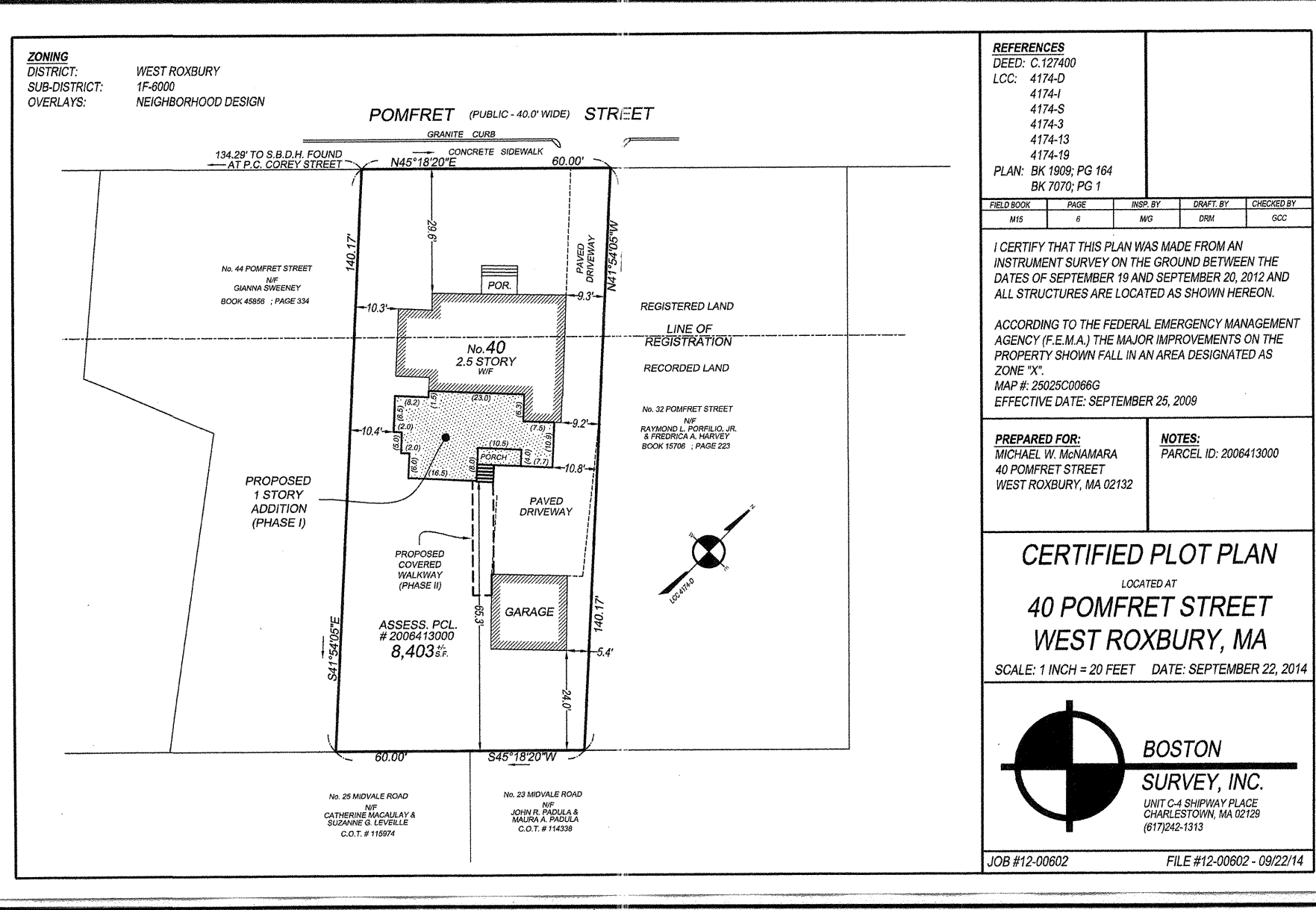


DOOR SCHEDULE									
#	QTY.	SIZE	TYPE	FINISH	HINGES	HARDWARE	COMMENTS		
1	1	3'-0" X 7'-0"	FIRE RATED DOOR, CUSTOM HEIGHT	PAINTED, COLOR T.B.D.	BUTT, GALVANIZED	TO BE SELECTED BY OWNER	CUSTOM HEIGHT TO ACCOMMODATE DROPPED FAMILY ROOM FLOOR T.B.D.		
FIRST FLOOR									
2	1	2'-6" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	RED OAK, STAINED TO MATCH EXIST.	BUTT/ STAINED TO MATCH EXIST.	BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER	PAINTED ON PR SIDE	
3	1	2'-8" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	RED OAK, STAINED TO MATCH EXIST.	N.A.	JOHNSON POCKET DR. 200PD, BALL BEARING	RECESSED PULL TO BE SELECTED BY OWNER, PAINTED ON MUDROOM SIDE		
4	2	1'-8" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	MDF, PTD., COLOR T.B.D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER	HOLD ON ORDERING DOORS UNTIL FRAMING IS COMPLETED. IF POSSIBLE INCREASE SIZE OF DOORS & OPENING ALLOWING FOR RELOCATED PANTRY CABINETS.		
5	1	FWH29611AR	ANDERSEN, FRENCHWOOD INSWING DOOR	WHITE EXT/ OAK INT.	ANTIQUE BRASS	NEWBURY HANDLE, ANTIQUE BRASS	UNIT SIZE: 2'-8 1/8" X 6'-10 3/8" R.O.; 2'-9" W X 6'-11" H. LOW E4 TEMPERED GLASS, OUTSWING SCREEN DOOR, OAK THRESHOLD, SEE NOTES FOR GRILLE SPEC.		
6	1	FWH29611AL	ANDERSEN, FRENCHWOOD INSWING DOOR	WHITE EXT/ OAK INT.	ANTIQUE BRASS	NEWBURY HANDLE, ANTIQUE BRASS	UNIT SIZE: 2'-8 1/8" X 6'-10 3/8" R.O.; 2'-9" W X 6'-11" H. LOW E4 TEMPERED GLASS, OUTSWING SCREEN DOOR, OAK THRESHOLD, SEE NOTES FOR GRILLE SPEC.		
7	2	2'-6" X 6'-8" X 1 3/8" TH.	EXISTING FRENCH DOORS TO BE RELOCATED.	EXISTING, TOUCH UP AS REQ'D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER			
SECOND FLOOR									
8	1	2'-6" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	MDF, PTD., COLOR T.B.D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER			
9	1	2'-6" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	MDF, PTD., COLOR T.B.D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER			
10	2	2'-6" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	MDF, PTD., COLOR T.B.D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER			
11	1	T.B.D.	FRAMELESS SHOWER DOOR	GLASS	T.B.D.	T.B.D.			
12	1	2'-6" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	MDF, PTD., COLOR T.B.D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER			
13	1	2'-6" X 6'-8" X 1 3/8" TH.	TRU-STILE, TS2020 TS 2020-C-OG	MDF, PTD., COLOR T.B.D.	BUTT/ BY OWNER ANTIQUE BRASS	TO BE SELECTED BY OWNER			

NOTES:
 1. ANDERSEN GRILLES TO BE FULL DIVIDED LIGHT, 3" COLONIAL PATTERN.
 2. CONFIRM ALL HARDWARE SELECTIONS WITH OWNER PRIOR TO ORDERING.
 3. VERIFY INTERIOR DOOR SPECIFICATIONS WITH OWNER BEFORE ORDERING.

ROOM	FLOOR	WALLS	CEILING	FINISH SCHEDULE		COMMENTS
				BASE	CASING	CROWN
EXISTING BASEMENT MECH. AREA	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	N.A.	N.A.	N.A.
NEW BASEMENT/ STORAGE AREA	CONCRETE SLAB	CONCRETE	UNFINISHED, INSULATED	N.A.	N.A.	N.A.
FIRST FLOOR Foyer, Stairs, Hall, Dining Room	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	N.A.
LIVING ROOM	EXIST. TO REMAIN	REPAINT WALL AT CLOSED OPENING INTO OFFICE AS REQUIRED TO MATCH EXISTING	EXIST. TO REMAIN, TOUCH UP IF REQUIRED	PATCH W/NEW TO MATCH EXIST.	NEW TRIM TO MATCH EXIST.	N.A.
KITCHEN, Eating Area, Family Room, Back Hall	NEW OAK STRIP FLOOR TO MATCH EXIST.	PTD., COLOR T.B.D., FLAT FINISH	PTD., COLOR T.B.D., FLAT FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
POWDER ROOM	NEW OAK STRIP FLOOR TO MATCH EXIST.	PTD., COLOR T.B.D., FLAT FINISH	PTD., COLOR T.B.D., FLAT FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
MUDROOM	STONE OR CERAMIC TILE TO BE SELECTED BY OWNER	PTD., COLOR T.B.D., SEMI-GL. FINISH	PTD., COLOR T.B.D., SEMI-GL. FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
BACK DECKS & STAIRS	STONE OR PAVERS BY OWNER	N.A.	N.A.	N.A.	N.A.	N.A.
SECOND FLOOR BEDROOM 1	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	N.A.
MASTER BEDROOM	EXIST. TO REMAIN, PATCH AS REQ'D AT CLOSED OPENING INTO EXIST. BATHROOM	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	EXIST. TO REMAIN	N.A.
MASTER BDRM WALK-IN CLOSET	NEW OAK STRIP FLOOR TO MATCH EXISTING	PTD., COLOR T.B.D., FLAT FINISH	PTD., COLOR T.B.D., FLAT FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
MASTER BATHROOM	TILE FLOOR SELECTED BY OWNER	PTD., COLOR T.B.D., FLAT FINISH	PTD., COLOR T.B.D., FLAT FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
HALL	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW STAIR OPENING & VESTIBULE INTO LAUNDRY & BEDROOM 2	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW STAIR OPENING & VESTIBULE INTO LAUNDRY & BEDROOM 2	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW STAIR OPENING & VESTIBULE INTO LAUNDRY & BEDROOM 2	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW STAIR OPENING & VESTIBULE INTO LAUNDRY & BEDROOM 2	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW STAIR OPENING & VESTIBULE INTO LAUNDRY & BEDROOM 2	N.A.
BEDROOM 2	NEW OAK STRIP FLOOR TO MATCH EXISTING	PTD., COLOR T.B.D., FLAT FINISH	PTD., COLOR T.B.D., FLAT FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
LAUNDRY	TILE FLOOR SELECTED BY OWNER	PTD., COLOR T.B.D., FLAT FINISH	PTD., COLOR T.B.D., FLAT FINISH	TO MATCH EXISTING, SATIN FINISH	TO MATCH EXISTING, SATIN FINISH	N.A.
MAIN BATH	NEW TILE TO BE SELECTED BY OWNER	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW SKYLIGHT, WINDOW, & WINDOW, COLOR T.B.D., SEMI-GL. FINISH	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW SKYLIGHT, WINDOW, & WINDOW, COLOR T.B.D., SEMI-GL. FINISH	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW SKYLIGHT, WINDOW, & WINDOW, COLOR T.B.D., SEMI-GL. FINISH	EXIST. TO REMAIN, PATCH AS REQ'D AT NEW SKYLIGHT, WINDOW, & WINDOW, COLOR T.B.D., SEMI-GL. FINISH	N.A.

NOTES:
 1. ALL MOULDINGS & WOOD FLOORING TO SEASON IN HOUSE FOR MINIMUM OF ONE WEEK BEFORE INSTALLATION TO AVOID EXCESSIVE MOVEMENT.
 2. PROVIDE 6" X 6" SAMPLES OF PAINT COLORS SELECTED FOR APPROVAL BEFORE FINAL APPLICATION.
 3. EPOXY GROUT TO BE USED THROUGHOUT FOR STAIN RESISTANCE - TEC POWER GROUT OR APPROVED EQUAL.



#	MANUFACT.	MODEL #	STYLE	SIZE	ROUGH OPEN.	SCREENS	HARDWARE	FINISH	COMMENTS
BASEMENT									
1	ANDERSEN	3020 100 SERIES	AWNING	2'-11 1/2" X 2'-11 1/2"	3'-0" X 2'-0"	YES	STANDARD WHITE	WHITE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
2	ANDERSEN	3020 100 SERIES	AWNING	2'-11 1/2" X 2'-11 1/2"	3'-0" X 2'-0"	YES	STANDARD WHITE	WHITE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
3	ANDERSEN	3020 100 SERIES	AWNING	2'-11 1/2" X 2'-11 1/2"	3'-0" X 2'-0"	YES	STANDARD WHITE	WHITE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
FIRST FLOOR									
4	ANDERSEN	WDH24310 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-5 5/8" X 4'-0 7/8"	2'-6 1/8" X 4'-0 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	PINE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
5	ANDERSEN	WDH21042 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-11 5/8" X 4'-4 7/8"	3'-0 1/8" X 4'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	PINE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
6	ANDERSEN	(2) WDH24310 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG TWIN UNIT	4'-11 5/16" X 4'-4 7/8"	4'-11 13/16" X 4'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
7	ANDERSEN	WDH21062 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-11 5/8" X 6'-4 7/8"	3'-0 1/8" X 6'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
8	ANDERSEN	WDH21062 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-11 5/8" X 6'-4 7/8"	3'-0 1/8" X 6'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
9	ANDERSEN	WDH21062 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-11 5/8" X 6'-4 7/8"	3'-0 1/8" X 6'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
10	ANDERSEN	WDH21062 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-11 5/8" X 6'-4 7/8"	3'-0 1/8" X 6'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
11	ANDERSEN	SPECIALTY 400 SERIES 9	FLEXIFRAME DIAMOND	3'-10" X 3'-10"	T.B.D.	N.A.	N.A.	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
12	ANDERSEN	WDH21062 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-11 5/8" X 6'-4 7/8"	3'-0 1/8" X 6'-4 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	OAK/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
SECOND FLOOR									
13	ANDERSEN	WDH2446 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-5 5/8" X 4'-8 7/8"	2'-6 1/8" X 4'-8 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	PINE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
14	ANDERSEN	WDH2446 400 SERIES 6/1	WOODWRIGHT, DOUBLE HUNG	2'-5 5/8" X 4'-8 7/8"	2'-6 1/8" X 4'-8 7/8"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	PINE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
15	ANDERSEN	(2) AN251 400 SERIES 6	AWNING TWIN UNIT	4'-9 1/2" X 1'-8 1/2"	4'-9 1/2" X 1'-9"	YES	LOCK/KEEPER, ESTATE SERIES ANTIQUE BRASS	PINE/ WHITE FIBREX	W/ LOW-E4 GLASS, SEE NOTE 1 FOR GRILLE SPEC.
ROOF									
16	VELUX	SKYLIGHT VSE M08	DECK MOUNTED, ELECTRIC, LAMINATED COMFORT GLASS, XX04 "NEAT"	30 9/16" X 54 15/16"	30 1/16" X 54 7/16"	YES	N.A.	STANDARD	W/ EDI. STEP FLASHING, TRANSLUCENT BLINDS RM00
17	VELUX	SKYLIGHT VSE M08	DECK MOUNTED, ELECTRIC, LAMINATED COMFORT GLASS, XX04 "NEAT"	30 9/16" X 54 15/16"	30 1/16" X 54 7/16"	YES	N.A.	STANDARD	W/ EDI. STEP FLASHING, TRANSLUCENT BLINDS RM00
18	VELUX	SKYLIGHT VSE S01	DECK MOUNTED, ELECTRIC, LAMINATED COMFORT GLASS, XX04 "NEAT"	44 3/4" X 27 3/8"	44 1/2" X 26 7/8"	YES	N.A.	STANDARD	W/ EDI. STEP FLASHING, TRANSLUCENT BLINDS RM00
19	VELUX	SKYLIGHT VSE C01	DECK MOUNTED, ELECTRIC, LAMINATED COMFORT GLASS, XX04 "NEAT"	21 3/4" X 27 3/8"	21" X 26 7/8"	YES	N.A.	STANDARD	W/ EDI. STEP FLASHING, TRANSLUCENT BLINDS RM00

NOTES:
 1. ALL ANDERSEN WINDOWS TO HAVE FULL DIVIDED LIGHTS WITH 3/4" GRILLES.
 2. SCREENS TO BE TRI-SCENE HALF SCREENS.
 3. CONFIRM SKYLIGHT SIZES ONCE ROOF FRAMING IS COMPLETE BEFORE ORDERING.

ABBREVIATIONS:	DEFINITION:
V.I.F.	VERIFY IN FIELD
N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISHED FLOOR
O.C.	ON CENTER
O.A.	OVERALL
E.J.	FLOOR JOIST
C.J.	CEILING JOIST
C.L.	CENTERLINE
P.T.	PRESSURE TREATED
FL	FLUSH
HDR	HEADER
M.C.	MEDICINE CHEST
PTD.	PAINTED
MAN.	MANUFACTURER
SPEC.	SPECIFICATION
PL	PLATE
M.C.	MEDICINE CHEST
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
G.C.	GENERAL CONTRACTOR
RM	ROOM
F.R.	FAMILY ROOM
L.R.	LIVING ROOM

DRAWING LIST	ISSUED	REVISED
SCH-1 DRAWING LIST, ABBREVIATIONS, LOCATION PLAN, GENERAL SPECIFICATIONS, WINDOW, DOOR & FINISH SCHEDULES, FOUNDATION/BASEMENT	10-23-2014	
A-1 FIRST FLOOR CONSTRUCTION PLAN	10-23-2014	
A-2 SECOND FLOOR & ROOF CONSTRUCTION PLAN	10-23-2014	
A-3 FRONT & SIDE ELEVATION, SECTION 3	10-23-2014	
A-4 SIDE ELEVATION, DETAILS, PLUMBING FIXTURE SCHEDULE	10-23-2014	
S-1 STRUCTURAL FLOOR PLANS & DETAILS	10-23-2014	
S-2 STRUCTURAL CROSS SECTIONS	10-23-2014	
S-3 STRUCTURAL FRAMING PLANS	10-23-2014	

GENERAL SPECIFICATIONS

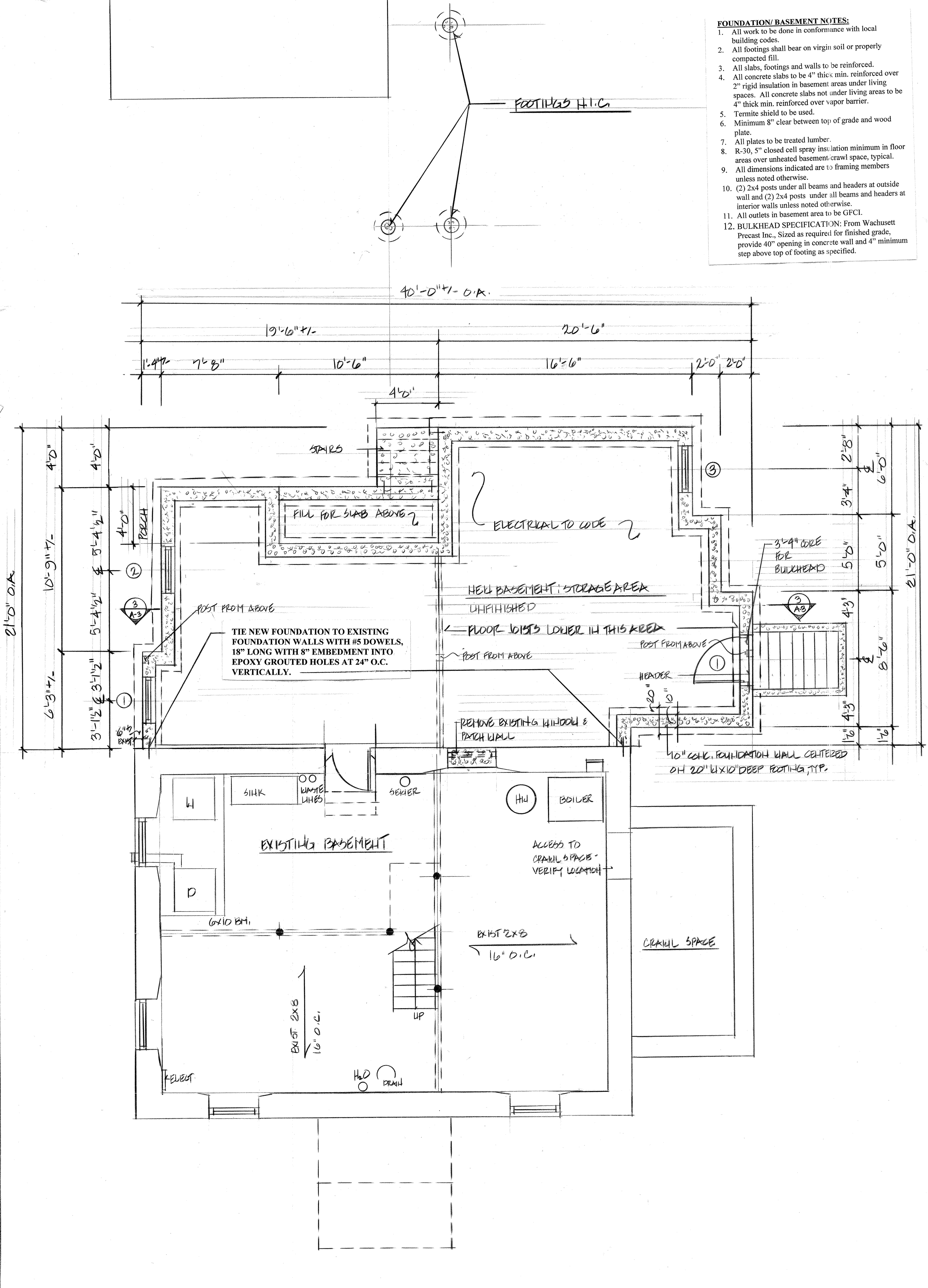
- GENERAL OUTLINE SPECIFICATIONS
- THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWINGS OR WRITTEN RECOMMENDATIONS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OMISSIONS BEFORE PROCEEDING WITH THE JOB.
- ALL CONSTRUCTION SHALL CONFORM TO ACCEPTED GOOD PRACTICE AS DEFINED BY THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE AND COMMONLY USED IN THE INDUSTRY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF NEW CONSTRUCTION AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT TO COVER AT LEAST 1 1/2 TIMES THE COST OF CONTRACT AND WORKERS' COMPENSATION INSURANCE REQUIRED BY CODE.
- CONTRACTOR SHALL MAINTAIN SITE, CLEAN AND FREE OF DEBRIS. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM SITE. CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AS REQUIRED BY LAW.
- SITE WORK**
- GRADES SHALL BE GRADED TO PITCH AWAY FROM HOUSE.
- MINIMUM 8" CLEARANCE FROM TOP OF FINISHED GRADE TO SILL, SIDING, OR ANY OTHER WORK.
- FILL AND GRADE AROUND FOUNDATION AS REQUIRED. PROVIDE 4 INCHES OF TOP SOIL IN ALL AREAS OF EXISTING LAWN AFFECTED BY CONSTRUCTION. SEED ENTIRE AREA COVERED WITH TOP SOIL AND COVER WITH SALT MARSH HAY.
- CONCRETE FOUNDATIONS AND SLABS**
- ALL WORK TO COMPLY WITH CURRENT EDITION OF BUILDING CODE.
- REMOVE ALL TOP SOIL, RUBBISH, AND OTHER DELETERIOUS MATERIAL FROM INSIDE OF BUILDING AREA BEFORE BEGINNING WORK.
- EXCAVATION FOR ALL FOOTINGS SHALL BE MADE TO THE DEPTH OF AN MINIMUM 4" BELOW FINISHED GRADES EXPOSED TO NATURAL FREEZING. ALL FOUNDATION WORK SHALL BE DONE IN COMPLIANCE WITH ANY SOIL TEST WORK DONE.
- FOOTINGS ARE DESIGNED FOR AND SHALL BE PLACED ON FIRM UNDISTURBED EARTH WITH A MINIMUM BEARING CAPACITY OF 2000 PSF. PROVIDE SEVERAL PASSES WITH VIBRATOR COMPACTOR PRIOR TO PLACEMENT OF FOOTINGS.
- CONSTRUCT FOOTINGS AT TWICE THE WIDTH OF THE FOUNDATION WALL ABOVE AND CENTERED WITH THAT WALL, AND A MINIMUM OF 1" THICK UNLESS OTHERWISE NOTED ON DRAWINGS. ADD 6" INCHES TO OVERALL WIDTH OF FOOTINGS IF THEY ARE NOT FORMED FOR PLACEMENT AND CURING.
- RODS SHALL BE PLACED NO LESS THAN 3 INCHES MINIMUM ABOVE BOTTOM OF FOOTING WITH USE OF REINFORCING CHAIRS IN ACCORDANCE WITH STANDARD CSI CRITERIA AND DETAILS.
- NO FOOTINGS OR SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACEMENT OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING ENCLOSURE.
- THE CONCRETE FOR EACH ISOLATED FOOTING SHALL BE PLACED IN ONE CONTINUOUS PLACEMENT.
- CONSTRUCT CONCRETE FLOOR SLABS ON GRADE: 4 INCHES THICK OVER 2" EXPANDED POLYSTYRENE IN HABITABLE AREAS AND 4" VAPOR BARRIER AND A MINIMUM OF 4 INCH THICK POROUS FILL IN ALL CASES. PLACE ALL DEEP FILLS UNDER CONCRETE SLABS IN 8 INCH LAYERS COMPACTED TO MINIMUM DRY DENSITY OF 95%. DO NOT PLACE SLABS ON GRADE IN SECTIONS EXCEEDING 1600 FT. AT ONE TIME.
- THICKEN ALL SLABS AT EDGES OR AS DIRECTED BY THE ARCHITECT.
- WHERE FOOTINGS ARE STEPPED, BOTTOMS SHALL NOT BE SLOPED MORE THAN ONE FOOT VERTICALLY FOR EACH TWO FEET HORIZONTALY.
- ALL CONCRETE USED SHALL BE OF NO LESS THAN 3000 PSI AT 28 DAYS STRENGTH, STONE AGGREGATE, READY MIX AND IN CONFORMANCE WITH LATEST BUILDING CODE FOR SPECIFICATION.
- ADMITTANCE RETARDING OR ACCELERATING SETTING OF CEMENT SHALL NOT BE USED UNLESS APPROVED BY THE ARCHITECT.
- NO CONCRETE SHALL BE PLACED IN FREEZING TEMPERATURES.
- WELDED WIRE FABRIC (W.W.F.) SHALL COMPLY WITH ASTM A185. WELDED WIRE FABRIC SHALL BE LAPPED TWO FULL MESH PANELS AND TIE SECURELY.
- WHERE REQUIRED, DOWELS SHALL MATCH SIZE AND NUMBER OF MAIN REINFORCING BARS - SPLICE AS PER A.C.I. 308.
- BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED OR GALVANIZED.
- PROVIDE 2 X 4 KEY WALL IN TOP OF ALL FOOTINGS TO RECEIVE MASONRY OR CONCRETE WALL.
- MASONRY**
- ALL MASONRY WORK TO COMPLY WITH CURRENT EDITION BUILDING CODES.
- DAMP PROOF BASEMENT WALLS WITH 1/2" THICK COAT OF PORTLAND CEMENT PARKING APPLIED TO THE EXTERIOR FACE ABOVE GRADE AND APPLY 2 COATS OF BITUMINOUS DAMPPROOFING OVER CONCRETE BELOW GRADE.
- PROVIDE PREFABRICATED REINFORCED CONCRETE DETAILS OF REQUIRED THICKNESS AND STRENGTH FOR ALL MASONRY OPENINGS NOT EXCEEDING 14'-0" IN LENGTH. ALL LINTELS SHALL BEAR AT 4 INCHES MINIMUM AT EACH END, UNLESS OTHERWISE DETAILED ON DRAWINGS.
- PROVIDE 1/2" DIAMETER ANCHOR BOLTS FOR WOOD PLATES AS DESCRIBED IN SECTION 6.
- STRUCTURAL STEEL**
- STRUCTURAL STEEL SHALL COMPLY WITH ASTM A36 OR A50 AND CURRENT BUILDING CODES.
- BOLTS, NUTS, AND WASHERS SHALL COMPLY WITH ASTM A490 OR ASTM A325. BOLTS SHALL BE A MINIMUM OF 3/4 INCH THICK UNLESS OTHERWISE NOTED.
- WELDING ELECTRODES SHALL BE E70XX.
- DETAILING, FABRICATION, AND ERECTION SHALL COMPLY WITH AISC SPECIFICATIONS AND CODES, LATEST EDITIONS.
- CONNECTIONS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR FOR APPLIED FORCES USING STANDARD PRACTICE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE GENERAL DETAILS SHOWN ON THE DRAWINGS ARE CONCEPTUAL AND DO NOT INDICATE THE REQUIRED NUMBER OF BOLTS OR WELD SIZES UNLESS SPECIFICALLY NOTED.
- BEAM-TO-COLUMN CONNECTIONS SHALL BE MOMENT CONNECTED WHERE SHOWN. THE WEB-SHEAR CONNECTION SHALL UTILIZE HIGH STRENGTH TRUSS MEMBERS IN SINGLE SHEAR UNLESS OTHERWISE NOTED.
- ALL OTHER CONNECTIONS SHALL BE SIMPLE SHEAR CONNECTIONS UTILIZING HIGH STRENGTH A325N BOLTS IN BEARING-TYPE CONNECTIONS WITH THREADS EXCLUDED FROM THE SHEAR PLANE IN SINGLE SHEAR U.N.O.
- PROVIDE A MINIMUM OF TWO 1/2" DIAMETER A325N BOLTS PER CONNECTION U.N.O.
- SIMPLE SHEAR CONNECTIONS SHALL BE CAPABLE OF END ROTATION RESTRAINT AS PER THE REQUIREMENT OF THE AISC CODE, SECTION ON UNRESTRAINED MEMBERS.
- PROVIDE 1/2" DIAMETER ANCHOR BOLTS FOR WOOD PLATES AS DESCRIBED IN SECTION 6.
- MINIMUM FILLET WEBS SHALL COMPLY WITH AISC AND AWS, BUT SHALL NOT BE LESS THAN 3/16 INCH, UNLESS OTHERWISE NOTED.
- FABRICATE BEAMS WITH NATURAL CAMBER UP.
- AFTER FABRICATION, CLEAN STEEL OF ALL RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS.
- WOOD FRAMING**
- ALL LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION RECOMMENDED BY THE N.L.M.A., LOCAL BUILDING CODES, AND CODE STANDARDS LISTED UNDER GENERAL CONDITIONS.
- ALL STRUCTURAL LUMBER WILL BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE.

- THE FB FOR HEADERS AND GRIDDERS IS BASED ON SINGLE MEMBER USE. (ALL HEADERS SHALL HAVE AN FB OF AT LEAST 1000.) JOISTS AND RAFTERS ARE BASED ON REPETITIVE MEMBER USE WITH 15% FACTORS FOR SNOW LOADS TAKEN INTO CONSIDERATION ON ROOFS. ALLOWABLE UNIT STRESS FOR STUDS IS BASED ON COMPRESSION PARALLEL TO GRAIN (F_c).
- NO SUBSTITUTION MAY BE USED UNLESS THE SUBSTITUTED SPECIES EXCEEDS OR EQUALS THE REQUIRED DESIGN FACTORS AND IS APPROVED BY THE ARCHITECT.
- ABBREVIATIONS**
 F = EXTREME FIBER IN BENDING
 E = MODULUS OF ELASTICITY
 S = SINGLE MEMBER USE
 R = REPETITIVE MEMBER USE
- ALL EXTERIOR SHEATHING SHALL BE ZIP SYSTEM AND SUB-FLOORING SHALL BE "ADVANTECH" INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
- SET ALL FLOOR JOISTS, CEILING JOISTS AND WOOD BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED OVER BEARING POINTS SHALL BE DOUBLY SPIKED TOGETHER. FIRE CUT ENDS AND ANCHOR WHERE BEARING ON MASONRY. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL ABOVE.
- PROVIDE STANDARD WOOD OR METAL CROSS BRIDGING WITH ALL FLOOR WOOD JOIST CONSTRUCTION AT A MAXIMUM 8'-0" ON CENTER AND SOLID CONTINUOUS BLOCKING AT JOIST ENDS.
- ANCHOR SILLS AND PLATES TO MASONRY WALLS BELOW WITH A MINIMUM OF 1/2" DIAMETER X 18" LONG STEEL HOOKED BOLTS, SPACED AT A MAXIMUM OF 6'-0" ON CENTER. BOLTS SHALL BE SET SOLID IN CONCRETE. PROVIDE TERMITE SHIELD UNDER TREATED WOOD PLATES SET OVER MASONRY.
- PROVIDE HEADERS FOR OPENINGS IN FRAME WALLS AS PER TABLE 502.5 (1) IN THE CURRENT EDITION OF THE BUILDING CODE UNLESS OTHERWISE NOTED.
 IN 2 X 4 WALLS, ALL HEADERS TO HAVE 1/2" PLYWOOD IN BETWEEN.
 IN 2 X 6 WALLS, ALL HEADERS TO HAVE (2) 1/2" PLYWOOD IN BETWEEN.
- PROVIDE MINIMUM DOUBLE STUDS UNDER BOTH BEARING ENDS UNDER ALL HEADERS.
- ALL DRILLING IN FLOOR JOISTS AND WOOD BEAMS FOR ELECTRICAL WIRES, PLUMBING LINES, ETC., SHALL BE MADE AT ITS CENTER LINE (NEUTRAL AXIS) OR ABOVE IT. IF ANY WOODEN MEMBER SHOULD BE DRILLED BELOW ITS NEUTRAL AXIS, CARE MUST BE TAKEN NOT TO DEFLECT EXCESSIVE STRESS ON ITS STRUCTURAL STRENGTH. IF ANY DAMAGE TO A STRUCTURAL MEMBER SHOULD OCCUR, IT MUST BE PROPERLY REINFORCED WITH ADDITIONAL WOOD MEMBERS AS NECESSARY.
- ALL STRUCTURAL WOOD MEMBERS EXPOSED TO WEATHER AND IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED WOLMANIZED LUMBER WITH GALVANIZED FASTENERS.
- BLOCK BETWEEN JOISTS OR DOUBLE FLOOR JOISTS AT TUBS AND WASHERS/DYSERS.
- THERMAL AND MOISTURE PROTECTION**
- ALL EXTERIOR WALLS AND ROOFS AND BASEMENT FLOOR SHALL BE INSULATED WITH FOIL BACKED FIBERGLASS INSULATION WITH A MINIMUM "R" VALUE AS FOLLOWS: R-15 IN WALLS, R-38 AT ROOFS, R-30 AT BASEMENT FLOOR, UNLESS NOTED OTHERWISE.
- PROVIDE EXTERIOR SIDING, SHINGLES AND SHAKES AS SHOWN ON DRAWINGS, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. COLOR TO BE SELECTED BY OWNER.
- ROOF TO BE SELECTED BY OWNER AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE VAPOR BARRIER, 6 MIL UNDER ALL SLABS ON GRADE.
- PROVIDE COPPER OR HEAVY GAUGE ALUMINUM FLASHING AND COUNTER FLASHING IN ALL VALLEYS, PENETRATIONS AND INTERSECTIONS OF ROOF AND EXTERIOR WALLS AND AS INDICATED ON DRAWINGS.
- DOORS**
- SEE DOOR SCHEDULE FOR SPECIFICATIONS.
- INTERIOR DOORS TO BE 1 3/8" THICK, STYLE AS SPECIFIED ON DOOR SCHEDULE.
- HARDWARE TO BE SELECTED BY OWNER. CONTRACTOR RESPONSIBLE FOR COORDINATION AND INSTALLATION.
- WINDOWS**
- SIZES AND STYLE AS NOTED ON DRAWINGS AND WINDOW SCHEDULE.
- ALL WINDOWS TO BE WEATHER-STRIPPED.
- TEMPERED GLASS TO BE USED IN ALL WINDOWS/LITES BELOW 1'-6" ABOVE FINISHED FLOOR AND AT TUBS.
- FINISHES**
- WALLS: 1/2" GYPSUM BOARD, PLASTERED WITH A MINIMUM OF TWO COATS AND PRIMED AND PAINTED WITH 2 COATS OF LATEX PAINT AS SELECTED BY OWNER. BATHS TO HAVE 1/2" WATER RESISTANT GYPSUM WALL BOARD THROUGHOUT INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. GARAGES AND STORAGE ROOMS SHALL MEET LOCAL FIRE CODES.
- CEILINGS: 1/2" GYPSUM BOARD, PLASTERED, PRIMED, AND PAINTED.
- FLOORS:
 CARPETED AREAS: 3/4" PLYWOOD UNDERLAYMENT PREPARED FOR CARPET, CARPET TO BE SUPPLIED AND INSTALLED BY

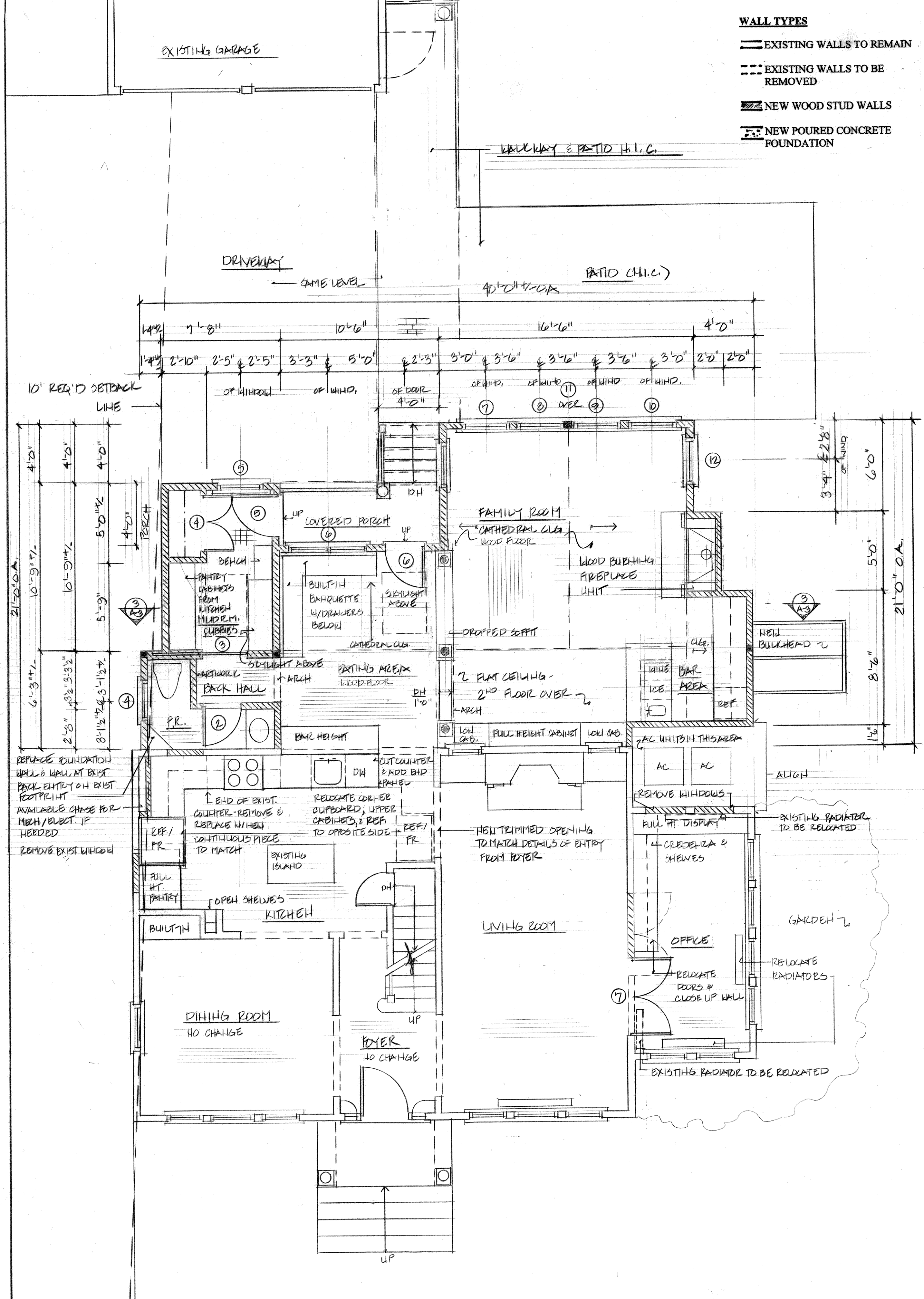
- FOUNDATION/BASEMENT NOTES:**
- All work to be done in conformance with local building codes.
 - All footings shall bear on virgin soil or properly compacted fill.
 - All slabs, footings and walls to be reinforced.
 - All concrete slabs to be 4" thick min. reinforced over 2" rigid insulation in basement areas under living spaces. All concrete slabs not under living areas to be 4" thick min. reinforced over vapor barrier.
 - Termite shield to be used.
 - Minimum 8" clear between top of grade and wood plate.
 - All plates to be treated lumber.
 - R-30, 5" closed cell spray insulation minimum in floor areas over unheated basement/crawl space, typical.
 - All dimensions indicated are to framing members unless noted otherwise.
 - (2) 2x4 posts under all beams and headers at outside wall and (2) 2x4 posts under all beams and headers at interior walls unless noted otherwise.
 - All outlets in basement area to be GFCL.
 - BULKHEAD SPECIFICATION: From Wachusett Precast Inc., Sized as required for finished grade, provide 40" opening in concrete wall and 4" minimum step above top of footing as specified.

- WALL TYPES**
- EXISTING WALLS TO REMAIN
 - EXISTING WALLS TO BE REMOVED
 - NEW WOOD STUD WALLS
 - NEW POURED CONCRETE FOUNDATION

- FIRST FLOOR NOTES:**
- All work to be done in conformance with local building codes.
 - See finish schedule for floor finishes.
 - Remove all walls and framing where required as indicated on plans.
 - Remove ceilings where required for new framing.
 - All outside walls to be built with 2 x 4 studs with 3 1/2" R-20 closed cell spray insulation, typical.
 - R-30, 5" closed cell spray insulation minimum in finished floor areas over unheated basement/crawl space, typical.
 - R-38, 6" closed cell spray insulation in all roof areas and attic floors, typical.
 - All walls and ceilings to be fully skim-coated, sanded, and painted in colors to be selected by owner.
 - All dimensions indicated are to framing members unless noted otherwise.
 - (2) 2x4 posts under all beams and headers at outside wall and (2) 2x4 posts under all beams and headers at interior walls unless noted otherwise.
 - Use (2) 2 x 8's for all headers not specified on drawings.
 - Plywood subfloor to be Advantech, installed as per manufacturer's specifications.
 - All post to beam connections & beam to beam connections to have Simpson connectors sized according to load.
 - Interior moldings to match existing.
 - Water Resistant Greenboard to be used throughout the Bathrooms. "Durorock" concrete board at tiled areas.
 - Tile Floors in Mudroom and Powder Room. See General Specifications for installation requirements.
 - Bathrooms to be mechanically vented to outside per code with Panasonic Whisper Ceiling Fan sized as required.
 - Insulate all bathroom and laundry room walls with R-15 batt insulation to reduce sound transmission through walls.
 - See Finish Schedule for all interior finish specifications.
 - Back Deck:** Floor: Stone or pavers selected by owner. Railing: Azek composite railing in white, style to be selected by owner. Ceiling: Azek Beadboard in white, narrow boards.
 - Kitchen Cabinets and counter tops:** Relocate existing base and upper cabinets as indicated on plans. If possible, match existing granite with new granite slab for top at relocated base cabinets. New top to be selected by owners and installed by stone fabricator. Relocate full height pantry cabinets to mudroom as indicated on plans. General Contractor to have cabinet maker fabricate new full height pantry to left of refrigerator to match existing cabinets. General Contractor responsible for coordination with kitchen cabinetmaker and granite sub-contractor. Contractor responsible for installation of relocated appliances. granite sub-contractor. Contractor responsible for installation of relocated appliances.
 - Column Specification:**
EXTERIOR:
 Turncraft Poly-Classic FRP Columns:
 (1) 8" 8'0" X 8" diameter smooth Tuscan tapered round column, height to be verified before ordering, height cut to fit as required; Tuscan Base and Cap: Base, 10 7/8" W x 4 1/4" H, Cap: 9 7/8" W x 2 1 1/16" H.
INTERIOR:
 Turncraft Wood Colonial Columns: (2) 6" diameter x 6'0" L smooth tapered round column, height cut to fit as required; Colonial Cap and Base (Base, 8 1/8" W x 3" H, Cap: 6 3/4" W x 2 1/2" H), Painted.



① BASEMENT/FOUNDATION PLAN



② FIRST FLOOR PLAN

REVISIONS

NO.	DATE	REVISION

ARCHITECTURE / INTERIORS

Deborah McPhee, Architect

37 Oak Hill Road
Sudbury, Massachusetts 01776

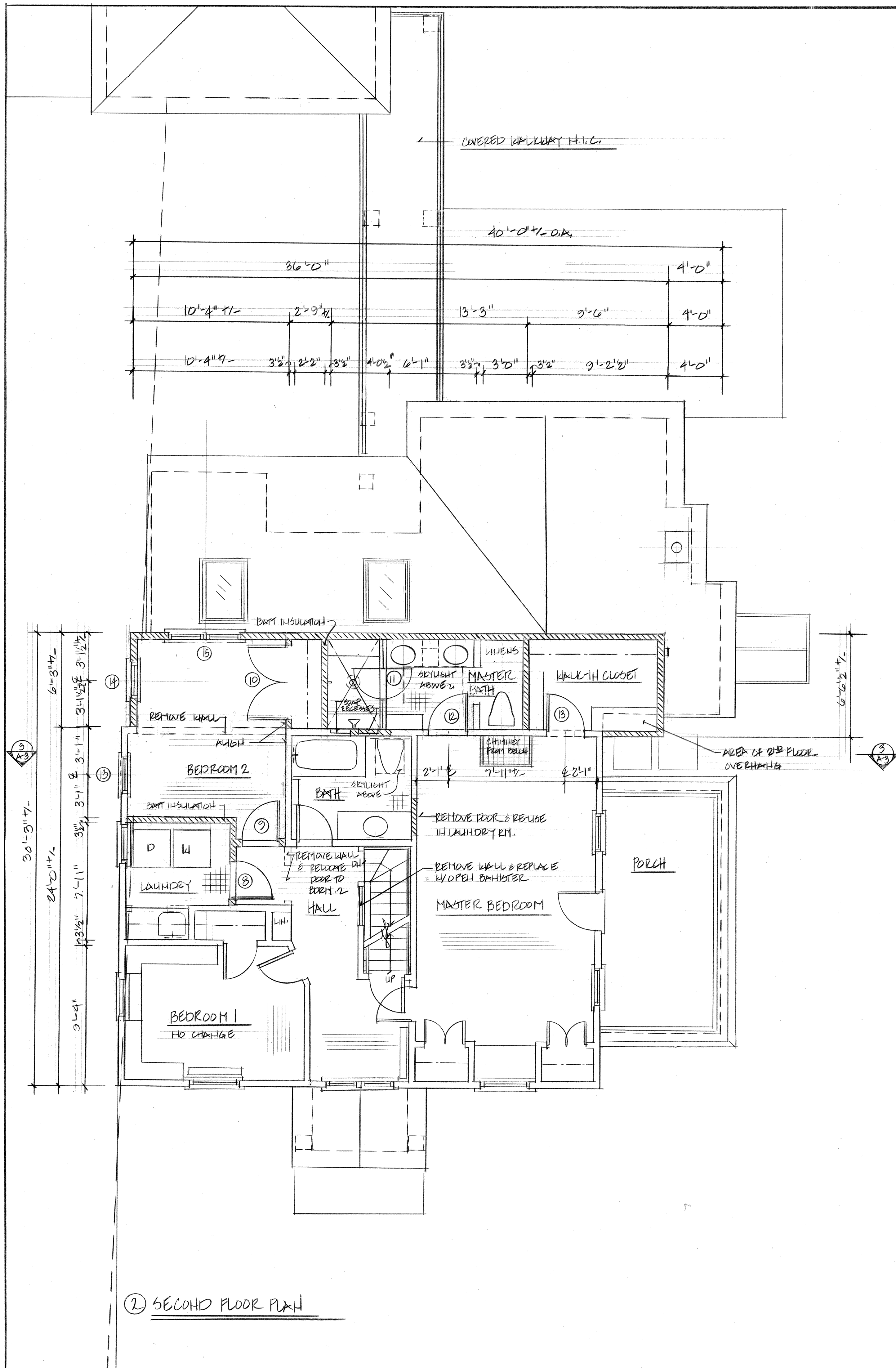
Telephone: (978) 440-9178 Fax: (978) 443-2675
Email: dmcphee@aol.com

ADDITION TO & RENOVATION OF THE RESIDENCE OF:

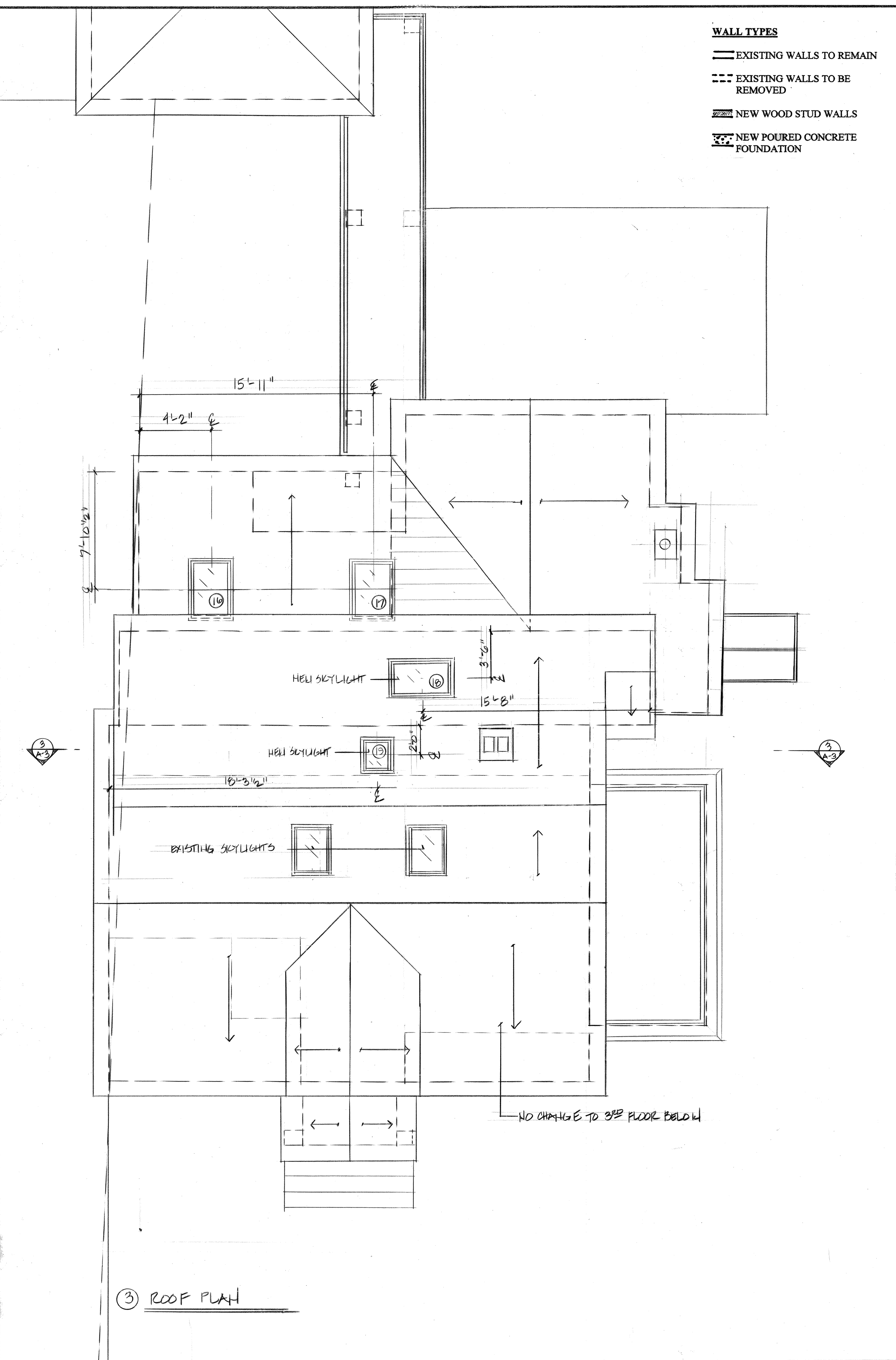
PAMELA & MIKE MCNAMARA
140 POMFRET STREET
WEST ROXBURY, MA 02132

FOUNDATION/BASEMENT & FIRST FLOOR CONSTRUCTION PLAN

SCALE 1/4"=1'-0"	ISSUED 10/2014
REVISED	REVISION NO.



② SECOND FLOOR PLAN



③ ROOF PLAN

- SECOND FLOOR NOTES:**
- All work to be done in conformance with local building codes.
 - See finish schedule for floor finishes.
 - Remove all walls and framing where required as indicated on plans.
 - Remove ceilings where required for new framing.
 - All outside walls to be built with 2 x 4 studs with 3 1/2" R-20 closed cell spray insulation, typical.
 - R-38, 6" closed cell spray insulation in all roof areas and attic floors, typical.
 - All walls and ceilings to be fully skim-coated, sanded, and painted in colors to be selected by owner.
 - All dimensions indicated are to framing members unless noted otherwise.
 - (2) 2x4 posts under all beams and headers at outside wall and (2) 2x4 posts under all beams and headers at interior walls unless noted otherwise.
 - Use (2) 2 x 8's for all headers not specified on drawings.
 - Plywood subfloor to be Advantech, installed as per manufacturer's specifications.
 - All post to beam connections & beam to beam connections to have Simpson connectors sized according to load.
 - Interior moldings to match existing.
 - Water Resistant greenboard to be used throughout the Bathrooms. "Durock" concrete board at tiled areas.
 - Tile Floors in Laundry room and Master Bath Room. See General Specifications for installation requirements.
 - Bathrooms to be mechanically vented to outside per code with Panasonic Whisper Ceiling Fan sized as required.
 - Insulate all bathroom and laundry room walls with R-13 batt insulation to reduce sound transmission through walls.
 - See Finish Schedule for all interior finish specifications.

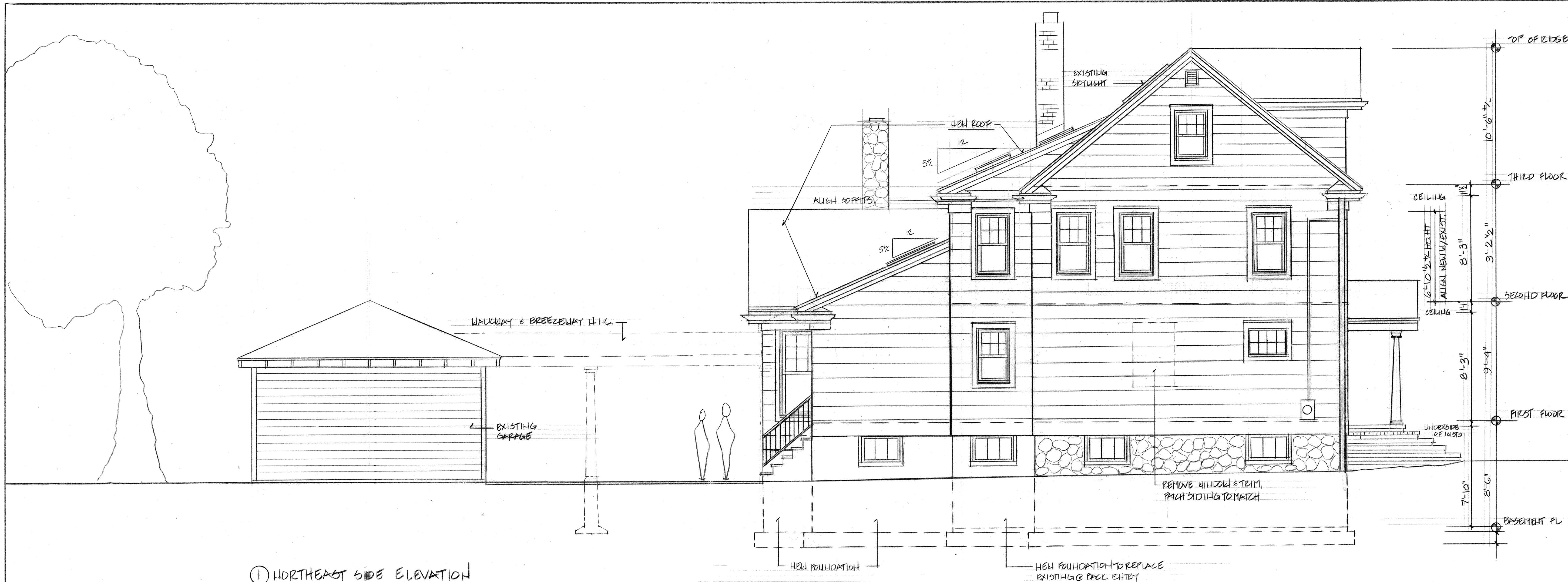
- ROOF PLAN NOTES:**
- All work to be done in conformance with local building codes.
 - Water and Ice Shield to be installed as per manufacturer's specifications, with a minimum of two rows as starter. On pitches less than 4/12 and in all valleys, Water and Ice Shield to be installed continuously for full coverage.
 - Flash and counterflash at all openings as required and as indicated on plans.
 - No venting required where closed cell spray insulation is used.
 - Use 6" of closed cell insulation in all new roof areas for a total R-Value of 38.
 - Install continuous ridge and soffit vents as noted on plans to provide adequate venting as required by code in areas not insulated with closed cell spray insulation.
 - Keep all plumbing vents to back of ridge lines wherever possible.
 - Use low pitch installation guide for roofing shingles at crickets and areas where roof pitch falls below 4/12 as per manufacturer's specifications.
 - H250 tie downs at each rafter and joist, typical.
 - "ZIPWALL" roof sheathing throughout.
 - New Roof Specification as follows:**
Shingle Roof. To match existing with 30 year architectural fiberglass roof shingles installed as per manufacturer's instructions.

ARCHITECTURE / INTERIORS
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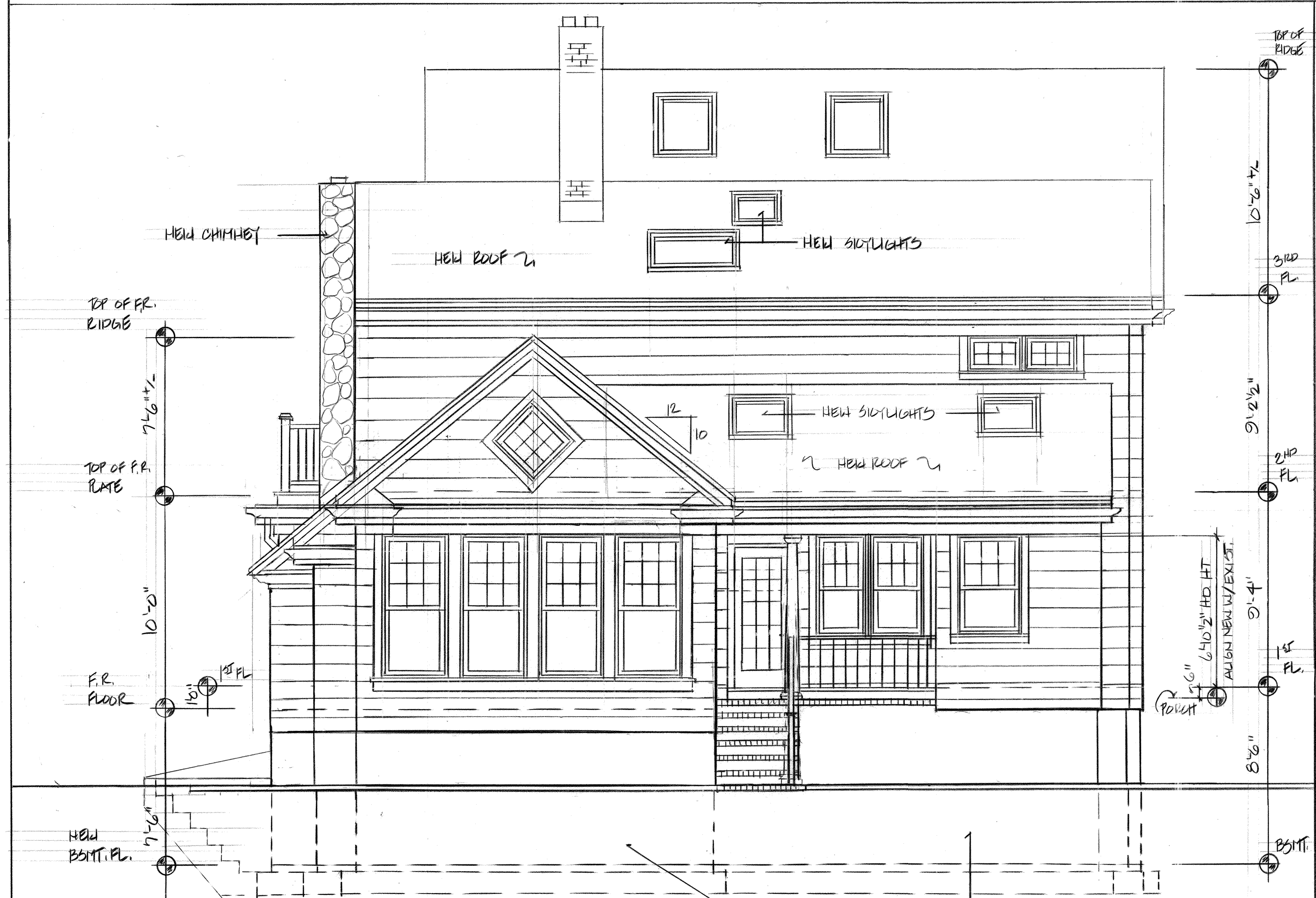
ADDITION TO & RENOVATION OF THE RESIDENCE OF: PAMELA & MIKE MCNAMARA
140 POMFRET STREET
WEST ROXBURY, MA 02132

SECOND FLOOR & ROOF CONSTRUCTION PLAN

SCALE 1/4" = 1'-0"	ISSUED 10/23/14
REVISED	REVISION NO.
	A-2
MA LICENSE #9669	DRAWING NO.



① NORTHEAST SIDE ELEVATION



② SOUTHEAST BACK ELEVATION



③ SECTION

- ELEVATION NOTES:**
- All work to be done in conformance with local building codes.
 - All exterior sheathing to be ZIPWALL to be installed as per manufacturer's specifications.
 - New siding to match existing.
 - See window and door schedules for specifications.
 - All leaders and gutters to be heavy duty white aluminum. Down spouts extended as required to direct water away from foundation.
 - All exterior trim, including window and door casings, corner boards and fascias to match existing in detail but done in Azek or equivalent PVC no maintenance material.
 - Continuous soffit vents throughout where closed cell sprayed insulation is *not* used.
 - Back Deck:** Floor: Stone or pavers selected by owner. Railing: Azek composite railing in white, style to be selected by owner. Ceiling: Azek Beadboard in white, narrow boards.
 - Column Specification:**
EXTERIOR:
Turncraft Poly-Classic FRP Columns:
(1) @ 8'-0" L x 8" diameter smooth Tuscan tapered round column, height to be verified before ordering, height cut to fit as required; Tuscan Base and Cap, Base, 10 7/8" W x 4 1/4" H, Cap, 9 7/8" W x 2 11/16" H.
 - Strip back siding at intersection of new roof to back wall and run Ice and Water Shield 18" onto roof and up side wall continuously.

- SECTION NOTES:**
- See framing plans for joist sizes and spacing.
 - See elevations for floor-to-floor heights.
 - Contractor to verify direction and size of existing floor joists. If conditions differ from those assumed, notify architect immediately.

NO.	DATE	REVISION

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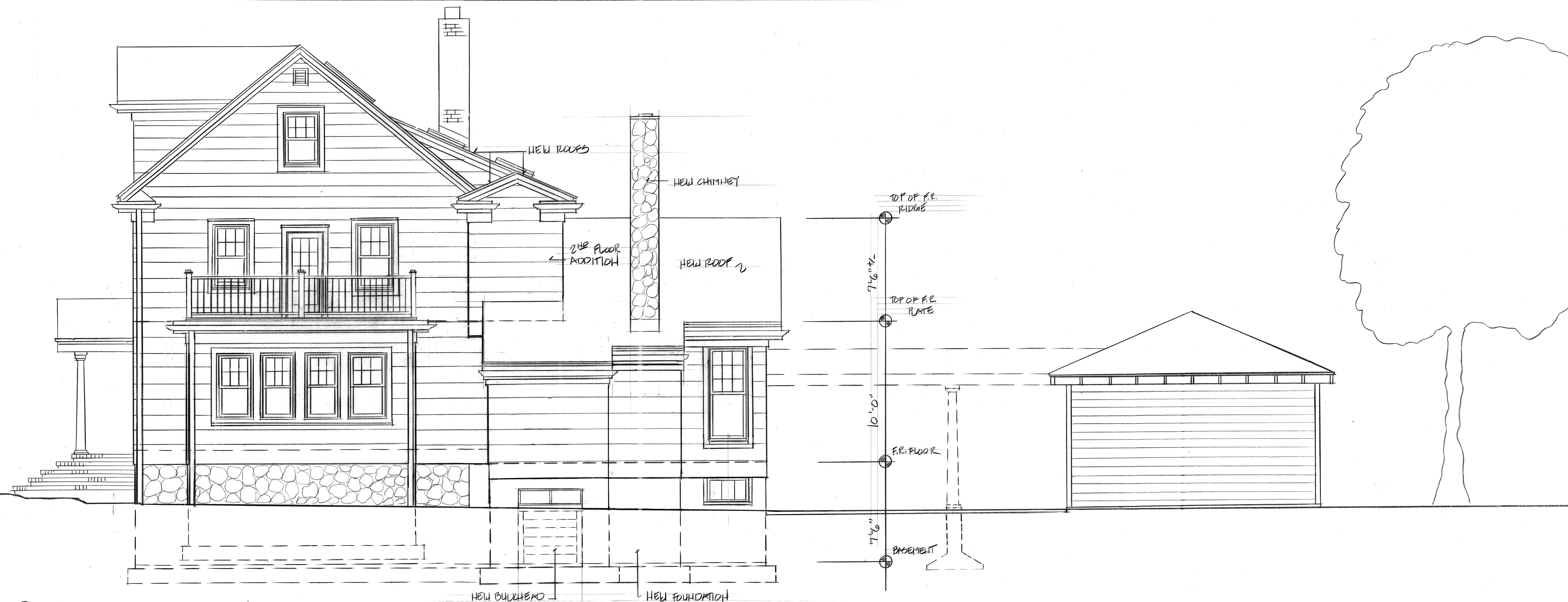
ADDITION TO & RENOVATION OF THE RESIDENCE OF: PAMELA & MIKE MCNAMARA 140 POMFRET STREET WEST ROXBURY, MA 02132

SIDE & BACK ELEVATIONS, SECTION 3

SCALE 1/4" = 1'-0" ISSUED 10/28/14

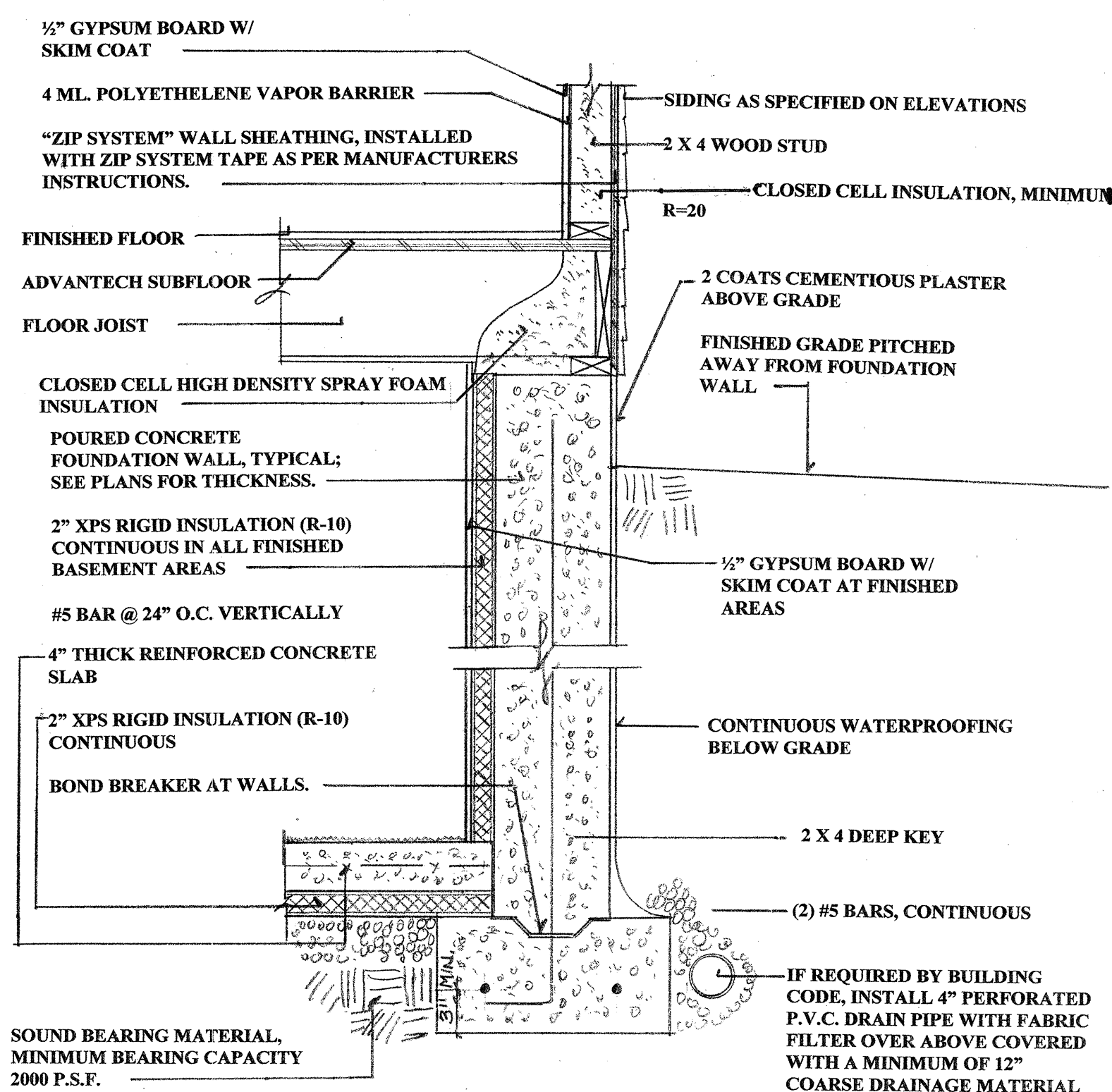
REVISED REVISION NO.

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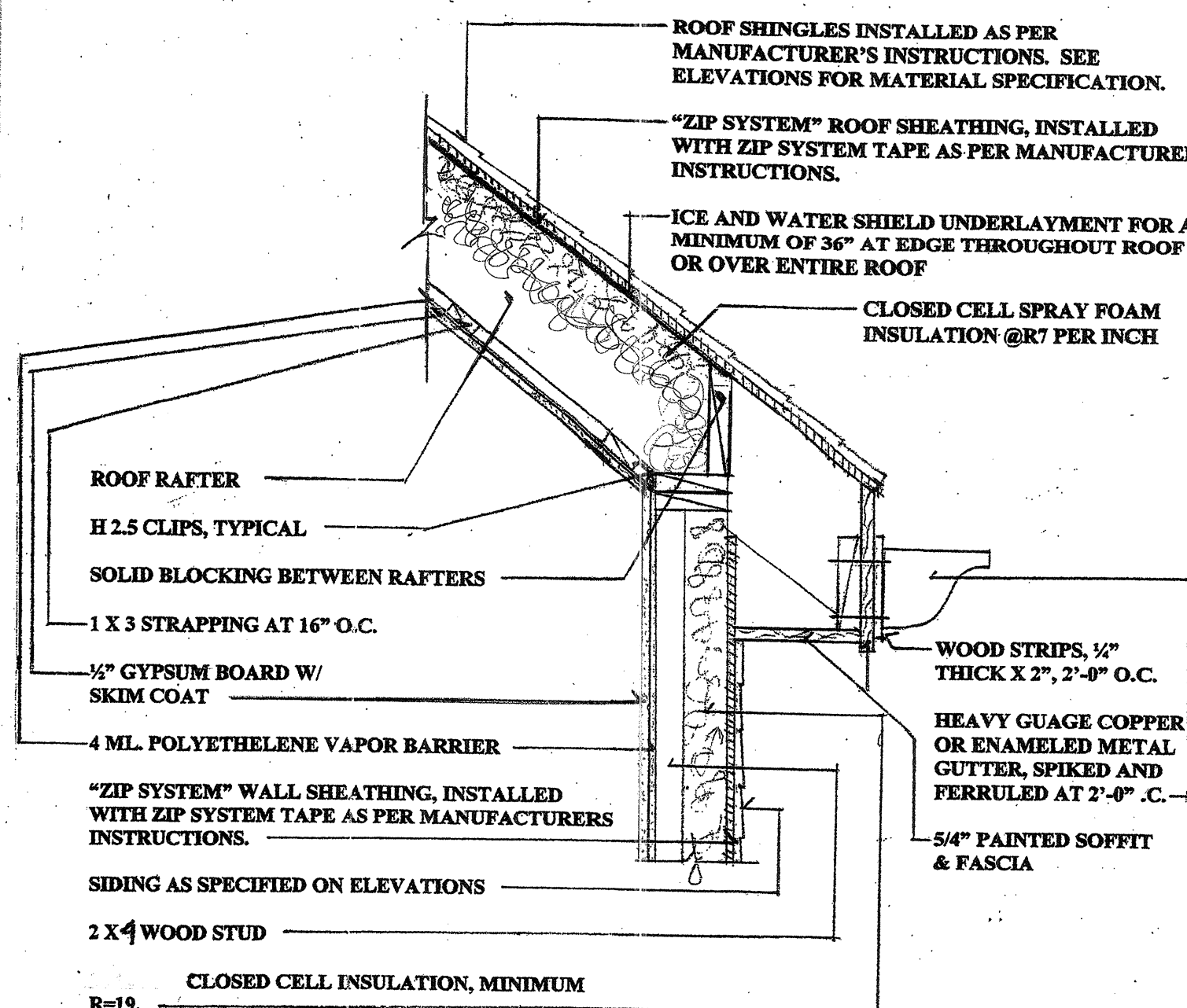


③ SOUTHWEST SIDE ELEVATION

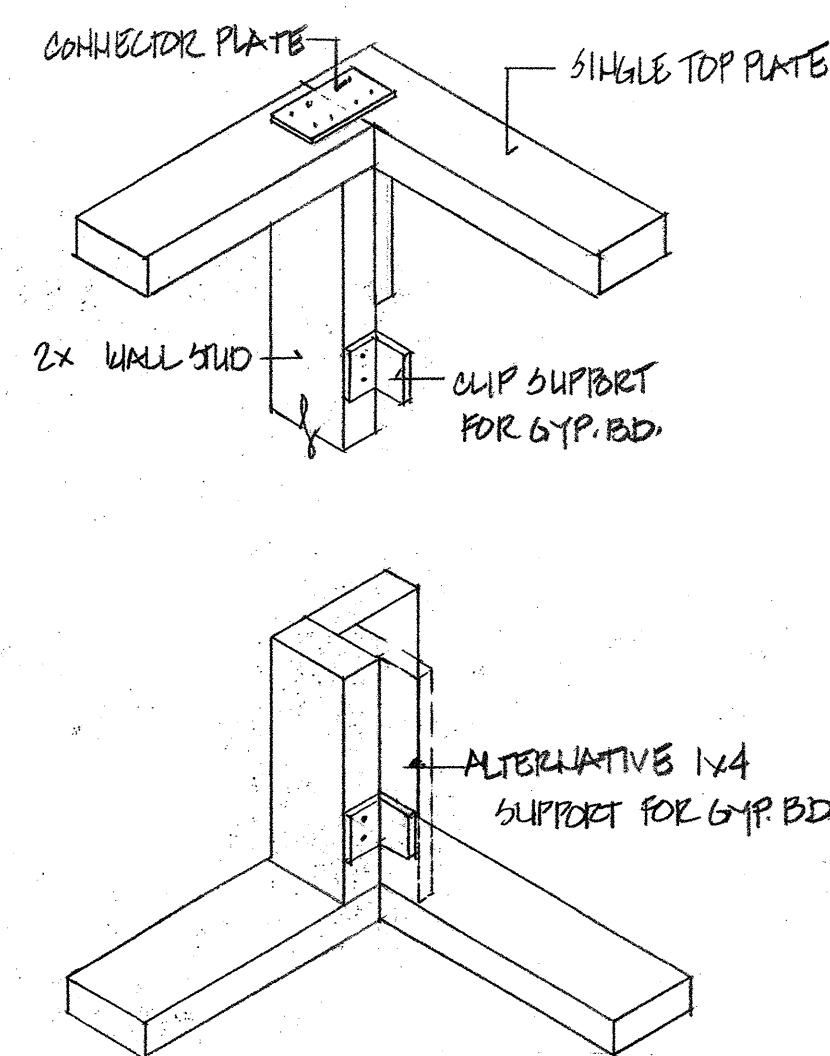
- ELEVATION NOTES:**
- All work to be done in conformance with local building codes.
 - All exterior sheathing to be ZIPWALL to be installed as per manufacturer's specifications.
 - New siding to match existing.
 - See window and door schedules for specifications.
 - All leaders and gutters to be heavy duty white aluminum. Down spouts extended as required to direct water away from foundation.
 - All exterior trim, including window and door casings, corner boards and fascias to match existing in detail but done in Azek or equivalent PVC no maintenance material.
 - Continuous soffit vents throughout where closed cell sprayed insulation is not used.
 - Back Deck:** Floor: Stone or pavers selected by owner. **Railing:** Azek composite railing in white, style to be selected by owner. **Ceiling:** Azek Beadboard in white, narrow boards.
 - Column Specification:**
EXTERIOR:
Turncraft Poly-Classic FRP Columns:
(1) @ 8'-0" L X 8" diameter smooth Tuscan tapered round column, height to be verified before ordering, height cut to fit as required, Tuscan Base and Cap: Base: 10 7/8" W x 4 1/2" H, Cap: 9 7/8" W x 2 11/16" H.
 - Strip back siding at intersection of new roof to back wall and run Ice and Water Shield 18" onto roof and up side wall continuously.



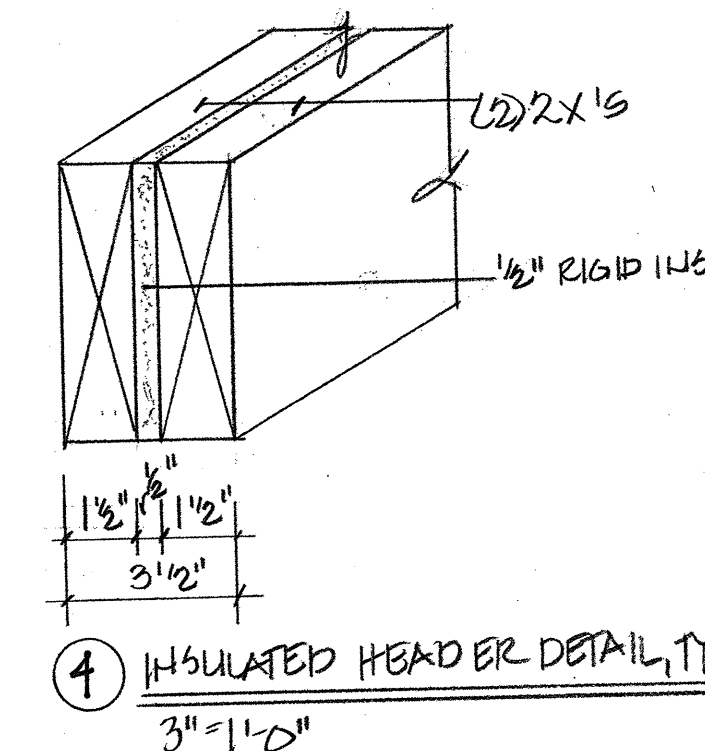
① WALL SECTION: BASEMENT/ FIRST FLOOR
1" = 1'-0"



② WALL/ROOF SECTION AT CATHEDRAL CEILING
1" = 1'-0"



③ CORNER FRAMING DETAIL, TYPICAL
1 1/2" = 1'-0"



④ INSULATED HEADER DETAIL, TYPICAL
3" = 1'-0"

PLUMBING FIXTURE SCHEDULE

ROOM	FIXTURE	MANUFACTURER	MODEL #	COLOR	FAUCETS/FITTINGS
FIRST FLOOR					
KITCHEN	SINK	EXISTING TO REMAIN.			
POWDER RM.	SINK	T.B.D.	T.B.D.	T.B.D.	T.B.D.
POWDER RM.	TOILET	T.B.D.	T.B.D.	T.B.D.	
SECOND FLOOR					
LAUNDRY	WASHER	T.B.D.	T.B.D.	T.B.D.	N.A.
LAUNDRY	DRYER	T.B.D.	T.B.D.	T.B.D.	N.A.
LAUNDRY	SINK	T.B.D.	T.B.D.	T.B.D.	T.B.D.
MAIN BATH	SINK	T.B.D.	T.B.D.	T.B.D.	T.B.D.
MAIN BATH	TOILET	T.B.D.	T.B.D.	T.B.D.	N.A.
MAIN BATH	TUB/SHOWER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
MAIN BATH	SHOWER HEAD	GROHE OR SIMMONS	T.B.D.	T.B.D.	T.B.D.
MASTER BATH	SINK	T.B.D.	T.B.D.	T.B.D.	
MASTER BATH	TOILET	T.B.D.	T.B.D.	T.B.D.	N.A.
MASTER BATH	SHOWER HEAD	T.B.D.	T.B.D.	T.B.D.	T.B.D.

REVISIONS

NO.	DATE	REVISION

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ADDITION TO & RENOVATION OF THE RESIDENCE OF:
PAMELA & MIKE MCNAMARA
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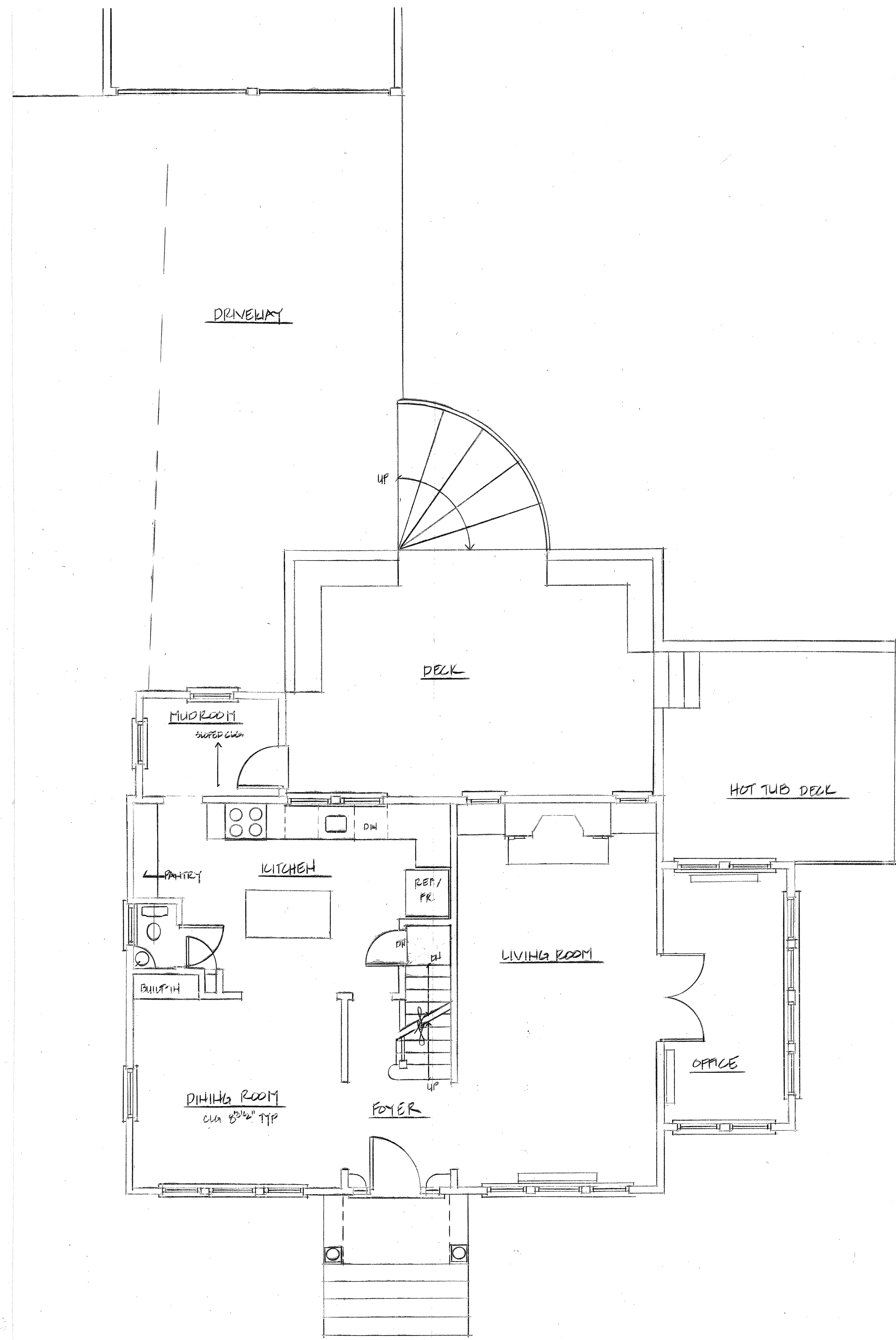
SIDE ELEVATION DETAILS

PLUMBING FIXTURE SCHEDULE

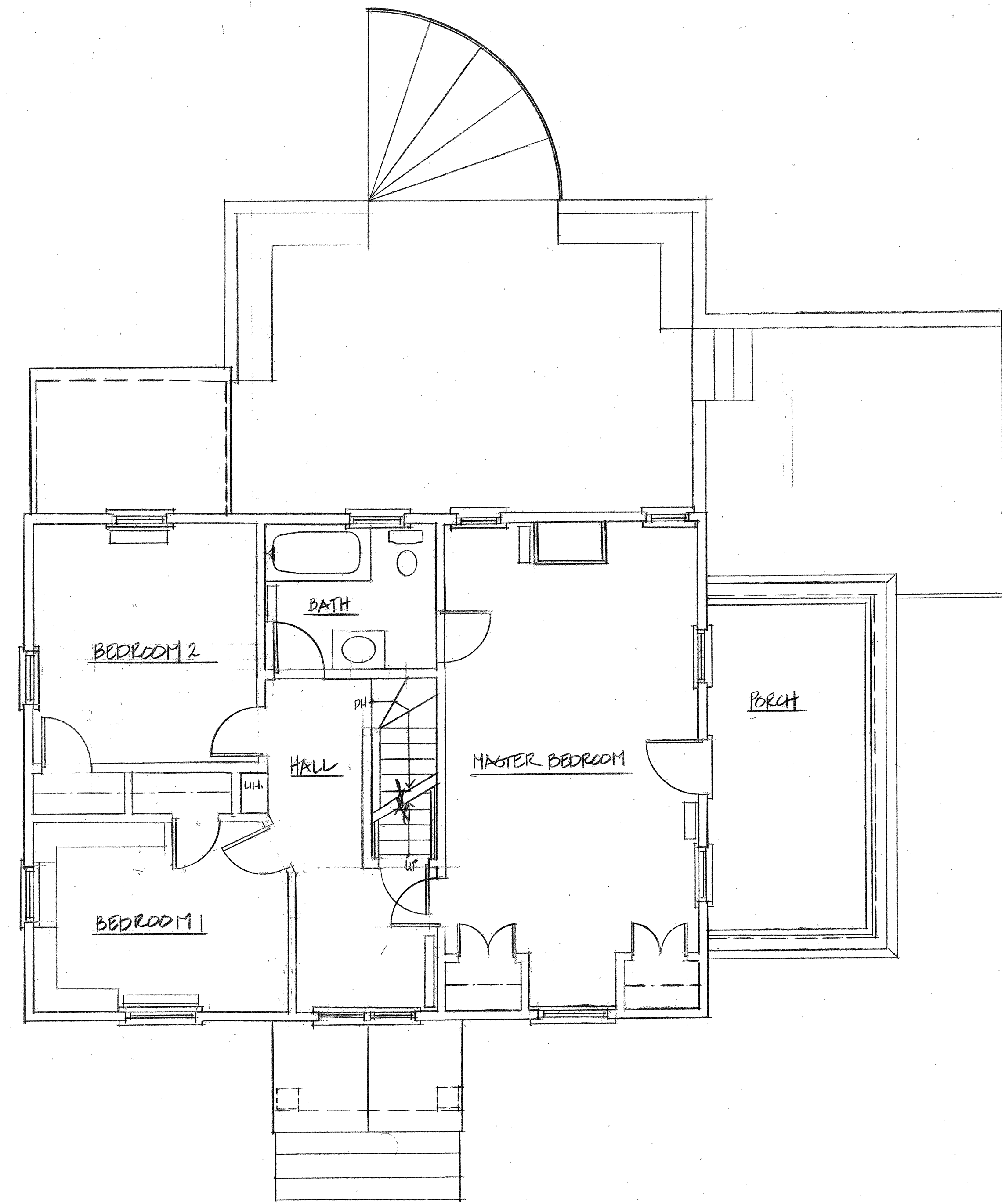
SCALE 1/4" = 1'-0" ISSUED 10-23-14

REVISED REVISION NO.

MA LICENSE #9669 **A-1** DRAWING NO.



① EXISTING FIRST FLOOR PLAN



② EXISTING SECOND FLOOR PLAN

REVISIONS NO.	DATE	REVISION

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ADDITION TO & RENOVATION OF THE RESIDENCE OF:
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EXISTING 1ST & 2ND
 FLOOR PLANS

SCALE 1/4" = 1'-0"	ISSUED 10/23/14
REVISED	REVISION NO.

MA LICENSE #9669

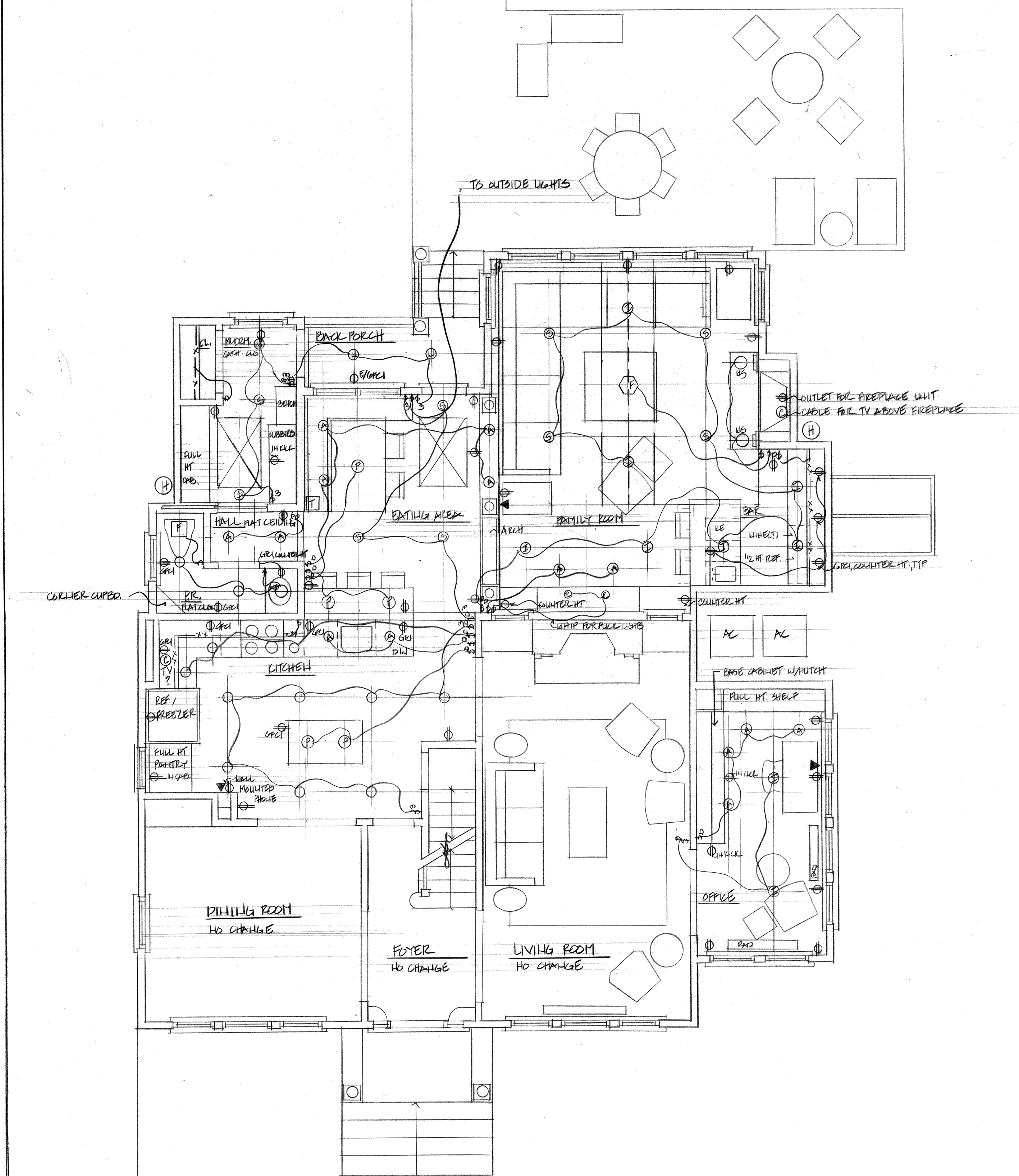
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ELECTRICAL & LIGHTING LEGEND:

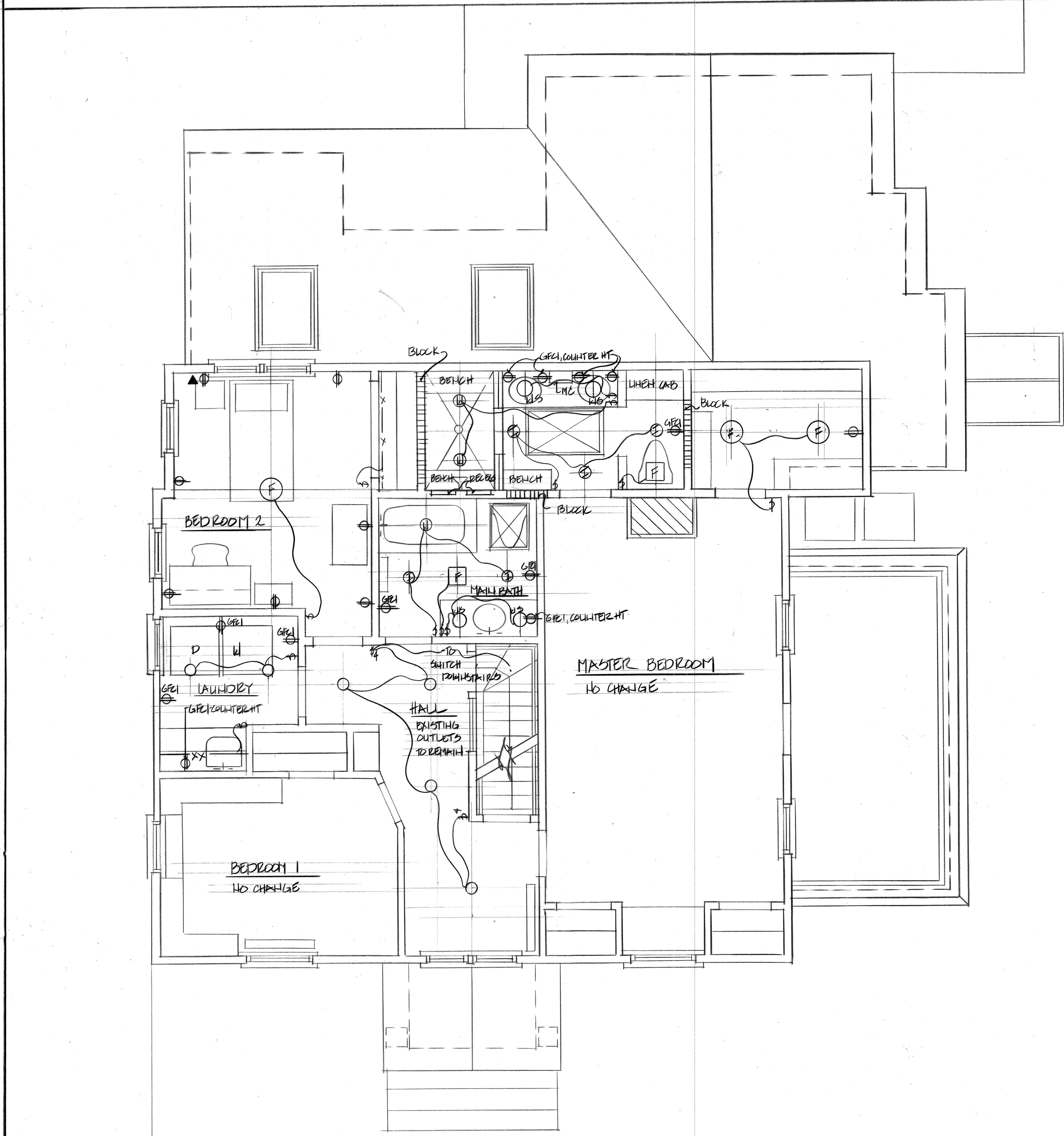
- ⊕ Duplex Outlet, Decora, in color selected by owner.
- ⊕/GFI Duplex Outlet, Decora, with GFCI
- ⊕/GFI/E Duplex Outlet, Decora, with GFCI for Exterior Use
- ⊕ Switch, Decora or Lutron, color to be selected by owner.
- ⊕/3 3-way Switch, Decora or Lutron, in color selected by owner.
- ⊕/4 4-way Switch, Decora or Lutron, in color selected by owner.
- ⊕ Dimmer, Lutron, slider with on-off switch sized to match load and bulb type (LED or MR 16).
- ▲ Telephone
- ⊠ Thermostat, to be located on site with owners' approval.
- ⊙ Cable Outlet
- ⊙ Recessed light, Lightolier, Lytecaster, Line Voltage, 1000AICM, 5" aperture, insulated ceiling AirSeal frame-in kit with 1013 Specular Clear Reflector Trim Kit, Philips, LED, BR30 Flood, Warm Glow Dimmable Light, Soft White, 9.5W, 730 lumens.
- Recessed light, Lightolier, Lytecaster, Line Voltage, 1003R, 5" Aperture Cone, non-insulated ceiling frame-in kit for existing ceilings, with trim kit 1013 Specular Clear Reflector Trim Kit, Philips, LED, BR30 Flood, Warm Glow Dimmable Light, Soft White, 9.5W, 730 lumens.
- ⊙ Recessed light, Lightolier, Lytecaster, Line Voltage for sloped ceilings 7/12 - 12/12 pitch, 1100AICM, 6 3/4" aperture, insulated ceiling AirSeal frame-in kit with 1013 Specular Clear Reflector Trim Kit, 75W PAR30 (short neck) halogen bulb or LED bulb recommended by supplier and approved by owner.

- ⊙ Recessed light, Lightolier, Lytecaster, Line Voltage, 1002P1, 5" Aperture Cone, non-insulated ceiling frame-in kit with 1084CD Open Wet Location Trim Kit, Philips, LED, BR30 Flood, Warm Glow Dimmable Light, Soft White, 9.5W, 730 lumens.
- ⊕ Under cabinet lighting, Juno, Pro-Series LED Undercabinet Fixtures, Designer White Finish, lengths as required. Connect multiple fixtures with jumper cords as per manufacturer's specifications.
- ⊙ Junction Box for Ceiling Mounted Pendant fixture to be provided by owner and installed by contractor.
- ⊙ Junction Box for Ceiling Mounted Flush fixture to be provided by owner and installed by contractor.
- ⊙ Junction Box for Ceiling Mounted Fan to be provided by owner and installed with blocking as required by contractor.
- ⊙ Puck lights—run whip to cabinet location.
- ⊙ Hose Bib, Frost Proof

- ELECTRICAL, MECHANICAL & SYSTEMS NOTES:**
1. ALL ELECTRICAL WORK TO BE DONE TO CODE.
 2. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS DONE TO CODE.
 3. Mechanical system to be reviewed on site with the General Contractor, HVAC Sub-contractor and owners to determine the most efficient way to provide heat to the new space and AC to all areas including the existing house.
 4. All plumbing vent stacks to be located to rear of ridge line wherever possible.
 5. Provide positive lever-type shut-offs at all sinks, and toilets.
 6. All hose-bibs to be frost-proof.
 7. All existing outlets to remain but to be upgraded to code, i.e. GFCI where required. Keep existing outlets on their own circuits.
 8. All outlets and telephone jacks to be located at height to match existing unless noted otherwise.
 9. All switches to be mounted at height to match existing switches unless noted otherwise.
 10. All interior recessed lights, ceiling lights, and wall sconces to be on dimmer unless noted otherwise. Dimmers to be sized to match load.
 11. ALL LIGHTING AND OUTLET LOCATIONS TO BE REVIEWED WITH OWNER TO VERIFY LOCATIONS BEFORE ELECTRICAL WORK IS BEGUN.
 12. Thermostat locations to be determined by mechanical sub-contractor and owner.
 13. Kitchen Layout, Contractor responsible for installation of owner's relocated appliances.
 14. All kitchen and laundry outlets to be GFCI to code. All outlets at counters to be 40" A.F.F. to CL. Confirm placement and height of outlets at countertops once tile back splash is designed.
 15. ALL FIXTURE SPECIFICATIONS TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING. NO SUBSTITUTIONS FOR LIGHTING FIXTURES SPECIFIED.
 16. Sound System, speakers, intercom N.I.C. Provided by owner or owner's consultant.



① FIRST FLOOR LIGHTING, ELECTRICAL & SYSTEMS PLAN



② SECOND FLOOR LIGHTING, ELECTRICAL & SYSTEMS PLAN

NO.	DATE	REVISION

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 WEST ROXBURY, MA 02132

FIRST & SECOND FLOOR LIGHTING,
 ELECTRICAL & SYSTEMS PLANS

SCALE 1/4" = 1'-0"	ISSUED 10-23-14
REVISED	REVISION NO.

MA LICENSE #9669 E-1
 DRAWING NO.