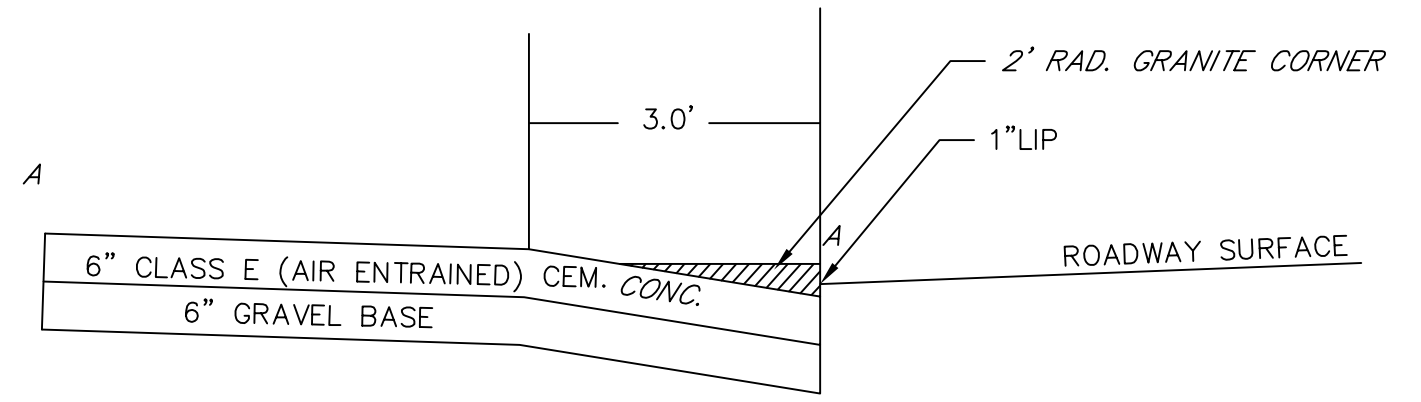
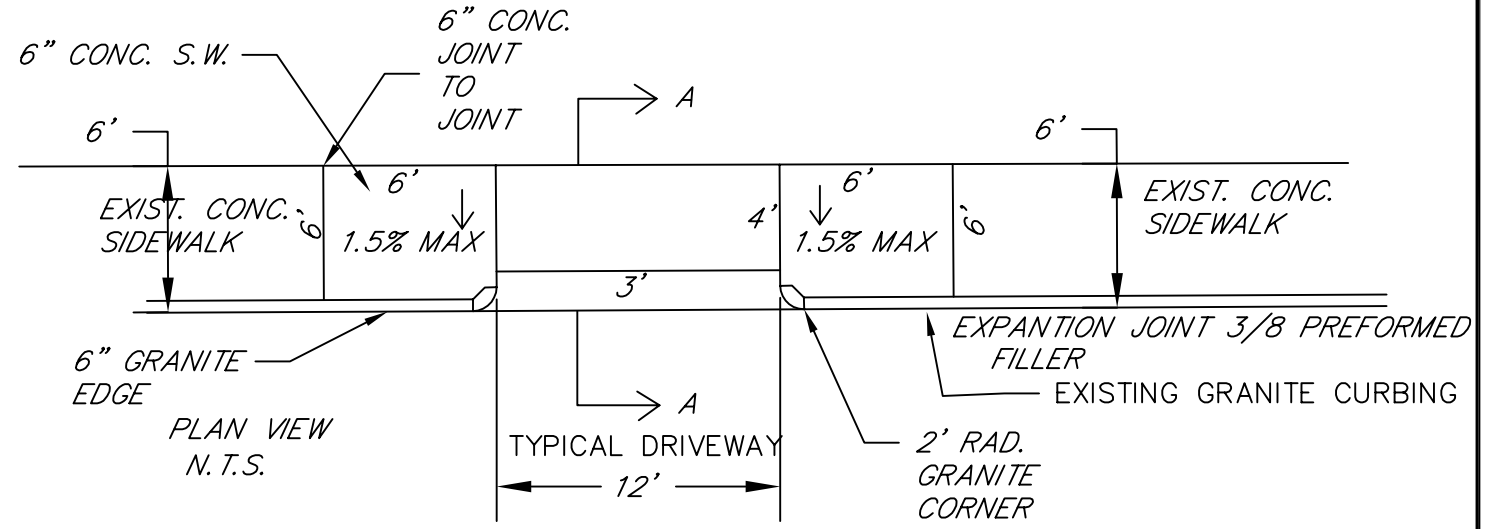
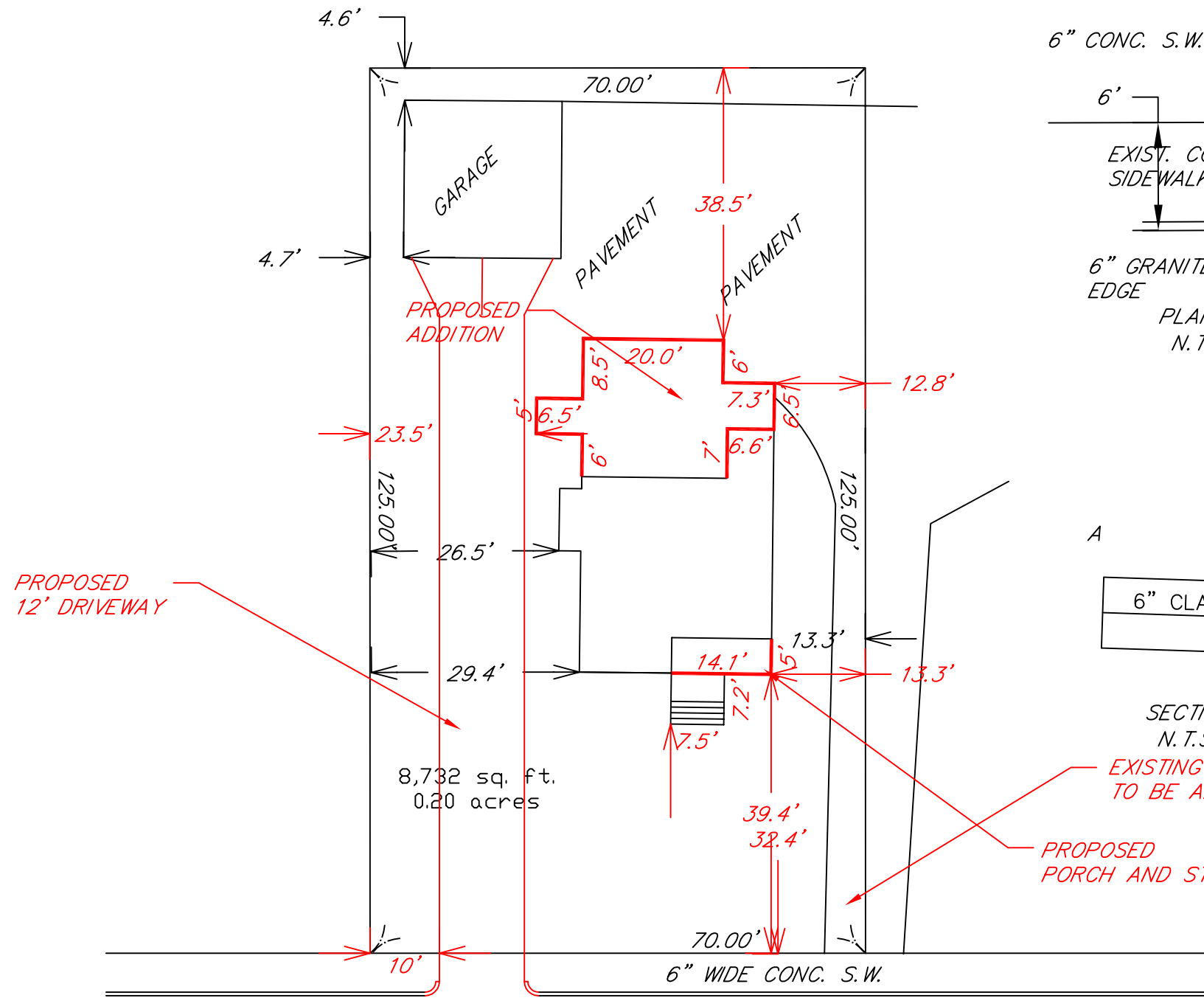


# PLAN OF LAND IN WEST ROXBURY, MASSACHUSETTS 8 KIRK STREET



SECTION VIEW  
N.T.S.

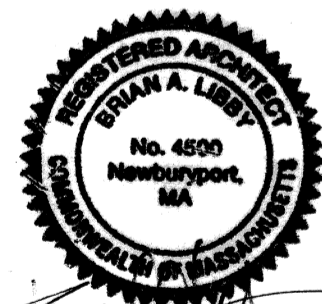
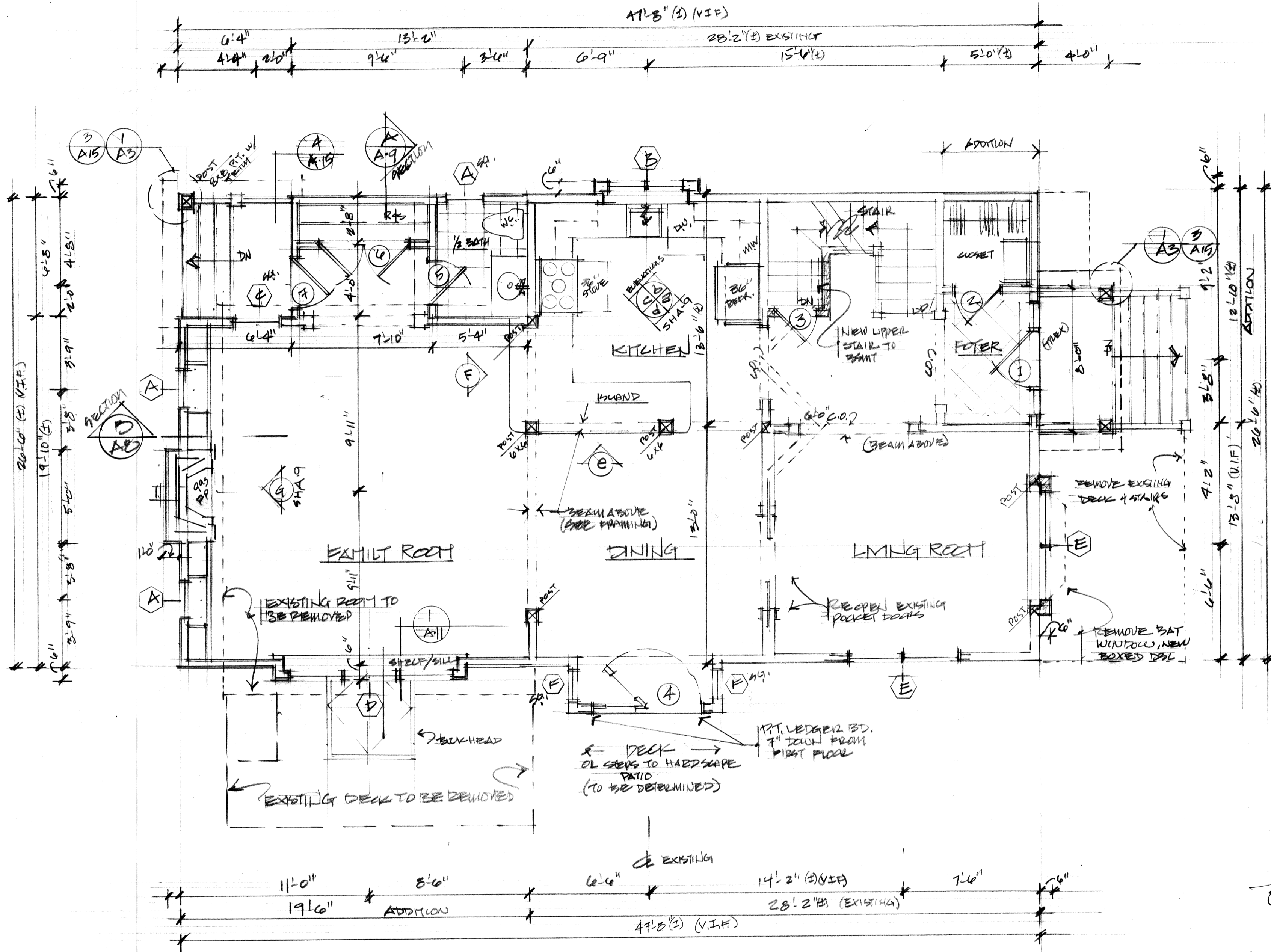
EXISTING DRIVE  
TO BE ABANDON

PROPOSED  
PORCH AND STAIRS

SEPTEMBER 20, 2017

C S KELLEY  
LAND SURVEYORS  
PEMBROKE MA  
781-294-4454

KIRK STREET



*[Handwritten signature]*

Aug 14 2017

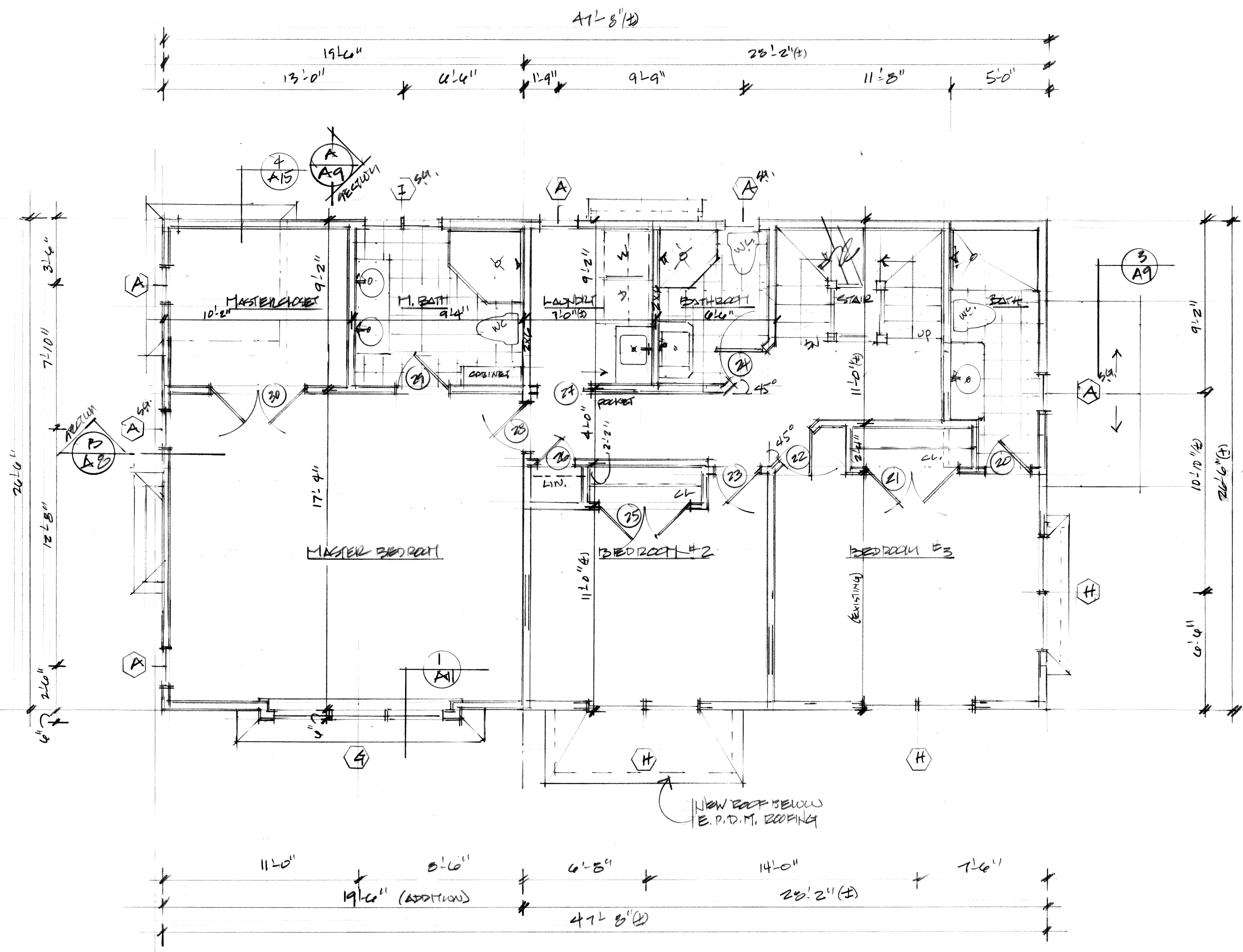
FIRST FLOOR PLAN 1/4" = 1'-0"  
= 1248 SF.

FIRST FLOOR PLAN

All work shall meet State Building Codes. The G.C. shall field verify dimensions before construction. The G.C. shall immediately notify the architect of any discrepancies in the field or on drawings. The architect shall not be responsible for the accuracy of any information or data provided by the contractor or any other party. All work and construction shall be performed under the direct supervision of personnel licensed by the State and local authorities. The G.C. & Owner agree to hold harmless the Architect from all errors and omissions, unless entering into an agreement for the Administration of the Construction Contract and, any claims against the Architect shall not exceed the amounts paid the Architect for the services rendered for the project.

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 Oro Valley, AZ 85704  
 brian@libby.com

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SECOND FLOOR PLAN 1/4" = 1'-0"  
1209 SF.

*Brian A. Libby*  
Aug 14, 2017



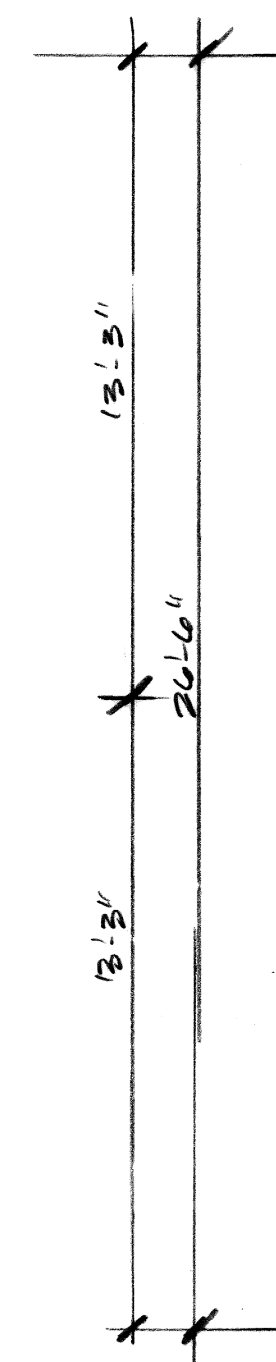
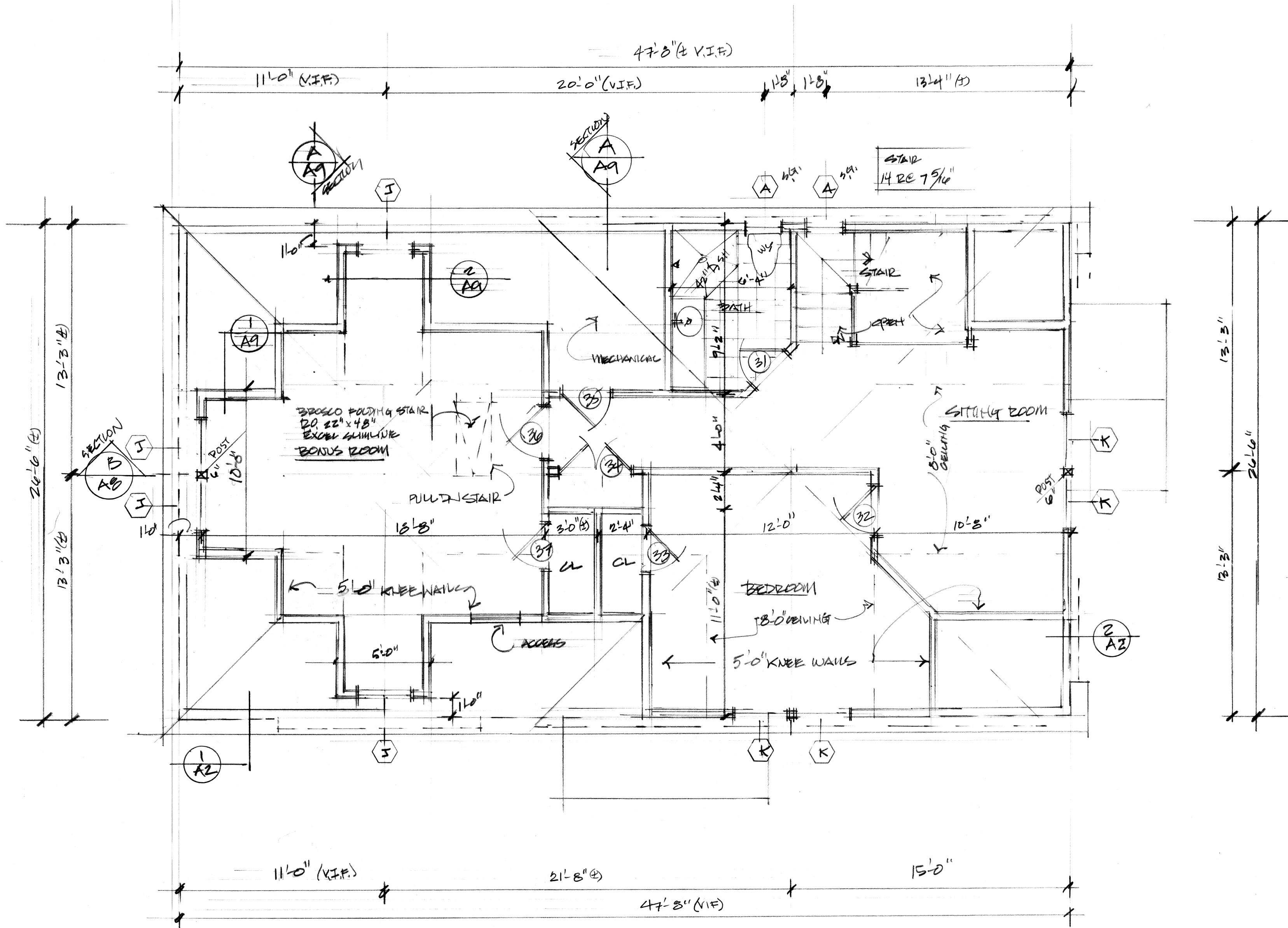
SECOND FLOOR PLAN

All work shall meet State Building Codes. The G.C. shall field verify dimensions before construction. Notify immediately the Architect of discrepancies. The drawings are diagrammatic and form the approval, arrangement of wall, doors, equipment, etc. for the work and are not licensed by the State and local authorities. The G.C. & Owner agree to hold harmless the Architect from all errors and omissions, unless entering into an agreement for the Administration of the Construction Contract and, any claims against the Architect shall not exceed the amounts paid the Architect for the services rendered for the project.

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A6





ATTIC FLOOR PLAN

All work shall meet State Building Codes. The G.C. shall verify dimensions before construction. Notably immediately, the Architect of record shall be responsible for the accuracy of the drawings and from the approval of wall, doors, equipment etc. All work and construction shall be performed under the direct supervision of personnel licensed by the State and local authorities. The G.C. & Owner agree to hold harmless the Architect from all errors and omissions, unless entering into an agreement for the Administration of the Construction Contract and any claims against the Architect shall not exceed the amount paid the Architect for the services rendered for the project.

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*Brian A. Libby*

AUG 14, 2017

ATTIC FLOOR PLAN — 1/4" = 1'-0"

9489 SF (> 40' HEADROOM)

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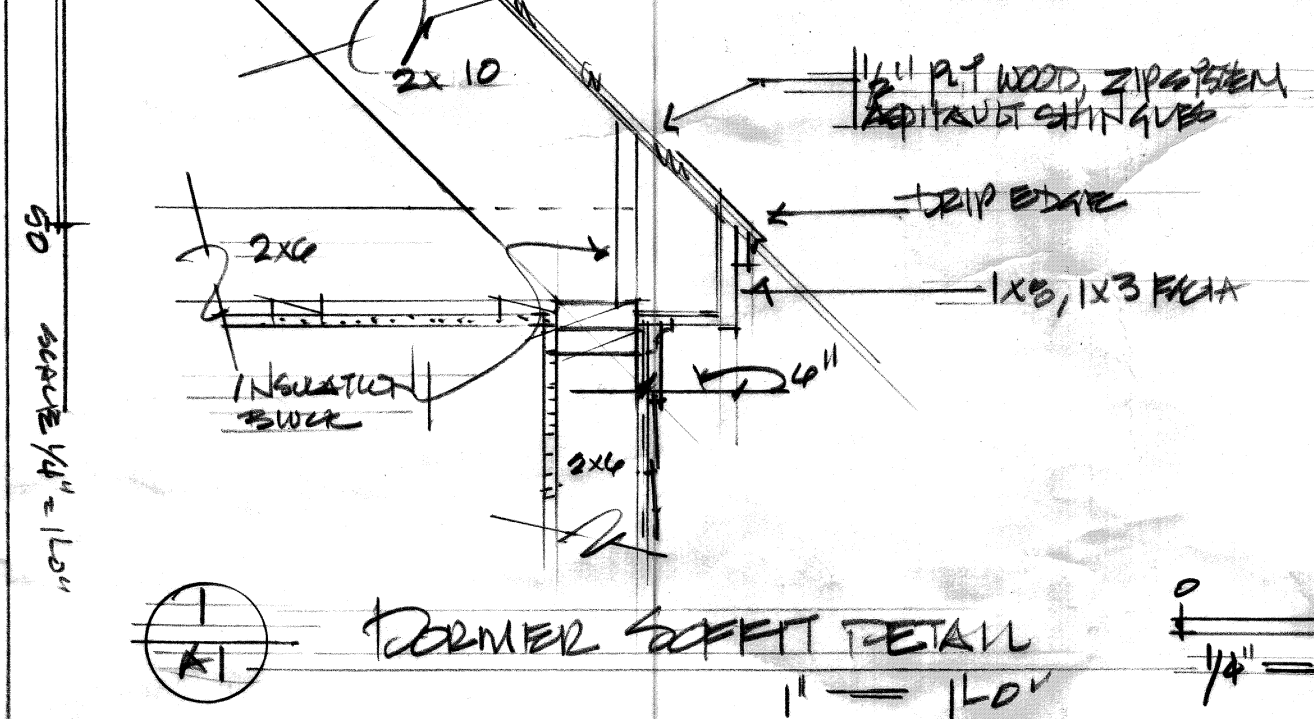
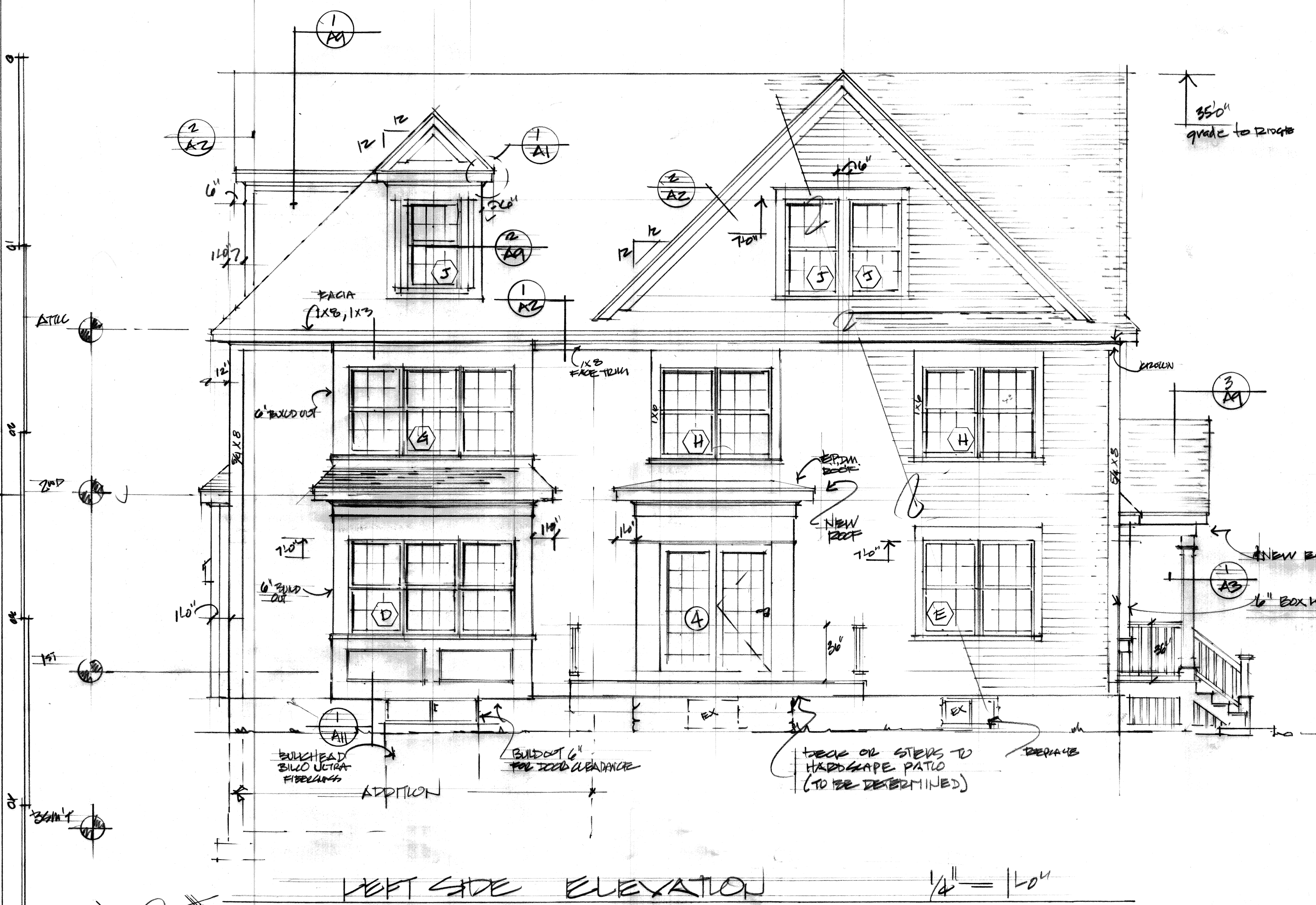


**LIST OF DRAWINGS**

Eight Kirk Street, West Roxbury, MA

- A-1 Left Side Elevation
- A-2 Front & Rear Elevations
- A-3 Right Side Elevation
- A-4 Foundation/Basement Plan
- A-5 First Floor Plan
- A-6 Second Floor Plan
- A-7 Attic/3rd floor plan
- A-8 Building Sections
- A-9 Building Section & Details
- A-10 First floor Framing Plan
- A-11 Second floor Framing Plan
- A-12 Attic floor framing Plan
- A-13 Roof Framing Plan
- A-14 Window & door schedules & details
- A-15 Details & Notes
- EL-1 Basement Electrical layout
- EL-2 First Floor Electrical Layout
- EL-3 Second Floor Electrical Layout
- EL-4 Attic Electrical Layout
- EX-1-4 Existing conditions plans

LEFT SIDE ELEVATION



8 Kirk Street Areas

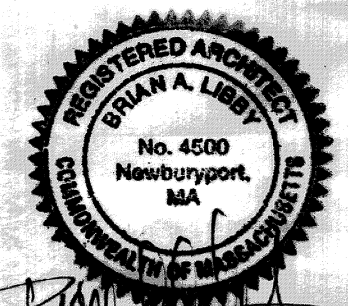
Lot size 8732 s.f.

Building s.f. areas

Existing	
1 <sup>st</sup>	1105 s.f.
2 <sup>nd</sup>	756 s.f.
attic	397 s.f. (+)
total existing	2258 s.f.
Proposed s.f. area	
1 <sup>st</sup>	1248 s.f.
2 <sup>nd</sup>	1269 s.f.
attic	948 s.f.
total proposed	3465 s.f.

FAR 8732 x 40% = 3493 s.f. allowed  
proposed **3465 s.f. OK**

\*attic knee walls @ 5'-0" Area calculation based on 4'-0" and greater headroom. ie, actual s.f. area usable s.f. area less than proposed total



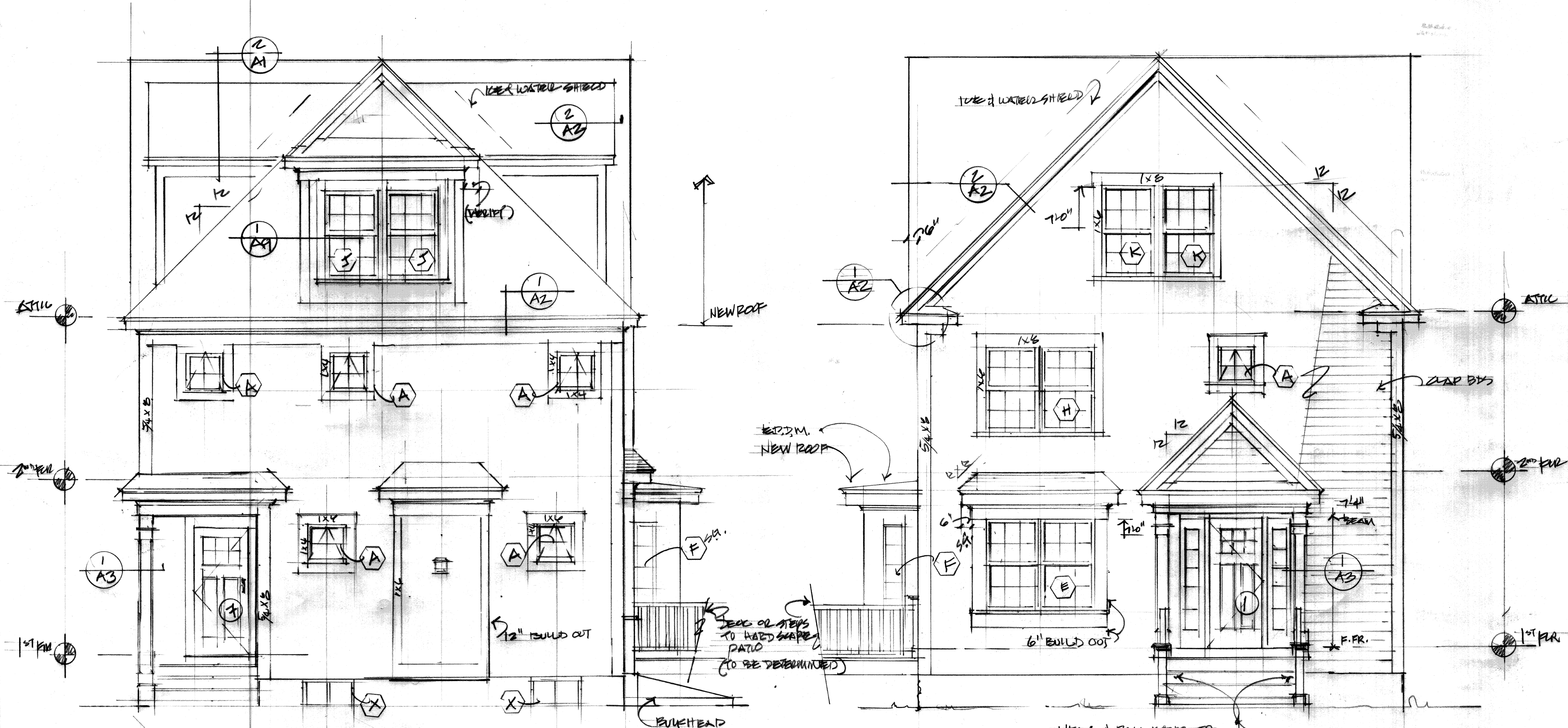
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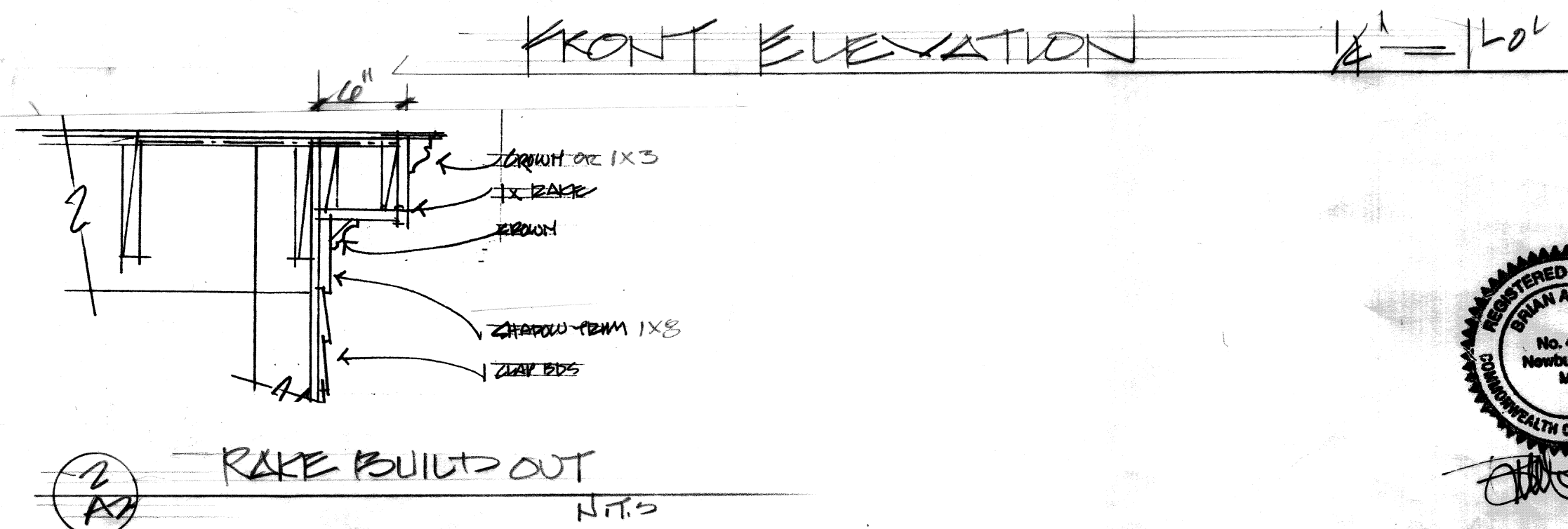
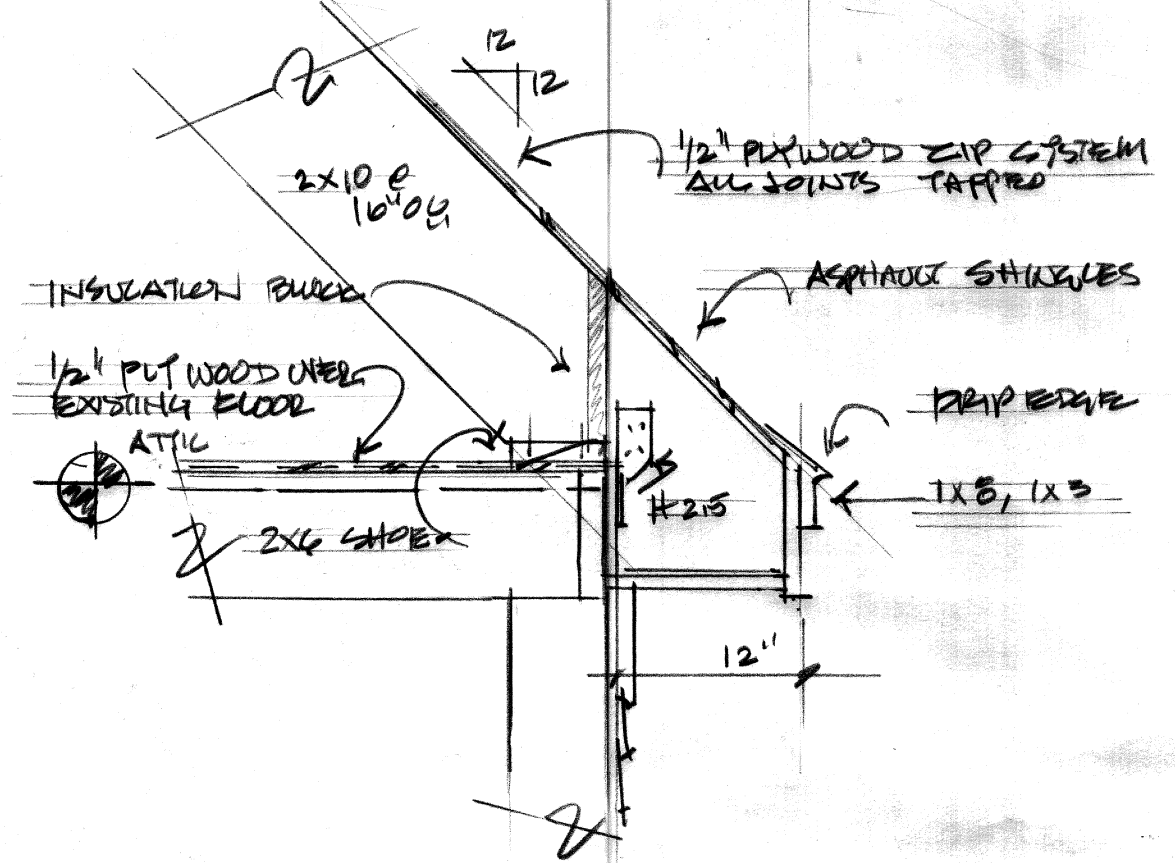
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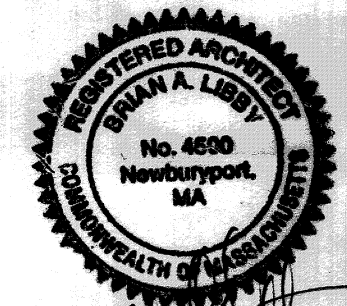
FRONT & REAR ELEVATION

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1  
A2

2  
A2



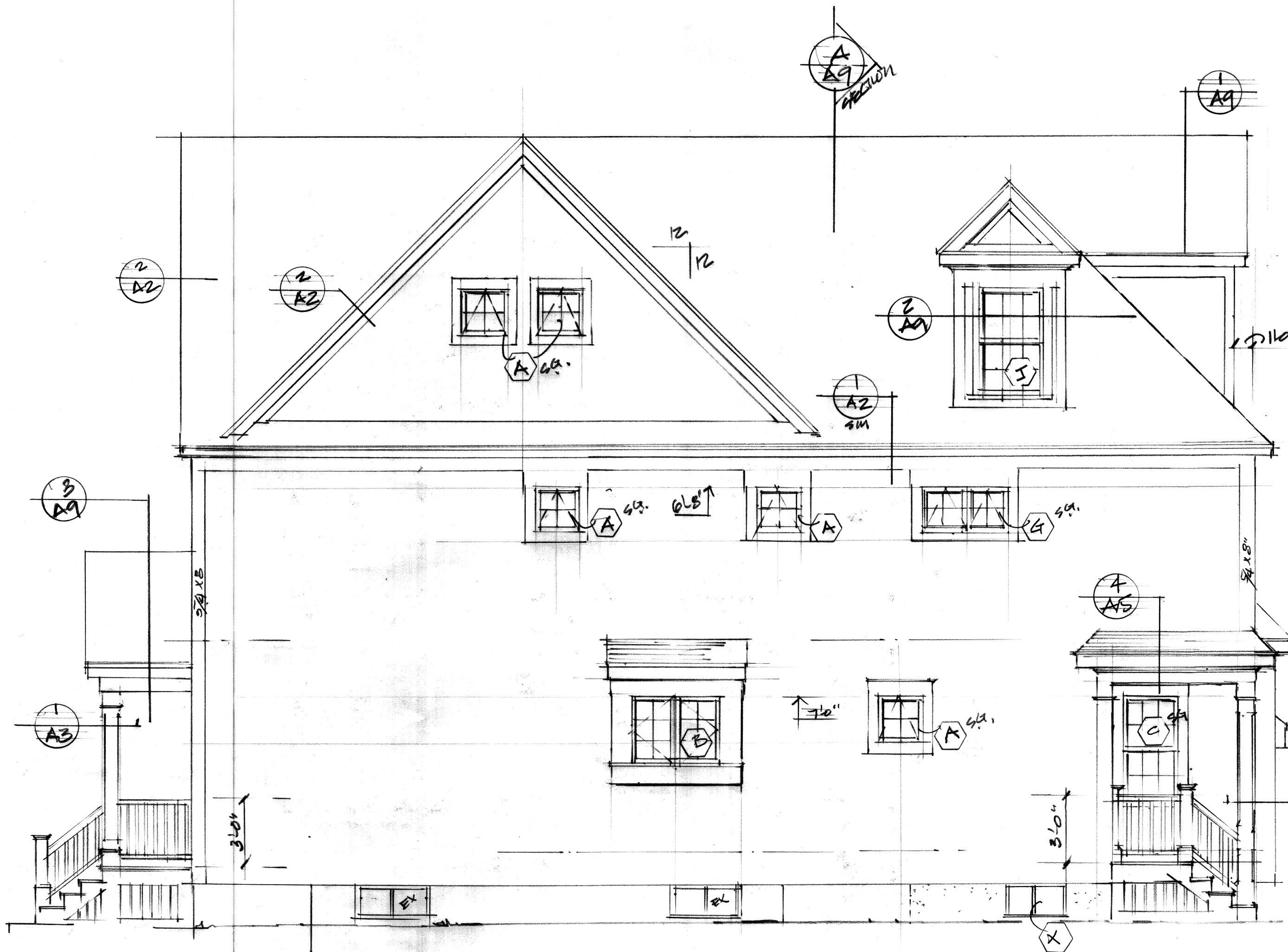
*Brian A. Libby*

AUG 14<sup>th</sup> 2017

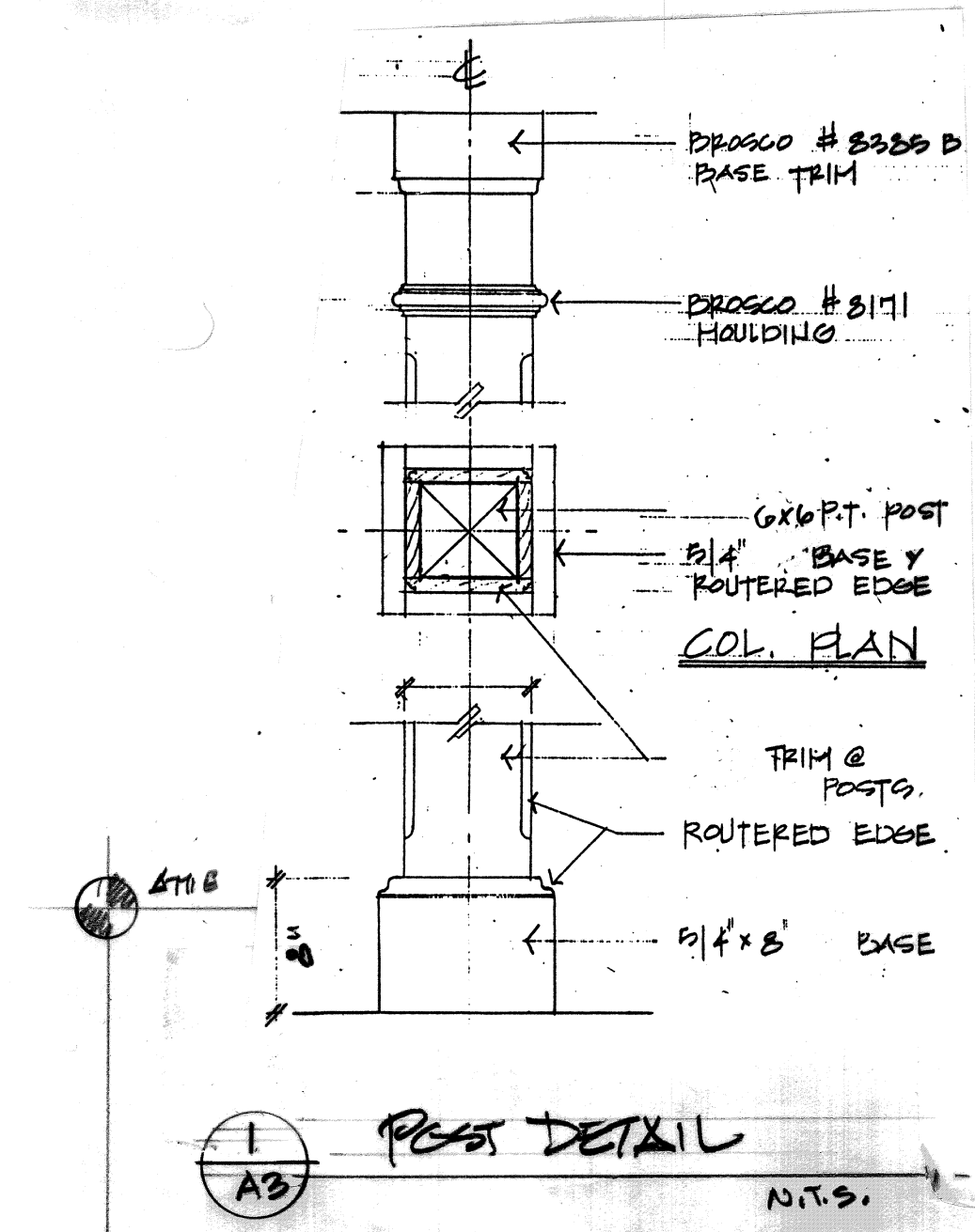
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RIGHT SIDE ELEVATION 1/4" = 1'-0"

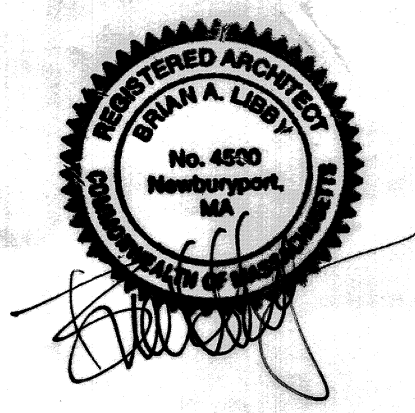


RIGHT SIDE ELEVATION

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Aug 14th 2017

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