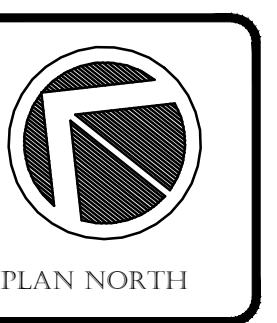


Date	Revision #	Revisions

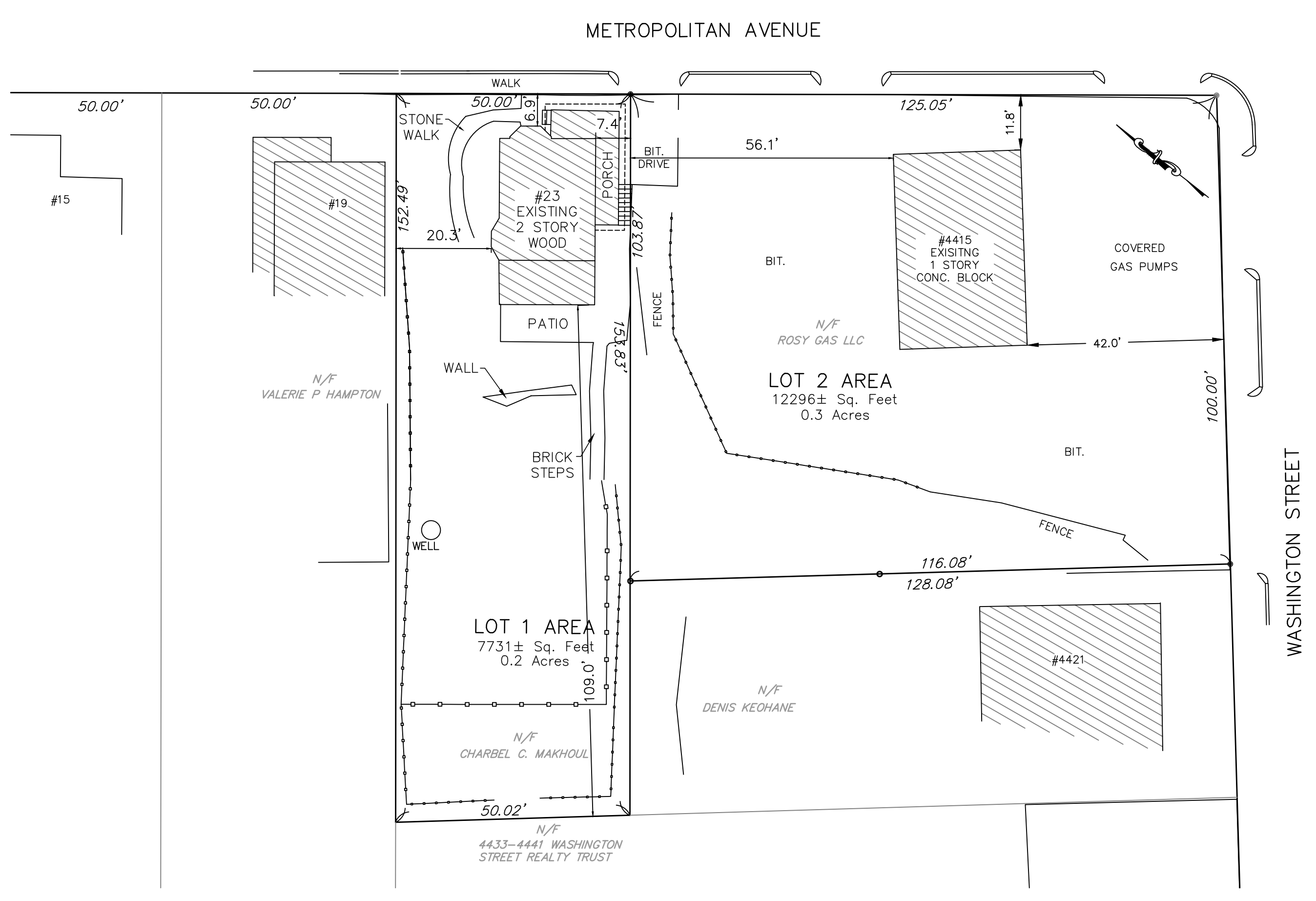
PROPOSE NEW 2
FAMILY
23 METROPOLITAN
AVE. ROSLINDALE,
MA

SCALE: NOTED
DATE: Jun, 06,
2017
DESIGN BY: ES.
DRAWING BY: ES
CHECKED BY: ES
JOB NO.: ROS
2000424000

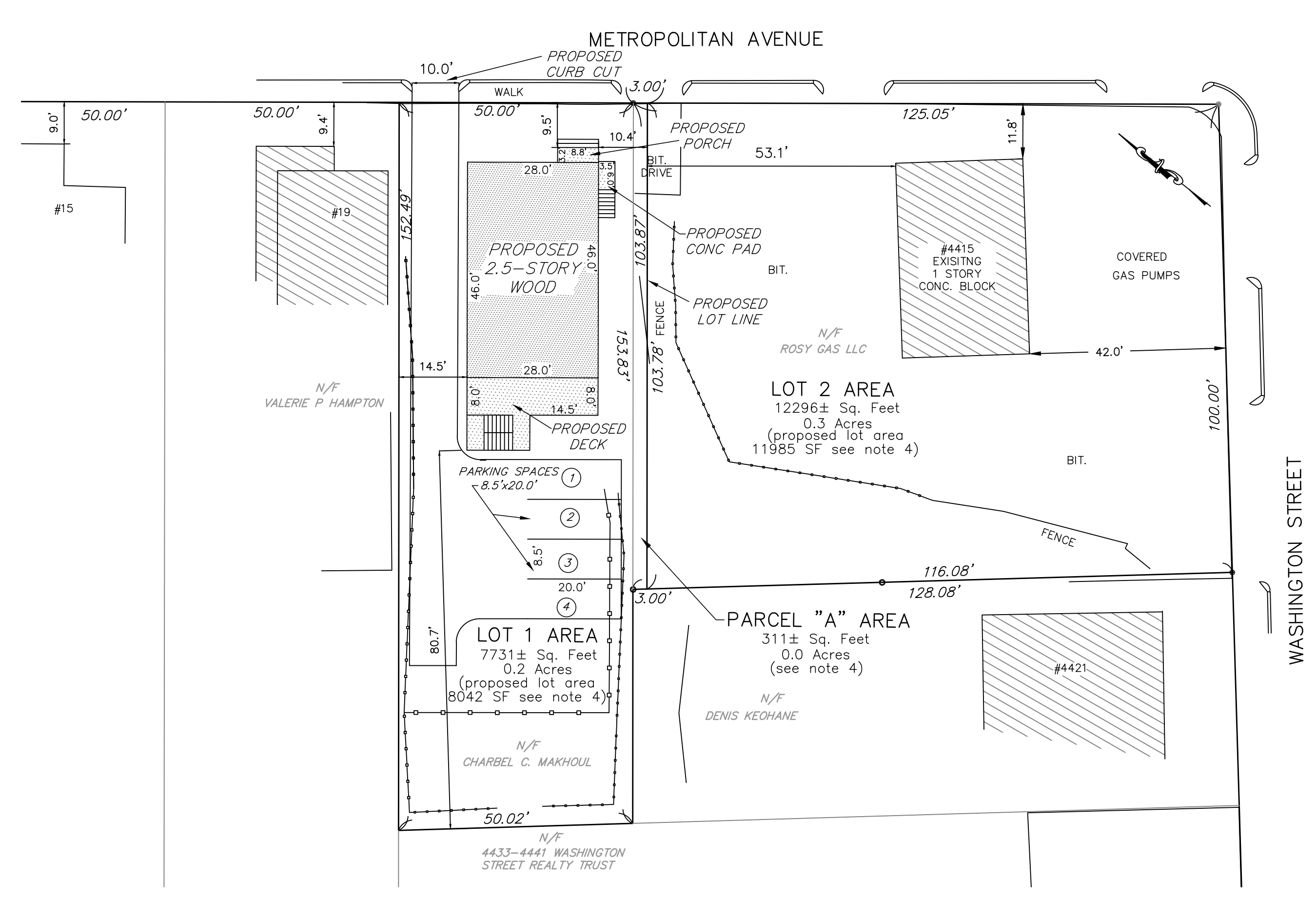


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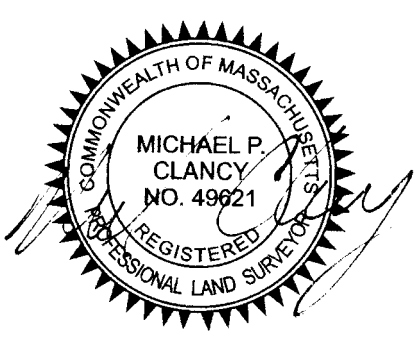


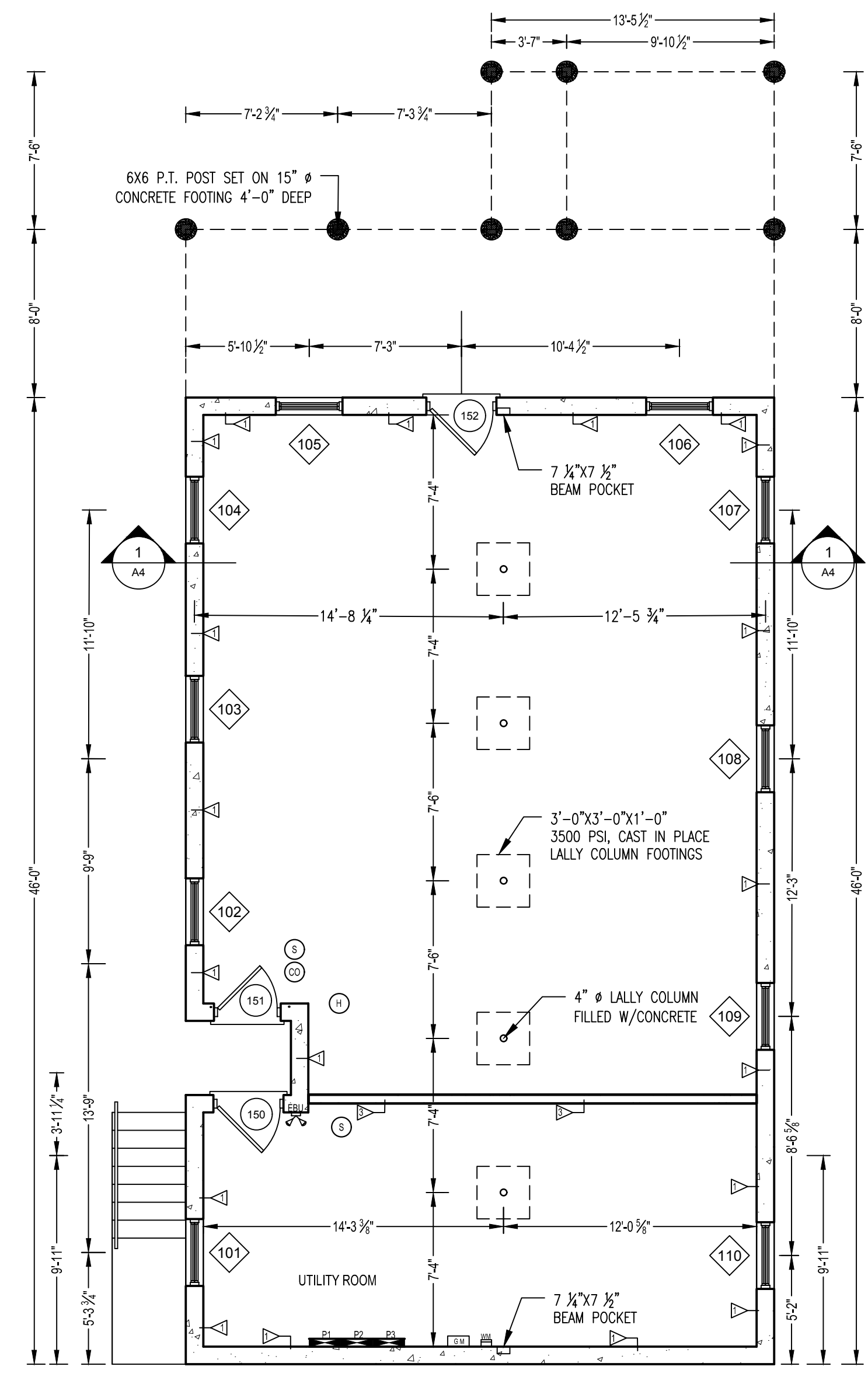
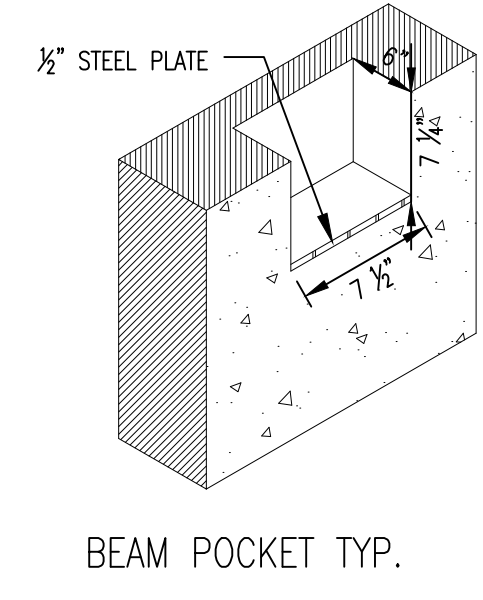
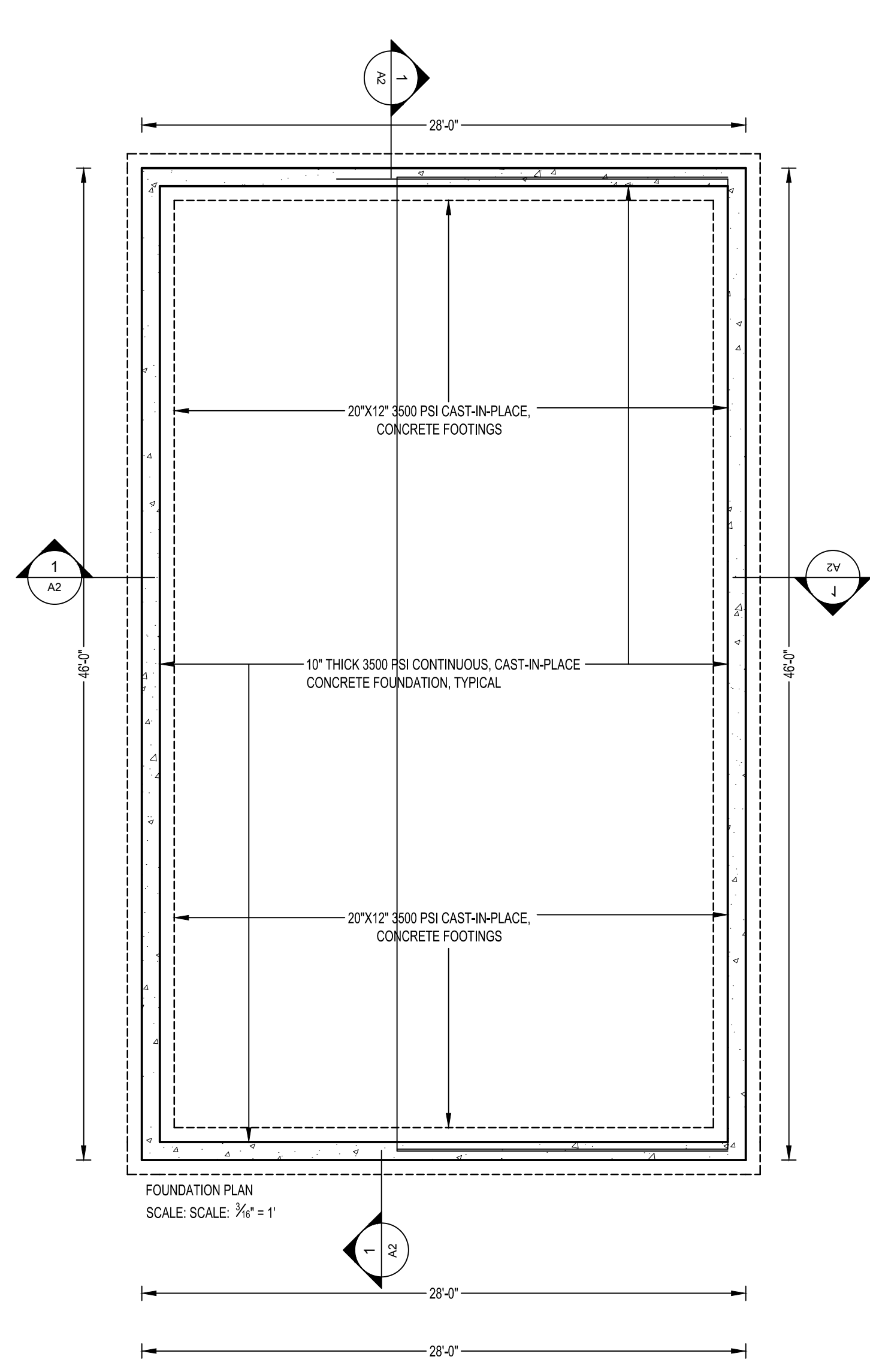
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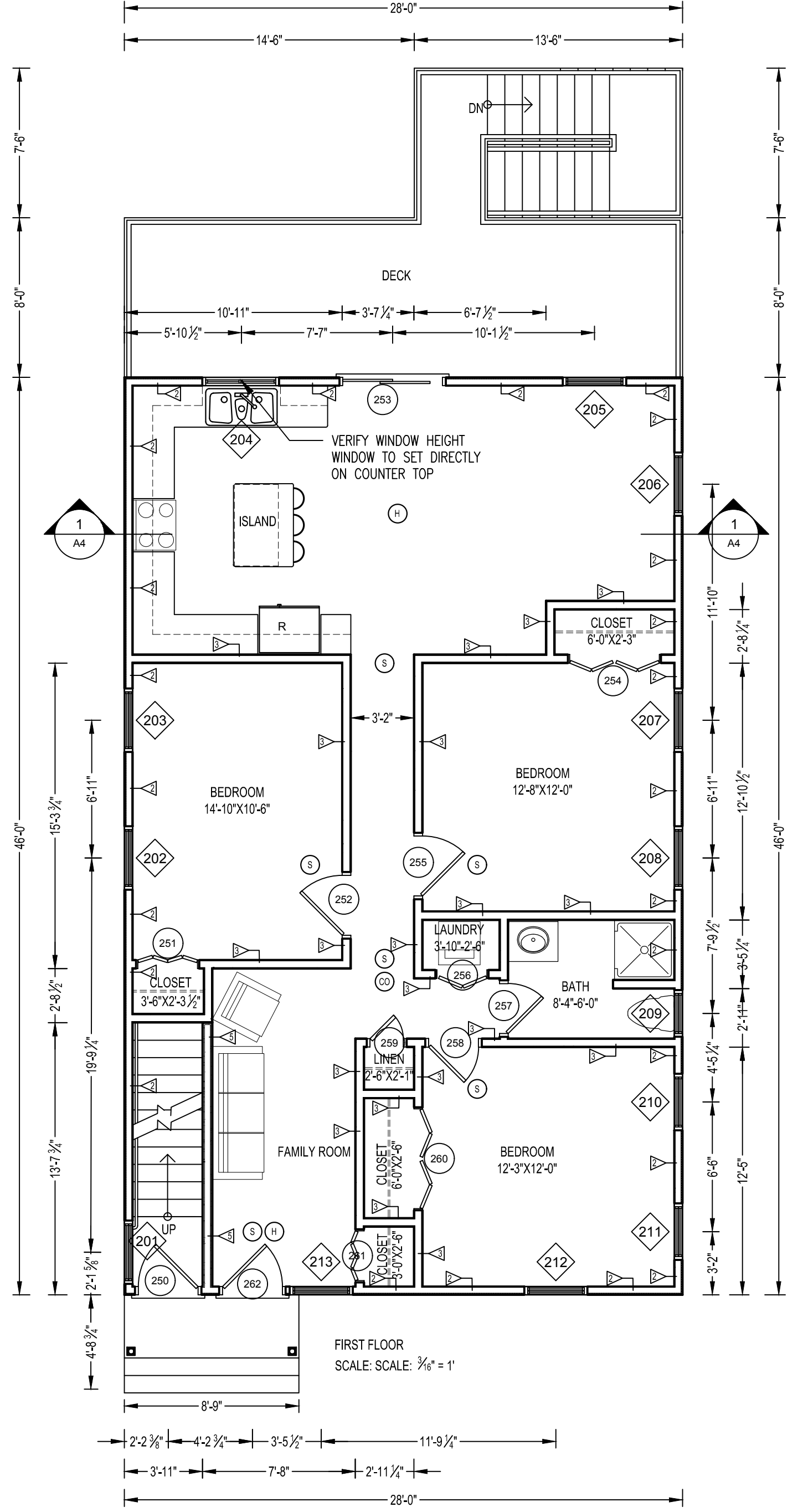
PROPOSED

- NOTES:
- ZONING CLASSIFICATION - 2F-5000 (23 METROPOLITAN) LC (4415 WASHINGTON ST.)
 - LOCUS DEED:
SUFFOLK REGISTRY OF DEEDS BOOK 52232 PAGE 83
SUFFOLK REGISTRY OF DEEDS BOOK 48735 PAGE 317
 - PLAN REFERENCES:
SUFFOLK REGISTRY OF DEEDS PLAN 431 OF 1734
BOSTON ENGINEERING DEPT. NB 1423 PG 10-13
BOSTON ENGINEERING DEPT. L-PLAN 5615
 - PARCEL "A" IS TO BE DIVIDED FROM LOT 2 AND COMBINED WITH LOT 1 TO CREATE A NEW LOT WITH LOT AREA = 8042 SF
- PROPOSED USABLE OPEN SPACE 3699 SF
ASSESSORS PROPERTY ID 2000424000

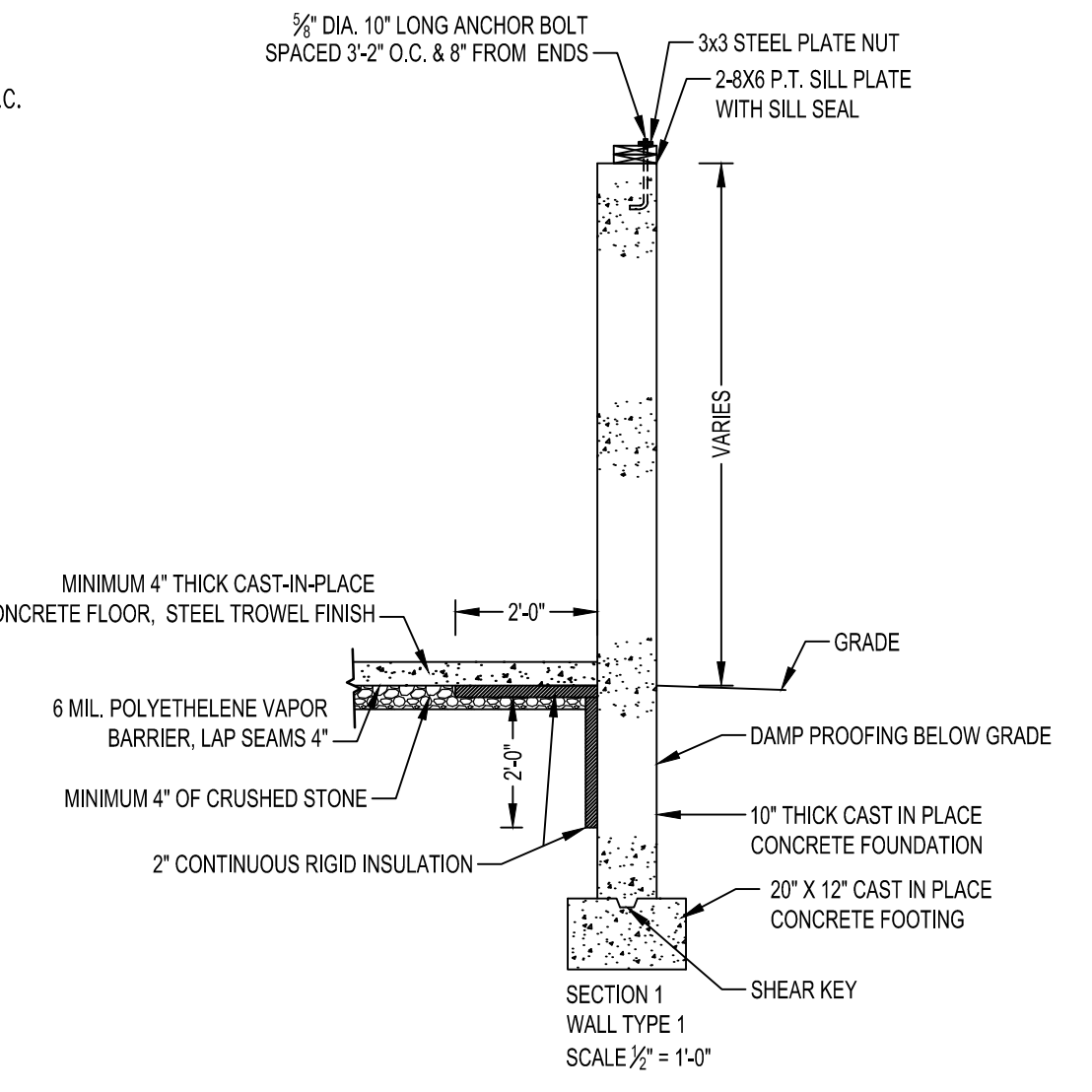
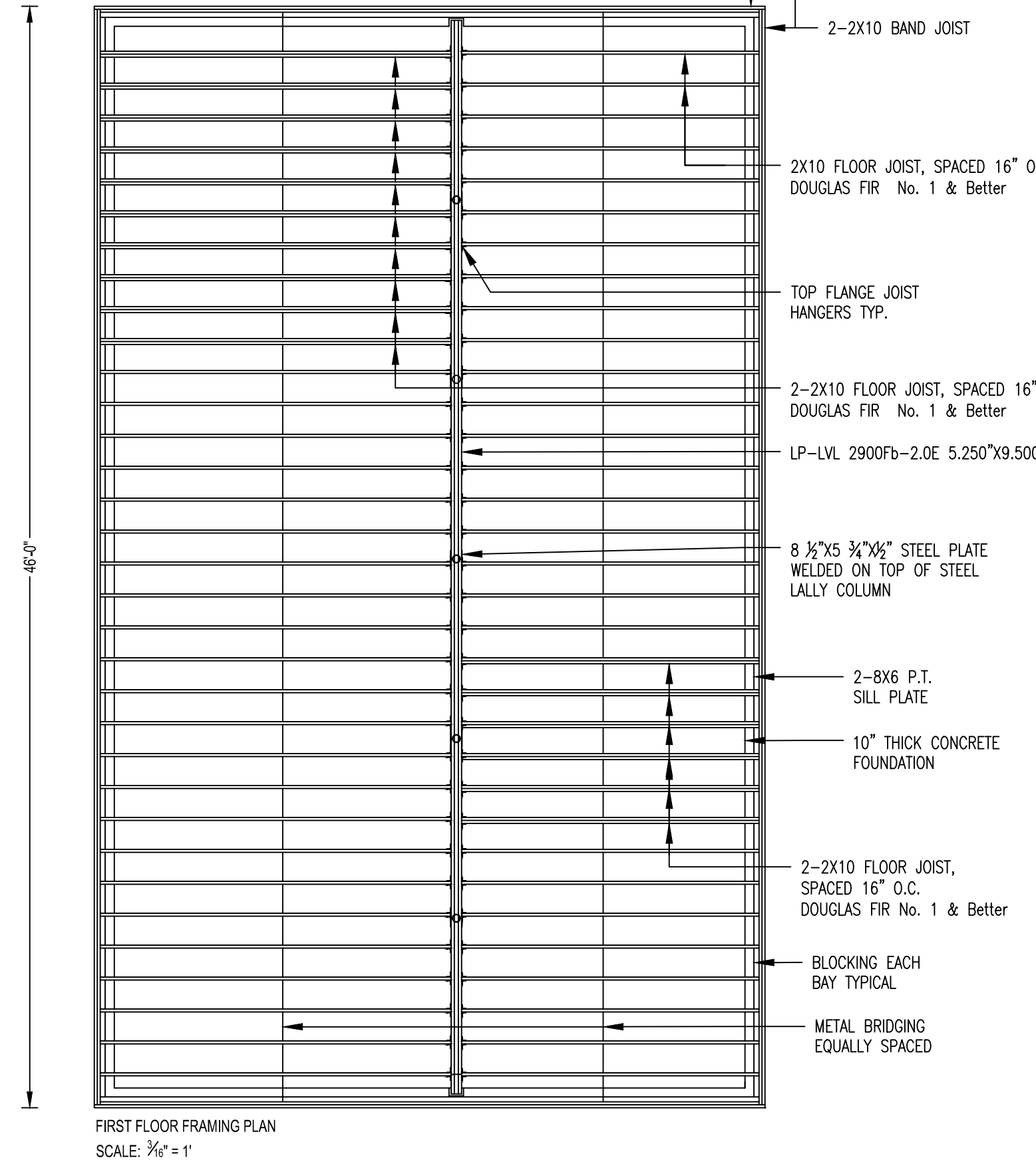




BASEMENT FLOOR DOOR SCHEDULE			BASEMENT FLOOR WINDOW SCHEDULE		
150	2'-8" X 6'-8"	STEEL INSULATED	101	ANK1	R.O. 1'-8" X 3'-0 1/2"
151	2'-8" X 6'-8"	STEEL INSULATED	102	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
152	2'-8" X 6'-8"	STEEL INSULATED	103	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			104	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			105	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			106	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			107	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			108	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			109	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
			110	ANK1	R.O. 1'-8" X 3'-0 1/2"



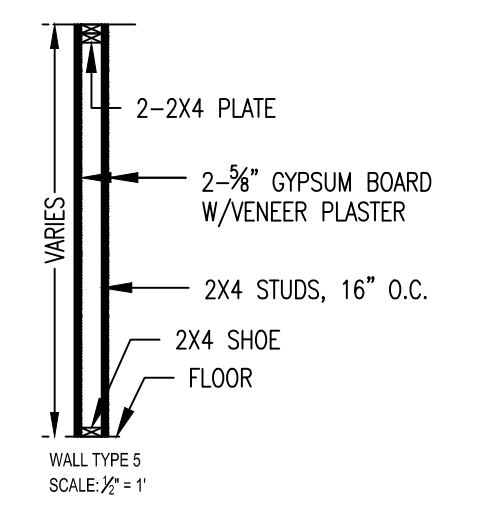
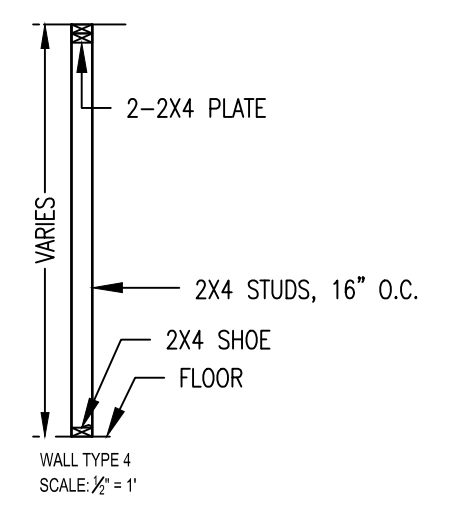
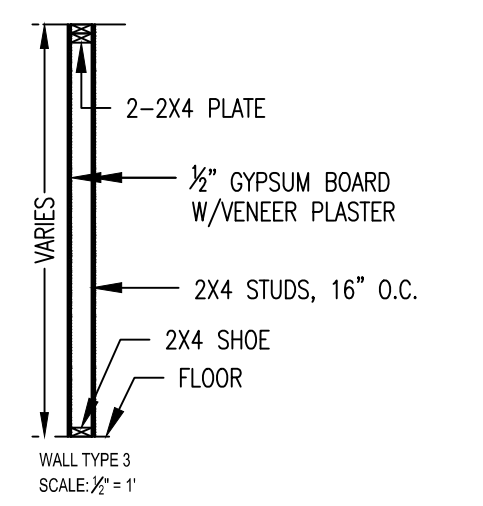
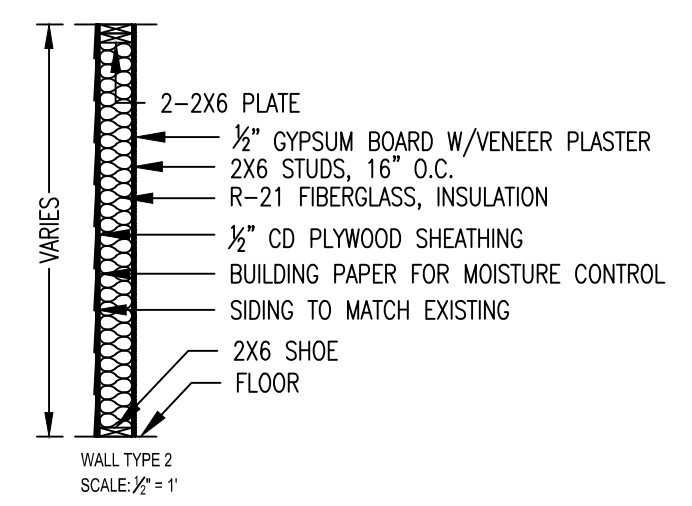
FIRST FLOOR DOOR SCHEDULE			FIRST FLOOR WINDOW SCHEDULE		
250	3'-0" X 6'-8"	STEEL INSULATED	201	TW 2836	R.O. 2'-10 1/2" X 3'-8 1/2"
251	(2)-9'X6'-8".....BI-FOLDS		202	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
252	2'-8"X6'-8"		203	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
253	2'-8"X6'-8" SLIDER		204	TW 3436	R.O. 3'-8 1/2"X3'-8 1/2"
254	(2)-11'X6'-8".....BI-FOLDS		205	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
255	2'-8"X6'-8"		206	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
256	1'-3"X6'-8".....BI-FOLDS		207	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
257	2'-8"X6'-8"		208	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
258	2'-8"X6'-8"		209	TW 2032	R.O. 2'-2 1/2" X 3'-4 1/2"
259	1'-8"X6'-8"		210	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
260	(2)-2'-8"X6'-8".....BI-FOLDS		211	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
261	1'-8"X6'-8".....BI-FOLDS		212	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"
262	3'-0"X6'-8"	STEEL INSULATED	213	TW 2846	R.O. 2'-10 1/2" X 4'-8 1/2"



NOTE:
FOOTING SHALL BE SET ON UNDISTURBED NATIVE SOIL FREE OF ORGANIC MATERIALS OR STANDING WATER. PRIOR TO POURING CONCRETE THE SOIL WITH IN THE FOOTING AREA SHALL BE THOROUGHLY COMPACTED.

NO BACK FILLING IS ALLOWED UNTIL FIRST FLOOR DECK IS CONSTRUCTED

ALL CONCRETE SHALL BE 3500 PSI CONCRETE MEET ACI SPECIFICATIONS FOR CLASS A CONCRETE



CONSTRUCTION DOCUMENTS
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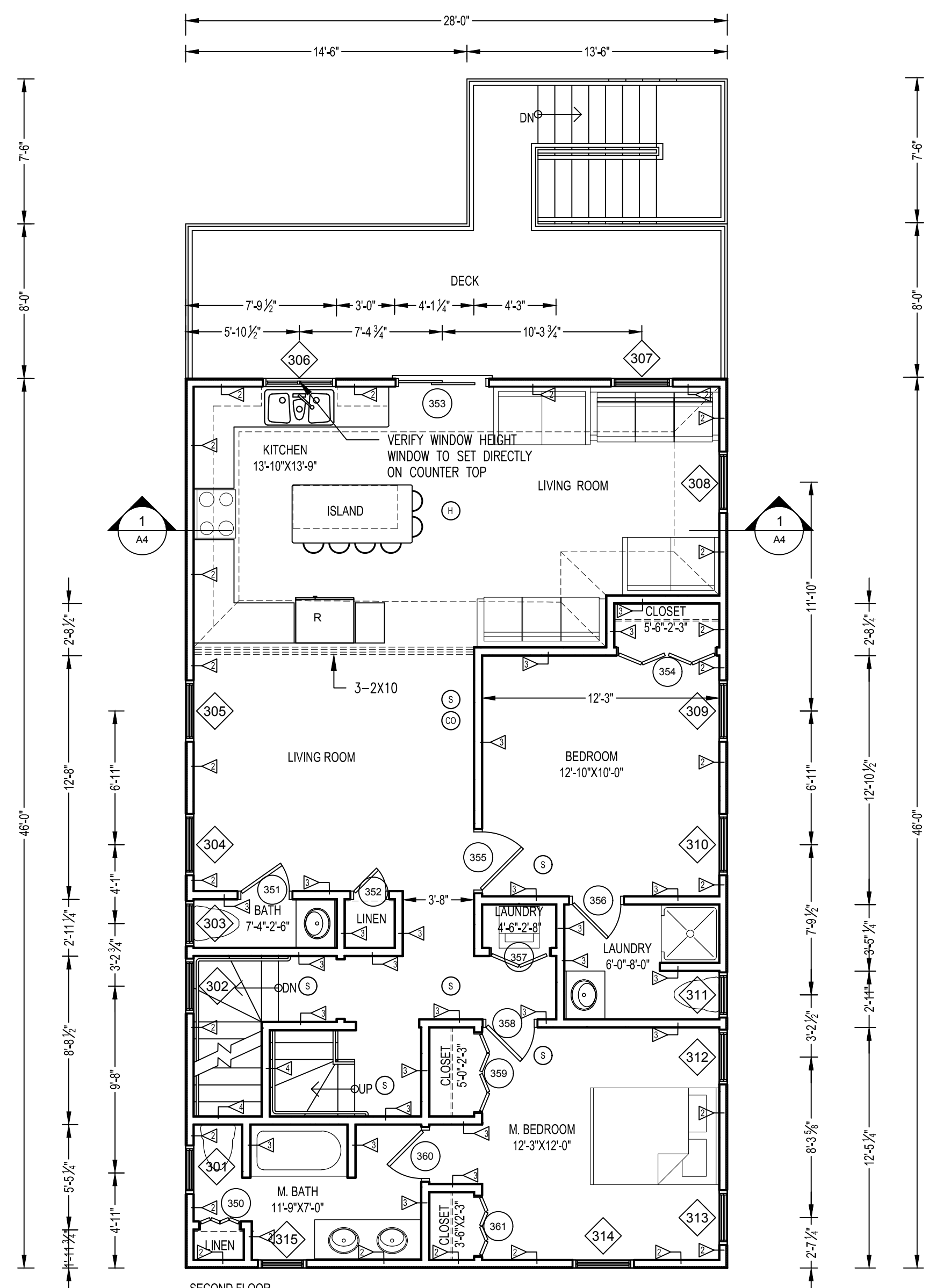
Date	Revision #	Revisions

PROPOSE NEW 2 FAMILY
23 METROPOLITAN AVE.
ROSLINDALE, MA

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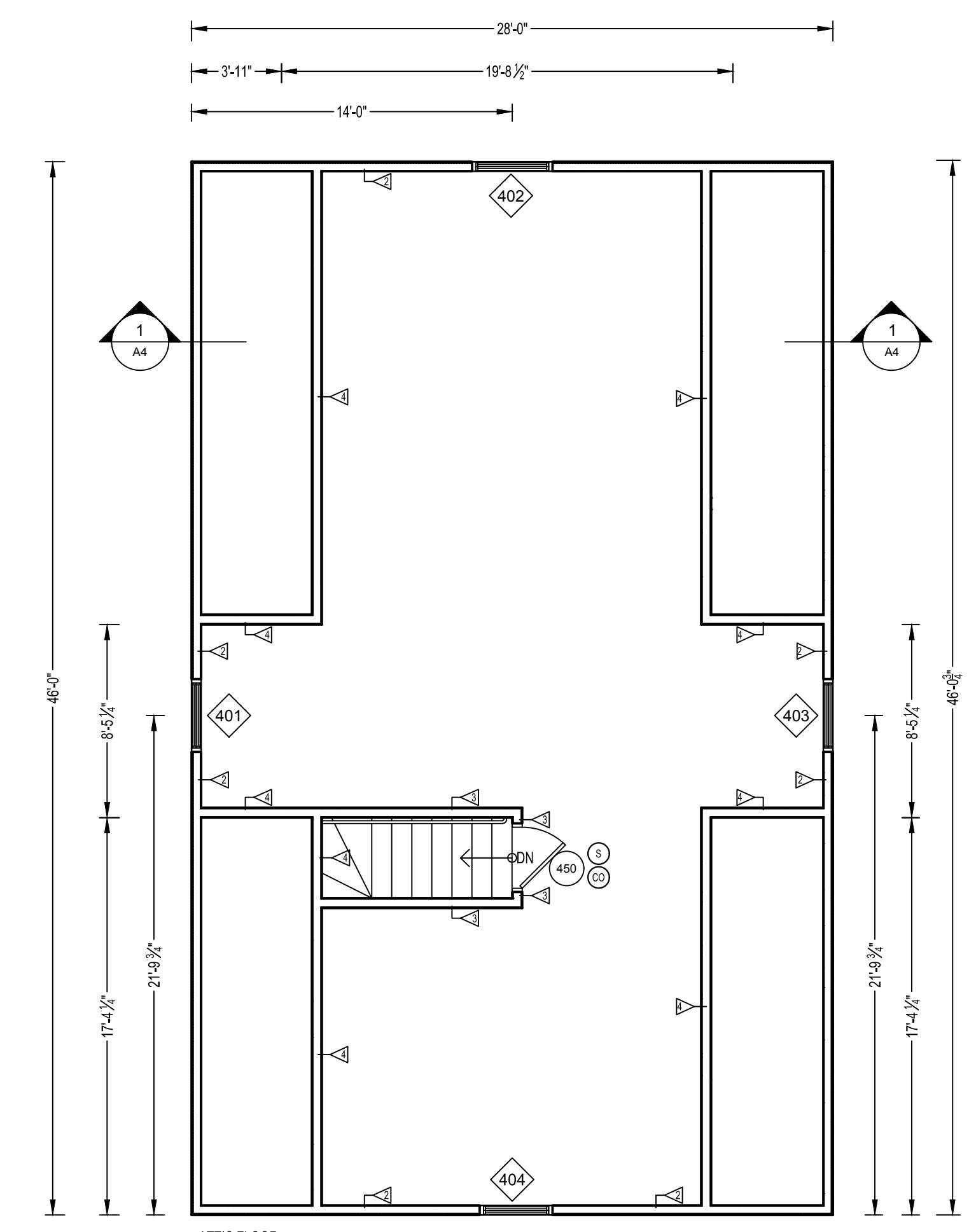


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SECOND FLOOR
SCALE: 3/16" = 1'

SECOND FLOOR DOOR SCHEDULE		SECOND FLOOR WINDOW SCHEDULE	
350.	1'-0" x 6'-8".....BI-FOLDS	301	TW 2032 R.O. 2'-2 1/2" X 3'-4 1/2"
351.	2'-6" x 6'-8"	302	TW 2432 R.O. 2'-6 1/2" X 3'-4 1/2"
352.	1'-8" x 6'-8"	303	TW 2032 R.O. 2'-2 1/2" X 3'-4 1/2"
353.	2'-8" x 6'-8" SLIDER	304	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
354.	(2) 1'-3" x 6'-8".....BI-FOLDS	305	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
355.	2'-6" x 6'-8"	306	TW 3436 R.O. 3'-8 1/2" X 6'-7 1/2"
356.	2'-6" x 6'-8"	307	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
357.	1'-3" x 6'-8".....BI-FOLDS	308	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
358.	2'-6" x 6'-8"	309	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
359.	(2) 2'-8" x 6'-8".....BI-FOLDS	310	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
360.	2'-6" x 6'-8"	311	TW 2032 R.O. 2'-2 1/2" X 3'-4 1/2"
361.	(2) 1'-3" x 6'-8".....BI-FOLDS	312	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
		313	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
		314	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
		315	TW 2032 R.O. 2'-2 1/2" X 3'-4 1/2"



ATTIC FLOOR
SCALE: 3/16" = 1'

ATTIC FLOOR DOOR SCHEDULE		ATTIC FLOOR WINDOW SCHEDULE	
450.	2'-6" X 6'-8"	401	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
		402	TW 3046 R.O. 3'-2 1/2" X 3'-8 1/2"
		403	TW 2846 R.O. 2'-10 1/2" X 4'-8 1/2"
		404	TW 3046 R.O. 3'-2 1/2" X 4'-8 1/2"

PORCH AND DECK NOTES:

1. JOISTS SHALL BE 2X10 P.T. INSTALLED 16" O.C.
2. CORNER POSTS AND POSTS SHALL BE 4" #4 STEEL, CONCRETE FILLED SPACED 7'-6" O.C. AND SET ON 15" DIAMETER CONCRETE FOOTING, EXCEEDING A MINIMUM OF 4'-0" BELOW GRADE.
3. LEDGER BOARD SHALL BE 2X10 P.T. ANCHORED TO BAND JOIST WITH LAG AND EXPANSION BOLTS RESPECTIVELY, 2'-0" O.C.
4. JOISTS SHALL BE ATTACHED TO LEDGER BOARD WITH TOP FLANGE HANGERS.
5. STRINGER SHALL BE CUT FROM 2X12 P.T.
6. BALUSTRADE SHALL BE A MINIMUM OF 3'-6" IN HEIGHT FROM THE FINISH DECK AND NO GREATER THAN A 4" SPACE BETWEEN BALUSTER.
7. BALUSTRADE AND DECK BOARDS SHALL BE P.T. OR FIR AND/OR STAINED.

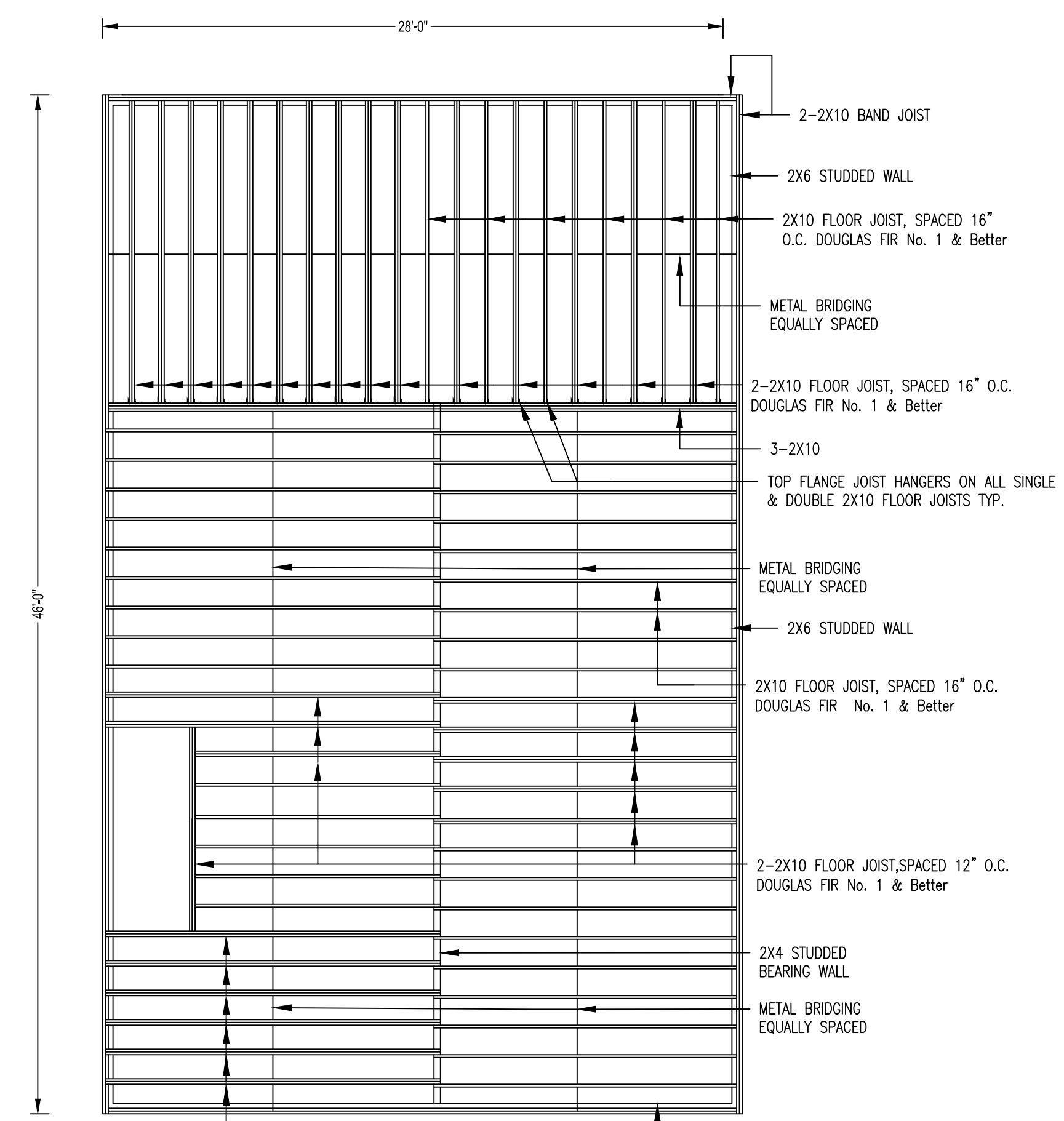
TOP FLANGE SCHEDULE USING (SIMPSON STRONG TIES OR APPROVED EQUAL)

FOR SINGLE JOIST MODEL # WP 29.25, 12 GAUGE, DIMENSIONS OF 1 3/8" X 9 1/4" X 4X2 3/8"
FASTENERS 2-16D ON TOP, 2-10D X 1 1/2 ON JOIST AND ALLOWABLE LOADS 2600 SPF

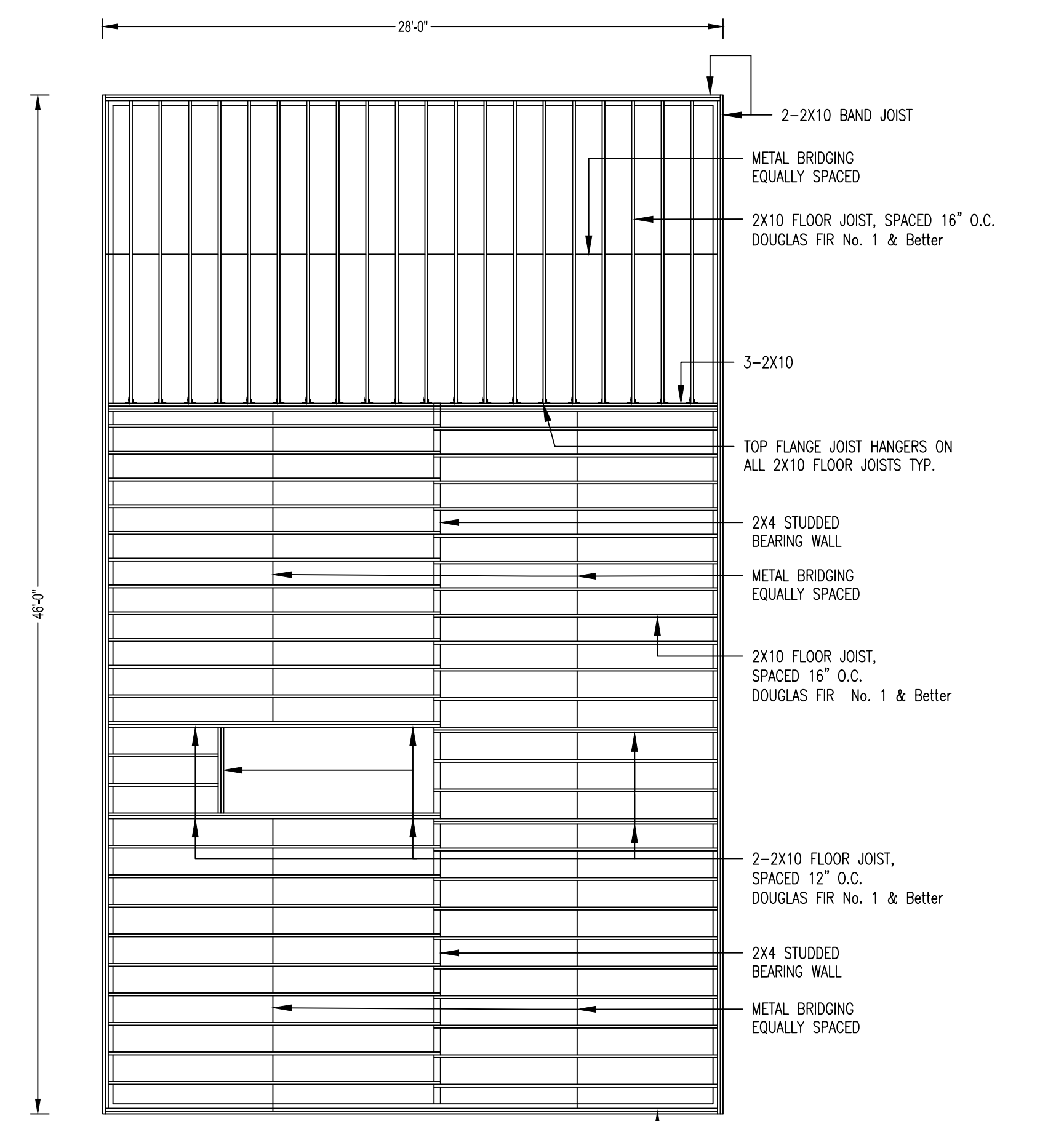
FOR DOUBLE JOIST MODEL # HB3.56/9.25, 10 GAUGE, DIMENSIONS OF 3 3/8" X 9 1/4" X 3 1/2" X 3,
FASTENERS 6-16D ON TOP, 16-16D ON FACE 10-16D ON JOIST AND ALLOWABLE LOADS 3620 SPF

FOR TRIPLE JOIST MODEL # HW15.50/9.25, 10 GAUGE, DIMENSIONS OF 5 1/2" X 9 1/4" X 3 1/2" X 2 1/2",
FASTENERS 4-16D ON TOP, 4-16D ON FACE 6-10D ON JOIST AND ALLOWABLE LOADS 5415 SPF

FIRE ALARM SYSTEM		EMERGENCY LIGHTING	
(H)	CEILING MOUNTED HEAT DETECTOR ALARM W/ WIRE TO POWER SUPPLY AND HAS A 9V BATTERY BACK-UP	(EL)	EMERGENCY LIGHTING WITH BATTERY UNIT
(C)	CEILING MOUNTED CARBON MONOXIDE DETECTOR W/ WIRE TO POWER SUPPLY AND HAS A 9V BATTERY BACK-UP		
(S)	CEILING MOUNTED SMOKE DETECTOR W/ WIRE TO POWER SUPPLY AND HAS A 9V BATTERY BACK-UP	UTILITIES LEGEND	
(W)	WALL MOUNTED SMOKE DETECTOR W/ WIRE TO POWER SUPPLY AND HAS A 9V BATTERY BACK-UP	(G)	GAS METER
		(W)	WATER METER
		(E)	ELECTRICAL METER
		(P)	WALL MOUNTED ELECTRICAL PANELS (P1, P2, P3 & P4)



SECOND FLOOR FRAMING PLAN
SCALE: 3/16" = 1'



ATTIC FLOOR FRAMING PLAN
SCALE: 3/16" = 1'

CONSTRUCTION DOCUMENTS

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Revision #

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PROPOSE NEW 2 FAMILY
23 METROPOLITAN AVE.
ROSLINDALE, MA

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DRAWING #
A2.1



EXISTING FRONT ELEVATION



EXISTING LEFT ELEVATION



EXISTING RIGHT ELEVATION



FRONT ELEVATION
SCALE: SCALE: $\frac{3}{8}'' = 1'$



RIGHT ELEVATION
SCALE: SCALE: $\frac{3}{8}'' = 1'$



REAR ELEVATION
SCALE: SCALE: $\frac{3}{8}'' = 1'$



RIGHT ELEVATION
SCALE: SCALE: $\frac{3}{8}'' = 1'$

CONSTRUCTION DOCUMENTS

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A3.1

GENERAL NOTES:

IT IS THE INTENT OF THESE PLANS TO DEPICT CONSTRUCTION IN ACCORDANCE WITH MA STATE BUILDING CODE 9TH EDITION. THE STATE BUILDING CODE IS PART OF THESE CONSTRUCTION PLANS, AND THE CONTRACTOR MUST HAVE A COPY OF THE STATE BUILDING CODE ON SITE AT ALL TIME DURING CONSTRUCTION. ANY OMISSION ON THESE PLANS DOES NOT RELIEVE THE CONTRACTOR RESPONSIBILITIES TO COMPLY WITH THE STATE BUILDING CODE.

ALSO WFCN GUIDE FOR WOOD FRAME CONSTRUCTION IN HIGH WIND AREA FOR ONE AND TWO FAMILY IS PART OF THESE PLANS. CONTRACTOR MUST FAMILIARIZE HIMSELF WITH WFCN GUIDE PRIOR TO START CONSTRUCTION. A COPY OF WFCN GUIDE SHALL BE AT SITE ALL THE TIME DURING CONSTRUCTION

CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED TO COMPLETE CONSTRUCTION.

DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR MUST VERIFY ALL DIMENSIONS WITH ARCHITECTURE PLANS PRIOR TO START OF CONSTRUCTION

DESIGN LOADS:

FIRST FLOOR	40 PSF
SECOND FLOOR	30 PSF
ATTIC	20 PSF
SNOW	30 PSF
WIND	110 MPH

ALL LUMBER/MATERIAL SUPPLIES SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE FOR STRUCTURE GRADE 2 OR BETTER.

ALL ENGINEERED LVL BEAMS SHALL HAVE A MIN OF 3" BEARING LENGTH.

USE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS

ALL WALLS PERPENDICULAR TO JOISTS SHALL HAVE SOLID BLOCKING UNDER WALL

ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED

ALL HANGARS NAILS AND HARDWARE USED SHALL BE CORROSION PROTECTED.

ALL WINDOWS AND DOORS USED MUST MEET THE REQUIREMENTS OF 110 MPH WIND.

TYPICAL FLOOR CONSTRUCTION

ALL FLOOR JOISTS SHALL BE AS SPECIFY ON THE DRAWINGS SPACED @ 16" O.C. EXCEPT AS NOTED

SUBFLOOR SHALL BE 3/4" T&G CDX PLYWOOD GLUED AND NAILED TO JOISTS. NAIL SPACING SHALL BE 6" O.C. AT EDGES AND 12" O.C. INFIELD

DOUBLE JOISTS UNDER ALL PARTITIONING WALLS PARALLEL TO JOISTS

ADD SOLID BLOCKING UNDER ALL WALLS PERPENDICULAR TO JOISTS

USE FACE-MOUNT HANGERS FOR ALL FLOOR JOISTS
HUS26 FOR SINGLE JOIST
HUS28-2 FOR DOUBLE JOISTS

TYPICAL ROOF CONSTRUCTION

ALL ROOF RAFTERS SHALL BE 2X8 EQUALLY SPACED AT 16" O.C.
RAFTERS ENDS SUPPORTED ON BEARING WALLS, OR HEADERS AS SHOWN ON THE DRAWING.

- 3/8" CDX PLYWOOD SHEATHING.
- ASPHALT ROOF SHINGLES ON ICE AND WATER SHIELD.
- CONTINUOUS SOFFIT AND RIDGE VENTS.
- ALL RAFTERS SHALL BE HUNG TO THE RIDGE BEAM USING RAFTER HANGERS
- USE HURRICANE TIES TO ATTACH RAFTERS TO TOP PLATE.
- NAILING SHALL BE 8d COMMON NAILS OR 10d BOX.

TYPICAL STAIR CONSTRUCTION

ALL STAIRS STRINGERS SHALL BE 2X12.

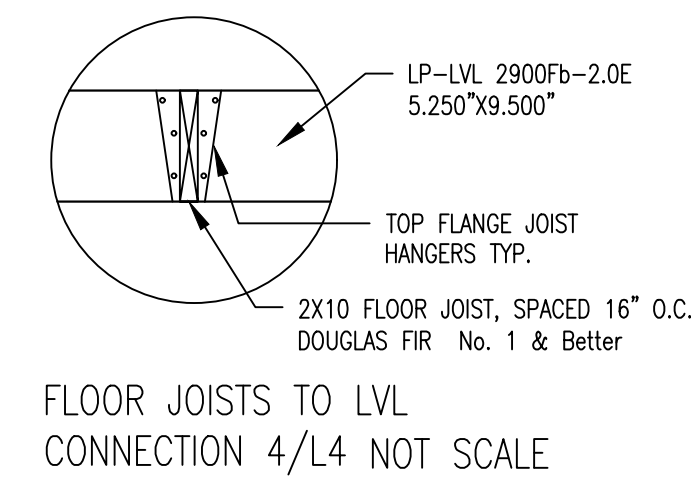
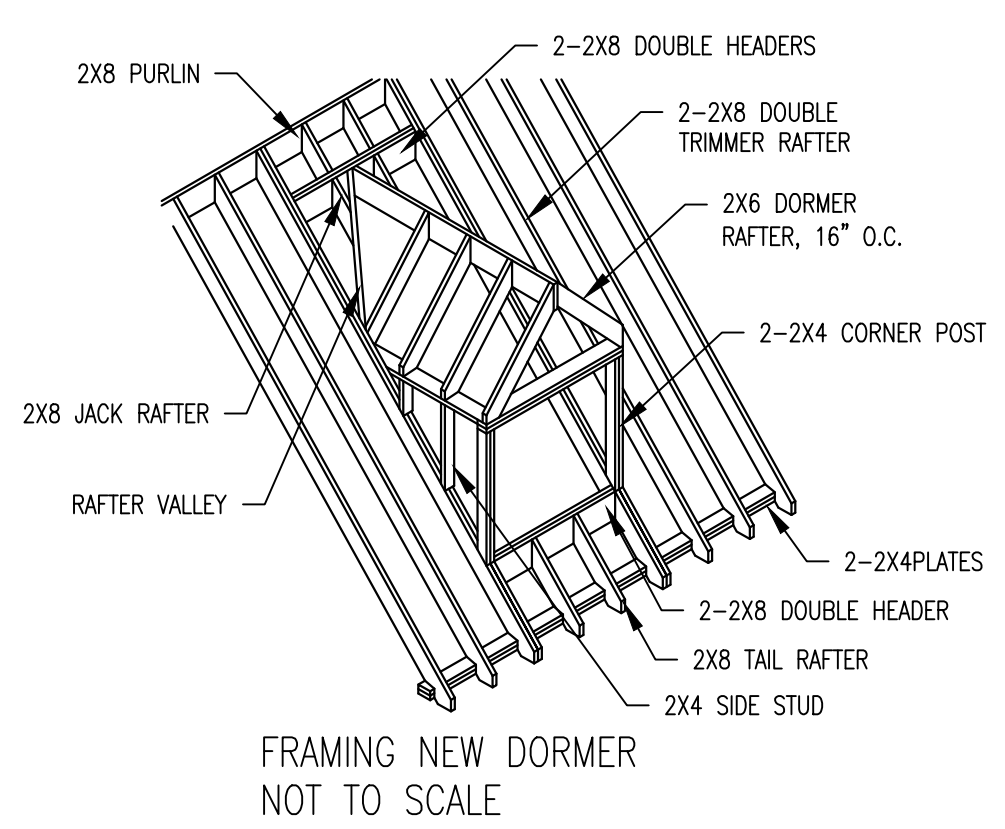
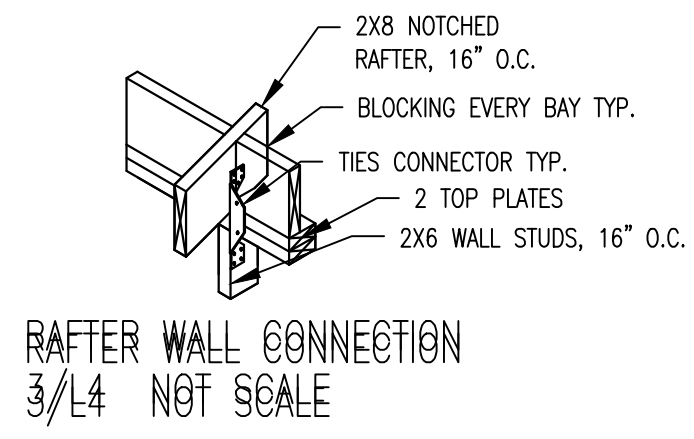
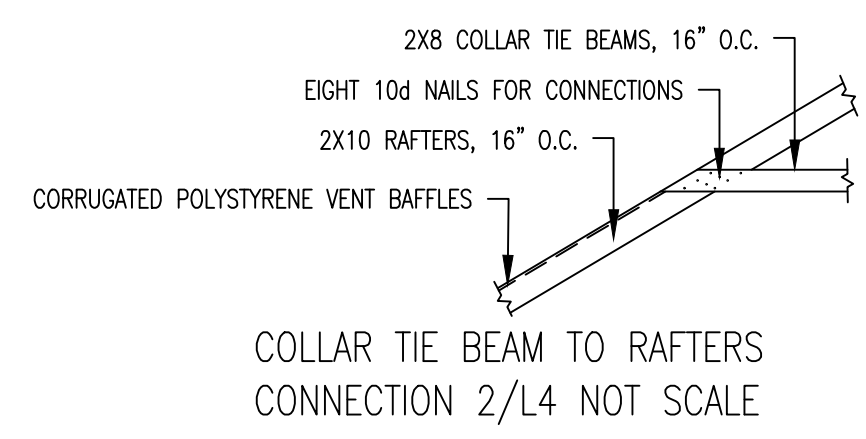
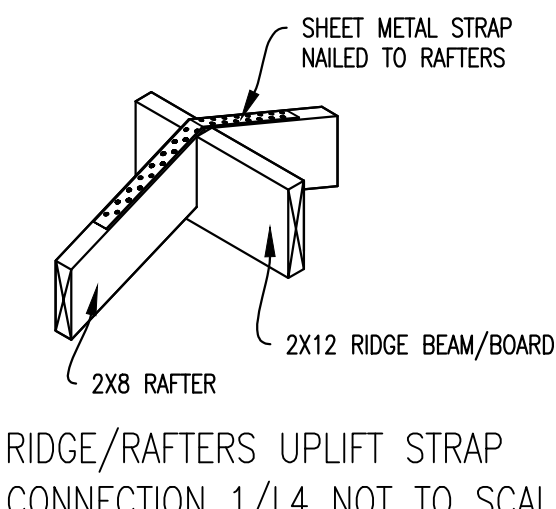
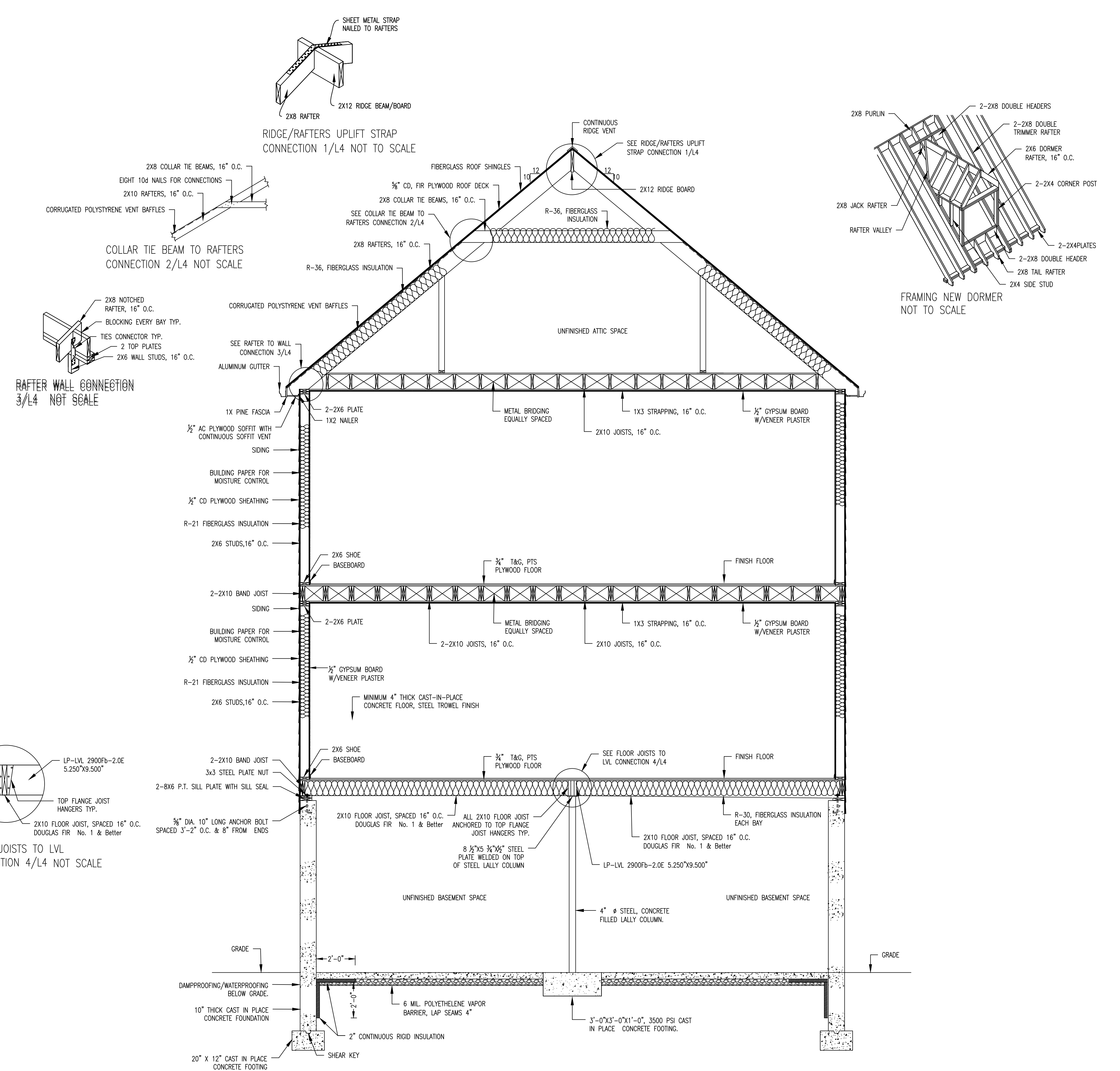
ALL LANDING JOISTS SHALL BE 2X8 SPACES 16" O.C. EXCEPT AS NOTED.

LANDING SUBFLOOR SHALL BE FLOOR 3/4" T&G CDX PLYWOOD GLUED AND NAILED TO JOISTS. NAIL SPACING SHALL BE 6" O.C. AT EDGES AND 12" O.C. INFIELD

DOUBLE JOISTS UNDER ALL 2X12 STAIR STRINGERS.

ALL STRAPPING SHALL BE 1X3 SPACED 16" O.C.

ALL FINISHES SHALL BE 1/2" GYPSUM BOARD WITH VENEER PLASTER



SECTION 1-1 SECTION 1-1
SCALE 1/2" = 1'-0" SCALE 1/2" = 1'-0"

CONSTRUCTION DOCUMENTS

DESIGN BY ELI NEMAN
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