

**NOTES**

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY NORWOOD ENGINEERING CO. BETWEEN OCTOBER AND DECEMBER OF 2015.

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

SEE BOSTON BOARD OF SURVEY PROPOSED LINE OF STREET WIDENING OF WELD STREET SHOWN ON L.C. PLAN No. 15716-A, (L.C. CERTIFICATE No. 33677). NORWOOD ENGINEERING DID RESEARCH AT THE CITY OF BOSTON ENGINEERING RECORDS DEPARTMENT ON NOVEMBER 12, 2015 AND FOUND NO RECORD OF TAKING, NO ACCEPTANCE PLAN OR ORDER OF TAKING.

SEE ARCHITECTURAL PLANS PREPARED BY EDWARD H. YEOMANS, 43 GASLIGHT LANE, N. EASTON, MA. 02356 (PHONE: 508-238-3873).

THE PROJECT WAS ENTERED INTO THE COBUCS DATA BASE AND THERE WERE NO CONFLICTS WITH ANY SCHEDULED COBUCS PROJECTS.

PROPOSED USAGE: SINGLE-FAMILY DWELLING (4 BEDROOMS)  
4 BEDROOMS x 110 GAL./BEDROOM/DAY = 440 GAL./DAY

THE EXCAVATION AREA FOR THE UTILITY CONNECTIONS IN WELD STREET, A PUBLIC WAY, IS 154 SQUARE FEET.

**BENCHMARKS**

REFERENCE BENCHMARK: SMH '1'  
SMH 1 LOCATED IN FRONT OF 2 WELD ST. AS SHOWN ON BWSC G.I.S. MAPS - RIM=152.52 INVERT=143.22 (BOSTON CITY BASE)

CONSTRUCTION BENCHMARK: UP '378/2'  
SPIKE SET IN UTILITY POLE No. '378/2' LOCATED AT THE FRONT LEFT PROPERTY CORNER OF No. 6 WELD ST. - EL.=149.26 (BCB)

**ZONING CLASSIFICATION**

ROSLINDALE NEIGHBORHOOD DISTRICT  
RESIDENTIAL SUBDISTRICT 2F-5000  
GREENBELT PROTECTION OVERLAY DISTRICT  
ARTICLE 67 - TABLE C - MAP 10A-10B

**DIMENSIONAL REQUIREMENTS**

SINGLE-FAMILY LOT AREA	REQUIRED 5,000 SF	PROPOSED 5,206 SF
FRONTAGE	50 FT	60.0 FT
LOT WIDTH	50 FT	54.1 FT
FRONT YARD	20 FT	20.0 FT
SIDE YARD	10 FT	10.1 FT
REAR YARD	40 FT	43.5 FT
G.F.A.	---	2,550 SF
F.A.R.	0.5	0.489
HEIGHT	35	2.0
STORIES	2.5	SEE ARCH PLANS
OPEN SPACE	1,750 SF	3,117 SF
PARKING SPACES	2 PER UNIT	2 SPACES

**FIRST STORY CALCULATION**

AVERAGE GRADE AT BUILDING PERIMETER			FIRST STORY CALCULATION	
FRONT	GRADE	LENGTH (FT)	FIRST FLOOR ELEVATION	159.50
	150.30	19.25	AVERAGE GRADE ELEVATION	154.31
	156.50	22.25	BASEMENT FLOOR ELEVATION	150.63
RIGHT	156.35	31.00	1ST FLOOR - BASEMENT FLOOR	
			159.50 - 150.63 = 8.87	
REAR	155.80	42.84	1ST FLOOR - AVG GRADE	
			159.50 - 154.31 = 5.19	
LEFT	153.30	7.00	AVG GRADE - BASEMENT FLOOR	
	150.75	25.50	154.31 - 150.63 = 3.68	
TOTAL	-	147.84	MAXIMUM ABOVE GRADE	
			5.19 / 8.87 = 0.5851 < 65% (MAX)	
			MINIMUM BELOW GRADE	
			3.68 / 8.87 = 0.4149 > 35% (MIN)	
PRODUCT / PERIMETER = AVERAGE GRADE			THE BASEMENT FLOOR TO FIRST FLOOR IS NOT THE FIRST STORY.	
22,813.93 / 147.84 = 154.31				
AVERAGE GRADE = 154.31±				

**LEGEND**

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▽ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- SPLASH BLOCK
- ☆ LIGHT POLE (LP)
- ☆ PROPOSED LAMP POST (LAMP)
- UTILITY POLE (UP)
- UTILITY POLE w/ LIGHT (UP/LP)
- HAND HOLE (HH)
- GC VERTICAL GRANITE CURB (GC)
- SGE SLOPED GRANITE EDGING (SGE)
- BB BITUMINOUS CONCRETE BERM (BB)
- CCB CAPE COD BERM (CCB)
- CC PRECAST CONCRETE CURB (CC)
- EP EDGE OF PAVEMENT (EP)
- SIGN

PLAN REFERENCE:  
SUFFOLK COUNTY REGISTRY  
PLAN No. 304 OF 2009  
BOOK 2425 PAGE 423  
BOOK 1819 PAGE END

PLAN REFERENCE:  
MASSACHUSETTS LAND COURT  
PLAN No. 15716-A  
CERT. No. 33677

ASSESSOR'S REFERENCE:  
PARCEL 20-05174-000  
MAP No. 20012

CITY STREET LAYOUTS:  
WALTER STREET L-3405  
WALTER STREET L-3406  
WALTER STREET L-3873  
WALTER STREET L-3874

CITY FIELD NOTES:  
BOOK 1270 PAGE 10-17  
BOOK 1211 PAGE 54-59

BWSC PLANS:  
WATER & SEWER G.I.S. MAPS  
BWSC PLAN No. A6-24  
BWSC PLAN No. A41-38  
BWSC PLAN No. A54-84  
BWSC PLAN No. H-387  
BWSC PLAN No. H-1816  
BWSC PLAN No. Z02-84

OWNER:  
JACKLYN B. HOGLUND  
6 WELD STREET  
ROSLINDALE, MA 02131

APPLICANT:  
CAD BUILDERS, LLC  
200 REVERE STREET  
CANTON, MA 02021

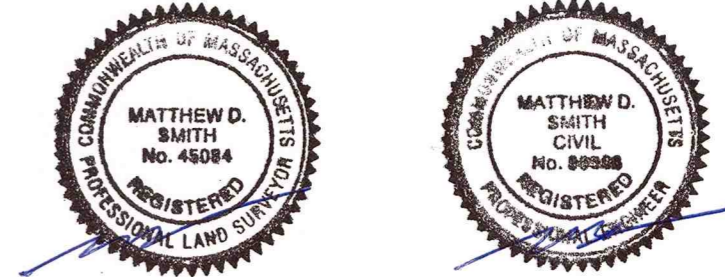
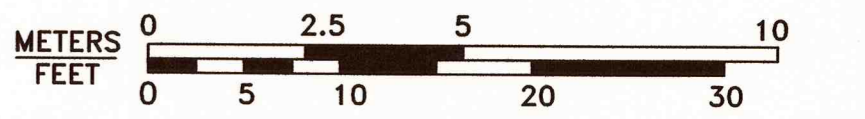
RECORD DEED REFERENCE:  
SUFFOLK COUNTY REGISTRY  
BOOK 54831 - PAGE 77

PHONE:  
ANTHONY DILETZIA  
617-828-2312  
CLAUDIO DILETZIA  
617-828-2311

RECORD PLAN REFERENCE:  
SUFFOLK COUNTY REGISTRY  
BOOK 5774 - PAGE 206

**BUILDING PERMIT PLAN**  
**4 WELD STREET - LOT D**  
**BOSTON, MASS.**  
(ROSLINDALE - 02131-1039)

SCALE: 1"=10'  
DECEMBER 28, 2015  
NORWOOD ENGINEERING CO., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
1410 ROUTE ONE, NORWOOD, MA 02062  
PHONE: 781-762-0143 FAX 781-762-8595



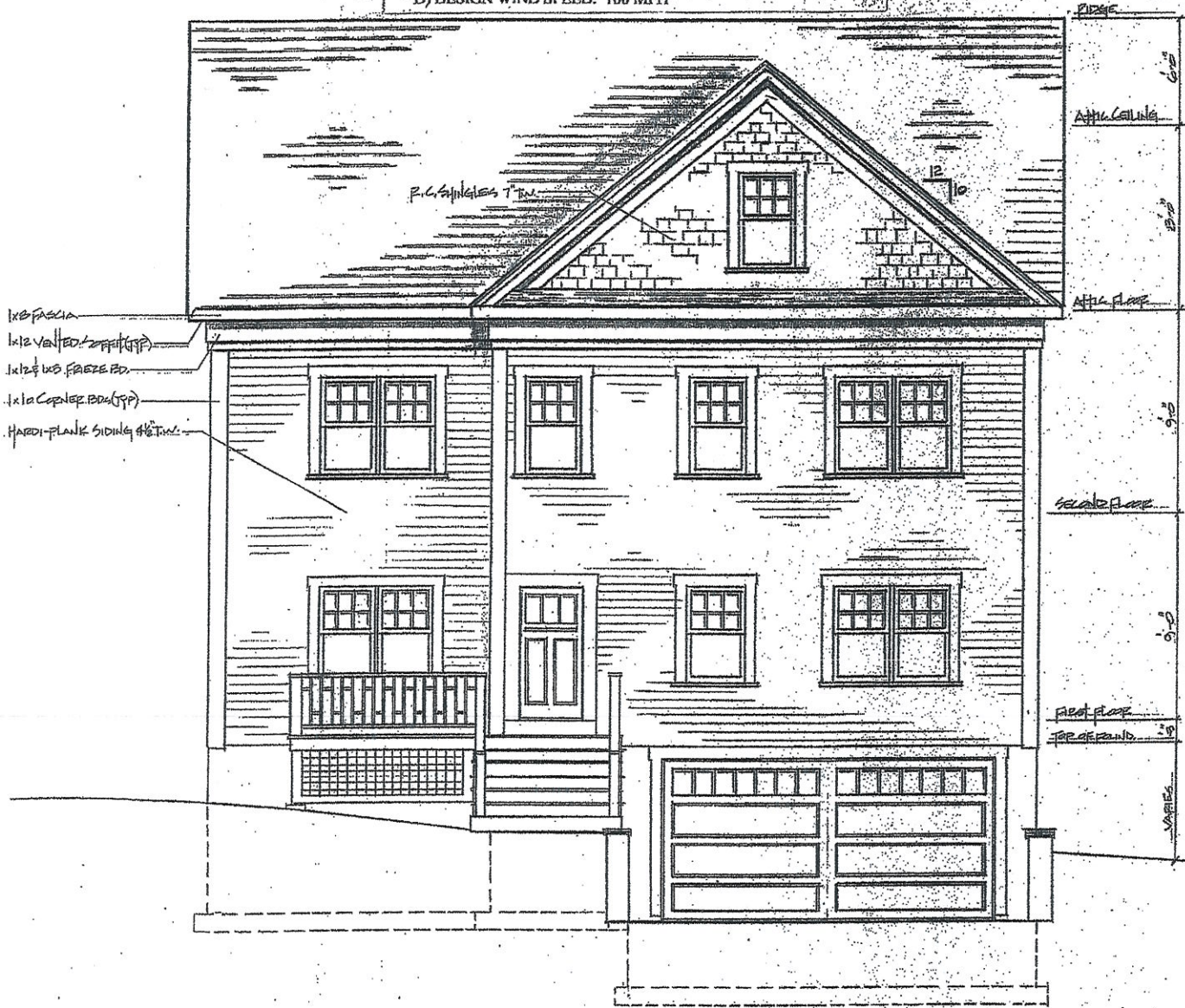
**REVISIONS**

NO.	DATE	DESCRIPTION

6843-37-BPP.DWG

DESIGN CRITERIA

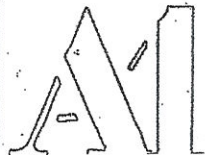
1. APPLICABLE BUILDING CODE MASSACHUSETTS 6<sup>TH</sup> EDITION
2. LOADS
  - A) DEAD LOADS: 1) ROOF 10 PSF  
2) FLOOR 15 PSF
  - B) LIVE LOADS: 1) FIRST FLOOR 40 PSF  
2) SECOND FLOOR 30 PSF  
3) ATTIC AREAS 20 PSF
  - C) GROUND SNOW LOAD: 40 PSF
  - D) DESIGN WIND SPEED: 100 MPH



FRONT ELEVATION

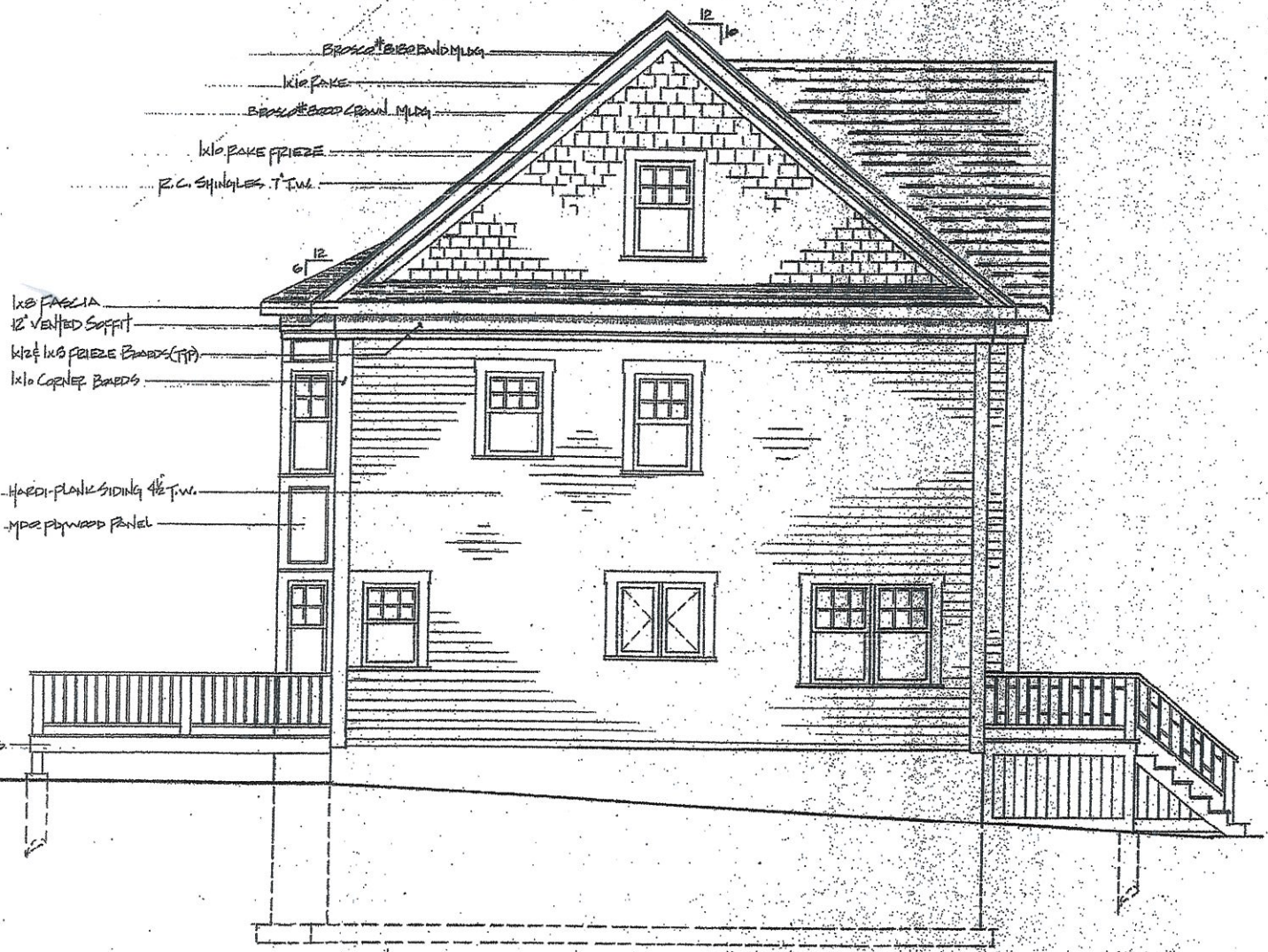
DATE: 25 MARCH 2013  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. YEOMANS  
 PLAN: 2600013

PROPOSED RESIDENCE  
 43 GASLIGHT STREET  
 NEEDHAMDALE, MA



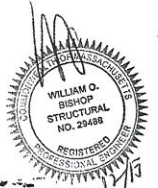
Edward H. Yeomar  
 43 Gaslight Lane  
 N.Easton, MA, 023  
 508.238.3873

LEFT SIDE ELEVATION



DATE: 2/21/2013  
 SCALE: 1/8" = 1'-0"  
 DWN: E.H. YEOMAR  
 PLAN: 2013.01

PROPOSED RESIDENCE  
 4 WELD STREET  
 ROSLINDALE, MA



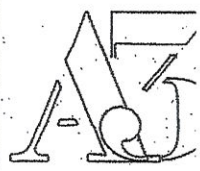
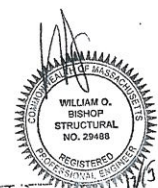
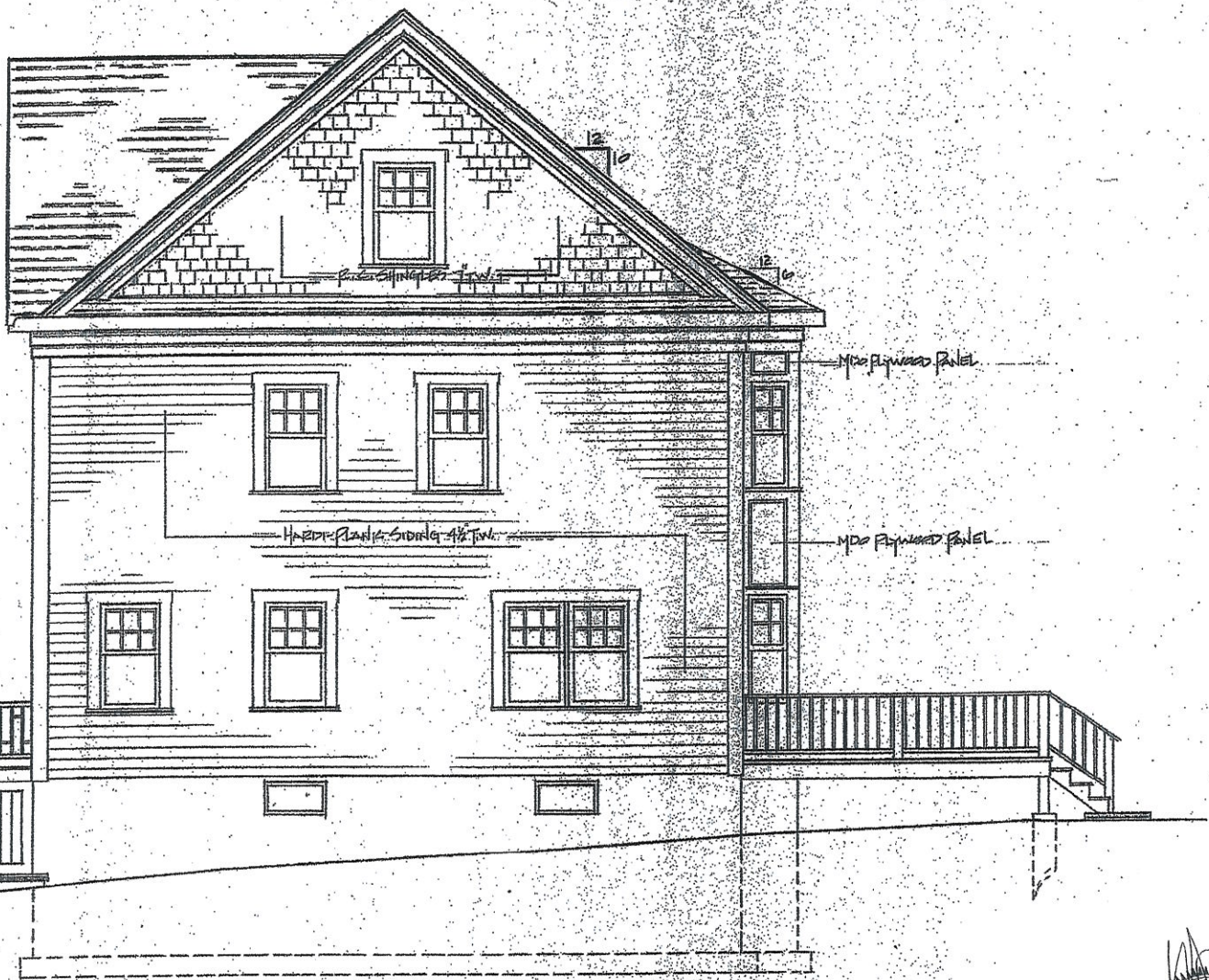
AG

43 Gaslight Lane  
N. Easton, MA, 0235  
508.238.3873

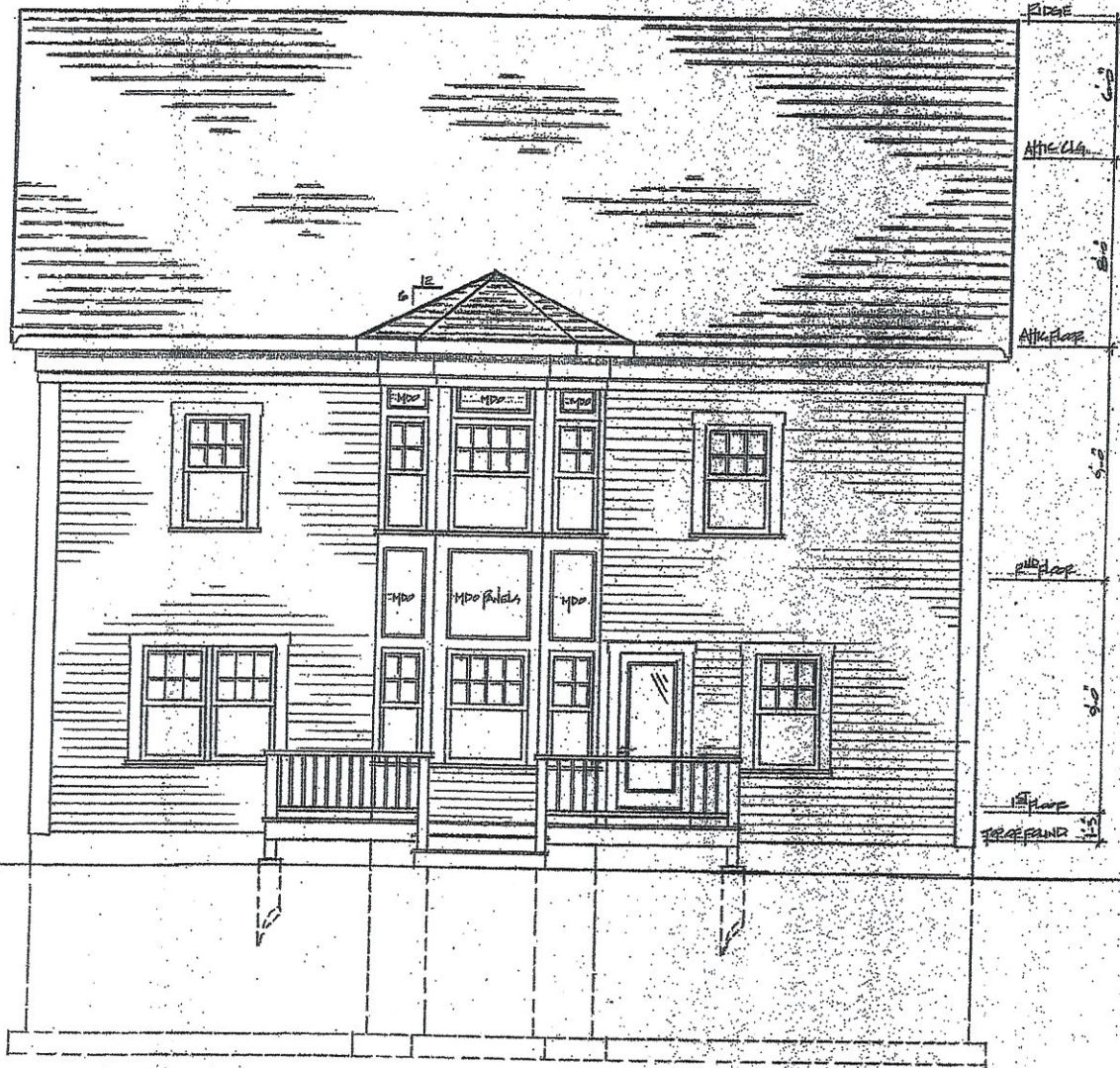
RIGHT SIDE ELEVATION

DATE: 28 MAR 2013  
SCALE: 1/4" = 1'-0"  
DWN: E.L. JOHNSON  
PLAN: 200313

PROPOSED RESIDENCE  
4 WELLS STREET  
ROSLINDALE, MA



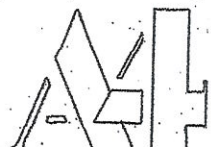
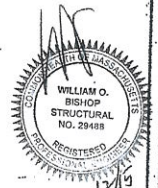
Edward H. Yeoman  
43 Gaslight Lane  
N.Easton, MA, 023:  
508.238.3873



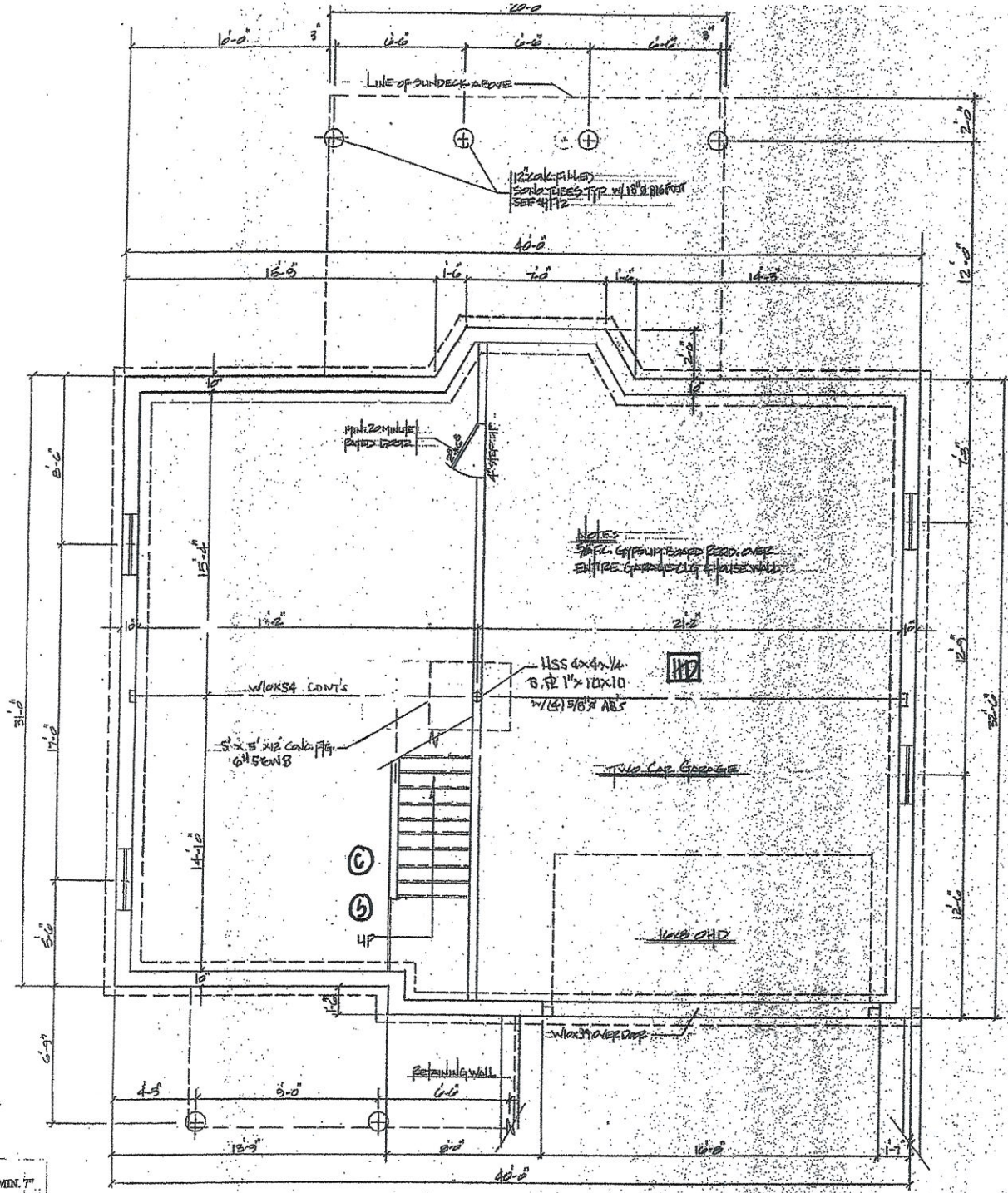
REAR ELEVATION

DATE: 28 March 2013  
SCALE: 1/4" = 1'-0"  
DWN: E.H. Yeoman  
PLAN: 2/28/13

Proposed Residence  
A WILD STREET  
ROSLINDALE, MA



FOUNDATION PLAN



NOTES:  
 SPEC. CONCRETE FLOOR OVER  
 ENTIRE GARAGE & HOUSE WALLS

HSS 6x4x1/4  
 8.12 1" x 10x10  
 w/ (4) 5/8" A.B.S.

WORKS CONT'S  
 5'-0" x 15'-0" CONCR. FLOOR  
 6" REINFC.

TRUCK GARAGE

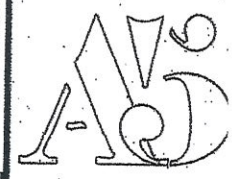
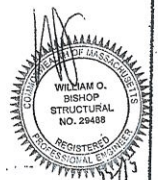
HOUSE

RETAINING WALL

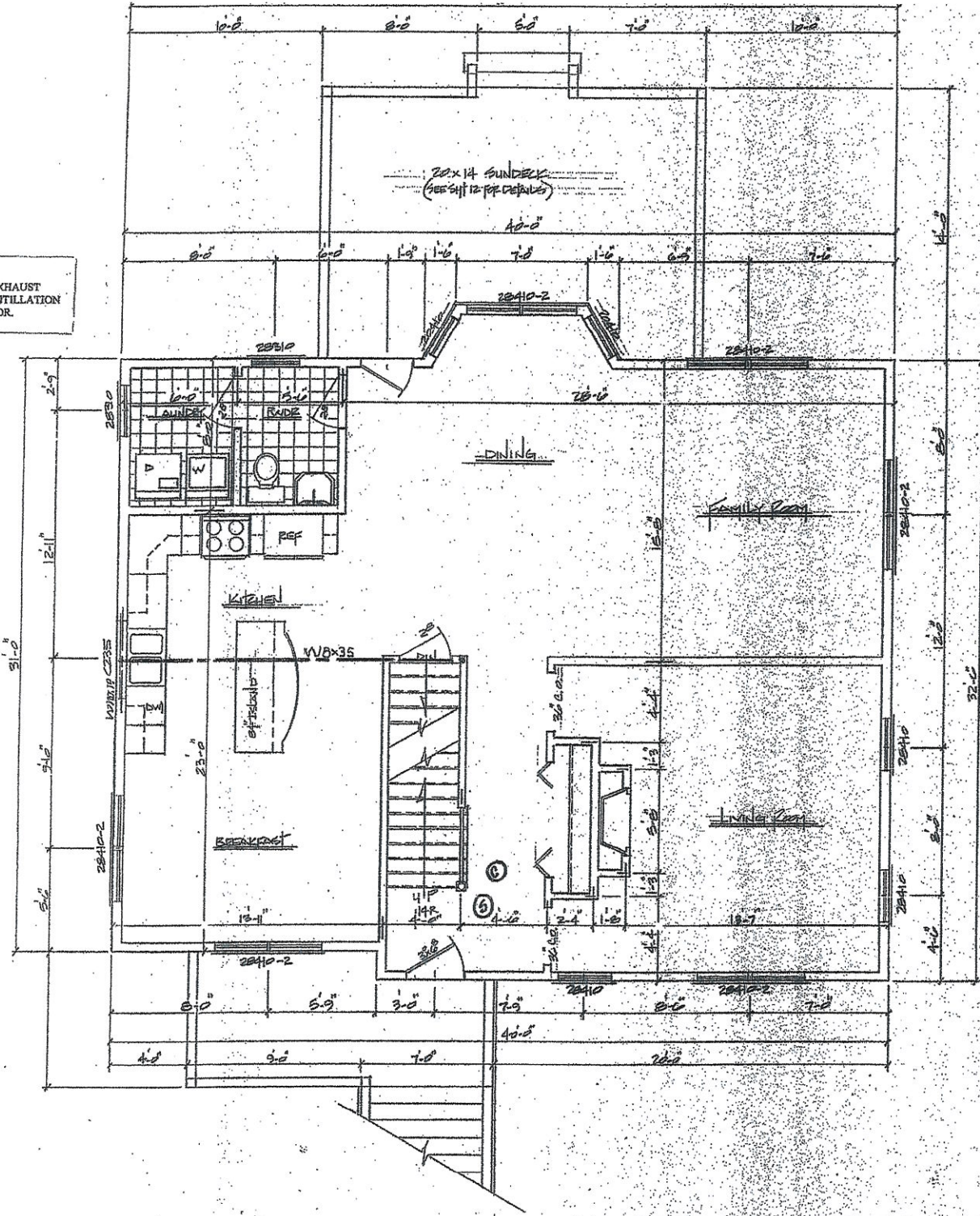
NOTE:  
 USE 5/8x12" ANCHOR BOLTS EMBEDDED MIN. 7"  
 INTO CONCRETE WITH SIMPSON BP5578-3  
 BEARING PLATES. BOLTS SET 12" FROM EACH  
 CORNER AND 48" OC IN FIELD

DATE: 28 MARCH 2015  
 SCALE: 1/8" = 1'-0"  
 DWN: R.H. YOUNG  
 PLAN: 2008-0115

PROPOSED RESIDENCE  
 4 WELD STREET  
 FOSLINDALE, MA



**NOTE:**  
 ALL BATHROOM FANS, KITCHEN EXHAUST  
 FAN AND MECHANICAL ROOM VENTILLATION  
 MUST BE VENTED TO THE EXTERIOR.



FIRST FLOOR PLAN

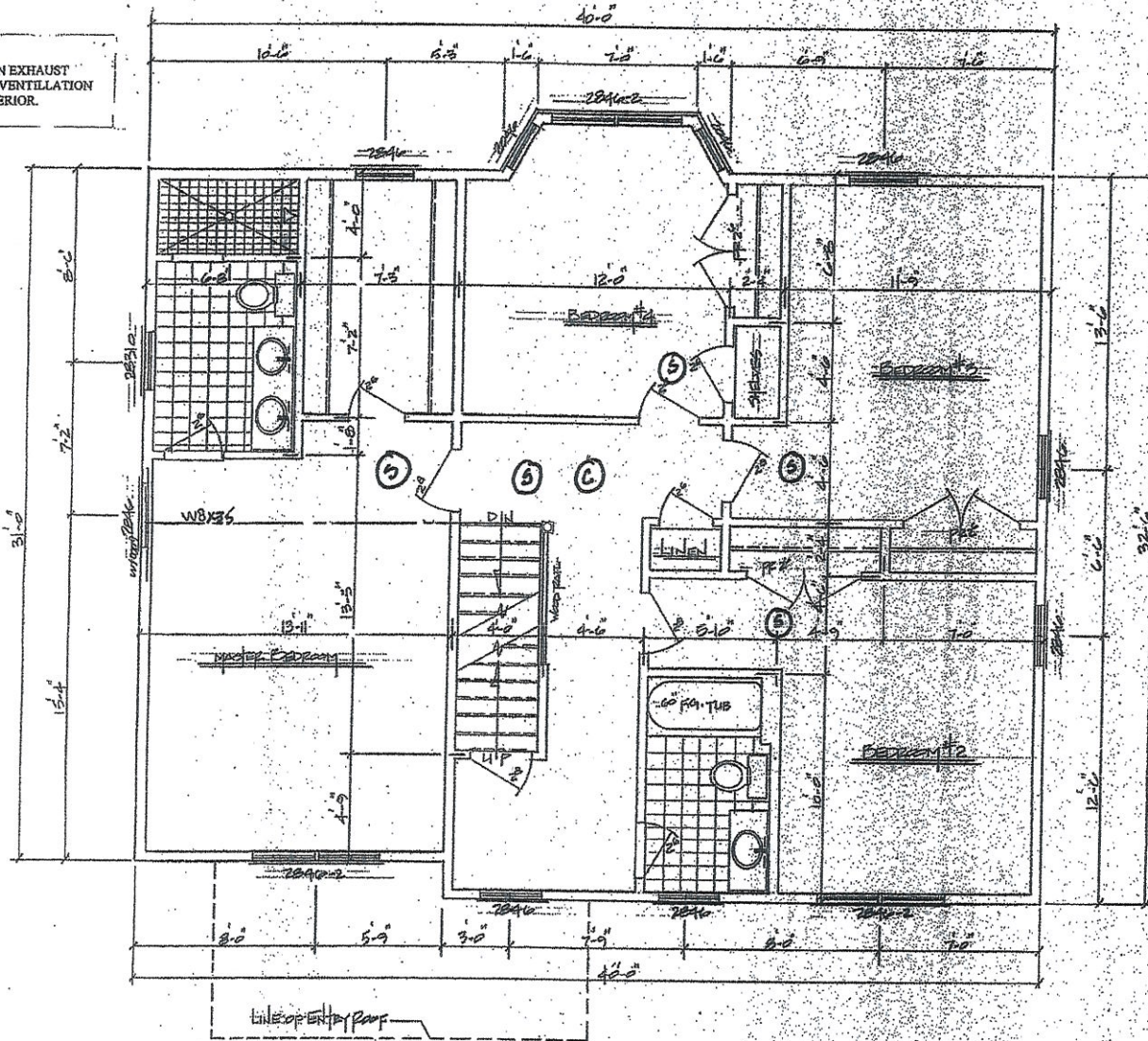
DATE: 2/21/2013  
 SCALE: 1/8" = 1'-0"  
 DWN: EBT, Yonmans  
 PLAN: 2000013

PREPARED: RESIDENTS  
 14 WOOD STREET  
 RESUNDALS, MA



Edward H. Yeomans  
 43 Gaslight Lane  
 N. Easton, MA, 02356  
 508.238.3873

NOTE:  
 ALL BATHROOM FANS, KITCHEN EXHAUST  
 FAN AND MECHANICAL ROOM VENTILATION  
 MUST BE VENTED TO THE EXTERIOR.



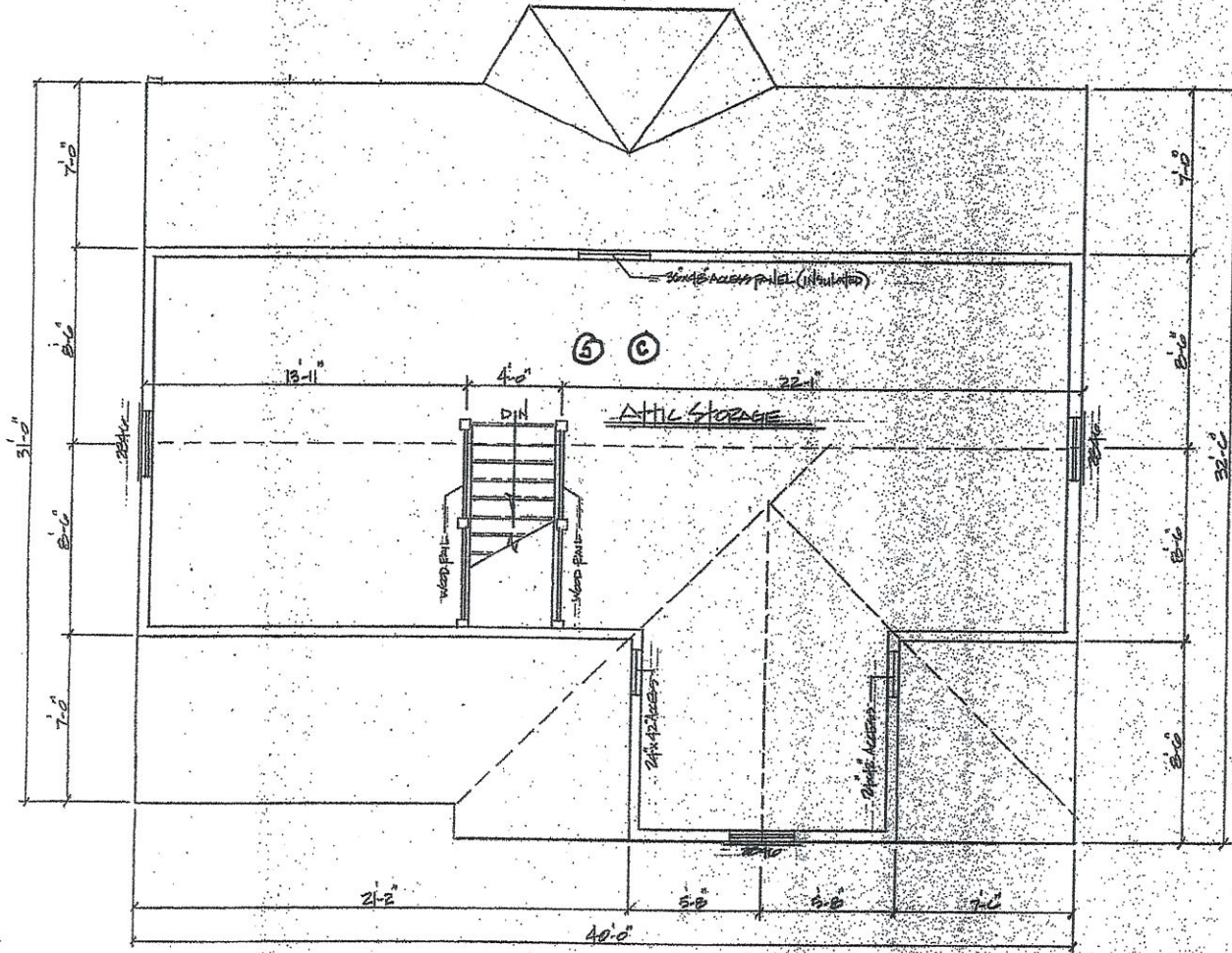
SECOND FLOOR PLAN

DATE: 22 MARCH 2012  
 SCALE: 1/8" = 1'-0"  
 DWN: ED. YEOMANS  
 PLAN: 220212-13

PREPARED: RESIDENTS  
 4 WELD STREET  
 ROSLINDALE, MA



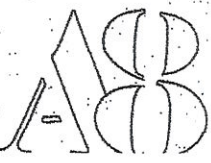
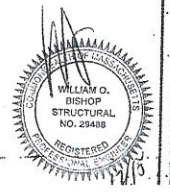




~~EHY~~  
~~PLAN~~

DATE: 28 March 2013  
 SCALE: 1/8" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 20000113

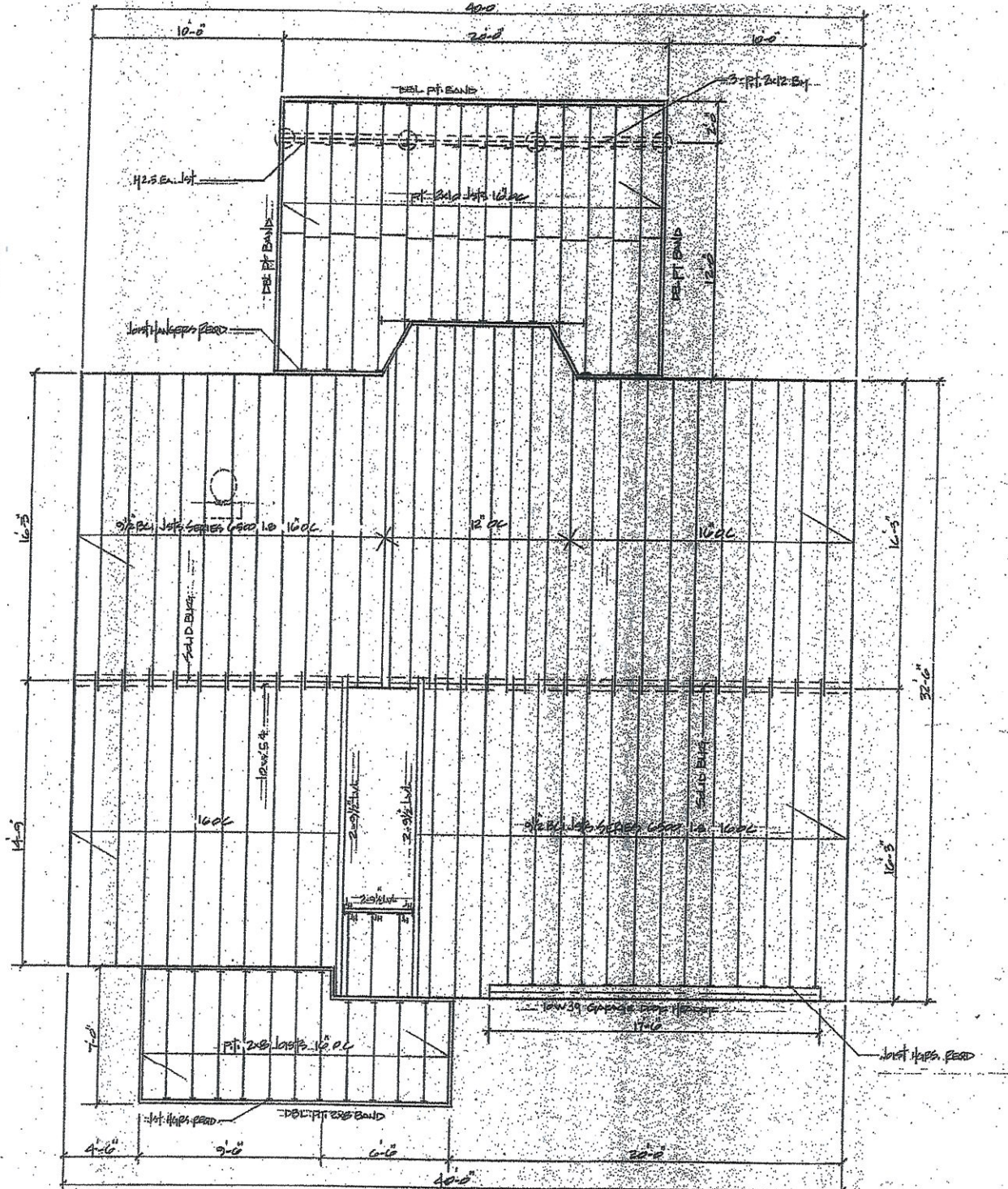
PROPOSED RESIDENCE  
 4 WILD STREET  
 RESINDALE, MA



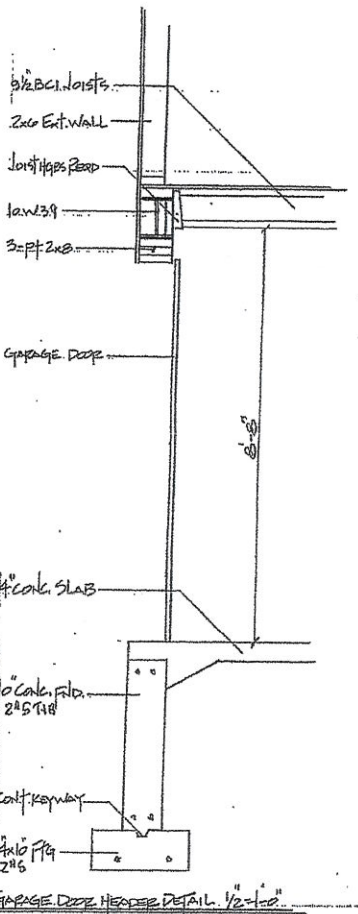
FIRST FLOOR PLAN

DATE: 25 November 2015  
 SCALE: AS NOTED  
 DWN: E.H. YEOMANS  
 PLAN: 2000-15

PROPOSED RESIDENCE  
 4 WELLS STREET  
 REDUNDALE, MA



BCI joists must be installed and used in accordance with the Boise EWP installation guide, building codes, and to the extent not inconsistent with the Boise EWP installation guide, usual and customary building Practices and standards.



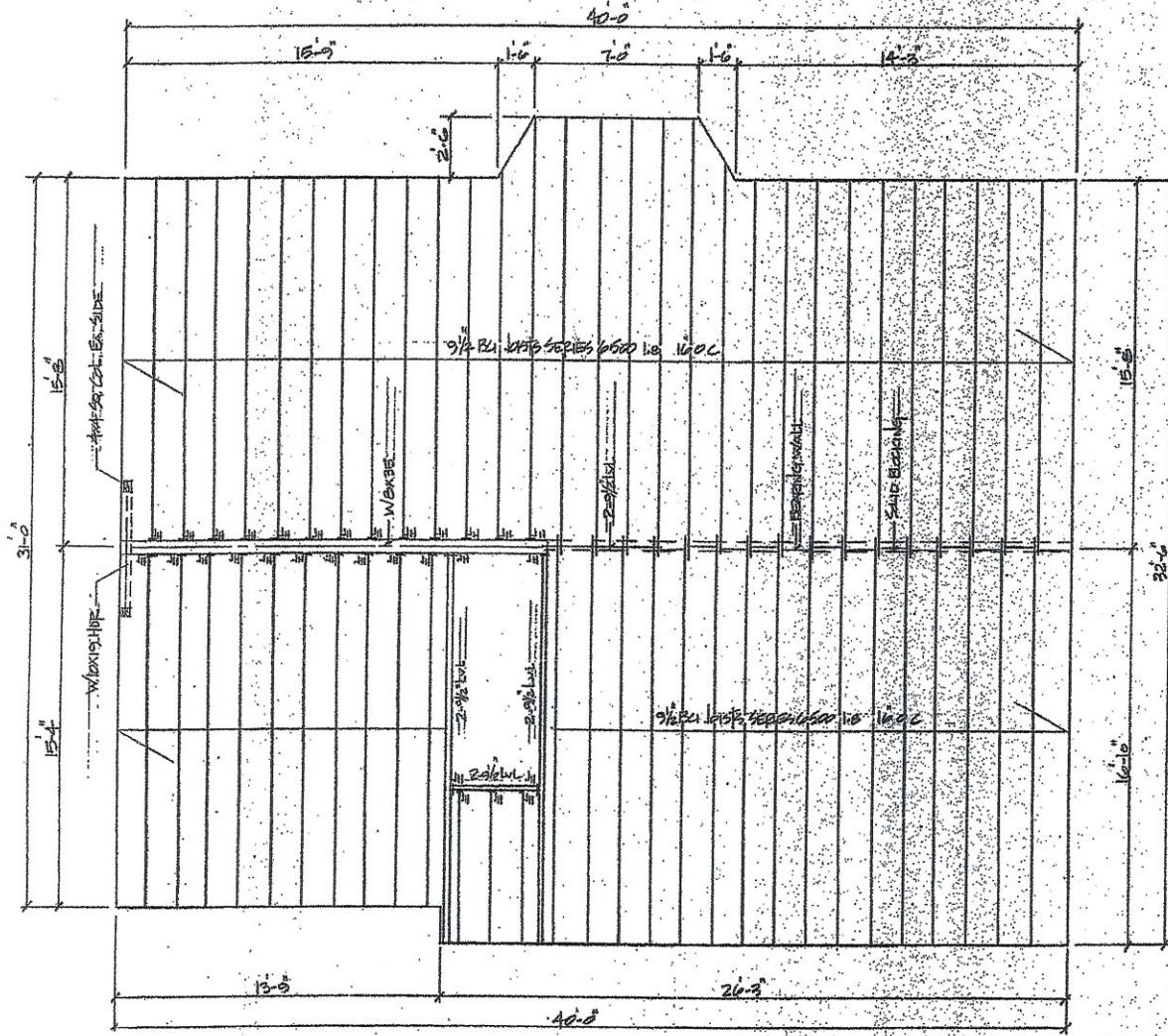
FIRST FLOOR FINISHING PLAN 1/4" = 1'-0"

**WALL & FLOOR FASTENING**

K PLYWOOD WALL SHEATHING: 1<sup>ST</sup> FLOOR 8d SPIRAL @ 3" OC EDGES-12" FIELD

2<sup>ND</sup> & FL. 8d SPIRAL @ 6" OC EDGES-12" FIELD

T&G PLYWOOD FLOORS: 1<sup>ST</sup>, 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR 8d SPIRAL 6" OC EDGES-12" FIELD  
 FL400 CONSTRUCTION ADHESIVE OR EQUAL REQUIRED  
 AT ALL PLYWOOD TO JOIST LOCATIONS.



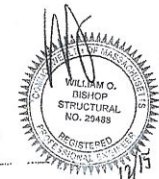
SECOND FLOOR AND ATTIC

Edward H. Yeomans  
 43 Gaslight Lane  
 N. Easton, MA, 02356  
 508.238.3873

SECOND FLOOR & ATTIC FLOOR FRAME

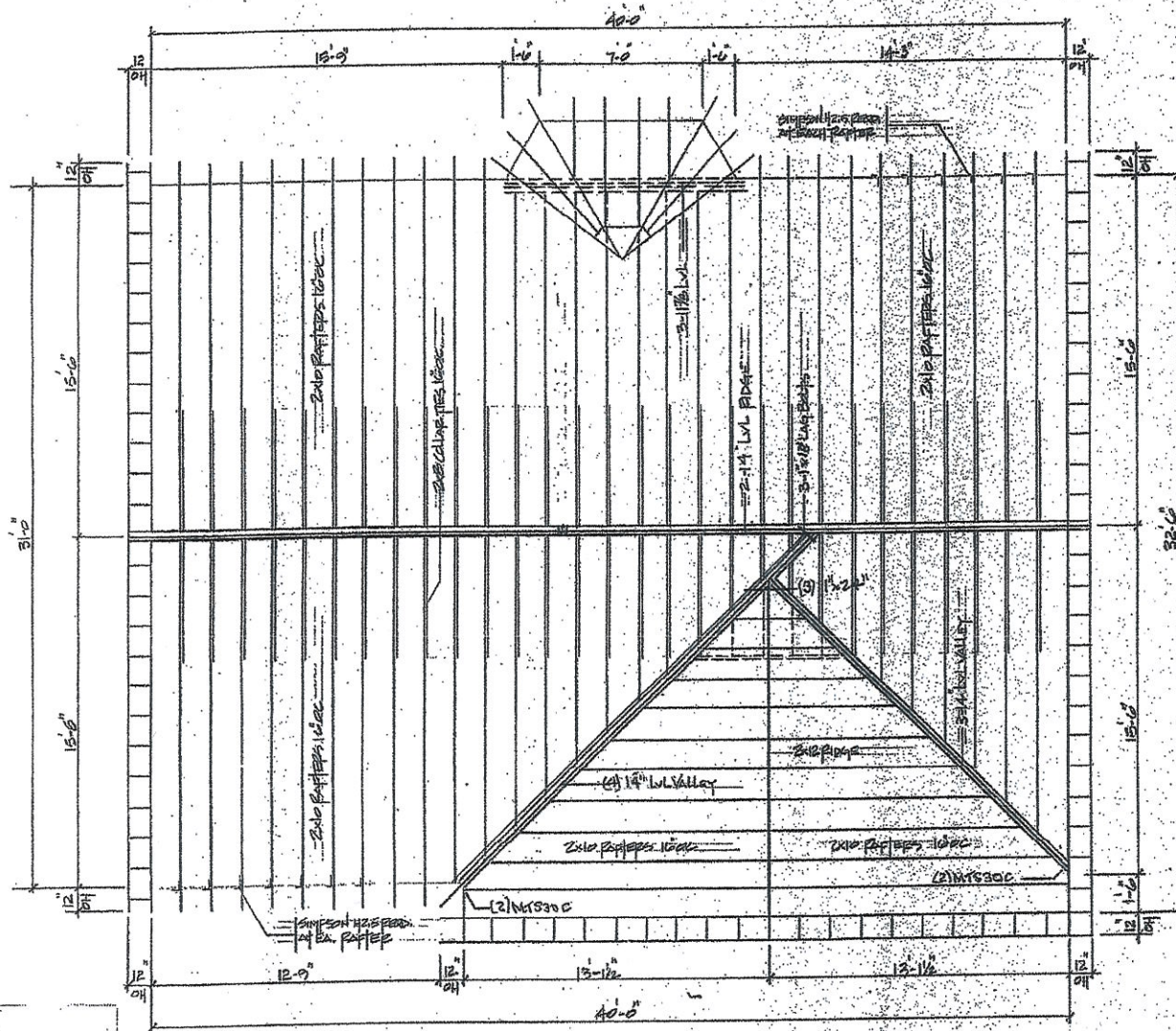
DATE: 23 MARCH 2013  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: YEOMANS  
 PLAN: 2002-13

PROJECT: RESIDENCE  
 # WELD STREET  
 BOUNDARY, MA



**ROOF FASTENING**

CDX PLYWOOD ROOF DECK: 8d SPIRAL @ 3" OC EDGES-12" FIELD  
 @ 3" OC EDGES-12" FIELD  
 @ ALL 4' EDGES RIDGE, RAFTER ENDS

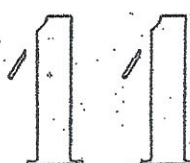
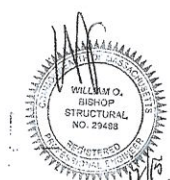


**NOTE:**

Simpson H2.5 hurricane ties req'd. at each rafter seat cut  
 Simpson joist hangers req'd. where indicated on plans  
 Simpson LSTA 12 strap ties req'd. at each rafter to ridge conn.  
 10-12d comm.nails req'd at ea. Tie to rafter connection

DATE: 25 May 2013  
 SCALE: 1/4" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 2502-13

PROPOSED RESIDENCE  
 4 WILDSHIRE  
 BOSTONDALE, MA



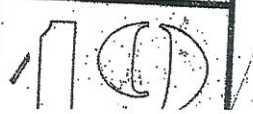
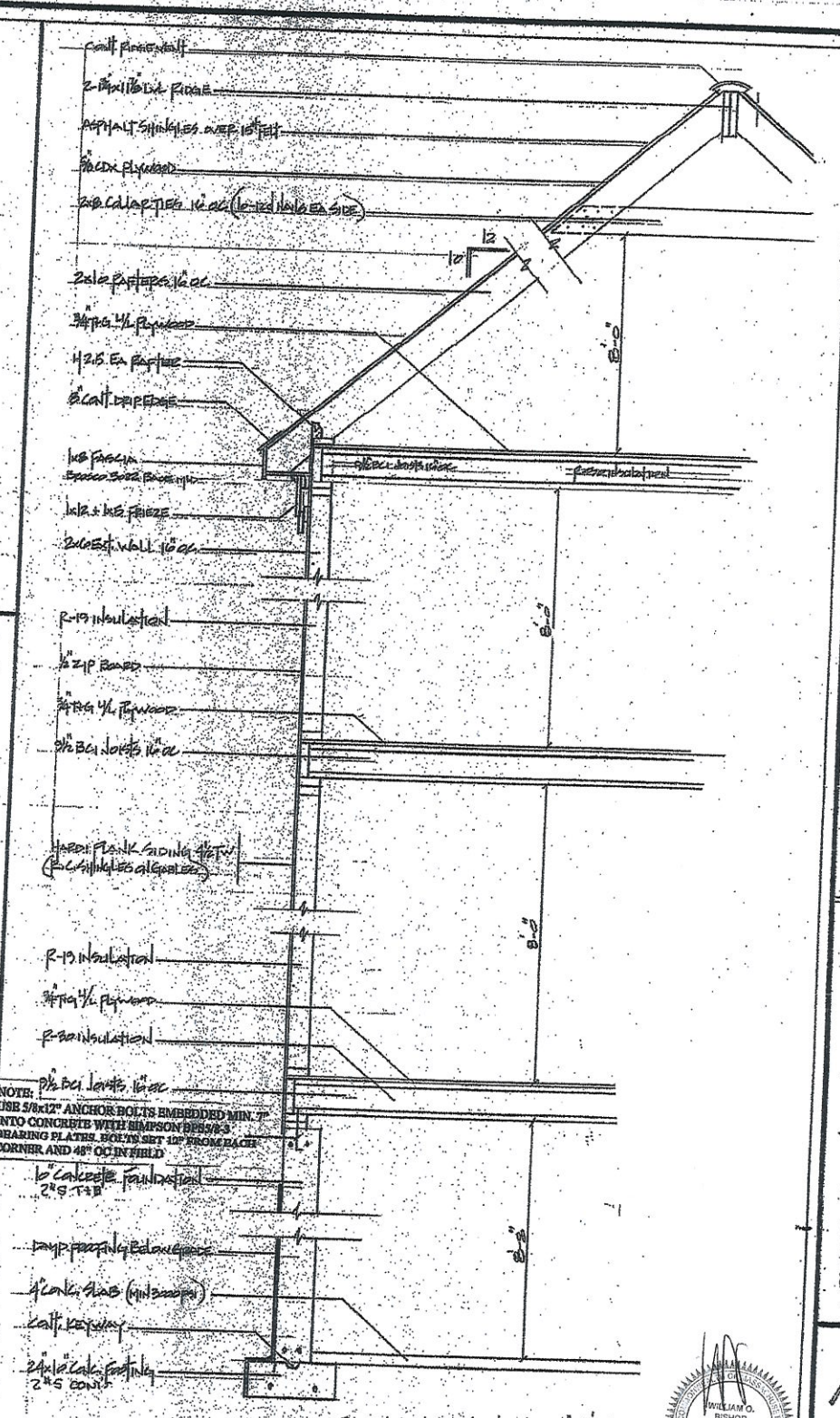
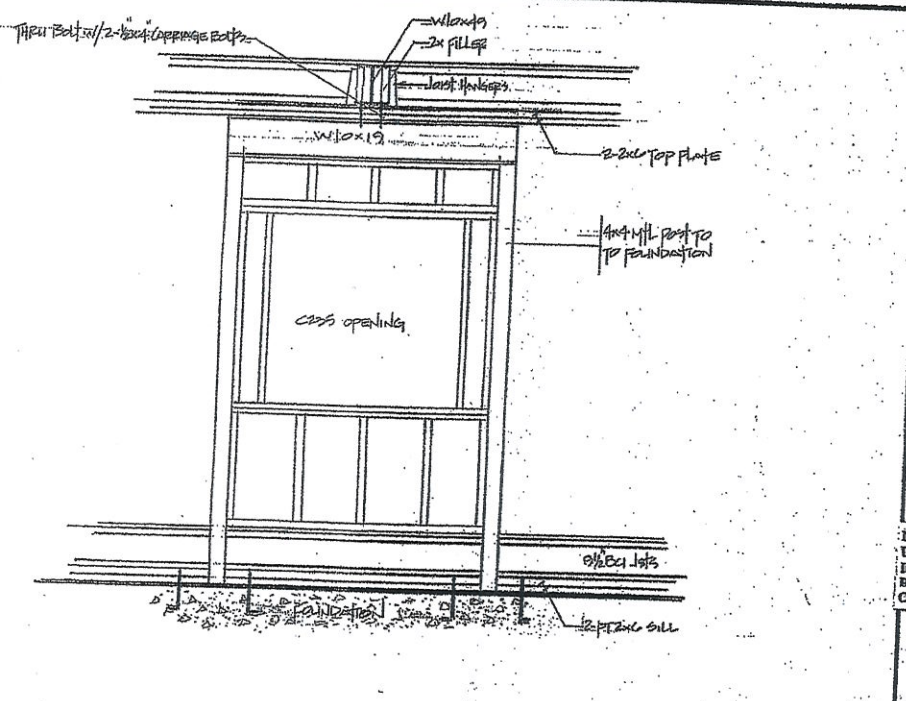
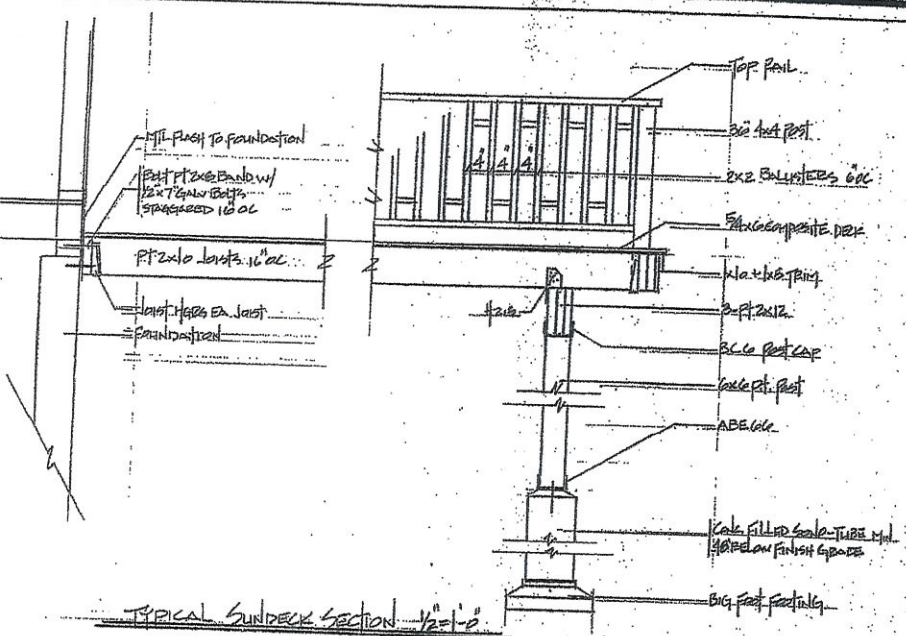
ROOF FRAMING

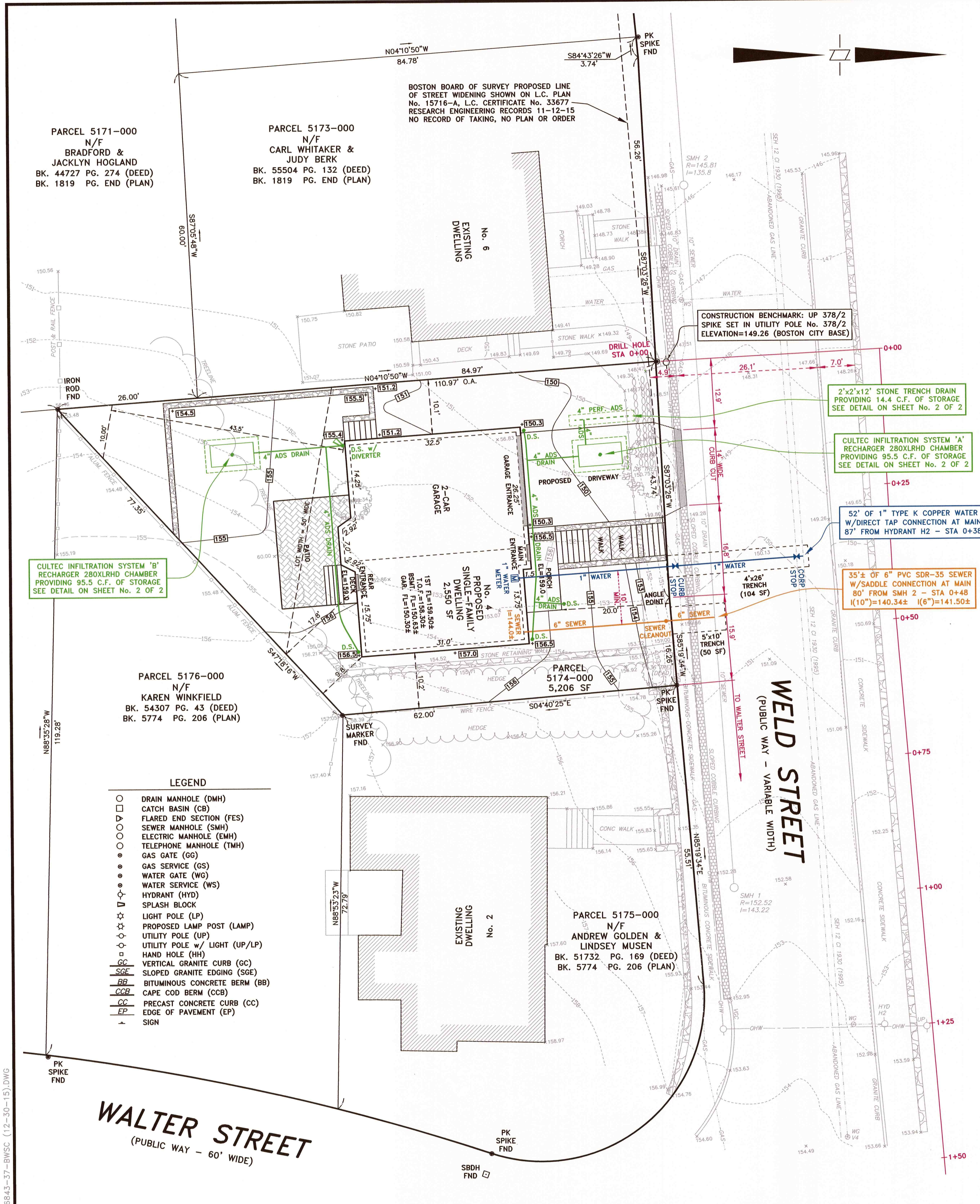
Edward H. Yeomans  
 43 Gaslight Lane  
 N. Easton, MA, 02356  
 508.238.3873

SECTIONS

DATE: FEB 2012  
 SCALE: 1/2" = 1'-0"  
 DWN: E.H. Yeomans  
 PLAN: 20000212

PROPOSED RESIDENCE  
 4 WELLS STREET  
 RESHINDALE, MA





**WALTER STREET**  
(PUBLIC WAY - 60' WIDE)

**WELD STREET**  
(PUBLIC WAY - VARIABLE WIDTH)

**GENERAL NOTES**

THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

THE EXISTING WATER AND SEWER SERVICE LOCATIONS SHOWN ARE FROM AVAILABLE BWS RECORD DATA AND ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE THE EXISTING WATER AND SEWER LINES. IF THE EXISTING SEWER SERVICE IS TO BE USED THE CONTRACTOR SHALL VISUALLY INSPECT THE LINE BY EXCAVATION AND OR BY VIDEO OF THE PIPE AS REQUIRED BY THE COMMISSION.

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWS FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

THE CONTRACTOR SHALL SUPPLY THE COPPER SERVICE AND SHALL PERFORM THE TAP AS PART OF HIS CONTRACT. NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

IT IS REQUIRED THAT A DYE TEST WILL BE PERFORMED BY THE BOSTON WATER AND SEWER COMMISSION INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED ASBUILT PLANS.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND APPROVED BY THE CONTROLLING AUTHORITY.

ALL NEW CONSTRUCTION WILL REQUIRE A ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

IF PLUMBING FIXTURES ARE TO BE INSTALLED IN THE BASEMENT THEY WILL REQUIRE THE PROTECTION OF A BACKWATER VALVE. (SEE DETAIL) IT IS RECOMMENDED THAT DIGGING WITHIN ONE FOOT OF THE MAIN BE DONE WITH HAND TOOLS ONLY.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

ANY PROPOSED GAS, ELECTRIC, STEAM, TELEPHONE, CABLE OR OTHER UTILITY LINES ARE TO BE LOCATED AND SIZED BY OTHERS. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

**PLAN NOTES**

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY NORWOOD ENGINEERING BETWEEN OCTOBER, 2015 AND DECEMBER, 2015 AND RESEARCH INFORMATION FROM THE CITY OF BOSTON ENGINEERING AND ASSESSING DEPARTMENTS, THE SUFFOLK AND NORFOLK COUNTY REGISTRY OF DEEDS, THE MASSACHUSETTS LAND COURT AND THE BOSTON WATER AND SEWER COMMISSION.

SEE BOSTON BOARD OF SURVEY PROPOSED LINE OF STREET WIDENING OF WELD STREET SHOWN ON L.C. PLAN No. 15716-A, (L.C. CERTIFICATE No. 33677). NORWOOD ENGINEERING DID RESEARCH AT THE CITY OF BOSTON ENGINEERING RECORDS DEPARTMENT ON NOVEMBER 12, 2015 AND FOUND NO RECORD OF TAKING, NO ACCEPTANCE PLAN OR ORDER OF TAKING.

SEE PLAN PREPARED BY NORWOOD ENGINEERING COMPANY ENTITLED "BUILDING PERMIT PLAN, 4 WELD STREET - LOT D, BOSTON, MASS. (ROSLINDALE - 02131-1039)" DATED DECEMBER 28, 2015.

SEE ARCHITECTURAL PLANS PREPARED BY EDWARD H. YEOMANS, 43 GASLIGHT LANE, NORTH EASTON, MASS. 02356 (PHONE: 508-238-3873).

THE PROJECT WAS ENTERED INTO THE COBUCS DATA BASE ON DECEMBER 28, 2015 AND THERE WERE NO CONFLICTS WITH ANY SCHEDULED COBUCS PROJECTS.

PROPOSED USAGE: 4 BEDROOM SINGLE-FAMILY DWELLING (4 BEDROOMS x 110 GAL./BEDROOM/DAY = 440 GAL./DAY)

THE EXCAVATION AREA FOR THE PROPOSED WATER AND SEWER SERVICE CONNECTIONS IN WELD STREET, A PUBLIC WAY, IS 154 SQUARE FEET.

**STORMWATER INFILTRATION NOTES**

THE BOSTON WATER AND SEWER COMMISSION REQUIRES THE PROPOSED INFILTRATION SYSTEMS TO CAPTURE A STORM WATER VOLUME ON THE LOT EQUIVALENT TO NO LESS THAN 1.0 INCHES ACROSS THE IMPERVIOUS AREA PROPOSED ON THE LOT.

THE POST-CONSTRUCTION IMPERVIOUS AREA IS 2,328 SQUARE FEET. TO MEET THE COMMISSION'S REQUIREMENTS THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A MINIMUM STORMWATER STORAGE CAPACITY OF 194 CUBIC FEET.

THE TOTAL STORMWATER STORAGE CAPACITY OF THE PROPOSED RECHARGE SYSTEMS, TWO (2) CULTEC RECHARGER 280XLRHD CHAMBERS (95.5 CF PER SYSTEM) AND A 12'x2'x2' STONE TRENCH DRAIN (14.4 CF) WILL PROVIDE 205.4 CUBIC FEET OF STORAGE (194.0 CF REQUIRED). SEE DETAILS ON SHEET 2 OF 2.

THE RECHARGE SYSTEMS WILL PROVIDE STORAGE FOR APPROXIMATELY 1.05 INCHES (1.0 INCHES REQUIRED) OF RAINFALL PER SQUARE FOOT FOR THE PROPOSED IMPERVIOUS AREA ON THE LOT.

**STORMWATER INFILTRATION CALCULATIONS**

**REQUIRED STORMWATER STORAGE VOLUME**  
VOLUME = PROPOSED IMPERVIOUS AREA x 0.08333 FEET  
(2,328 SF x 0.08333 FT = 193.992 CF) **194.0 CUBIC FEET**

**STORMWATER STORAGE VOLUME FOR CULTEC 280XLRHD CHAMBERS**  
280XLRHD CHAMBER VOLUME = 48.68 CUBIC FEET (FROM CULTEC)

**STORMWATER STORAGE VOLUME OF STONE FIELD**  
PROPOSED VOLUME = LENGTH x WIDTH x HEIGHT  
(10.0' x 5.92' x 3.46') = 204.83 CUBIC FEET

**PROPOSED STORAGE=(STONE VOLUME+CHAMBER VOLUME)xVOID FACTOR**  
(204.83 CF + 48.68 CF) x 0.3 = 46.85 CUBIC FEET

**STORMWATER STORAGE PER INFILTRATION SYSTEM**  
PROPOSED STORAGE = CHAMBER VOLUME + STONE VOLUME  
(48.68 CF + 46.85 CF) = 95.53 CF **95.5 CUBIC FEET**

**STORMWATER STORAGE VOLUME FOR STONE TRENCH DRAIN**  
PROPOSED STORAGE = LENGTH x WIDTH x DEPTH x VOID FACTOR  
(12 FT x 2 FT x 2 FT) x 0.3 = 14.40 CF **14.4 CUBIC FEET**

**TOTAL STORMWATER STORAGE CAPACITY PROVIDED**  
TOTAL STORAGE = SYSTEM A + SYSTEM B + TRENCH DRAIN  
(95.5 CF + 95.5 CF + 14.4 CF = 205.4 CF) **205.4 CUBIC FEET**

**PROPOSED VOLUME OF 205.4 CF > REQUIRED VOLUME OF 194.0 CF**

**ACROSS LOT = (STORAGE VOLUME / IMPERVIOUS AREA) x 12 (IN/SF)**  
(205.4 CF / 2,328 SF) x 12 (IN/FT) = 1.059 IN/SF

**PROPOSED 1.05 IN/SF > REQUIRED 1.0 IN/SF**

**MATERIAL SPECIFICATIONS**

WATER SERVICE - 1" TYPE K COPPER PIPE AND FITTINGS  
SEWER SERVICE - 6" SDR 35 PVC PIPE AND FITTINGS  
ROOF DRAINS - 4" ADS PIPE AND FITTINGS  
TRENCH DRAIN - 4" PERFORATED ADS PIPE  
RECHARGE SYSTEMS - CULTEC 280XLRHD CHAMBERS

**BENCHMARKS**

REFERENCE BENCHMARK: SMH '1'  
SMH '1' LOCATED IN FRONT OF 2 WELD ST. AS SHOWN ON BWS C.G.S. MAPS - RIM=152.52 INVERT=143.22 (BOSTON CITY BASE)

CONSTRUCTION BENCHMARK: UP '378/2'  
SPIKE SET IN UTILITY POLE No. '378/2' LOCATED AT THE FRONT LEFT PROPERTY CORNER OF No. 6 WELD ST. - EL.=149.26 (BCB)



**REVISIONS**

NO.	DESCRIPTION

**PWD USE ONLY**

CITY OF BOSTON PUBLIC WORKS DEPARTMENT  
APPROVAL OF SITE UTILITY/GRADING PLAN

Approving the relationship gradewise of the proposed building to the abutting public way(s) and DOES NOT consider the approval of new/modified curb cuts.

Apparent building projections over the public way?  Yes  No  
Any building projections over the public way, noted or otherwise, require additional permitting.

TODD M. LIMING, PE, Principal Civil Engineer DATE

**BWSC USE ONLY**

BOSTON WATER AND SEWER COMMISSION  
LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from B.W.S.C. prior to connection to B.W.S.C. facilities. Site Plans are valid for a period of one (1) year from date of approval.

JOHN P. SULLIVAN, JR. P.E., Chief Engineer DATE

**BACKWATER VALVE INSTALLATION**

APPROVAL: DATE:

All water, sewer and drain service connections to Boston Water and Sewer Commission facilities must be performed by a bonded drain layer licensed by the Boston Water and Sewer Commission.

**BWSC INSPECTIONS**

4 WELD STREET (LOT D) PROPOSED 4 BEDROOM DWELLING

G.S.A. No. \_\_\_\_\_ BWSC ACCOUNT No. \_\_\_\_\_  
WATER METER No. \_\_\_\_\_ WATER METER SIZE 5/8"  
ASSESSOR'S PARCEL No. 20-05174-000 LAND USE CODE R1

- ① 1" TYPE K COPPER WATER CONNECTION (STA 0+38)  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ② 5/8" WATER METER (INSIDE)  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ③ 6" PVC SDR-35 SEWER CONNECTION (STA 0+48)  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ④ SEWER CLEANOUT (STA 0+46)  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ④ SEWER DYE TEST  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ⑤ INFILTRATION SYSTEM A (CULTEC RECHARGER 280XLRHD CHAMBER)  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ⑥ STONE TRENCH DRAIN  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ⑦ INFILTRATION SYSTEM B (CULTEC RECHARGER 280XLRHD CHAMBER)  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_
- ⑧ OVERFLOW OUTLET FOR INFILTRATION SYSTEM B  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**RECORD INFORMATION**

DEED REFERENCE: SUFFOLK COUNTY REGISTRY BOOK 54831 - PAGE 77  
BWSC PLANS: WATER & SEWER G.I.S. MAPS  
BWSC PLAN No. A6-24  
BWSC PLAN No. A41-38  
BWSC PLAN No. A54-84  
BWSC PLAN No. H-387  
BWSC PLAN No. H-1816  
BWSC PLAN No. 202-84

**CONTACT INFORMATION**

OWNER: JACKLYN B. HOGLUND  
6 WELD STREET  
ROSLINDALE, MA 02131

APPLICANT: CAD BUILDERS, LLC  
200 REVERE STREET  
CANTON, MA 02021

CONTACTS:  
ANTHONY DILETZIA 617-828-2312  
CLAUDIO DILETZIA 617-828-2311

**BWSC SITE PLAN No. 4 WELD STREET - LOT D BOSTON, MASS. (ROSLINDALE - 02131-1039)**

SCALE: 1"=10' DECEMBER 29, 2015  
NORWOOD ENGINEERING CO., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
1410 ROUTE ONE, NORWOOD, MA 02062  
PHONE: 781-762-0143 FAX 781-762-8595

METERS 0 2.5 5 10  
FEET 0 5 10 20 30  
SHEET No. 1 OF 2 6843-37

PLANT LIST  
KEY QTY LATIN NAME COMMON NAME SIZE NOTES

TREES

CK	1	Cornus kousa	Kousa Dogwood	2-2.5" cal.	B&B
MD	1	Malus 'Donald Wyman'	Donald Wyman Crabapple	2-2.5" cal.	B&B
PS	2	Pinus strobus	White Pine	8-10' ht.	B&B
QR	1	Quercus rubra	Red Oak	3"-3.5" cal.	B&B
TO	6	Thuja occidentalis 'Smargd'	Arborvitae	6-7' ht.	B&B

SHRUBS

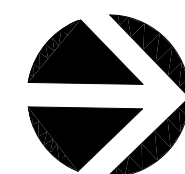
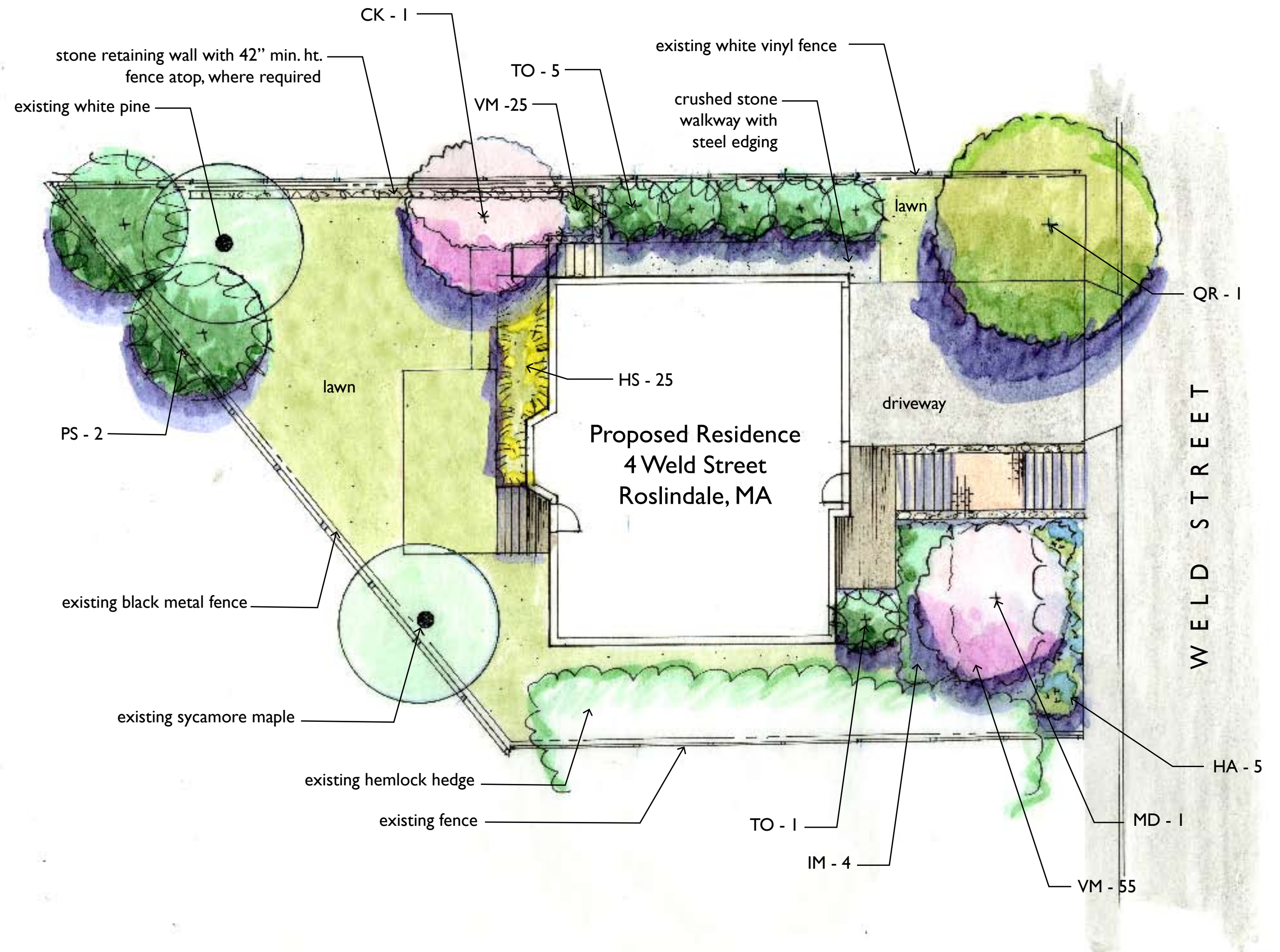
HA	5	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	
IM	4	Ilex meservae 'Blue Princess'	Blue Princess Holly	3-4' ht.	One shall be male

PERENNIALS/GROUNDCOVERS

HS	25	Hemerocallis 'Stella de Oro'	Daylily	1 gal.	Pots
VM	80	Vinca minor 'Sterling Silver'	Variiegated Myrtle	1 gal.	Pots

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the approval of the Landscape Architect.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



January 28, 2016

Anthony Delitizia  
200 Revere St  
Canton, MA02021

**RE:**

Permit Address: 4 Weld St  
Ward: 20  
Permit Application #: ERT555012

Attention Applicant:

The following information shall be provided to ISD to complete Building Permit review process:

- a) BRA design review in accordance with Article 67 Section 67-25 (Art. 29) and 67-28 Design Review and Design Guidelines.
- b) BWSC and DPW approvals.

Other information may be required

This information can be dropped off at our office with the above referenced application number. Thank you for your assistance.

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Luis Santana  
Plans Examiner  
Luis.santana@boston.gov