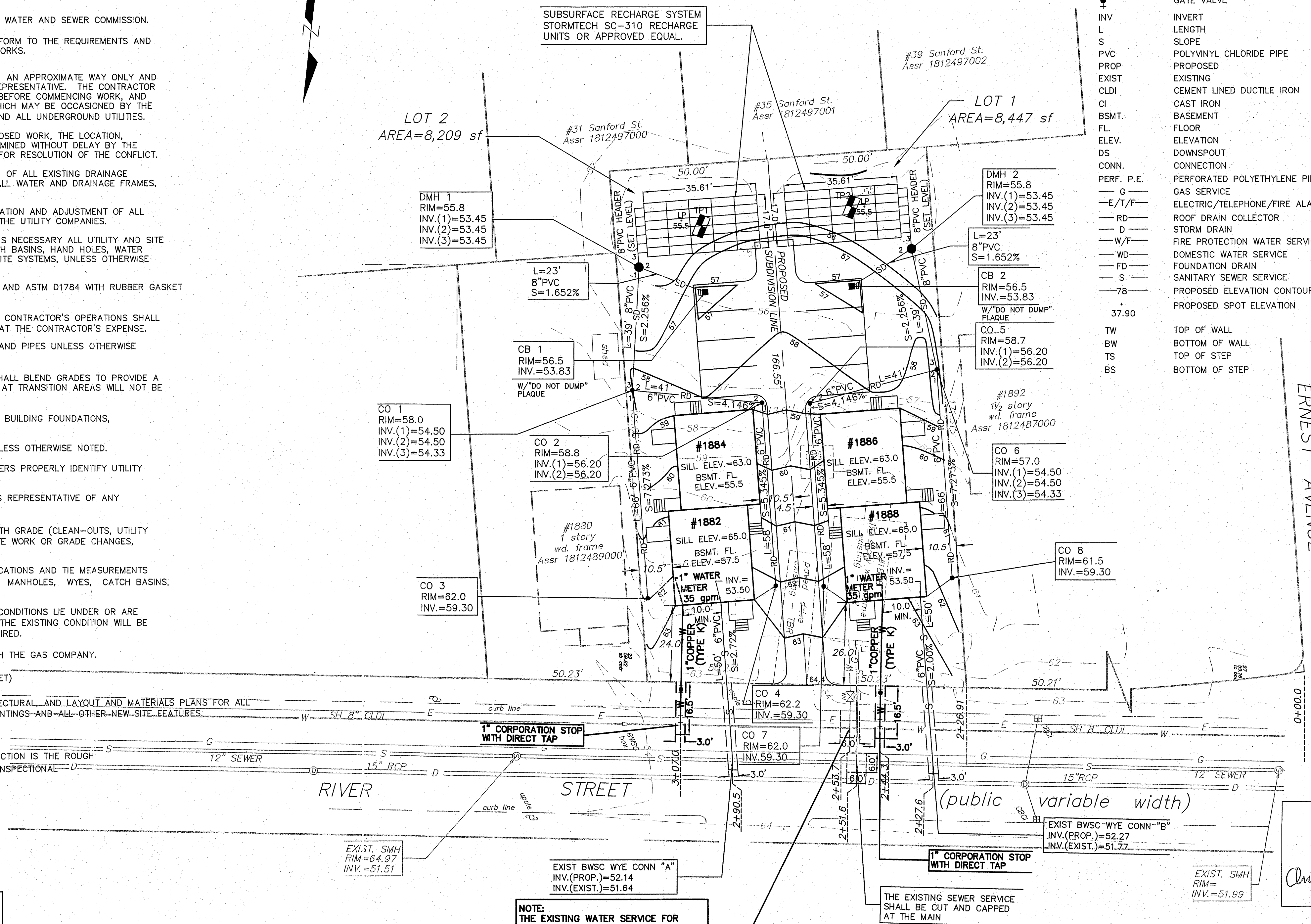


UTILITY NOTES

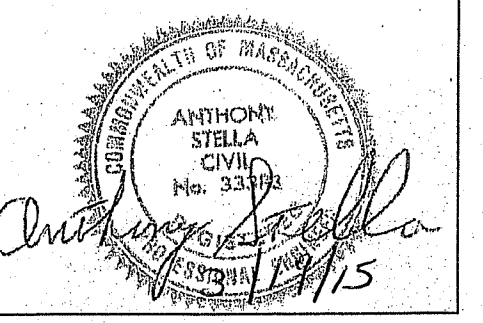
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE BOSTON WATER AND SEWER COMMISSION.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF BOSTON DEPARTMENT OF PUBLIC WORKS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL STORM DRAIN PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT PLAN SHOWING LOCATIONS AND TIE MEASUREMENTS TO ALL NEW UTILITY CONNECTIONS, INCLUDING BUT NOT LIMITED TO: MANHOLES, WYES, CATCH BASINS, AREA DRAINS, T-CONNECTIONS, ETC.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE ALL GAS SERVICE WORK WITH THE GAS COMPANY.
- THE BWSO WATER ACCOUNT NO. IS: 569351000 (1888 RIVER STREET)
- EXISTING SURFACES ARE SHOWN. G.C. TO COORDINATE WITH ARCHITECTURAL AND LAYOUT AND MATERIALS PLANS FOR ALL NEW SURFACES, EXTERIOR BUILDING (STAIR AND AREAWAYS), PLANTINGS-AND-ALL-OTHER-NEW-SITE-FEATURES.
- LAND USE CODE: R2; RESIDENTIAL 2-FAMILY
- A PREREQUISITE FOR FILING A GSA WITH BWSO FOR NEW CONSTRUCTION IS THE ROUGH CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT.

LEGEND:

- CO CLEANOUT
- DMH STORM DRAIN MANHOLE
- SMH SANITARY SEWER MANHOLE
- CB CATCH BASIN
- ⊕ GATE VALVE
- INVERT
- L LENGTH
- S SLOPE
- PVC POLYVINYL CHLORIDE PIPE
- PROP PROPOSED
- EXIST EXISTING
- CLDI CEMENT LINED DUCTILE IRON
- CI CAST IRON
- BSMT. BASEMENT
- FL. FLOOR
- ELEV. ELEVATION
- DS DOWNSPOUT
- CONN. CONNECTION
- PERF. P.E. PERFORATED POLYETHYLENE PIPE
- G GAS SERVICE
- E/T/F/ELECTRIC/TELEPHONE/FIRE ALARM
- RD ROOF DRAIN COLLECTOR
- D STORM DRAIN
- W/F FIRE PROTECTION WATER SERVICE
- WD DOMESTIC WATER SERVICE
- FD FOUNDATION DRAIN
- S SANITARY SEWER SERVICE
- 78 PROPOSED ELEVATION CONTOUR
- 37.90 PROPOSED SPOT ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TS TOP OF STEP
- BS BOTTOM OF STEP



ERNEST AVENUE



INSPECTION CHECKLIST	
1" WATER SERVICE INSTALLATION (2+44.3):	DATE: _____ INSPECTOR: _____
1" WATER SERVICE INSTALLATION (3+07.0):	DATE: _____ INSPECTOR: _____
6" SANITARY SEWER INSTALLATION (2+27.6):	DATE: _____ INSPECTOR: _____
DYE TEST (SEWER "A"):	DATE: _____ INSPECTOR: _____
6" SANITARY SEWER INSTALLATION (2+90.5):	DATE: _____ INSPECTOR: _____
DYE TEST (SEWER "B"):	DATE: _____ INSPECTOR: _____
CATCH BASIN 1: (1882-1884 RIVER STREET)	DATE: _____ INSPECTOR: _____
"DO NOT DUMP" PLAQUE	DATE: _____ INSPECTOR: _____
CATCH BASIN 2: (1886-1888 RIVER STREET)	DATE: _____ INSPECTOR: _____
"DO NOT DUMP" PLAQUE	DATE: _____ INSPECTOR: _____
RECHARGE SYSTEM INSTALLATION (1882-1884 RIVER ST.):	DATE: _____ INSPECTOR: _____
RECHARGE SYSTEM INSTALLATION (1886-1888 RIVER ST.):	DATE: _____ INSPECTOR: _____
AS-BUILT PLAN	DATE: _____ INSPECTOR: _____
1" WATER METER: (1882-1884 RIVER STREET)	DATE: _____ INSPECTOR: _____
1" WATER METER: (1886-1888 RIVER STREET)	DATE: _____ INSPECTOR: _____

NO.	BWSO COMMENTS	3/10/15
1	REVISION	DATE

**SITE PLAN FOR PROPOSED RESIDENCES AT 1882-1884 RIVER STREET AND 1886-1888 RIVER STREET HYDE PARK, MA 02136**

OWNER(S): MR. YI CHEN  
5 CHESBROUGH ROAD  
WEST ROXBURY, MA 02132

Site Engineering Consultants, Inc.  
55 Grape Shot Road  
Sharon, Massachusetts 02067  
TEL: (781) 784-0328  
FAX: (781) 784-0492  
CONSULTING CIVIL ENGINEERS

**SITE PLAN #15041**

SCALE: AS NOTED DATE: 2/02/2015  
DRAWN BY: A.S.  
CHECKED BY:  
PROJECT NO: 0199

**SHEET 1 OF 3**

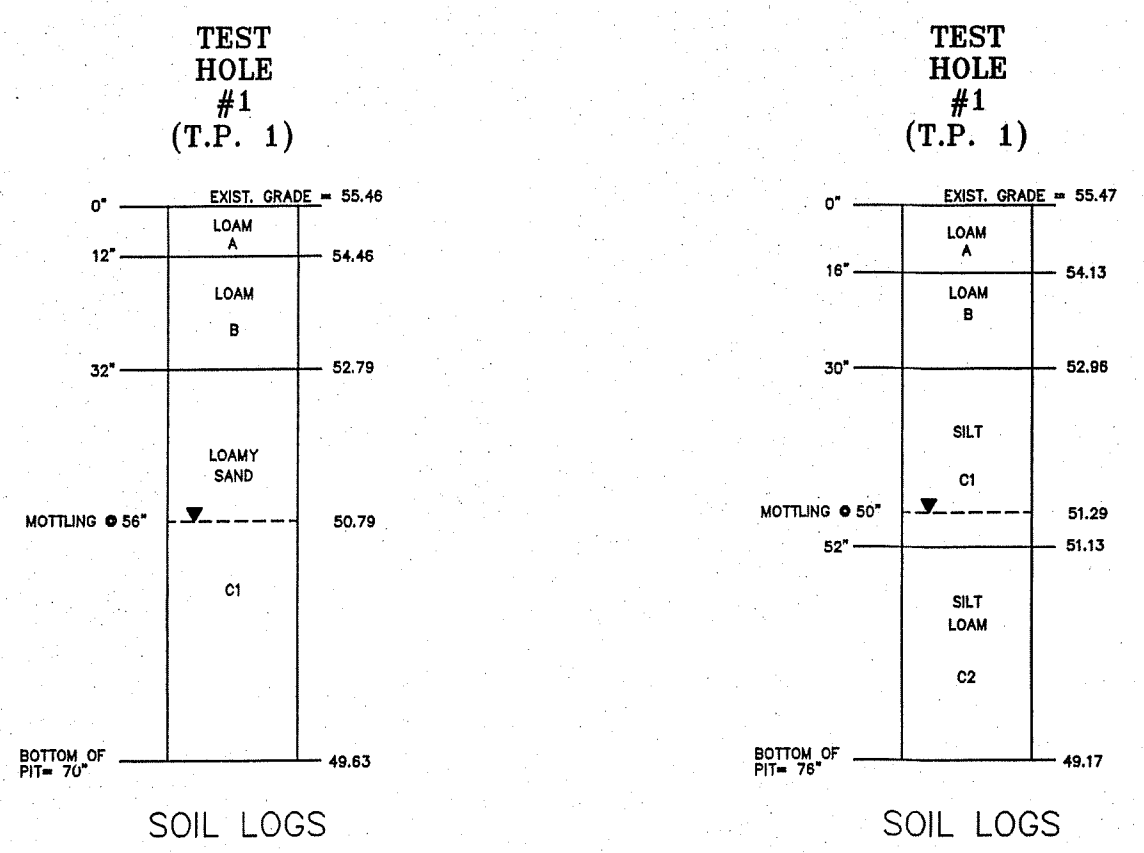
BWSO SITE PLAN NO. 15041

**BOSTON WATER AND SEWER COMMISSION**  
Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from BWSO prior to Connection to BWSO facilities. Site Plans are valid for a period of one (1) year from date of approval.

*[Signature]* 3/20/15  
JOHN P. SULLIVAN, JR. P.E.  
Chief Engineer

ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

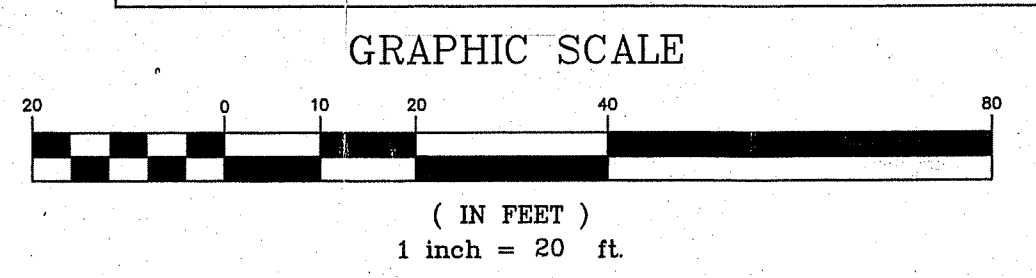
FOR BWSO USE

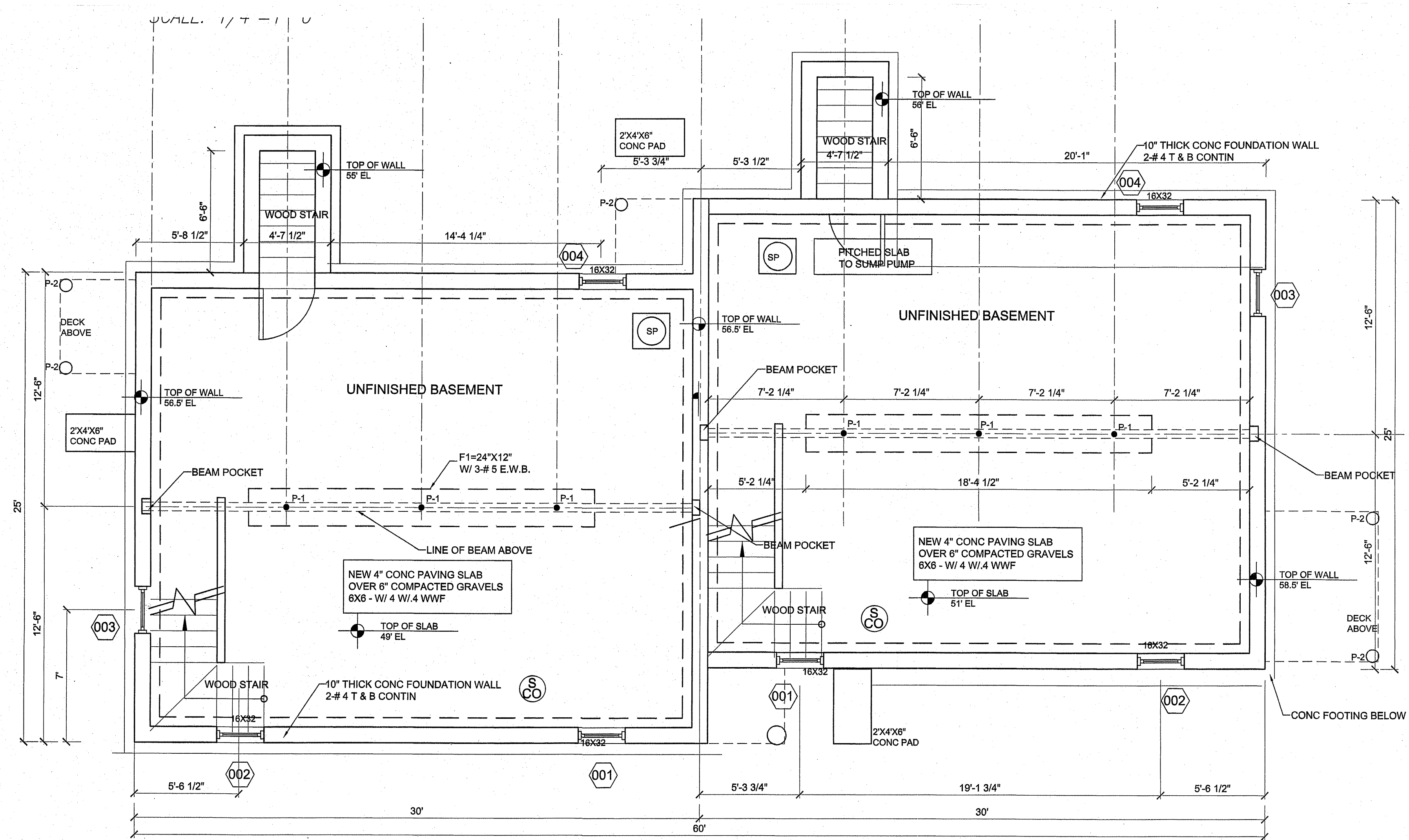


**NOTE:**  
THE EXISTING WATER SERVICE FOR NO. 1888 RIVER STREET SHALL BE SHUT-OFF, DISCONNECTED, AND SEALED AT THE MAIN BY THE CONTRACTOR. THE EXISTING WATER METER SHALL BE RETURNED TO THE BOSTON WATER AND SEWER COMMISSION.

THE EXISTING SEWER SERVICE SHALL BE CUT AND CAPPED AT THE MAIN

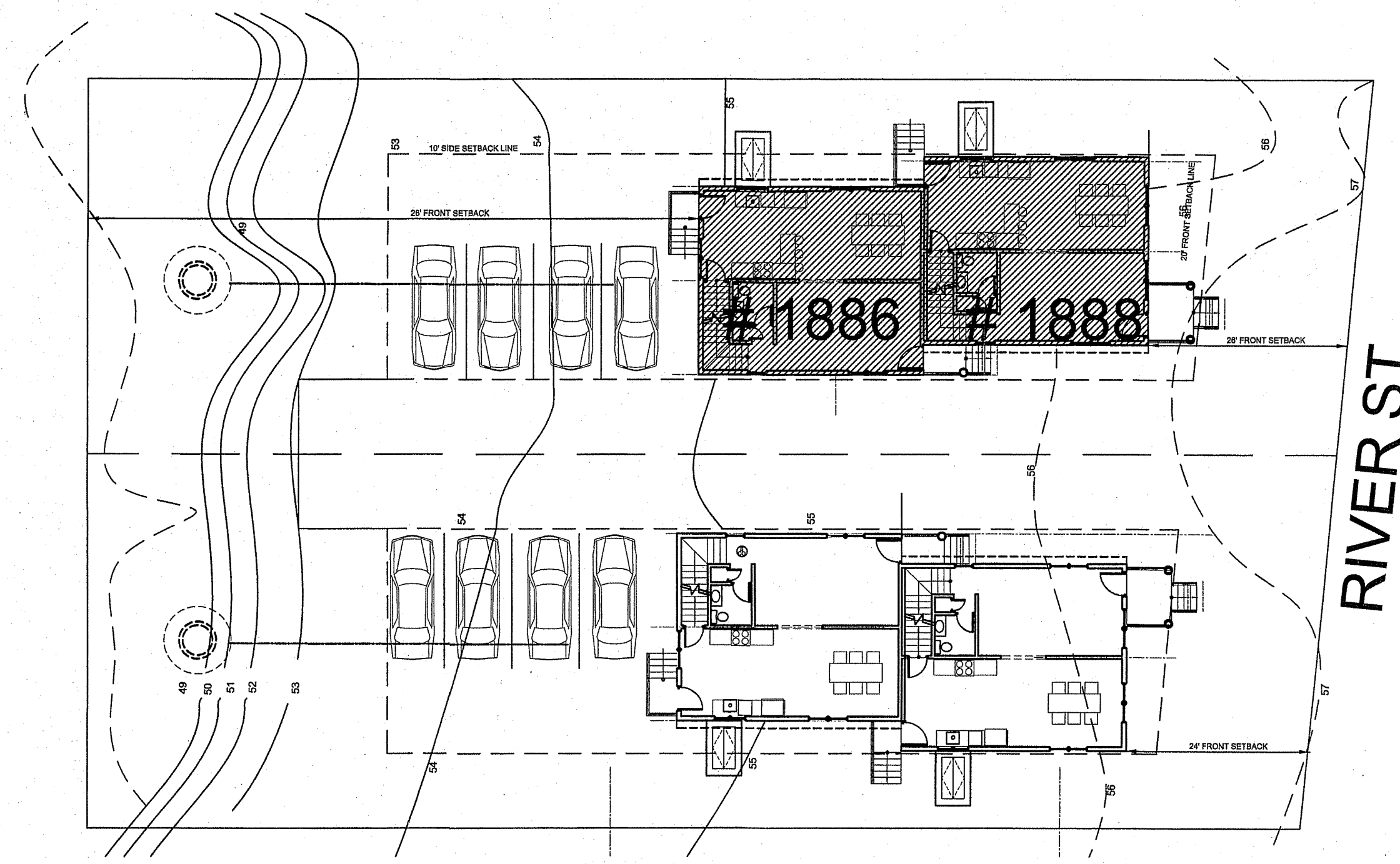
DMH 1: (1882-1884 RIVER STREET)	DATE: _____ INSPECTOR: _____
DMH 2: (1886-1888 RIVER STREET)	DATE: _____ INSPECTOR: _____
CUT AND CAP EXISTING SEWER (2+51.5)	DATE: _____ INSPECTOR: _____
CUT AND CAP EXISTING WATER SERVICE (2+53.7)	DATE: _____ INSPECTOR: _____





2 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

LEGENDS:  
P-1 = 3.5" DIA LALLY COL  
P-2 = 4X4 P.T. WOOD POST ON 8" DIA SONOTUBE  
P-3 = 4X6 P.T. WOOD POST ON 12" DIA SONOTUBE



1 PROPOSED SITE PLAN  
1/16" = 1'-0"

### DRAWING LIST

- A-1 FOUNDATION PLAN AND SITE PLAN
- A-2 FIRST AND SECOND FLOOR PLANS
- A-3 ELEVATIONS AND SECTIONS
- A-4 ELEVATIONS
- A-5 ROOF PLAN & DETAILS
- S-1 FRAMING PLANS
- S-2 FRAMING PLANS

BUILDING CODES  
8TH EDITION CODE OF MASSACHUSETTS REGULATIONS  
780 CMR

### GENERAL NOTES:

1. G.C. TO VERIFY ALL EXISTING FIELD MEASUREMENTS AT ALL LOCATIONS PRIOR TO CONSTRUCTION.
2. DIMENSIONS ARE APPROXIMATE LOCATIONS.

- NEW WALL, SEE WALL SECTIONS FOR WALL TYPES
- - - - EXISTING WALL TO BE DEMOLISHED

### PROPOSED NOTES:

1. OWNER TO REPAVE ALL DRIVES AND PROVIDE ADEQUATE DRAINAGE.

- SD 2. NEW SMOKE DETECTOR W/ PERMANENT POWER SUPPLY
- CS 4. NEW SMOKE + CARBON MONOXIDE DETECTOR W/ PERMANENT POWER SUPPLY
- LS LIGHT SWITCH
- DP DUPLX POWER RECEPTACLE

\* ALL EXISTING EGRESS STAIRS AND EXIT DOORS TO REMAIN \*\* REFER TO SURVEY ENGINEER'S PLOT PLAN FOR EXACT SETBACK DIMENSIONS

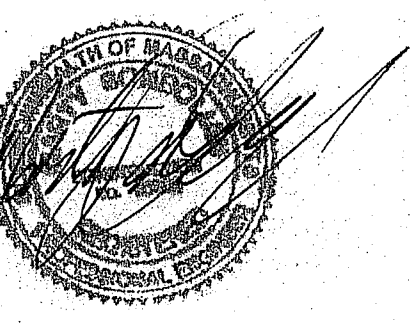
RESIDENTIAL ASSESSING DISTRICT: 2F-5000 (1)  
SETBACK REQUIREMENTS:  
FRONT 20' (REQUIRED) 26' (PROVIDED)  
SIDES 10' (REQUIRED) 10.5', 14.5' (PROVIDED)  
REAR 40' (REQUIRED) 81' (PROVIDED)

MIN LOT AREA FOR DWELL UNIT=5000  
ADDITIONAL LOT AREA FOR EACH ADD DWELL = 3000  
LOT WIDTH MIN = 50'  
LOT FRONTAGE MIN = 50'  
MAX FLOOR AREA RATIO = 0.5  
PROPOSED LIVING AREA = 1515X2=3030 SF  
MIN OPEN SPACE: 1750 PER DWELLING UNIT  
PROPOSED F.A.R. = 0.38  
BUILDING HEIGHT: MAX 35' FROM AVERAGE GRADE  
MAX NUMBER OF STORIES: 2.5  
REAR YARD MAX OCCUPANCY BY ACCESSOR BLDG=25%

402608  
CITY OF BOSTON  
KEN MORIN

LDC  
18 GLEASON RD  
LEXINGTON MA 02420  
PHONE: 617 697 0494

STAMPED BY:  
MARTY SONBOLIAN  
Reg. No. 35332



CLIENT:  
YI R. CHEN  
HYDE PARK MA

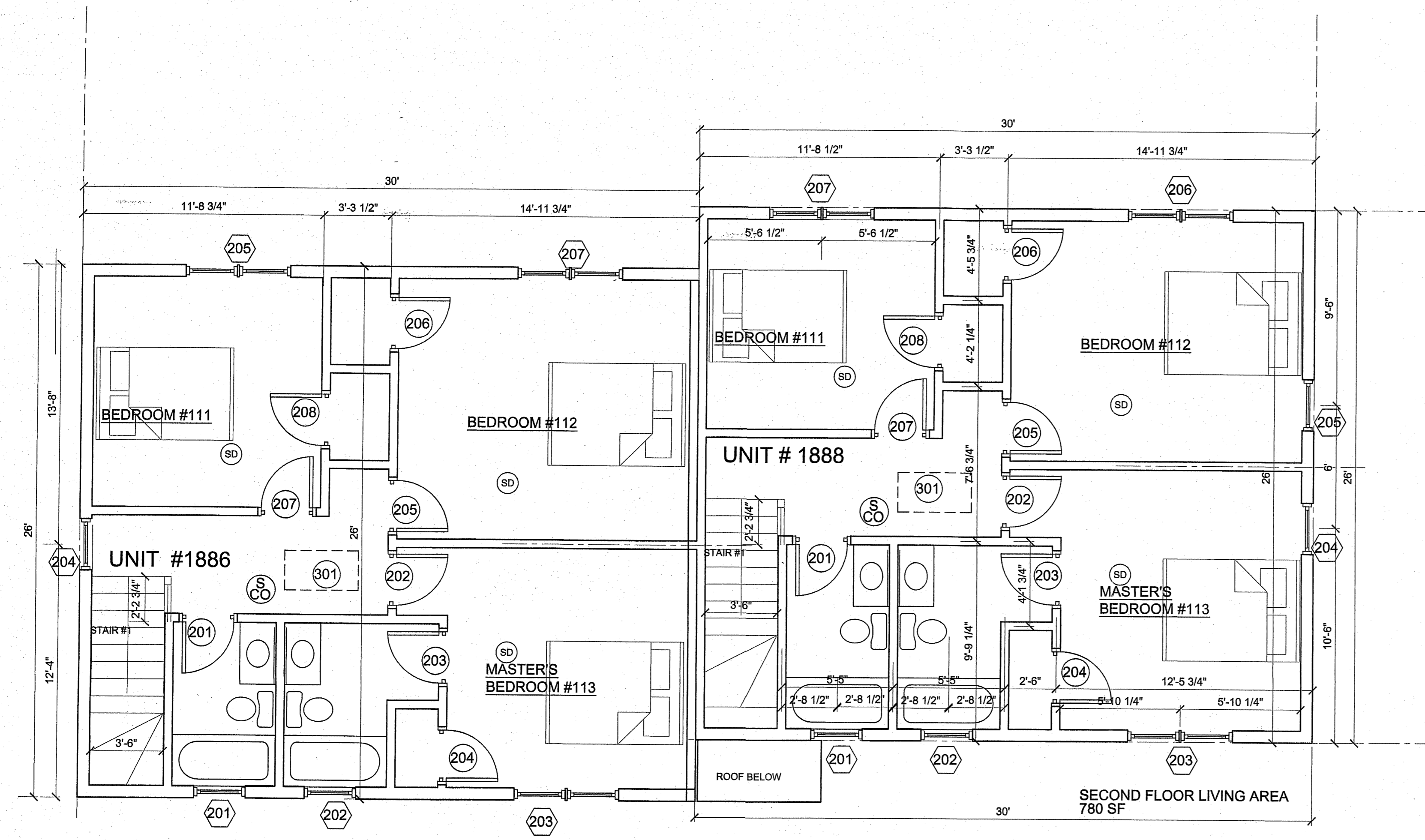
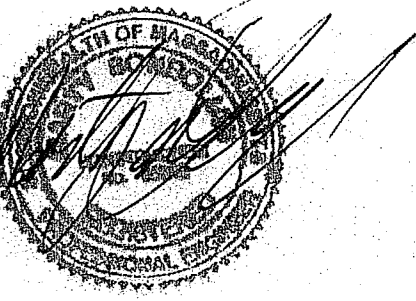
INSPECTION SERVICE:  
1010 MASS AVE 6TH FLOOR  
BOSTON MA  
PHONE:

PROPOSED TOWNHOUSE LOT 1-UNITS 1 & 2  
1886-88 RIVER ST., HYDE PARK MA

REVISIONS:  
DATE: NOV 5, 2014  
SCALE: AS SHOWN  
TITLE: CONSTRUCTION DOCUMENT  
DRAWN BY: BRIAN LAU CHECKED BY:  
COMMENTS: PERMIT DRAWING

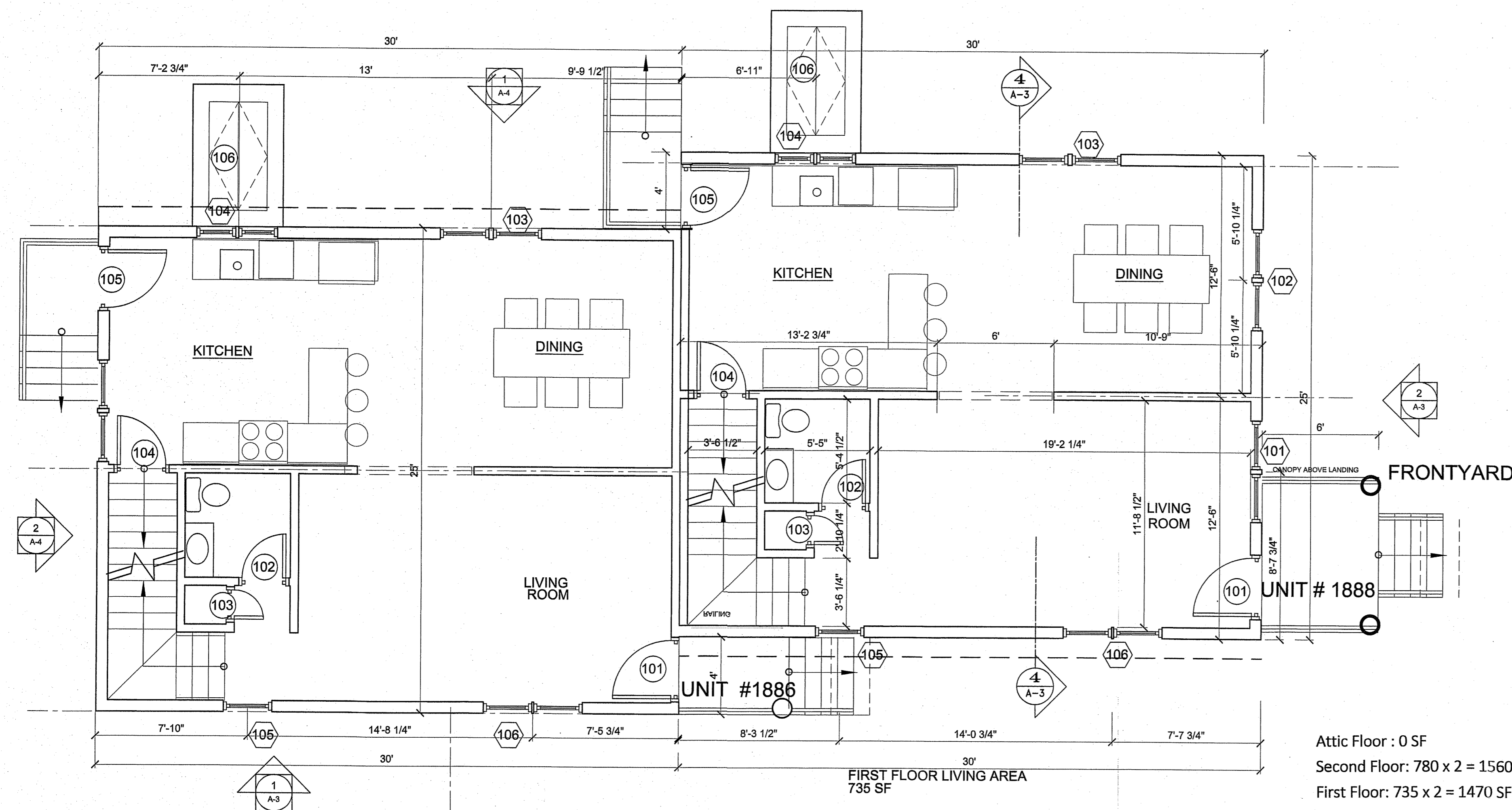
DATE: NOV 5, 2014  
SCALE: AS SHOWN  
TITLE: CONSTRUCTION DOCUMENT  
DRAWN BY: BRIAN LAU CHECKED BY:  
COMMENTS: PERMIT DRAWING

A-1



2 SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

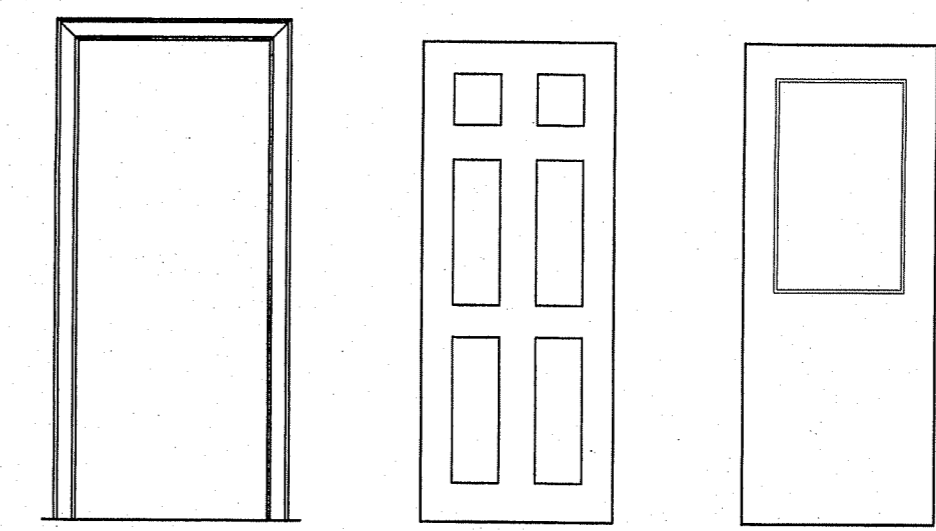
CODE	DESCRIPTION	MANUFACTURER	MATERIAL	WIDTH	HEIGHT	CORE	REMARKS
<b>BASEMENT</b>							
001	EXIT DOOR	WOOD / INSULATED		3'-0"	6'-8"	SOLID	PREHUNG INSULATED
<b>FIRST FLOOR</b>							
101	MAIN ENTRANCE	MAHAGONY	THERMA THRU	FIBERGLASS	3'-0"	6'-8"	SOLID PREHUNG INSULATED
102			MOULDED DOOR	MASONITE	2'-6"	6'-8"	SOLID - INSULATED
103			MOULDED DOOR	MASONITE	1'-6"	6'-8"	HOLLOW -
104			-	-	2'-6"	6'-8"	SOLID -
105	EXTERIOR/SASH	INSULATED W/ SASH	THERMA THRU	FIBERGLASS	3'-0"	6'-8"	HOLLOW -
106	METAL BULK HEAD		BILCO				-
<b>SECOND FLOOR</b>							
201		6-PANEL	MOULDED DOOR	MASONITE	2'-6"	6'-8"	SOLID PREHUNG
202		-	-	2'-6"	6'-8"	SOLID -	
203		-	-	2'-6"	6'-8"	SOLID -	
204		-	-	2'-6"	6'-8"	HOLLOW -	
205		-	-	2'-6"	6'-8"	SOLID -	
206		-	-	2'-6"	6'-8"	HOLLOW -	
207		-	-	2'-6"	6'-8"	SOLID -	
208		-	-	2'-6"	6'-8"	HOLLOW -	
<b>ATTIC FLOOR</b>							
301	PULL DOWN LADDER		ALUM				INSULATED



1 FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

THE WHOLE HOUSE EQUIPPED W/  
 (SD) HARDWIRE SMOKE DETECTORS  
 (CO) HARDWIRE CARBON MONOXIDE DETECTORS

Attic Floor : 0 SF  
 Second Floor: 780 x 2 = 1560 SF  
 First Floor: 735 x 2 = 1470 SF  
 Basement: 0 SF  
 Total Living Area: 3,030 SF  
 Lot Area: 8,447 SF

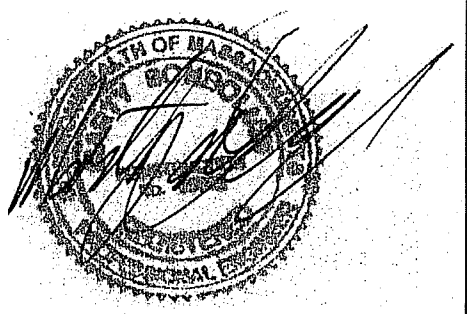


APPLICANT:  
 YI R. CHEN  
 407603  
 CITY OF BOSTON  
 KEN MORIN

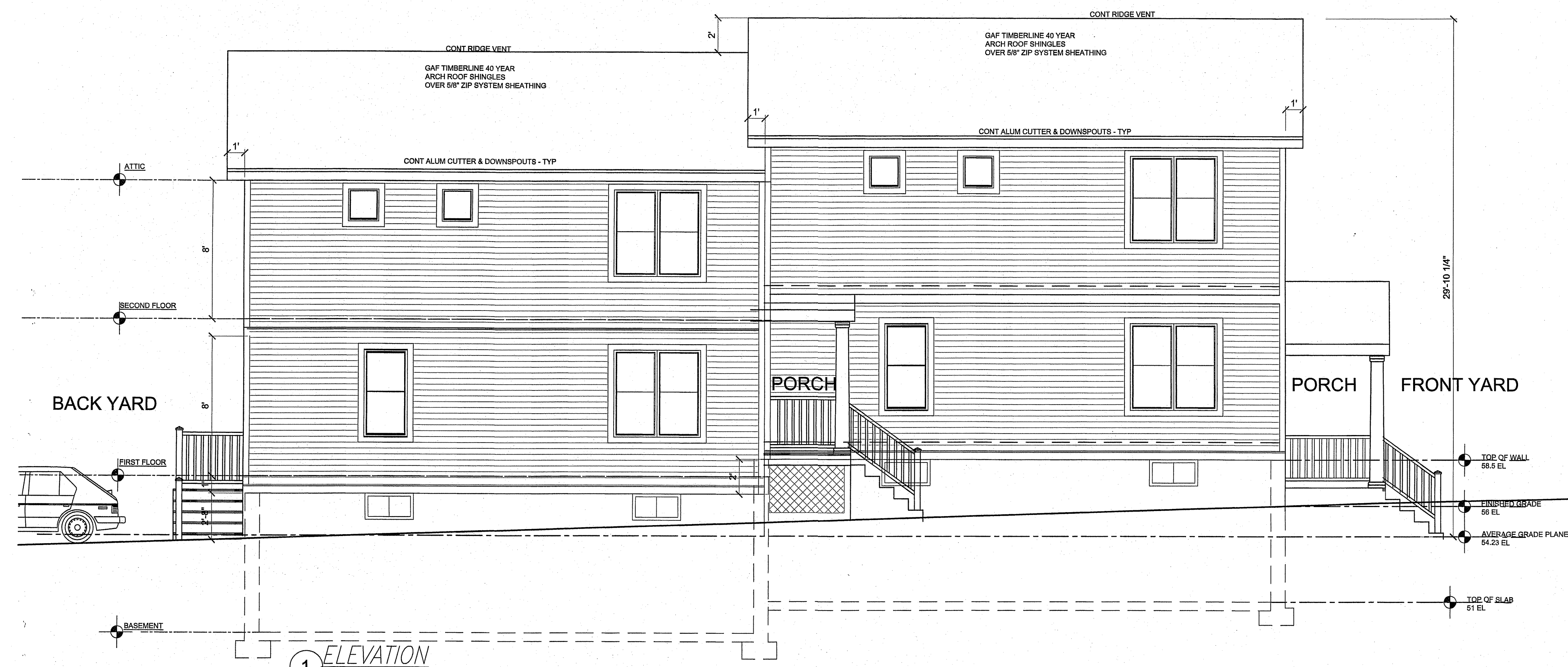
PROPOSED TOWNHOUSE LOT 1-UNITS 1 & 2  
 1886-88 RIVER ST., HYDE PARK MA

REVISIONS:  
 DATE: NOV 5, 2014  
 SCALE: AS SHOWN  
 TITLE: CONSTRUCTION DOCUMENT  
 DRAWN BY: BRIAN LAU CHECKED BY:  
 COMMENTS: PERMIT DRAWING

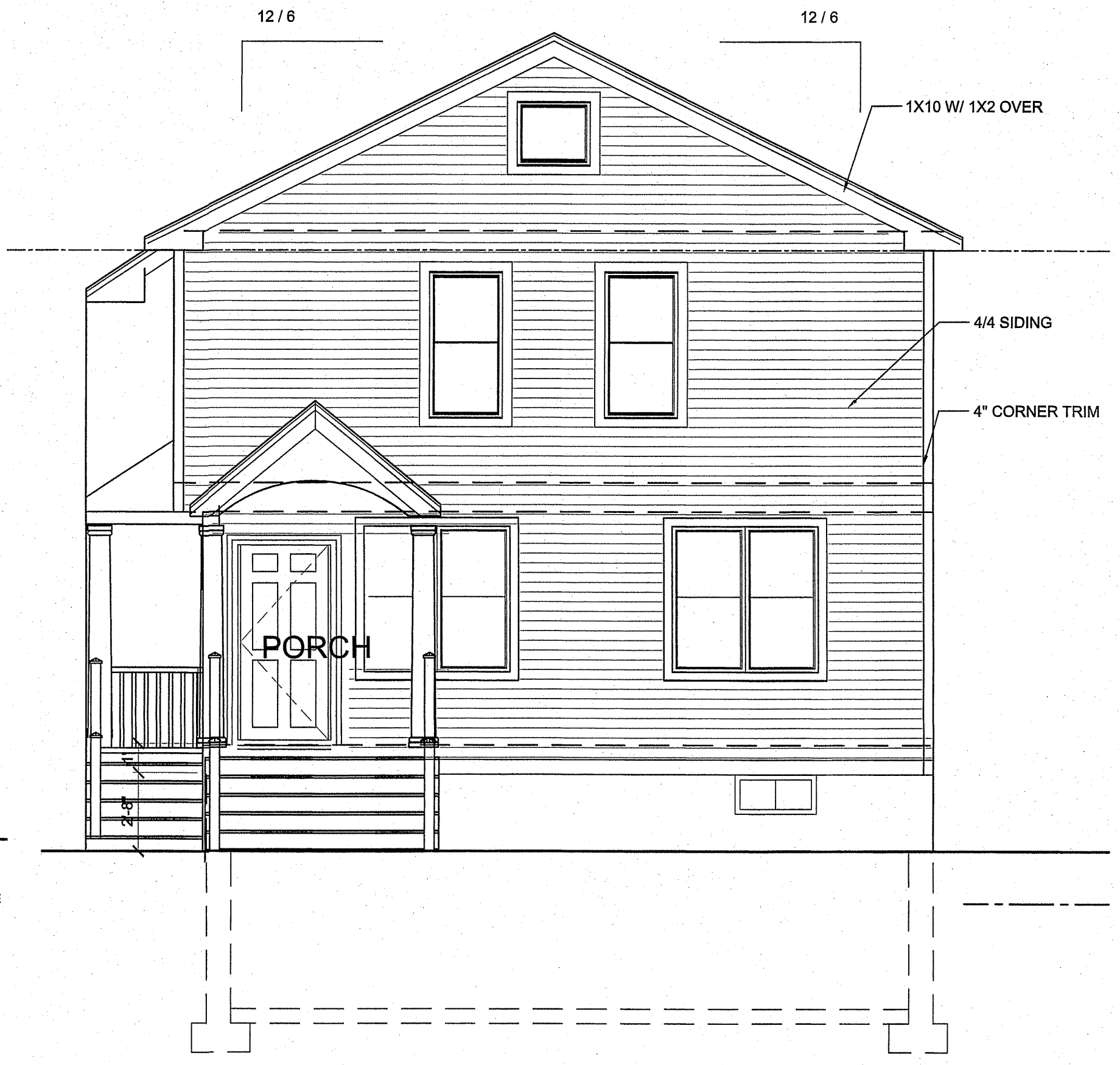
DWG. NO:  
**A-2**



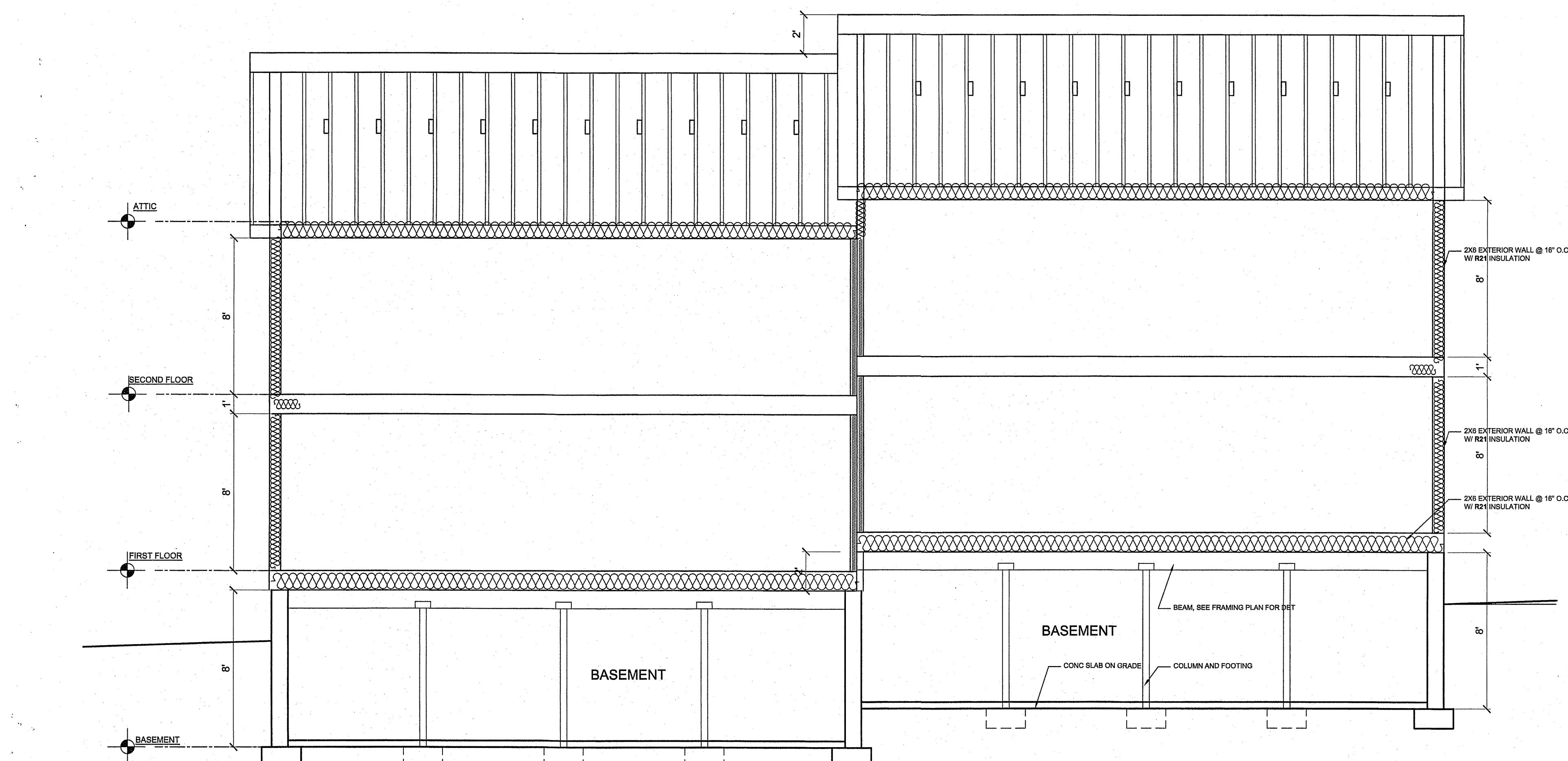
PROPOSED TOWNHOUSE LOT 1-UNITS 1 & 2  
 1886-88 RIVER ST., HYDE PARK MA



1 ELEVATION  
 SCALE: 1/4"=1'-0"

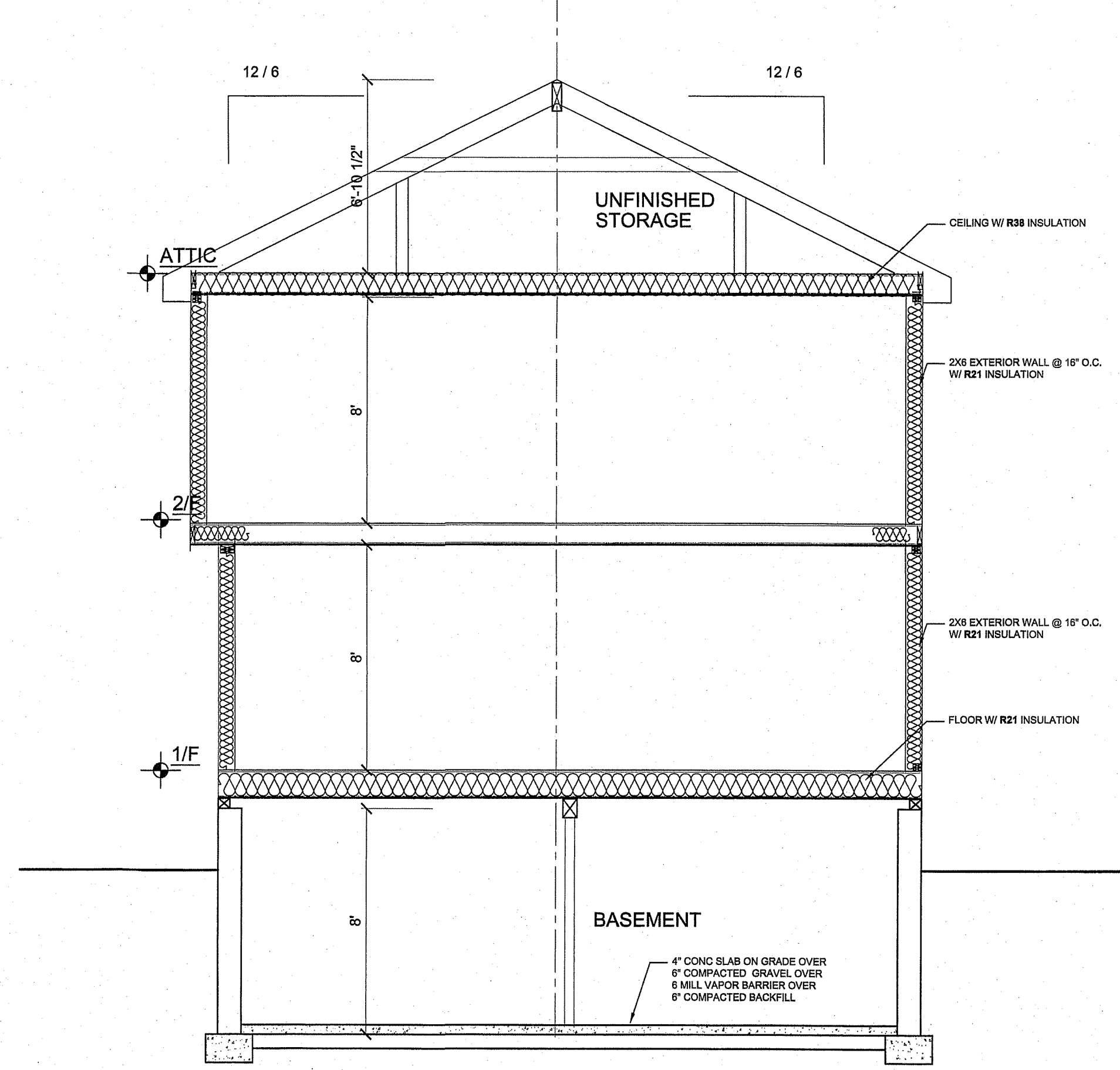


2 ELEVATION (RIVER STREET)  
 SCALE: 1/4"=1'-0"



3 SECTION  
 SCALE: 1/4"=1'-0"

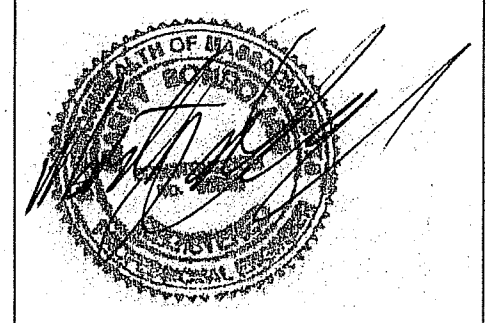
R-38, (12" BATT INSULATION) AT ATTIC FLOOR  
 R-30, (10" BATT INSULATION) BASEMENT CEILING  
 R-21, (6 1/2" BATT INSULATION) EXTERIOR WALLS



4 BLDG SECTION  
 SCALE: 1/4"=1'-0"

APPLICABLE  
 OF PLAN FILED WITH  
 SECTIONAL SERVICES DEPART.  
 PERMIT  
 404708  
 CITY OF BOSTON  
 KEN MORIN

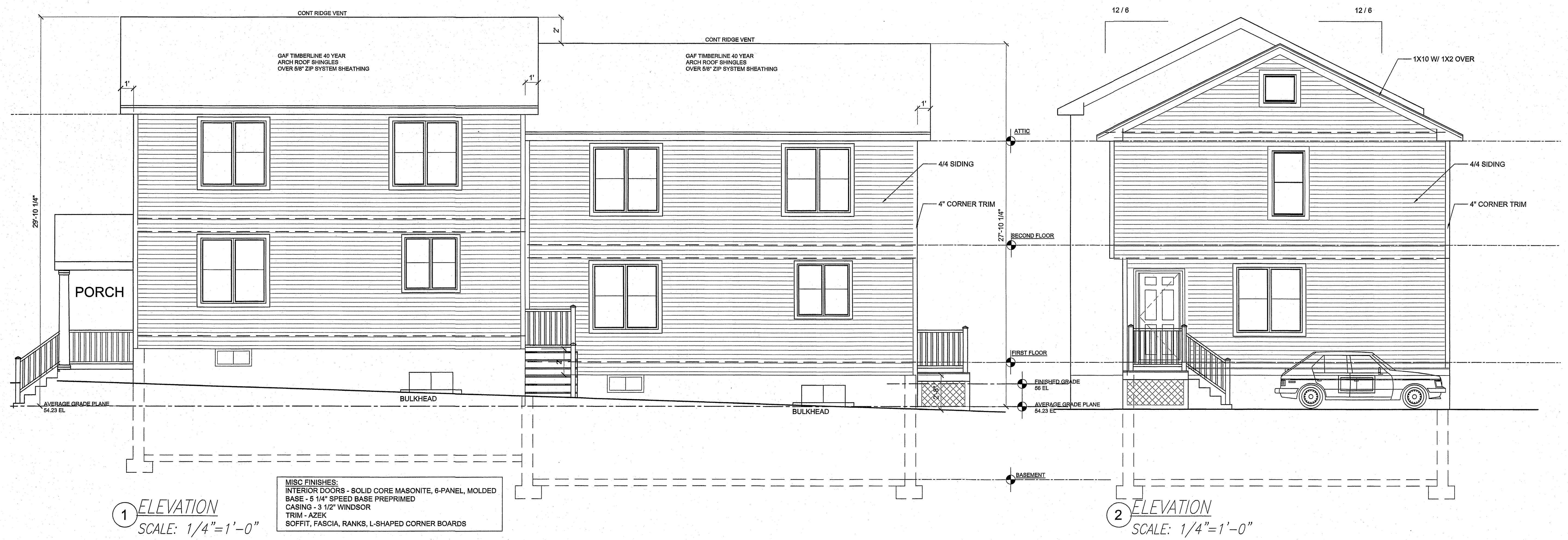
STAMPED BY:  
 MARTY SONBOLIAN  
 Reg. No. 35332



CLIENT:  
 YI R. CHEN  
 HYDE PARK MA

INSPECTION SERVICE:  
 1010 MASS AVE 5th FLOOR  
 BOSTON MA  
 PHONE:

**PROPOSED TOWNHOUSE LOT 1-UNITS 1 & 2**  
**1886-88 RIVER ST., HYDE PARK MA**

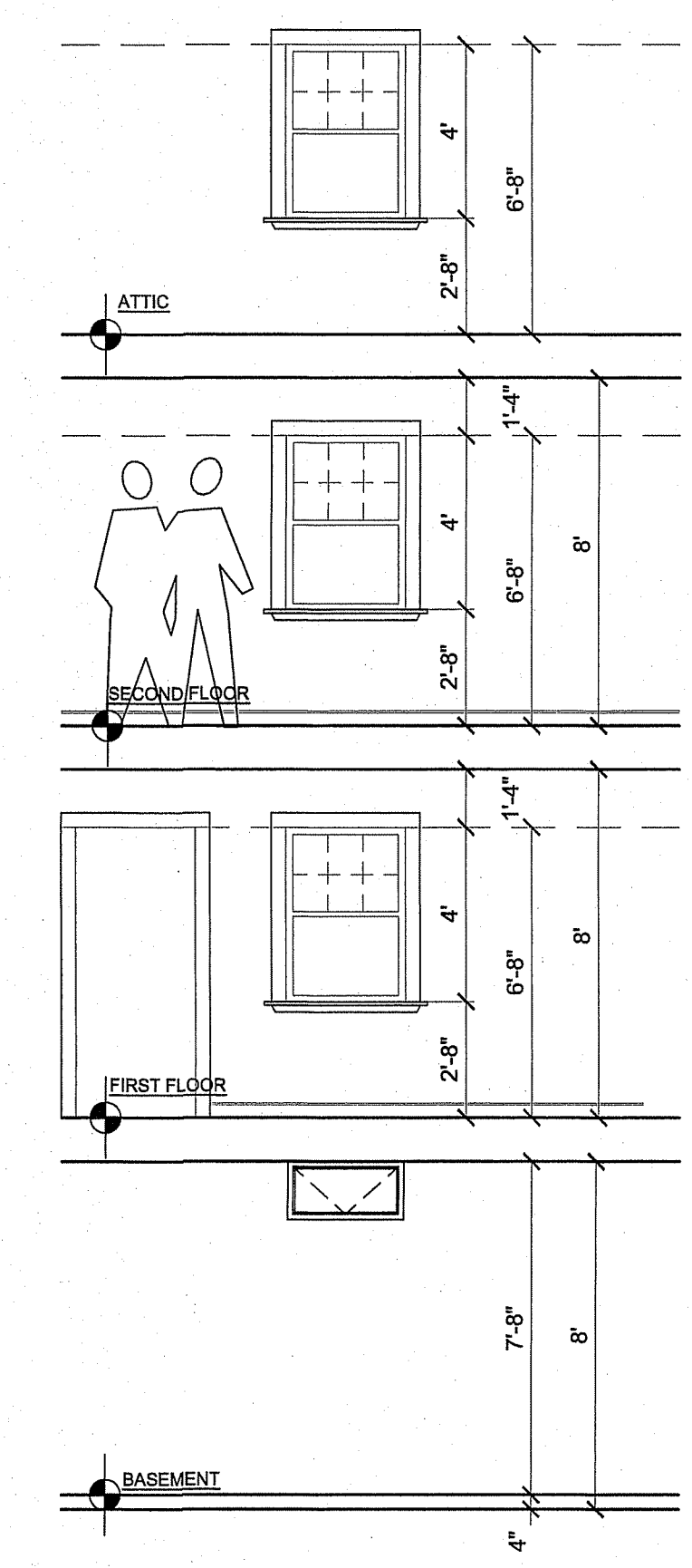


1 ELEVATION  
 SCALE: 1/4" = 1'-0"

MISC FINISHES:  
 INTERIOR DOORS - SOLID CORE MASONITE, 6-PANEL, MOLDED BASE - 5 1/4" SPEED BASE PREPRIMED CASING - 3 1/2" WINDSOR TRIM - AZEK SOFFIT, FASCIA, RANKS, L-SHAPED CORNER BOARDS

2 ELEVATION  
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE								
KEY	TYPE	MODEL NO.	MANUFACTURER	UNIT DIMENSION	+ .5" ROUGH OPEN	U-VALUE	MATERIAL	REMARKS
<b>BASEMENT</b>								
001	SLIDING		HARVEY	1'-4" X 2'-8"		0.3 OR LOWER	VINYL	
002	SLIDING		"	1'-4" X 2'-8"		"	"	
003	SLIDING		"	1'-4" X 2'-8"		"	"	
004	SLIDING		"	1'-4" X 2'-8"		"	"	
<b>FIRST FLOOR</b>								
101	BAY WINDOW		HARVEY	6' X 4'		0.3 OR LOWER		
102	DOUBLE HUNG		"	2'-9 1/2" X 4'		"	"	
103	DOUBLE HUNG		"	5'-5 3/4" X 4'		"	"	
104	DOUBLE HUNG		"	"		"	"	
105	CASEMENT		"	22" X 36"		"	"	
106	CASEMENT		"	22" X 36"		"	"	
107	DOUBLE HUNG		"	2'-9 1/2" X 3'		"	"	TEMPERED
<b>SECOND FLOOR</b>								
201	AWNING		HARVEY	2'-1 1/2" X 3'		0.3 OR LOWER	"	
202	AWNING		"	2'-1 1/2" X 3'		"	"	
203	2-DOUBLE HUNG		"	5'-5 3/4" X 4'		"	"	
204	DOUBLE HUNG		"	2'-9 1/2" X 4'		"	"	
205	DOUBLE HUNG		"	2'-9 1/2" X 4'		"	"	
206	2-DOUBLE HUNG		"	5'-5 3/4" X 4'		"	"	
207	2-DOUBLE HUNG		"	5'-5 3/4" X 4'		"	"	
<b>ATTIC FLOOR</b>								
301	AWNING		HARVEY	2'-9 1/2" X 2'-9 1/2"		0.3 OR LOWER	"	



3 WINDOW HEIGHT DET  
 1/4" = 1'-0"

APPLICANT:  
 OF PLAN FILED WITH  
 MUNICIPAL SERVICES DEPARTMENT  
 PERMIT  
 404703  
 CITY OF BOSTON  
 KEN MORIN

REVISIONS:  
 DATE: NOV 5, 2014  
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 DRAWN BY: BRIAN LAU  
 CHECKED BY:  
 COMMENTS: PERMIT DRAWING  
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