


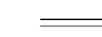
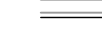

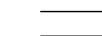

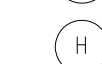
Scope of Work

PROJECT: 9 WOODLAND ROAD JAMAICA PLAIN
PROJECT TYPE: KITCHEN/ INTERIOR REMODEL
SQ. FOOTAGE: NO ADDITIONAL SQ. FOOTAGE
ZONING: 1F-90000
Energy Conservation Requirements per Massachusetts Stretch Energy Code
All building envelope walls to be insulated with open cell icynene spray foam
Total renovation of existing house including removal of ceiling in kitchen, living and dining rooms.
New cathedral ceiling and roof framing as shown on structural drawings by TLH Consulting

Project Index

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A2.0	FLOORPLAN
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A4.1	EXTERIOR ELEVATIONS
S1.0	STRUCTURAL DRAWINGS
S1.1	STRUCTURAL DRAWINGS
S1.2	STRUCTURAL DRAWINGS

LEGEND

-  NEW PARTITION/WALL
-  NEW WOOD FLOOR TO MEET HEIGHT OF EXSTG. FLOOR
-  NEW TILE FLOOR
-  EXISTING PARTITION/WALL TO REMAIN
-  EXISTING WALL/ITEM TO REMOVE
-  Smoke and Carbon Monoxide Detector
-  Heat Detector

9 Woodland Road

Jamaica Plain, MA

TITLE Title Sheet

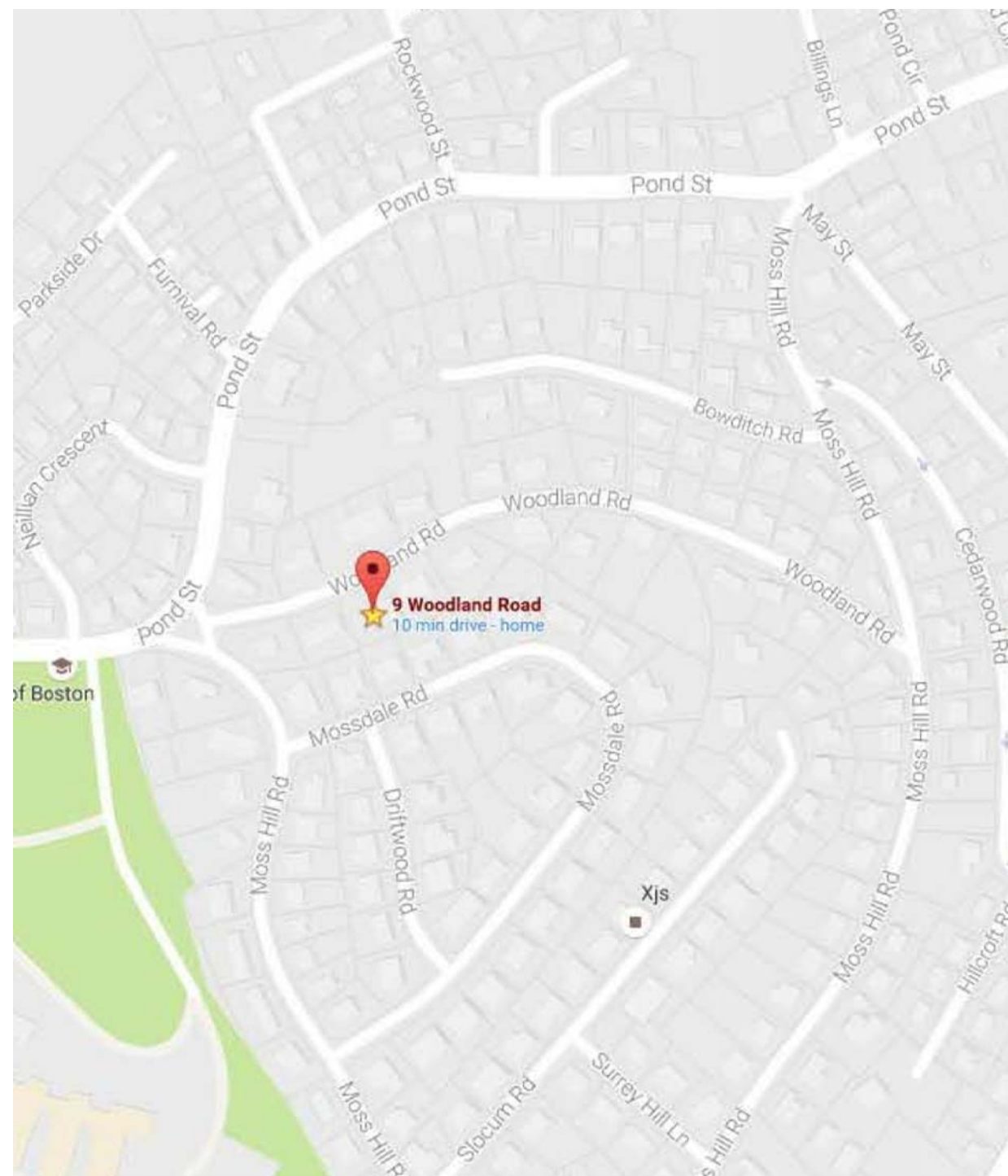
DATE October 2016

PERMIT SET

NO. A0.0

GENERAL NOTES

1. Contractor shall be responsible for securing and paying for building permits, and any other permits, governmental fees, licenses, inspections necessary for the proper execution and completion of the project.
2. The contractor shall be responsible for ensuring that the site, and all new construction and demolition shall meet all required local codes including but not limited to, safety, energy, and building codes.
3. Electrical, plumbing and mechanical contractors shall be responsible for submitting plans to the department of building and safety for approval and issuance of permit, prior to the start of any work.
4. The contractor shall obtain necessary permits from the Massachusetts Division of Industrial Safety prior to issuance of a building or grading permit, when trenches or excavation of 5 feet or more in depth into which a person is required to descend are necessitated for construction or demolition of any building or structure.
5. All insulation materials shall be certified by the manufacturer as complying with local energy regulation requirements.
6. Verify job site conditions, dimensions, and details prior to proceeding with the work.
7. Prior to bidding, examine the building site, compare the drawings with existing conditions and understand their intent. By the act of submitting a bid, the contractor shall be deemed to have made such examinations and to have accepted such conditions and to have made allowance therefore in preparing his figure.
8. If it is found during construction that conditions vary from the drawings, notify 30E design before proceeding with the work.
9. Substitutions shall not be made on any equipment, materials, colors and other items specified except when approved in advance by 30E design. Two weeks notice is required for all substitution approvals.
10. All tile to be installed over Schluter board according to ANSI A137.1 and manufacturer's recommendations.
11. All new framing to utilize advanced framing techniques. Any structural members required to be reviewed by structural engineer and 30E design prior to demolition.
12. PEX plumbing to be utilized for all new plumbing.
13. Drain and drainpan to be installed for re-located washing machine.
14. Clothes dryer to be vented with rigid metal or flexible metal ductwork. Plastic and metal foil ductwork is not acceptable.
15. All new exterior construction to be insulated with closed cell spray foam.
16. Do not scale these drawings. If there are conflicting dimensions, information, or should additional information be needed notify 30E design in writing before proceeding with work.
17. These drawings should be used as a reference for design intent and scope of work. Should conditions of work or schedule indicate change of materials or methods submit written recommendation to 30E design.



1 VICINITY MAP
NTS

EXISTING LEGEND

SS	SEWER LINE
⊙	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
U	UTILITY POLE
X	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
W	WATER VALVE
□	CATCH BASIN
○	FENCE
-205-	CONTOUR LINE (MJR)
-195-	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊕	TREE

ZONING LEGEND

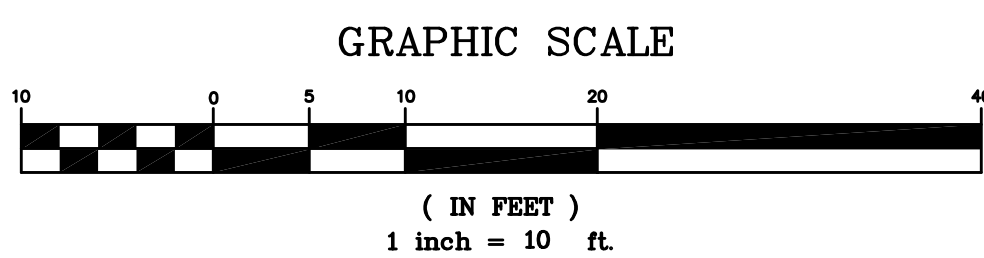
ZONING DISTRICT: 1F-9000			
	REQUIRED	EXISTING	COMPLIANCE
MIN. AREA	9,000 S.F.	9,700± S.F.	YES
MIN. YARD FRONT	25'	30.3'	YES
	12'	9.6'	EXISTING NON-CONFORMING
	40'	28.2'	EXISTING NON-CONFORMING
MIN. LOT FRONTAGE	70'	90'	YES
MIN. LOT WIDTH	70'	90'	YES
MIN. OPEN SPACE PER DWELLING UNIT	2,000 S.F.	6593.5 S.F. ±	YES
MAX. BLDG. HEIGHT	35'	35.0'±	YES
MAX. STORIES	2.5	1	YES
REAR YARD OCCUP.	25%	0%	YES
MAX. F.A.R.	0.3	-	-

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 8/16/2016.
2. DEED REFERENCE: BOOK 56326 PAGE 210, SUFFOLK COUNTY REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0067G, PANEL NUMBER 0067G, COMMUNITY NUMBER: 25025, DATED SEPTEMBER 25, 2009.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR LEVELS SHOWN ARE TAKEN AT THRESHOLD



WOODLAND ROAD
(PUBLIC WAY - VARIABLE WIDTH)

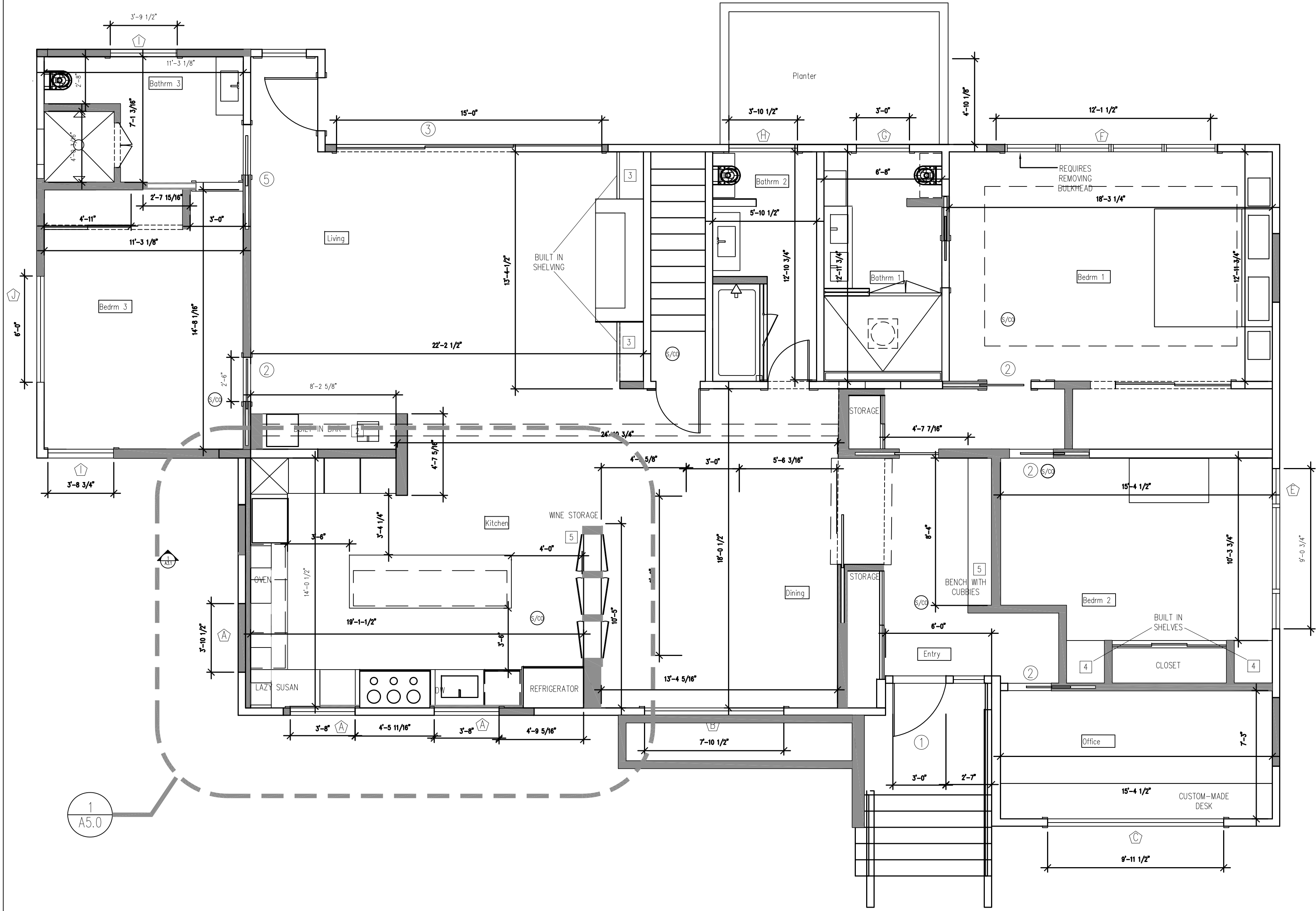


SCALE	1"=10'
DATE	8/18/2016
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	9 WOODLAND ROAD JAMAICA PLAIN MASSACHUSETTS
DRAWN BY	PLOT PLAN OF LAND
CHKD BY	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
APPD BY	697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com
REVISION	BY
SHEET NO.	1

GENERAL NOTES

1. Entire building envelope will be insulated with open cell spray foam. to achieve R38 on roof and R15 on all exterior walls.
2. All new paint throughout.
3. All new hardwired smoke and carbon monoxide detectors installed on all floor including garage.

NOTES



LEGEND

- NEW PARTITION/WALL
- NEW WOOD FLOOR TO MEET HEIGHT OF EXSTG. FLOOR
- NEW TILE FLOOR
- EXISTING PARTITION/WALL TO REMAIN
- EXISTING WALL/ITEM TO REMOVE
- Smoke and Carbon Monoxide Detector
- Heat Detector

9 Woodland Road

Jamaica Plain, MA

TITLE FLOORPLANS

DATE November 2016

Permit Package

1 First Floor Plan
1/4"=1'-0"

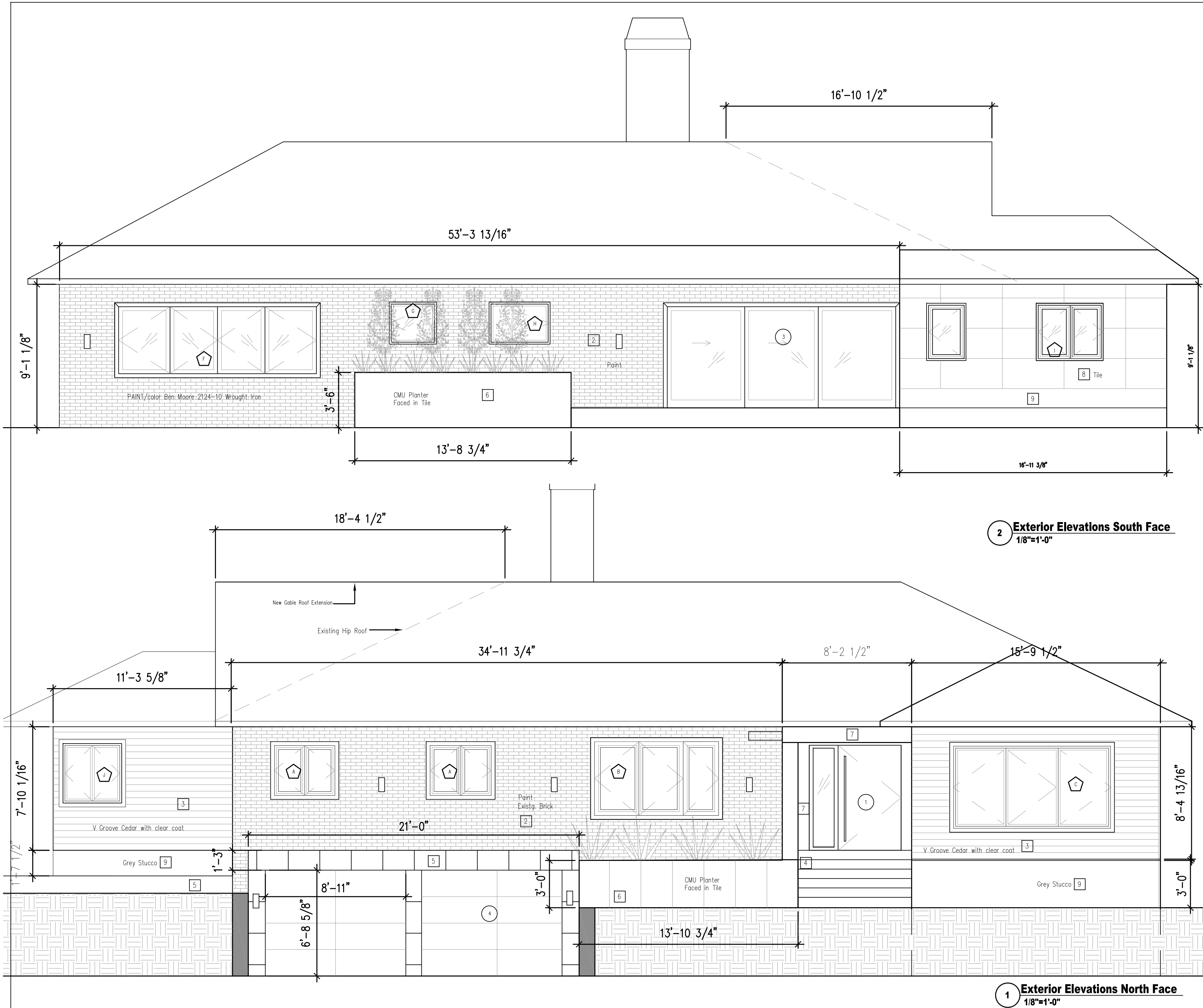
NO. A2.1

GENERAL NOTES

NOTES

- 1 FOR ALL DOOR AND WINDOW INFORMATION SEE SCHEDULES A8.0
- 2 RE-POINT EXISTG. BRICK AS NECESSARY AND PAINT
- 3 V. GROOVE CEDAR WITH CLEAR COAT
- 4 REPAIR EXISTING STAIRS AS NECESSARY AND CLAD IN NEW PORCELANOSA TILE IN AVENUE GREY TEXTURE 24 X 24
- 5 PATCH AND REPAIR EXISTG. CONCRETE AND CLAD IN PORCELANOSA Urbatek Max TILE IN Grey NATURE 12 X 24 WITH 1/8" GROUT.
- 6 NEW PLANTER CLAD IN TAU CERAMICA TILE IN CORTEN A
- 7 NEW ENTRY WALL CLAD IN TAU CERAMICA TILE CORTEN A
- 8 TAU CERAMICA TILE CORTEN A
- 9 NEW STUCCO OVER EXISTG CONC. PAINT WITH ELASTOMERIC PAINT

LEGEND



9 Woodland Road
Jamaica Plain, MA

TITLE Permit

DATE November 2016

Design Development

NO. **A4.0**

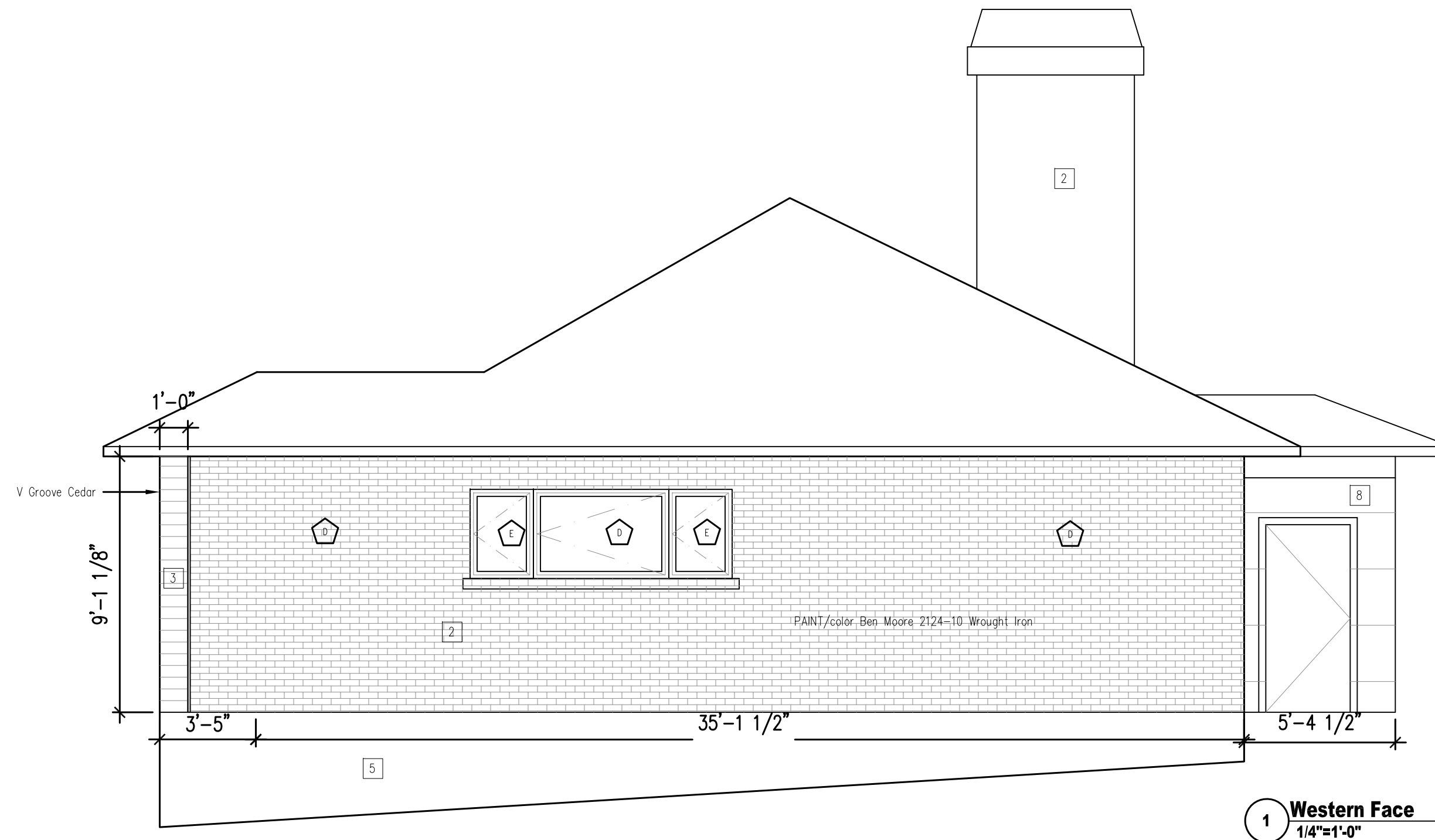
GENERAL NOTES

1. Any new exterior walls will be insulated with open cell spray foam insulation.
2. All new paint throughout.

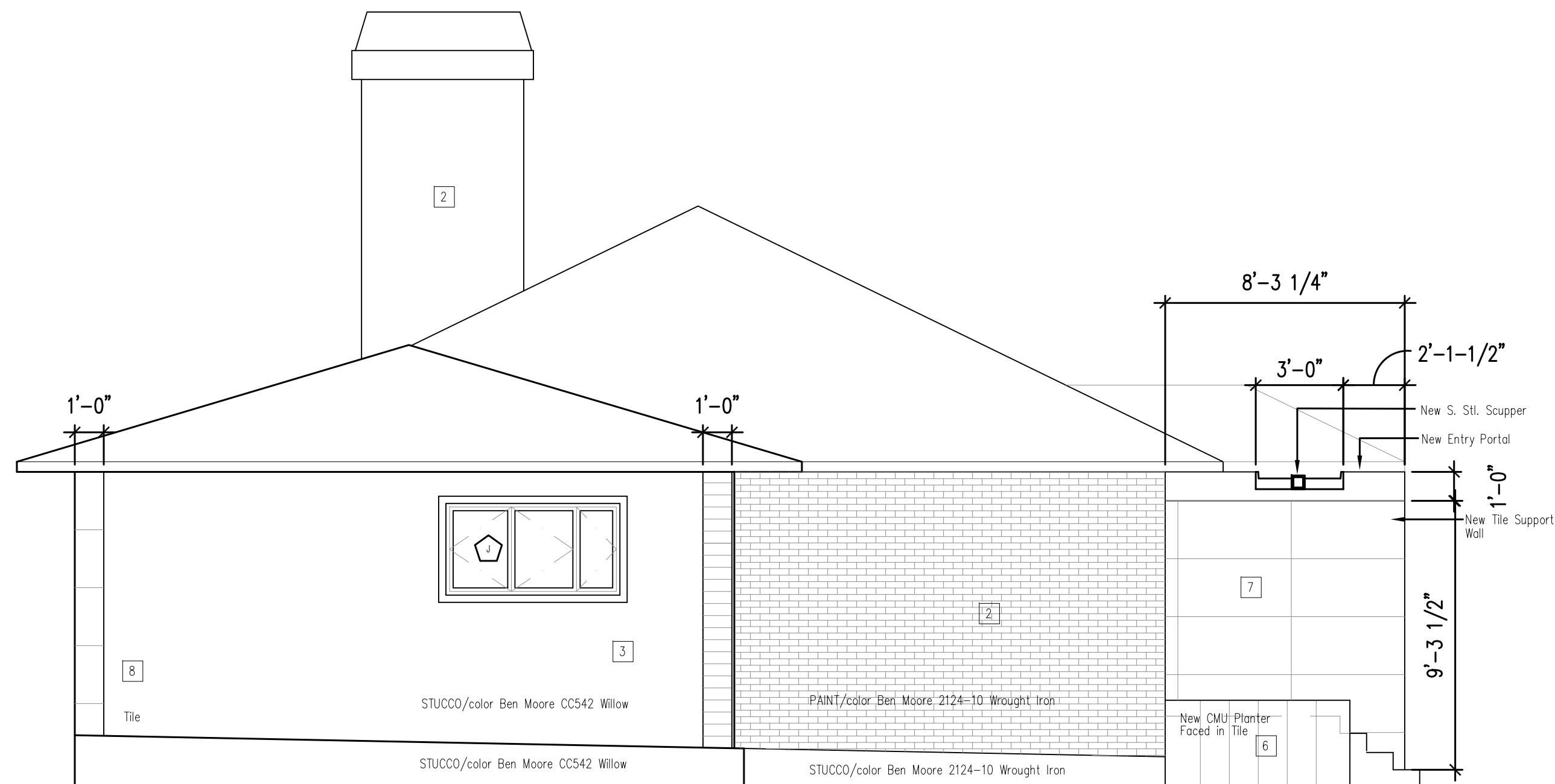
NOTES

- 1 FOR ALL DOOR AND WINDOW INFORMATION SEE SCHEDULES A&O
- 2 RE-POINT EXISTG. BRICK AS NECESSARY AND PAINT
- 3 V GROOVE CEDAR
- 4 REPAIR EXISTING STAIRS AS NECESSARY AND CLAD IN NEW PORCELANOSA TILE IN AVENUE GREY TEXTURE 24 X 24
- 5 PATCH AND REPAIR EXISTG. CONCRETE AND CLAD IN PORCELANOSA TILE IN CONCRETE BLACK NATURE 12 X 24 WITH $\frac{1}{8}$ " GROUT.
- 6 NEW PLANTER CLAD IN TAU CERAMICA TILE IN CORTEN A
- 7 NEW ENTRY WALL CLAD IN TAU CERAMICA TILE CORTEN A
- 8 TAU CERAMICA TILE CORTEN A
- 9 NEW STUCCO OVER EXISTG CONC. PAINT WITH ELASTOMERIC PAINT

LEGEND



1 Western Face
 1/4"=1'-0"



1 Eastern Face
 1/4"=1'-0"

9 Woodland Road

Jamaica Plain, MA

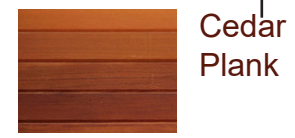
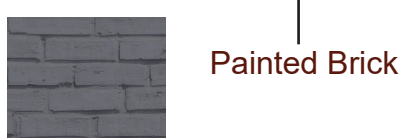
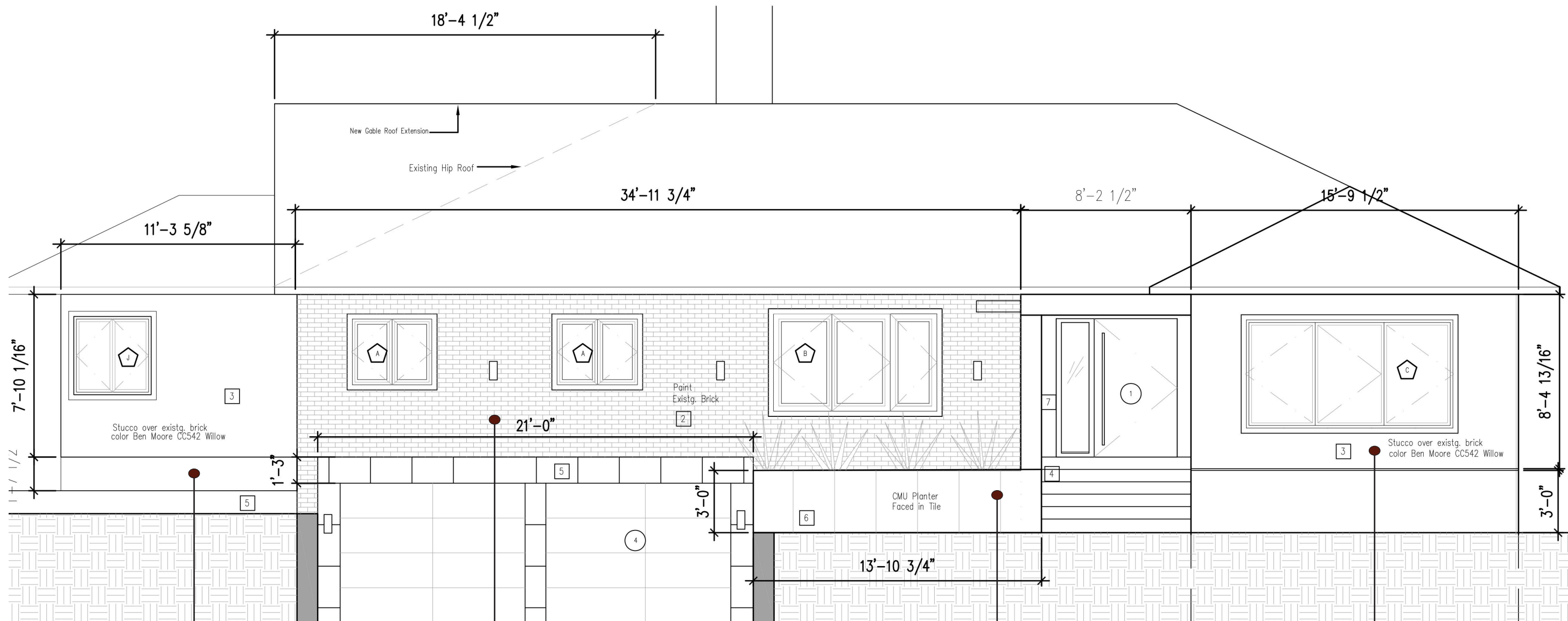
TITLE Exterior Elevations Proposed

DATE November 2016

Permit



Existing Exterior North Elevation
Page 1



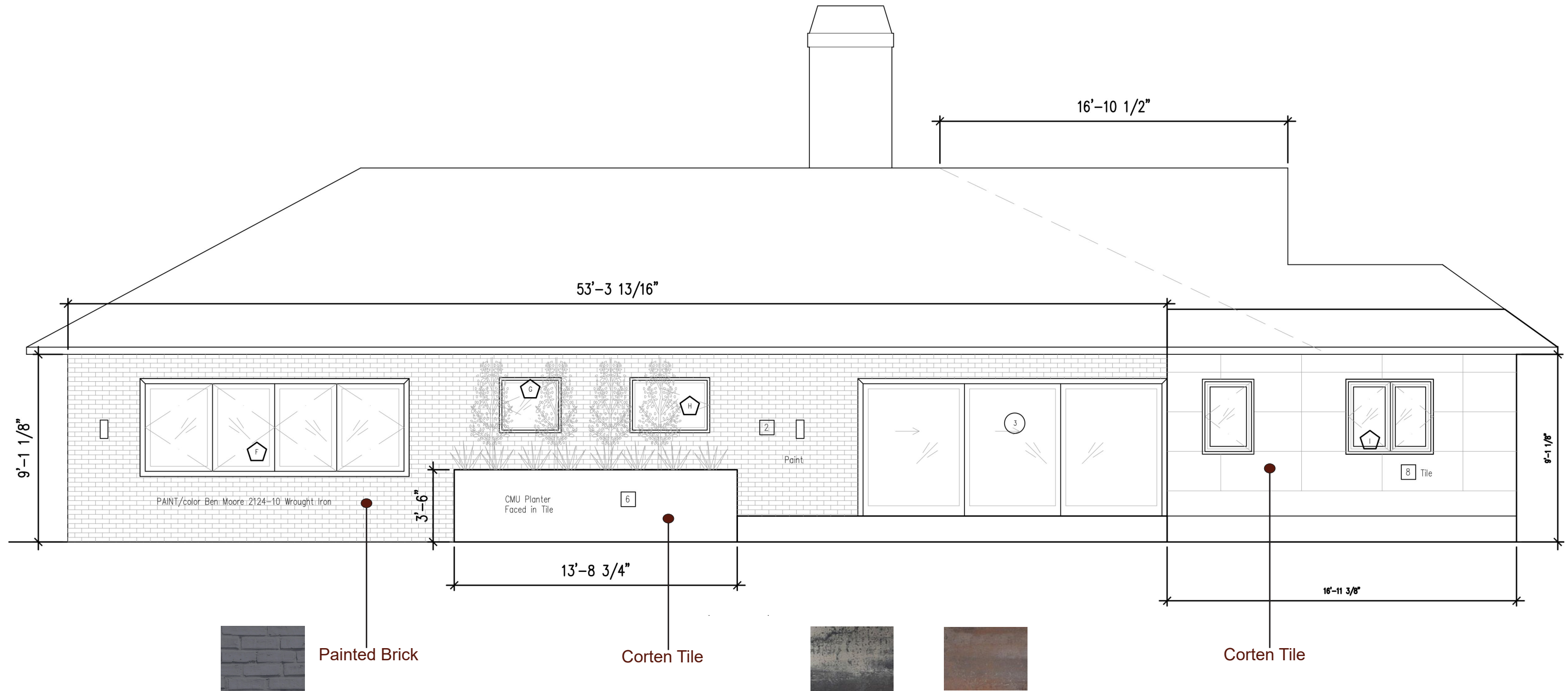


Garage Door



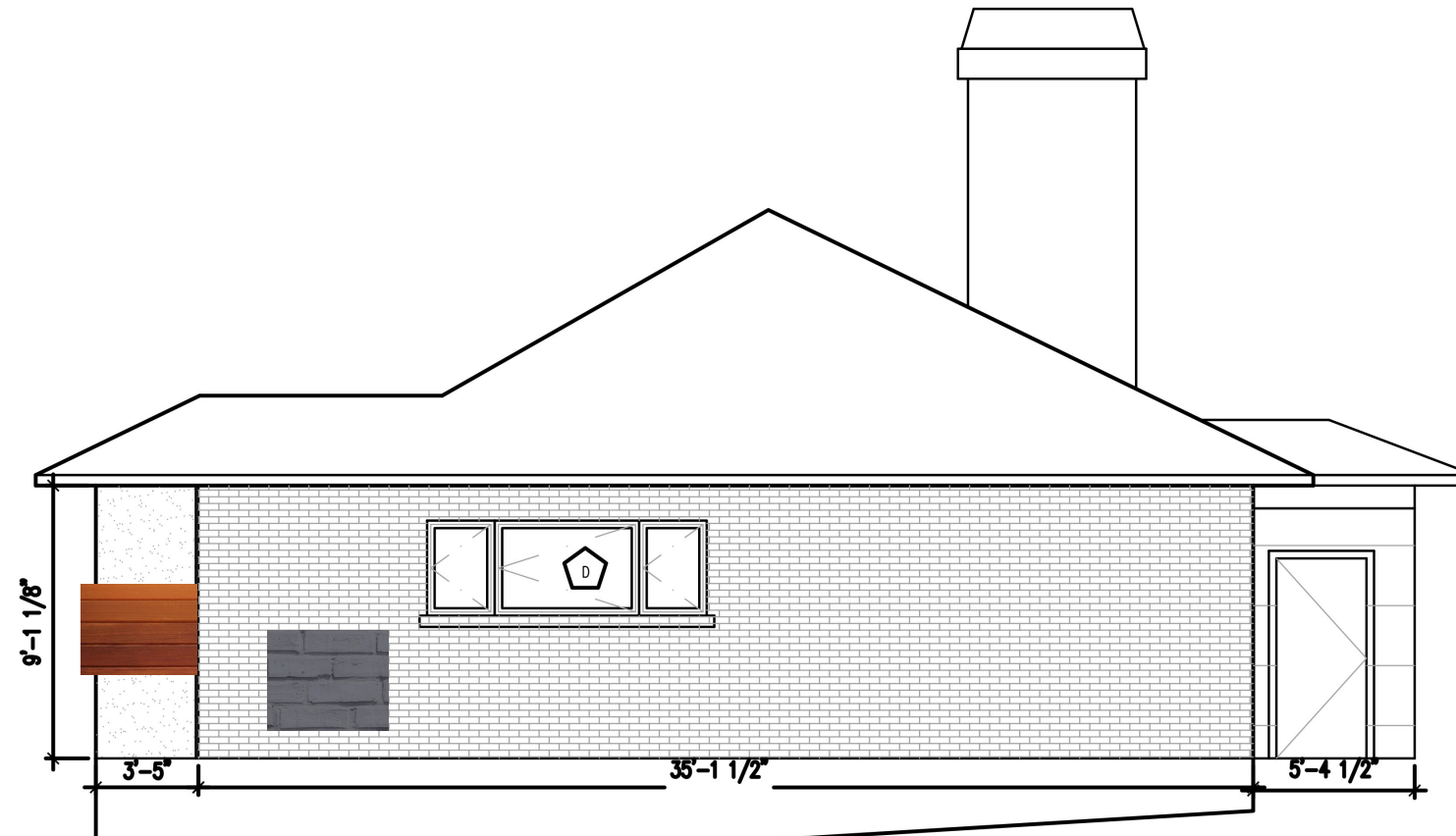


Existing Exterior South Elevation
Page 5





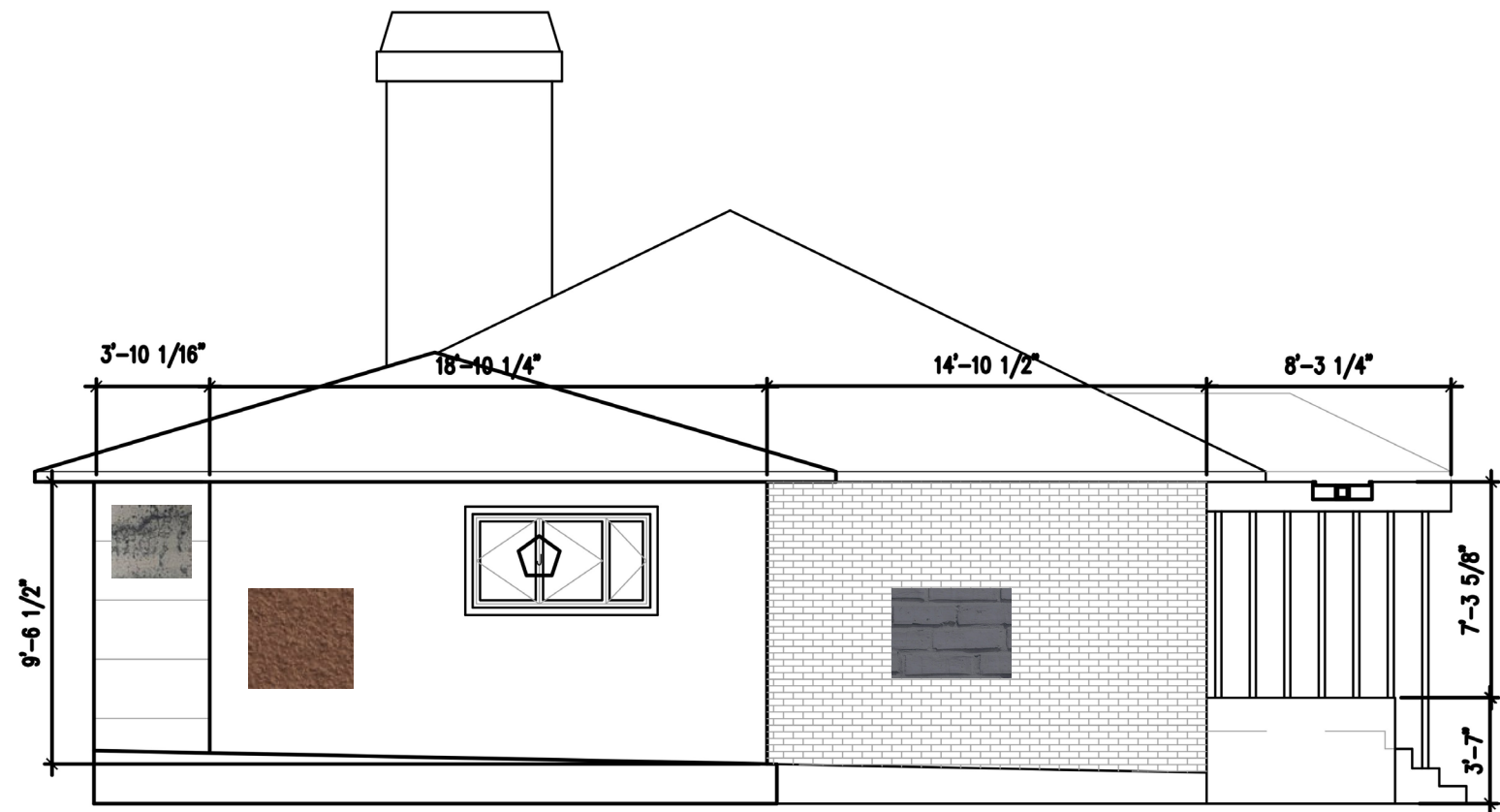
Proposed Exterior South Elevation
Page 7



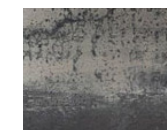
Proposed East Elevation



Corten Tile



Proposed West Elevation



Corten Tile