

DEMO NOTES:

- A. REMOVE AND DISPOSE OF EXISTING CHIMNEY IN ITS ENTIRETY.
- B. REMOVE HOUSE GABLE ROOF ASSEMBLY, GUTTERS, AND DOWNSPOUTS.
- C. REMOVE AND DISPOSE OF EXISTING EXTERIOR SIDING AND WINDOW TRIM.
- D. SELECTIVELY REMOVE EXISTING ATTIC JOIST FOR NEW STAIR OPENING TO NEW 2ND FLOOR.
- E. REMOVE 1ST FLOOR BATHROOM PLUMBING WALL FINISH FOR NEW PLYWOOD BRACING INSTALLATION.



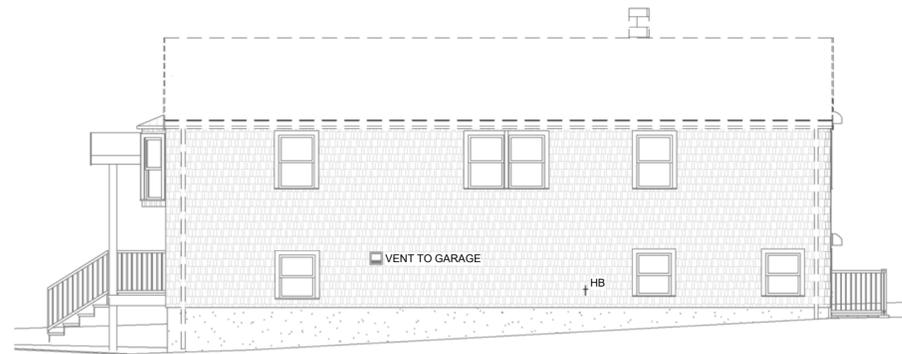
AURORA
CUSTOM BUILDERS

AURORA CUSTOM BUILDERS INC.
98 Winchester Street / Medford MA 02155 /
617.299.1309 / aurorabuilds.com / hello@aurorabuilds.com

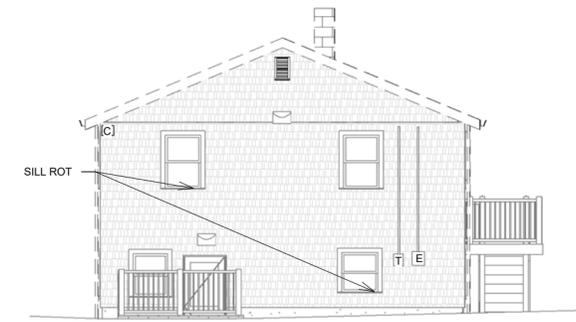
PROPOSED RENOVATIONS TO:

RYAN RESIDENCE

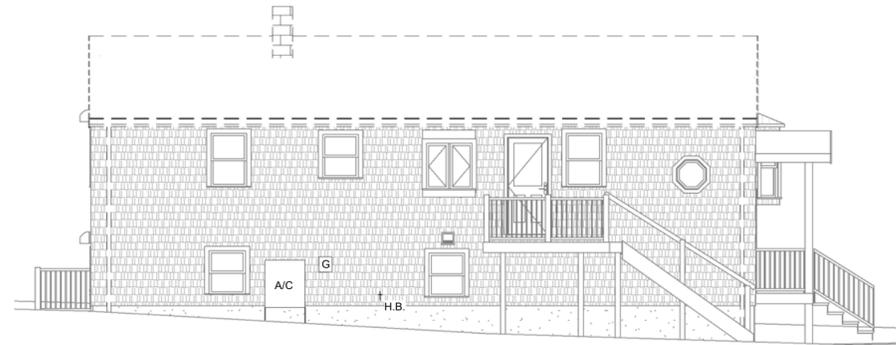
18 Tappan Street
Rosindale, MA 02131



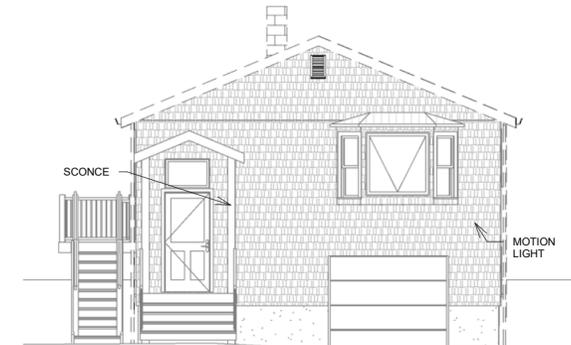
8 East
1/8" = 1'-0"



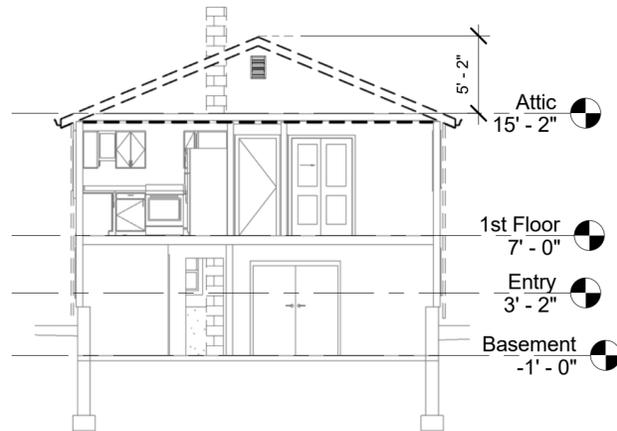
7 North
1/8" = 1'-0"



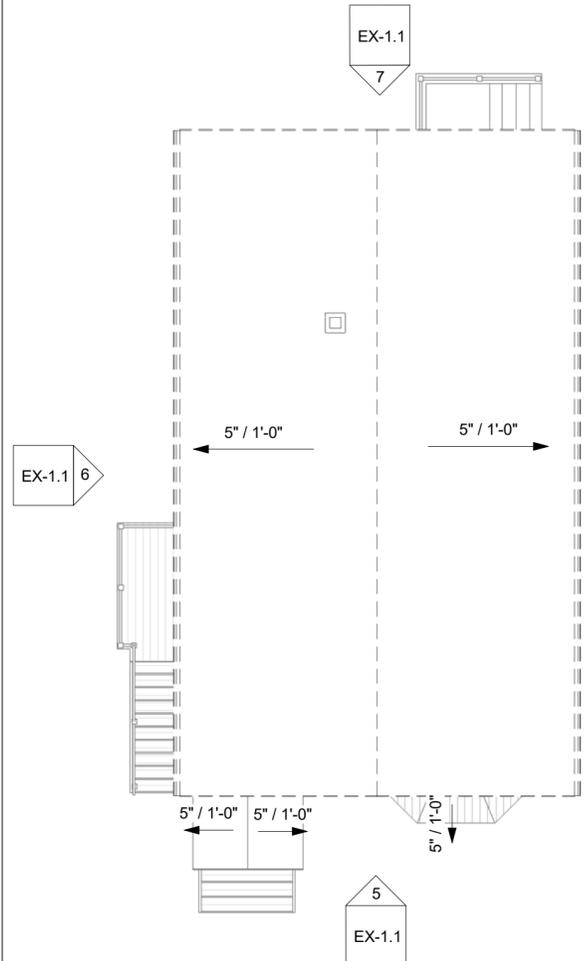
6 West
1/8" = 1'-0"



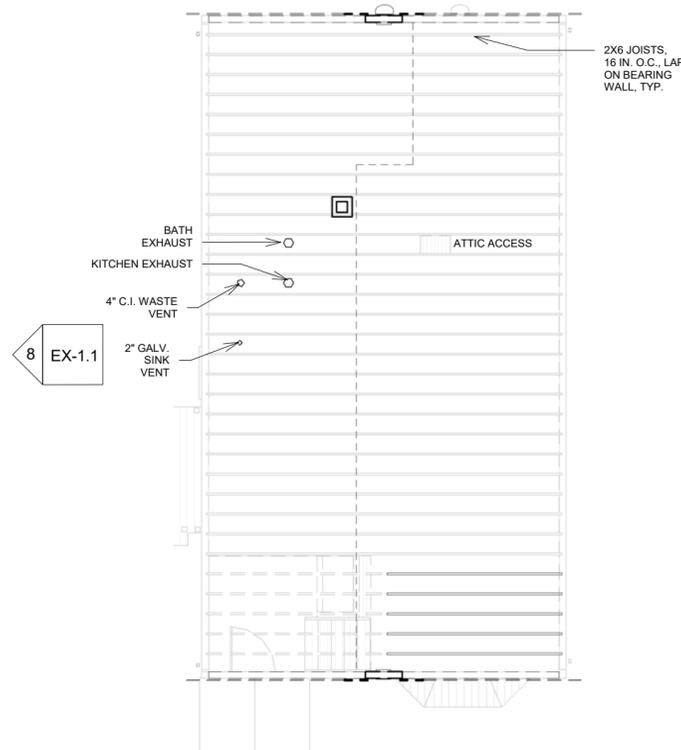
5 South
1/8" = 1'-0"



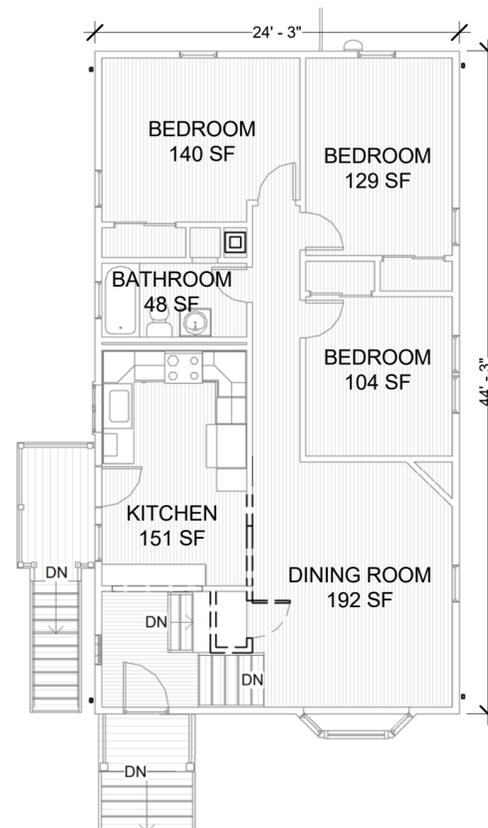
9 Section 2
1/8" = 1'-0"



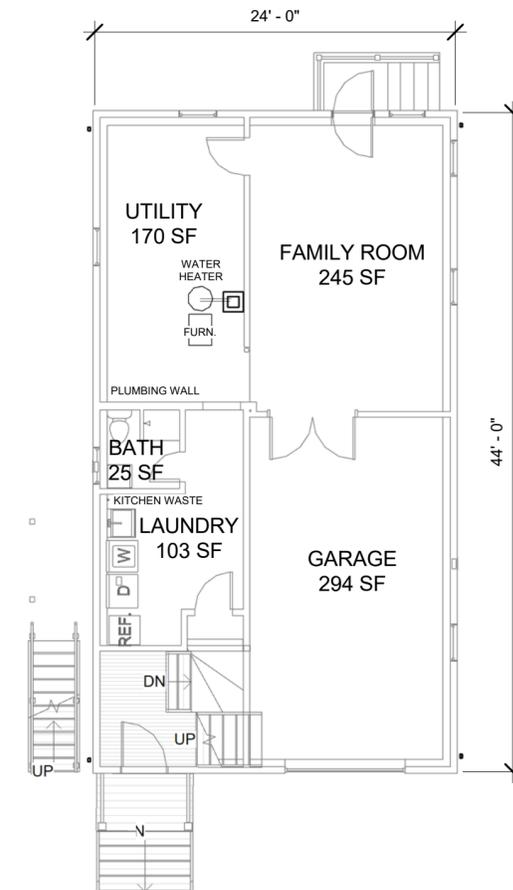
4 Roof Plan
1/8" = 1'-0"



3 Attic
1/8" = 1'-0"



2 1st Floor
1/8" = 1'-0"



1 Basement
1/8" = 1'-0"

DEMO PLANS

| | |
|-------------|--------------|
| Project No. | Ab1622 |
| Date | 1/12/18 |
| Drawn by | CD |
| Checked by | - |
| Scale | 1/8" = 1'-0" |

EX-1.1

PROPOSED RENOVATIONS TO:

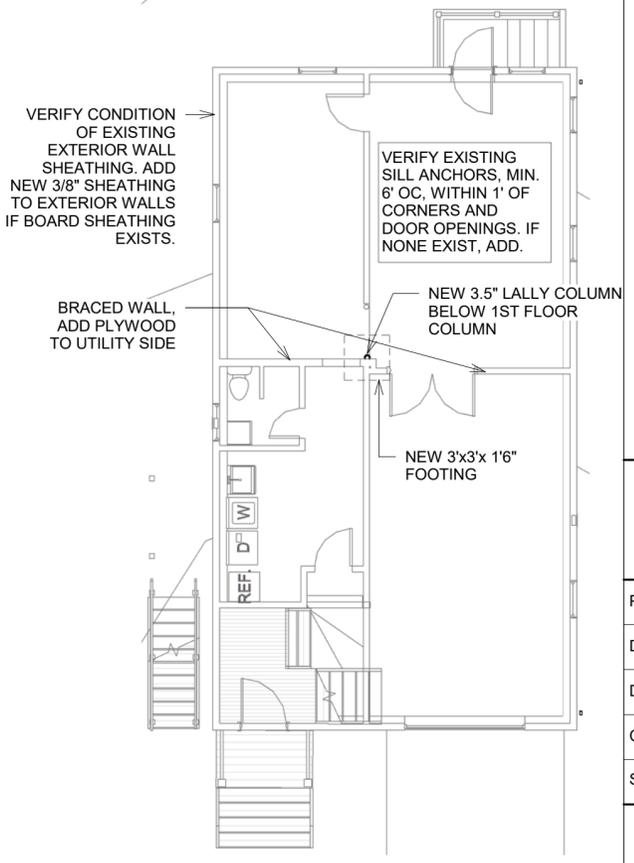
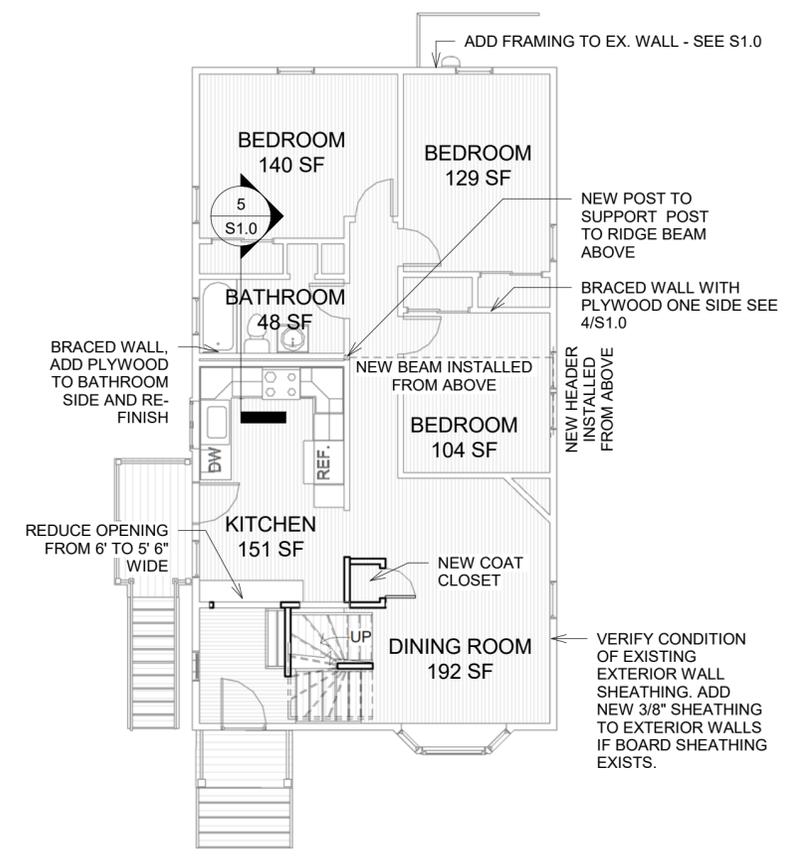
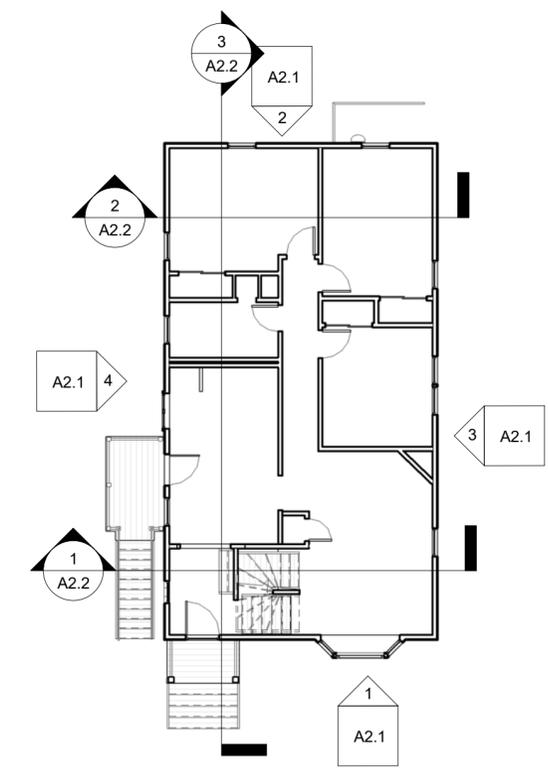
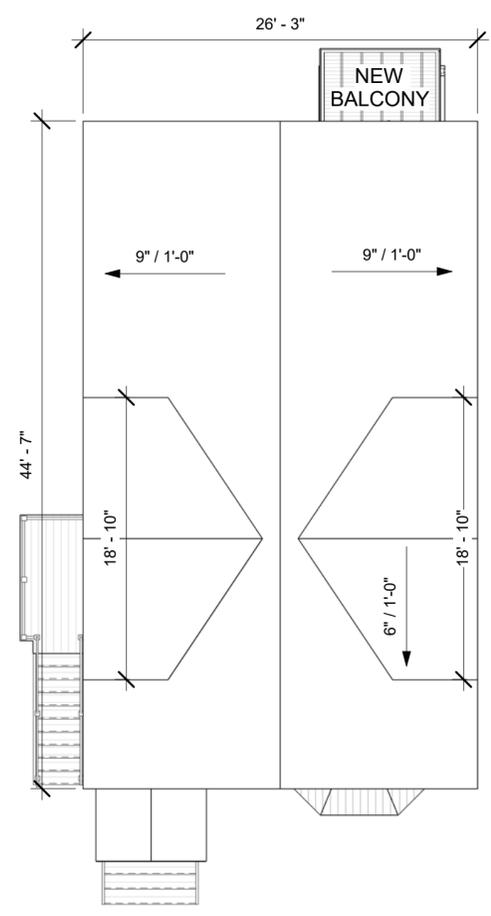
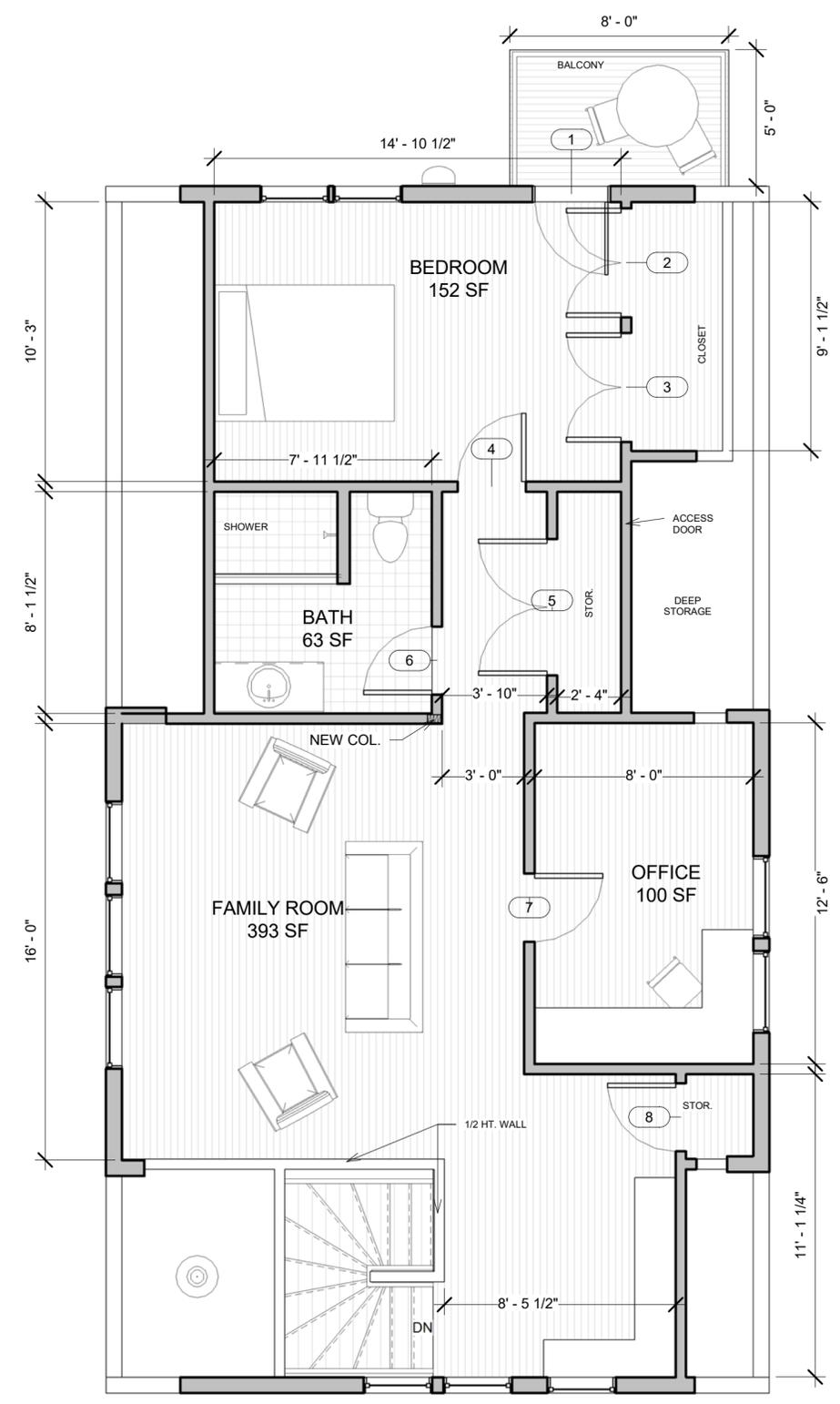
RYAN RESIDENCE
18 Tappan Street
Roslindale, MA 02131

PLANS

| | |
|-------------|--------------|
| Project No. | Ab1622 |
| Date | 1/12/18 |
| Drawn by | CD |
| Checked by | Checker |
| Scale | As indicated |

DOOR SCHEDULE

| NO. | TYPE | DESCRIPTION | DIMENSIONS | HARDWARE |
|-----|------|------------------------|------------|---------------|
| 1 | A | EXTERIOR DOOR, 1/2 LT. | 32"x80" | ENTRY SET/DB |
| 2 | B | INT. PAIR, 2-PANEL | 48"x80" | LEVER PULLS |
| 3 | B | INT. PAIR, 2-PANEL | 48"x80" | LEVER PULLS |
| 4 | C | INT. 2-PANEL | 30"x80" | KNOB BEDROOM |
| 5 | B | INT. PAIR, 2-PANEL | 60"x80" | LEVER PULLS |
| 6 | C | INT. 2-PANEL | 30"x80" | KNOB BATHROOM |
| 7 | C | INT. 2-PANEL | 30"x80" | KNOB BEDROOM |
| 8 | C | INT. 2-PANEL | 30"x80" | LEVER PULL |



PROPOSED RENOVATIONS TO:

RYAN RESIDENCE

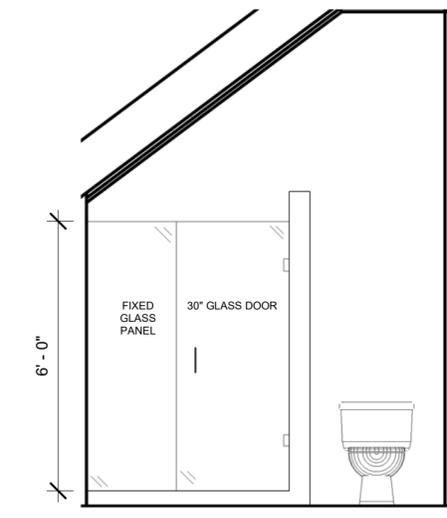
18 Tappan Street
Rosindale, MA 02131

PLUMBING FIXTURE SCHEDULE:

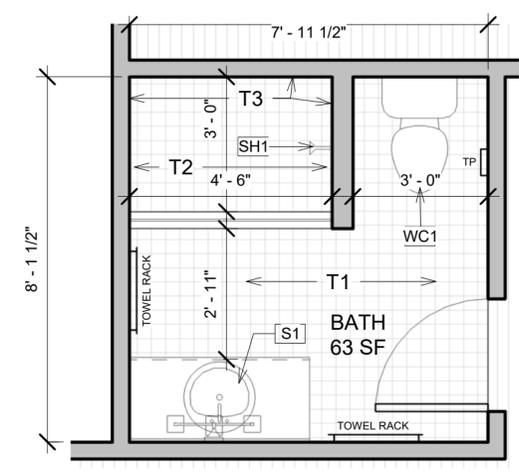
| TAG | LOCATION/ITEM | DESCRIPTION | MANUFACTURER |
|-----|-------------------------|-------------------------------|--------------|
| S1 | M. BATH BATHROOM SINK | TBD | TBD |
| F1 | M. BATH BATHROOM FAUCET | TBD | TBD |
| WC1 | M. BATH TOILET | TBD | TBD |
| SH1 | M. BATH SHOWER FIXTURE | RAIN SHOWER HEAD W/ HAND HELD | TBD |

TILE SCHEDULE:

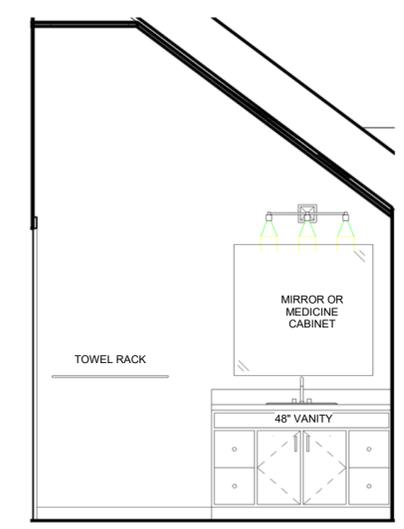
| TAG | LOCATION/ITEM | DESCRIPTION | MANUFACTURER |
|-----|------------------------|-------------|--------------|
| T1 | M. BATH BATHROOM FLOOR | TBD | TBD |
| T2 | M. BATH SHOWER FLOOR | TBD | TBD |
| T3 | M. BATH SHOWER WALL | TBD | TBD |
| T4 | 1ST FL. SHOWER WALL | TBD | TBD |



② A
3/8" = 1'-0"



① Enlarged Bath Plan
3/8" = 1'-0"



④ B
3/8" = 1'-0"

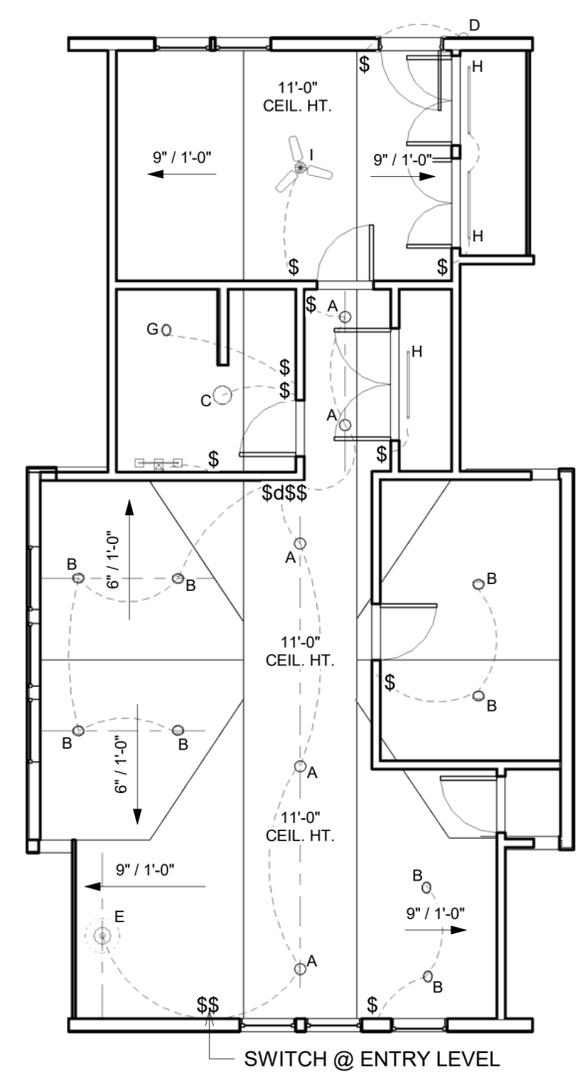
2ND FL. INT. DTLS.

| | |
|-------------|--------------|
| Project No. | Ab1622 |
| Date | 1/12/18 |
| Drawn by | Author |
| Checked by | Checker |
| Scale | As indicated |

LIGHTING KEY

- A = 5" RECESSED CAN FIXTURE
- B = 5" RECESSED CAN FIXTURE, ADJUSTIBLE LENSE FOR SLOPED CEILING
- C = EXHAUST FAN/LIGHT COMBO FOR BATHROOMS
- D = EXTERIOR WALL SCNCE
- E = CEILING MOUNTED PENDANT
- F = WALL MOUNTED SCNCE
- G = 5" RECESSED CAN FIXTURE, WET LOCATION, SLOPED CEILING
- H = 36" STRIP, LED
- I = CEILING FAN W/ LIGHT

\$ = SWITCH
\$d = DIMMER SWITCH



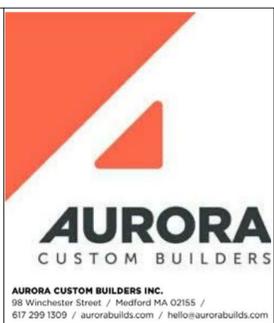
③ 2nd Floor RCP
3/16" = 1'-0"

EXTERIOR MATERIALS

- NEW CLAPBOARD SIDING (TBD) FOR NEW AND EXISTING WALLS
- NEW ASPHALT SHINGL ROOF
- NEW AZEK TRIM
- NEW ALUMINUM GUTTERS AND DOWNSPOUTS
- BALCONY RAILING & DECKING TO BE DETERMINED

WINDOW SCHEDULE

| TYPE | DIMS. | QNTY. | DESCRIPTION |
|------|-------|-------|--|
| A | 30X60 | 4 | Anderson 400 Series, White Vinyl Clad, Prime Interior, Double Hung, 1 over 1 |
| B | 30X30 | 1 | Anderson 400 Series, White Vinyl Clad, Prime Interior, Double Hung, 1 over 1 |
| C | 36X24 | 1 | Anderson 400 Series, White Vinyl Clad, Prime Interior, CASEMENT, 1 over 1 |
| D | 36X36 | 6 | Anderson 400 Series, White Vinyl Clad, Prime Interior, AWNING |



PROPOSED RENOVATIONS TO:

RYAN RESIDENCE

18 Tappan Street
Roslindale, MA 02131



③ East Elevation
3/16" = 1'-0"



② North Elevation
3/16" = 1'-0"



④ West Elevation
3/16" = 1'-0"



① South Elevation
3/16" = 1'-0"

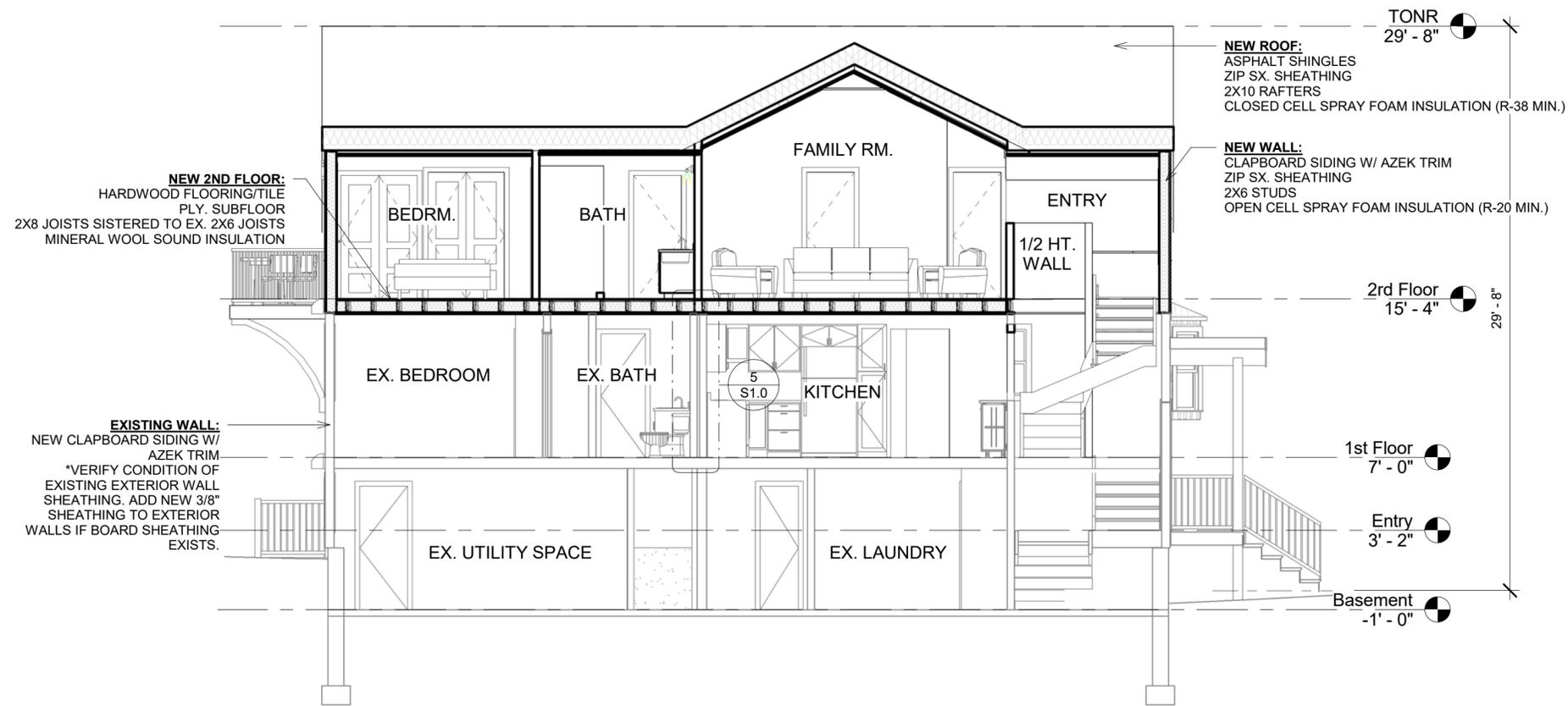
ELEVATIONS

| | |
|-------------|---------------|
| Project No. | Ab1622 |
| Date | 1/12/18 |
| Drawn by | CD |
| Checked by | NM |
| Scale | 3/16" = 1'-0" |

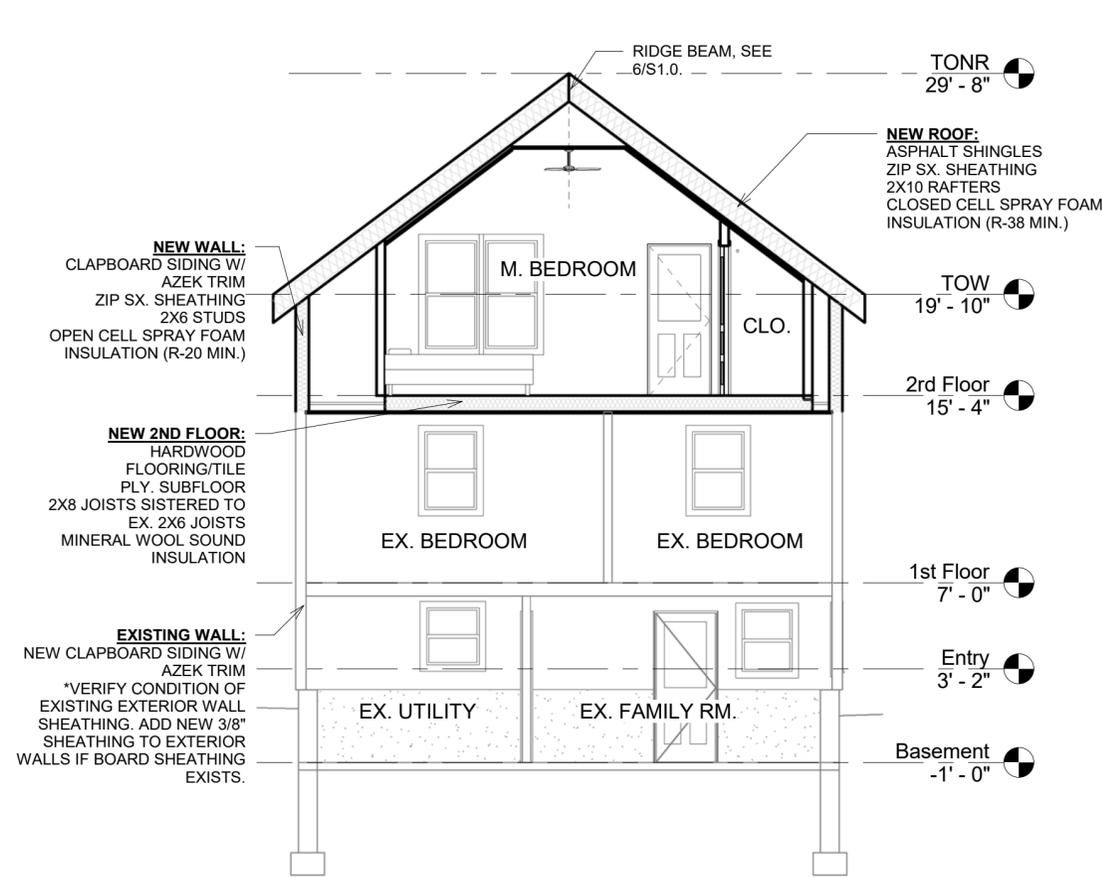
PROPOSED RENOVATIONS TO:

**RYAN
RESIDENCE**

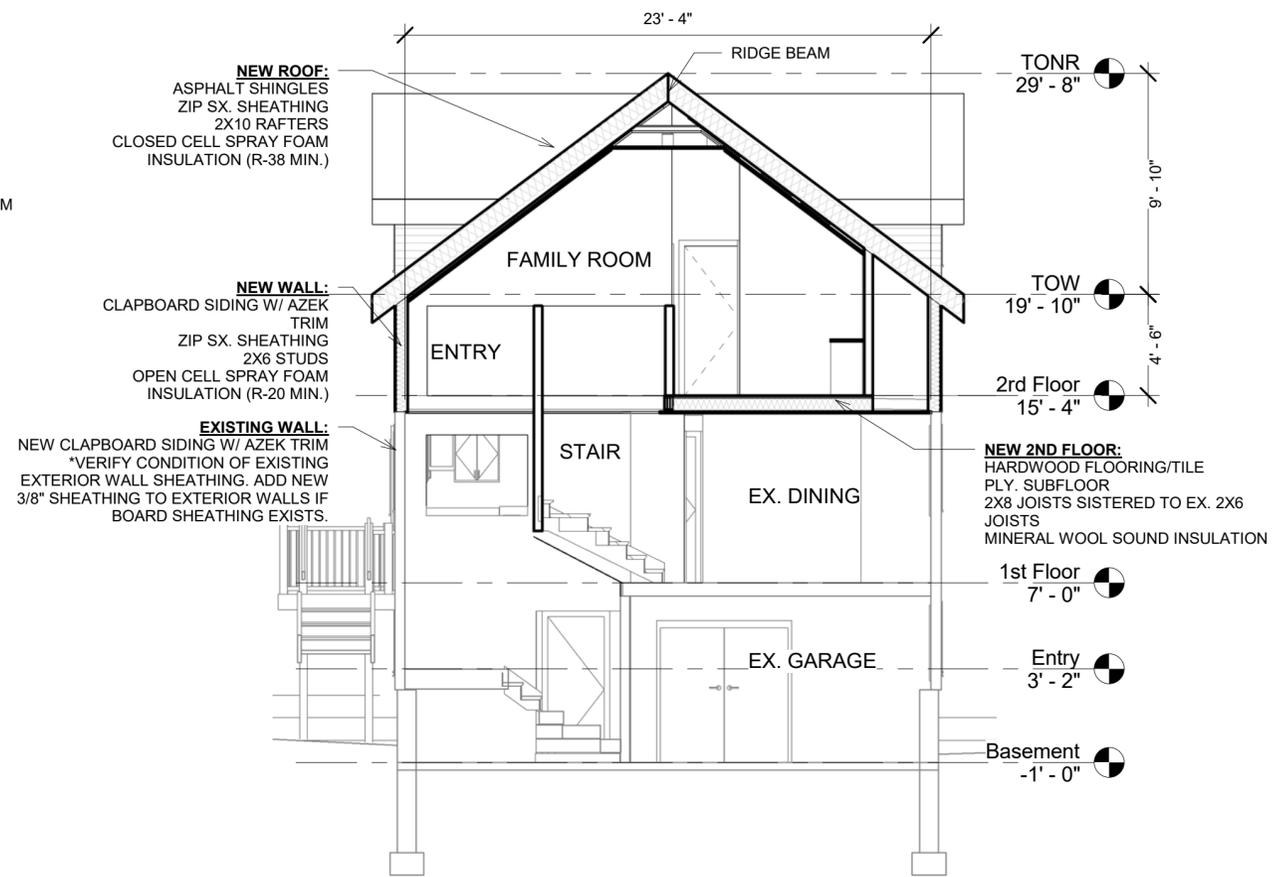
18 Tappan Street
Roslindale, MA 02131



③ Section A
3/16" = 1'-0"



② Section C
3/16" = 1'-0"



① Section B
3/16" = 1'-0"

**BUILDING
SECTIONS**

| | |
|-------------|---------------|
| Project No. | Ab1622 |
| Date | 1/12/18 |
| Drawn by | Author |
| Checked by | Checker |
| Scale | 3/16" = 1'-0" |

STRUCTURAL DESIGN

Design Criteria

- Second Floor Live Load 30 psf
- Deck Live Load 40 psf
- Roof Snow Load 40 psf
- Basic Wind Speed 100 mph

General

- 1. All work shall conform to the 8th edition of the Commonwealth of Massachusetts Building Code for One and Two Family Dwellings and structural notes.

Foundations

- 1. Foundations shall bear on natural soil or compacted structural fill.
- 2. The foundation design has been based on an allowable soil bearing pressure of 3000 psf for sandy gravel or gravel. Contractor shall verify natural soil and notify engineer if actual conditions differ.

- Existing soil below slab-on-grade shall be compacted with 5 passes of a heavy drum roller in each direction. Remove any soft subgrade to a depth of at least 24 inches and replace with compacted structural fill.
- Structural fill shall consist of clean, well-graded granular soil with no stones larger than 2". Fill shall meet the following gradation limits:

| sieve size | percent passing by weight |
|------------|---------------------------|
| 2" | 100 |
| 1.5" | 70-100 |
| ¾" | 50-85 |
| no. 4 | 30-55 |
| no. 50 | 8-24 |
| no. 200 | 3-10 |
- Fill shall be placed in maximum 12" lifts and shall be compacted with 5 passes of a heavy drum roller in each direction.

Concrete

- 1. Minimum compressive strength at 28 days: Footings and interior slabs on grade – 3000 psi. Building walls – 3500 psi. Exterior slabs and steps – 3500 psi with 5%-7% air entrainment.
- 2. Reinforcing steel shall conform to ASTM A615.
- 3. Provide 2'-0"x2'-0" corner bars at all horizontal bars in walls.

Adhesive for Anchoring to Existing Concrete

- 1. Adhesive shall be Hilti HY150 MAX or approved alternate.
- 2. Clean out holes with wire brush and blower prior to injecting adhesive.

Pre-Fabricated Balcony Guardrail

- 1. Guardrail system & connections shall be capable of resisting 200 lbs. force (horizontal & vertical) applied at any point on the rail.

Wood Framing- General

- Use kiln dried SPF or Douglas Fir-Larch no. 2 or better for all enclosed or interior framing except sills.
- Provide pressure treated Southern Yellow Pine no. 2 or better for sills, exterior columns and exposed members.
- Pressure treatment shall be suitable for use with galvanized connectors and shall not cause accelerated metal deterioration.
- Ends of pressure treated members that have been cut shall be coated with wood preservative.
- LVL members shall conform to Trusjoist specifications or approved alternate.
- Connect all members according to table R602.3(1) Fastening Schedule of the International Residential Code unless otherwise noted.
- Nails shall be common wire nails.
- Provide joist hangers at all members framing to side of supporting member.
- All metal connectors in contact with pressure treated wood shall be stainless steel, hot-dipped galvanized or Simpson ZMAX or equivalent.
- Fasteners in contact with pressure treated wood shall be stainless steel or hot-dipped galvanized.
- See fastening schedule for beam and column members consisting of multiple plies.
- Provide blocking below columns at each floor and sill.
- Provide blocking between joists at load-bearing walls.
- Provide bridging between joists for spans greater than 8'-0". Bridging shall be installed at mid-span.
- Center of joists shall be located within 3" of wall stud below; provide additional studs as required to support joists.
- Connection hardware noted on drawings shall conform to Simpson Strongtie specifications or approved alternate.

Wall Sheathing at Exterior Walls

- Sheathing: 15/32" (minimum) exposure 1 wood sheathing with 16" minimum span rating.

Roof and Floor Sheathing

- Roof sheathing: 15/32" (minimum) exposure 1 wood sheathing with 16" minimum roof span rating.
- Floor sheathing: 3/4" exposure 1 wood sheathing with 24" minimum floor span rating.
- Provide sheathing clips between all joists and rafters. Sheathing clips may be omitted with tongue-and-groove sheathing.
- Long direction of panels shall be perpendicular to joists and rafters.
- Nails at all panel edges: 8d nails at 6" on center.
- Nails at interior of panels: 8d nails at 12" on center at each joist or rafter.

Beam and Column Fastening Schedule

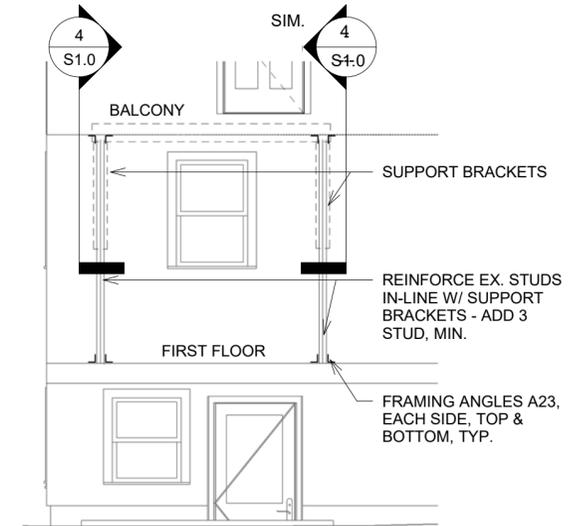
| Member | Fasteners |
|--------------|---|
| Beam 2 plies | 2x members: three rows 10d at 12". LVL: three rows 16d at 12" each side. |
| Beam 3 plies | 2x members: three rows 10d 12" each side. LVL: two rows 4" screws at 16" each side. |
| Beam 4 plies | 2x members: two rows 5" screws at 16" each side. LVL: two rows 7" screws at 16" each side. |
| Stud Column | 10d nails at 12" on center staggered through each ply. |

Note: screws shall be Fastenmaster Headlok screws or similar.

CONNECTION SCHEDULE

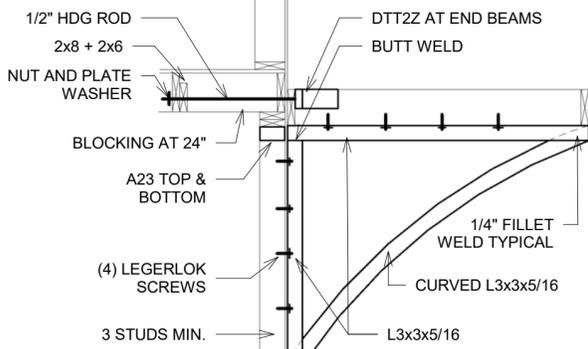
| MEMBER | CONNECTOR |
|---------------------------------|---|
| FLOOR 2X8 | LUS28 |
| RAFTER TO LEDGER | LRU210Z |
| RAFTER TO WALL PLATE | H2.5A + 2-16d TOE NAIL |
| LEDGER TO WALL PLATE | 2-5" LEDGERLOK SCREWS CENTERED ON EACH STUD 16d@16" |
| SOLE PLATE TO JOIST OR BLOCKING | 10d@24", 8-16d AT LAPS |
| DOUBLE TOP PLATES | 2-16d |

NOTE: PROVIDE CONNECTORS INDICATED ABOVE UNLESS OTHERWISE NOTED.

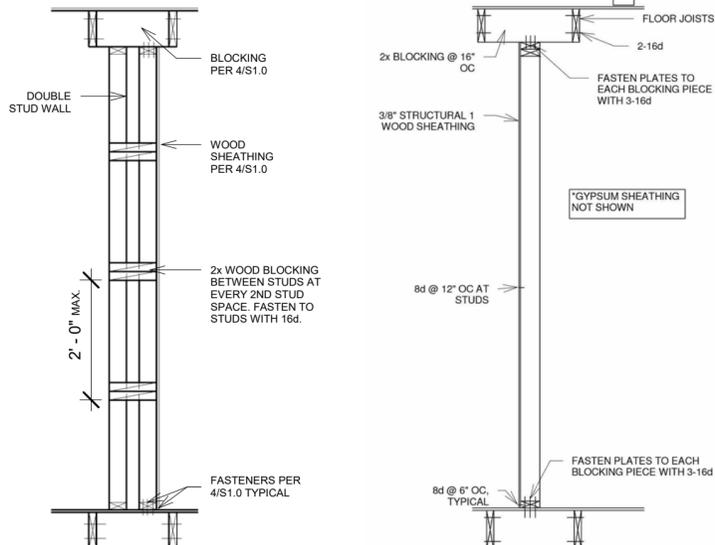


3 N. Elev. Balcony Framing
1/4" = 1'-0"

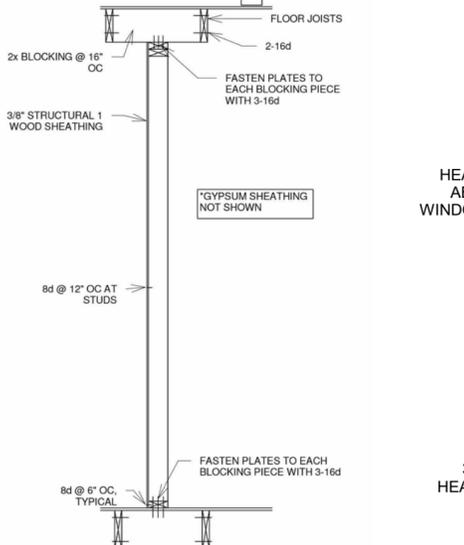
NOTE: STEEL SHALL BE HOT-DIPPED GALV. OR COATED WITH CORROSION INHIBITING PAINT



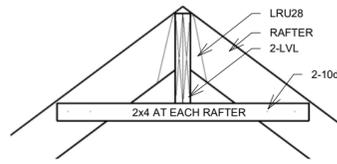
4 DETAIL @ BALCONY
1/2" = 1'-0"



5 DETAIL A
1/2" = 1'-0"

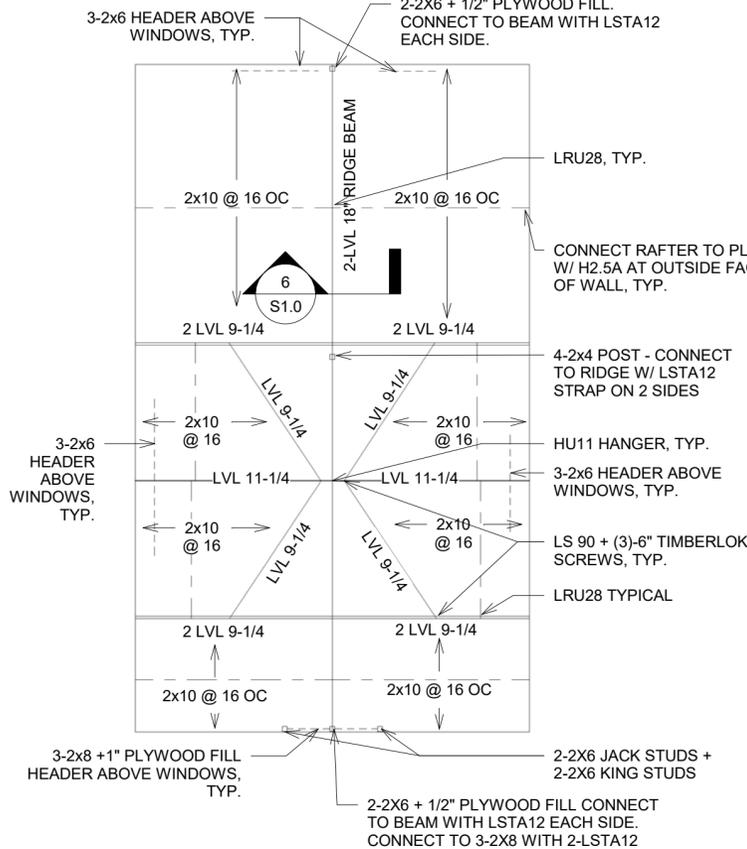


4 TYP. DETAIL @ BRACED WALL, PARALLEL TO JOISTS
NTS

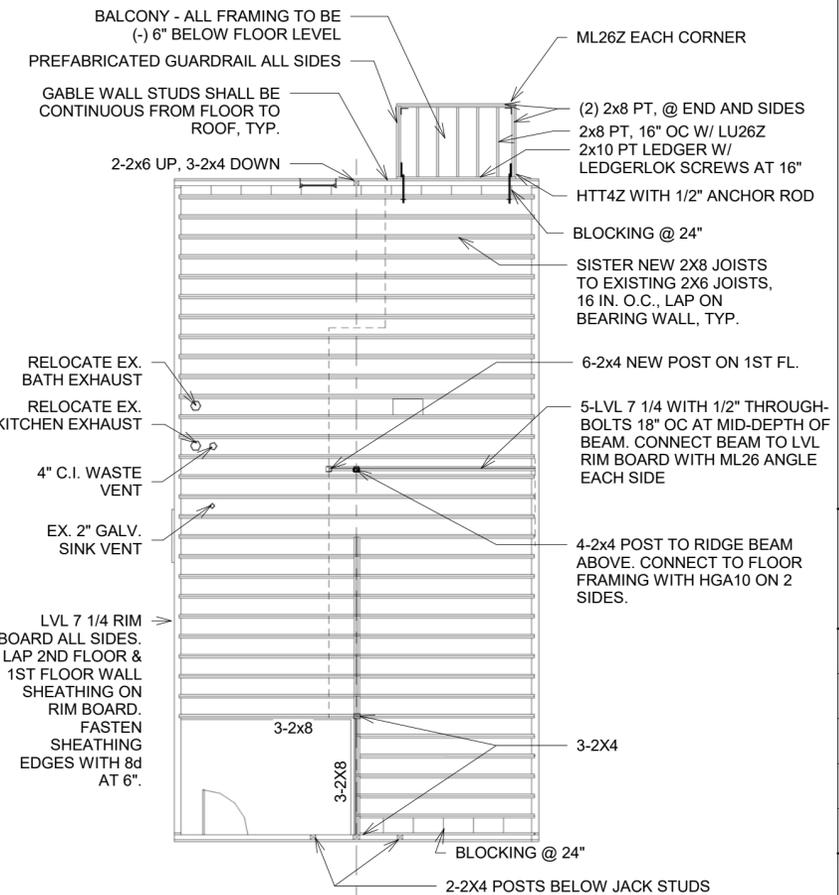


6 TYPICAL RIDGE DETAIL
1/2" = 1'-0"

*REFER TO A1.1 AND A1.2 FOR ADDITIONAL STRUCTURAL FRAMING NOTES FOR THE BASEMENT & 1ST FLOOR



2 Roof Framing Plan
1/8" = 1'-0"



1 2nd Floor Framing Plan
1/8" = 1'-0"



PROPOSED RENOVATIONS TO:

RYAN RESIDENCE
18 Tappan Street
Roslindale, MA 02131



STRUCTURAL DTLS.

| | |
|-------------|--------------|
| Project No. | Ab1622 |
| Date | 1/12/18 |
| Drawn by | CD |
| Checked by | DM |
| Scale | As indicated |

S1.0

18 TAPPAN STREET, BOSTON, MA 02131

PROPERTY OWNER: GLEN RYAN

APPLICATION #: ALT805157

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000

WARD: 20

18 Tappan Street, 02131

Description

Taken Date

2018/04/17 08:20:31

Upload Date

2018/04/17 11:27:04

Uploaded By

Glen Ryan

File Name

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18 Tappan Street, 02131

Description

Taken Date

2018/04/17 08:20:07

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2018/04/17 11:26:55

Uploaded By

Glen Ryan

File Name

[DJI_0235.JPG](#)



18 TAPPAN STREET, BOSTON, MA 02131

PROPERTY OWNER: GLEN RYAN
APPLICATION #: ALT805157
ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000
WARD: 20

18 Tappan Street, 02131

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18 TAPPAN STREET, BOSTON, MA 02131

PROPERTY OWNER: GLEN RYAN

APPLICATION #: ALT805157

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000

WARD: 20

18 Tappan Street, 02131

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Glen Ryan

File Name

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18 Tappan Street, 02131

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Glen Ryan

File Name

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18 TAPPAN STREET, BOSTON, MA 02131

PROPERTY OWNER: GLEN RYAN

APPLICATION #: ALT805157

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000

WARD: 20

18 Tappan Street, 02131

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18 Tappan Street, 02131

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Glen Ryan

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18 TAPPAN STREET, BOSTON, MA 02131

PROPERTY OWNER: GLEN RYAN

APPLICATION #: ALT805157

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD, 2F-5000

WARD: 20

18 Tappan Street, 02131

Description

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Glen Ryan

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18 Tappan Street, 02131

Description

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