



Martin J. Walsh
Mayor

Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Sean Lydon
Inspector of Buildings

MORE INFORMATION REQUEST LETTER

September 18, 2018

THOMAS MC DONAGH
77 OAK ST
NEWETON, MA 02464

RE: Application #: **ERT841896**
Location: 130 Mount Vernon ST, Ward 20
Zoning District: West Roxbury Neighborhood, IF-8000
Purpose: Subdivide lot into two (A & B) . Lot A to consist of 14305 sf and construct a new single family home.
Lot B TO CONSIST OF 15, 781 sf , please see ERT841883.

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. City Agencies' Approvals:

- Boston Planning and Development Agency: Two Sets of Approved Drawings: NDOD APPLICABILITY
- Boston Water & Sewer Department: Two Sets of Approved Drawings
- Department of Public Works
- Environmental Sanitation Department

2. Additional Information/Comments:

STRETCHCODE CODE COMPLIANCE CERTIFICATE IS REQUIRED.

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Marc A Joseph, Plans Examiner
marc.joseph@boston.gov / (617) 961-3233

GENERAL CONSTRUCTION SPECIFICATIONS:

Interior Walls: 2x4 wood frame construction @ 16" o.c. with 3 1/2" sound reduction fiberglass batt insulation between studs for all walls between bedrooms (TBD). Finish both sides with 1/2" blueboard w/ skimcoat of plaster (BBSP).

Exterior Walls: 2x6 wood frame construction @ 16" o.c. (unless otherwise noted). Owens Corning or equal 5 1/2" R-21 unfaced fiberglass batt insulation between studs. Verify min. required wall R-values per HERS rating. Finish interior face with BBSP over polyethylene vapor barrier applied over all exterior walls. Exterior stud face to have 7/16" Advantech Zip System or 1/2" CDX plywood sheathing. Cement board or cedar siding shall be installed over fully taped Advantech Zip-System sheathing or Tyvek Housewrap.

Floors: Framing sizes as noted on framing plans with kraftfaced fiberglass insulation (if applicable) in R values per HERS rating. Subfloor shall be min. 3/4" T&G Advantech / Equal glued & nailed 6" o.c. to joists.

Roof & Ceilings: Framing sizes as noted on framing plans with R values per HERS rating. Provide full coverage all rafter bays with spray foam insulation, no roof venting required. Exterior face of rafters shall have 1/2" CDX fir plywood or 1/2" Advantech roof sheathing with Certainteed (or equal) 30 year roof shingles installed over 15# felt paper or shingle manufacturer's required underlayment. Provide ice & water shield at all valleys and eaves and along wall transitions and projections.

Moisture from plaster job, painting, or any other source during construction must be fully mitigated by general contractor during construction to avoid potential mold problems. Architect is not responsible for any moisture complications attributable to any job site climate conditions or any performed work. Use of alternative insulation products or systems other than specified herein shall further indemnify architect of any liability attributable to building envelop performance. Architect is further exempt from liability associated with any HVAC systems installed.

All structural assemblies, building components, materials, workmanship, energy conservation, life-safety, and fire protection shall conform fully with 780 CMR 9th Edition of the Massachusetts State Building Code Volume for One and Two Family Dwellings. Stretch Energy Code shall utilize the 2015 IECC base code with all Mass amendments. All duct testing and associated Stretch Code testing requirements and procedures shall be the responsibility of the Builder. See project specific HERS Rating for insulation values, all of which shall supercede any insulation values stated herein these construction documents.

SEE DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATIONS. OWNER SHALL REVIEW WITH BUILDER MODIFICATIONS TO ANY SPECIFICATIONS INDICATED WITHIN THESE CONSTRUCTION DOCUMENTS.

POSITIVE AND NEGATIVE PRESSURE REQUIREMENTS:

ZONE #4 WINDOWS:	+13.9	-15.1	(psf)
ZONE #4 DOORS:	+13.9	-15.1	(psf)
ZONE #4 SIDING:	+12.4	-13.6	(psf)
ZONE #3 ROOFING:	+12.1	-14.8	(psf)

Wind Speed: 100 mph
 Wind Exposure Category: B (All Sides of Building)
 1st Floor Live Load: 40 #s / sq ft
 2nd Floor Live Load: 30 #s / sq ft
 Attic Floor Live Load: 20 #s / sq ft
 All roof structures designed to meet or exceed 40# ground snow load BOSTON, MA
 Sandy Gravel 3,000 PSI
 All Concrete Min. 3,000 PSI

(SD) - PHOTO-ELECTRIC SMOKE DETECTOR (ALL SIDS THROUGHOUT HOUSE PROVIDED AS PE)

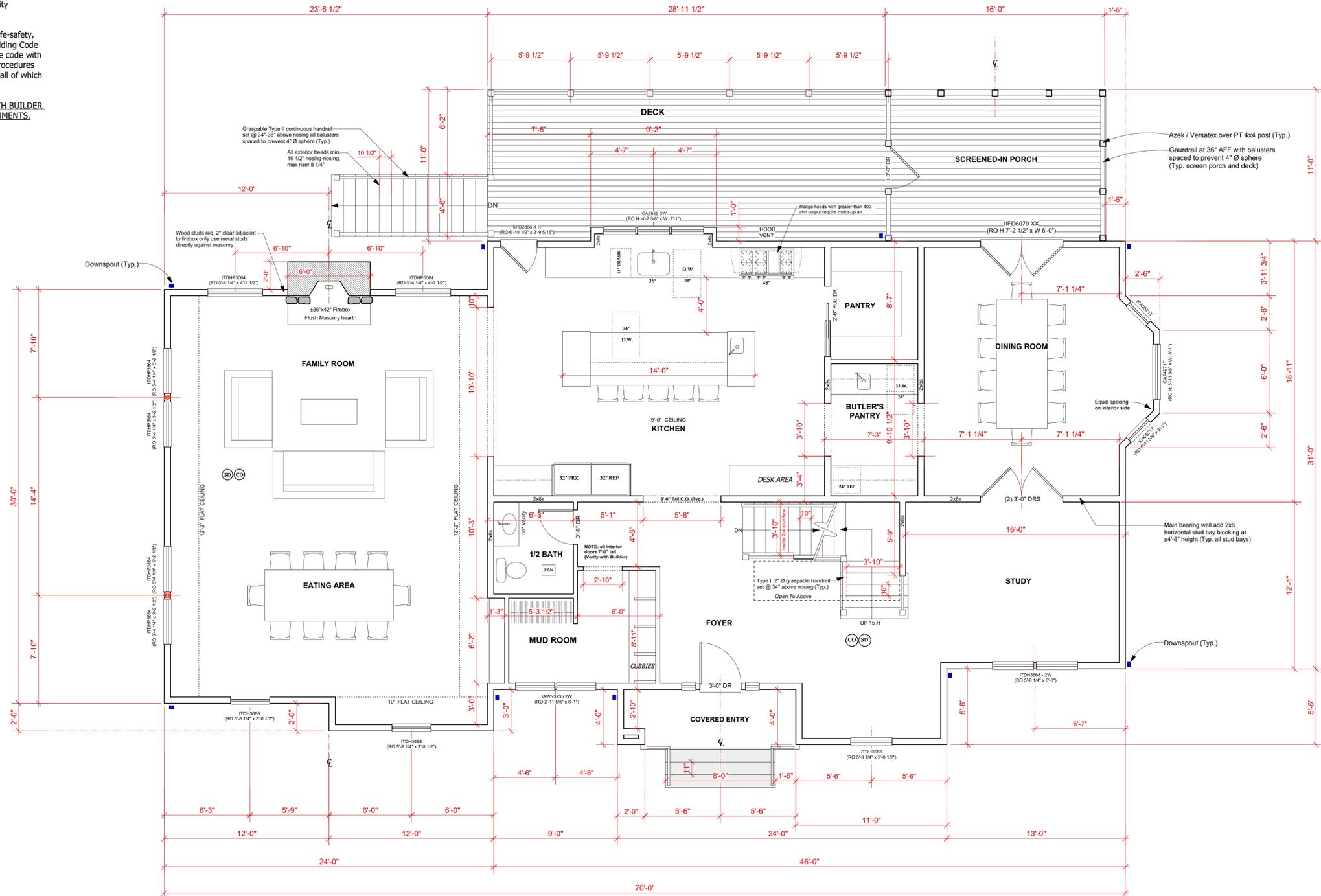
(HD) - HEAT DETECTOR HD shall be interconnected with SD (household fire alarm system) inside the main dwelling
 Location: 1 detector centered on garage ceiling

(CO) - CARBON MONOXIDE DETECTOR
 Located 10' max. from all bedrooms and (1) on first floor

— ALL DIMENSIONS TO STUD FACE

— 2x4 WALLS @ 3 1/2" WIDTH (TYPICAL INTERIOR WALLS)

— 2x6 WALLS @ 5 1/2" WIDTH (TYPICAL EXTERIOR WALLS)



FIRST FLOOR PLAN

DO NOT SCALE DRAWINGS. CONSULT ARCHITECT OF ANY DIMENSIONAL CONFLICTS OR REQUIRED DIMENSIONS NOT INDICATED ON THE DRAWINGS.

R D K ARCHITECTS

825 BEACON STREET #10
 NEWTON CENTRE, MA 02459
 PHONE: 617-571-0645
 rdka@rdkarchitects.com
 www.rdkarchitects.com

PROJECT:
NEW HOUSE
130 MOUNT VERNON ST
WEST ROXBURY, MA

BUILDER:
Steve Maimone
 Cell: 978-815-1486

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DATE:
APRIL 23, 2018
 Building Permit Set

REVISIONS:
AUGUST 31, 2018

BUILDER / GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL SUB-CONTRACTORS ARE WORKING FROM MOST CURRENT ISSUE DATE OF PLANS.

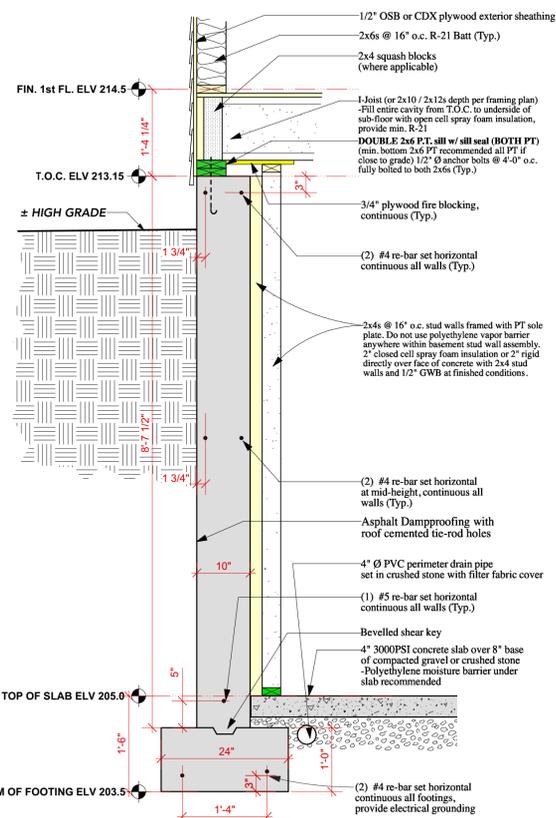


SCALE:
1/4" = 1'-0"

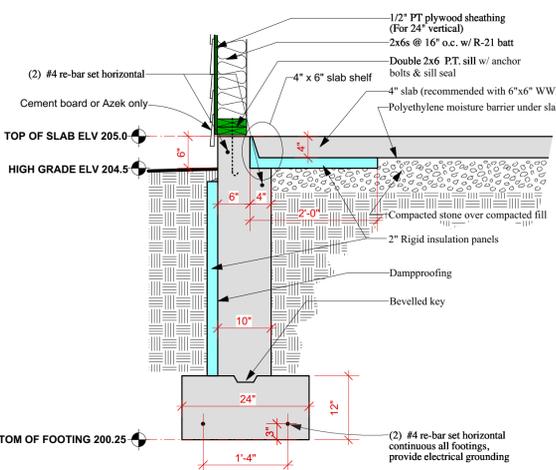
SHEET TITLE:
FIRST FLOOR PLAN

SHEET NUMBER:
A-1

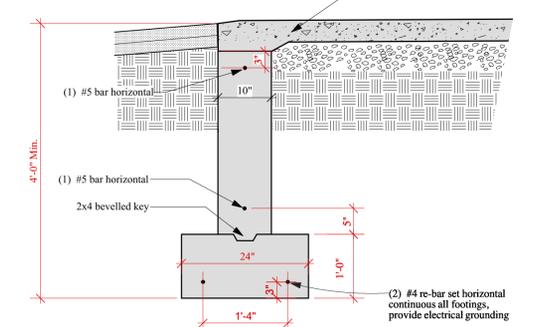
SET TOTAL: A-1 — A-11



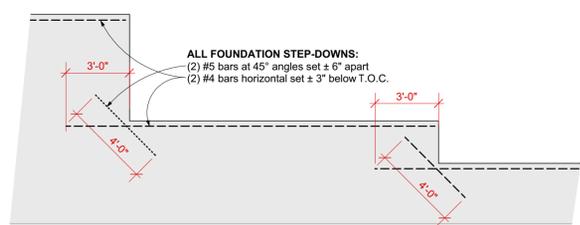
TYPICAL FOUNDATION WALL DETAIL (A)
 Scale: 3/4" = 1'-0"
 RADON MITIGATION SYSTEM NOT SHOWN (SYSTEM DESIGN BY OTHERS PER SITE SPECIFIC REQUIREMENTS)



FROST WALL FOUNDATION DETAIL (B)
 Scale: 3/4" = 1'-0"



GARAGE DOOR FROST WALL DETAIL (C)
 Scale: 3/4" = 1'-0"



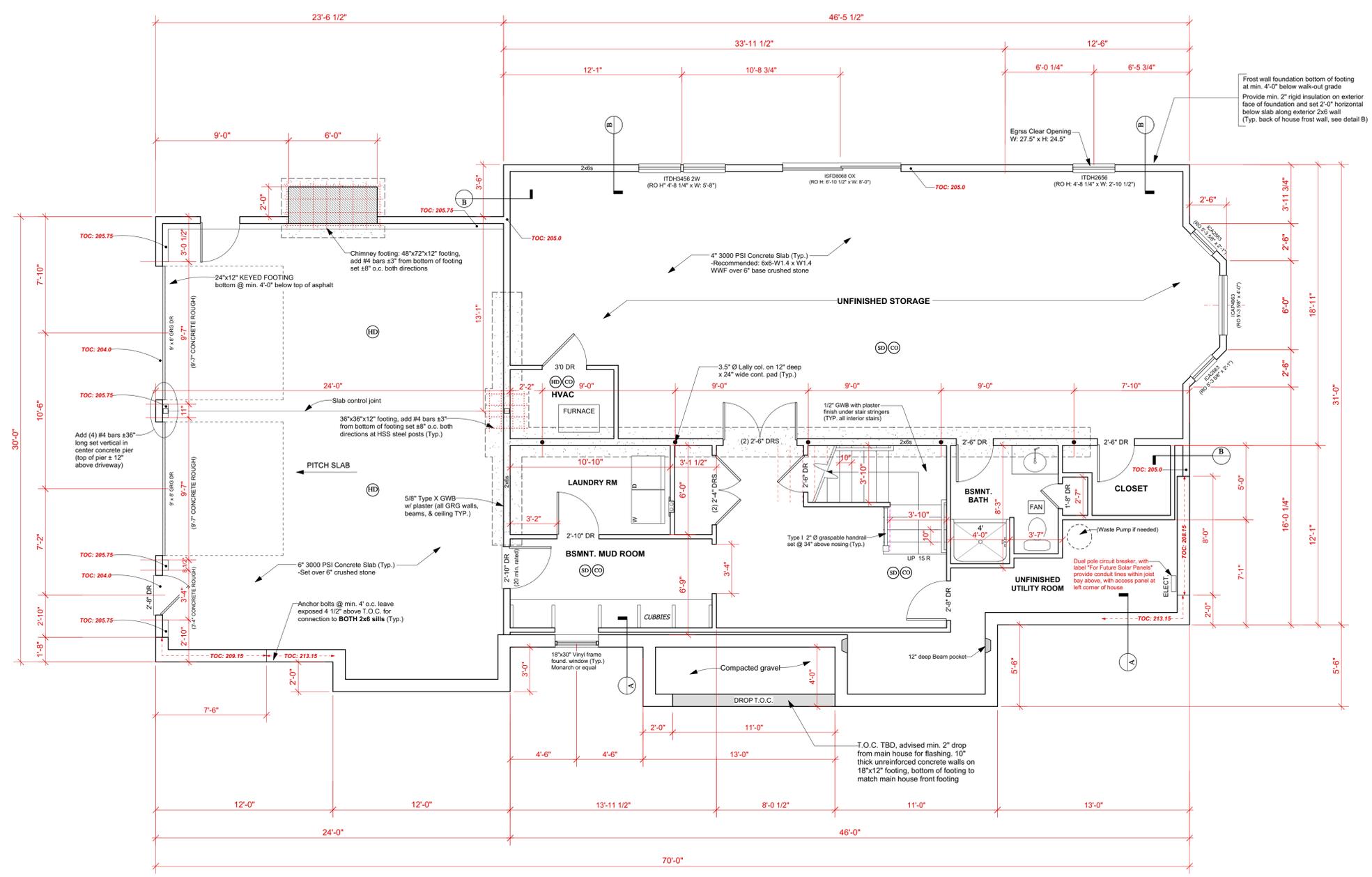
CONCRETE SPECIFICATIONS:
 CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI) ACI, (LATEST EDITION), SPECIFICATIONS FOR STRUCTURAL CONCRETE, EXCEPT AS MODIFIED BELOW:
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 REINFORCING STEEL SHALL CONFORM TO ASTM, GRADE 615, GRADE 60.
 CLEARANCE OF REINFORCING STEEL FROM ADJACENT SURFACES SHALL BE 3" WHEN CASTING AGAINST GROUND AND 2" ELSEWHERE.
 CONCRETE SHALL BE POURED CONTINUOUSLY WITH NO "COLD JOINTS" AND ADEQUATELY VIBRATED TO PREVENT AIR POCKETS AND HONEYCOMB EFFECTS.

FOUNDATION NOTES:
 - All foundation walls shall be 10" thick, with 12" x 20" continuous keyed footings at min. 4'-0" below grade.
 - All foundation walls shall have 2x6 pressure treated sills with sillseal at all wood/concrete joints. Provide 1/2" J- anchor bolts embedded a minimum of 8", set @ 6'-0" o.c. with a minimum of 2 per sill and a maximum of 1'-0" o.c. at corners. All anchor bolts must connect both 2x6 sills to the foundation.
 - At joints between pours, provide minimum: #5 bars 16" long set @ 18" o.c.
 - Poured slabs shall be 4" 3000 psi concrete on crushed stone.
 - Foundation concrete shall attain a minimum compressive strength after 28 days of 3000 psi.
 - All foundation walls shall receive min. 1 coat of asphalt dampproofing over roof cement parge tie-rod holes.
 - Install continuous 4" Ø PVC footing drain pipe with internal or external drainage system. System engineering and components to be fully coordinated by Contractor or others based on lot specific drainage requirements. RDK Architects is not responsible for the performance of any drainage systems or water intrusion into the basement.

- 2x4 or 2x6 STUD WALLS
- 10" FOUNDATION WALLS
- 24"x12" KEYED FOOTING (NOT SHOWN ON PLAN SEE DETAILS)
- ALL DIMENSIONS TO FACE OF CONCRETE
- (SD) — SMOKE DETECTOR (ALL PE)
- (CO) — CARBON MONOXIDE DETECTOR
- (HD) — HEAT DETECTOR

FINISHED BASEMENT NOTES:
 - Mechanical system shall meet the criteria within the 2015 International Mechanical Code for inclusion of make-up fresh air exchange for all conditioned basement spaces.

- All finished rooms and spaces with less than 8% glazing area, per floor area served, shall be provided with artificial lighting capable of min. 6 footcandles over the area of the room at a height of 30" AFF.



417 SQ FT (FAR)
BASEMENT FLOOR PLAN

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 130 MOUNT VERNON ST
 WEST ROXBURY, MA

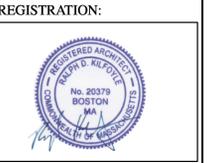
BUILDER:
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SCALE:
1/4" = 1'-0"
 0 1 2 4 8

SHEET TITLE:
BASEMENT & FOUNDATION PLAN

SHEET NUMBER:
A-3

SET TOTAL: A-1 — A-11

MOUNT VERNON STREET

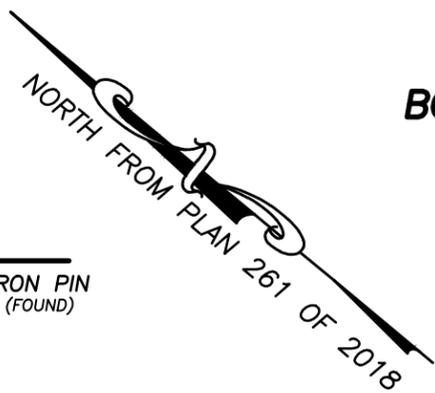
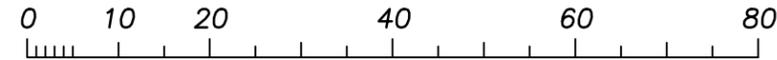
BUILDING PERMIT PLAN
130 MOUNT VERNON STREET
BOSTON (WEST ROXBURY), MASSACHUSETTS

1 INCH = 20 FEET MAY 23, 2018

SNELLING & HAMEL ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS & ENGINEERS
10 LEWIS STREET P.O. BOX 102
LINCOLN, MASSACHUSETTS 01773
(781) 259-0071

OWNER OF RECORD:
DEDHAM DEVELOPMENT LLC
BK.58862 PG.329

1 INCH = 20 FEET



S.BOUND
(FOUND)

240.00'

N 39°38'39" W

120.19'

IRON PIN
(FOUND)

S 50°21'21" W
119.02'

14.3'

16.0'

3.6'

6.0'

3.6'

11.0'

13.0'

4.0'

13.0'

4.0'

9.0'

3.0'

12.0'

2.0'

30.0'

33.2'

8.5'

6.0'

9.0'

2.0'

11.0'

16.0'

11.0'

29.0'

46.5'

13.5'

2.0'

2.0'

42.0'

119.02'

S 50°21'21" W

120.19'

N 39°38'39" W

120.19'

N 39°38'39" W

119.02'

S 50°21'21" W

N/F
EUGENE J. ARTHUR
&
LOIS H. ARTHUR

N/F
FREDERICK A. LYDON
&
JEANNE M. RAYNE

#130
MOUNT VERNON STREET
PROPOSED
DWELLING

PROPOSED
DRIVEWAY

EXISTING DRIVEWAY
(TO BE REMOVED)

PORCH

DECK

LOT A1
14,305± SQ. FT.

NOTE:

- ZONING DISTRICT: 1F-8000

PLAN REFERENCE:

- PLAN NUMBER 261 OF 2018

I HEREBY STATE THAT THE LOCATION OF THE EXISTING DRIVEWAY
REMAINS IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF
APRIL 3, 2018, WITH THE USE OF A TOPCON TOTAL STATION.

John R. Hamel

JOHN R. HAMEL
PROFESSIONAL
LAND SURVEYOR



MAY 23, 2018

DATE:

N/F
PANAGIOTIS KALAFATOPOULOS
&
SOPHIA KALAFATOPOULOS

N/F
OTHER LAND OF OWNER

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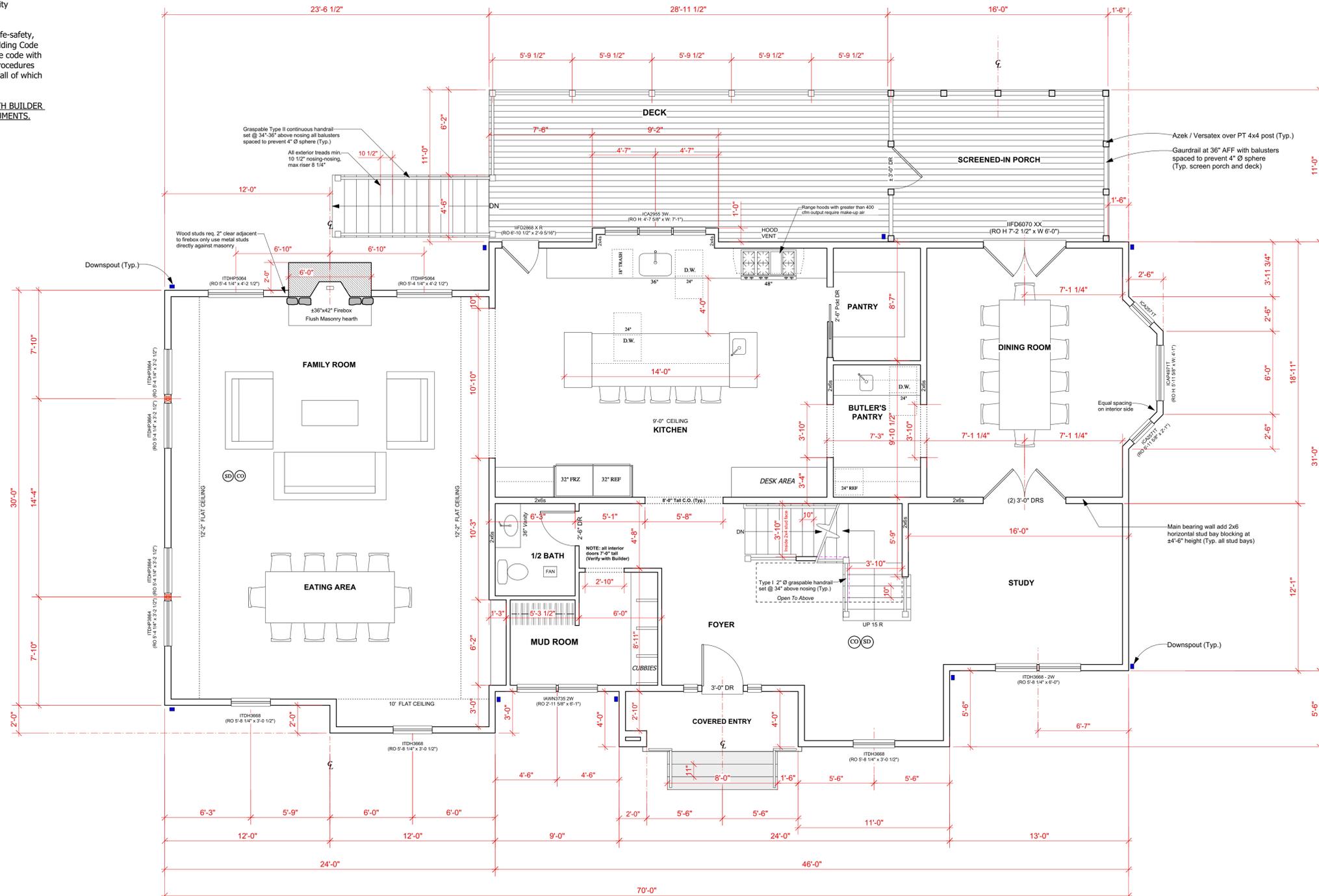
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CITY OF BOSTON FAR CALCULATION FOR WEST ROXBURY

2,307 SQ FT (1st FL)
 1,390 SQ FT (2nd FL)
 660 SQ FT (BSMNT.)
4,357 SQ FT (TOTAL PROPOSED FAR)
4,435.8 FAR MAX SQ FT (.3 x 14,786 FAR Allowable)

No deduction has been made for fireplaces, chimneys, interior or exterior wall thickness. Laundry rooms, unfinished attic storage and unfinished basement areas factored at 0 FAR.



R D K ARCHITECTS

825 BEACON STREET #10
 NEWTON CENTRE, MA 02459
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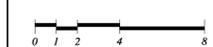
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REGISTRATION:

SCALE:
1/4" = 1'-0"



SHEET TITLE:
FIRST FLOOR PLAN

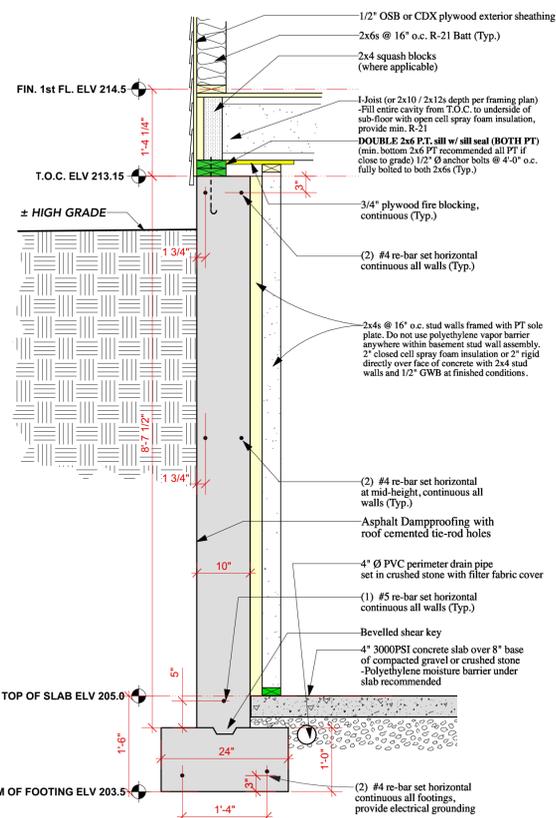
SHEET NUMBER:

A-1

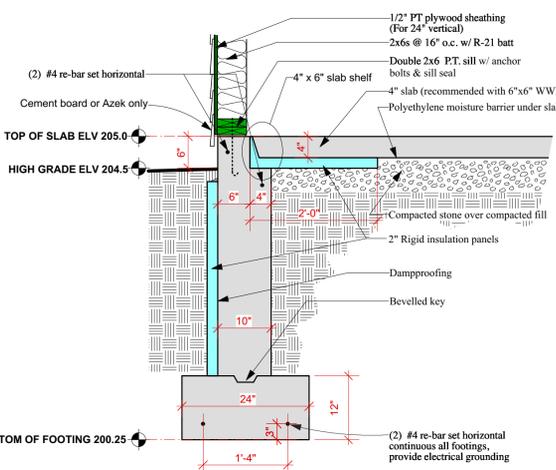
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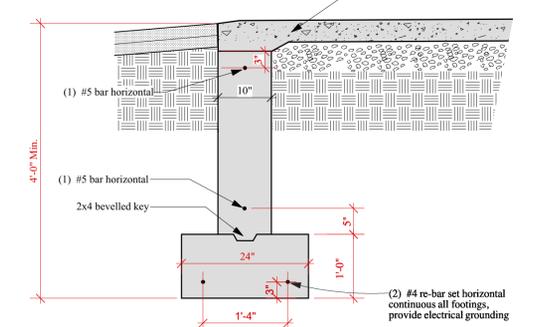
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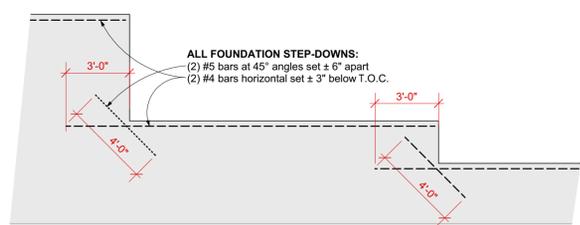
TYPICAL FOUNDATION WALL DETAIL (A)
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 Scale: 3/4" = 1'-0"



GARAGE DOOR FROST WALL DETAIL (C)
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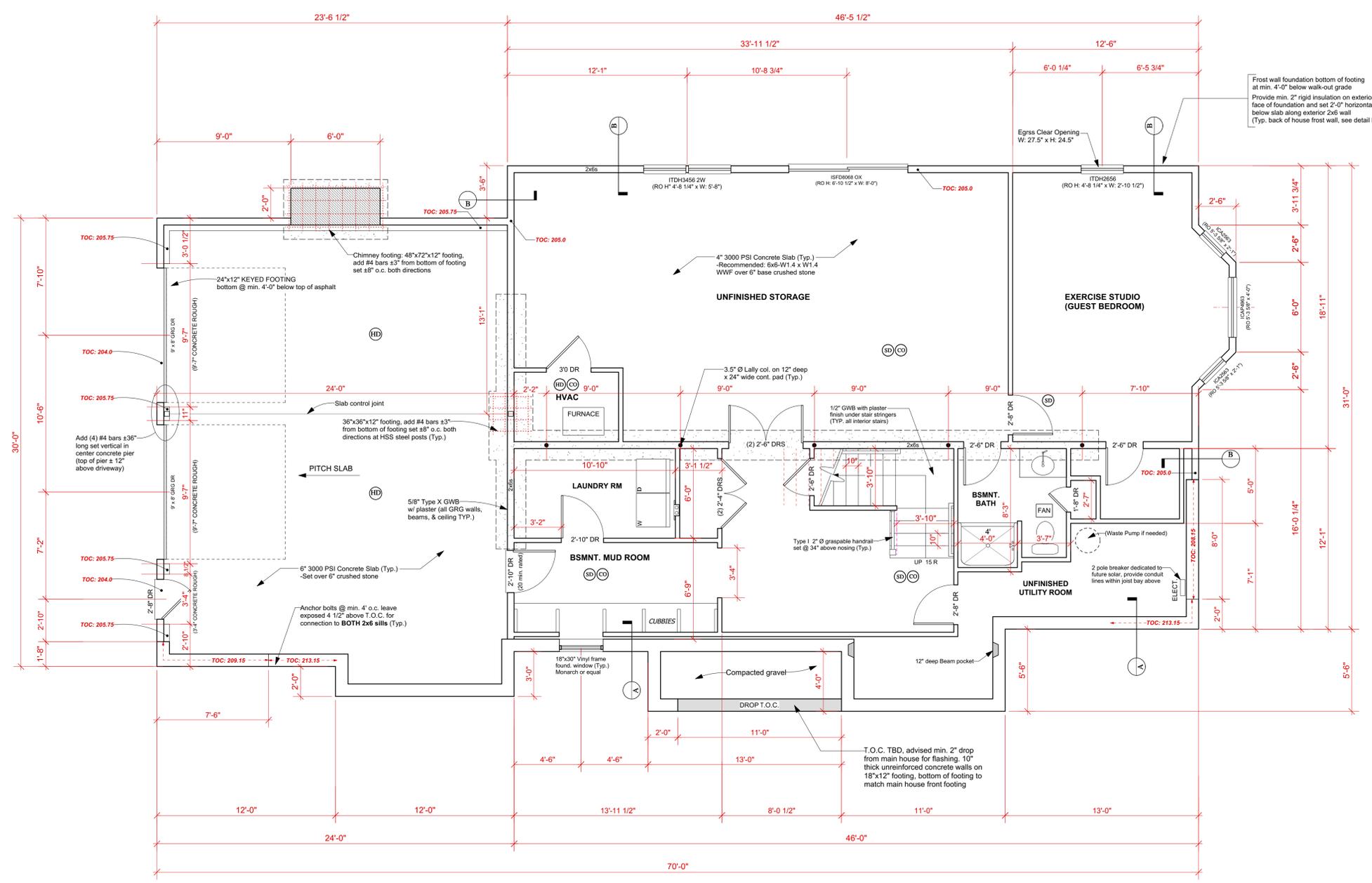
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660 SQ FT (FAR)
BASEMENT FLOOR PLAN

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SHEET TITLE:
BASEMENT & FOUNDATION PLAN

SHEET NUMBER:

A-3

SET TOTAL: A-1 — A-11



FRONT ELEVATION
3/8" = 1'-0"

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

A-4

SET TOTAL: A-1 — A-11

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REVISIONS:

BUILDER / GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL SUB-CONTRACTORS ARE WORKING FROM MOST CURRENT ISSUE DATE OF PLANS.

REGISTRATION:

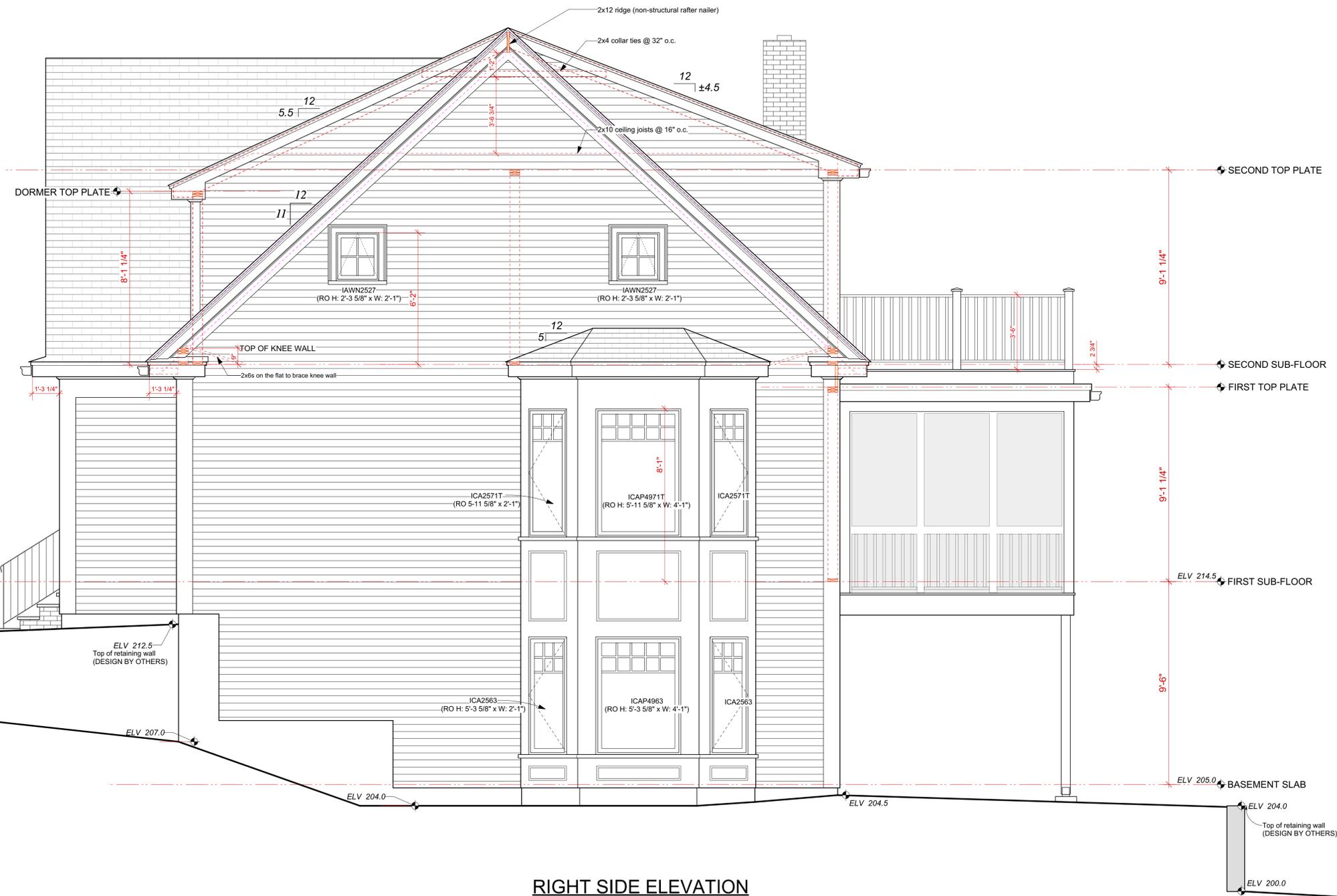
SCALE:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

A-5

SET TOTAL: A-1 — A-11



RIGHT SIDE ELEVATION
3/8" = 1'-0"

PROJECT:
NEW HOUSE
130 MOUNT VERNON ST
WEST ROXBURY, MA

BUILDER:
Steve Maimone
Cell: 978-815-1486

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DATE:
APRIL 23, 2018
Building Permit Set

REVISIONS:

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REGISTRATION:

SCALE:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

A-6

SET TOTAL: A-1 — A-11



LEFT SIDE ELEVATION

3/8" = 1'-0"



REAR ELEVATION
3/8" = 1'-0"

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

A-7

SET TOTAL: A-1 — A-11

DO NOT SCALE DRAWINGS. CONSULT ARCHITECT OF ANY DIMENSIONAL CONFLICTS OR REQUIRED DIMENSIONS NOT INDICATED ON THE DRAWINGS.

R D K
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PROJECT:
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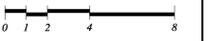
DATE:
APRIL 23, 2018
Building Permit Set

REVISIONS:

BUILDER / GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL SUB-CONTRACTORS ARE WORKING FROM MOST CURRENT ISSUE DATE OF PLANS.

REGISTRATION:

SCALE:
1/4" = 1'-0"

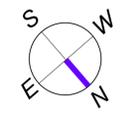
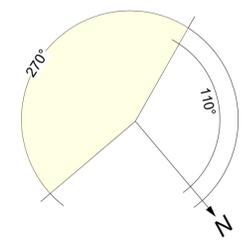
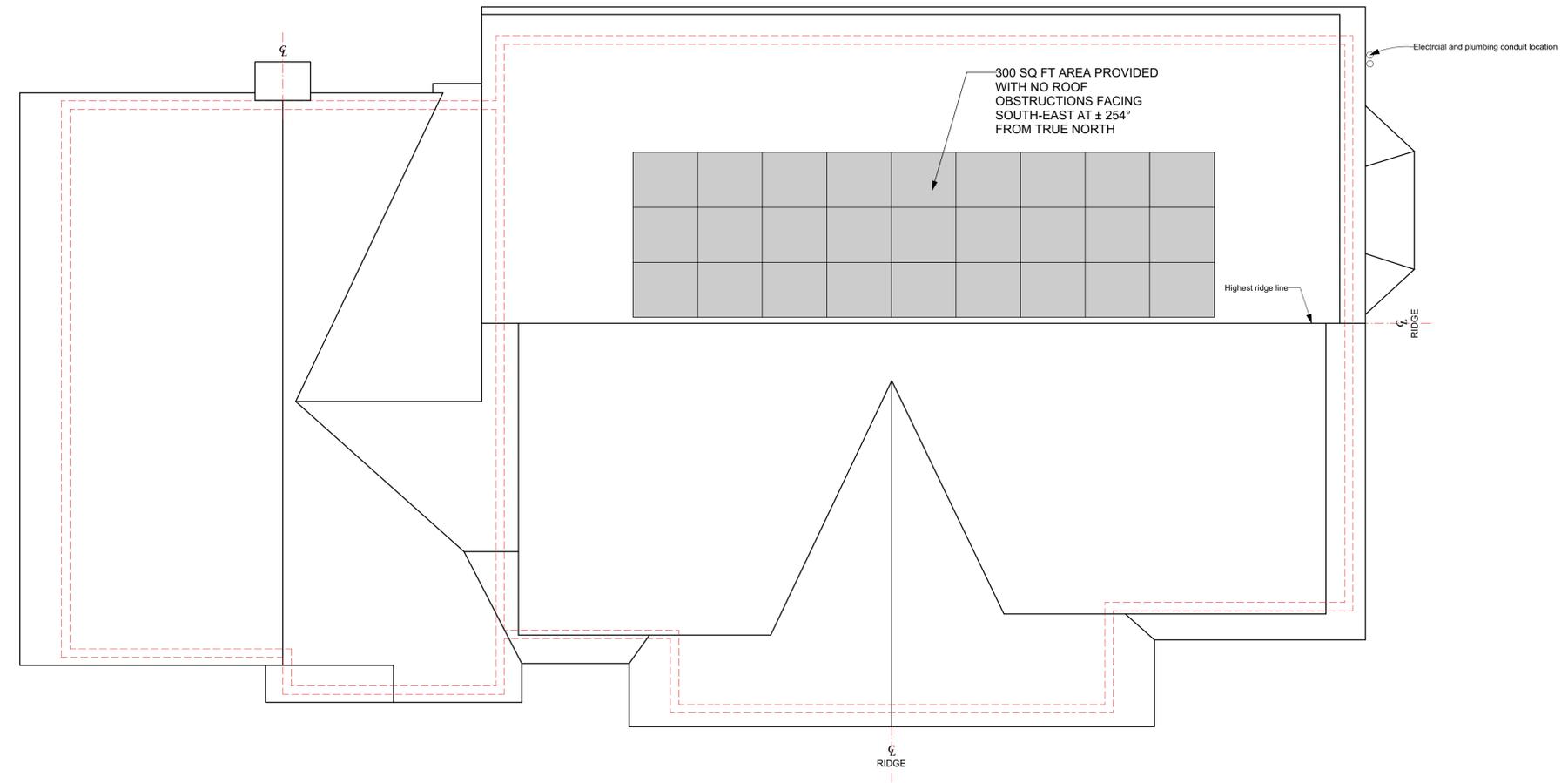


SHEET TITLE:
ROOF PLAN

SHEET NUMBER:

A-8

SET TOTAL: A-1 — A-11



ROOF PLAN

STRUCTURAL NOTE:
Roof Live Load designed to exceed
40 lbs per sq ft ground snow load
Roof Dead Load designed to exceed
15 lbs per sq ft
Additional dead load of solar panels
acceptable for proposed location

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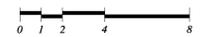
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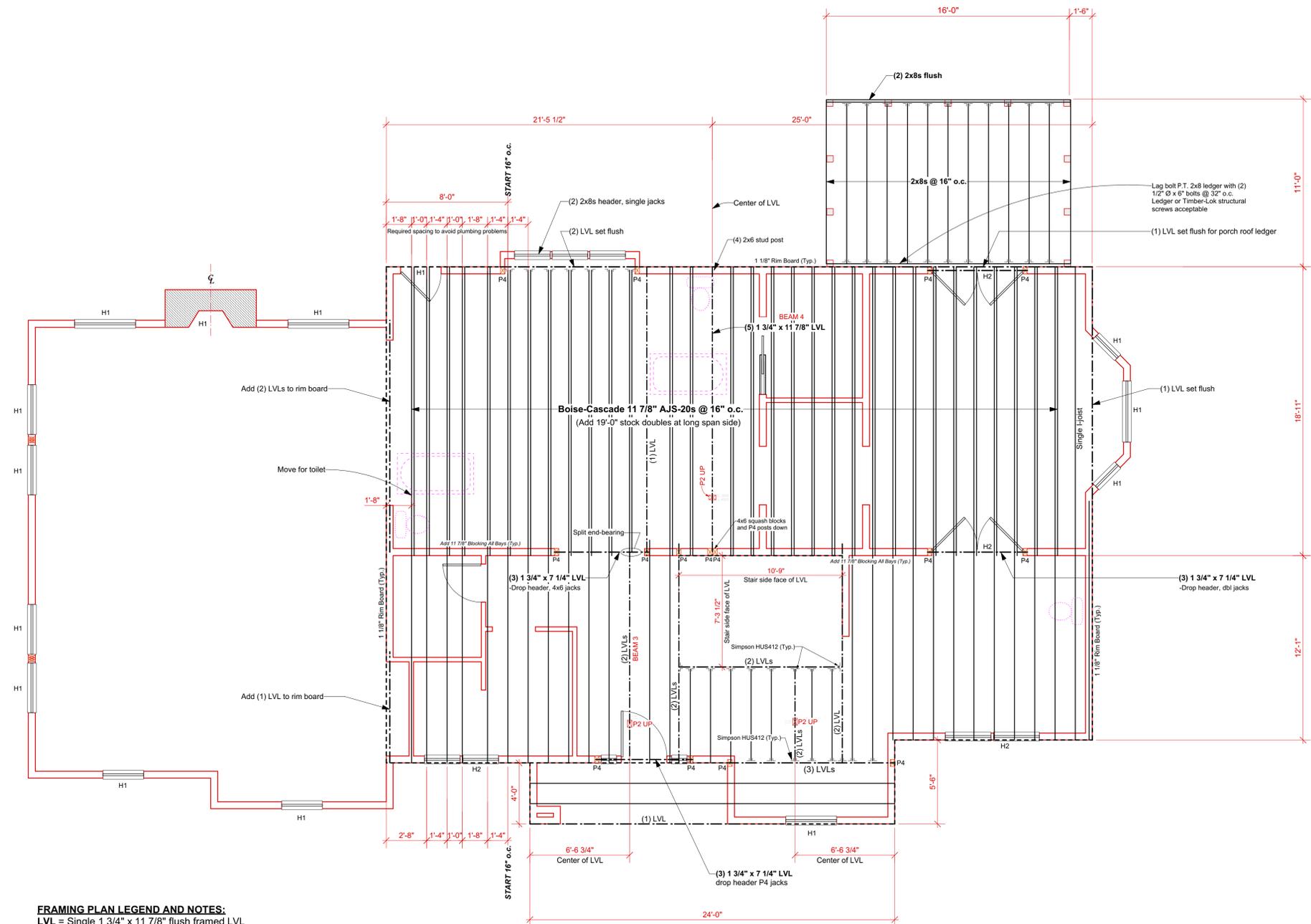


SHEET TITLE:
SECOND FLOOR FRAMING PLAN

SHEET NUMBER:

A-10

SET TOTAL: A-1 — A-11



FRAMING PLAN LEGEND AND NOTES:
 LVL = Single 1 3/4" x 11 7/8" flush framed LVL
 H1: (2) 2x10s Header with 2.5" rigid in between, single jack studs, all triple stud pocket conditions center stud framed as king
 H2 LVL: (3) 1 3/4" x 7 1/4" LVL Header, single jack studs, all triple stud pocket conditions center stud framed as king
 P1: 5.5 x 5.25 Versa-Lam or PSL post
 P2: 3.5 x 5.5 Versa-Lam or PSL post
 P3: 4x4 Fir Post
 P4: 4x6 Fir Post

ALL POSTS: minimize top and bottom toe-nailing for all structural posts, structural posts may have direct bearing to 2x6 bottom plate unless otherwise noted. 4x6 squash blocks must align under all posts to foundation sill or drop LVL beams.

SECOND FLOOR FRAMING PLAN

(1) LVL = Single 1 3/4" x 11 7/8" flush framed LVL

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