

LOCUS PLAN - NTS

SUFFOLK COUNTY  
Deeds  
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Plans  
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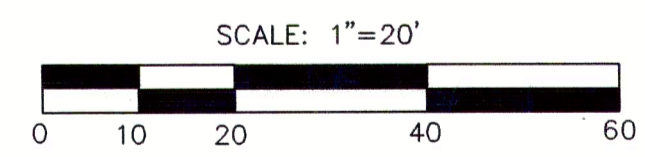
Land Court  
Cert 2897 Cert 36626  
Plan 15931 A, B

NORFOLK COUNTY  
Plan 178  
BOSTON DPW  
L 7278  
L 8085  
L 8176  
L 8718

THIS PLAN IS INTENDED TO SHOW THE MERGER OF TWO PARCELS, 1805758000 AND 1805759000 AND THE RE-SUBDIVISION OF THE COMBINED PARCEL INTO FOUR DISTINCT LOTS.

THIS PLAN WAS PREPARED FROM AN ON-THE-GROUND SURVEY.

THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED.



*[Handwritten signature]*  
6/11/16

**DVG** VOZZELLA DESIGN GROUP INCORPORATED  
3841 WASHINGTON STREET  
BOSTON, MASSACHUSETTS 02131  
617-983-8282

**SITE PLAN**  
325, 327 REAR, 331 METROPOLITAN AVENUE  
WEST ROXBURY (ROSLINDALE)

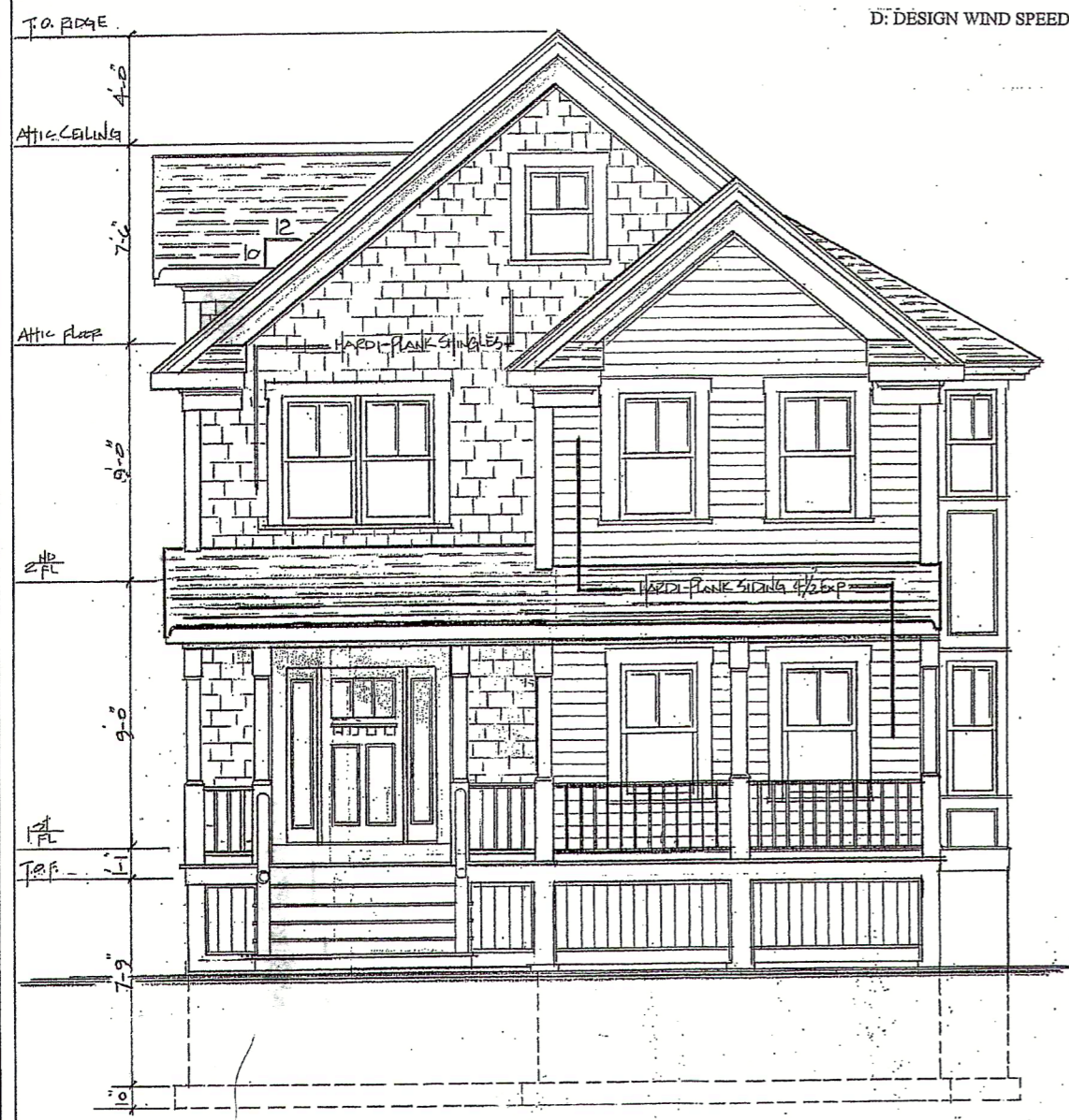
SCALE 1"=20' MARCH 25, 2016



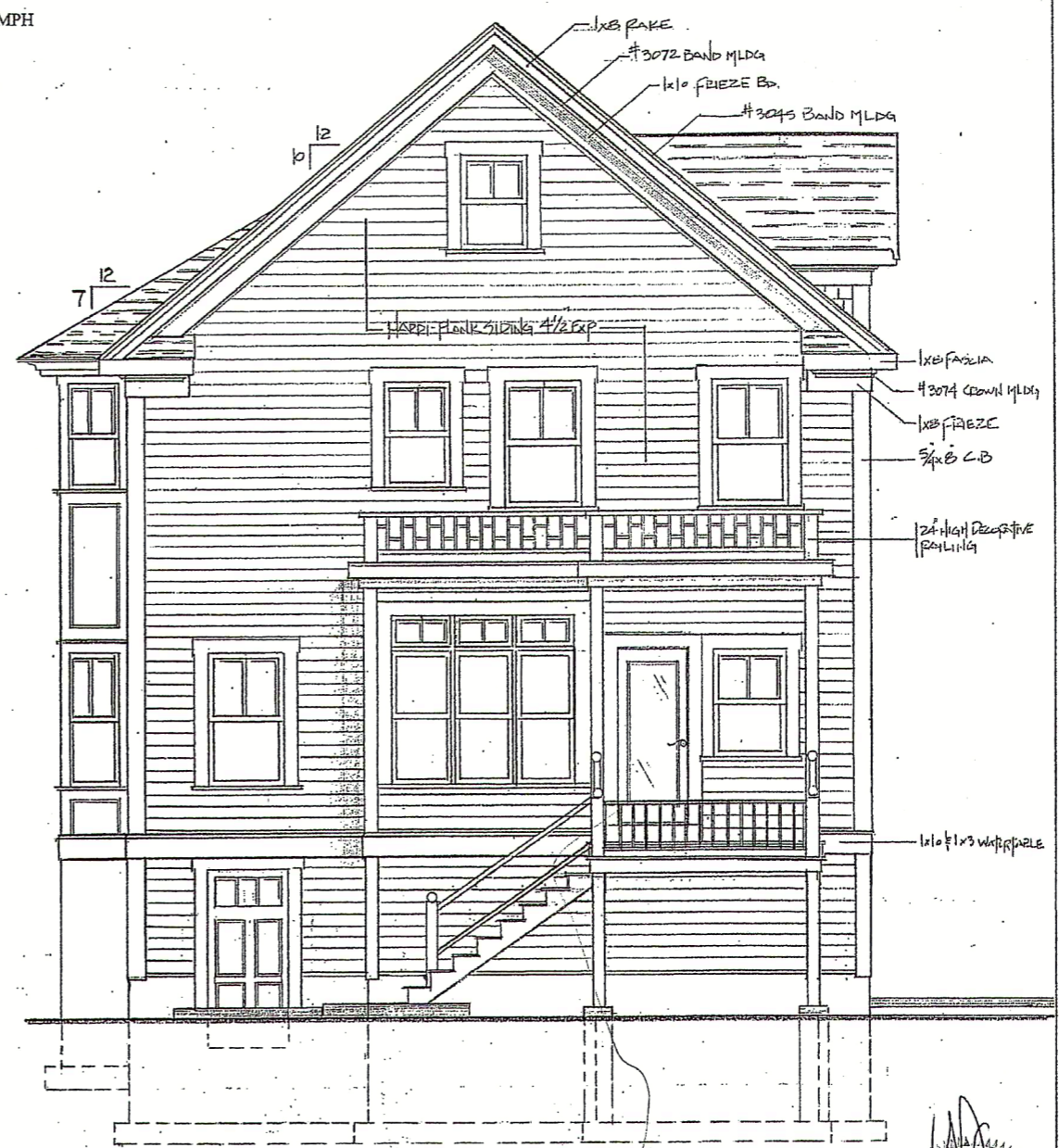
Edward H. Yeomans  
 43 Gaslight Lane  
 N. Easton, MA, 02356  
 508.238.3873

DESIGN CRITERIA

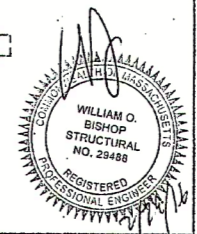
1. APPLICABLE BUILDING CODE MASSACHUSETTS 8<sup>TH</sup> EDITION
2. LOADS
  - A. DEAD LOADS: 1) ROOF 10 PSF  
 2) FLOOR 15 PSF
  - B. LIVE LOADS: 1) FIRST FLOOR 40 PSF  
 2) SECOND FLOOR 30 PSF  
 3) ROOF 40 PSF
  - C. GROUND SNOW LOAD: 40 PSF
  - D. DESIGN WIND SPEED 100 MPH



FRONT ELEVATION 1/4" = 1'-0"



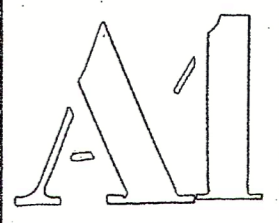
REAR ELEVATION 1/4" = 1'-0"



FRONT & REAR ELEVATIONS

DATE: 25 AUG 2014  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2-2006-14  
 REV: 01-03-15  
 REV: 17 FEB 2016

PROPOSED RESIDENCE  
 325 METROPOLITAN AVE  
 ROSLINDALE, MA





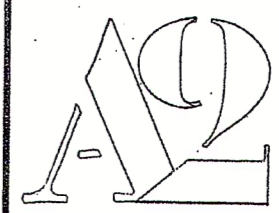
Edward H. Yeomans  
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N.Easton, MA, 02356  
508.238.3873

RIGHT SIDE ELEVATION



DATE: 25 Aug 2014  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 2356-14  
REV: 01-03-15  
REV: 17-FEB-2016

PROPOSED RESIDENCE  
325 METROPOLITAN AVE  
ROSLINDALE, MA





Edward H. Yeomans  
43 Gaslight Lane  
N.Easton, MA, 02356  
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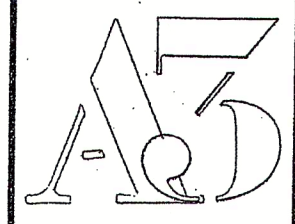
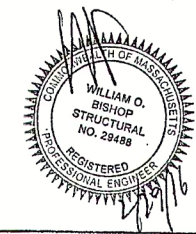
LEFT SIDE ELEVATION



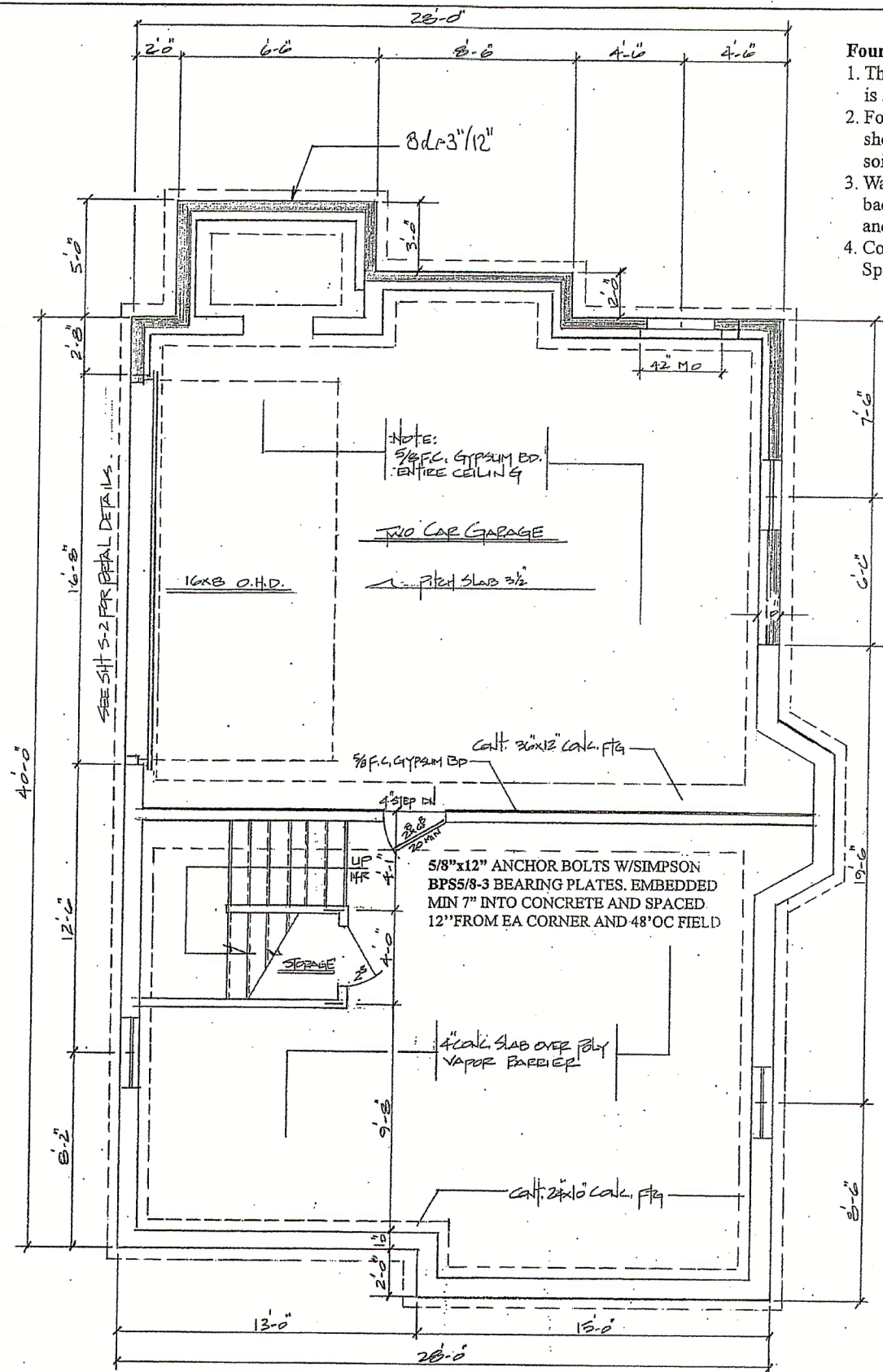
LEFT SIDE ELEVATION 1/4" = 1'-0"

DATE: 25 AUG 2014  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 2386-14  
REV: 01-03-15  
FEAS: 17 FEB 2016

PROPOSED RESIDENCE  
325 METROPOLITAN AVE  
ROSLINDALE, MA



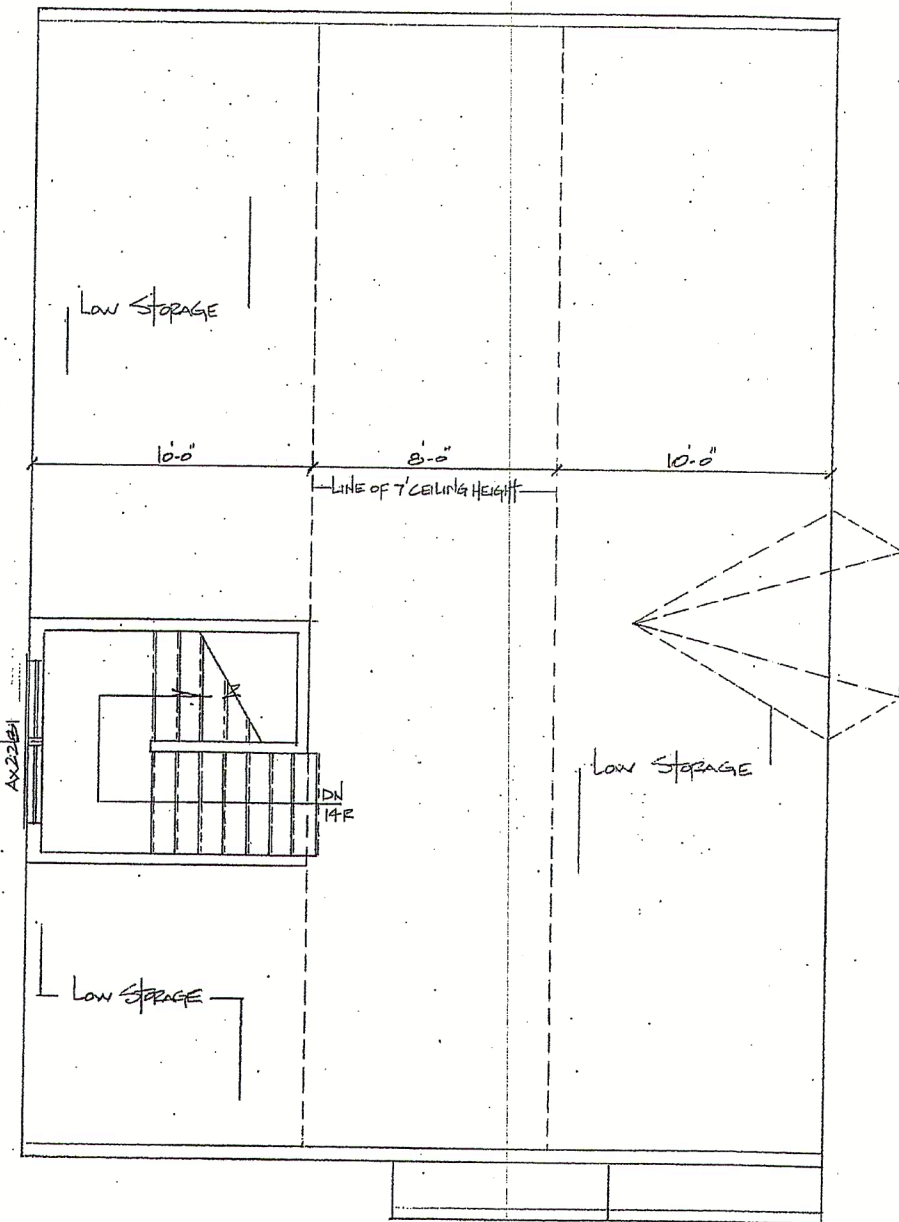




**Foundations:**

1. The Allowable Presumed Soil Bearing Capacity is 3000psf which is to be verified in field.
2. Footings shall be carried to lower elevation than shown on drawings if required to reach proper soil bearing capacity.
3. Walls acting as retaining walls shall not be backfilled without bracing until all supporting and slabs are in place and at adequate strength.
4. Compact all fill under footings and slabs to the Specified density and verify at 98% MDD

FOUNDATION PLAN 1/4" = 1'-0"



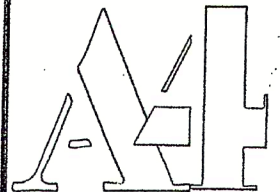
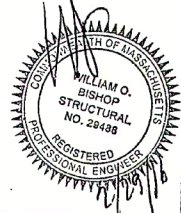
ATTIC PLAN 1/4" = 1'-0"

Edward H. Yeomans  
43 Gaslight Lane  
N. Easton, MA, 02356  
508.238.3873

FOUNDATION & ATTIC PLAN

DATE: 15 FEB 2016  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeomans  
PLAN: 2306-16

PROPOSED RESIDENCE  
285 METROPOLITAN AVE  
ROSLINDALE, MA



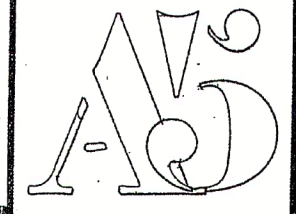
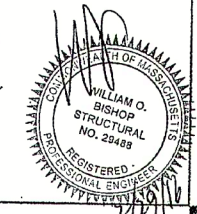


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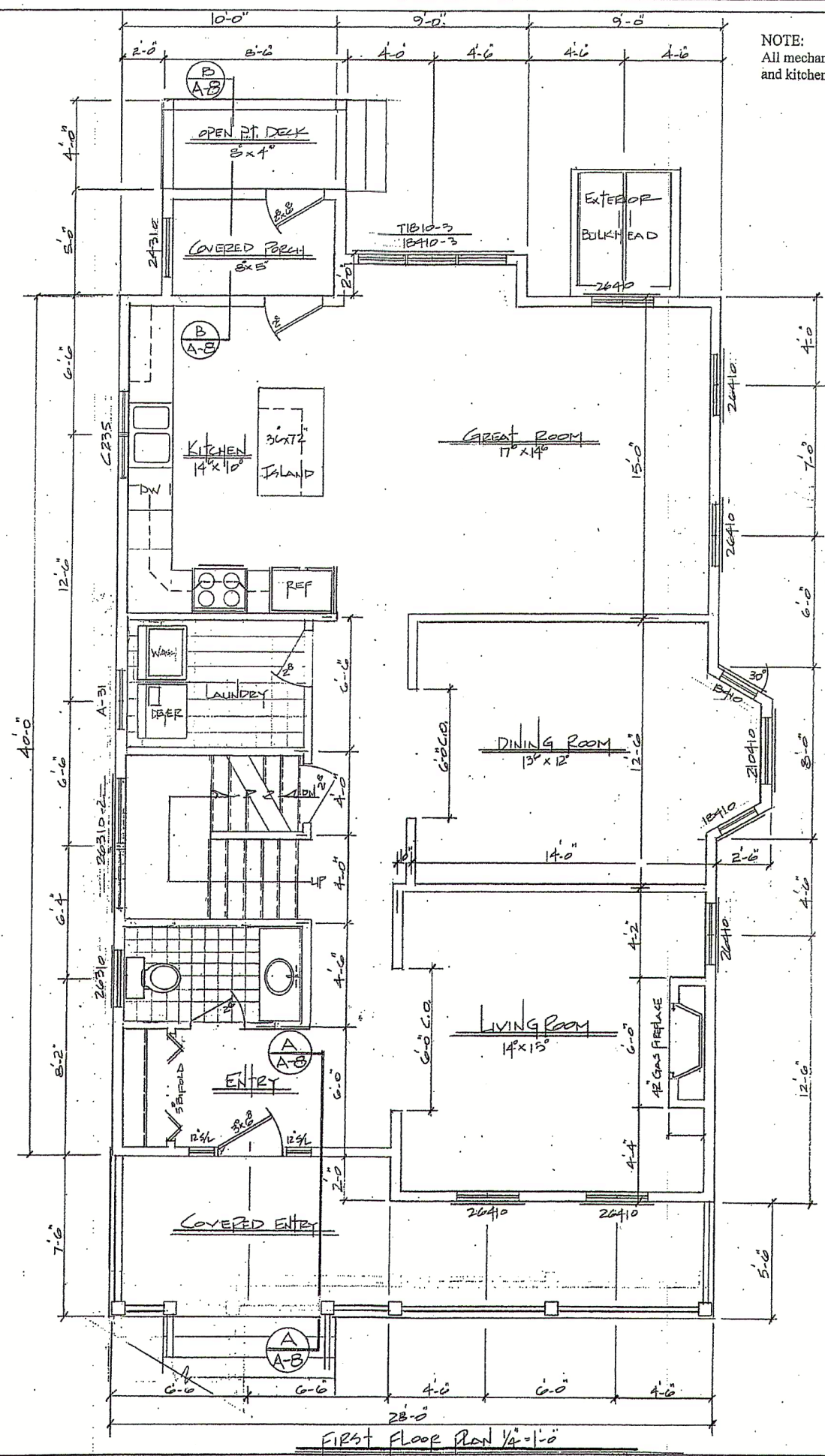
FLOOR PLANS

DATE: 25 AUG 2014  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2356-14  
 REV: 01-03-15  
 REV: 17 FEB 2016

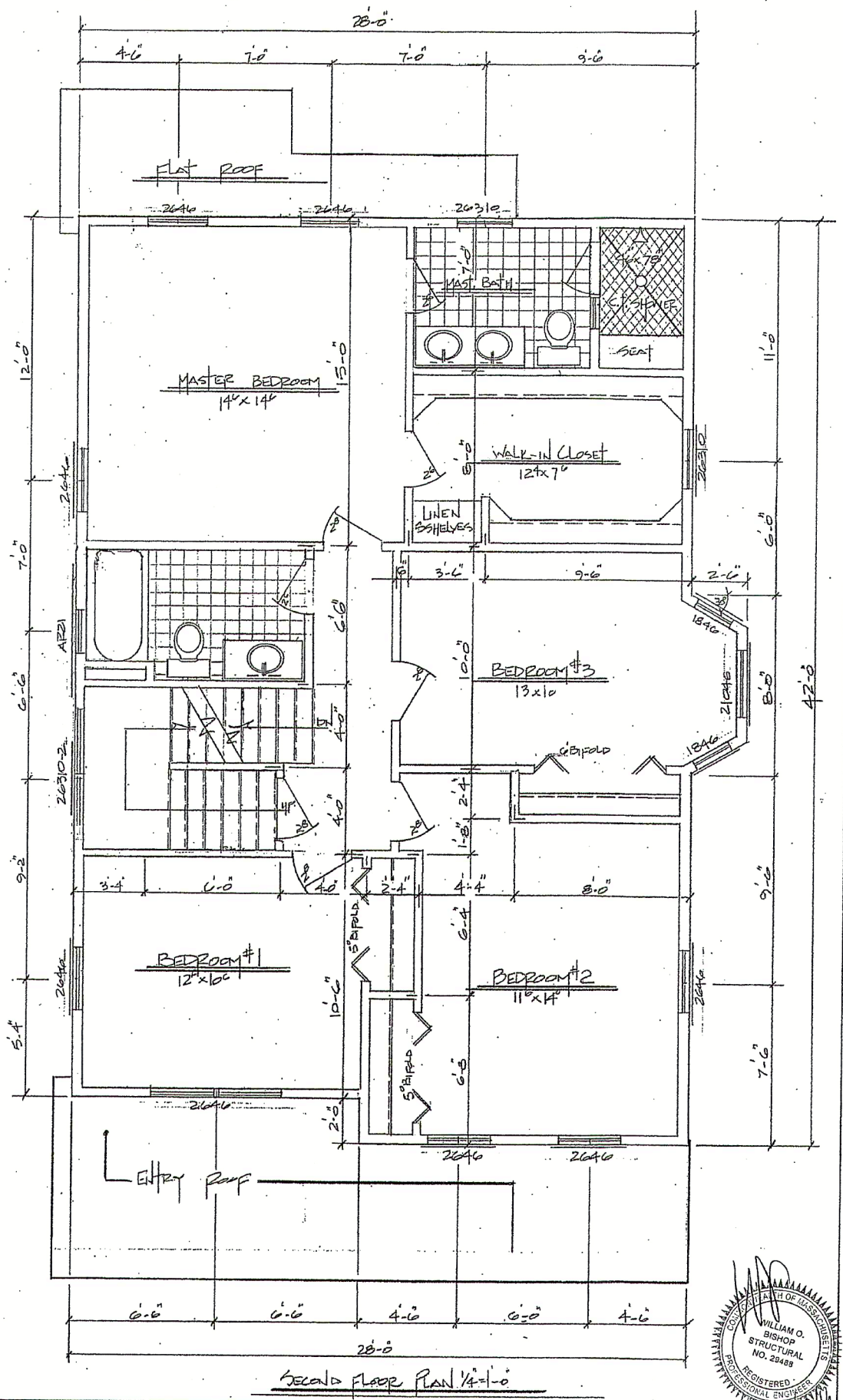
PROPOSED RESIDENCE  
 325 METROPOLITAN AVE  
 ROSLINDALE, MA



NOTE:  
 All mechanical vents in bathrooms, laundry room  
 and kitchen must be vented to building exterior.



FIRST FLOOR PLAN 1/4" = 1'-0"



SECOND FLOOR PLAN 1/4" = 1'-0"



**Wall & floor fastening**

1/2" cdx plywood wall sheathing: BELOW 1ST FLR 8d @ 3" / 12"  
 1st floor 8d common @ 4" oc edges 6" field  
 2nd & 3rd floor 8d com @ 4" oc edges 8" field

3/4" U/L T&G plywood sub floor: 1st-2nd & roof 8d spiral threaded nails @ 6" oc  
 edges 12" field PL400 construction adhesive  
 or equal required at all plywood to joist locations.

SEE SHIT S-1 SECTION C

2x10/2" RIGID INSUL/2x10 TYP HEADER

HARDI PLANK SHINGLES

1/2" CDX PLYWOOD 8d @ 6" / 12" ABOVE 1ST FLR  
 8d @ 4" / 12" @ 1ST FLR  
 8d @ 3" / 12" BELOW 1ST FLR

R-21 INSULATION

2x6 EXT. WALLS 16" OC

FLASHING

ASPHALT SHINGLES OVER ICE & WATER SHIELD

5/8" CDX PLYWOOD 8d @ 4" / 12"

2x8 RAFTERS 16" OC

8" CONT TRAP EDGE

1x8 FASCIA

1x12 SUFFIT

TURK/ROOF NICK-6 POST

MFL FLASHING TO BELOW SILL

5/8" x 6" COMPOSITE DECKING

2x8 PT JOISTS 16" OC

JOIST HGBS REAR DECK END

1x8 TRIM

2" PT 2x8 BAND JOI

POST CAP

6x6 FT POST

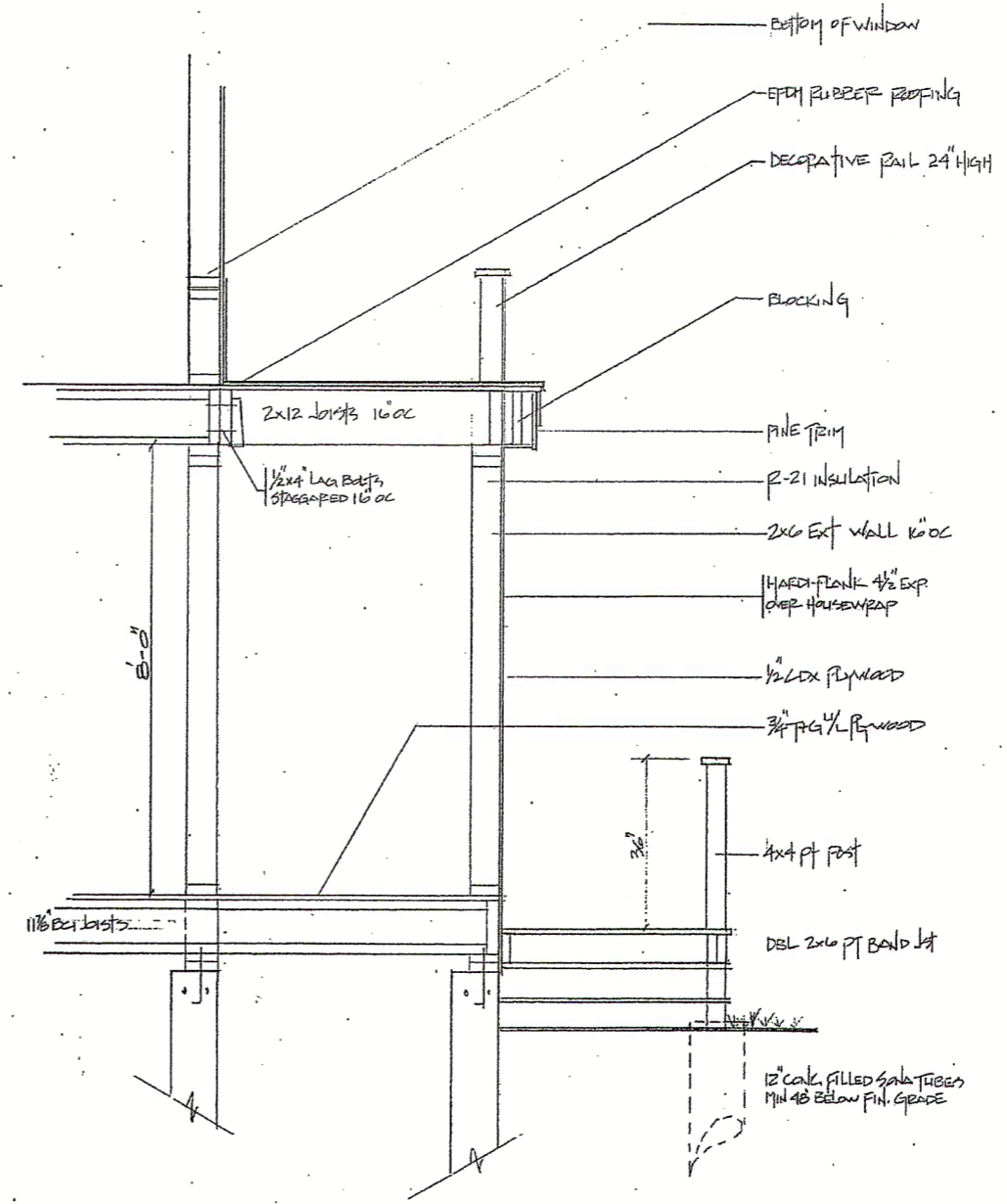
BASE CAP

12" CONC. FILLED SAND TUBE  
 16" BELOW FINISHED GRADE

SECTION "A" 1/2" = 1'-0"

**INSULATION SPECIFICATIONS**

Maximum U factor .35  
 Ceiling or exposed floors R 38  
 Exterior walls R 21  
 Conditioned slab area R 10 rigid  
 (24" horizontal 24" vertical)



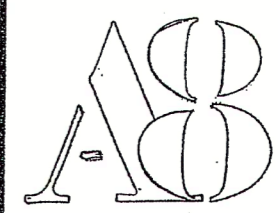
SECTION "B" 1/2" = 1'-0"

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SECTIONS "A" & "B"

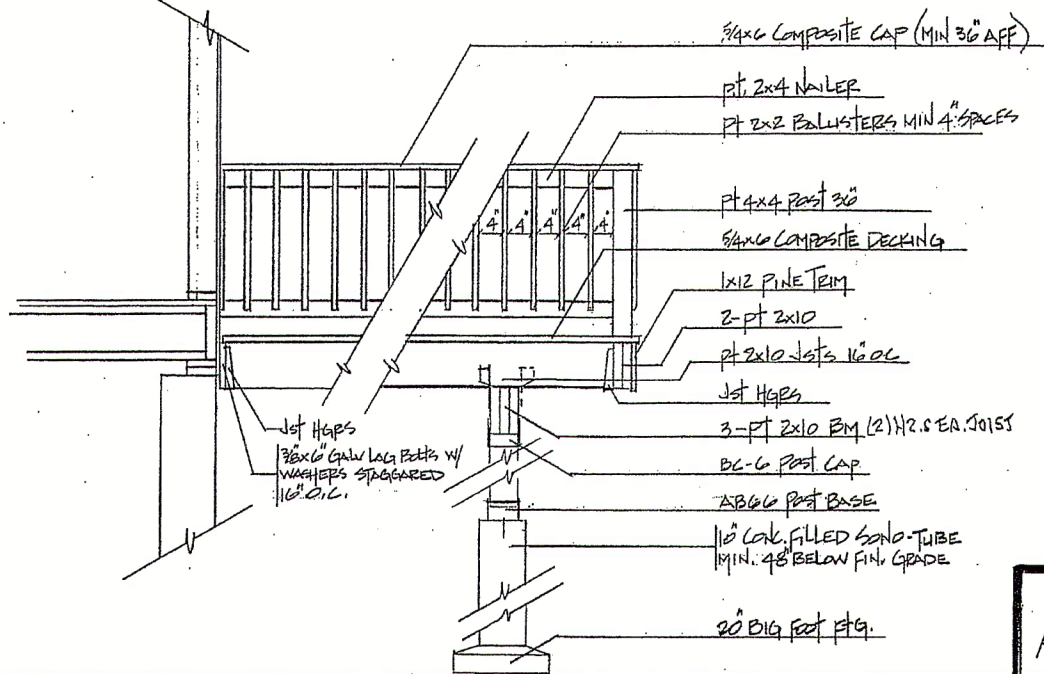
DATE: 25 AUG 2014  
 SCALE: 1/2" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 23800-14

PROPOSED RESIDENCE  
 325 METROPOLITAN AVE  
 ROSLINDALE, MA

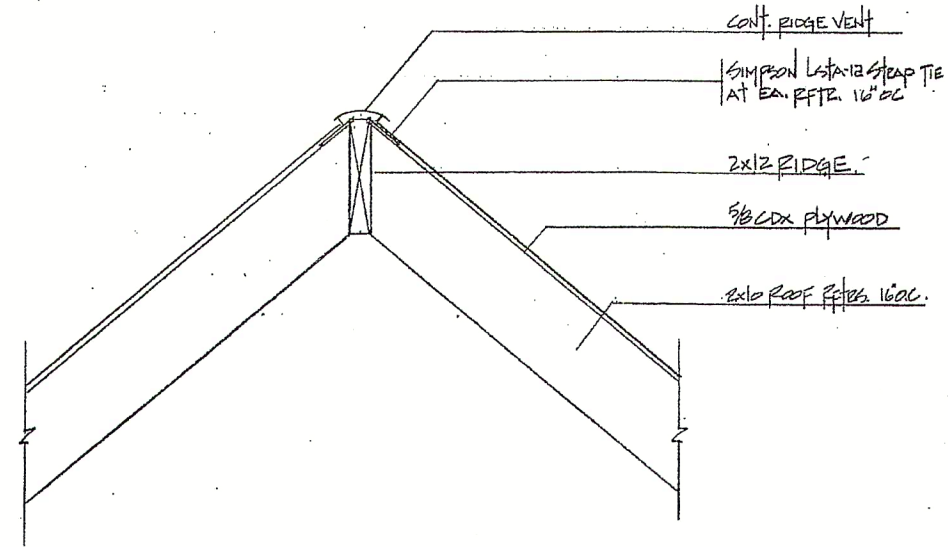




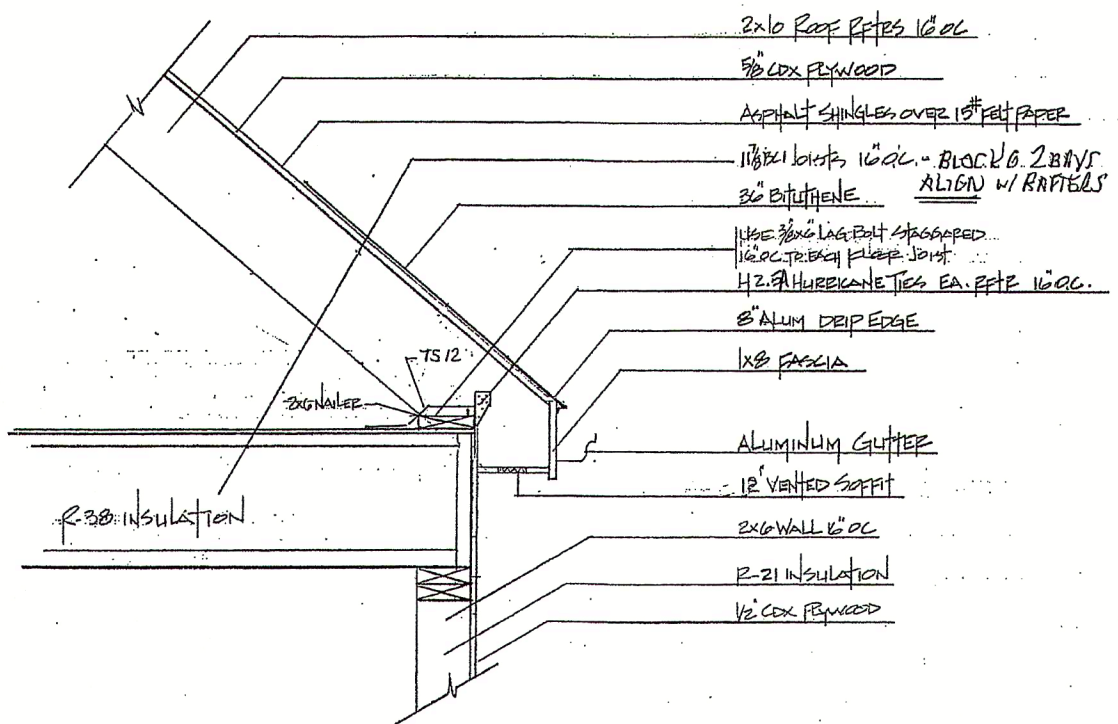
P.T. SUNDECK SECTION 1/2" = 1'-0"



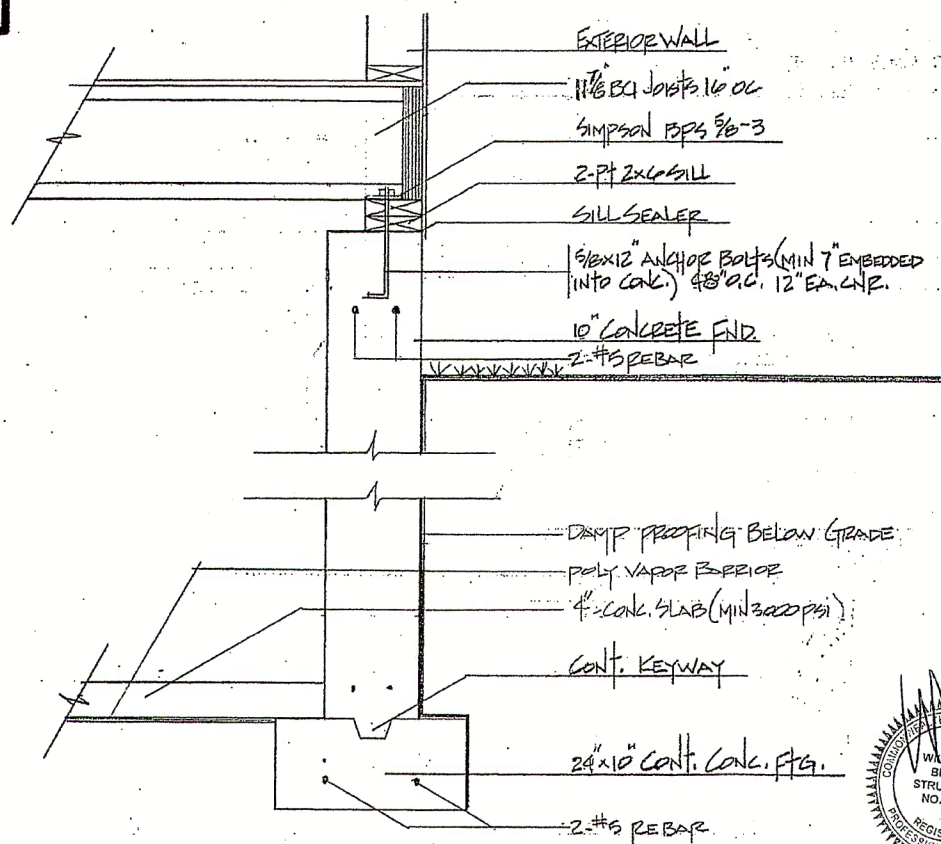
TYPICAL RIDGE DETAIL 1" = 1'-0"



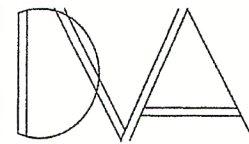
TYPICAL EAVE DETAIL 1" = 1'-0"



TYPICAL FOUNDATION DETAIL 1" = 1'-0"



A	B
C	D



DETAILS

DATE: 05/14/2014  
 SCALE: AS NOTED  
 DWG: E.H. YEOMANS  
 PLAN: 2386-14

PROPOSED RESIDENCE  
 325 METROPOLITAN AVE  
 ROSLINDALE, MA



S1