

**DIMENSION STANDARDS:**

- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
  - \* INTERIOR WALLS TO CENTER OF STUD
  - \* WINDOWS/DOORS TO CENTER OF OPENING
- (UNLESS OTHERWISE NOTED)

DOORWAYS AND OPENINGS TO BE CENTERED IN WALLS UNLESS OTHERWISE NOTED

2 HR RATED SEPARATION BETWEEN DWELLING UNITS:  
TWO LAYERS OF 1" TYPE X GYPSUM PANELS IN STEEL H CHANNELS WITH MIN. 3/4" AIR SPACE ON EITHER SIDE

**GRAPHIC KEY**

- (S) HARD-WIRED SMOKE DETECTOR
- (C) HARD-WIRED COMBO SMOKE/CO DETECTOR
- (V) BATHROOM VENT - DIRECT TO OUTSIDE

**UNIT AREA: (SQ.FT.)**

LEVEL 1	822
LEVEL 2	817
ATTIC	382
<b>TOTAL</b>	<b>2,021</b>

**NOTES:**  
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

**INSULATION REQUIREMENTS:**  
EXTERIOR WALLS: R21  
FLOORS (ABOVE BASEMENT): R30  
CEILINGS (BELOW ATTIC): R38  
CATHEDRAL CEILINGS: R38

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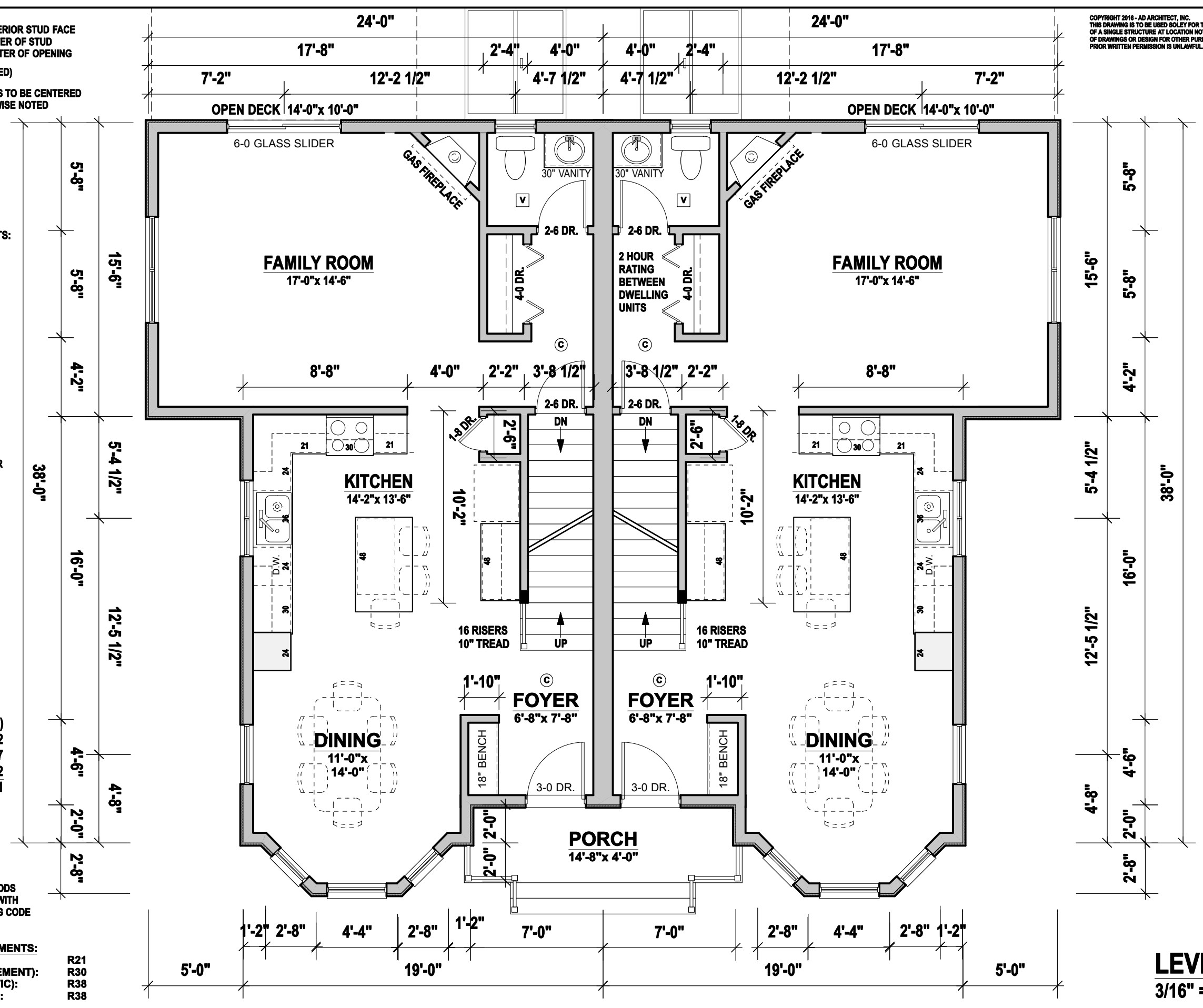
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**180 - 182 ROSLINDALE AVENUE**

PROPOSED NEW RESIDENCE  
ROSLINDALE NEIGHBORHOOD - BOSTON, MA

PERMIT DRAWINGS  
DATE: 08/26/2016

**A-1**



**LEVEL 1**  
3/16" = 1'-0"

**DIMENSION STANDARDS:**

- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
  - \* INTERIOR WALLS TO CENTER OF STUD
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- (UNLESS OTHERWISE NOTED)

DOORWAYS AND OPENINGS TO BE CENTERED IN WALLS UNLESS OTHERWISE NOTED

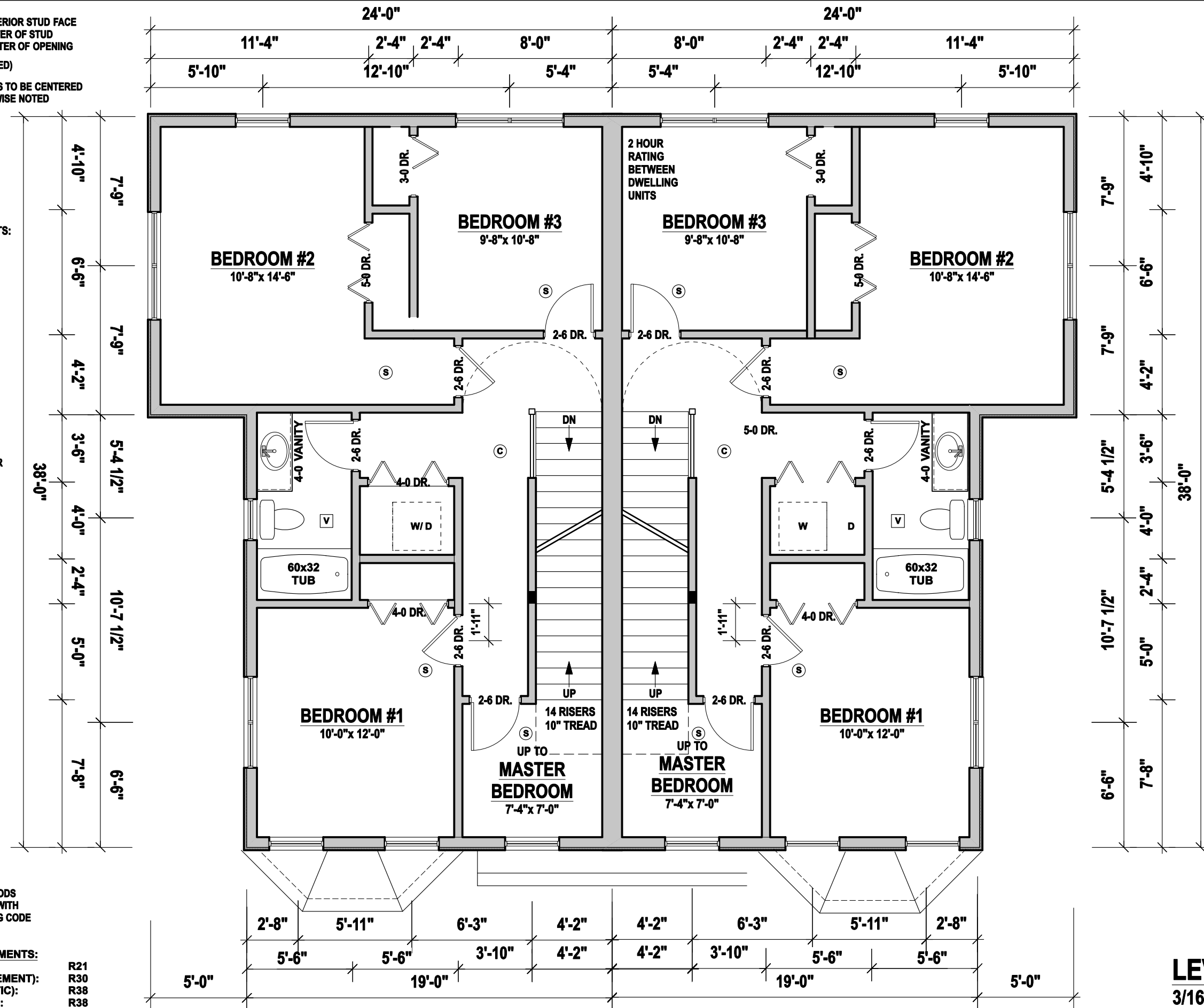
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**180 - 182 ROSLINDALE AVENUE**  
PROPOSED NEW RESIDENCE  
**ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

PERMIT DRAWINGS  
DATE: 08/26/2016

**A-2**

**LEVEL 2**  
3/16" = 1'-0"

**DIMENSION STANDARDS:**

- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
  - \* INTERIOR WALLS TO CENTER OF STUD
  - \* WINDOWS/DOORS TO CENTER OF OPENING
- (UNLESS OTHERWISE NOTED)
- DOORWAYS AND OPENINGS TO BE CENTERED IN WALLS UNLESS OTHERWISE NOTED

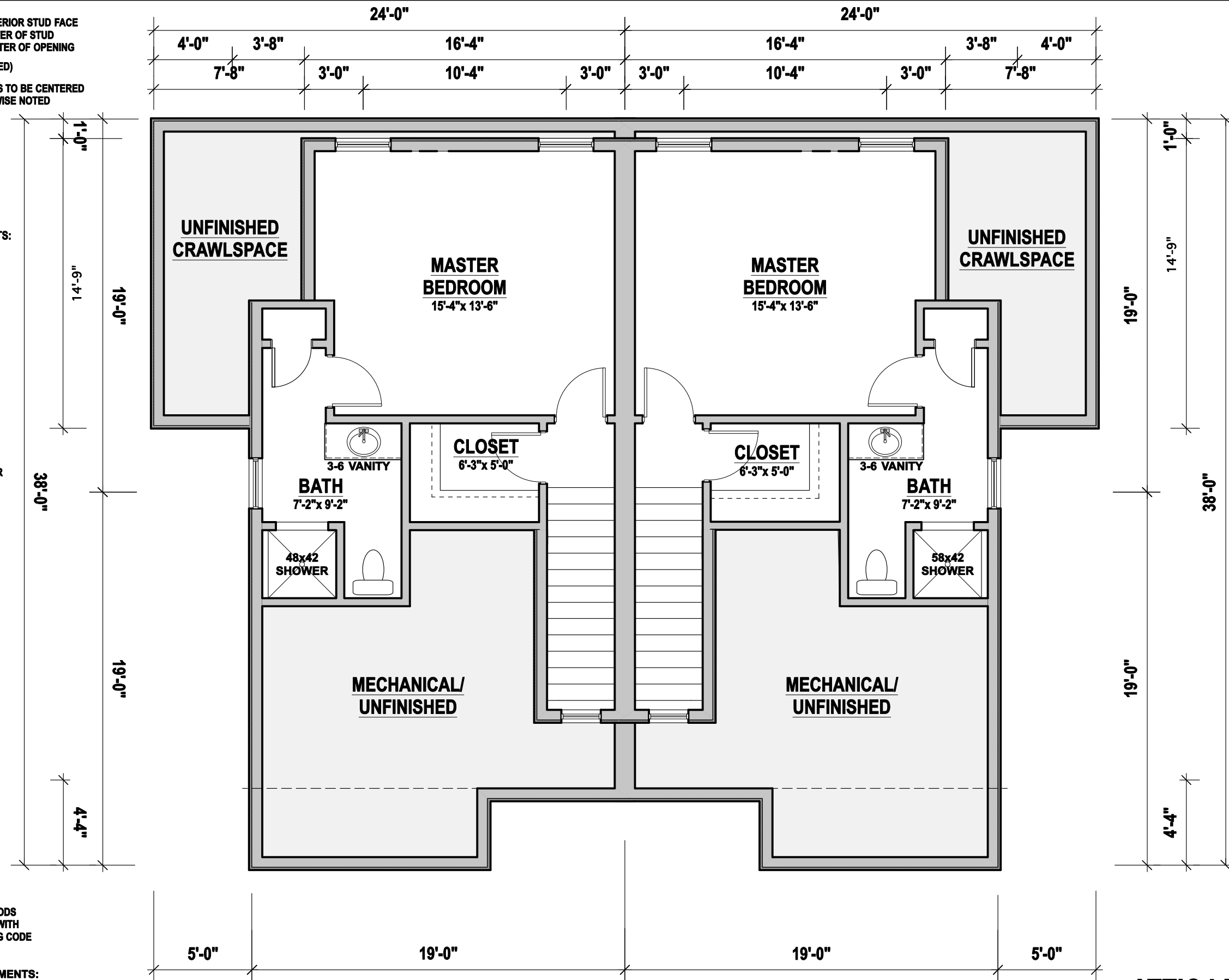
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**GRAPHIC KEY**

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- C** HARD-WIRED COMBO SMOKE/CO DETECTOR
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**NOTES:**  
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**ATTIC LEVEL**  
3/16" = 1'-0"



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PERMIT DRAWINGS  
DATE: 08/26/2016

**A-3**

WINDOW MODEL NUMBERS PROVIDED ARE ANDERSEN WINDOW SIZES. THESE ARE PROVIDED FOR SIZING PURPOSES ONLY. WINDOW TYPE/MANUFACTURER TO BE DETERMINED BY DEVELOPER.

WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.



NOTES:  
ALL CONSTRUCTION METHODS  
& MATERIALS TO COMPLY WITH  
MASSACHUSETTS BUILDING CODE  
(780 CMR - 8TH EDITION)

**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

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**180 - 182 ROSLINDALE AVENUE**

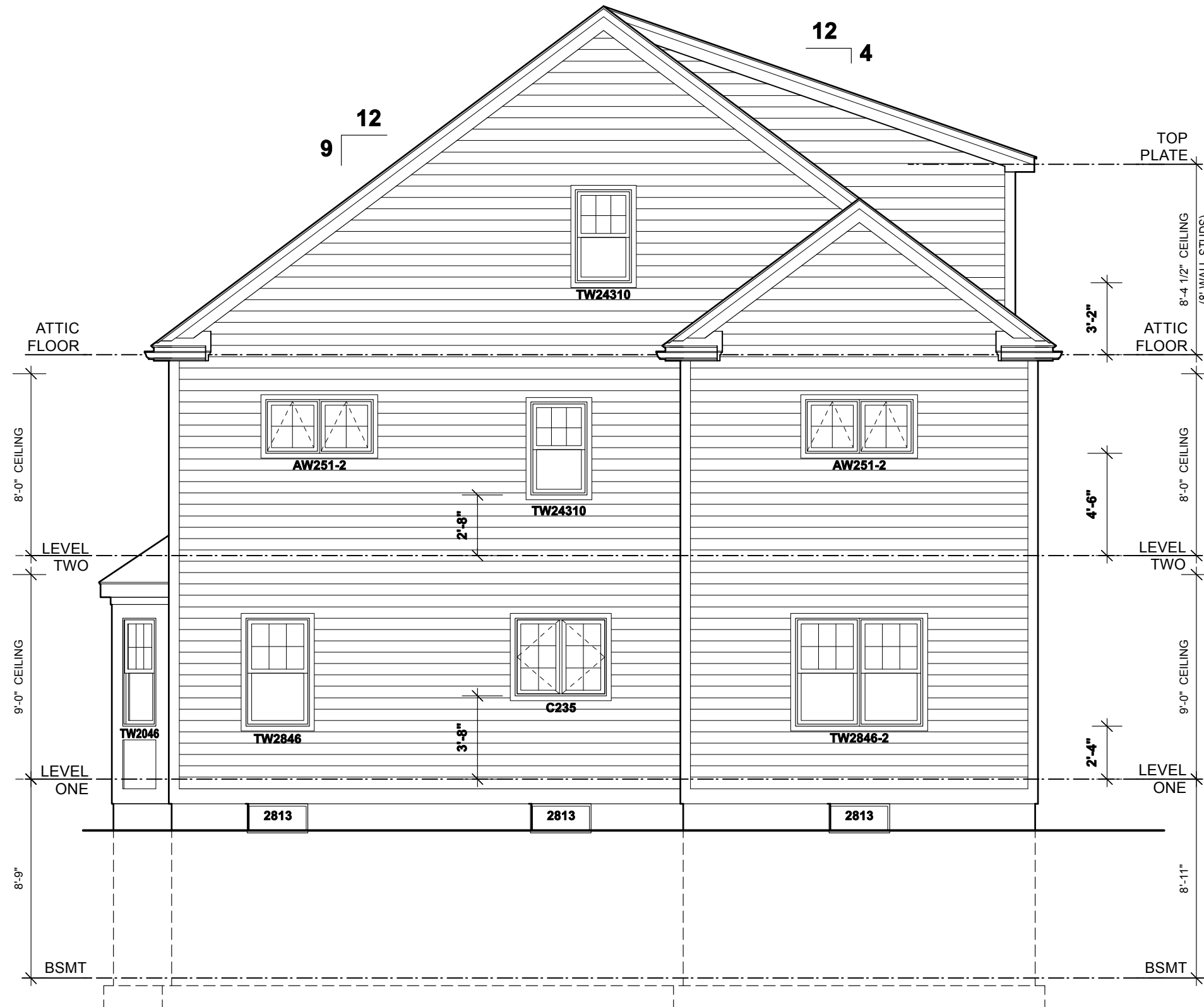
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**A-4**

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WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.



NOTES:  
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

**SIDE ELEVATION**

SCALE: 3/16" = 1'-0"

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PERMIT DRAWINGS  
DATE: 08/26/2016

**A-5**

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WINDOW SILL HEIGHTS MAY VARY DUE TO MANUFACTURER'S SIZES/STYLES. ALIGN HEADS OF DIFFERENT WINDOW SIZES WHERE APPLICABLE.



**REAR ELEVATION**

SCALE: 3/16" = 1'-0"

NOTES:  
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**180 - 182 ROSLINDALE AVENUE**  
PROPOSED NEW RESIDENCE  
**ROSLINDALE NEIGHBORHOOD - BOSTON, MA**

PERMIT DRAWINGS  
DATE: 08/26/2016

**A-6**

**DIMENSION STANDARDS:**

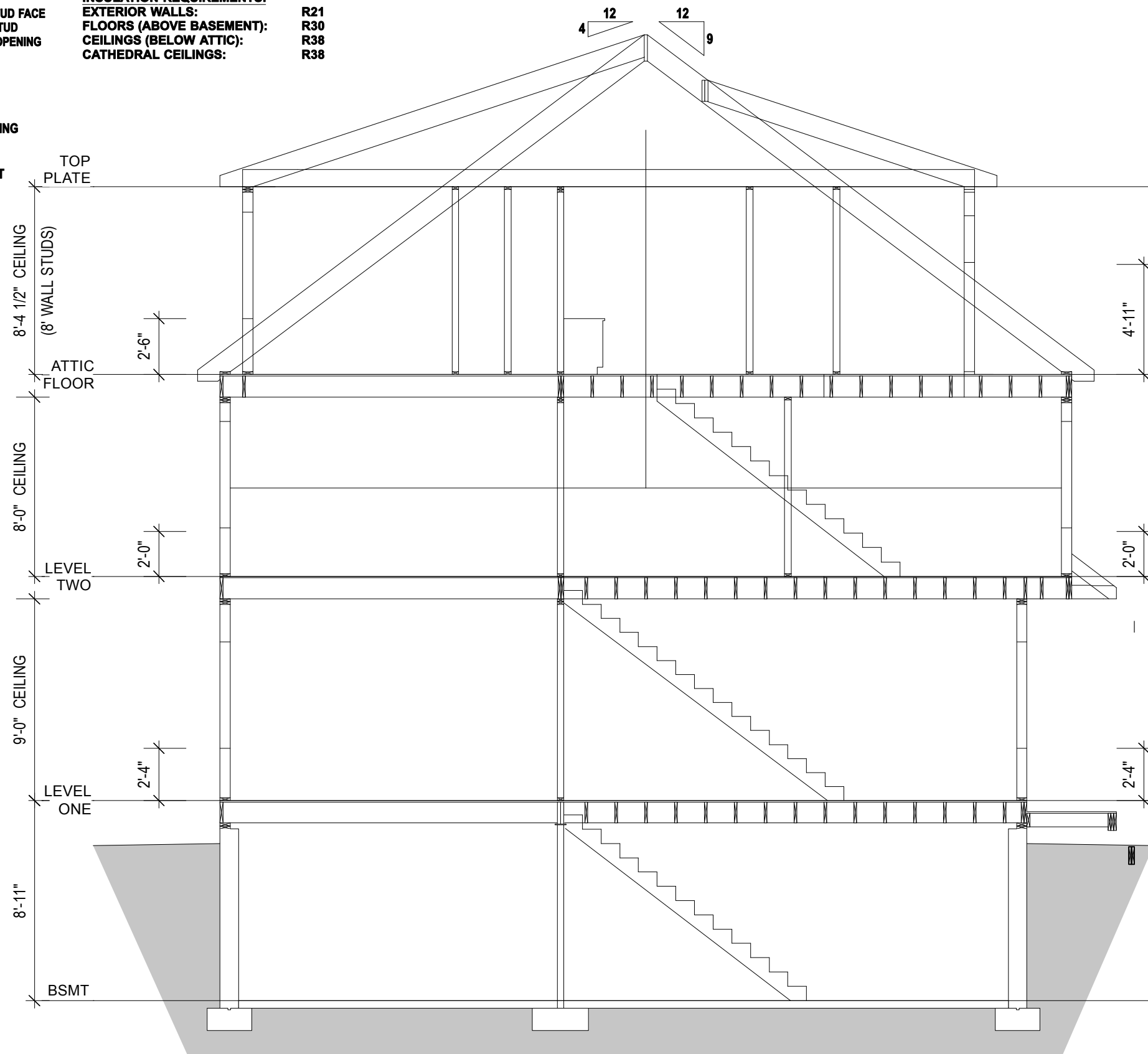
- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
  - \* INTERIOR WALLS TO CENTER OF STUD
  - \* WINDOWS/DOORS TO CENTER OF OPENING
- (UNLESS OTHERWISE NOTED)

**INSULATION REQUIREMENTS:**

- EXTERIOR WALLS: R21
- FLOORS (ABOVE BASEMENT): R30
- CEILINGS (BELOW ATTIC): R38
- CATHEDRAL CEILINGS: R38

**STAIR NOTES:**

- STRINGERS TO BE 2x12 FRAMING
- FINISHED TREAD TO HAVE 1" NOSING OVERHANG W/ 3/4" TRIM BELOW
- MAX. 8 1/4" RISE PER STEP
- STAIR TREADS: 10" STRINGER CUT (11" FINISHED TREAD)



1 3/4"x 14" LVL RIDGE BOARD

2x6 COLLAR TIES @ 32" O.C.

ASPHALT SHINGLES OVER 15# ROOF FELT

2x10 CEILING JOISTS @ 16" O.C.  
2x12 ROOF RAFTERS @ 16" O.C. WITH R38 INSUL. OVER CONDITIONED SPACE

2x6 EXTERIOR WALL FRAMING w/ R21 INSULATION

2x12 FLOOR JOISTS @ 16" O.C. WITH R38 INSUL. UNDER UNCONDITIONED SPACE

2x6 EXTERIOR WALL FRAMING w/ R21 INSULATION

2x12 FLOOR JOISTS @ 16" O.C.

2x8 SKIRT ROOF OVER ENTRY 9/12 PITCH

2x6 EXTERIOR WALL FRAMING w/ R21 INSULATION

2x12 FLOOR JOISTS @ 16" O.C. WITH R30 INSUL. UNDER UNCONDITIONED SPACE

DOUBLE 2x6 PRESSURE TREATED SILL PLATE

10" CONC. FOUND. WALL ON 24"x12" (MIN.) CONT. CONC. FOOTING (MIN. 4"0" BELOW GRADE)

4" CONC. FLOOR ON VAPOR BARRIER & GRAVEL

**NOTES:**  
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

**FRAMING SECTION**  
3/16" = 1'-0"



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**180 - 182 ROSLINDALE AVENUE**  
PROPOSED NEW RESIDENCE  
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PERMIT DRAWINGS  
DATE: 08/26/2016

**A-7**

**DIMENSION STANDARDS:**

- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
  - \* INTERIOR WALLS TO CENTER OF STUD
  - \* WINDOWS/DOORS TO CENTER OF OPENING
- (UNLESS OTHERWISE NOTED)

DOORWAYS AND OPENINGS TO BE CENTERED IN WALLS UNLESS OTHERWISE NOTED

**SILL PLATE ANCHORS:**  
 INSET 1/2" ANCHOR BOLTS MIN. 8" INTO TOP OF CONC. FOUNDATION WALL - MIN 6'-0" O.C. & 12" FROM CORNERS

**GRAPHIC KEY**

- S** HARD-WIRED SMOKE DETECTOR
- C** HARD-WIRED COMBO SMOKE/CO DETECTOR
- V** BATHROOM VENT - DIRECT TO OUTSIDE

**NOTES:**  
 ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)

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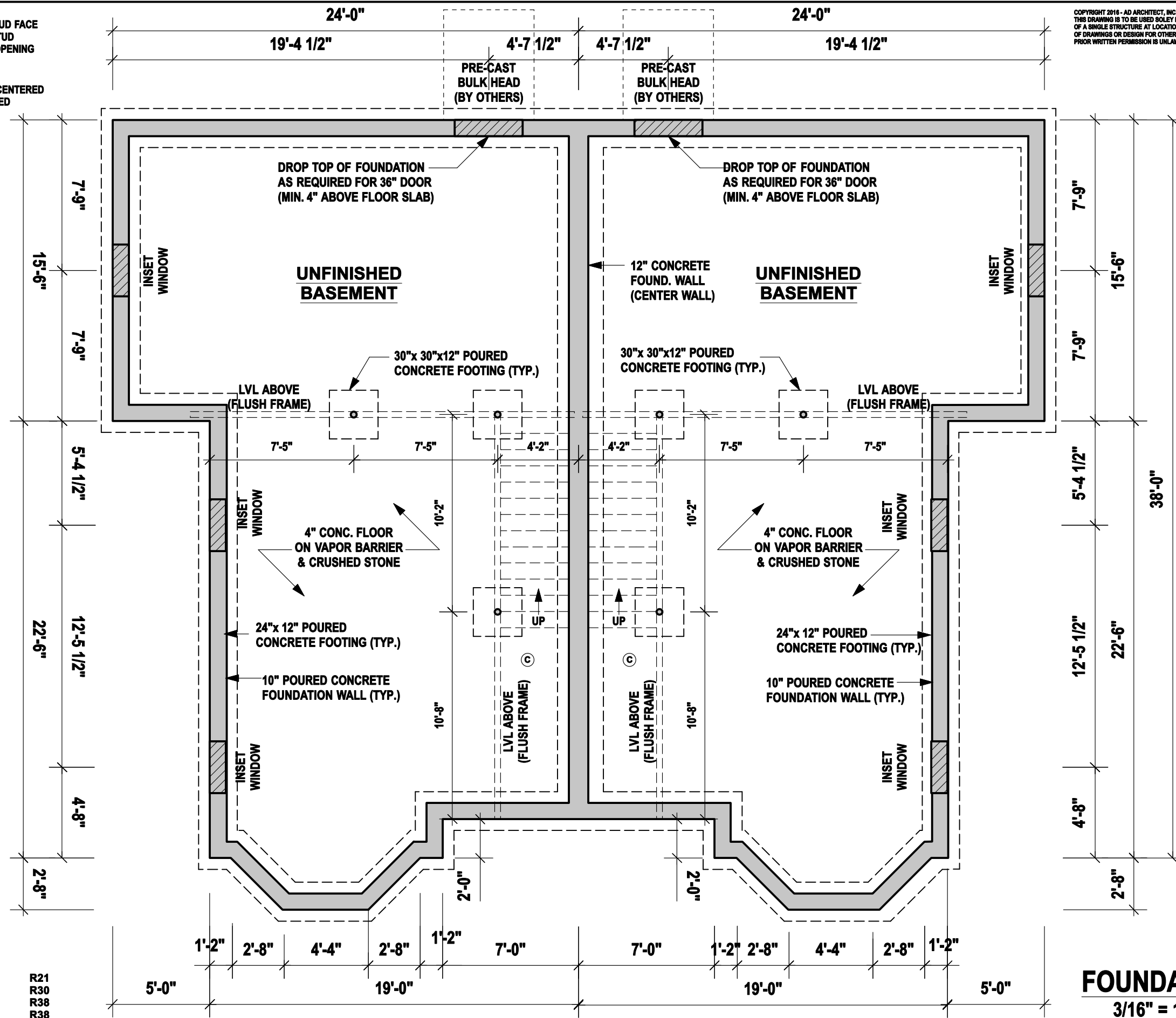
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**180 - 182 ROSLINDALE AVENUE**

PROPOSED NEW RESIDENCE  
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PERMIT DRAWINGS  
 DATE: 08/26/2016

**F-1**



**FOUNDATION**  
 3/16" = 1'-0"



**DIMENSION STANDARDS:**

- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
  - \* INTERIOR WALLS TO CENTER OF STUD
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- (UNLESS OTHERWISE NOTED)

**STAIR NOTES:**

- STRINGERS TO BE 2x12 FRAMING
- FINISHED TREAD TO HAVE 1" NOSING OVERHANG W/ 3/4" TRIM BELOW
- MAX. 8 1/4" RISE PER STEP
- STAIR TREADS: 10" STRINGER CUT (11" FINISHED TREAD)

**INSULATION REQUIREMENTS:**

- EXTERIOR WALLS: R21
- FLOORS (ABOVE BASEMENT): R30
- CEILINGS (BELOW ATTIC): R38
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**HEADERS:**

ALL HEADERS AT OPENINGS IN LOAD-BEARING WALLS TO MINIMUM DOUBLE 2x10s w/ 1/2" PLWD. BETWEEN (UNLESS OTHERWISE NOTED)

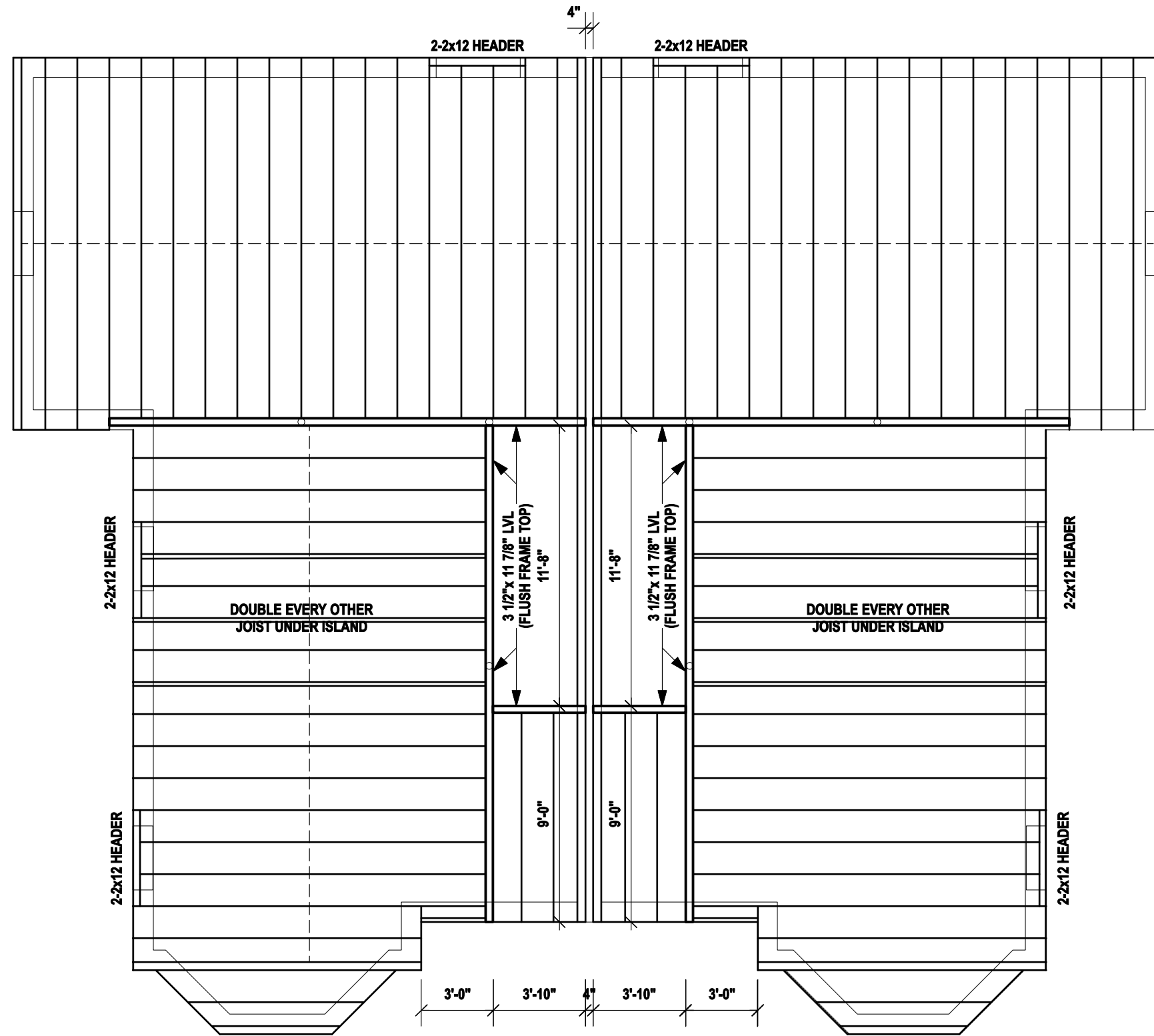
**BRIDGING / BLOCKING:**

ALL FLOOR / CEILING JOISTS TO BE BRACED AT MID SPAN w/ BRIDGING (X-BRACE) OR SOLID BLOCKING

**SILL PLATE ANCHORS:**

INSET 1/2" ANCHOR BOLTS MIN. 8" INTO TOP OF CONC. FOUNDATION WALL - MIN 6'-0" O.C. & 12" FROM CORNERS

**NOTES:**  
ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)



**2x12 JOISTS @ 16" O.C.  
BRACE MID-SPAN**

**LEVEL 1 FRAMING**

3/16" = 1'-0"

**DIMENSION STANDARDS:**  
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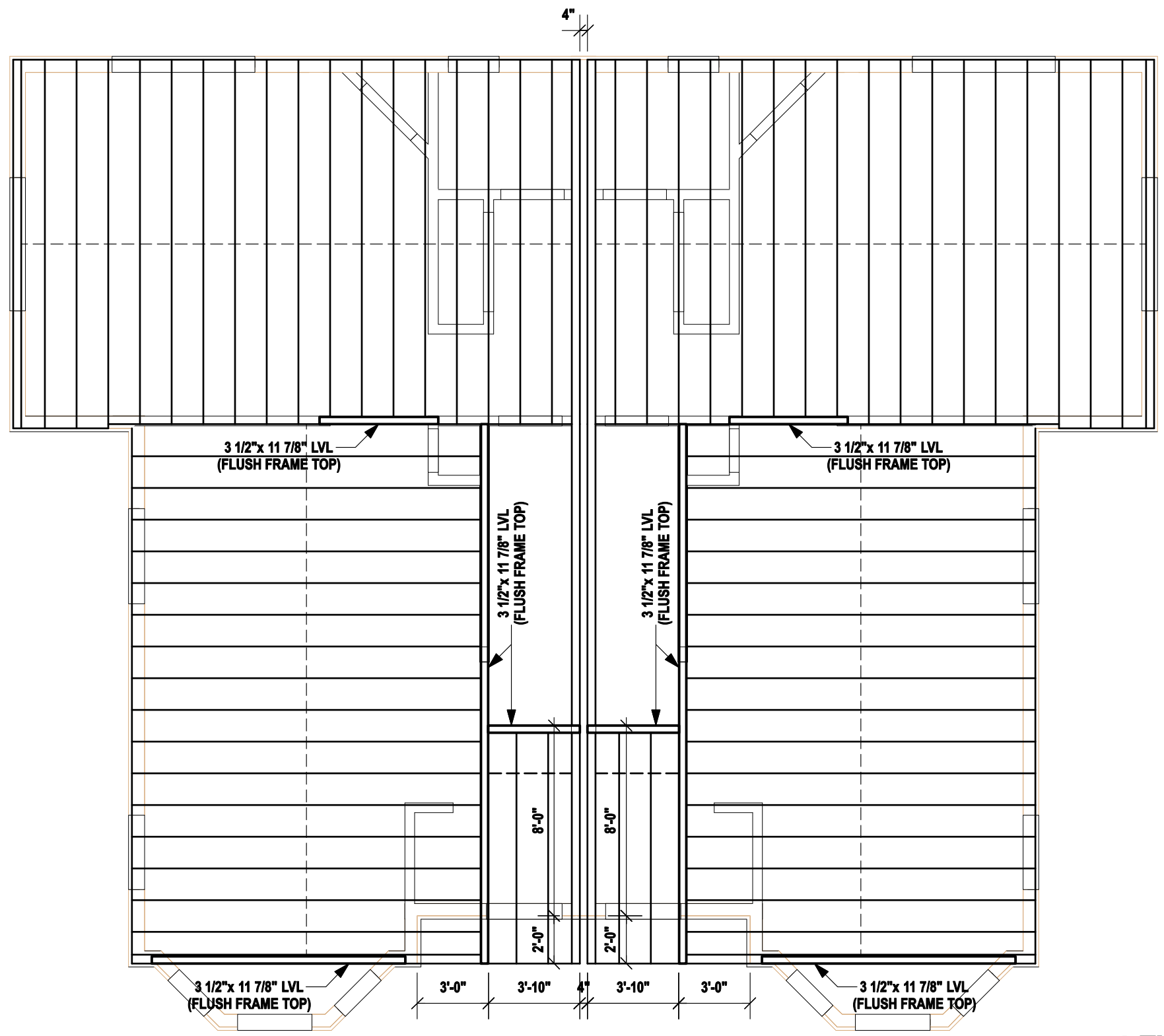
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**NOTES:**  
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**2x12 JOISTS @ 16" O.C.  
BRACE MID-SPAN**

**LEVEL 2 FRAMING**  
3/16" = 1'-0"

**DIMENSION STANDARDS:**

- \* EXTERIOR WALLS TO EXTERIOR STUD FACE
- \* INTERIOR WALLS TO CENTER OF STUD
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(UNLESS OTHERWISE NOTED)

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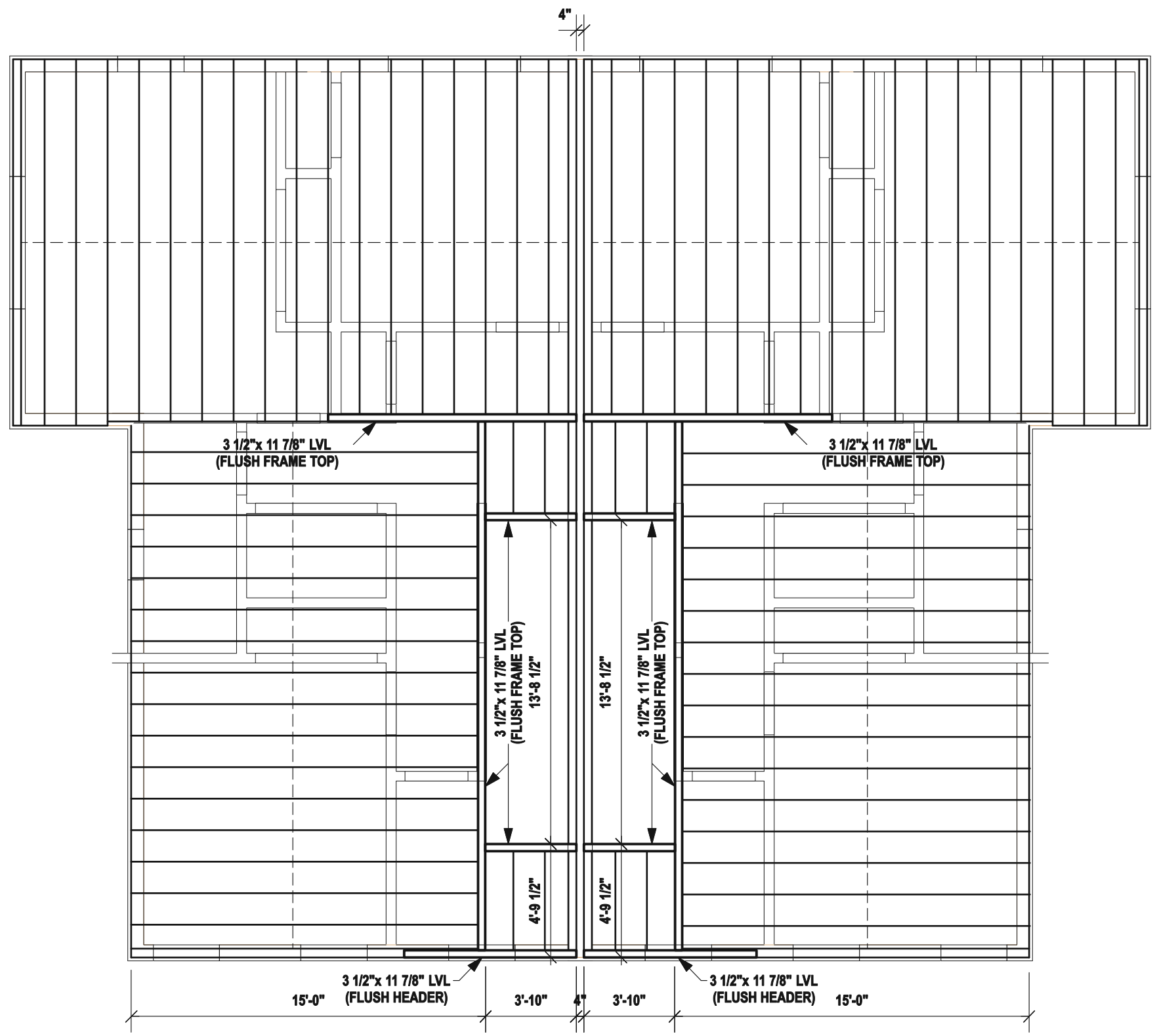
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ALL CONSTRUCTION METHODS & MATERIALS TO COMPLY WITH MASSACHUSETTS BUILDING CODE (780 CMR - 8TH EDITION)



**2x12 JOISTS @ 16" O.C.  
BRACE MID-SPAN**

**ATTIC FRAMING**  
3/16" = 1'-0"

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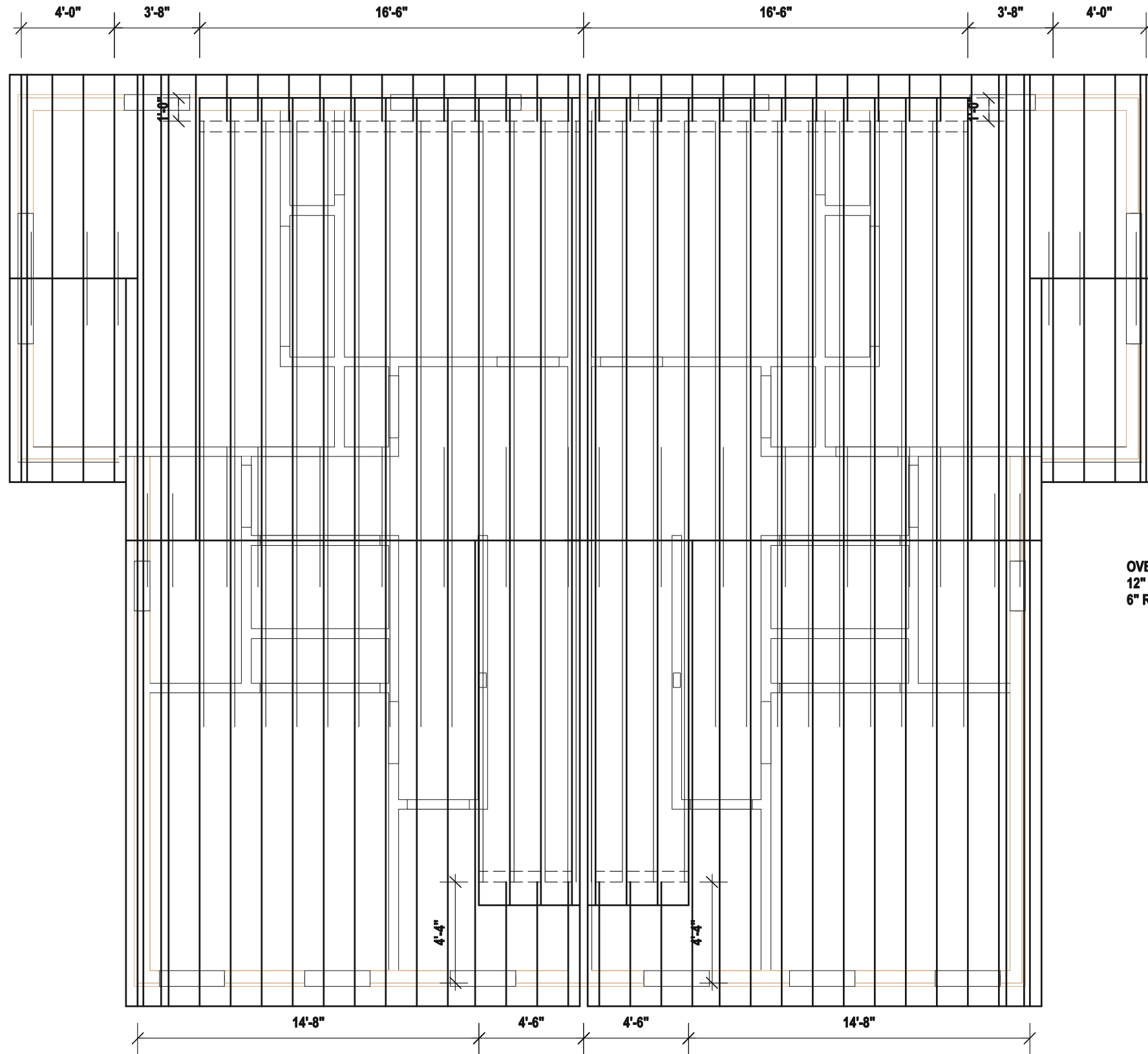
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**NOTES:**  
 ALL CONSTRUCTION METHODS  
 & MATERIALS TO COMPLY WITH  
 MASSACHUSETTS BUILDING CODE  
 (780 CMR - 8TH EDITION)



OVERHANGS:  
 12" EAVES  
 6" RAKES

1 3/4" X 14" LVL RIDGE BOARD  
 2x12 RAFTERS @ 16" O.C.  
 2x6 COLLAR TIES @ 32" O.C.  
 2x10 CEILING JOISTS @ 16" O.C.

**ROOF FRAMING**  
 3/16" = 1'-0"

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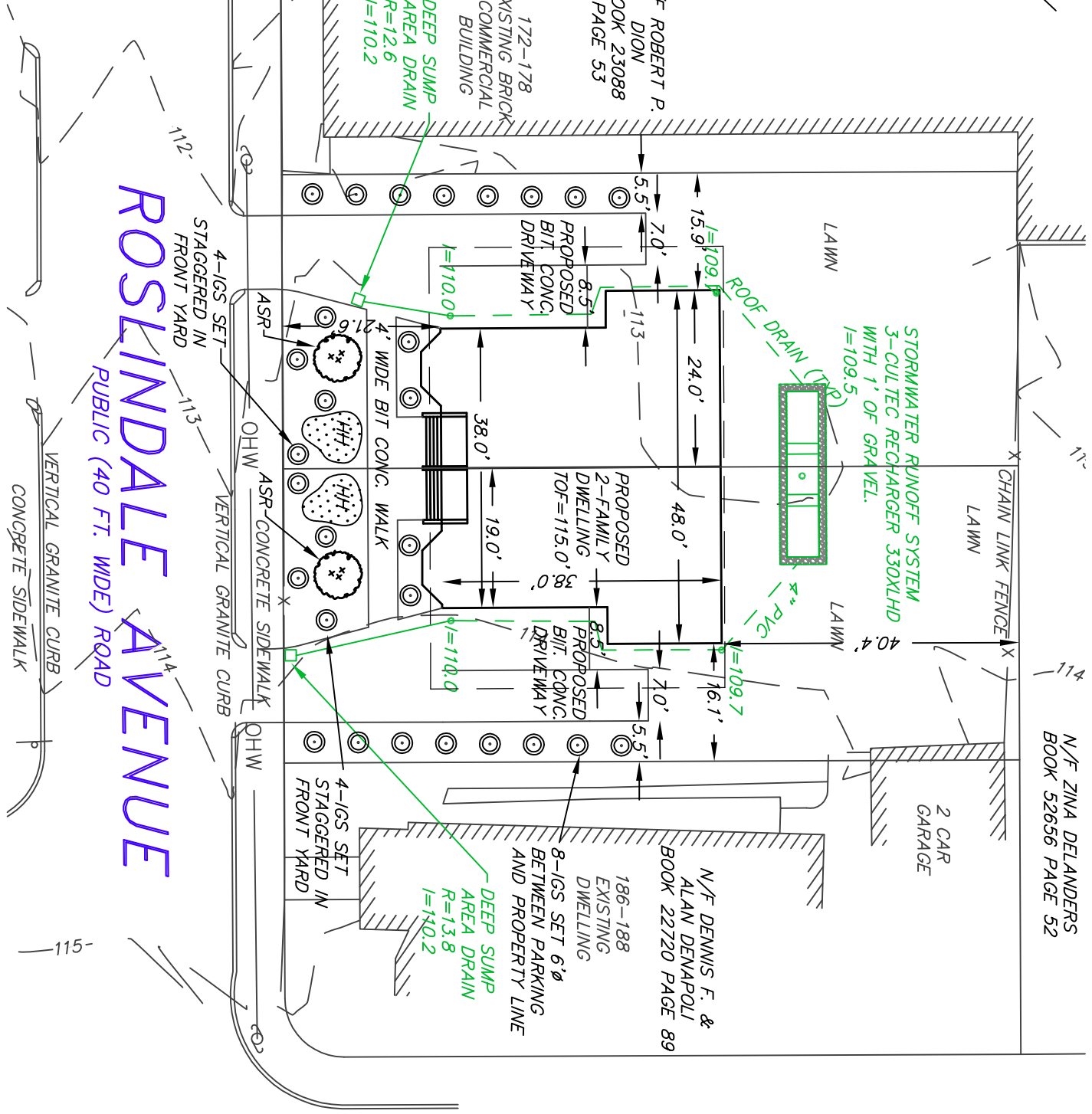
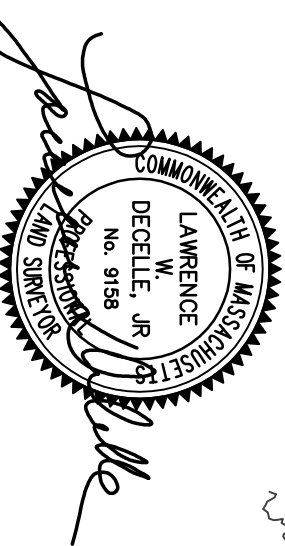
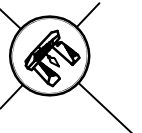
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**180 - 182 ROSLINDALE AVENUE**

PROPOSED NEW RESIDENCE  
 ROSLINDALE NEIGHBORHOOD - BOSTON, MA

PERMIT DRAWINGS  
 DATE: 08/26/2016

**F-5**



WELLSMERE ROAD  
PUBLIC (40 FT. WIDE) ROAD

PLANT		MATERIAL	LIST			
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
IGS	20	ILEX GLABRA 'SHAMROCK'	COMPACT INKBERRY	1 GAL.	CAN	
ASR	2	RHODODENDRON 'APRIL SNOW'	RHODODENDRON	2 - 2 1/2'	CAN	
HH	160	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 QT.	CAN	

ALL LANSCAPED BEDS TO BE EDGED AND MULCHED. REMAINING YARD AREA TO BE LOAMED AND SEEDED.

GENERAL NOTES:  
RECORD OWNERS: FRANCIS & DENNIS DENAPOLI

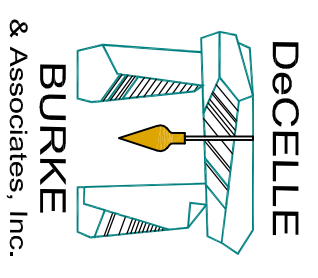
DEED REFERENCE: LC CERT.# 87455  
LC CERT.# 123610

CITY OF BOSTON BENCHMARK:  
RIM SMH 304 ELEV. = 114.33

ZONE 2F-5000  
LOT AREA: 5000 S.F. MIN. - 8,048 PROVIDED  
LOT WIDTH: 50 FT. MIN. - 81.15 FT. PROVIDED  
FRONT YARD: 20 FT. MIN. - 18.6 FT. PROVIDED  
MODAL SETBACK = 15.5'  
SIDE YARD: 10 FT. MIN. - 10.0'/15.1' PROVIDED  
REAR YARD: 40 FT. MIN. - 40' PROVIDED

PROJECT TITLE:  
**LANDSCAPE PLAN**  
LOCATED AT  
**180 & 182 ROSLINDALE AVE.**  
**ROSLINDALE, MA**

PREPARED FOR:  
ANTHONY RUSCITO  
CORVO CONSTRUCTION CORP  
21 MAZZEO DRIVE #101  
RANDOLPH MA, 02368



1266 Furnace Brook Parkway, Quincy, MA 02169  
(617) 405-5100 (O) (617) 405-5101 (F)

DATE: AUGUST 20, 2016  
REVISION:

