



Martin J. Walsh
Mayor

Boston Inspectional Services Department

Planning and Zoning Division

1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Sean Lydon
Inspector of Buildings

MORE INFORMATION REQUEST LETTER

January 23, 2019

THOMAS MC DONAGH
77 OAK ST
NEWETON, MA 02464

RE: Application #: **ERT841883**
Location: 62 Potomac ST, Ward 20
Zoning District: West Roxbury Neighborhood, 1F-8000
Purpose: Construct single family home.

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

1. **City Agencies' Approvals:**

- Boston Planning and Development Agency: Two Sets of Approved Drawings: Due to NDOD (Neighborhood Design Overlay District)
- Department of Public Works
- Environmental Sanitation Department

2. **Additional Information/Comments:**

ALSO, SUBMIT ENERGY STRETCHCODE COMPLIANCE CERTIFICATE

All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.

Marc A Joseph, Plans Examiner
marc.joseph@boston.gov / (617) 961-3233

- (SD) — PHOTO-ELECTRIC SMOKE DETECTOR
- (HD) — HEAT DETECTOR HD shall be interconnected with SD (household fire alarm system) inside the main dwelling
Location: 1 detector centered on garage ceiling or per floor plan
- (CO) — CARBON MONOXIDE DETECTOR
Located 10' max. from all bedrooms and (1) on first floor
- ALL DIMENSIONS TO STUD FACE
- 2x4 WALLS @ 3 1/2" WIDTH (TYPICAL INTERIOR WALLS)
- 2x6 WALLS @ 5 1/2" WIDTH (TYPICAL EXTERIOR WALLS)

R D K
ARCHITECTS

825 BEACON ST SUITE #10
NEWTON CENTRE, MA 02459
PHONE: 617-571-0645
rdkarchitects@comcast.net
www.rdkarchitects.com

PROJECT:
NEW HOUSE

**62 PATOMIC STREET
WEST ROXBURY, MA**

BUILDER:
**DEDHAM
DEVELOPMENT**

FIRST FLOOR AREA: 1,816 SQ FT
SECOND FLOOR AREA: 1,800 SQ FT
BASEMENT FINISHED AREA: 260 SQ FT
ATTIC FLOOR (UNFINISHED): 0 SQ FT
TOTAL FINISHED FLOOR AREA: 3,876 SQ FT

DATE:
OCTOBER 16, 2018

REVISIONS:

BUILDER / GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL SUB-CONTRACTORS ARE WORKING FROM MOST CURRENT ISSUE DATE.

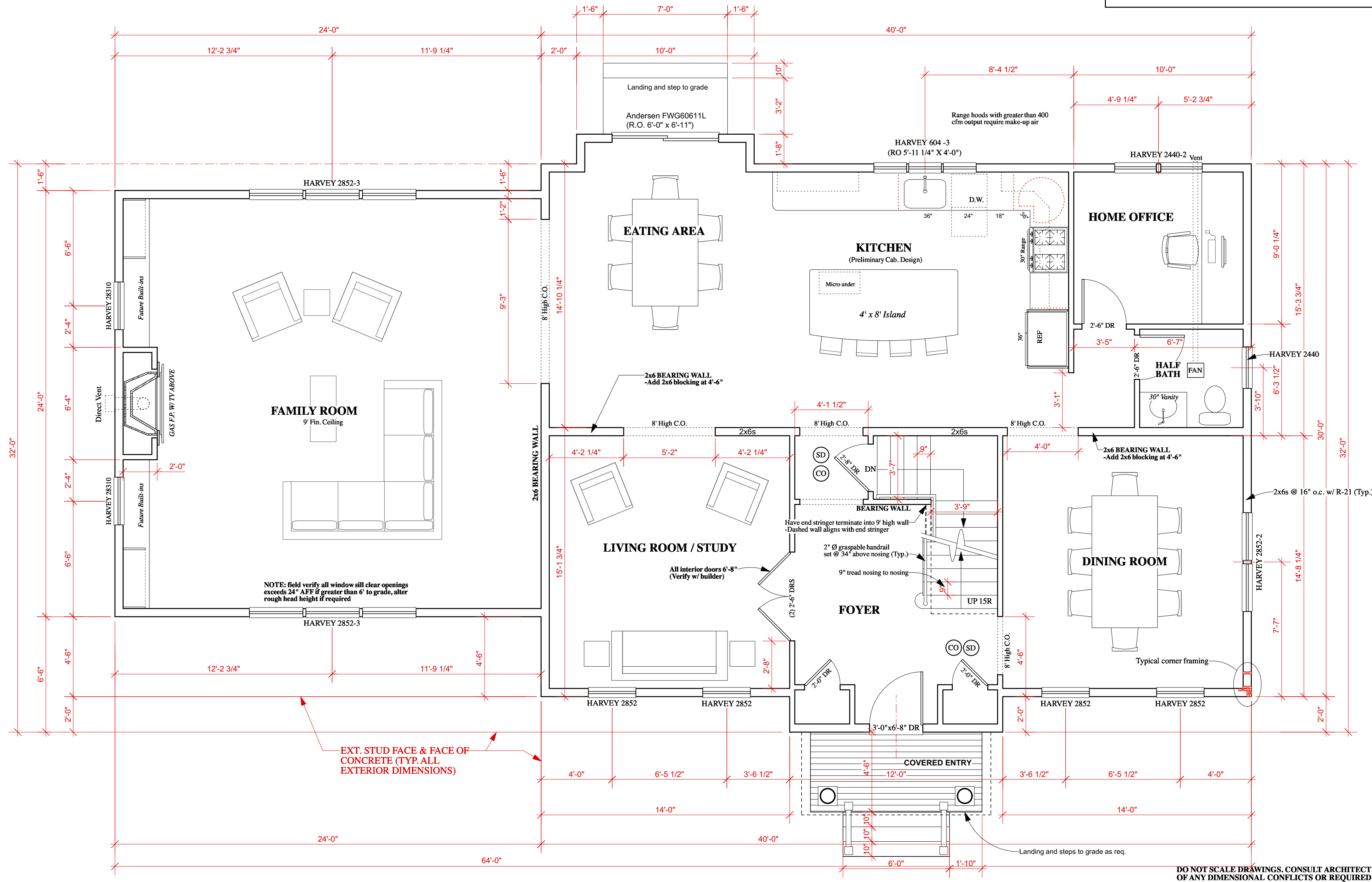
The architectural plans, drawings, designs, specifications and other arrangements on this sheet are and shall remain the property of RDK Architects. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than the specified project for which they have been prepared and developed, without the express knowledge and written consent of RDK Architects.

REGISTRATION:

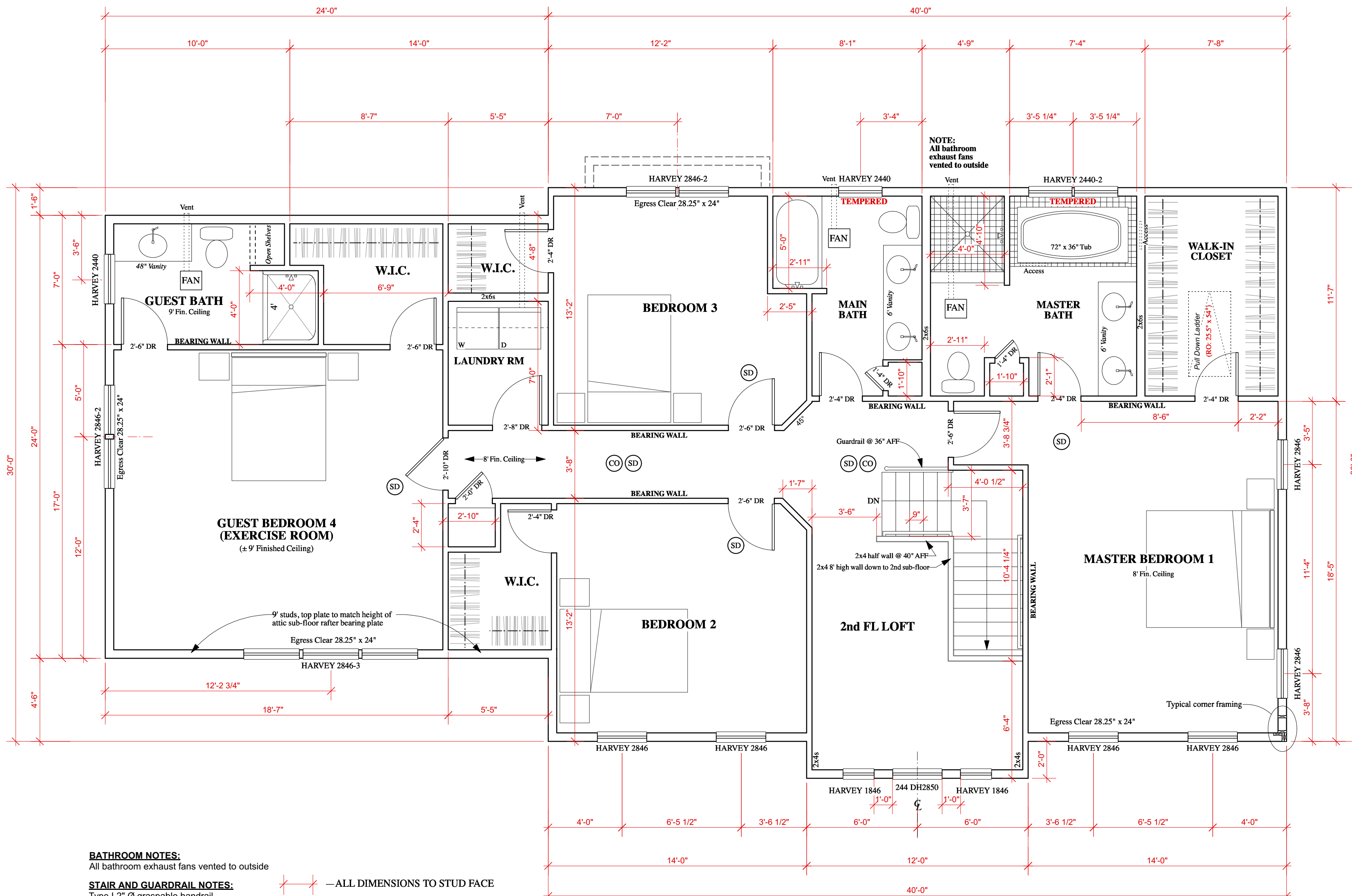
SCALE:
1/4" = 1'-0"

SHEET TITLE:
FIRST FLOOR PLAN

SHEET NUMBER:
A-1



DO NOT SCALE DRAWINGS. CONSULT ARCHITECT OF ANY DIMENSIONAL CONFLICTS OR REQUIRED DIMENSIONS NOT INDICATED ON THE DRAWINGS.



BATHROOM NOTES:
All bathroom exhaust fans vented to outside

STAIR AND GUARDRAIL NOTES:
Type 1 2" Ø graspable handrail set @ 34" above nosing (Typ.)
Guardrail @ 36" AFF with balusters spaced to prevent 4" Ø sphere (Typ.)

- ALL DIMENSIONS TO STUD FACE
- 2x4 WALLS @ 3 1/2" WIDTH
- 2x6 WALLS @ 5 1/2" WIDTH

DO NOT SCALE DRAWINGS. CONSULT ARCHITECT OF ANY DIMENSIONAL CONFLICTS OR REQUIRED DIMENSIONS NOT INDICATED ON THE DRAWINGS.

RIDGE HEIGHT NOTE:
-PROPOSED RIDGE HEIGHT IS LIMITED TO 35'-0" ABOVE NEW AVERAGE GRADE.
-SURVEY ENGINEER'S CALCULATION OF AVERAGE GRADE SHALL SUPERCEDE ANYTHING NOTED ON ARCHITECT'S DRAWINGS.
-AS-BUILT T.O.C. ELEVATION SHALL BE VERIFIED PRIOR TO FRAMING BY BUILDER/OWNER TO CONFORM WITH ENGINEER'S MAXIMUM RIDGE ELEVATION.
-ROOF PITCH TO BE FIELD MODIFIED IF NECESSARY.
-FRAMING SUB-CONTRACTOR NOT TO BEGIN ROOF UNTIL HEIGHT IS APPROVED BY ARCHITECT.

PROPOSED HIGHEST RIDGE
(NOT TO EXCEED 35'-0" FROM AVG. GRADE)



FRONT ELEVATION

DO NOT SCALE DRAWINGS. CONSULT ARCHITECT OF ANY DIMENSIONAL CONFLICTS OR REQUIRED DIMENSIONS NOT INDICATED ON THE DRAWINGS.

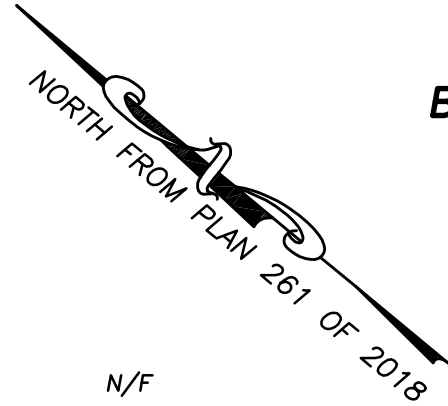
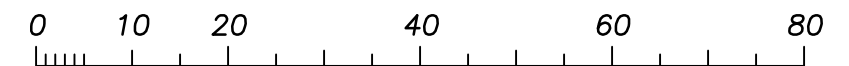
BUILDING PERMIT PLAN
 62 POTOMAC STREET
BOSTON (WEST ROXBURY), MASSACHUSETTS

INCH = 20 FEET OCTOBER 19, 2018

SNELLING & HAMEL ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS & ENGINEERS
 10 LEWIS STREET P.O. BOX 102
 LINCOLN, MASSACHUSETTS 01773
 (781) 259-0071

OWNER OF RECORD:
 DEDHAM DEVELOPMENT LLC
 BK.58862 PG.329

1 INCH = 20 FEET



N/F
 EUGENE J. ARTHUR
 &
 LOIS H. ARTHUR

N/F
 OTHER LAND OF OWNER

N/F
 FREDERICK A. LYDON
 &
 JEANNE M. RAYNE

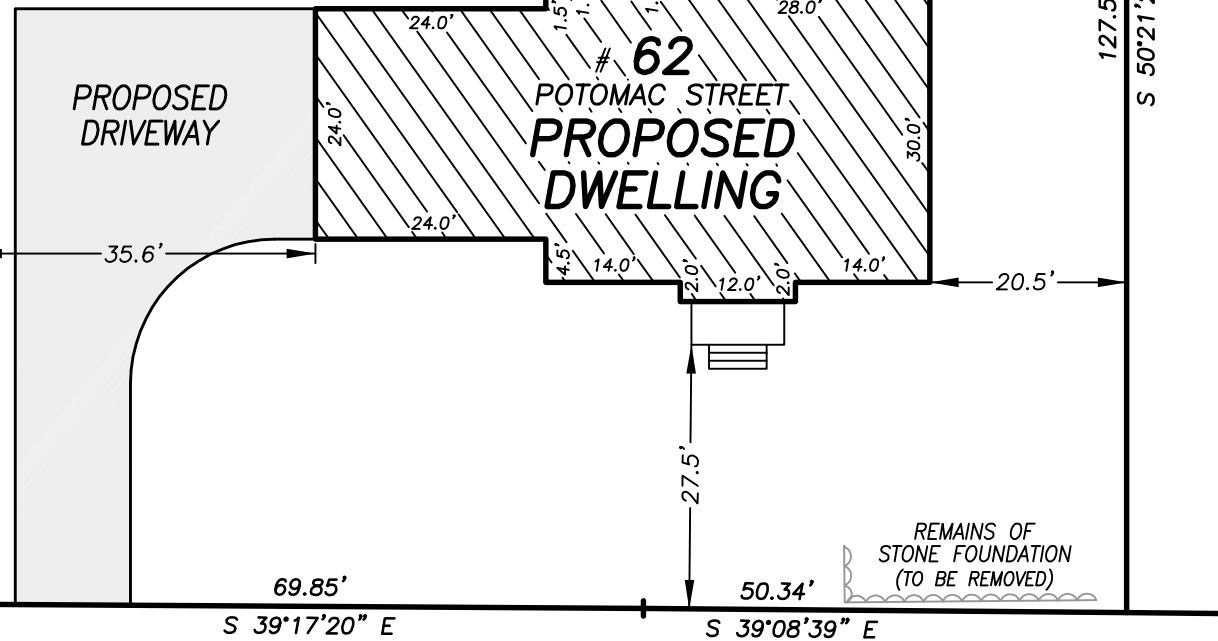
N/F
 ILYA ESKIN
 &
 NATALYA PRITYKINA

N/F
 PANAGIOTIS KALAFATOPOULOS
 &
 SOPHIA KALAFATOPOULOS

LOT B1
 15,267± SQ. FT.

S 50°21'21" W 126.63'

S 50°21'21" W 127.50'



69.85' S 39°17'20" E
 50.34' S 39°08'39" E

POTOMAC STREET

NOTE:

- ZONING DISTRICT: 1F-8000

PLAN REFERENCE:

- PLAN NUMBER 261 OF 2018

I HEREBY STATE THAT THE LOCATION OF THE STONE FOUNDATION REMAINS IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF APRIL 3, 2018, WITH THE USE OF A TOPCON TOTAL STATION.

JOHN R. HAMEL
 PROFESSIONAL
 LAND SURVEYOR

DATE: