
- FS FLOW SWITCH
- MM MONITOR MODULE
- CM CONTROL MODULE
- IM ISOLATOR MODULE
- CS COMBINATION SPEAKER/STROBE, ADA APPROVED, 80" AFF, 15/75 CANDELLA, SET AT 15' U.O.N. ON FLOOR PLANS. DESIGNATES CANDELLA RATING.
- WE EXTERIOR WEATHERPROOF HORN/STROBE EXACT LOCATION AND HEIGHT PER FIRE DEPARTMENT.
- LM LF MINIHORN (GENTEX G4LF 24 VDC SERIES)
- FACP FIRE ALARM CONTROL PANEL WITH BATTERY BACKUP - NOTIFIER, FCI OR APPROVED EQUAL
- P ADDRESSABLE MANUAL PULL STATION 48" AFF
- SD ADDRESSABLE SYSTEM SMOKE DETECTOR
- DD ADDRESSABLE SYSTEM CO2 DETECTOR
- RT REMOTE TEST #FACP
- AD AUTOMATIC DAMPER
- HD HEAT DETECTOR 200 Dep. fixed temp. 200'
- DI DIGITAL UL DIALER
- TPD TRANSIENT PROTECTIVE DEVICE
- K KNOX BOX
- FAA FIRE ALARM ANNUNCIATOR, "FAA"
- LS LOCAL HARDWIRED SMOKE/CO
- LD LOCAL HARDWIRED SMOKE
- B BEACON
- E ELECTRIC BELL

### FIRE ALARM NOTES

1. ALL FIRE ALARM SYSTEM WIRING SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, APPLICABLE STATE AND LOCAL FIRE AND SAFETY CODES, AS WELL AS BEING COORDINATED WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
2. CAUTION DO NOT CONNECT ANY POWER TO CONTROL PANEL (BATTERIES OR 120VAC) UNTIL ALL OTHER FIELD WIRING IS TESTED AND CONNECTED.
3. DON'T INSTALL ANY A.C. CURRENT CARRYING CONDUCTORS CLOSE TO OR IN THE SAME RACEWAY WITH FIRE ALARM SYSTEM CONDUCTORS.
4. THE ENTIRE FIRE ALARM SYSTEMS SHALL BE A CLASS "A" ADDRESSABLE SYSTEM.
5. THE RATING OF THE CONTROL MODULE (ES-200X) CONTACTS ARE: 20 WATS/400V AT 25 OR 70 VOLTS 2.0 AMPS DC (BELLS, HORNS AND DC CONTROL CIRCUITS) 0.5 AMPS INDUCTIVE
6. ALL OUTPUT (SIGNAL) CIRCUITS ARE SHOWN IN ALARM CONDITION. POLARITY IS REVERSED WHEN THE SYSTEM IS IN THE SUPERVISORY CONDITION.
7. OWNER TO PROVIDE DESIGNATIONS FOR DEVICES PROGRAMMING LANGUAGE.
8. REFER TO FLOOR PLANS FOR EXACT LOCATIONS AND QUANTITY OF ALL DEVICES.
9. FIRE ALARM CONTRACTOR SHALL FIELD VERIFY THE LENGTHS AND FEASIBILITY OF ALL ROUTING BEFORE BEGINNING WORK.
10. ALL JUNCTION BOX COVERS IN THE FIRE ALARM SYSTEM SHALL BE PAINTED RED, BY THE FIRE ALARM CONTRACTOR, BEFORE THEY ARE INSTALLED.
11. ALL EQUIPMENT SHALL BE UL LISTED AND/OR FM APPROVED.
12. ELECTRICAL SUBCONTRACTOR SHALL INSTALL ALL WIRING TO THE FIRE ALARM CONTROL PANELS. TERMINATIONS TO FACP'S SHALL BE MADE BY THE FIRE ALARM SUPPLIER OR UNDER SUPERVISION OF A REPRESENTATIVE FROM THE FIRE ALARM MANUFACTURER.
13. GROUND ALL EQUIPMENT PER N.E.C. REQUIREMENTS.
14. ALL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE FOR BY THE FIRE ALARM CONTRACTOR.
15. ALL CUTTING, PATCHING, AND CORE DRILLING FOR FIRE ALARM SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. FIRE SEAL ALL NEW ELECTRICAL PENETRATIONS IN FLOORS AND WALLS.
16. THE LOCATIONS OF ALL SMOKE DETECTORS AND HEAT DETECTORS SHOWN ARE CONSIDERED TO BE SCHEMATIC ONLY. THE ACTUAL LOCATIONS (SPACING TO ADJACENT DETECTORS, WALLS ETC.) ARE REQUIRED TO MEET NFPA 72.

## FIRE ALARM NOTES & NARRATIVE

THE FIRE ALARM SYSTEM FOR THIS BUILDING IS MADE UP OF THE FOLLOWING:

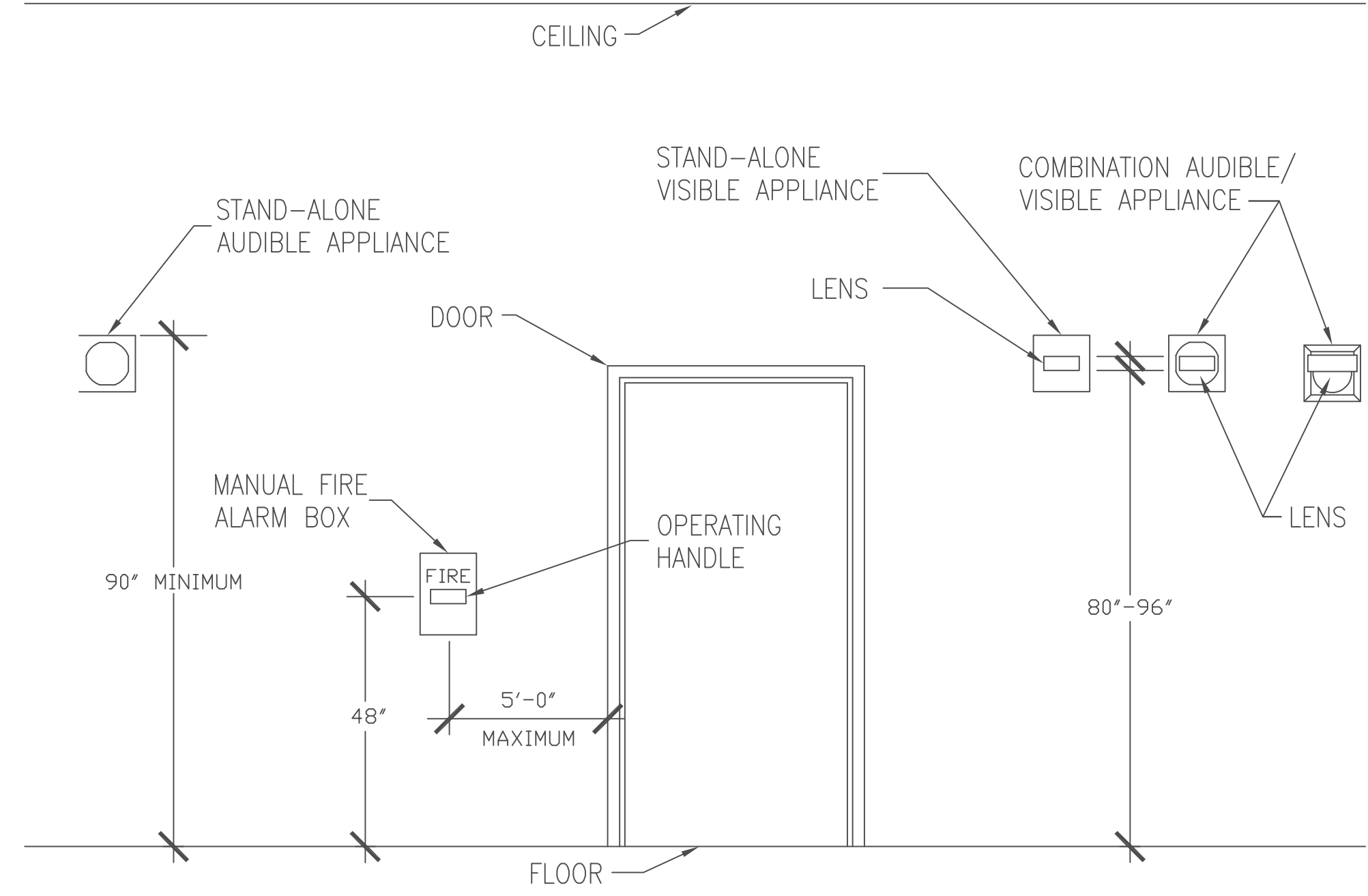
1. FIRE ALARM CONTROL PANEL (ADDRESSABLE TYPE) LOCATED IN FRONT ENTRANCE
2. PULL STATIONS AT MAIN EGRESS LOCATIONS
3. HORN STROBES IN ALL COMMONS AREAS AND LOW FREQUENCY SOUNDERS IN ALL APARTMENTS (70 dB MIN AT PILLOW OF SLEEPING ROOMS).
4. LOCAL SMOKE DETECTORS IN ALL BEDROOMS AND COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS WITHIN 10-FT OF ALL BEDROOM DOORS, INTERCONNECTED WITHIN UNIT.
5. SYSTEM SMOKE DETECTORS IN ALL COMMON AREAS
6. FLOW AND TAMPER SWITCHES FOR SPRINKLER SYSTEM. TAMPER SWITCH SHALL BE TROUBLE ONLY ON THE FIRE ALARM PANEL AND SIGNAL SENT VIA RADIO SIGNAL (WILL NOT TRIP MASTER BOX)
7. ELECTRIC BELL LOCATED ON OUTSIDE OF THE BUILDING NEAR FIRE ALARM CONTROL PANEL AND FIRE DEPARTMENT CONNECTION
8. KNOX BOX AT MAIN ENTRANCE
9. CARBON MONOXIDE DETECTOR SHALL BE LOCATED IN ALL AREAS THAT CONTAIN FOSSIL FUEL AND ADJACENT AREAS AND CONNECTED TO THE FIRE ALARM SYSTEM. TROUBLE ONLY ON FIRE ALARM PANEL AND SIGNAL SENT VIA RADIO SIGNAL (WILL NOT TRIP MASTER BOX).

### SYSTEM OPERATION

THE ACTIVATION OF ANY MANUAL FIRE ALARM STATION OR THE AUTOMATIC ACTUATION OF ANY SYSTEM SMOKE DETECTOR, SPRINKLER SYSTEM WATER FLOW SWITCH OR ANY OTHER APPROVED ALARM INITIATION DEVICE SHALL IMMEDIATELY RESULT IN THE FOLLOWING:

1. THE DEVICE IN ALARM SHALL BE LISTED ON A DISPLAY AT THE FIRE ALARM PANEL AND REMOTE ANNUNCIATOR
2. THE AUDIBLE HORNS SHALL SOUND A TEMPORAL PATTERN AT ALL LOCATIONS
3. ALL VISUAL ALARM SIGNALS SHALL FLASH AT A RATE OF 120 FLASHES PER MINUTE.
4. IF ALARM SIGNALS ARE SILENCED FOR ANY REASON, THEY SHALL AUTOMATICALLY RESOUND IF ANOTHER ADDRESS IS TRIPPED
5. OUTDOOR BEACON LIGHTS WILL ILLUMINATE
6. IN THE EVENT OF A COMMERCIAL POWER INTERRUPTION, THE SYSTEM SHALL AUTOMATICALLY TRANSFER TO AN EMERGENCY BATTERY SOURCE.

THESE DRAWINGS ARE FOR DIAGRAMMATICAL USE ONLY. FIRE ALARM CONTRACTOR TO SUBMIT TIER II SHOP DRAWINGS, BATTERY CALCULATIONS AND PRODUCT CUTS TO BE REVIEWED BY KRONOS COLLABORATIVE AND REVIEWED AND APPROVED BY THE BOSTON FIRE DEPARTMENT AND BUILDING DEPARTMENT. FIRE ALARM CONTRACTOR IS RESPONSIBLE FOR PAYMENT THE FEE FOR TIER 2 REVIEW.



### TYPICAL MOUNTING HEIGHT DETAIL FOR WALL MOUNTED DEVICES

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
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