

62 POTOMAC STREET

WEST ROXBURY, MA 02132

PERMIT SET

SEPTEMBER 26, 2016

ARCHITECT

SöKA
studio

6 UPLAND AVENUE
BOSTON, MA 02124
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PROJECT TEAM

ABBREVIATIONS

ALUM A.F.F.	ALUMINUM ABOVE FINISH FLOOR	LT.	LIGHT
ARCH	ARCHITECTURAL	MAX MFR MIN MLWK M.O. MTD.	MAXIMUM MANUFACTURER MINIMUM MILYWORK MASONRY OPENING MOUNTED
BLDG BLKG	BUILDING BLOCKING	N.I.C. NO N.T.S.	NOT IN CONTRACT NUMBER NOT TO SCALE
C.L. CLG CLR COL. CONC. CONT.	CENTER LINE CEILING CLEAR COLUMN CONCRETE CONTINUOUS	O.C. O.D.	ON CENTER OUTSIDE DIAMETER
DEMO DIAG DIA. DISP DN. DWGS	DEMOLISH DIAGONAL DIAMETER DISPENSER, DISPOSER DOWN DRAWING(S)	PLAM PLYWD PT PT(D).	PLASTIC LAMINATE PLYWOOD PRESSURE TREATED PAINT(ED)
EA ELEC EQ. EQUIP. ELEV. EXT. (E)	EACH ELECTRIC(AL) EQUAL EQUIPMENT ELEVATION EXTERIOR EXISTING	RAD. RCP REQD R.O.	RADIUS REFLECTED CEILING PLAN REQUIRED ROUGH OPENING
F.F. FLUOR. F.R.T.	FINISH FLOOR FLUORESCENT FIRE RETARDANT TREATED	SC. SCHED. SIM SPEC S STL. STL. SQ. SUSP.	SOLID CORE SCHEDULE SIMILAR SPECIFICATION STAINLESS STEEL STEEL SQUARE SUSPENDED
GALV. GC	GALVANIZED GENERAL CONTRACTOR	T.O.B.	TOP OF BEAM
HCP. H.P. H.M. HWH GWB. INSUL. INTR.	HANDICAPPED HIGH POINT HOLLOW METAL HOT WATER HEATER GYPSUM WALL BOARD INSULATED INTERIOR	TYP. VCT VNR. WMPD. WD	TYPICAL VINYL COMPOSITION TILE VENEER TEMPERED WOOD

SYMBOLS

SECTION KEY:	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL SECTION KEY:	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL PLAN KEY:	
	DRAWING NUMBER
	SHEET NUMBER
ELEVATION MARK:	
	ELEVATION HEIGHT
	RELATIVE LOCATION

GENERAL NOTES AND REQUIREMENTS

1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS REQUIRED FOR CONSTRUCTION INCLUDING BUT NOT LIMITED TO PERMITS PERTAINING TO SITE WORK, UTILITIES, BRA REQUIREMENTS, ETC. AS WELL AS PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
3. THESE DRAWINGS SHOW ARCHITECTURAL DESIGN AND STRUCTURAL SCOPE ONLY. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL MECHANICAL, ELECTRICAL, PLUMBING, AS WELL AS ANY GEO-TECHNICAL STUDIES THAT MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SOIL BEARING CAPACITY, SITE DRAINAGE, AND GROUND WATER/WATER TABLE STUDIES.
4. OWNER/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE DESIGN AND/OR INSTALLATION OF ALL SITE UTILITY WORK, TOPOGRAPHICAL SURVEYS, RETENTION SYSTEMS, AND ANY OTHER SITE RELATED WORK, AND SHALL WORK WITH THE CITY AS NEEDED TO COORDINATE THE WORK.
5. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE AND ADJACENT PROPERTY PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION.
6. ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
7. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
8. CONTRACTOR SHALL BE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
9. CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD, BRA, CITY, ZONING, OR SIMILAR ASSOCIATION RULES AND GUIDELINES AND SHALL NOTIFY NEIGHBORS OF EXPECTED EXCESSIVE OR EXTENSIVE NOISE OR OTHER DISTURBANCES.
10. CONTRACTOR MUST HAVE CLARITY ON THE TIME FRAME IN WHICH THIS PROJECT IS TO BE COMPLETED AND IS RESPONSIBLE FOR NOTIFYING THE OWNER AND ARCHITECT OF ANY CONFLICTS, CONCERNS OR IMPEDIMENTS EXPECTED IN MEETING THIS TIME FRAME.
11. ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
12. IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
13. DRAWINGS INDICATE DESIGN INTENT ONLY. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
14. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION COORDINATION BETWEEN THE TRADES, AND IS RESPONSIBLE FOR DETERMINING BEST MEANS AND METHODS OF CONSTRUCTION. IF THE CONTRACTOR HAS CONCERNS WITH HOW THE DRAWINGS SUGGEST CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE ARCHITECT TO DISCUSS ALTERNATIVE MEANS.
15. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
16. DO NOT SCALE THESE DRAWINGS. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY.
17. THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
18. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
19. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED. USE 5/8" CEMENTITIOUS BACKER BOARD AT ALL BATHROOMS.
20. ALL NEW INTERIOR WALL FRAMING SHALL BE 2x4 AT 16" ON CENTER UNLESS OTHERWISE NOTED. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING INFORMATION

LIST OF DRAWINGS

COVER

SITE PLAN

A1.1 BASEMENT AND FIRST FLOOR PLAN
A1.2 SECOND FLOOR AND ROOF PLANS
A2.1 ELEVATIONS
A2.2 ELEVATIONS AND SECTIONS

S-1 FOUNDATION PLAN, FIRST FLOOR FRAMING PLANS, NOTES
S-2 SECOND FLOOR FRAMING PLAN AND SECTIONS
S-3 ATTIC AND ROOF FRAMING PLANS

PROJECT DESCRIPTION, CODE SUMMARY

PROJECT DESCRIPTION AND SCOPE:
NEW CONSTRUCTION; 3,100 SF SINGLE FAMILY HOME

ZONING INFORMATION:
MAP 11C (BRA ZONING MAPS)
WEST ROXBURY NEIGHBORHOOD DISTRICT
ZONE IF-8000
LOT SIZE: APPROX. 14,200. SEE CIVIL/SITE PLAN FOR MORE INFORMATION

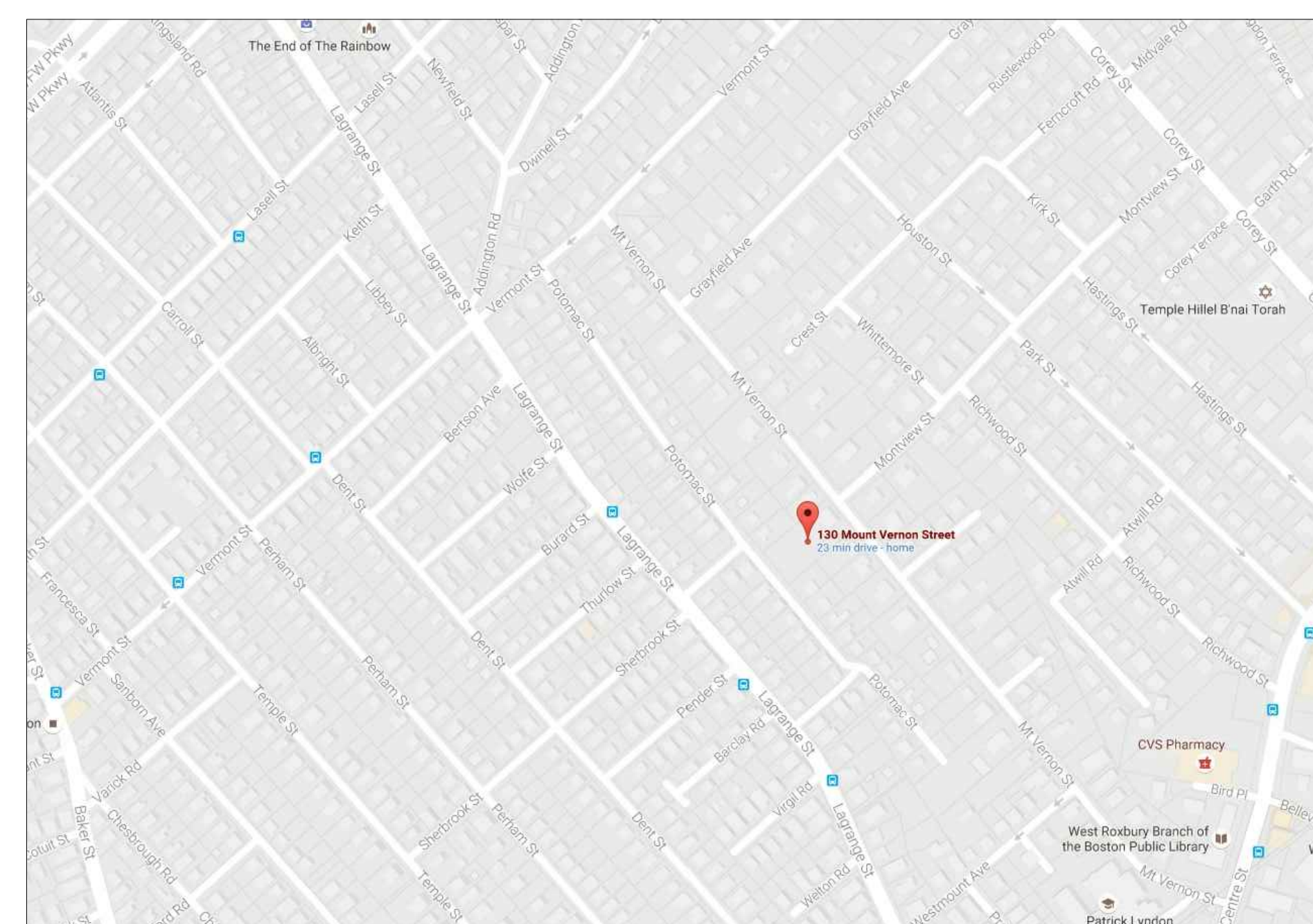
PER ARTICLE 56 TABLE E:
MAXIMUM FAR: 0.4
MAXIMUM BUILDING HEIGHT FROM AVERAGE GRADE: 35 FT

FRONT SETBACK: 20' (MODAL IS 12'; SEE SITE PLAN)
REAR SETBACK: 40'
SIDE SETBACKS: 12'

CODES:
DESIGN IS BASED ON THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, AND THE MASSACHUSETTS BUILDING CODE 2009 AMENDMENTS, AND ALL STATE AND FEDERAL MECHANICAL, ELECTRICAL, PLUMBING CODES, AND CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.

ALL CONSTRUCTION WILL MEET TERMS OF IECC INTERNATIONAL ENERGY CONSERVATION CODE (STRETCH CODE) 2009.
ALL WALLS TO BE R-19 INSULATION
ALL ROOFS TO BE 3-38 INSULATION

LOCATION MAP



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62 POTOMAC STREET
WEST ROXBURY, MA 02132

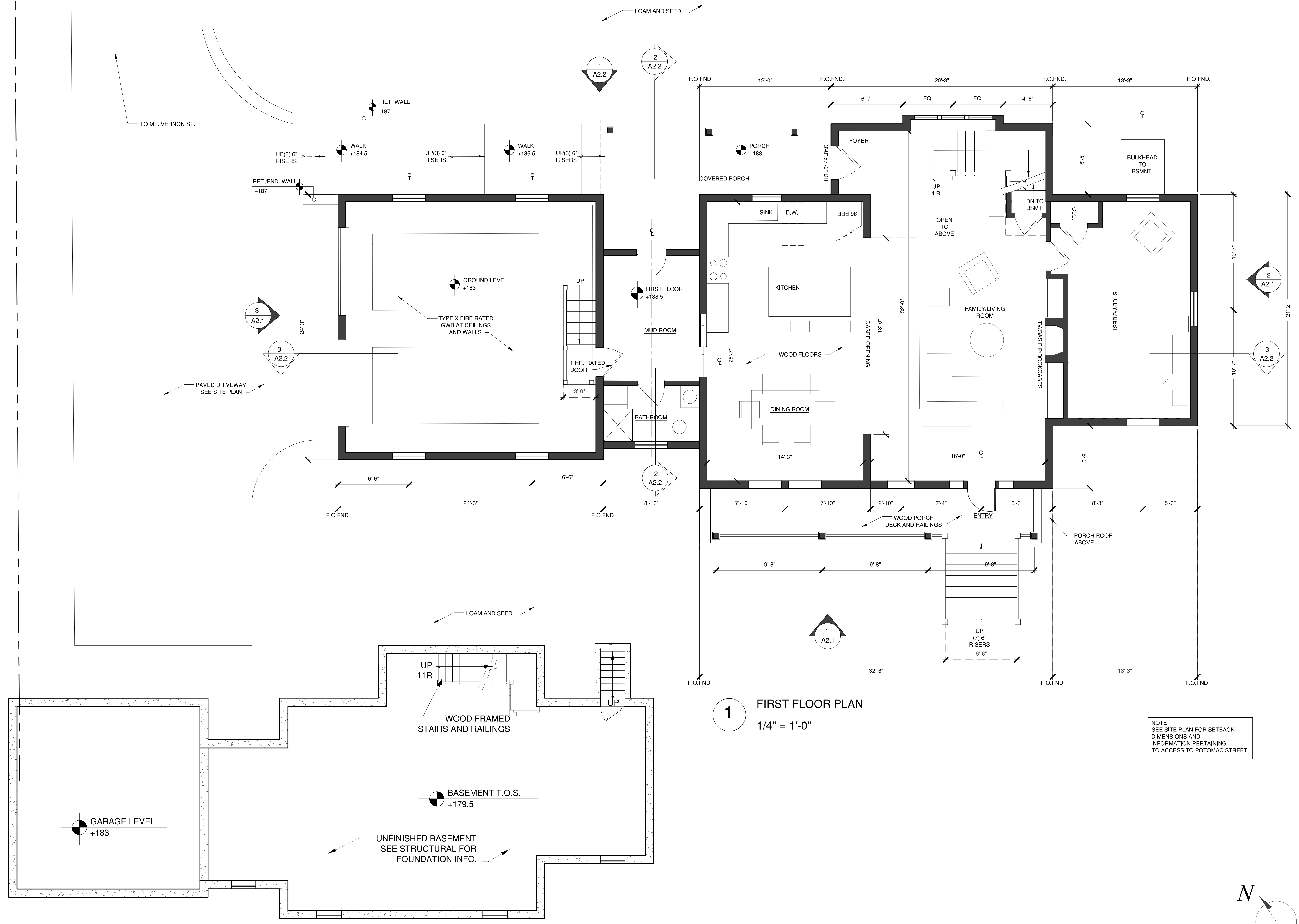
REVISION INFORMATION

DRAWING INFORMATION

ISSUE:	PERMIT
PROJECT #:	1570
DRAWN BY:	SG
SCALE:	AS NOTED

DRAWING TITLE
BASEMENT AND FIRST FLOOR PLANS
 DRAWING NUMBER

A1.1



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

2 BASEMENT
 3/16" = 1'-0"

NOTE:
 SEE SITE PLAN FOR SETBACK
 DIMENSIONS AND
 INFORMATION PERTAINING
 TO ACCESS TO POTOMAC STREET

REVISION INFORMATION

NO.	DESCRIPTION

DRAWING INFORMATION

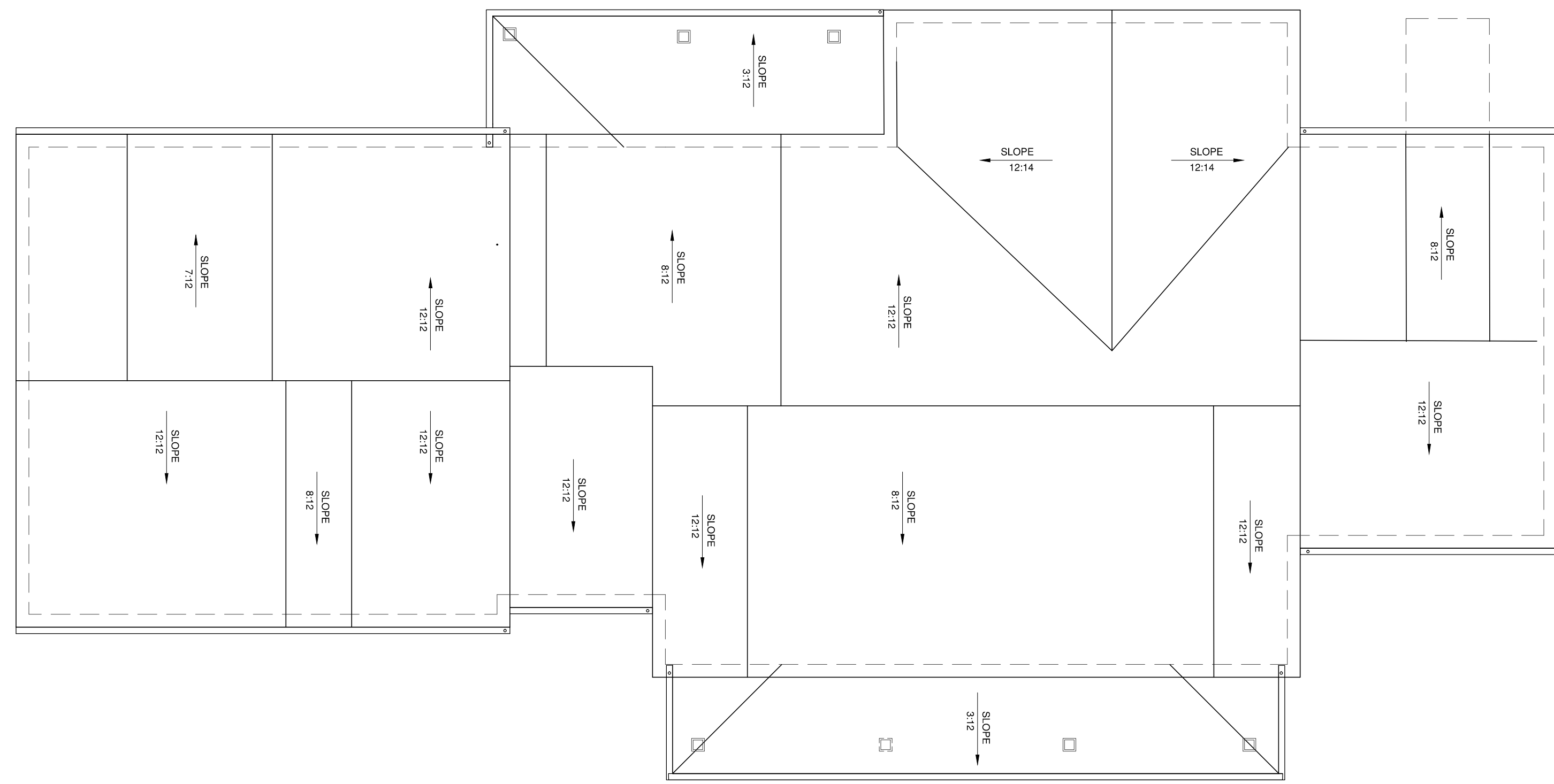
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 DRAWN BY: SG
 SCALE: AS NOTED

DRAWING TITLE

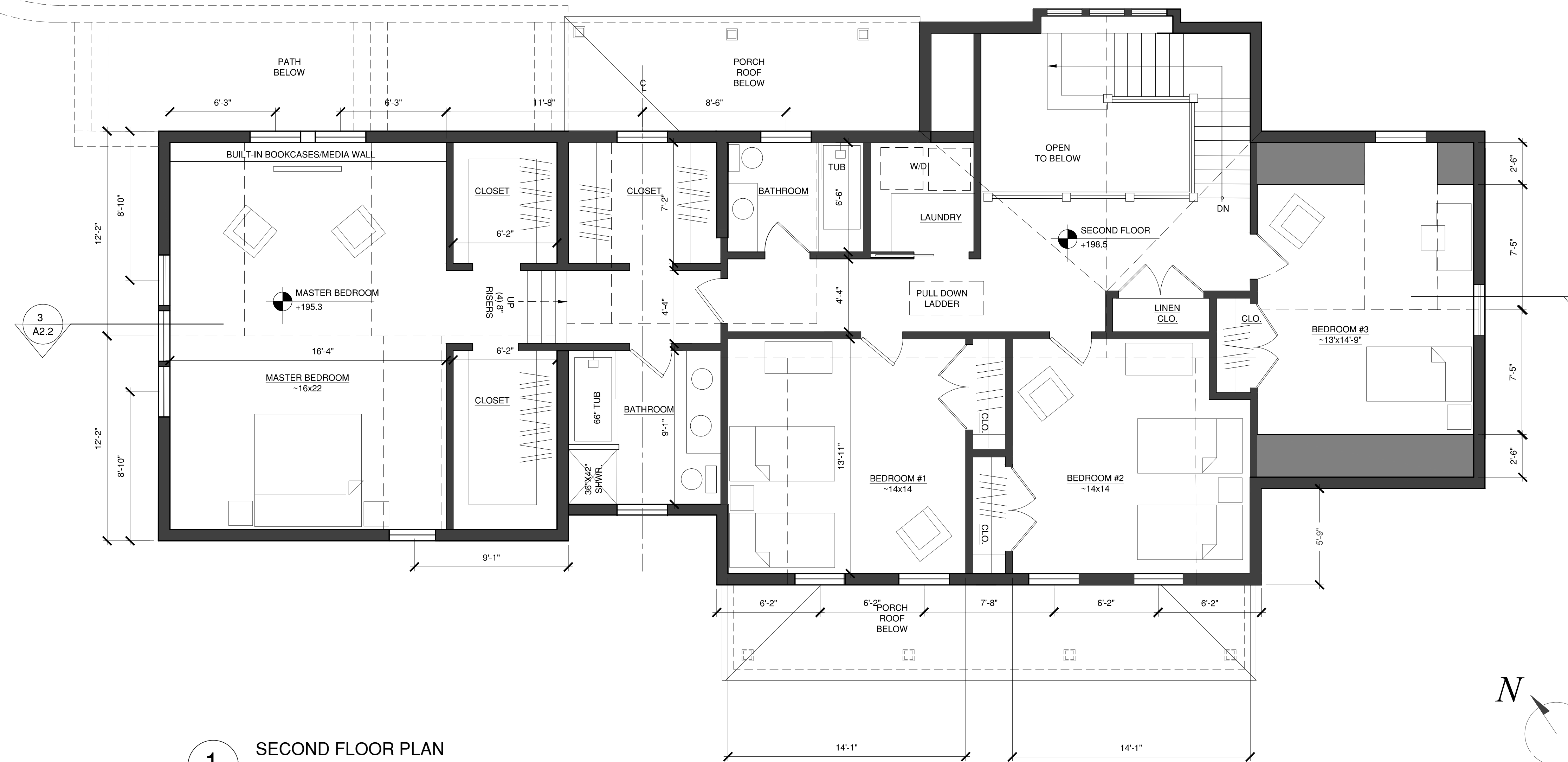
SECOND FLOOR AND ROOF PLANS

DRAWING NUMBER

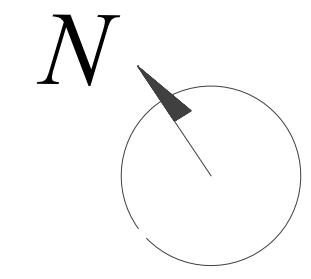
A1.2



2 ROOF PLAN
3/16" = 1'-0"



1 SECOND FLOOR PLAN
1/4" = 1'-0"



REVISION INFORMATION

NO.	DESCRIPTION

DRAWING INFORMATION

ISSUE: PERMIT
 PROJECT # 1570
 DRAWN BY: SG
 SCALE: AS NOTED

DRAWING TITLE

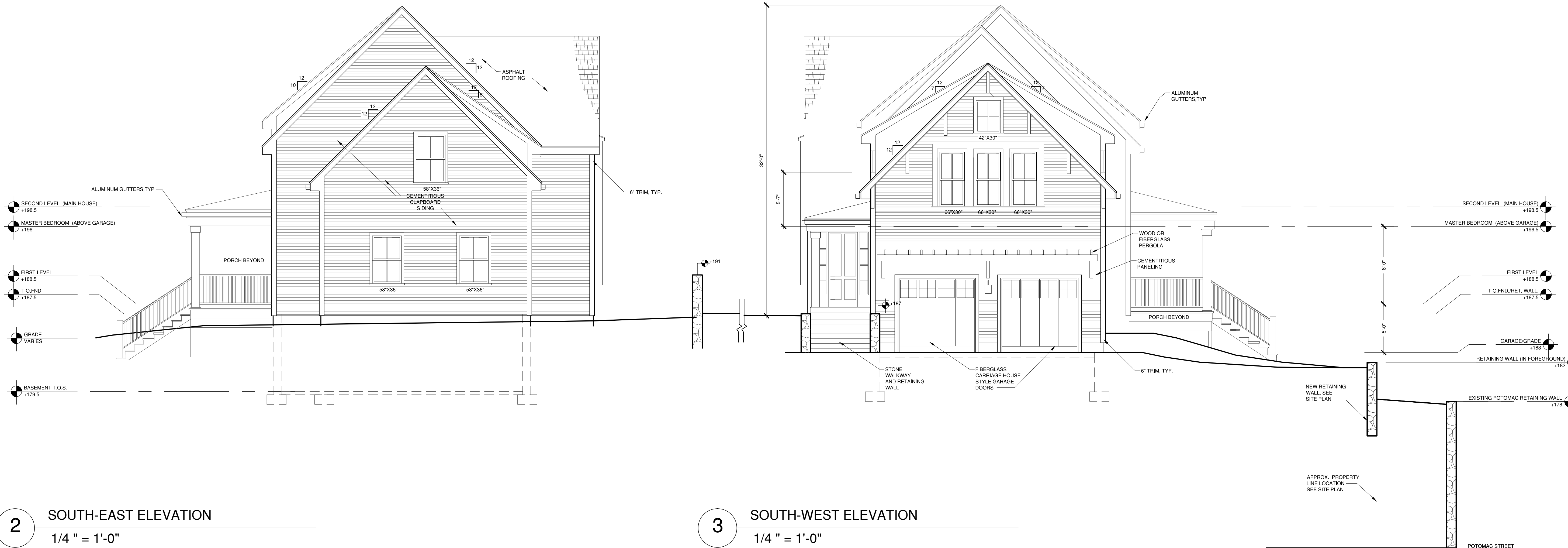
EXTERIOR ELEVATIONS

DRAWING NUMBER

A2.1

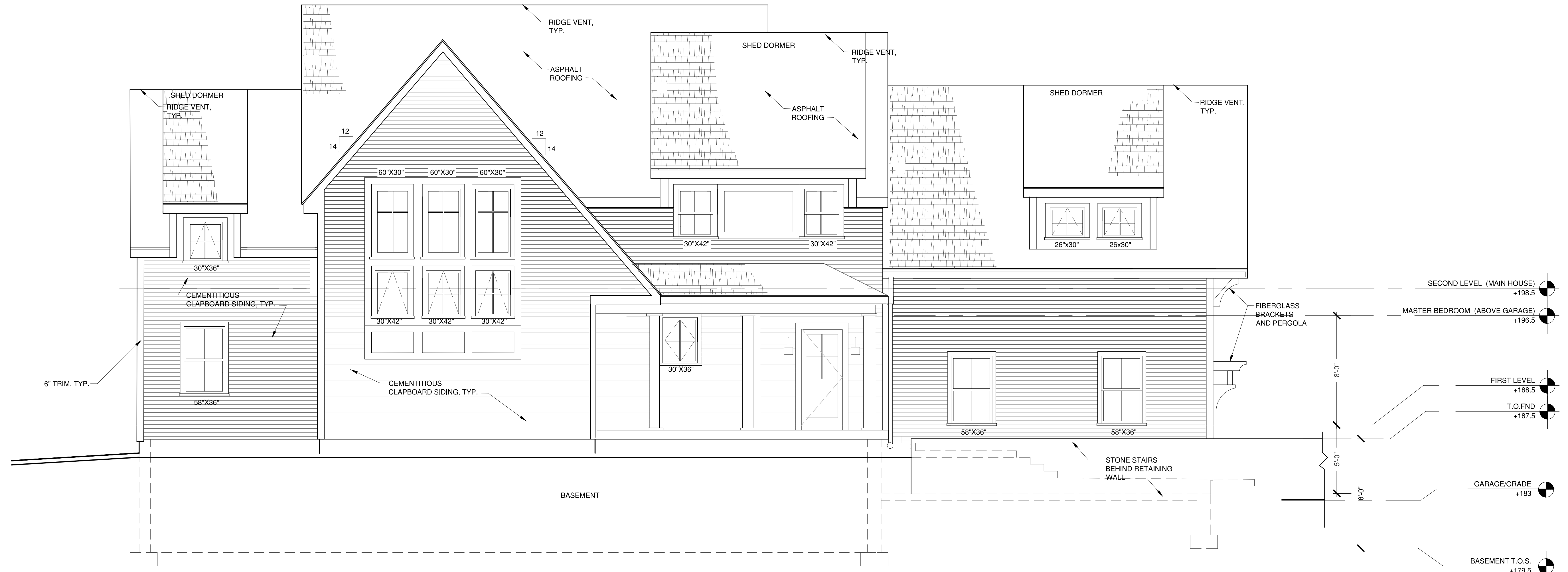


1 SOUTH-WEST (POTOMAC) ELEVATION
1/4" = 1'-0"

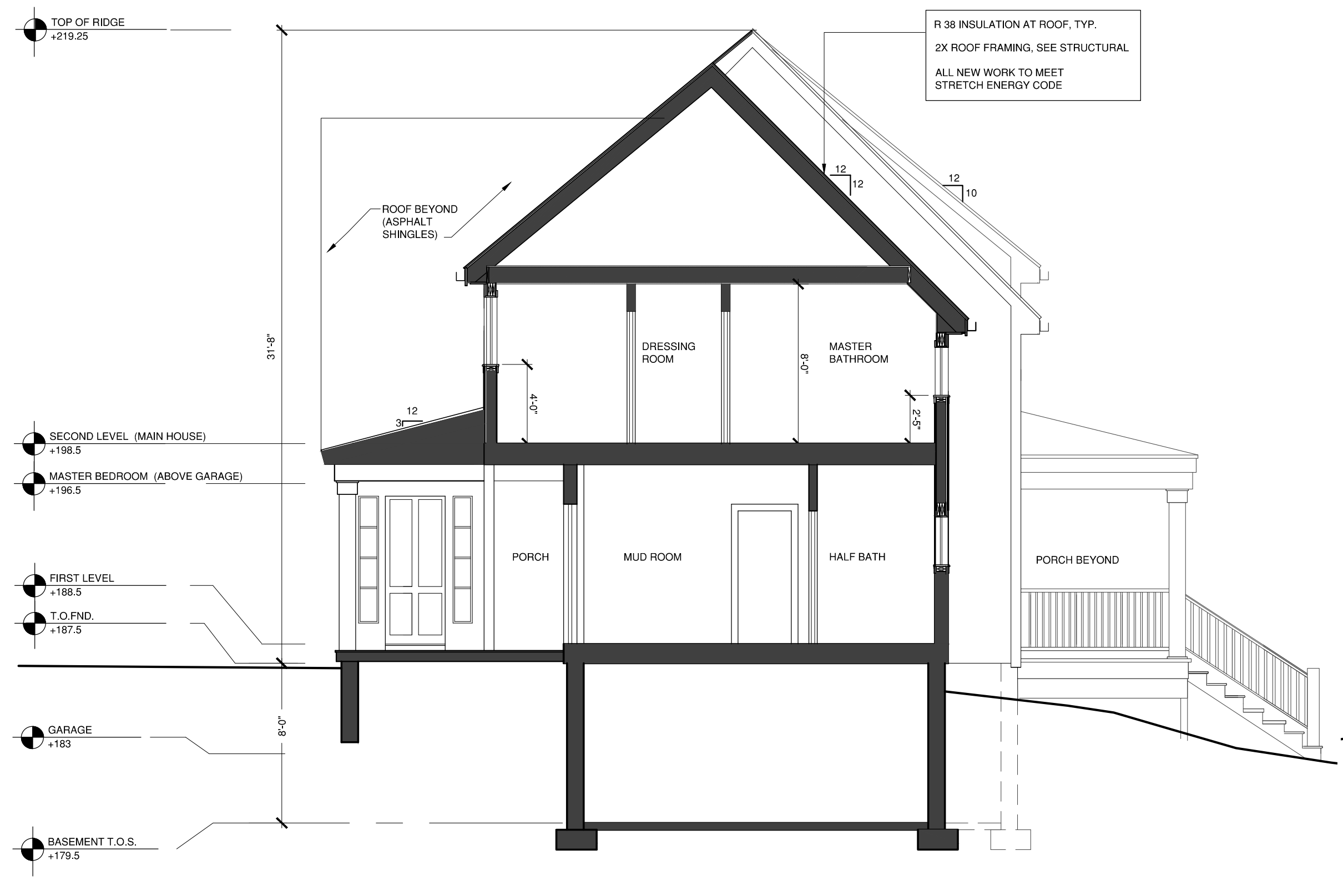


2 SOUTH-EAST ELEVATION
1/4" = 1'-0"

3 SOUTH-WEST ELEVATION
1/4" = 1'-0"



1 NORTH-EAST ELEVATION
3/16" = 1'-0"



2 CROSS SECTION THROUGH MUDROOM
3/16" = 1'-0"



3 LONGITUDINAL SECTION
3/16" = 1'-0"

SEPTEMBER 26, 2016
62 POTOMAC STREET PROPOSED HOUSE
WEST ROXBURY, MA 02132

REVISION INFORMATION

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

ISSUE: PERMIT _____
 PROJECT # 1570 _____
 DRAWN BY: SG _____
 SCALE: AS NOTED _____

DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWING NUMBER

A2.2