

LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- ▽ SPLASH BLOCK
- ☆ LIGHT POLE (LP)
- ☆ LAMP POST (LAMP)
- UTILITY POLE (UP)
- GC GRANITE CURB (GC)
- CC CONCRETE CURB (CC)
- EP EDGE OF PAVEMENT (EP)
- ↑ SIGN

PLAN NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS FROM THE GROUND INSTRUMENT SURVEYS PERFORMED BY NORWOOD ENGINEERING COMPANY IN JANUARY OF 2016 AND RECORD INFORMATION OBTAINED FROM THE CITY OF BOSTON ASSESSING AND ENGINEERING DEPARTMENTS, THE MASSACHUSETTS LAND COURT, THE SUFFOLK COUNTY AND NORFOLK COUNTY REGISTRY OF DEEDS, AND THE BOSTON WATER AND SEWER COMMISSION.

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

SEE ARCHITECTURAL PLANS PREPARED BY H&A ARCHITECTURAL DESIGN SERVICES GROUP, 2 SHAW PLACE, FOXBORO, MASS. 02035, CONTACT: KEVIN HADLEY (774-284-5660).

THE CONSTRUCTION OF THE PROPOSED SINGLE-FAMILY DWELLING WILL REQUIRE RAZING THE EXISTING DWELLING AT 22 BURLEY STREET.

THE PROPOSED FOUR (4) BEDROOM SINGLE-FAMILY DWELLING WILL GENERATE APPROXIMATELY 440 GALLONS OF SEWERAGE PER DAY.

ZONING CLASSIFICATION

ROSLINDALE NEIGHBORHOOD DISTRICT
ONE-FAMILY RESIDENTIAL SUBDISTRICT 1F-6000
ARTICLE 67 - TABLE C - MAP No. 10A-10B

DIMENSIONAL REQUIREMENTS

SINGLE-FAMILY	REQUIRED	PROPOSED
LOT AREA	6,000 SF	9,022 SF
FRONTAGE	60 FT	65.0 FT
LOT WIDTH	60 FT	65.0 FT
FRONT YARD	16 FT (MODAL)	16.5 FT
SIDE YARD	10 FT	11.5 FT
REAR YARD	40 FT	63.8 FT
G.F.A.	---	2,981 SF
F.A.R.	0.5	0.330
HEIGHT	35	SEE ARCH. PLANS
STORIES	2.5	2.5
OPEN SPACE	1,800 SF	6,406 SF
PARKING SPACES	2 SPACES	2 SPACES

FRONT YARD MODAL STUDY

SETBACK	ADDRESS	FRONTAGE
16.0 FT	14, 18	125 FT
17.0 FT	22	65 FT

THE FRONT YARD MODAL STUDY IS BASED ON RECORD INFORMATION FROM THE PUBLIC WORKS DEPARTMENT BURLEY STREET LAYOUT (L-8718)

****AVERAGE GRADE CALCULATION**

LENGTH x AVERAGE GRADE	
FRONT	
15.17 x 74.80	1,134.71
3.00 x 74.75	224.25
9.83 x 74.75	734.79
17.00 x 74.40	1,264.80
RIGHT SIDE	
33.00 x 72.5	2,392.50
REAR	
17.00 x 67.30	1,144.10
6.00 x 67.25	403.50
4.00 x 67.20	268.80
21.00 x 69.30	1,455.30
LEFT SIDE	
36.00 x 72.05	2,593.80
TOTAL	TOTAL
162.00	11,616.55

11,616.55/162.00 = 71.71 AVERAGE GRADE

DIFFERENCE IN FLOOR ELEVATIONS

1ST FL - BSMT FL = 76.70 - 67.80 = 8.90'
1ST FL - AVG GRADE = 105.50 - 71.71 = 4.99'
AVG GRADE - BSMT FL = 71.71 - 67.80 = 3.91'

1ST STORY CALCULATION

"THE LOWEST STORY OF WHICH SIXTY-FIVE PERCENT (65%) OR MORE OF THE HEIGHT IS ABOVE GRADE" (4.99/8.90) = 0.561 ABOVE GRADE - 56.1% IS LESS THAN 65% AND THIS LEVEL IS NOT THE FIRST STORY.

BASEMENT CALCULATION

"THAT PORTION OF A BUILDING WHICH IS MORE THAN THIRTY-FIVE PERCENT (35%) OF THE HEIGHT OF THE STORY BELOW GRADE" (3.91/8.9 = 0.439) BELOW GRADE - 43.9% IS GREATER THAN 35% AND THIS LEVEL IS THE BASEMENT.

***ARTICLE 2A GRADE DEFINITION**

"THE AVERAGE ELEVATION AT THE STREET CAN BE NO MORE THAN FIVE FEET ABOVE OR BELOW AVERAGE ELEVATION OF GROUND IMMEDIATELY CONTIGUOUS TO THE BUILDING"

AVERAGE GRADE AT PERIMETER OF BUILDING = 71.71
AVERAGE GRADE AT BURLEY STREET LINE = 74.78
DIFFERENCE 74.78 - 71.71 = 3.07 FT > 5.00 FT

BENCHMARK

CONSTRUCTION BENCHMARK: UP
PK SPIKE SET IN BASE OF UTILITY POLE NEAR THE LOT CORNER BETWEEN 18 AND 22 BURLEY STREET
ELEVATION = 78.74 (BOSTON CITY BASE)

OWNER:

GEORGE P. &
JEAN T. PAGLIUCA
22 BURLEY STREET
ROSLINDALE, MA 02131

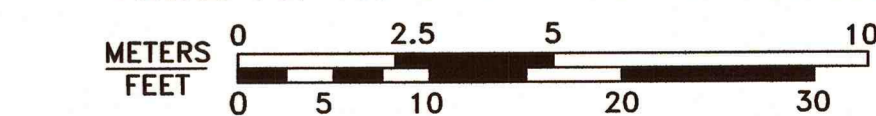
APPLICANT:

FLORRIE MAHONY
11 HILTON STREET
HYDE PARK, MA 02136
PHONE: 617-593-5072

BUILDING PERMIT PLAN
22 BURLEY STREET
BOSTON, MASS.
(ROSLINDALE - 02131-4601)

SCALE: 1"=10' JANUARY 18, 2016

NORWOOD ENGINEERING CO., INC.
CIVIL ENGINEERS & LAND SURVEYORS
1410 ROUTE ONE, NORWOOD, MA 02062
PHONE: 781-762-0143 FAX 781-762-8595

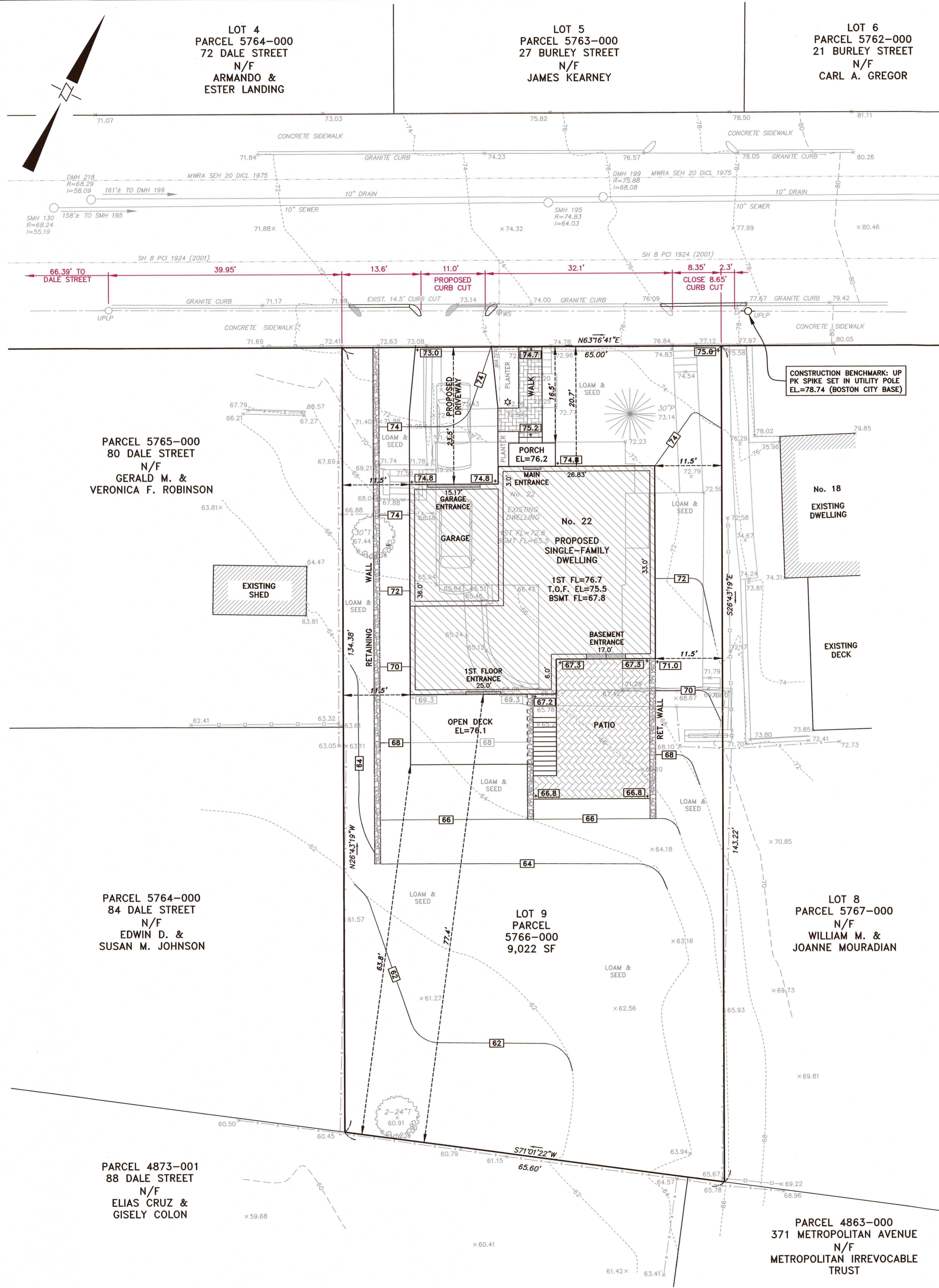


SHEET No. 1 OF 1

7077-11



REVISIONS



LOT 4
PARCEL 5764-000
72 DALE STREET
N/F
ARMANDO &
ESTER LANDING

LOT 5
PARCEL 5763-000
27 BURLEY STREET
N/F
JAMES KEARNEY

LOT 6
PARCEL 5762-000
21 BURLEY STREET
N/F
CARL A. GREGOR

PARCEL 5765-000
80 DALE STREET
N/F
GERALD M. &
VERONICA F. ROBINSON

PARCEL 5764-000
84 DALE STREET
N/F
EDWIN D. &
SUSAN M. JOHNSON

LOT 9
PARCEL 5766-000
9,022 SF

LOT 8
PARCEL 5767-000
N/F
WILLIAM M. &
JOANNE MOURADIAN

PARCEL 4863-000
371 METROPOLITAN AVENUE
N/F
METROPOLITAN IRREVOCABLE TRUST

PARCEL 4873-001
88 DALE STREET
N/F
ELIAS CRUZ &
GISELY COLON

ASSESSOR'S REFERENCE:
PARCEL No. 5766-000
MAP No. 18090

DEED REFERENCE:
MASSACHUSETTS LAND COURT
CERTIFICATE No. 69707

RECORD PLAN REFERENCE:
MASSACHUSETTS LAND COURT
LC PLAN No. 2897-A (LOT 9)
CERTIFICATE No. 3046

PLAN REFERENCE:
MASSACHUSETTS LAND COURT
LC PLAN No. 13209-A
LC PLAN No. 2897-A
LC PLAN No. 2897-B
LC PLAN No. 2897-C
LC PLAN No. 2897-D

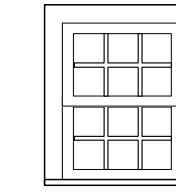
PLAN REFERENCE:
SUFFOLK REGISTRY OF DEEDS
BOOK 19784 PAGE END
BOOK 8350 PAGE END
BOOK 7199 PAGE END
BOOK 7060 PAGE 66
BOOK 7054 PAGE 241
BOOK 5766 PAGE 237

ENGINEERING RECORDS
L-8718 BURLEY STREET
L-10744 DALE STREET
L-10745 DALE STREET

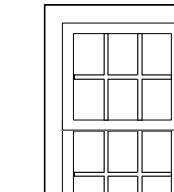
BWSC RECORDS
WATER & SEWER GIS MAPS
BWSC PLAN No. A59-67
BWSC PLAN No. H-1564
BWSC PLAN No. H-1992
BWSC PLAN No. Z09-24

Window Schedule

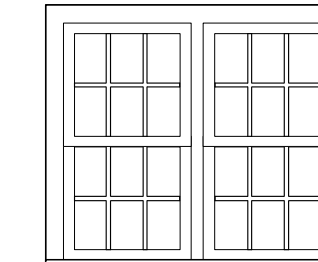
	Qty	Clear Opening	Nominal Size		Rough Opening		Type	Glass	U-Factor	SHG	Sq. Ft. Glass	Window Data	
W1	22	5.96 sf	2'-8"	5'-2"	2'-10 1/4"	5'-6 1/4"	Double Hung	Low E	0.34	0.3	11.15	Silverline - American Craftsman	3000 Series
W2	1	5.96 sf	2'-10"	5'-2"	5'-8"	5'-6 1/4"	Double Hung x 2	Low E	0.34	0.3	22.3	Silverline - American Craftsman	3000 Series Factory Muller
W3	4	4.08 sf	2'-4"	4'-2"	2'-6 1/4"	4'-5 1/4"	Double Hung	Low E	0.34	0.3	7.57	Silverline - American Craftsman	3000 Series
W4	1	4.08 sf	2'-4"	3'-2"	2'-6 1/4"	3'-7 1/4"	Double Hung	Low E	0.34	0.3	5.6	Silverline - American Craftsman	3000 Series



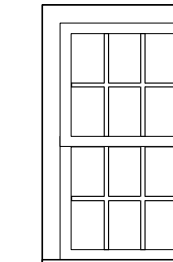
W4



W3



W2



W1

New Single Family Home

Roslindale, Massachusetts

Cover Sheet

- A1 - Basement Plan & 1st Floor Plan
- A2 - 2nd Floor Plan & Attic Floor Plan
- A3 - 1st Floor & 2nd Floor Framing Plans
- A4 - Attic Floor & Roof Framing Plans
- A5 - Elevations
- A6 - Section & Details
- Site Plan

4 March 2016

508-543-4753
 2 Shaw Place
 Foxboro,
 Massachusetts 02035
 Architectural Design Services Group

PROJECT:
New Single Family Home
 22 Burley Street
 Roslindale MA

SCALE:
1/4" = 1'-0"



DATE:
4 March 2016

REVISIONS:

SHEET TITLE:

SHEET NUMBER:

FOUNDATION NOTES:

- All foundation walls shall be 10" thick, with 10" x 20" continuous keyed footings at minimum 4'-0" below grade.
 - All foundation walls shall have 2x6 pressure treated sills with sillseal at all wood/concrete joints. Provide 1/2" J- anchor bolts or mud-sill ties embedded a minimum of 8", set @ 6'-0" o.c. with a minimum of 2 per sill and a maximum of 1'-0" from corners.

- At joints between pours, provide minimum: #5 bars 16" long set @ 18" o.c.
 - Poured slabs shall be 4" 3000 psi concrete on crushed stone.
 - Foundation concrete shall attain a minimum compressive strength after 28 days of 3000 psi.
 - All foundation walls shall receive min. 1 coat of asphalt dampproofing over roof cement parged tie-rod holes.

— 10" FOUNDATION WALLS
 — LOWER / DROP T.O.C.

Interior Walls: 2x4 wood frame construction @ 16" O. C. with 3 1/2" unfaced fiberglass batt insulation between studs for all walls between rooms. Finish both sides with 1/2" blueboard w/ skimcoat of plaster (BBSP).

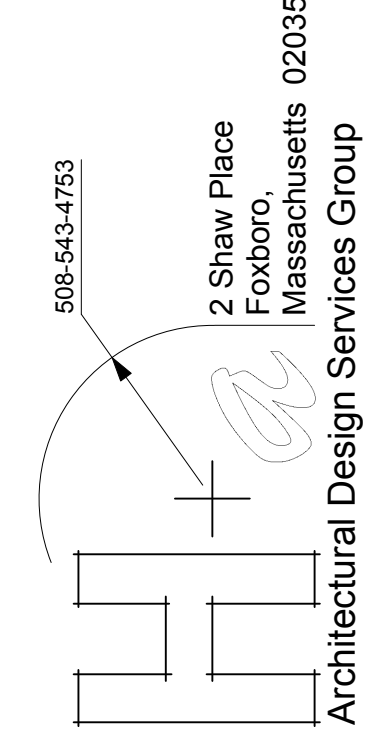
Exterior Walls: 2x6 wood frame construction @ 16" O. C. (unless otherwise noted), 5 1/2" R19 kraftfaced fiberglass batt insulation, or equivalent between studs. Finish interior face with BBSP over poly. vapor barrier. Exterior face to have 1/2" OSB or CDX plywood sheathing. Tyvek building paper fully taped, and Hardiplank fiber-cement or siding or equal.

Roof: Framing sizes as noted on framing plans with R30 kraftfaced fiberglass batt insulation, or equivalent, between rafters, vapor barrier laid down on ceiling strapping. Exterior face of rafters shall have 1/2" CDX fir plywood with Owings, GAF, or a comparable roof shingle with approval by Owner, installed over felt paper. Provide Grace Ice & Water Shield at all valleys and

eaves. Supply 2" continuous aluminum soffit vent and ridge vent for all new roofs. All cathedral ceilings shall be finished on the interior with smooth finish BBSP and shall be provided with Propa-Vents between sheathing and the insulation.

Floors: Framing sizes as noted on framing plans with kraftfaced fiberglass insulation in R values as noted on framing plans. Subfloor shall be 3/4" T&G plywood glued & nailed to joists.

Note: All components, materials, workmanship, and fire protection shall conform with 780 CMR Chapter 36 for One and Two Family Dwellings.
 See additional specification notes on drawings.



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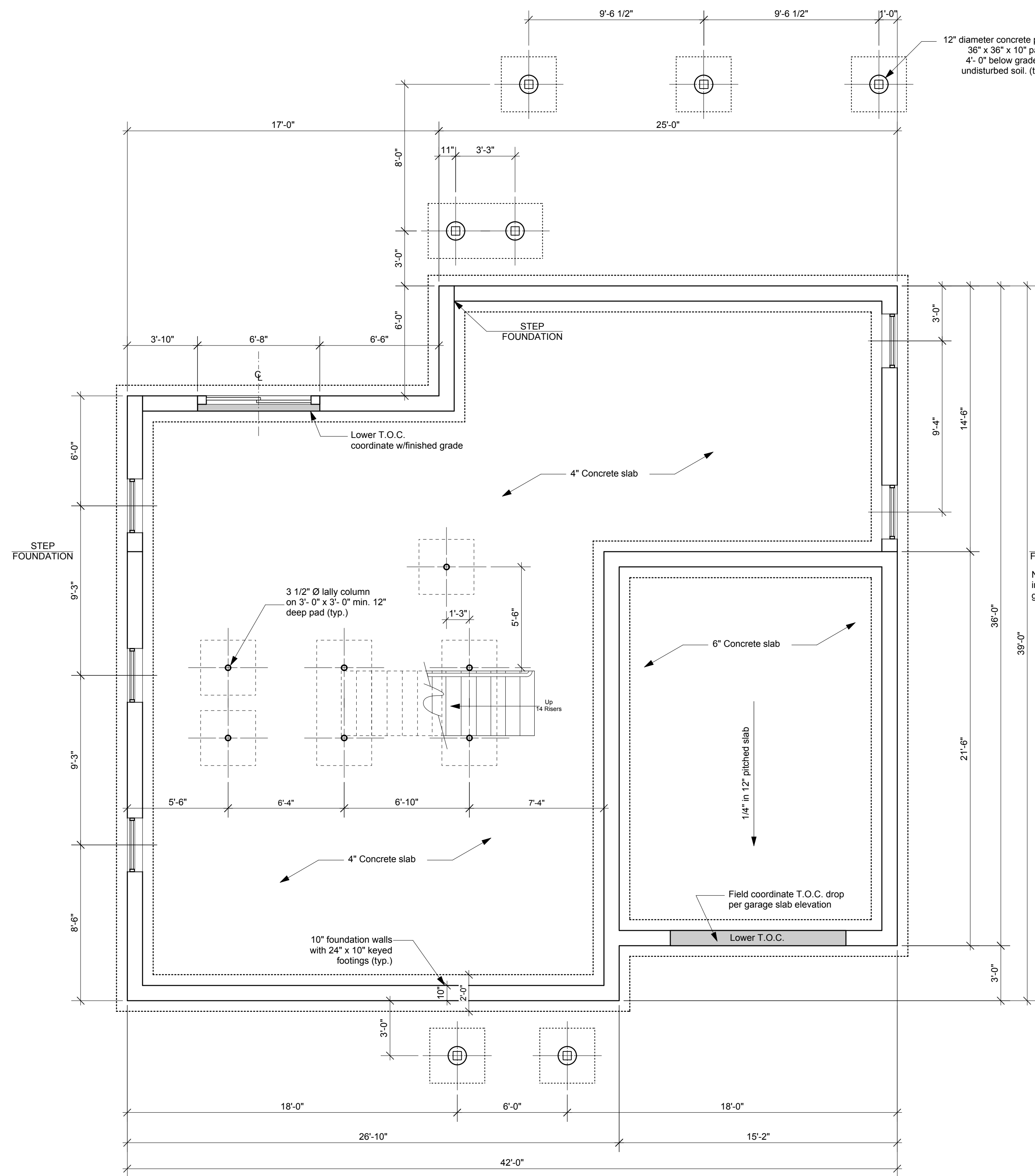
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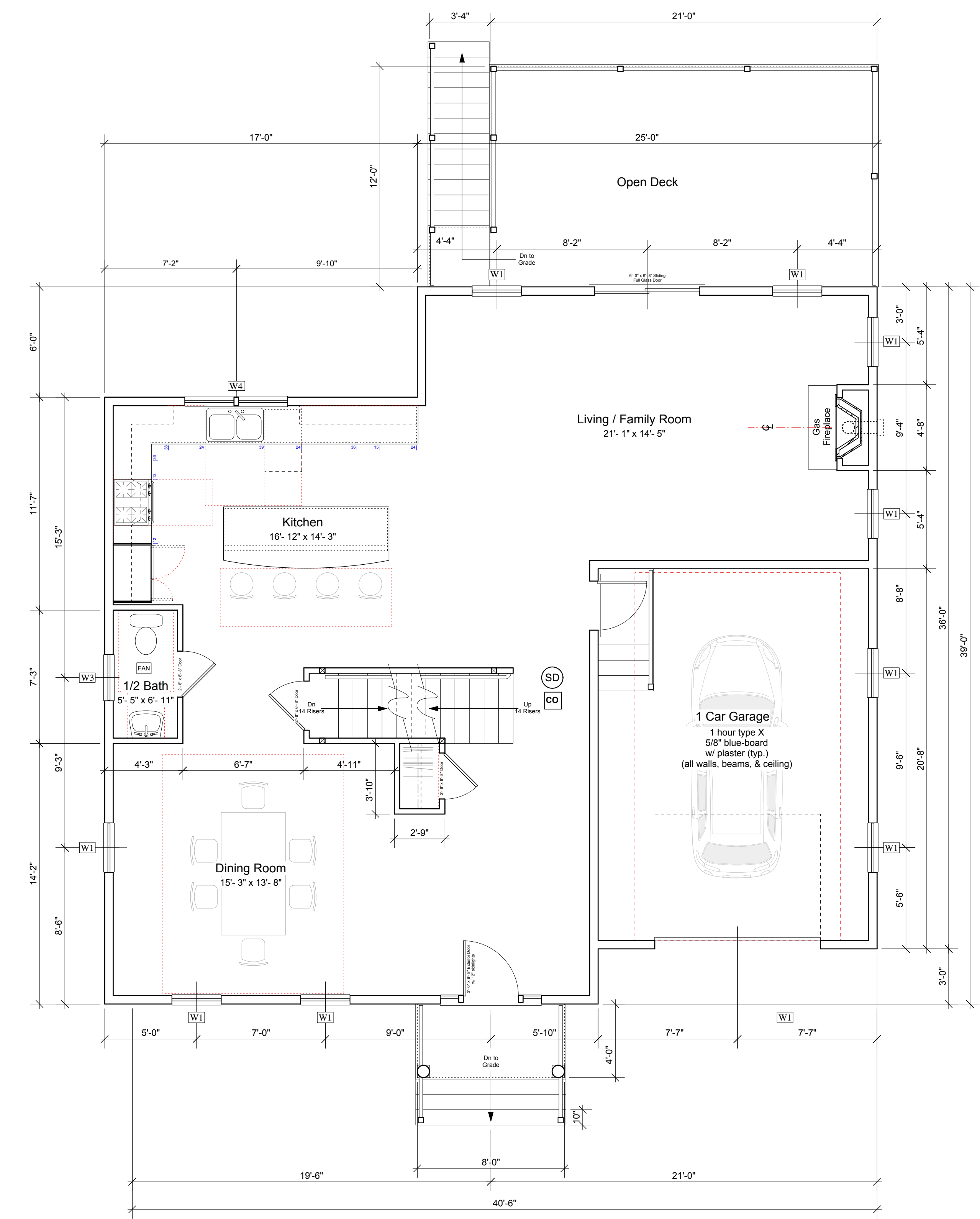
SHEET TITLE:
Basement & 1st Floor Plans

SHEET NUMBER:

A1



Basement Plan



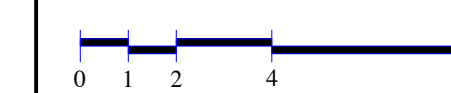
1st Floor Plan

Gross Floor Area: 1178

- Total Gross Floor Area: 2646
- Ⓢ — CARBON MONOXIDE DETECTOR
- Ⓢ — ALL DIMENSIONS TO STUD FACE

PROJECT:
**New Single
 Family Home**
 22 Burley Street
 Roslindale MA

SCALE:
1/4" = 1'-0"



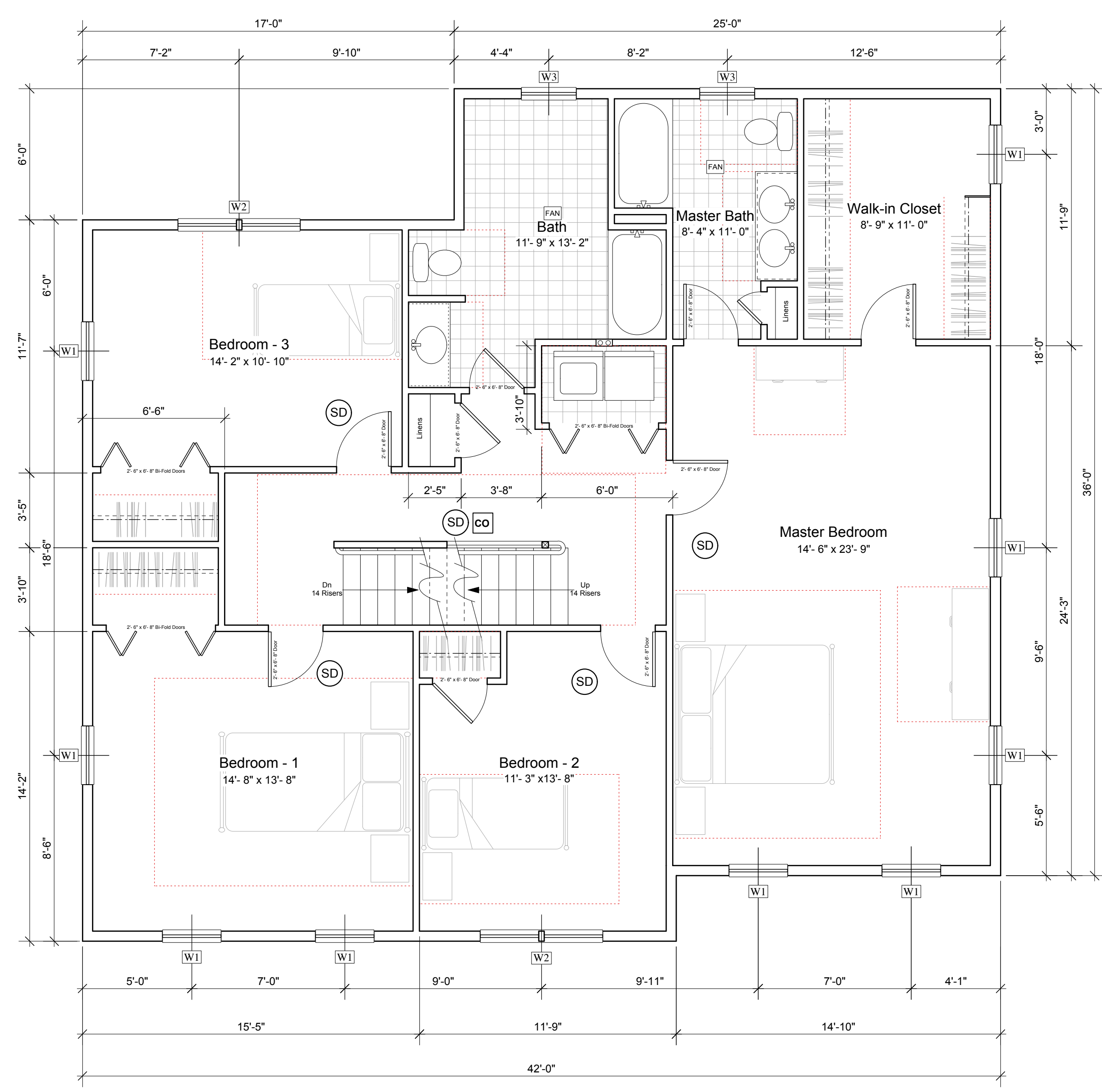
DATE:
17 October 2012

REVISIONS:

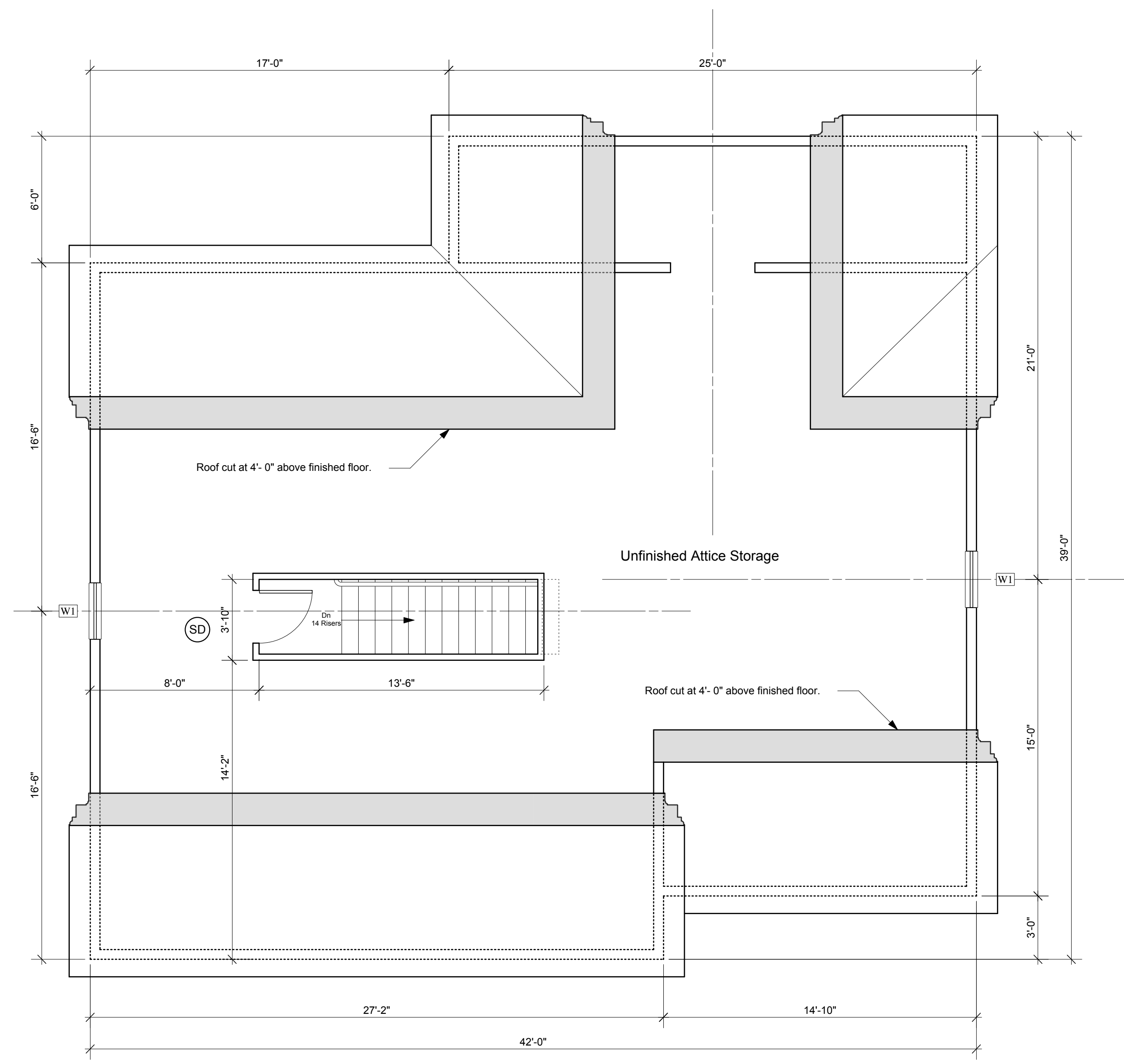
SHEET TITLE:
**2nd & 3rd
 Floor Plans**

SHEET NUMBER:

A2



2nd Floor Plan
 Gross Floor Area: 1468



Attic Floor Plan

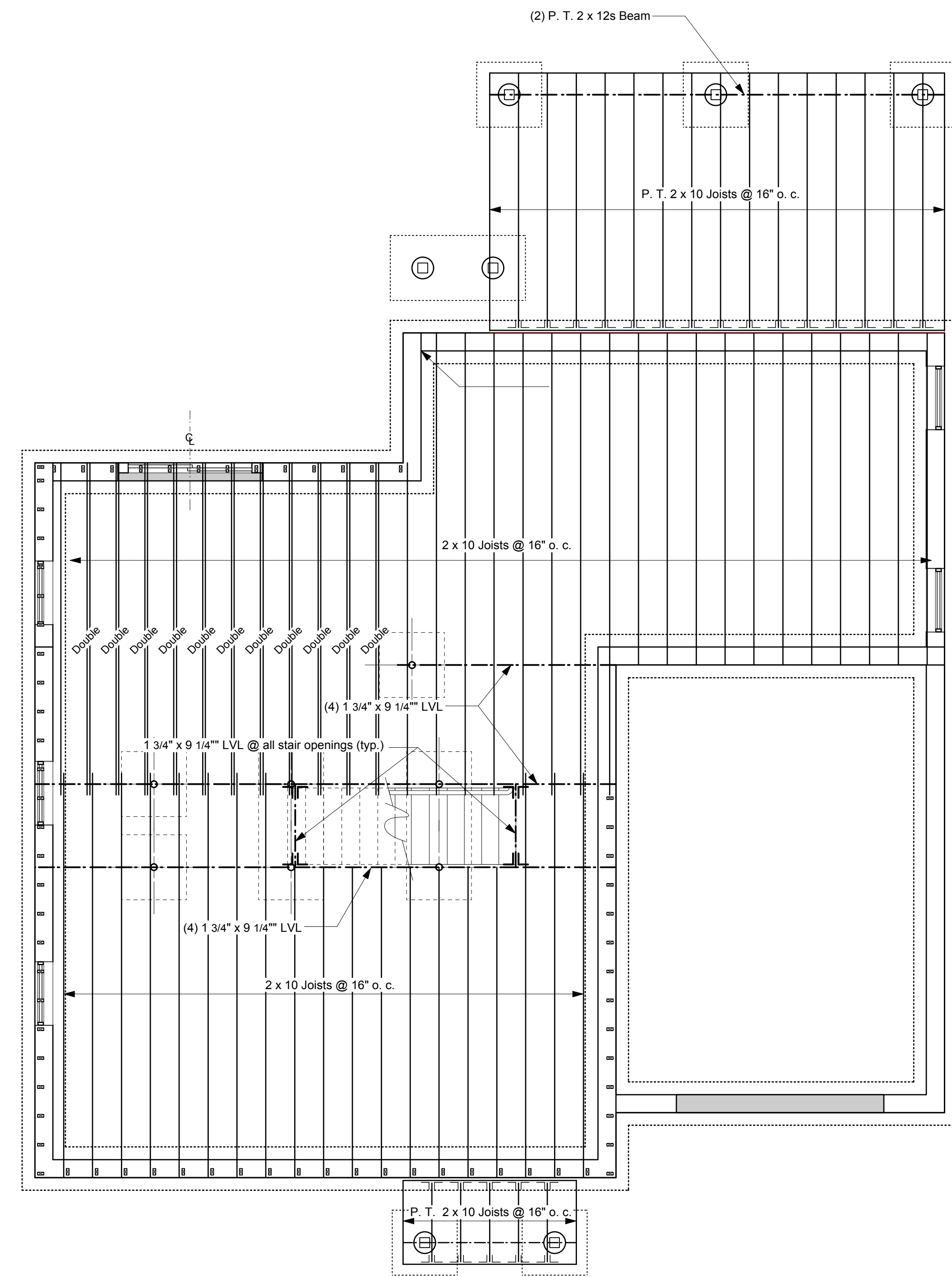
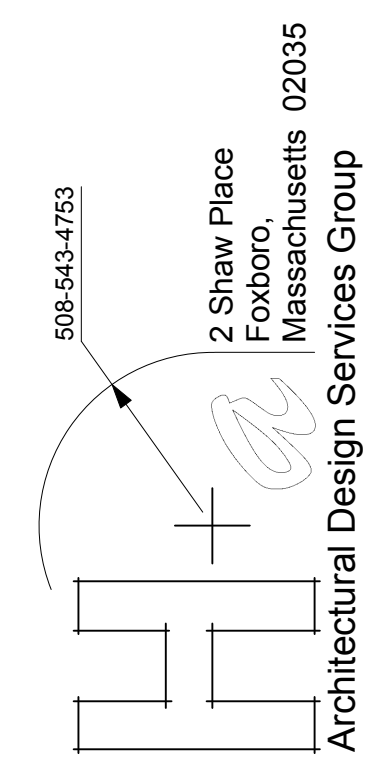
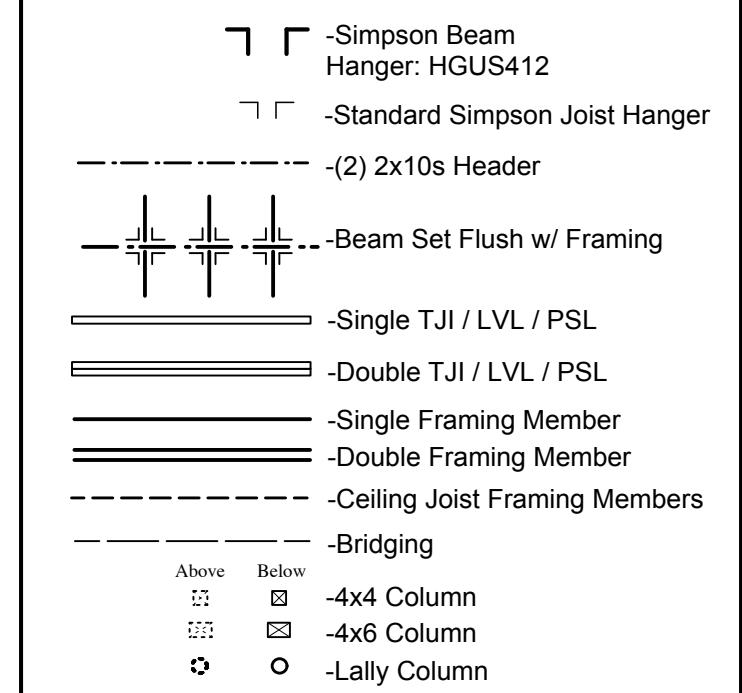
STRUCTURAL NOTES:

- Follow all manufacturer's specifications and requirements for TJI (I-joist) framing procedures, including the use of web fillers, rim joists, bridging, and joist hangers. See additional TJI notes on framing plans by ALL-JOIST.
- All sub-floors: 3/4" T&G plywood or 3/4 OSB glued and nailed 8 o.c.
- Exterior sheathing to be 1/2" CDX or OSB 4x8 sheets nailed w/ 6d common @ 8" o.c.
- All 1st & 2nd floor window and door headers to be min. 2- 2x10s unless otherwise noted.
- Post all engineered lumber beams continuous to load transfer beams or lally columns & foundation walls.
- Apply double and triple joists where drawn or noted.
- Lally columns shall be 3 1/2" Ø with steel plates set at top and bottom.
- Microlam LVL multiple member beams shall be glued and spiked according to manufacturer's specifications for nails and nailing pattern.
- PSLs may be substituted for multiple LVLs. PSL sizes must be equal or greater to that of the combined LVL size.
- Framing lumber shall be min. #2 Spruce Pine Fir.
- Notching of any beams shall be prohibited, notching of joists only as permitted per MA code.

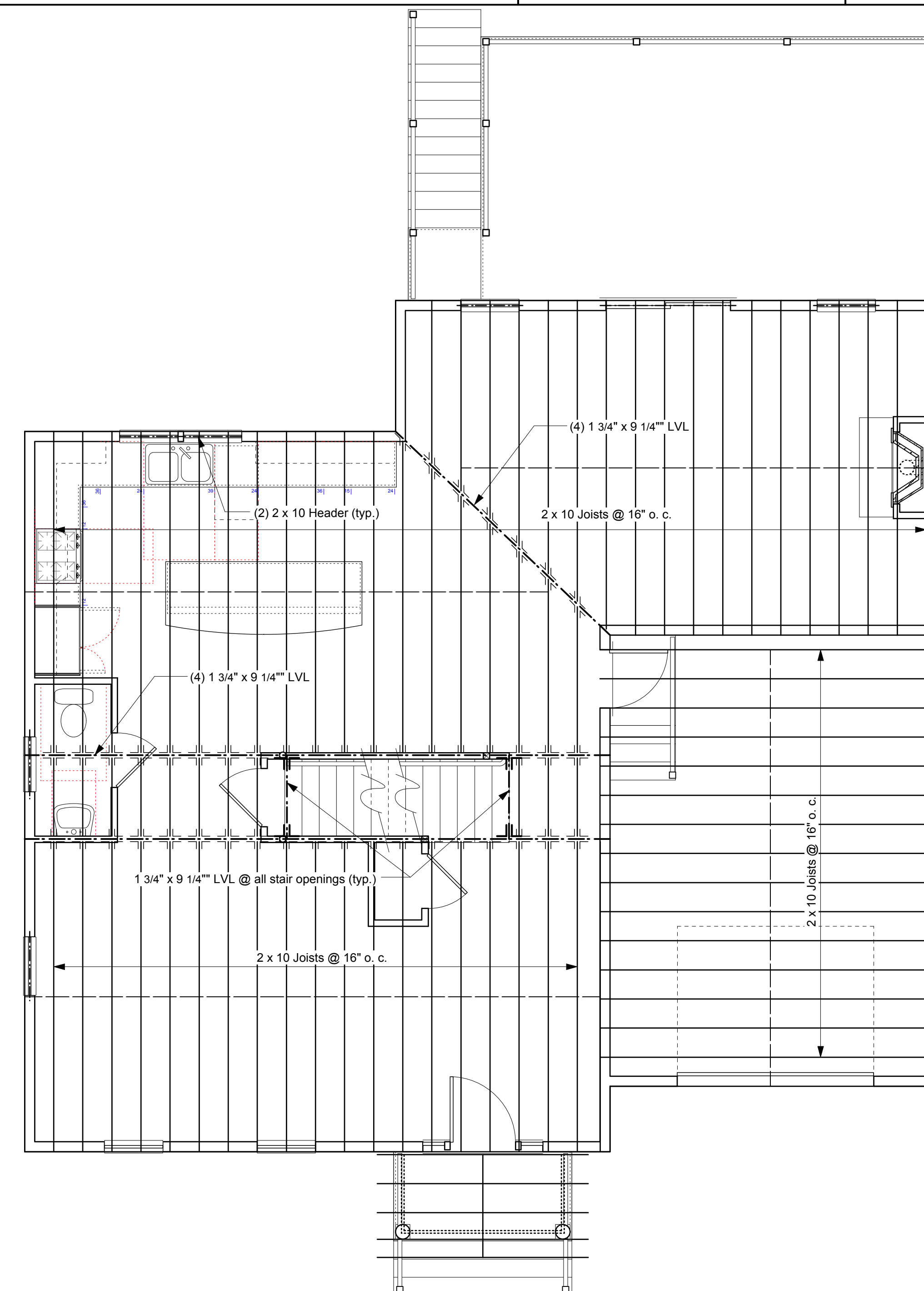
NOTE:

- ALL ROOF RAFTERS: 2x10s @ 16" o.c.
- DOUBLES WHERE DRAWN OR NOTED
- ALL 3rd FLOOR CEILING JOISTS / ATTIC FLOOR: 2x10s @ 16" o.c.
- SEE FIRST AND SECOND FLOOR FRAMING PLANS BY ALL-JOIST

LEGEND:



1st Floor Framing Plan



2nd Floor Framing Plan

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New Single Family Home
22 Burley Street
Roslindale MA

SCALE:
1/4" = 1'-0"



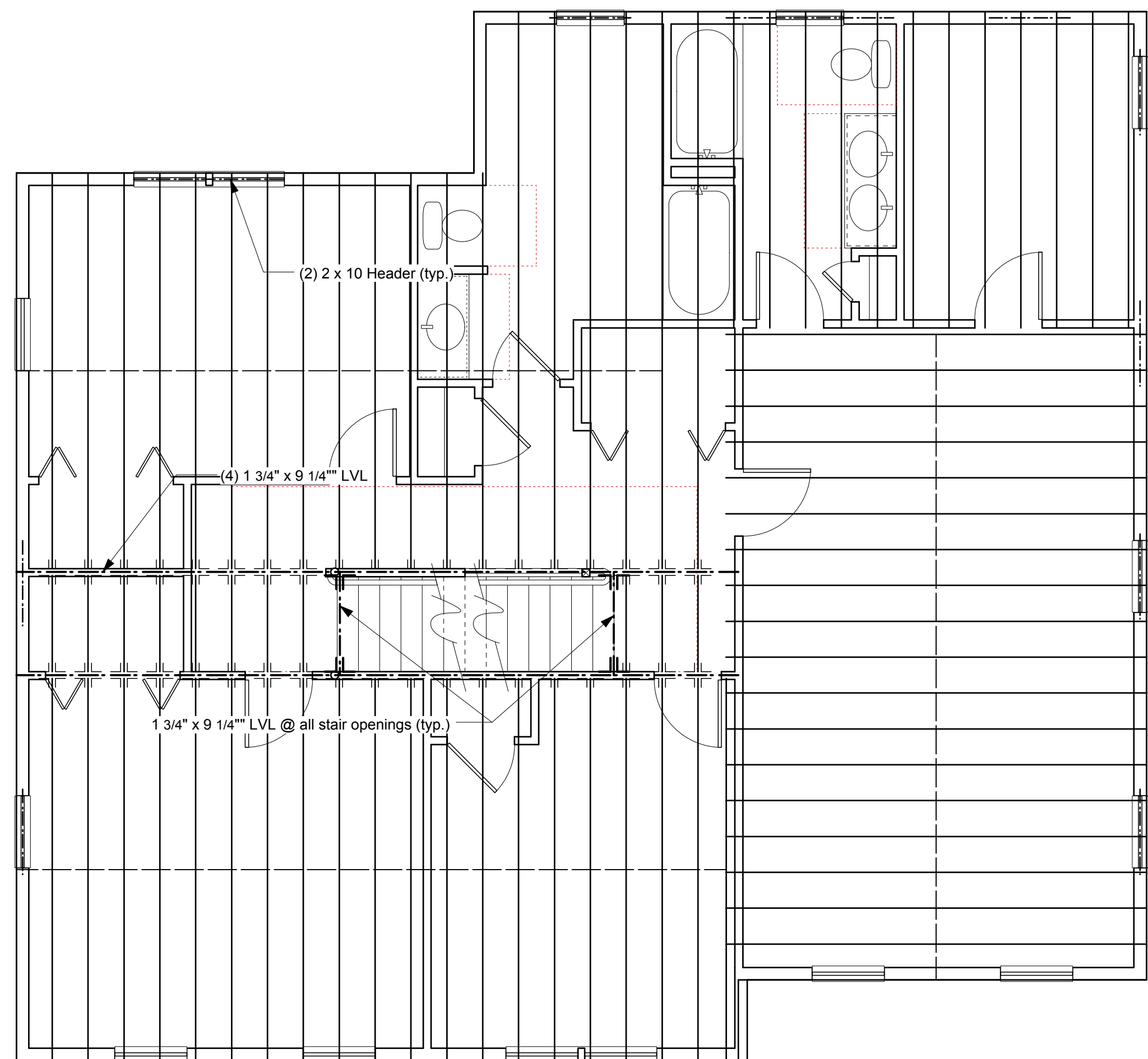
DATE:
4 March 2016

REVISIONS:

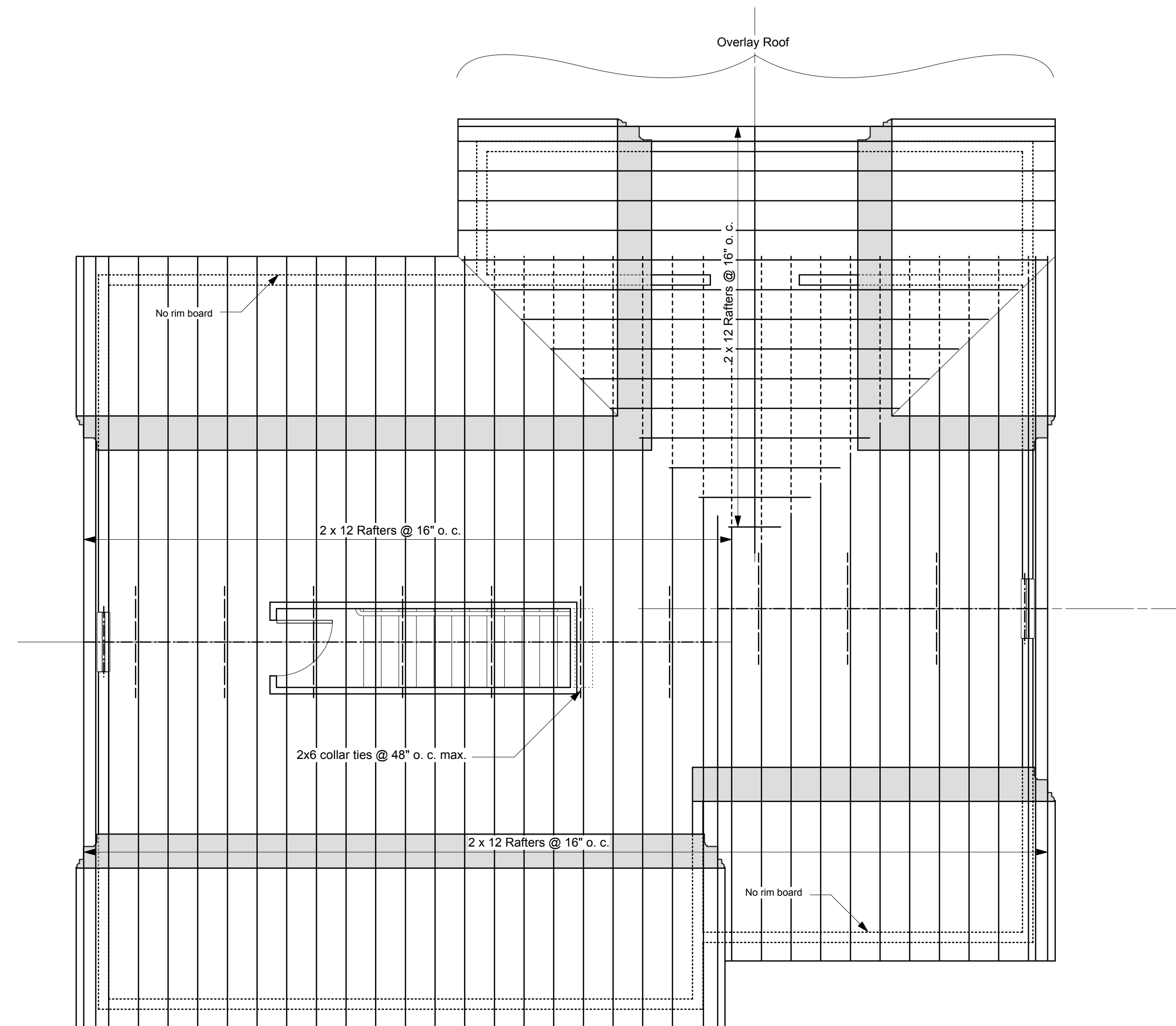
SHEET TITLE:
1st & 2nd Floor Framing Plans

SHEET NUMBER:

A3

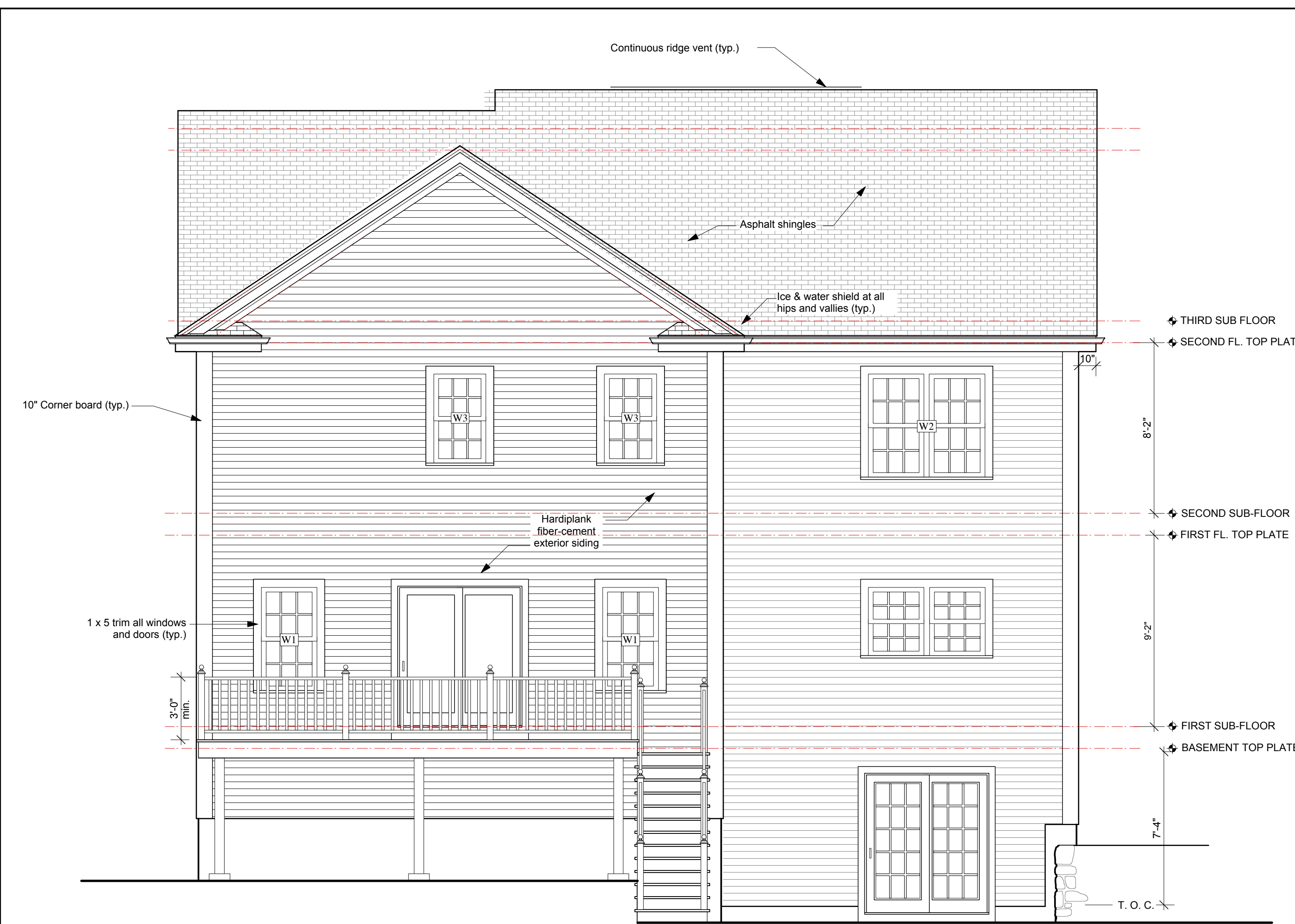


Attic Floor Framing Plan

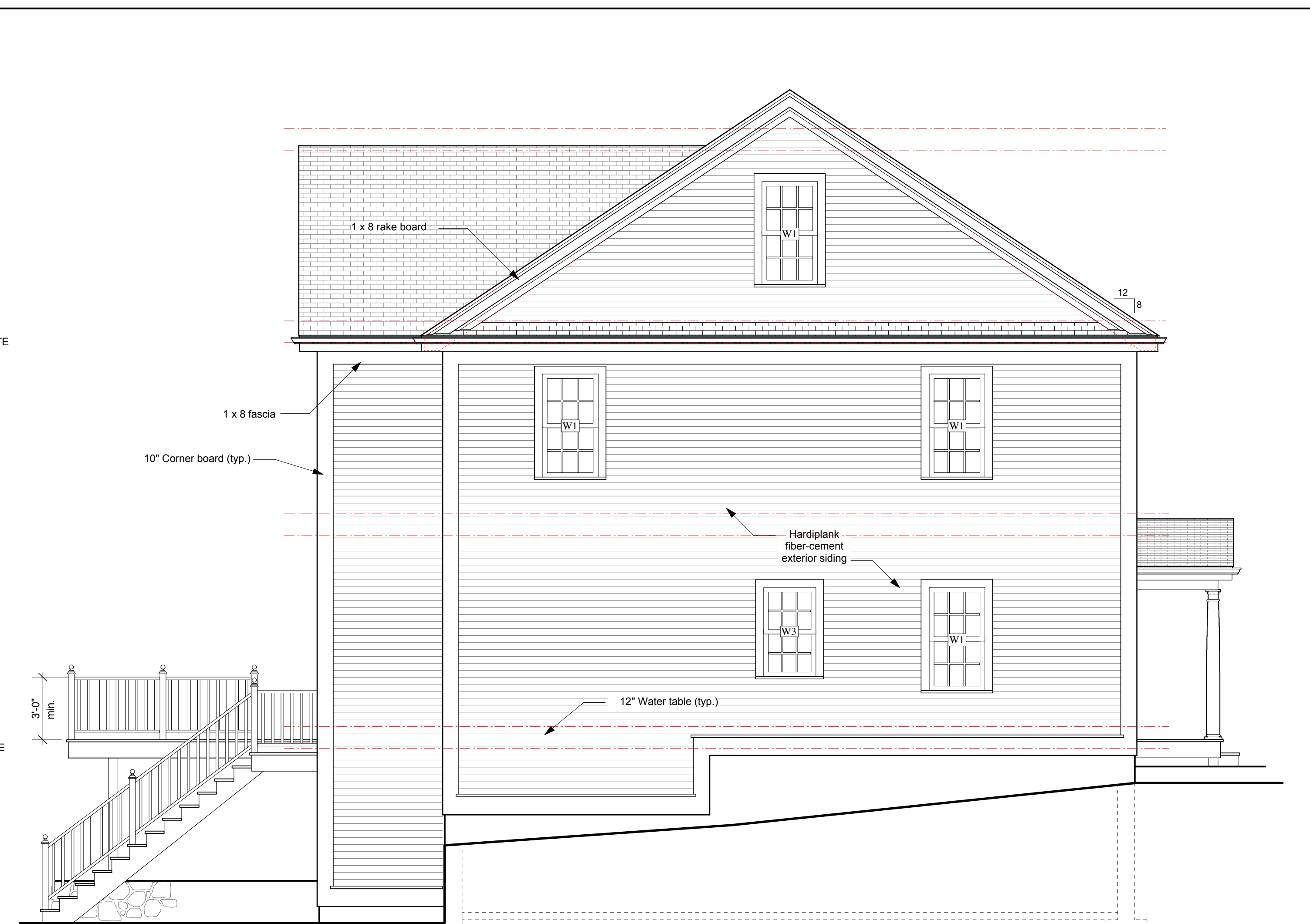


Roof Framing Plan

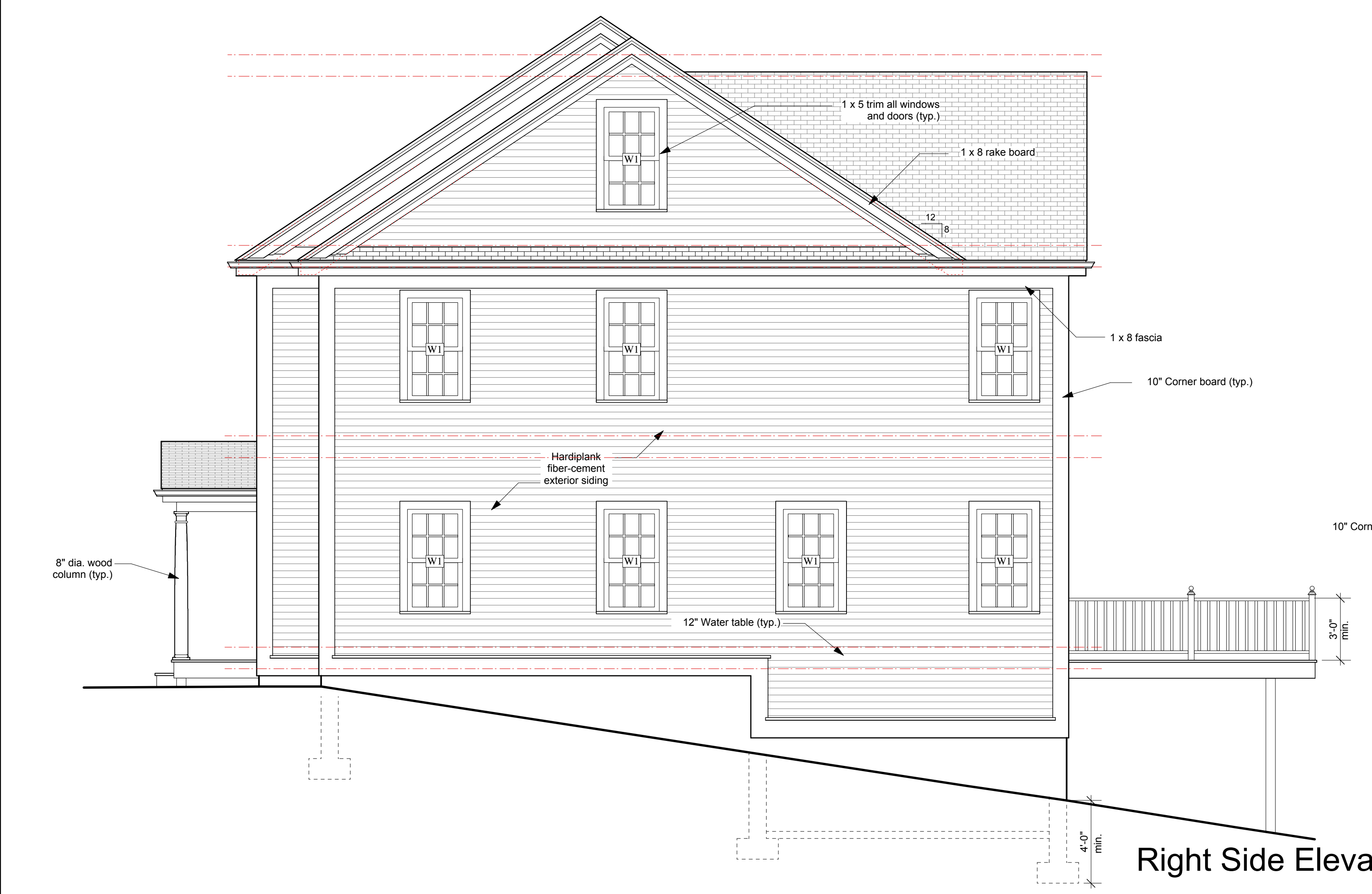




Rear Elevation



Left Side Elevation



Right Side Elevation



Front Elevation

508-543-4753
 2 Shaw Place
 Foxboro,
 Massachusetts 02035
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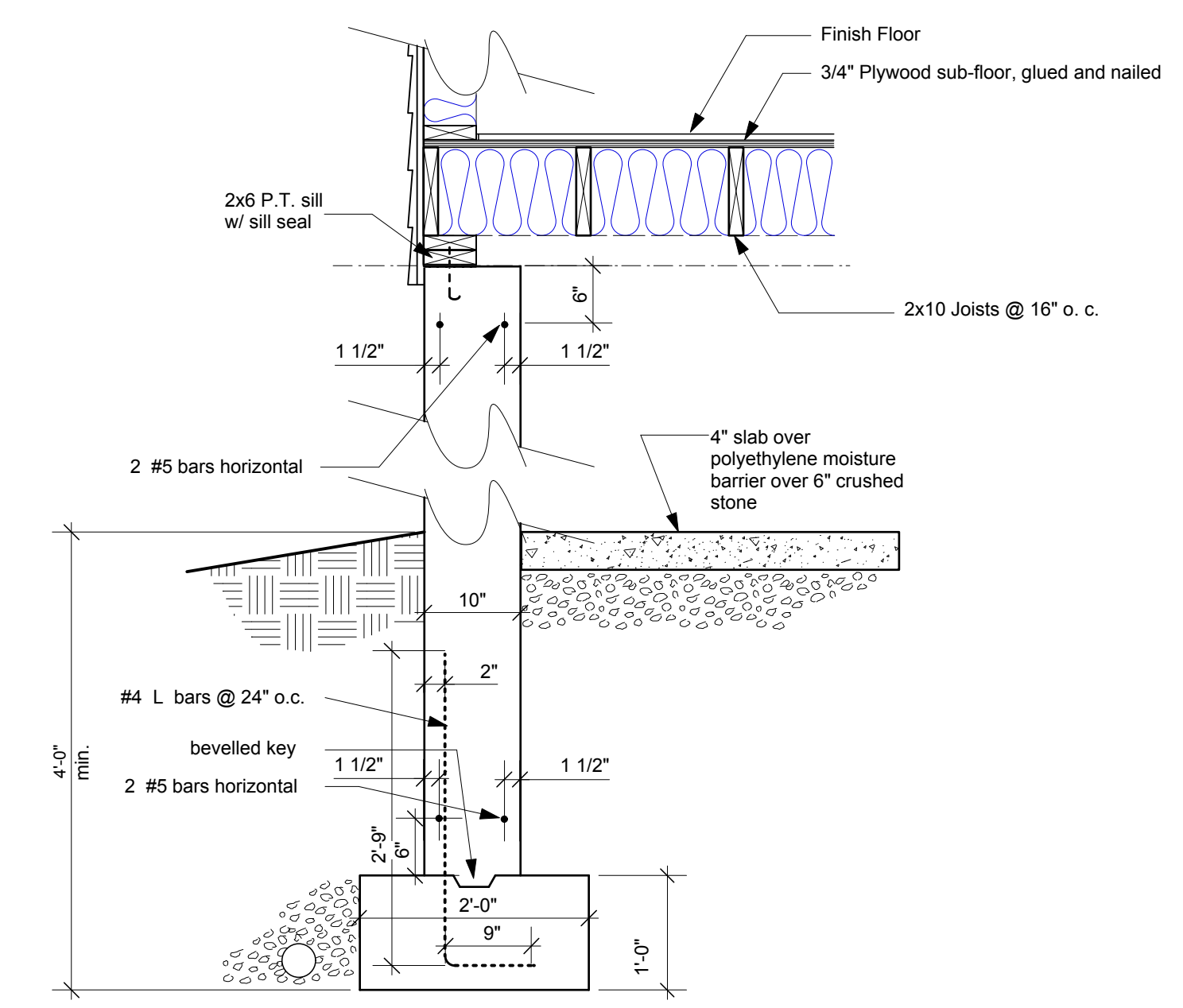
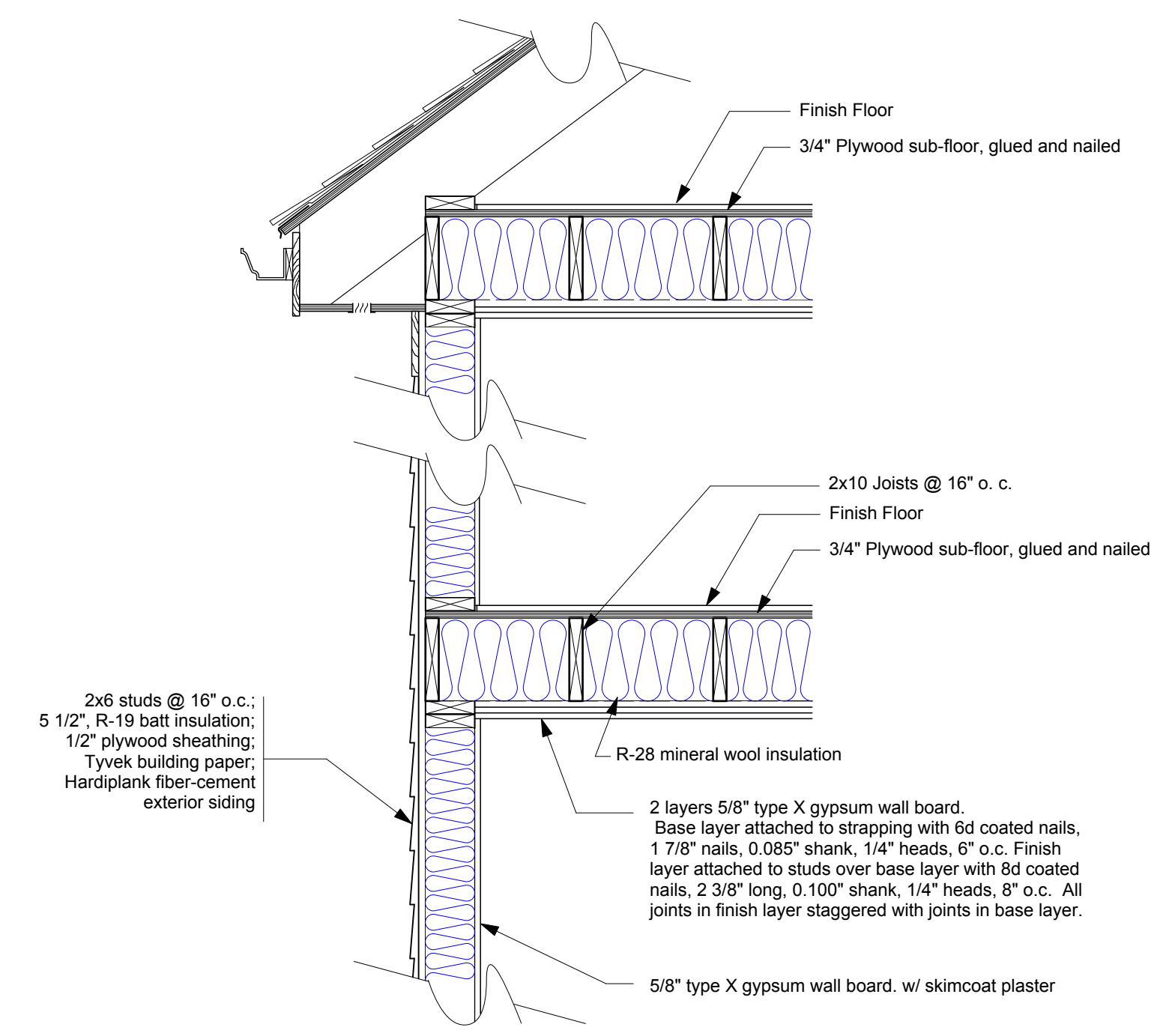
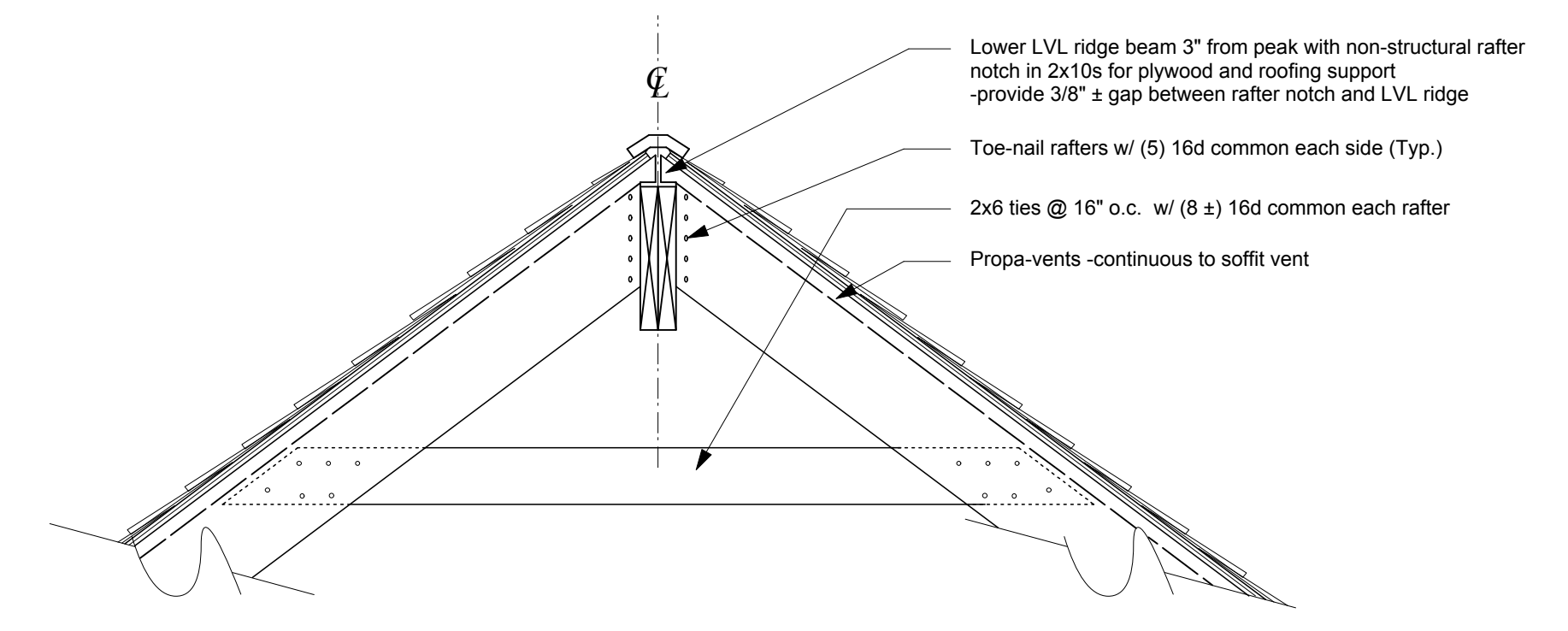
SCALE:
1/4" = 1'-0"

DATE:
4 March 2016

REVISIONS:

SHEET TITLE:
Front & Right Side Elevations

SHEET NUMBER:
A5



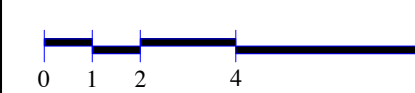
Exterior Wall Section
Scale: 3/4" = 1'-0"

1
A-5

508-543-4753
2 Shaw Place
Foxboro,
Massachusetts 02035
Architectural Design Services Group

PROJECT:
New Single Family Home
22 Burley Street
Roslindale MA

SCALE:
1/4" = 1'-0"



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REVISIONS:

SHEET TITLE:
Section & Details

SHEET NUMBER:
A6