

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF APRIL 28, 2017 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN).

COMMUNITY-PANEL: #25025C0069G
EFFECTIVE DATE: 09-25-2009

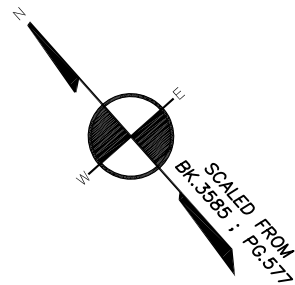
PREPARED FOR:
OWNER OF RECORD:
APONTE DEVELOPMENT, INC.
1 McCRAW STREET
ROSLINDALE, MA

REFERENCES:
DEED: BK 58144; PG 151
PLAN: BK 3585; PG 577

CITY ENGINEERS
LAYOUT L-2256
LAYOUT L-5704
LAYOUT L-6819

NOTES:
PARCEL ID: 2000874000
2000875000

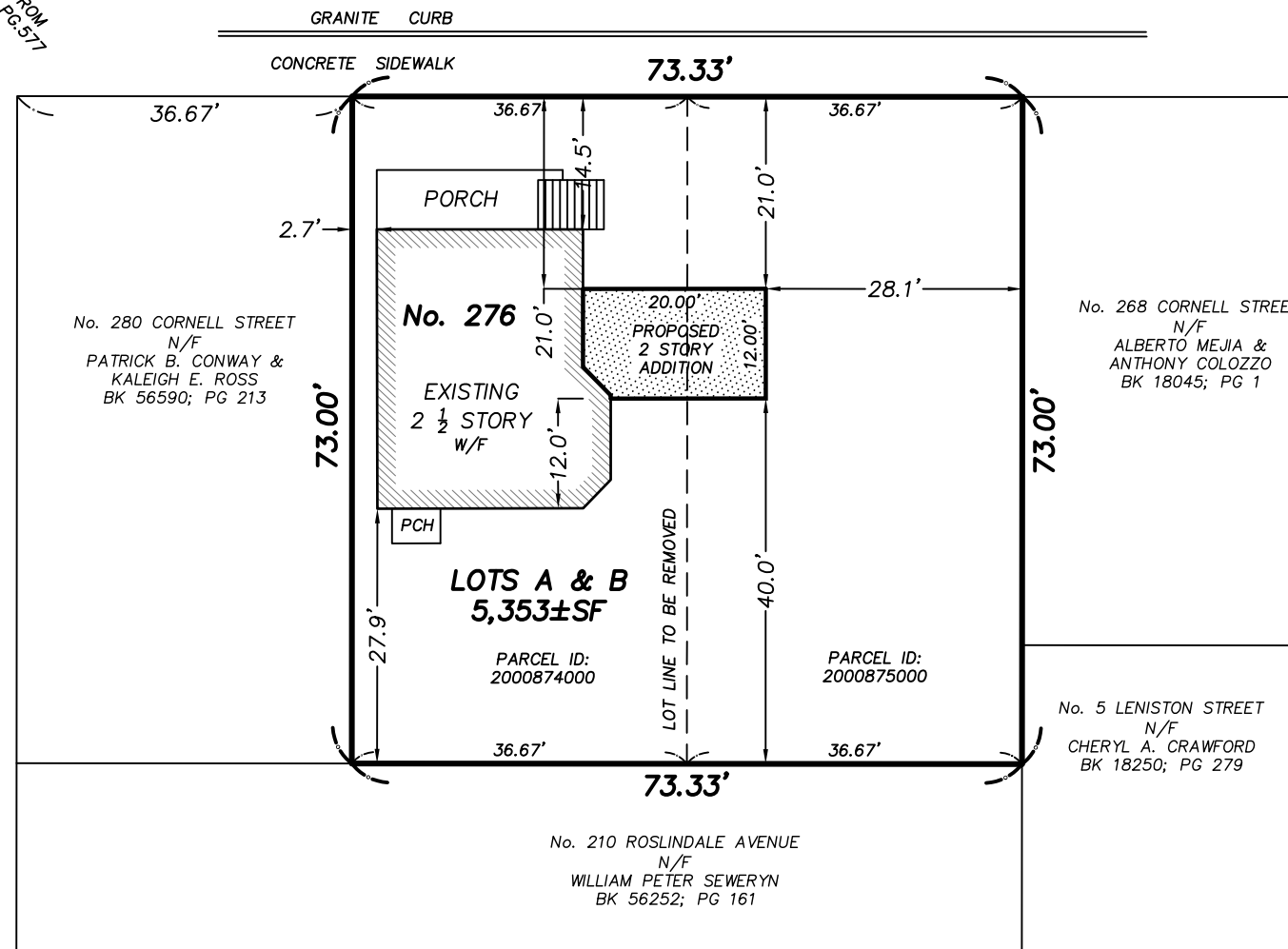
CITY PARCELS ARE TO BE CONSOLIDATED INTO ONE PARCEL WITH A TOTAL AREA OF 5.353 ±SF.



CORNELL STREET

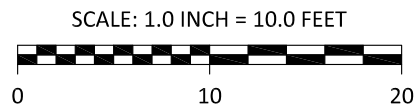
(PUBLIC ~ 40.0' WIDE)

ROSLINDALE AVENUE
(PUBLIC ~ 40.0' WIDE)

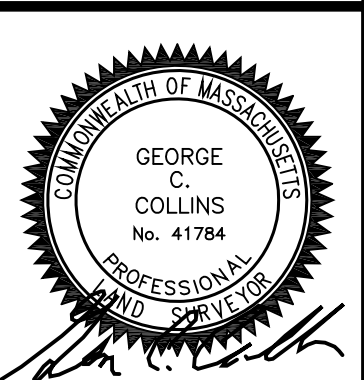


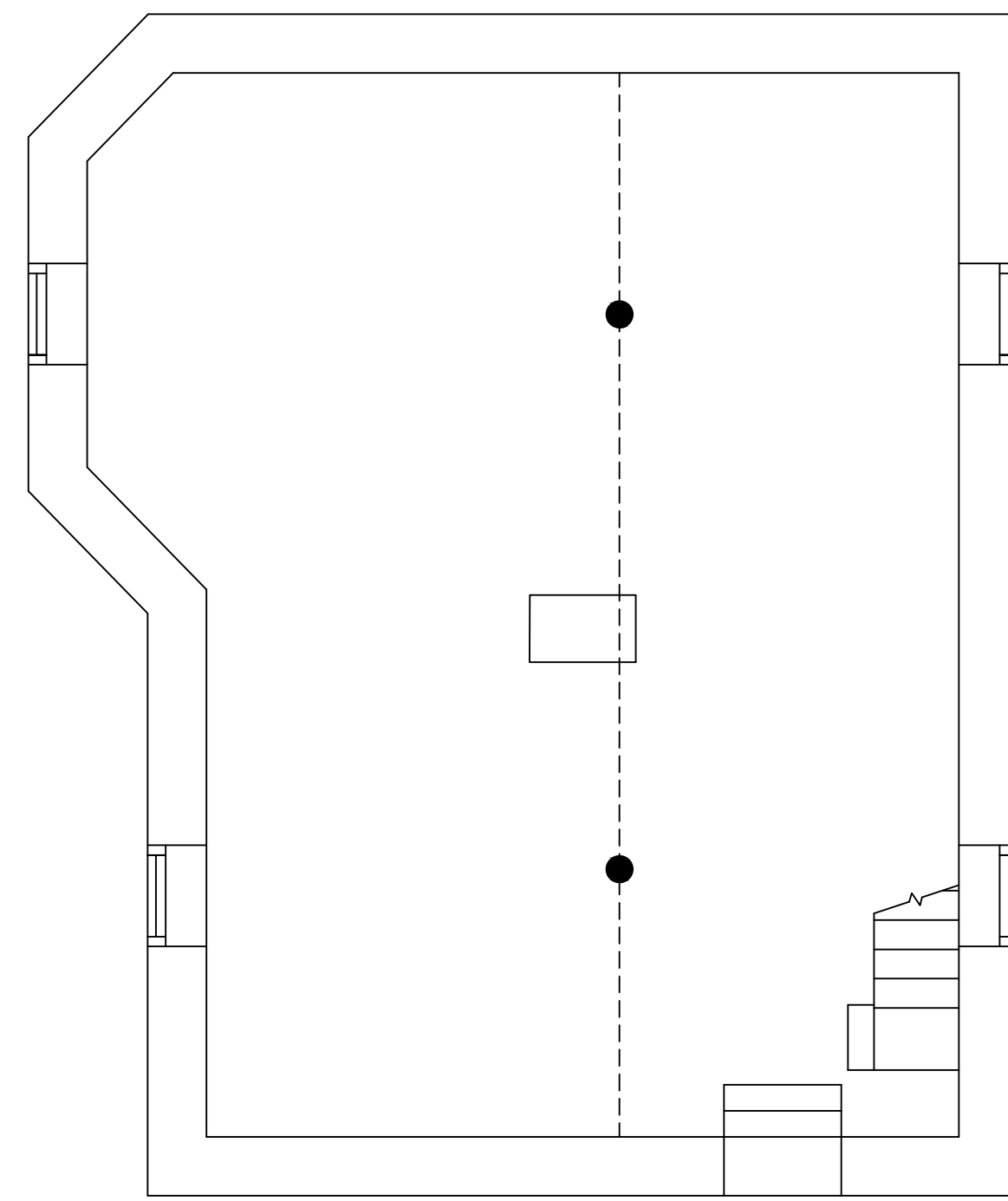
CERTIFIED PLOT PLAN

LOCATED AT
276 CORNELL STREET
ROSLINDALE, MA

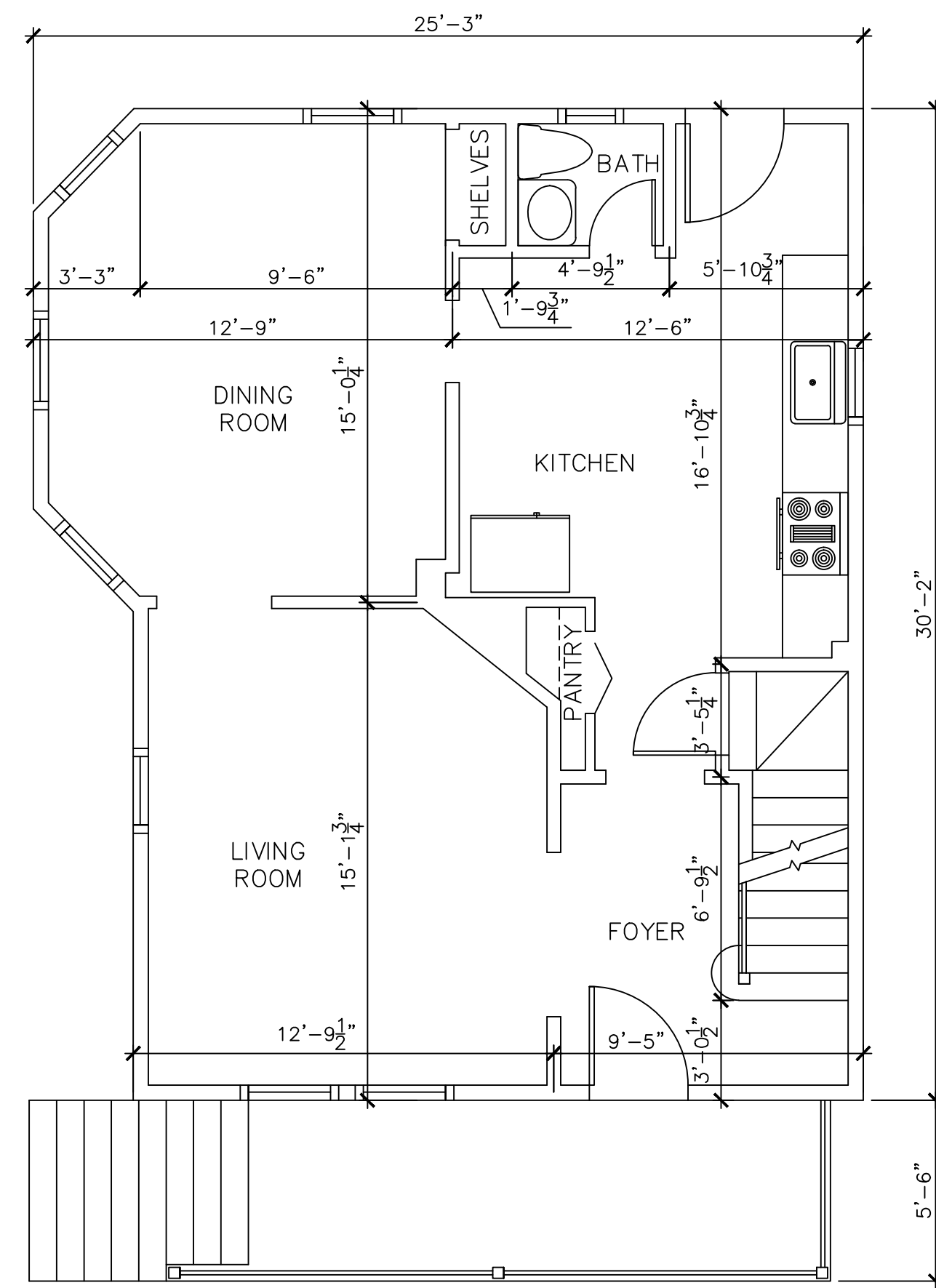


FIELD:	DRM
DRAFT:	DRM/RAP
CHECK:	GCC
DATE:	09/05/17
JOB #	17-00266

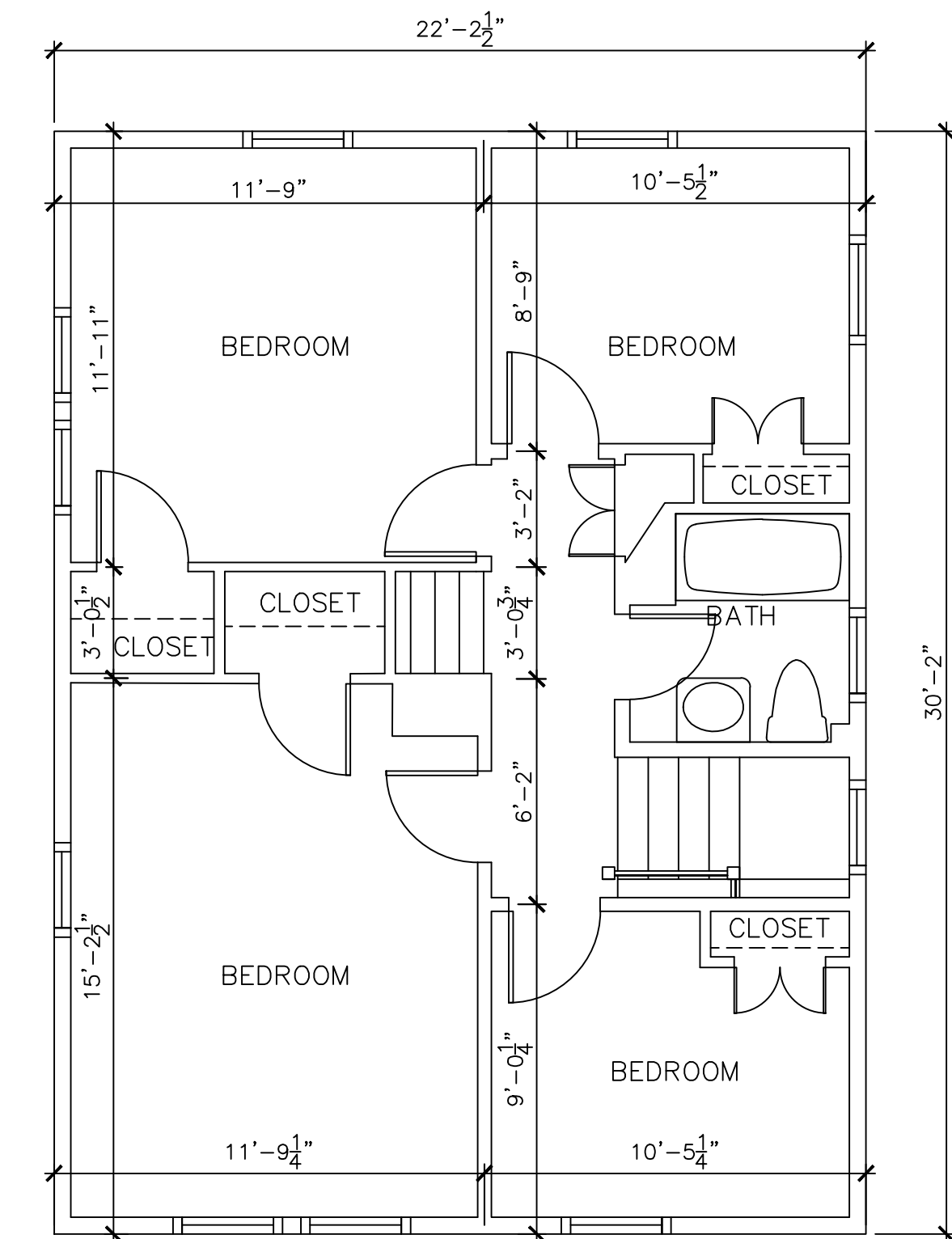




BASEMENT PLAN



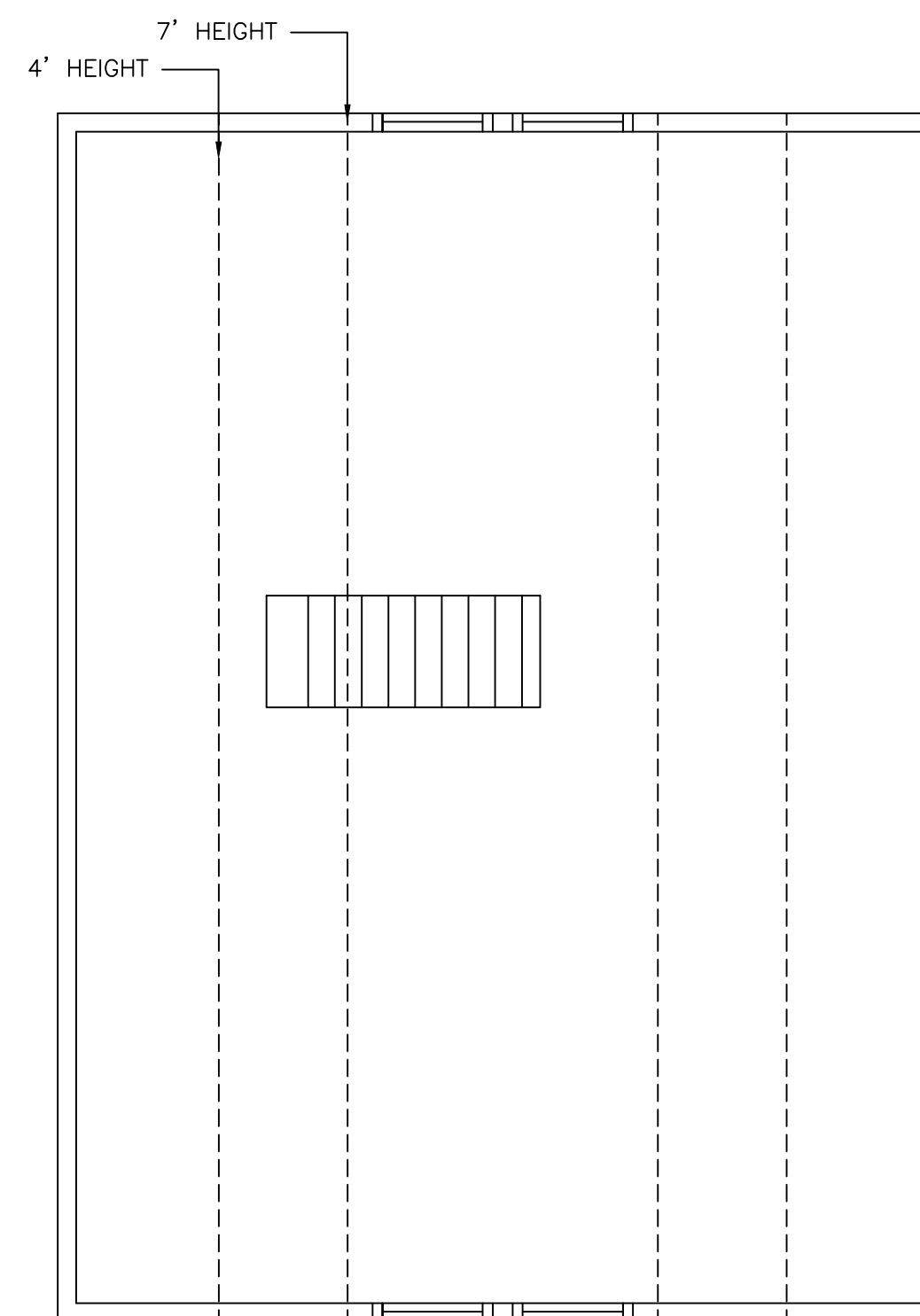
FIRST FLOOR PLAN



SECOND FLOOR PLAN

GENERAL NOTES

1. All work shall conform to Massachusetts Building Code and all Federal, State and City of Boston laws, codes and regulations as each may apply.
2. All existing conditions and proposed conditions must be verified in field. If discrepancies are found, they have to be reported to the Engineer prior to start of work. Omissions or conflicts between the various elements of the working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
3. The contractor shall be responsible for coordinating the scheduling and work of all trades and shall check all dimensions. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work. If Contractor fails to report discrepancies prior to proceeding with the work, he will assume full responsibility for the job.
4. The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
5. The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
6. All work shall be performed in a first class and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
7. The Contractor shall field verify all existing conditions, utility locations and structure placement, prior to start of the work. The Contractor will observe all possible precautions to avoid damage to same. Any damage to existing structures and utilities, whether shown or not on the drawings, shall be repaired or replaced at the Contractor's expense.
8. Prior to bidding the work the Contractor shall visit the site and study the proposed plans and thoroughly satisfy himself as to the actual conditions and quantities, if any. No claim against the Owner or Engineer will be allowed for any excess or deficiency therein, actual or relative.
10. Contractor is responsible for all demolition and relocation works, if any.



ATTIC PLAN

EXISTING GROSS FLOOR AREA (GFA) CALCULATION:

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD DISTRICT, MA: 2F-5000, TWO FAMILY RESIDENTIAL SUBDISTRICT
 EXISTING 2,676 SF + 2,677 SF = 5,353 SF LOT
 ALLOWABLE FLOOR AREA RATIO (FRA): 0.5
 ALLOWABLE GROSS FLOOR AREA (GFA): 5,353 X 0.5=2,676.5 SF

EXISTING FLOOR AREA OF THE BUILDING:

1. 1ST FLOOR: 707 SF
2. 2ND FLOOR: 670 SF
3. BASEMENT: 555 SF (NA)
4. ATTIC: 428 SF

TOTAL EXISTING FLOOR AREA OF THE BUILDING:
 707 (1ST FL.) + 670 (2ND FL.) + 428 (ATTIC)= 1,805 SF

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

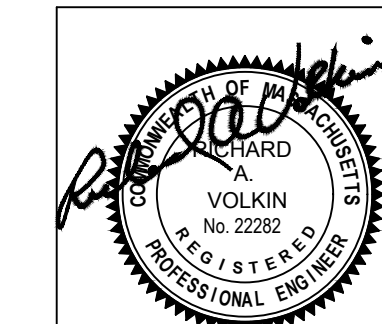
EXISTING FLOOR PLANS

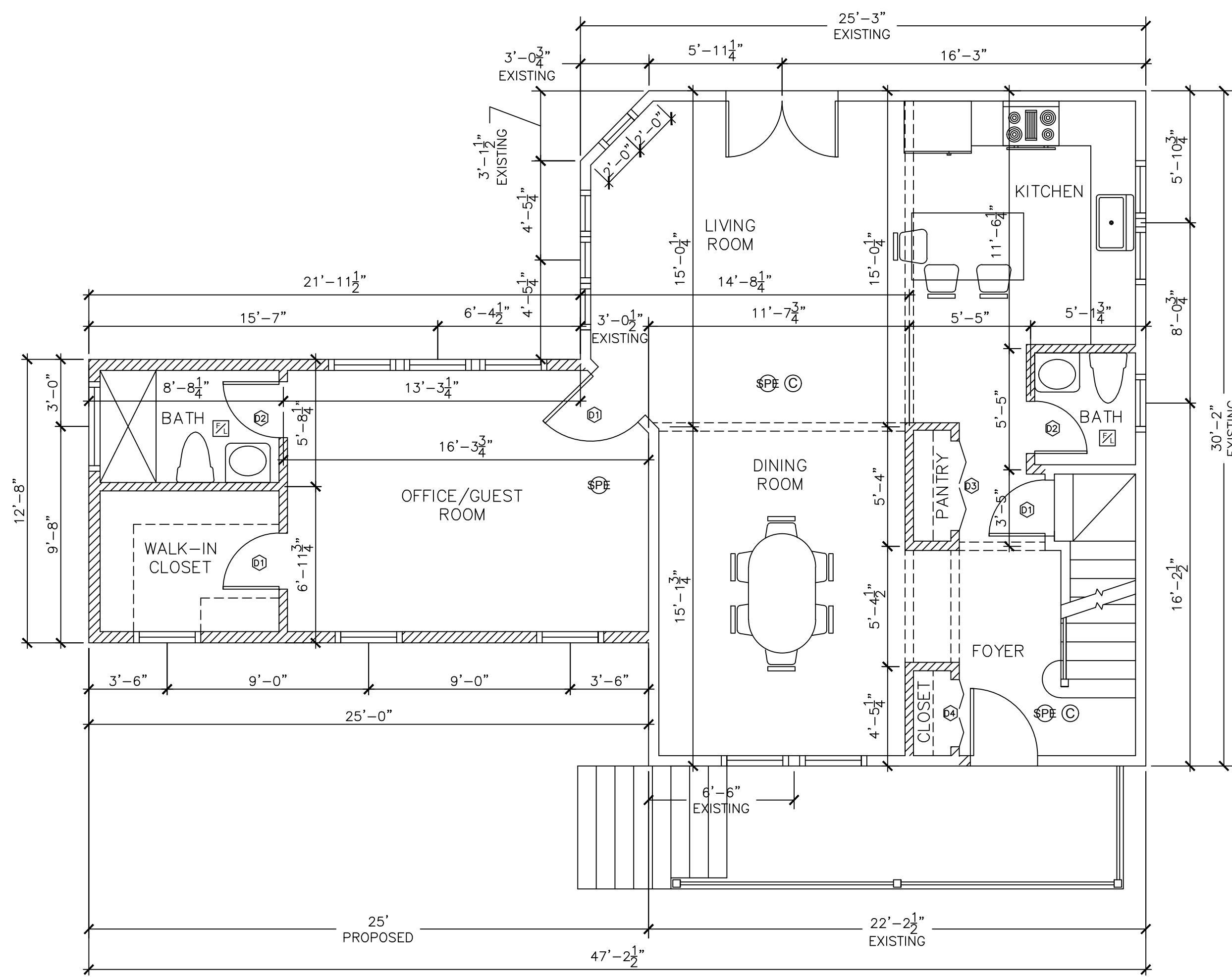
**276 CORNELL STREET,
ROSLINDALE, MASSACHUSETTS**

RAV & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

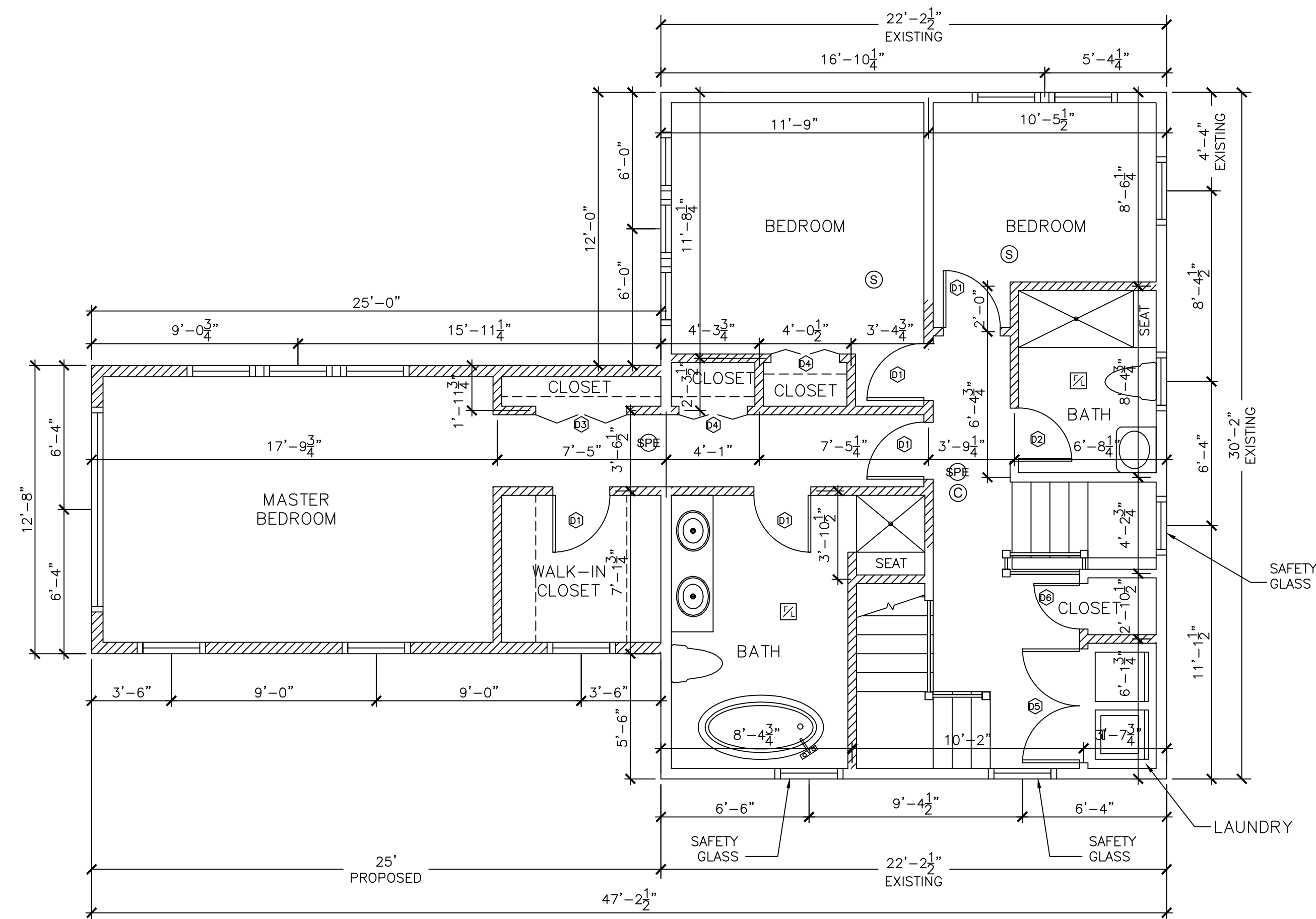
SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: E.F.	DRAWING No.
DATE: 8/15/2017	DRAWN BY: E.F.	A-1
	CHECKED BY: I.M.	

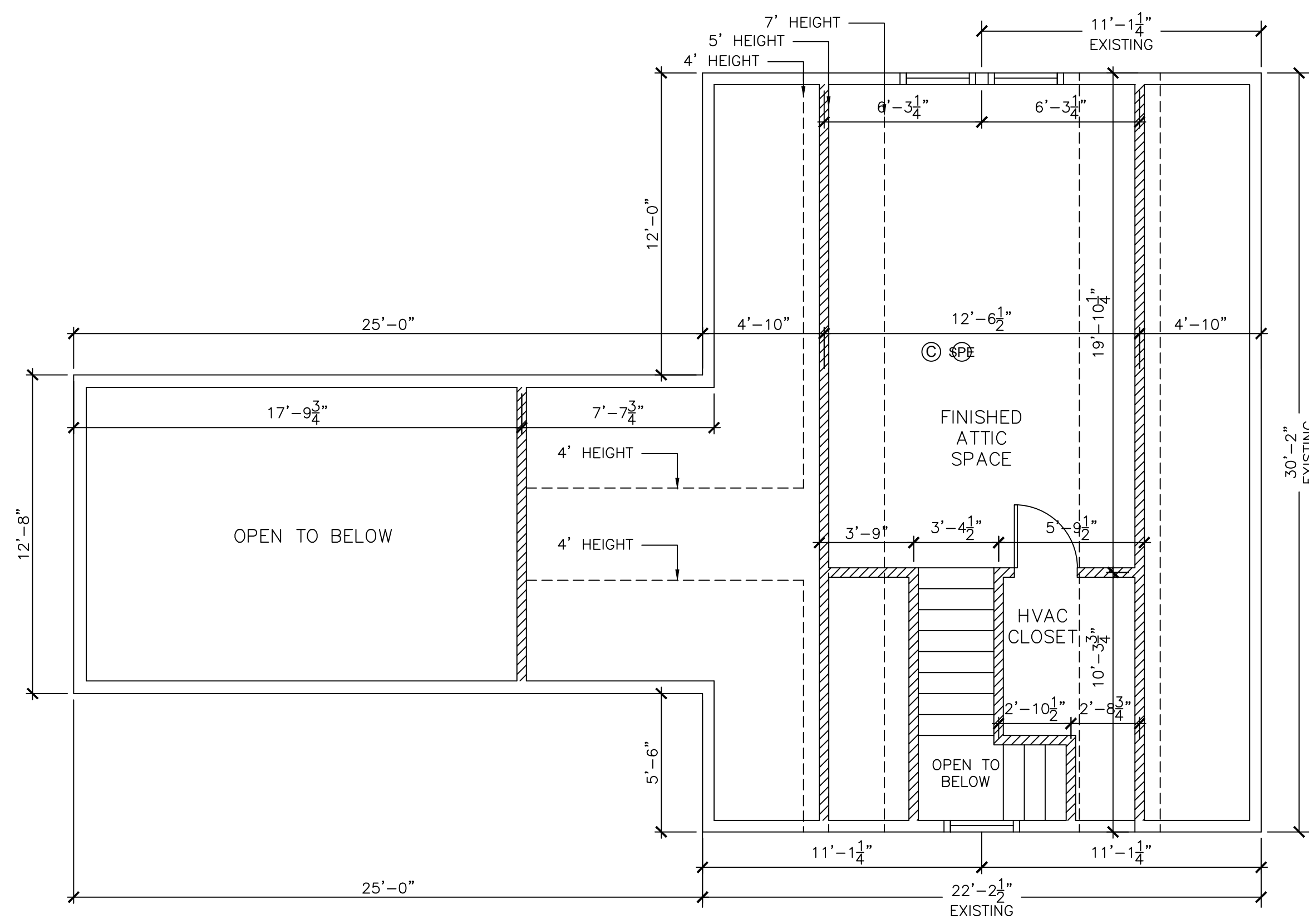




FIRST FLOOR PLAN



SECOND FLOOR PLAN



ATTIC PLAN

LEGEND:

- Ⓢ HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
- Ⓢ PHOTO ELECTRIC HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
- Ⓢ FAN/LIGHT TO BE VENTED DIRECTLY TO OUTSIDE
- Ⓢ CARBON MONOXIDE DETECTOR
- ▨ NEW WALLS

INTERIOR DOORS SCHEDULE:

- Ⓢ 2'-6" X 6'-8"
- Ⓢ 2'-4" X 6'-8"
- Ⓢ 4'-0" X 6'-8" BI-FOLD CLOSET DOOR
- Ⓢ 3'-0" X 6'-8" BI-FOLD CLOSET DOOR
- Ⓢ 5'-0" X 6'-8" CLOSET DOOR
- Ⓢ 2'-0" X 6'-8" CLOSET DOOR

FOR EXTERIOR DOORS AND WINDOWS SEE WINDOW SCHEDULE AND BUILDING ELEVATIONS

NOTES:

1. ALL NEW EXTERIOR WALLS ARE 2"x6" @ 16" O.C. UNLESS NOTED OTHERWISE.
2. ALL NEW INTERIOR WALLS ARE 2"x4" @ 16" O.C. UNLESS NOTED OTHERWISE.
3. DIMENSIONS TO THE OUTSIDE (PERIMETER) WALLS ARE TO FACE OF STUDS OR EXTERIOR FACE OF THE FOUNDATION WALL.
4. DIMENSIONS TO THE OUTSIDE (FACE) OF THE INTERIOR WALLS ARE TO FACE OF DRYWALL.

GROSS FLOOR AREA (GFA) CALCULATION:

ZONING DISTRICT: ROSLINDALE NEIGHBORHOOD DISTRICT, MA:
 2F-5000, TWO FAMILY RESIDENTIAL SUBDISTRICT
 EXISTING 2,676 SF + 2,677 SF = 5,353 SF LOT
 ALLOWABLE FLOOR AREA RATIO (FRA): 0.5
 ALLOWABLE GROSS FLOOR AREA (GFA): 5,353 X 0.5=2,676.5 SF

PROPOSED FLOOR AREA OF THE BUILDING:

1. 1ST FLOOR: 1,018.3 SF
2. 2ND FLOOR: 986.6 SF
3. BASEMENT: NA
4. ATTIC: 534.4 SF

TOTAL PROPOSED FLOOR AREA OF THE BUILDING:
 1,018.3 (1ST FL.) + 986.6 (BSMT) + 534.4 (ATTIC)= 2,539.3 SF

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

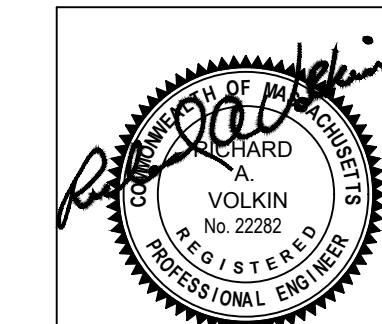
PROPOSED FLOOR PLANS

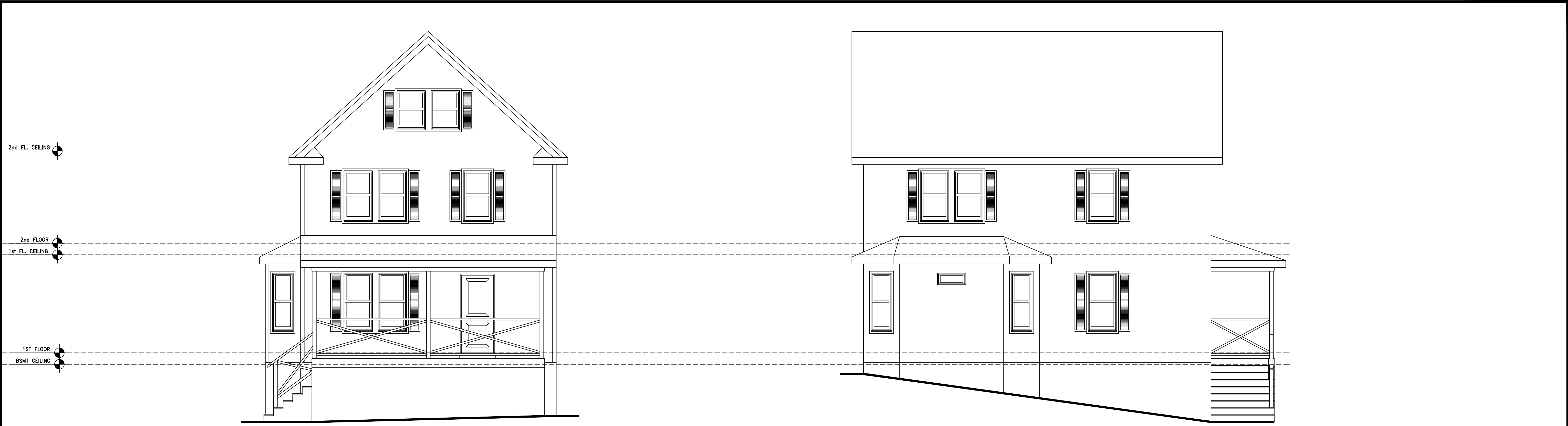
**276 CORNELL STREET,
ROSLINDALE, MASSACHUSETTS**

RAV & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

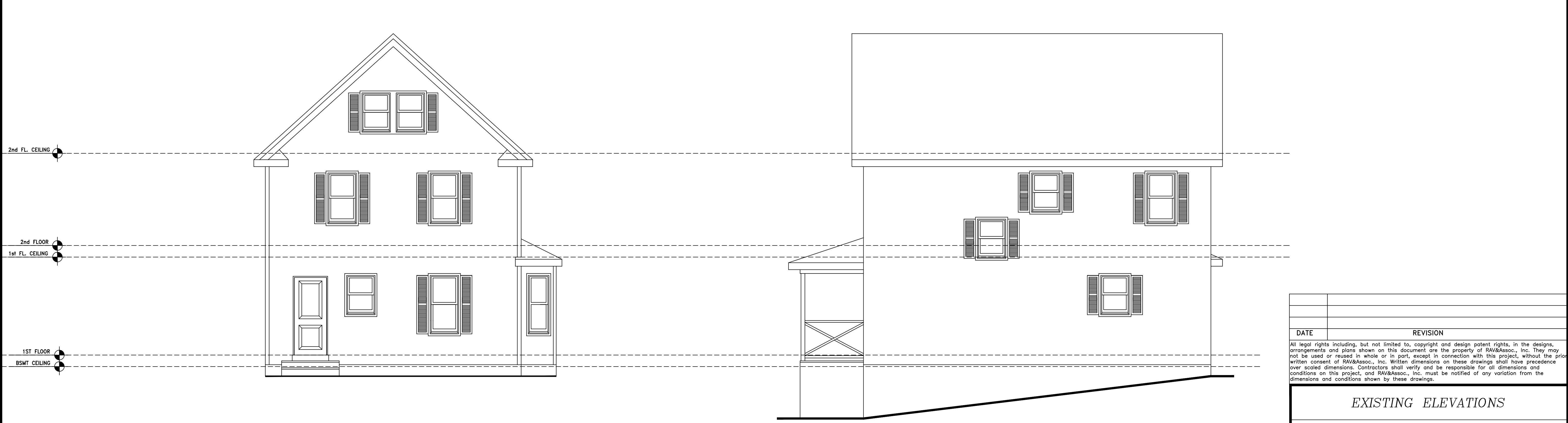
APPROVED: R.A.V.	DESIGNED BY: E.F.	DRAWING No.
DATE: 8/15/2017	DRAWN BY: E.F.	A-2
	CHECKED BY: I.M.	





FRONT ELEVATION

LEFT ELEVATION



REAR ELEVATION

RIGHT ELEVATION

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

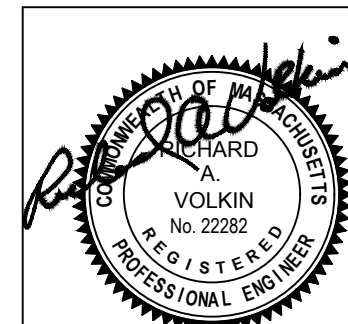
EXISTING ELEVATIONS

**276 CORNELL STREET,
ROSLINDALE, MASSACHUSETTS**

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: E.F.	DRAWING No.
DATE: 8/15/2017	DRAWN BY: E.F.	A-3
	CHECKED BY: I.M.	





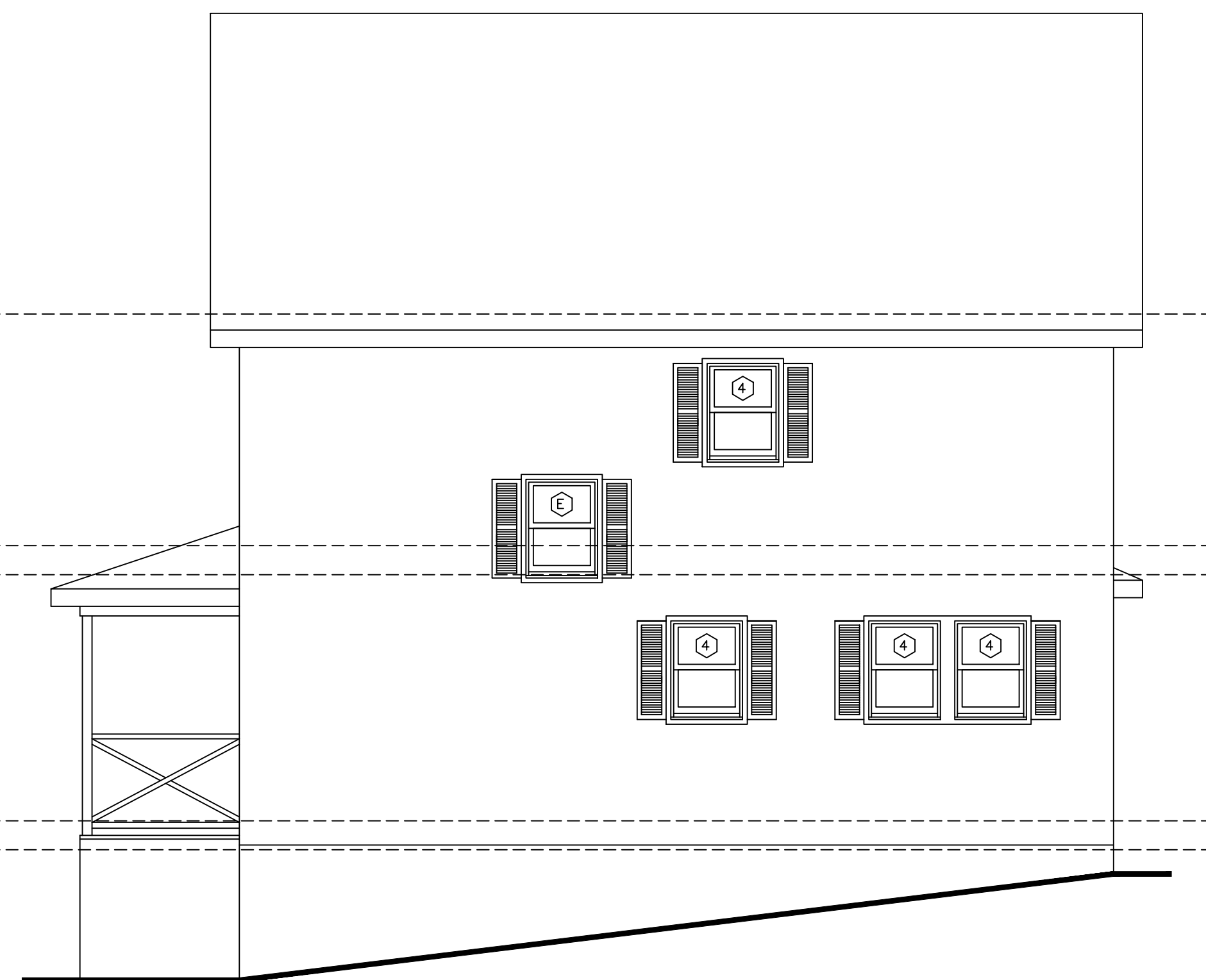
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOTES:

CONTRACTOR MUST VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO ORDERING WINDOWS. CONTACT WINDOW MANUFACTURER FOR DETAILS. CONTACT THE OWNER FOR FINAL SELECTION OF DOORS AND WINDOWS PRIOR TO ORDERING AND PRIOR TO FRAMING DOOR AND WINDOW OPENINGS. VERIFY CLEAR OPENINGS IN ALL BEDROOMS. MINIMUM CLEAR OPENING MUST BE 20 IN (W) x 24 IN (H) AND HAVE MINIMUM OF 5.7 S.F. OF CLEAR OPEN AREA. VERIFY LOCATIONS OF SAFETY GLASS WINDOWS AND DOORS PRIOR TO ORDERING WINDOWS AND DOORS.

SPECIFIC LOCATIONS:

1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS;
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS AND SWINGING DOORS;
3. GLAZING IN STORM DOORS;
4. GLAZING IN UNFRAMED SWINGING DOORS;
5. GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, STEAM ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPONENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHICH MEETS THE FOLLOWING CONDITIONS:
 - a) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.;
 - b) EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR;
 - c) EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR;
 - d) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

EXTERIOR DOORS AND WINDOWS SCHEDULE			
400 SERIES DOUBLE HUNG WINDOWS BY ANDERSEN WITH LOW-E INSULATING GLASS, UNLESS NOTED OTHERWISE			
No.	UNIT DIMENSIONS	MODEL	REMARKS
1A	3'-0 1/8" x 6'-10 3/8"	FWH31611	FRENCH INTSWING DOOR, TEMPERED SAFETY GLASS
1B	2'-1" x 7'-2 5/16"	HP02073	FRENCH FIXED PANEL DOOR, TEMPERED SAFETY GLASS
2	3'-1 5/8" x 5'-0 7/8"	WDH210410	*
3	3'-1 5/8" x 4'-8 7/8"	WDH210410	* MASTER BATH, TEMPERED SAFETY GLASS
3A	3'-1 5/8" x 4'-8 7/8"	WDH2442	*
4	2'-5 5/8" x 3'-4 7/8"	WDH2432	
5	1'-0" x 4'-0"	WTR31010	TRANSOM WINDOW
6	1'-0" x 9'-0"	CUSTOM	TRANSOM WINDOW
7	36" x 24"	CUSTOM	BASEMENT WINDOW
8	6'-0" x 7'-0"	CUSTOM	ENTRY DOOR
E	EXISTING DIMENSIONS	EXISTING	REPLACE WITH SAFETY GLASS WINDOW

* EGRESS WINDOW MEETS OR EXCEEDS CLEAR OPENING OF 5.7 SF, CLEAR WIDTH 20" AND CLEAR HEIGHT 24"

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

PROPOSED ELEVATIONS

**276 CORNELL STREET,
ROSLINDALE, MASSACHUSETTS**

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: E.F.	DRAWING No.
DATE: 8/15/2017	DRAWN BY: E.F.	A-4
	CHECKED BY: I.M.	

