

NOTES:

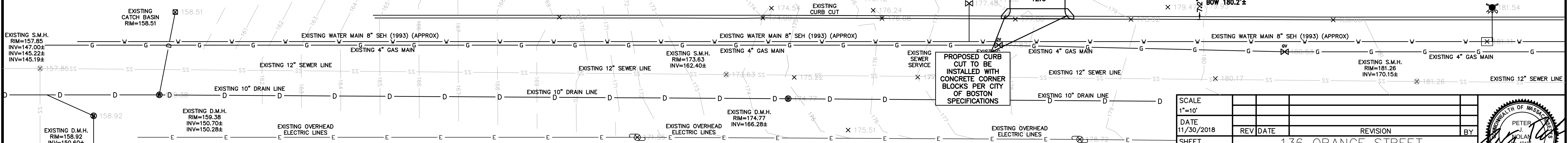
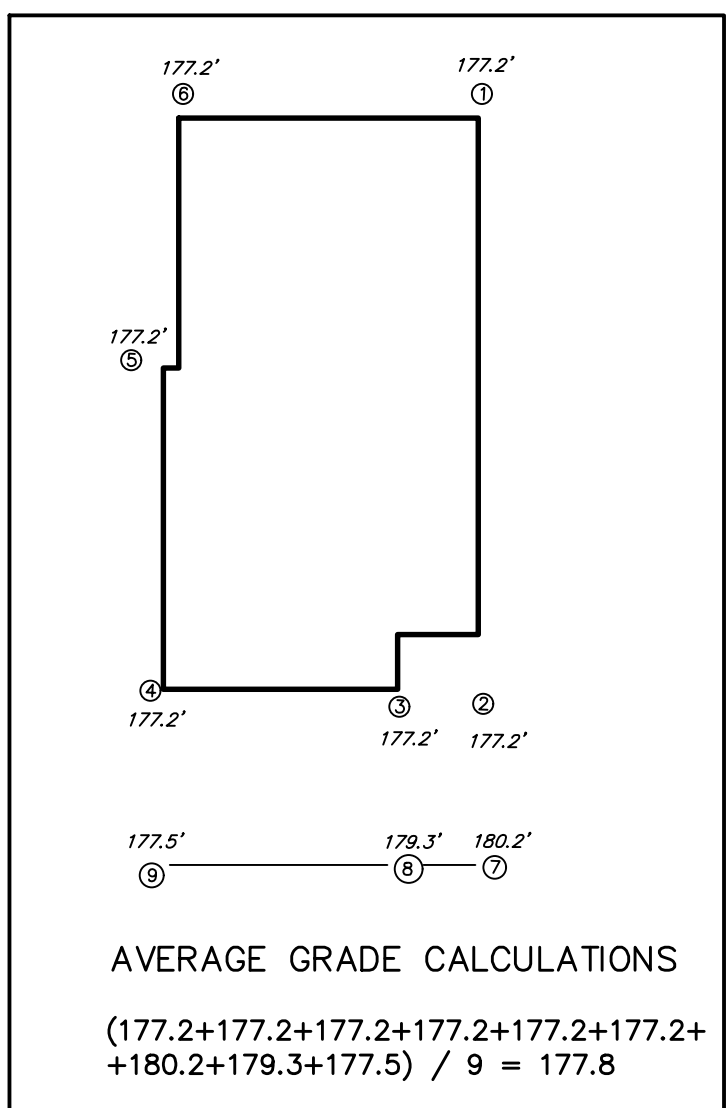
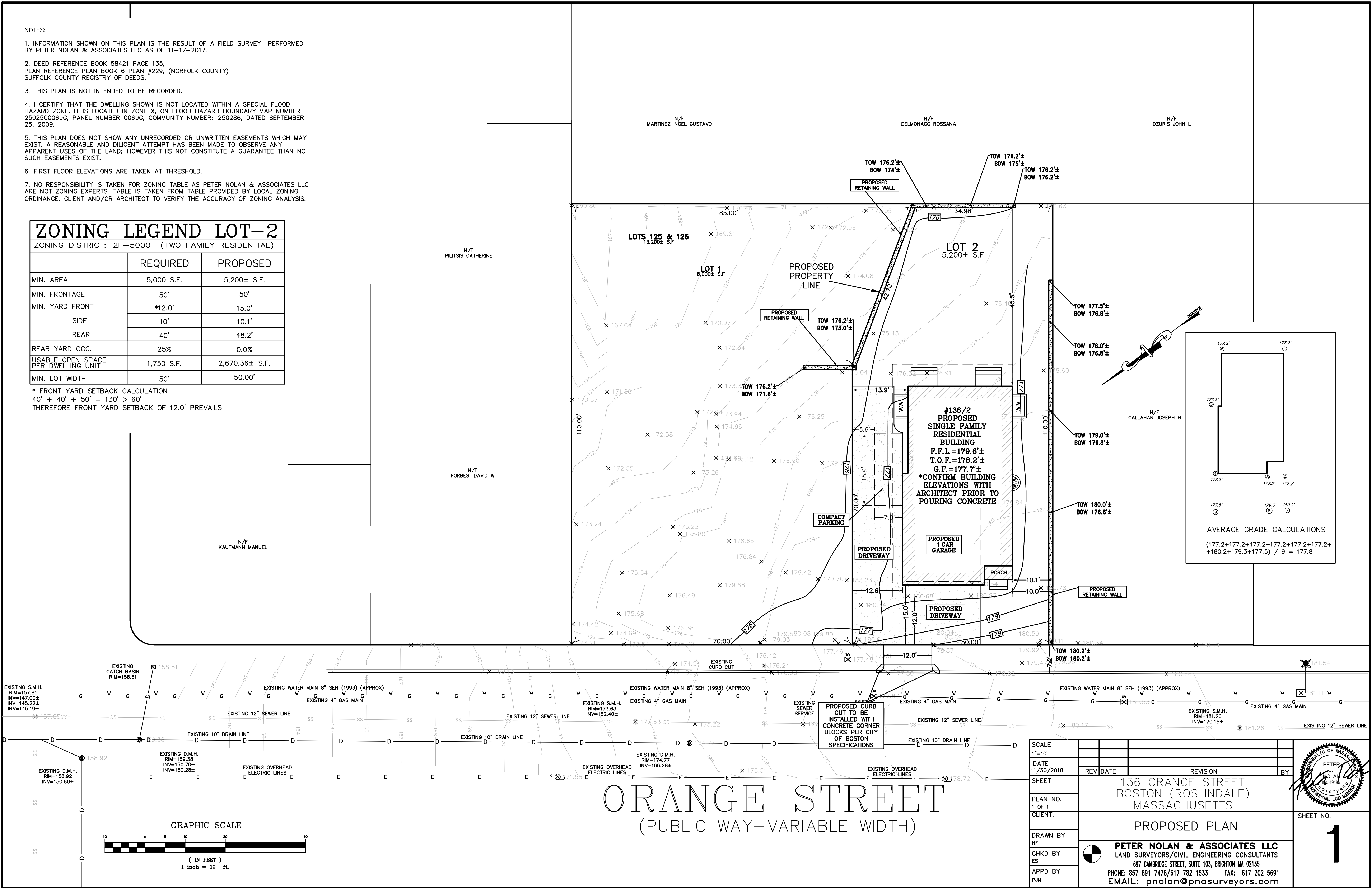
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11-17-2017.
2. DEED REFERENCE BOOK 58421 PAGE 135, PLAN REFERENCE PLAN BOOK 6 PLAN #229, (NORFOLK COUNTY) SUFFOLK COUNTY REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0069G, PANEL NUMBER 0069G, COMMUNITY NUMBER: 250286, DATED SEPTEMBER 25, 2009.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

ZONING LEGEND LOT-2

ZONING DISTRICT: 2F-5000 (TWO FAMILY RESIDENTIAL)

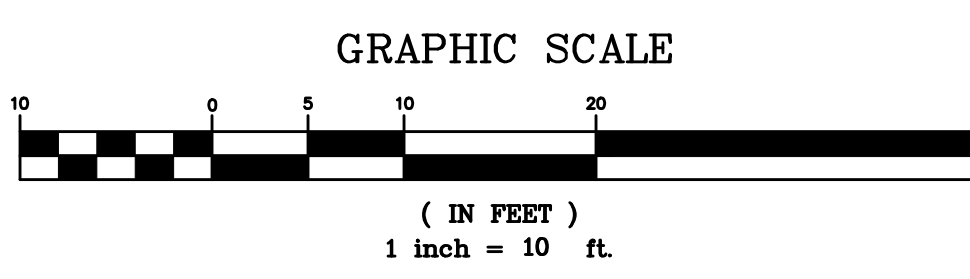
	REQUIRED	PROPOSED
MIN. AREA	5,000 S.F.	5,200± S.F.
MIN. FRONTAGE	50'	50'
MIN. YARD FRONT	*12.0'	15.0'
SIDE	10'	10.1'
REAR	40'	48.2'
REAR YARD OCC.	25%	0.0%
USABLE OPEN SPACE PER DWELLING UNIT	1,750 S.F.	2,670.36± S.F.
MIN. LOT WIDTH	50'	50.00'

* FRONT YARD SETBACK CALCULATION
 $40' + 40' + 50' = 130' > 60'$
 THEREFORE FRONT YARD SETBACK OF 12.0' PREVAILS

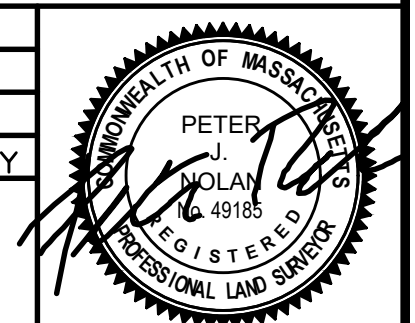


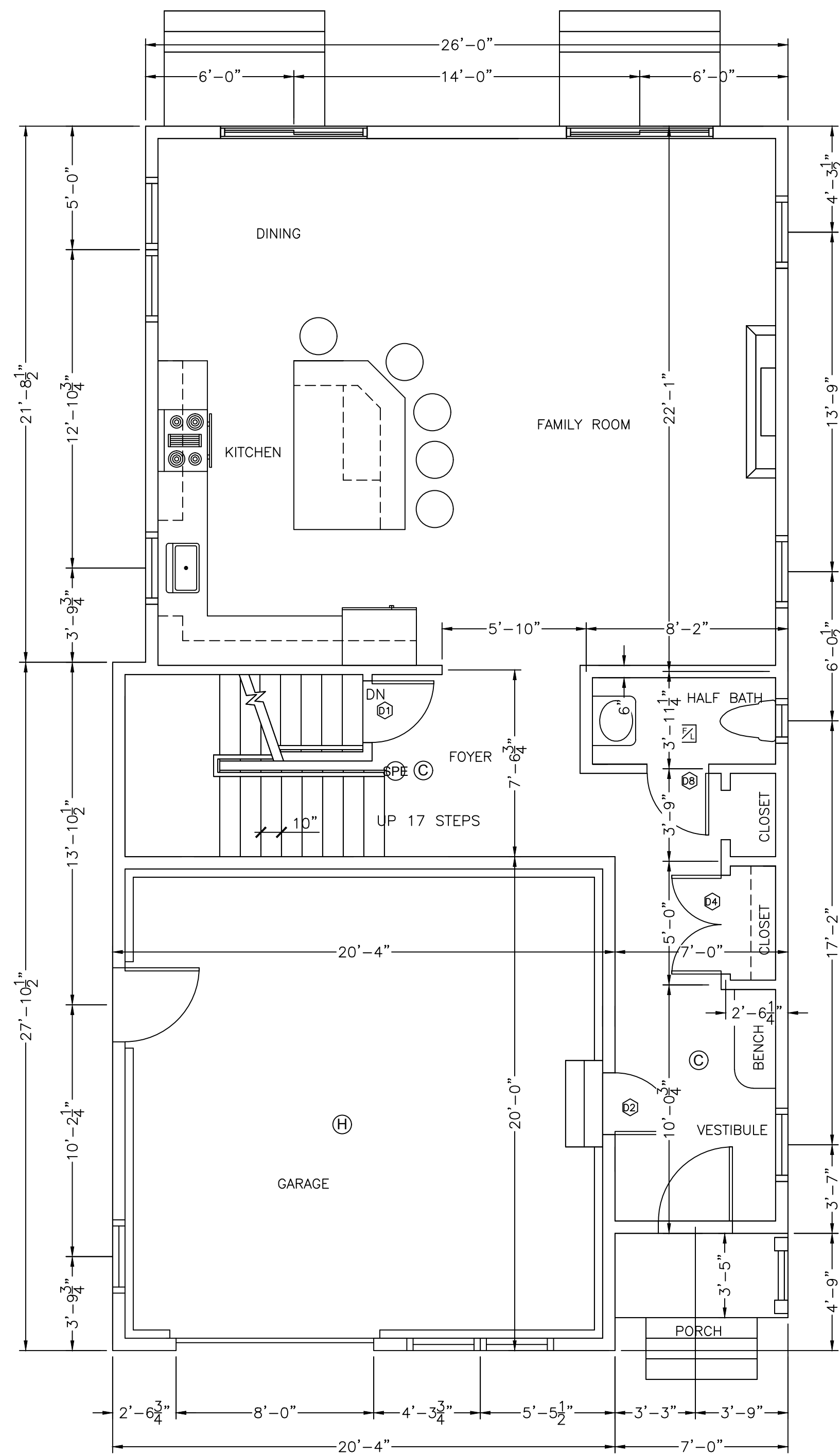
ORANGE STREET

(PUBLIC WAY-VARIABLE WIDTH)

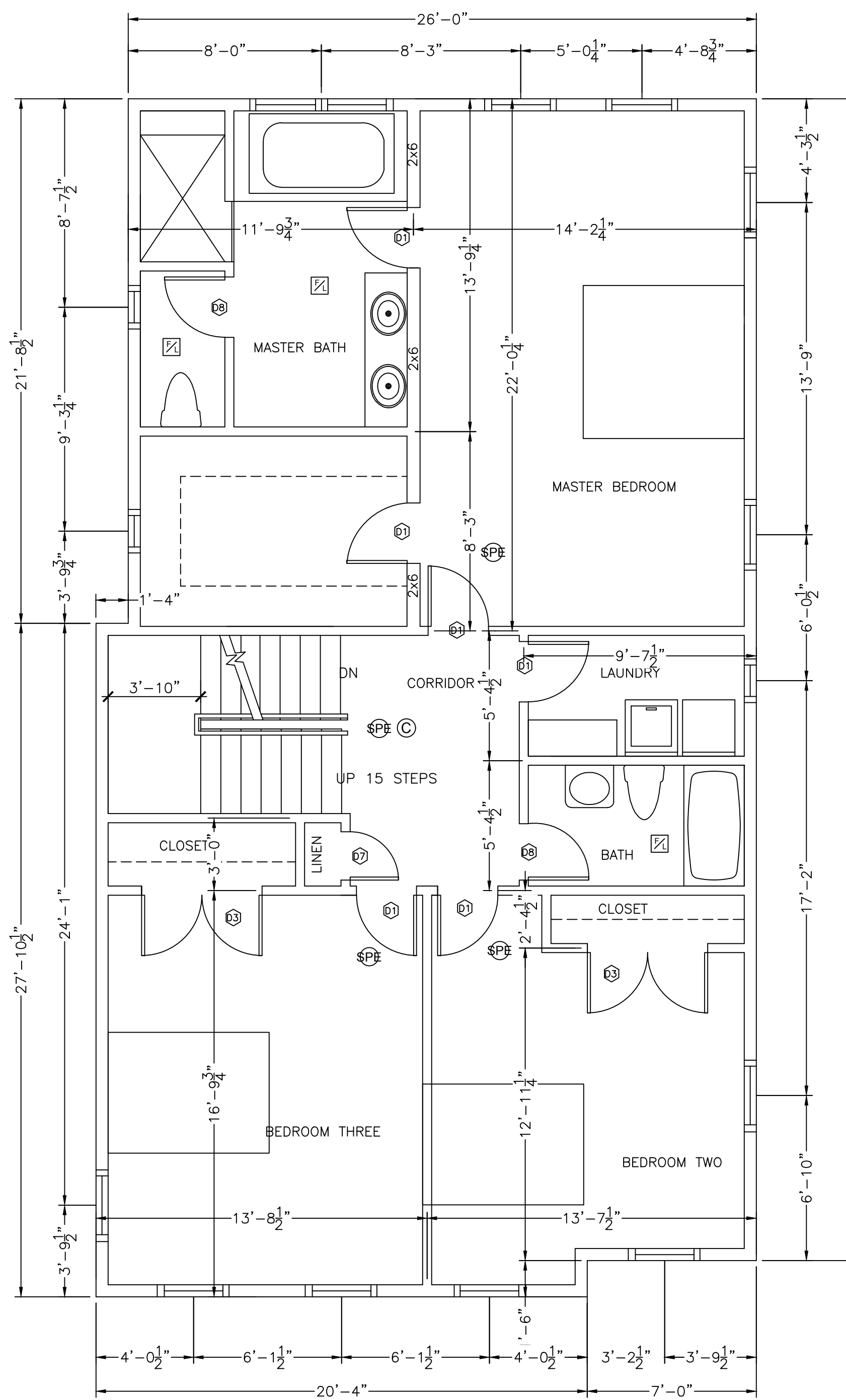


SCALE 1"=10'	DATE 11/30/2018	REV DATE	REVISION	BY
SHEET 1 OF 1	PLAN NO. 1 OF 1	CLIENT:	136 ORANGE STREET BOSTON (ROSLINDALE) MASSACHUSETTS	
DRAWN BY HF	CHKD BY ES	APPD BY PJN	PROPOSED PLAN	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com			SHEET NO. 1	





FIRST FLOOR PLAN



SECOND FLOOR PLAN

LEGEND:

- ☼ PHOTO ELECTRIC HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
- ☒ FAN/LIGHT TO BE VENTED DIRECTLY TO OUTSIDE
- Ⓢ CARBON MONOXIDE DETECTOR
- Ⓜ HEAT DETECTOR

GFA (GROSS FLOOR AREA) CALCULATION:

ZONING DISTRICT: ROSLINDALE, MA - 2F-5000
 5,200 SF LOT
 ALLOWABLE FAR (FLOOR AREA RATIO): 0.5
 ALLOWABLE GFA (GROSS FLOOR AREA): 5,200 X 0.5=2,600 SF

GROSS FLOOR AREA:
 1. FIRST FLOOR: 904 SF (DOES NOT INCLUDE GARAGE)
 2. SECOND FLOOR: 1,316 SF
 3. BASEMENT: UNFINISHED (NOT INCLUDED)
 4. FINISHED ATTIC: 374 SF
 TOTAL PROPOSED GROSS FLOOR AREA OF THE BUILDING:
 904(1ST FL)+1,316(2ND FL)+374(ATTIC)= 2,594 SF
 GFA PROPOSED 2,594 SF < GFA ALLOWED 2,600 SF

DATE	REVISION

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FLOOR PLANS

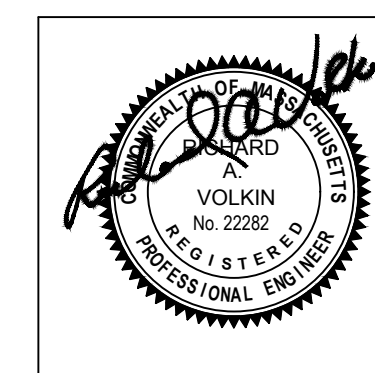
**136 ORANGE ST.,
ROSLINDALE, MASSACHUSETTS**

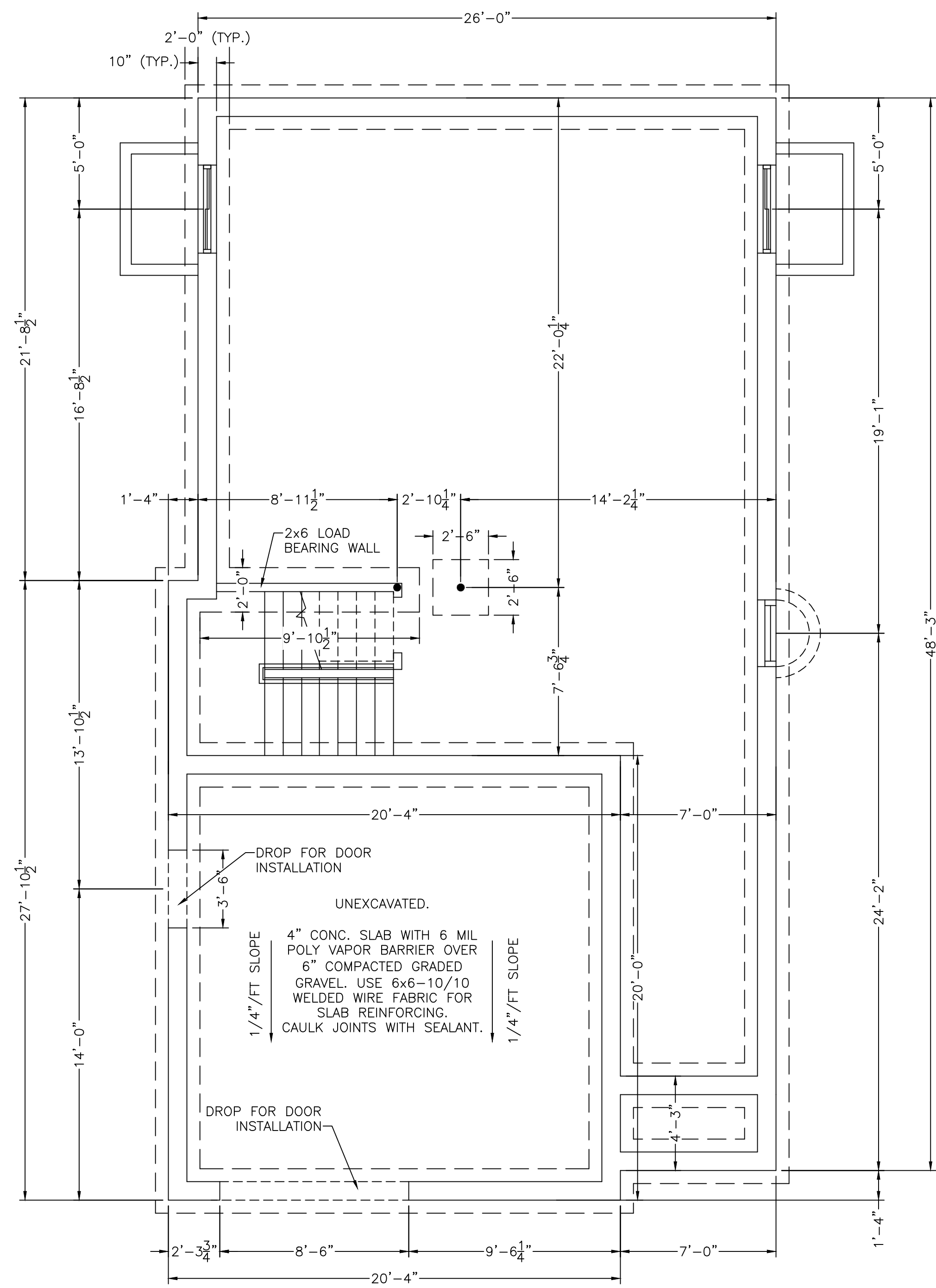
RAV & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

DATE: 01/14/19

SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No. A-1
DATE: 01/14/19	DRAWN BY: I.M.	CHECKED BY: R.A.V.





FOUNDATION PLAN

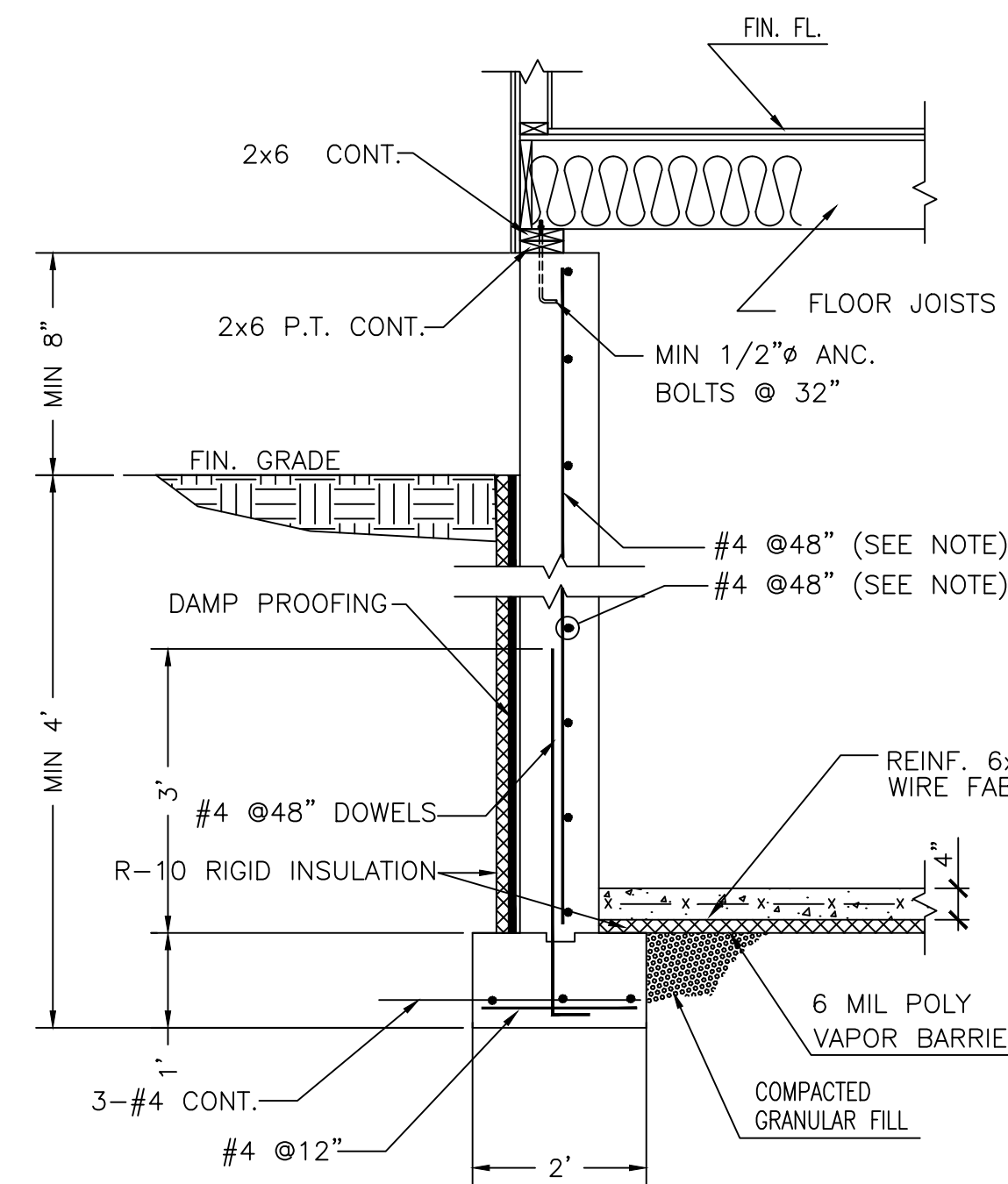
FOUNDATION NOTES:

- A. GENERAL: (UNLESS OTHERWISE NOTED)
- 1.) ALL WORK SHALL CONFORM WITH THE MASS. STATE BUILDING CODE, THE CITY OF BOSTON ZONING BY LAWS, AND ALL APPLICABLE OSHA STANDARDS.
 - 2.) ANY WOOD FRAMING MEMBERS IN DIRECT CONTACT WITH CONCRETE SURFACES SHALL BE COATED WITH PRESERVATIVE.
 - 3.) ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATIONS OF BACKFILLING AND COMPACTION. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
 - 4.) CONCRETE WALLS TO BE DAMPROOFED BELOW GRADE, EXTERIOR SIDE. LOCAL BUILDING DEPARTMENT SHALL INSPECT EXCAVATION PRIOR TO CONSTRUCTION OF FOOTING AND WALLS, AND AT OTHER INTERVALS IN ACCORDANCE WITH LOCAL STANDARD PRACTICES.
 - 5.) IF THE CONTRACTOR MAKES ANY CHANGES OR DEVIATES FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL DESIGN.
 - 6.) SLAB POURED ON GROUND SHALL REST AGAINST 6" COMPACTED SAND ON 1 LAYER OF POLYETHYLENE SHEETING (6 MILS).
- B. FOUNDATION REQUIREMENTS:
- 1.) THE BOTTOM OF FOOTINGS SHALL BEAR ON UNDISTURBED INORGANIC GRANULAR SOIL OR COMPACTIONED STRUCTURAL FILL WITH A SAFE ALLOWABLE BEARING PRESSURE OF MINIMUM 2 TONS/SQ FT.
 - 2.) IF ORGANICS ARE ENCOUNTERED IN THE EXCAVATION, WORK SHALL BE SUSPENDED AND THE ENGINEER CONTACTED PRIOR TO COMMENCING WORK.
 - 3.) CONCRETE SHALL BE PLACED "IN THE DRY" ONLY, AND NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
 - 4.) SPECIAL CARE SHALL BE TAKEN IN BACKFILLING WALLS AND UTILITY TRENCHES. BACKFILL MATERIAL SHALL BE COMPACTIONED IN 12" LAYERS MAXIMUM WITH POWER TAMPERS OR BY OTHER APPROVED EQUIPMENT.
 - 5.) WALLS RETAINING EARTH SHALL BE BACKFILLED EQUALLY EACH SIDE UNLESS ADEQUATELY BRACED.

- C. CONCRETE: (UNLESS OTHERWISE NOTED)
- 1.) CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE, STANDARDS, RECOMMENDED PRACTICES AND SPECIFICATIONS AS REVISED TO DATE.
 - 2.) CONCRETE SHALL BE MIXED IN THE SPECIFIED PROPORTIONS TO GIVE MINIMUM COMPRESSIVE STRENGTH AT THE END OF 28 DAYS OF 3500 PSI.
 - 3.) CONSTRUCTION JOINTS IN STRUCTURAL CONCRETE SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN OR OTHER APPROVED LOCATION OF MINIMUM SHEAR.

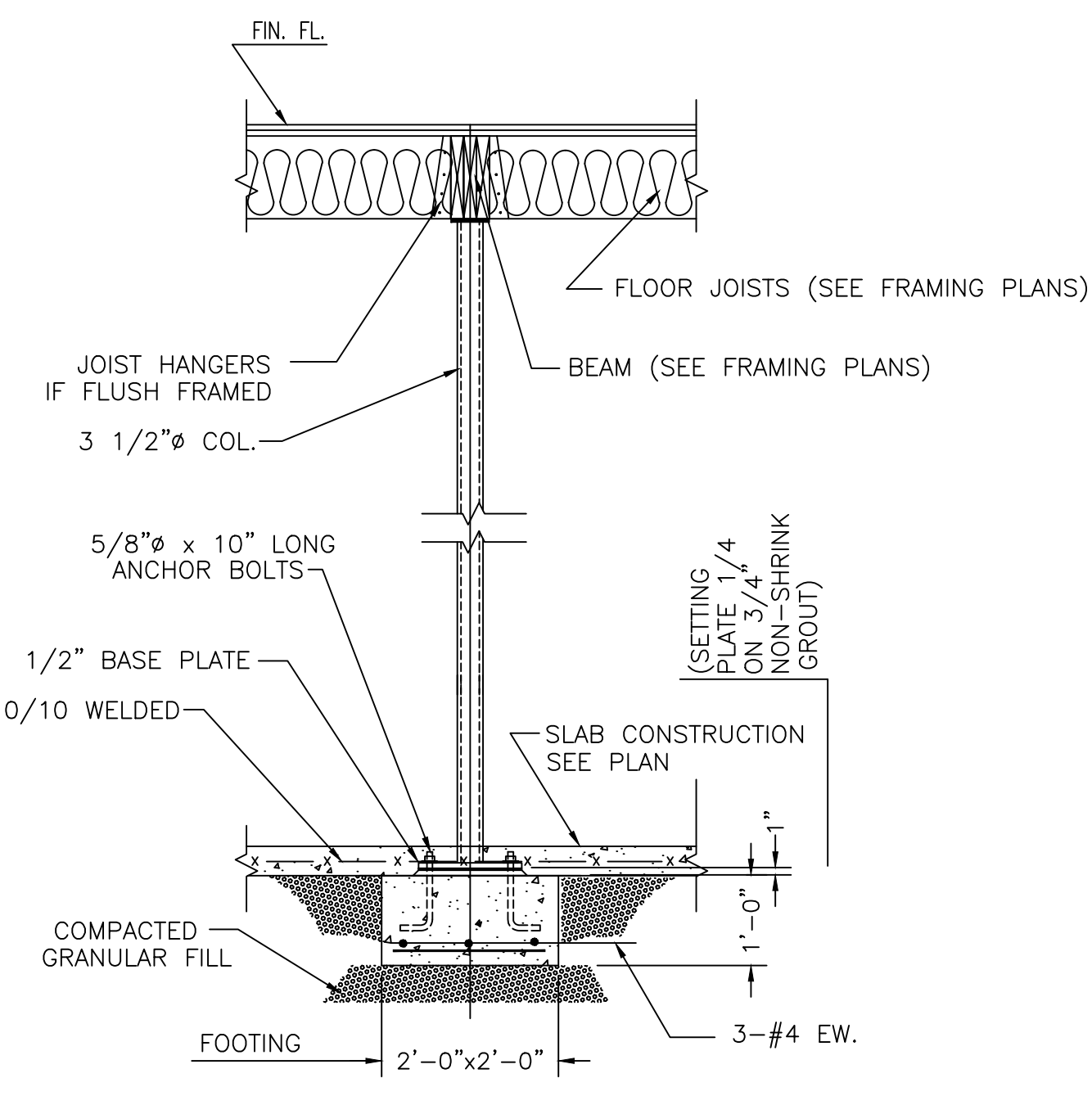
- D. REINFORCING STEEL: (UNLESS OTHERWISE NOTED)
- 1.) BARS SHALL BE HIGH BOND DEFORMED BARS MEETING ASTM A-615, GRADE 60.
 - 2.) WHERE OPENINGS OCCUR IN WALLS OR SLABS, PROVIDE 2 - #4 EACH FACE EACH SIDE OF OPENINGS AND EXTEND 2'-6" BEYOND OPENING.
 - 3.) SLABS ON GRADE SHALL BE REINFORCED WITH 6x6-W10xW10 WELDED WIRE FABRIC. LAP CROSS WIRES ONE SPACE PLUS 2" ALL SIDES.

- E. MISCELLANEOUS: (UNLESS OTHERWISE NOTED)
- 1.) VERIFY IN FIELD ALL LOCATIONS AND CONDITIONS IN THE STRUCTURE SHOWN ON THE DRAWINGS AND/OR AFFECTING THE INSTALLATION OF NEW WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE FABRICATION OF DEPENDENT WORK.
 - 2.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION. ANY APPROVAL BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY, FOR SHORING AND/OR BRACING.
 - 3.) DURING THE CONSTRUCTION PHASE OF THE PROJECT THE CONTRACTOR SHALL REVIEW DESIGN LOADS TO LIMIT AND CONTROL CONSTRUCTION LOADING, INCLUDING BUT NOT LIMITED TO MATERIAL STOCK PILING AND CONSTRUCTION EQUIPMENT.



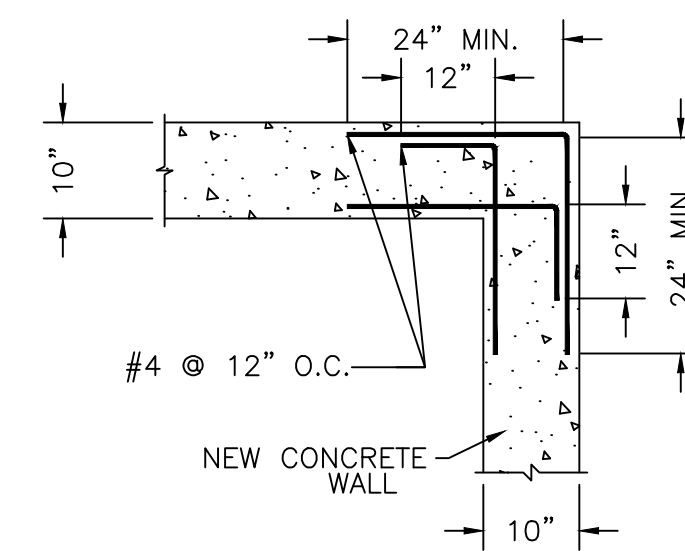
TYPICAL FOUNDATION DETAIL

SCALE: NTS



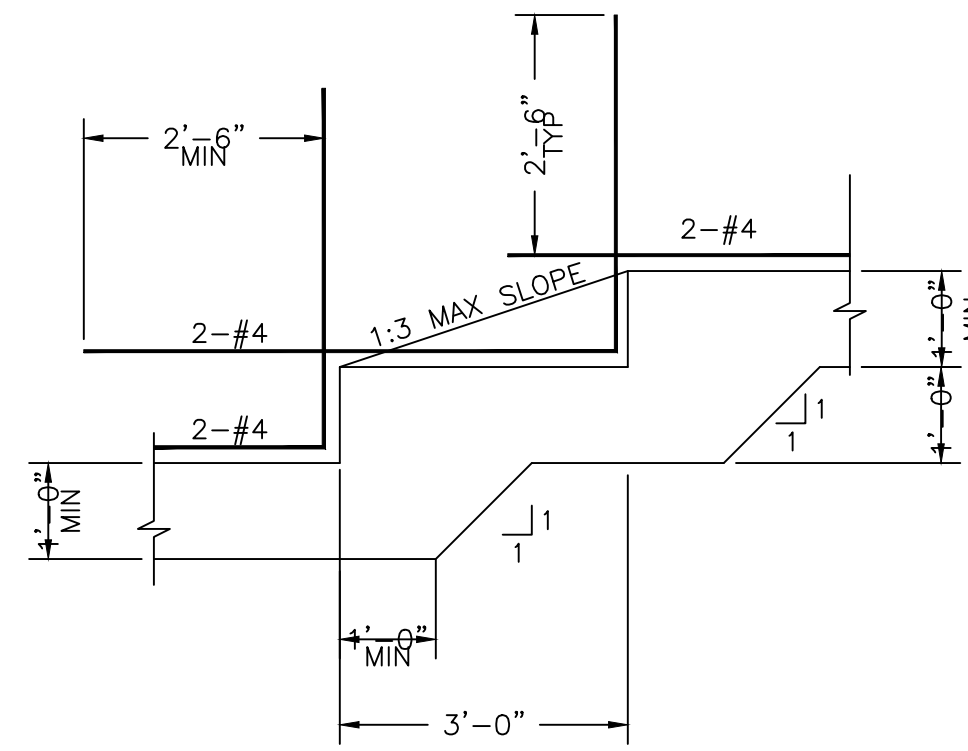
SCALE: NTS

NOTE:
REFER TO TABLES R404.1.2(4),
AND R404.1.2(9) FOR VERTICAL
REINFORCEMENT REQUIREMENT.
REFER TO TABLE R404.1.2(1)
FOR HORIZONTAL REINFORCEMENT
REQUIREMENT.



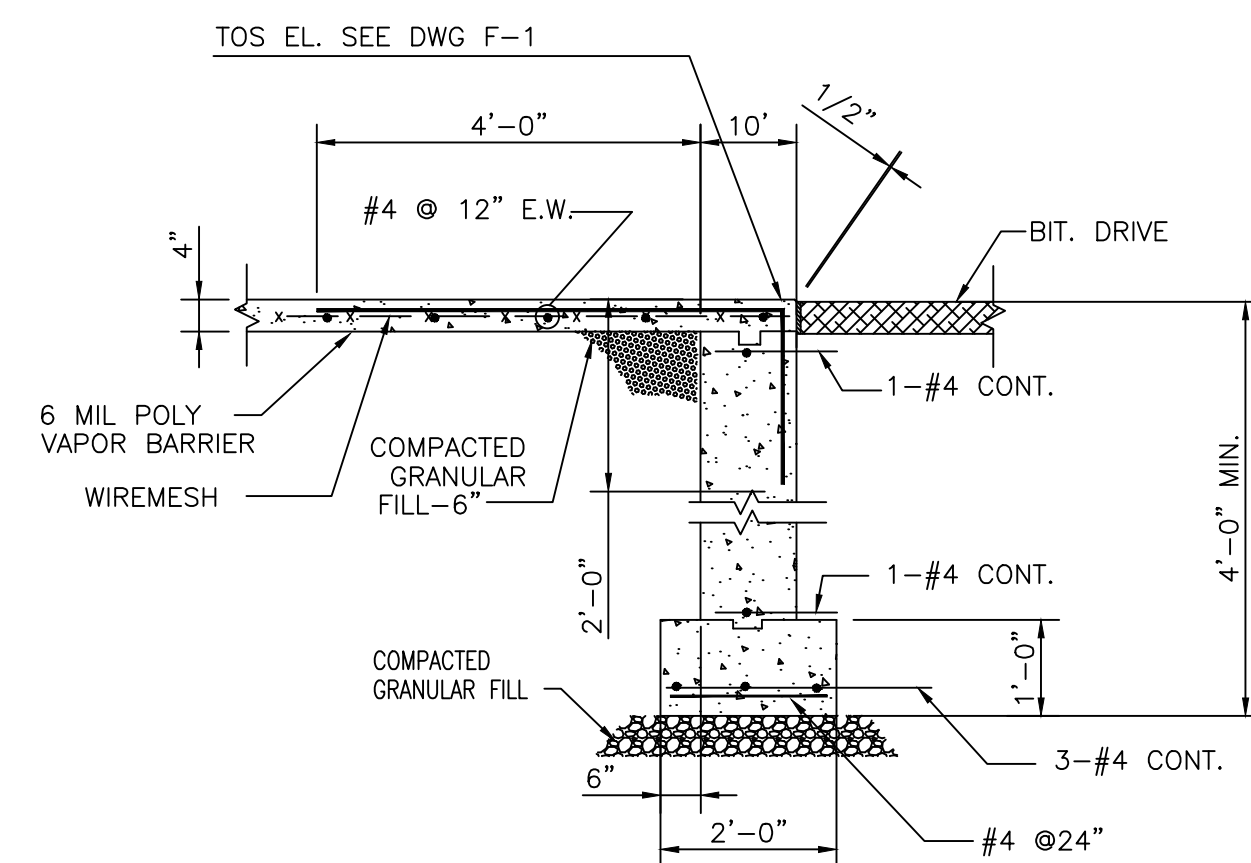
CORNER REINFORCEMENT
TYPICAL DETAIL

SCALE: NTS



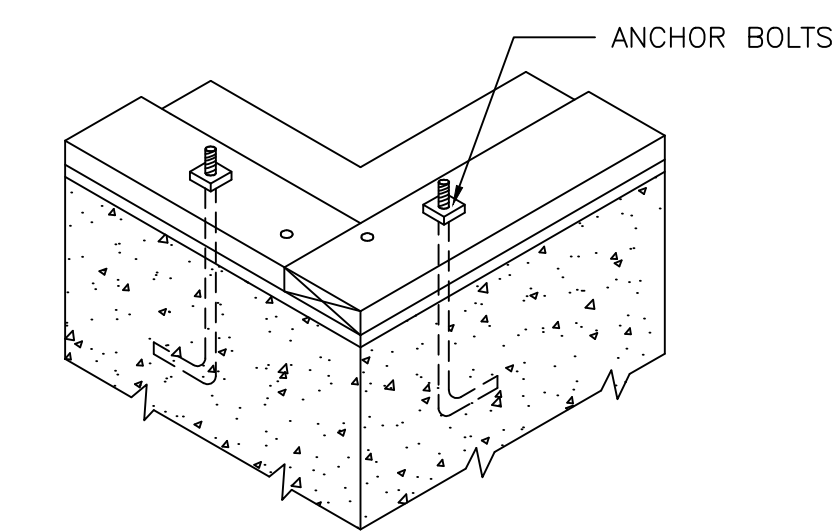
STEPPED FOOTING DETAIL

SCALE: NTS



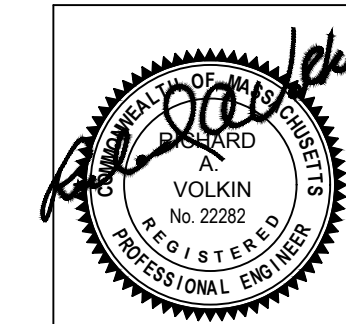
TYPICAL GARAGE OPENING
FOUNDATION DETAIL

SCALE: NTS



TYPICAL SILL DETAIL

SCALE: NTS



REVISION	
DATE	REVISION

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**FOUNDATION PLAN
TYPICAL DETAILS**

**136 ORANGE ST.,
ROSLINDALE, MASSACHUSETTS**

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No.
DATE: 01/14/19	DRAWN BY: I.M.	S-1
	CHECKED BY: R.A.V.	



FRONT ELEVATION

REAR ELEVATION

NOTES:
 CONTRACTOR MUST VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.
 CONTACT WINDOW MANUFACTURER FOR DETAILS. CONTACT THE OWNER FOR FINAL SELECTION
 OF DOORS AND WINDOWS PRIOR TO ORDERING AND PRIOR TO FRAMING DOOR AND WINDOW OPENINGS.
 VERIFY CLEAR OPENINGS IN ALL BEDROOMS. MINIMUM CLEAR OPENING MUST BE 20 IN (W) x 24 IN (H)
 AND HAVE MINIMUM OF 5.7 S.F. OF CLEAR OPEN AREA.
 VERIFY LOCATIONS OF SAFETY GLASS WINDOWS AND DOORS PRIOR TO ORDERING WINDOWS AND DOORS.

SPECIFIC LOCATIONS:
 1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS;
 2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS AND SWINGING DOORS;
 3. GLAZING IN STORM DOORS;
 4. GLAZING IN UNFRAMED SWINGING DOORS;
 5. GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, STEAM ROOMS AND SHOWERS. GLAZING IN ANY PORTION
 OF A BUILDING WALL ENCLOSING THESE COMPONENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS
 LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
 6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED
 EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED
 POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE
 WALKING SURFACE.
 7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHICH MEETS THE FOLLOWING CONDITIONS:
 a) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.;
 b) EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR;
 c) EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR;
 d) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

EXTERIOR DOORS AND WINDOWS SCHEDULE			
400 SERIES DOUBLE HUNG WINDOWS BY ANDERSEN WITH LOW-E INSULATING GLASS, UNLESS NOTED OTHERWISE			
No.	UNIT DIMENSIONS	MODEL	REMARKS
1	5'-11 1/4" x 7'-11 1/2"	FWG6080	FRENCH GLIDING DOOR, TEMPERED SAFETY GLASS
2	2'-11 5/8" x 4'-4 7/8"	WDH21042	KITCHEN ABOVE COUNTER
3	2'-11 5/8" x 6'-0 7/8"	WDH210510	*
4	2'-9 5/8" x 4'-0 7/8"	WDH28310	MASTER BATH, TEMPERED SAFETY GLASS
5	3'-1 5/8" x 5'-4 7/8"	WA3052	DOUBLE HUNG, FULL FRAME
6	2'-11 5/8" x 5'-0 7/8"	WDH210410	*
7	DIAM 2'-4 3/8"	CIR24	CIRCLE WINDOW
8	2'-11 5/8" x 4'-8 7/8"	WDH21046	ATTIC
9	2'-0 1/8" x 1'-8 1/2"	AN21	
10	1'-9 5/8" x 4'-0 7/8"	WDH18310	
16	8'-0" x 8'-0"	CUSTOM	SINGLE GARAGE DOOR, TEMPERED GLASS
18	3'-0" x 7'-6"	CUSTOM	3' ENTRY DOOR
19	3'-0" x 6'-8"	CUSTOM	EGREES DOOR
21	3'-11 1/2" x 3'-11 1/2"	244GW4040	* GLIDING, WINDOW WELL BASEMENT
22	36" x 24"	CUSTOM	BASEMENT WINDOW

* EGRESS WINDOW MEETS OR EXCEEDS CLEAR OPENING OF 5.7 SF, CLEAR WIDTH 20" AND CLEAR HEIGHT 24"

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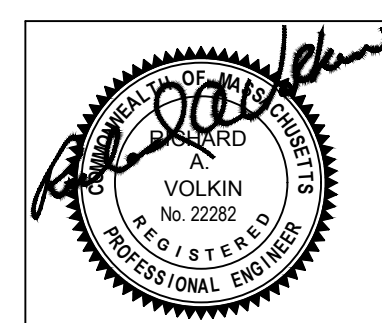
FRONT AND REAR ELEVATIONS

136 ORANGE ST.,
 ROSLINDALE, MASSACHUSETTS

RAV & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4" = 1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No. A-3
DATE: 01/14/19	DRAWN BY: I.M.	CHECKED BY: R.A.V.





RIGHT ELEVATION

LEFT ELEVATION

DATE	REVISION

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SIDE ELEVATIONS
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ROSLINDALE, MASSACHUSETTS

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 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"	APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No. A-4
DATE: 01/14/19	CHECKED BY: R.A.V.	DRAWN BY: I.M.	

