

RENOVATION /EXTENSION OF LIVING SPACE 2 FAMILY DWELLING

17 AKRON STREET, BOSTON. MA 02119

LOCATION MAP



<http://maps.bostonredevelopmentauthority.org/zoningviewer/>



GOOGLE EARTH

ASSESSOR'S REPORT

PARCEL ID:	1201389000
PROPERTY TYPE:	TWO FAMILY
CLASSIFICATION CODE:	0104 (RESIDENTIAL PROPERTY / TWO-FAM DWELLING)
LOT SIZE:	7,537 SQ FT

<https://www.cityofboston.gov/assessing/search/?pid=1201389000>

ZONING

ZONING DISTRICT : ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT : 3F-4000
SUBDISTRICT TYPE : THREE-FAMILY RESIDENTIAL
OVERLAYS: NEIGHBORHOOD DESIGN REVIEW
MAP NO. : 6A-6C
ARTICLE : 50 (TABLE)

<http://maps.bostonredevelopmentauthority.org/zoningviewer/>

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GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
- ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THE ARCHITECT SHALL BE NOTIFIED OF INCONSISTENCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH THE WORK.
- TAKE FIELD MEASUREMENTS BEFORE FABRICATION WORK TO ENSURE THAT COMPONENTS FIT TOGETHER PROPERLY.

GENERAL SYMBOLS

ROOM NAME	ROOM TAG
BREAK LINE	—
WINDOW	≡≡≡
DOOR	⤵
OBJECT ABOVE OR BELOW	—
COMBO - EXHAUST LIGHT	⊞
COMBO - SMOKE, CO DETECTORS	⊞
HEAT DETECTOR	⊞
SMOKE DETECTOR	⊞

UNIT	EXISTING LIVING SPACE (Sq. Ft.)	PROPOSED LIVING SPACE (Sq. Ft.)	COMMON AREA (Sq. Ft.)
1 st FLOOR (UNIT 1)	1,248	1,230	58
2 nd FLOOR (UNIT 2)	930	1,149	32
ATTIC (UNIT 2)	470	435	0
TOTAL	2,648	2,814	90

TABLE C: Roxbury Neighborhood District - Residential Subdistricts - Dimensional Regulations

	Lot Area, Minimum Per Stack Units Specified (Sq. Ft.)	Additional Lot Area for Additional Units (Sq. Ft.)	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum (Feet)		Front Yard Minimum Setback (Feet)	Side Yard Minimum Setback (Feet)	Rear Yard Minimum Setback (Feet)	Rear Yard Maximum Occupancy (Permitted)
						Stories	Feet				
R-4, 2009											
Units attached dwelling, row house Building, or Town House Building	2,000 for 2 units	2,000	25	25	35	3	35	50' L ₁ or 10'	30'	30'	30'
Any Other Dwelling or Use	4,000 for 1 or 2 units	2,000	40	40	35	3	35	50' L ₁ or 10'	30'	30'	30'
Existing	7,537 SF	N/A	33	79	0.4	2.5	42.0	2,903 SF	18.5	17.8	33.3
Proposed	7,537 SF	N/A	33	76	0.4	2.5	42.0	2,814 SF	18.5	17.8	33



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RENOVATION GUY LLC

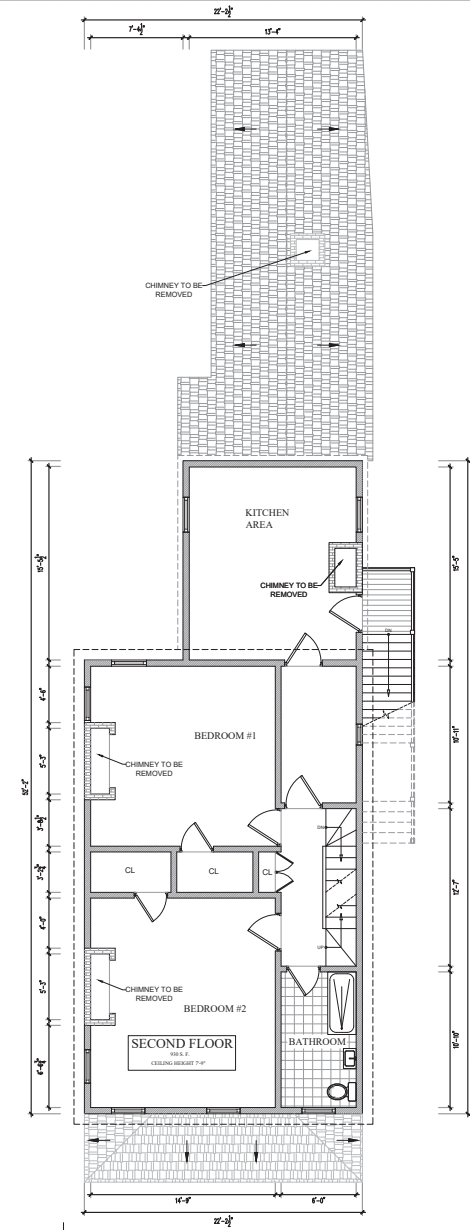
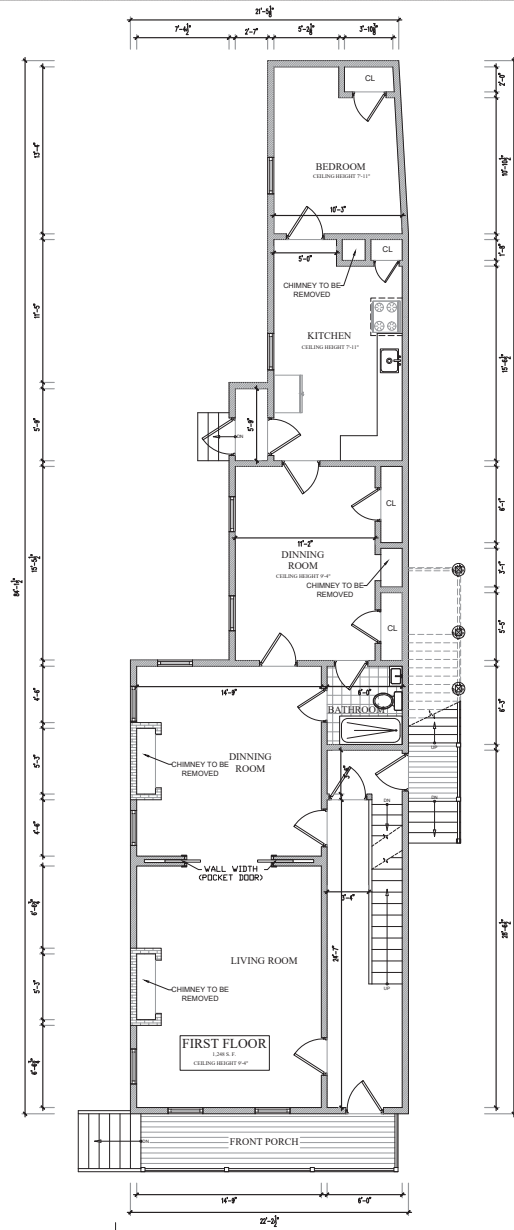
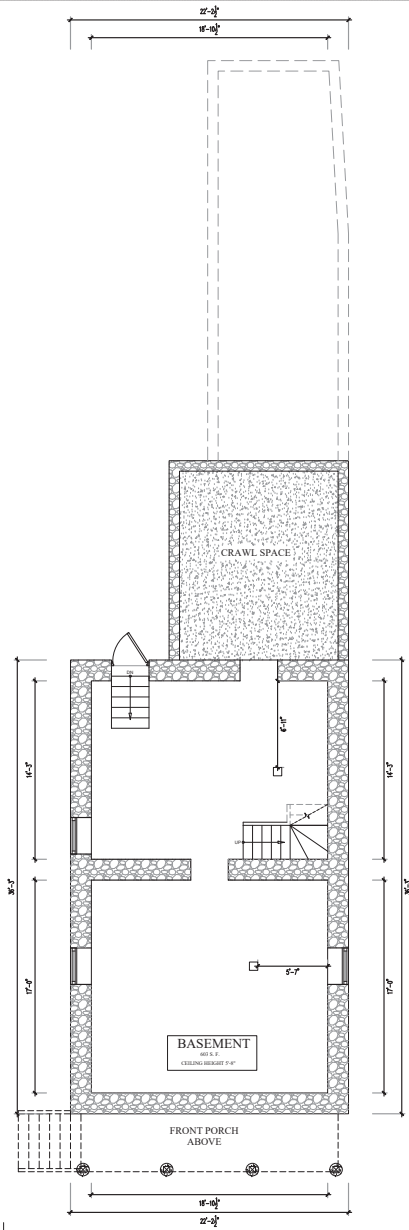
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DRAWING TITLE:
COVER SHEET

SHEET NUMBER:
A-0.0

PERMIT SET



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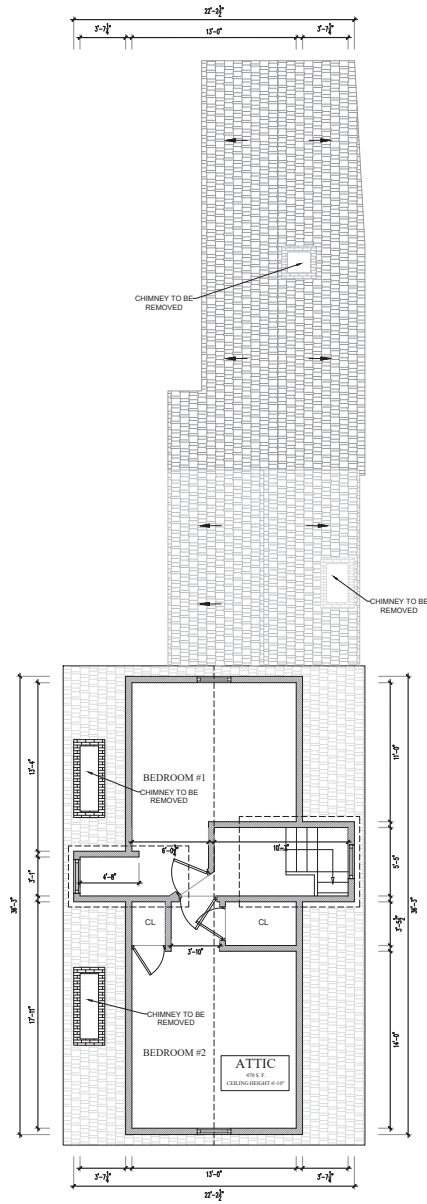
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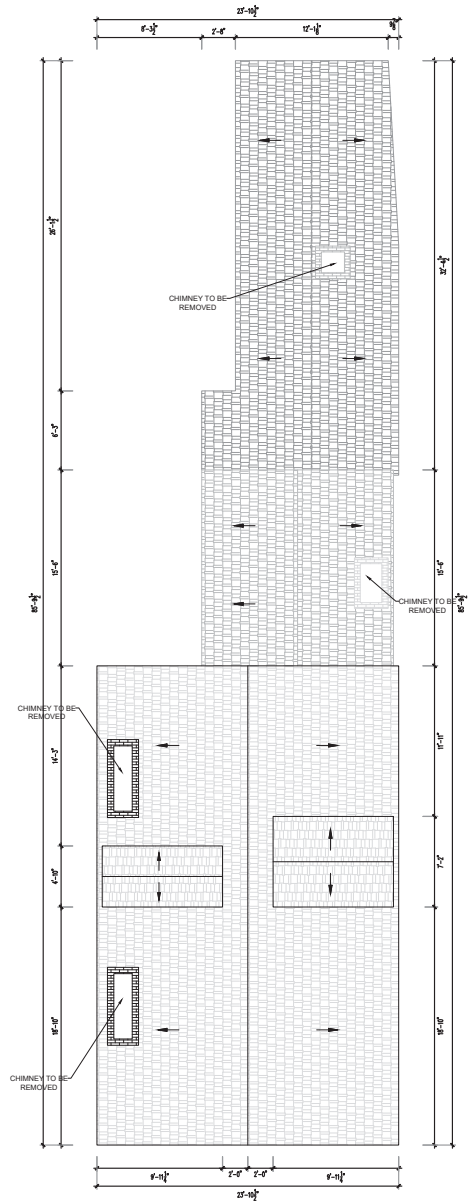
DRAWING TITLE:
EXISTING
CONDITIONS

SHEET NUMBER:
B-1.0

PERMIT SET



1
B-1.1 EXISTING THIRD FLOOR PLAN
SCALE: NTS



2
B-1.1 EXISTING ROOF PLAN
SCALE: NTS



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B-1.1

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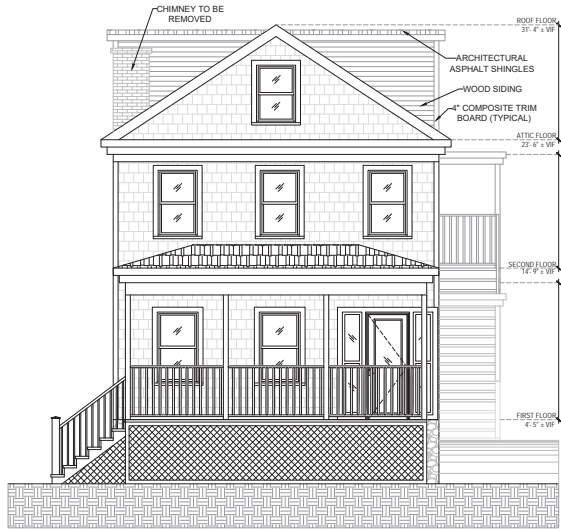
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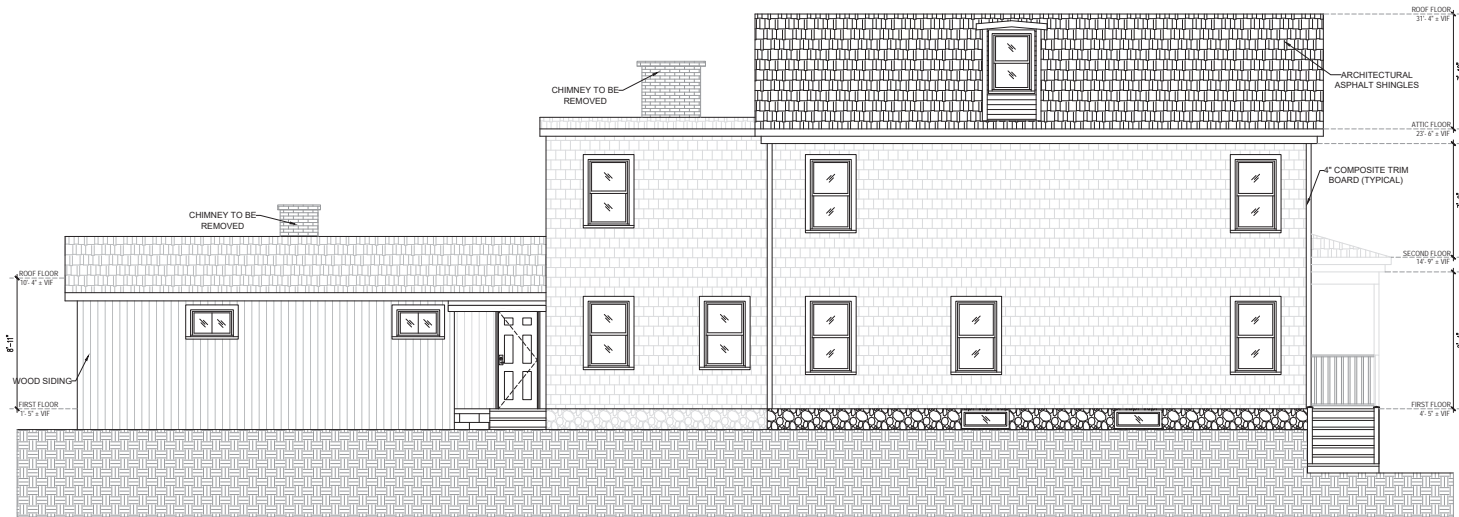
DRAWING TITLE:
 EXISTING
 CONDITIONS

SHEET NUMBER:
 B-2.0

PERMIT SET



1
B-2.0 **EXISTING FRONT ELEVATION**
 SCALE: 1/4"=1'-0"



2
B-2.0 **EXISTING LEFT ELEVATION**
 SCALE: 1/4"=1'-0"



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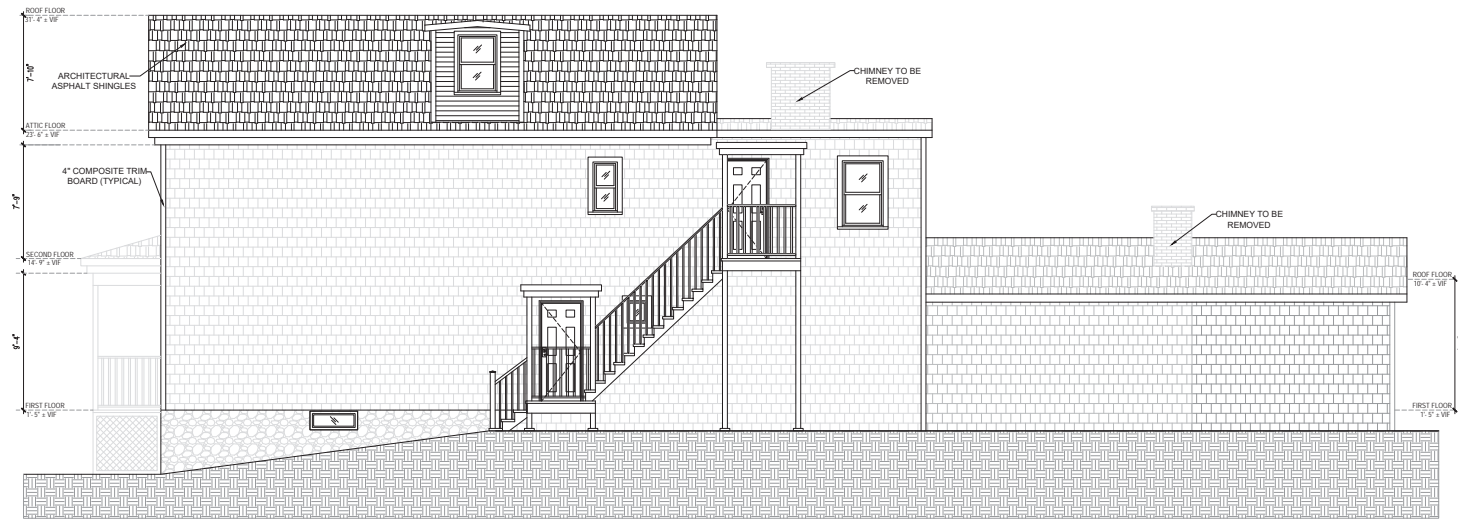
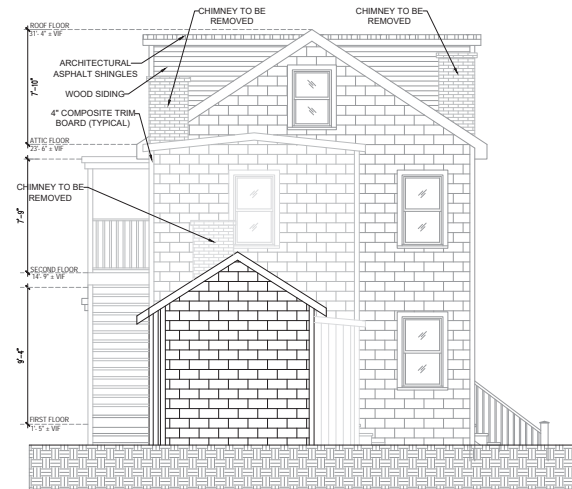
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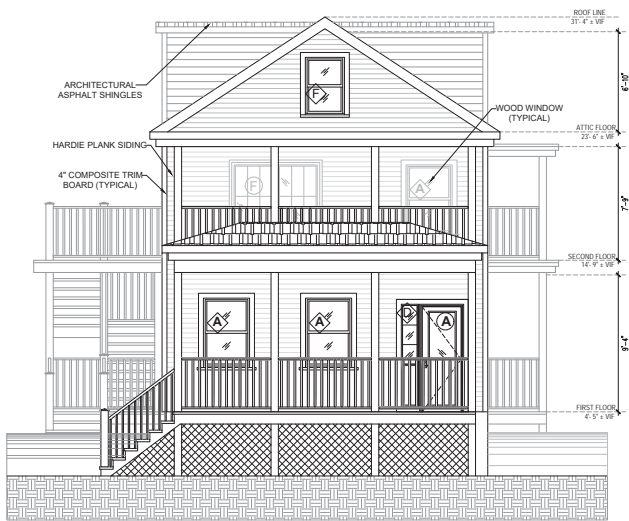
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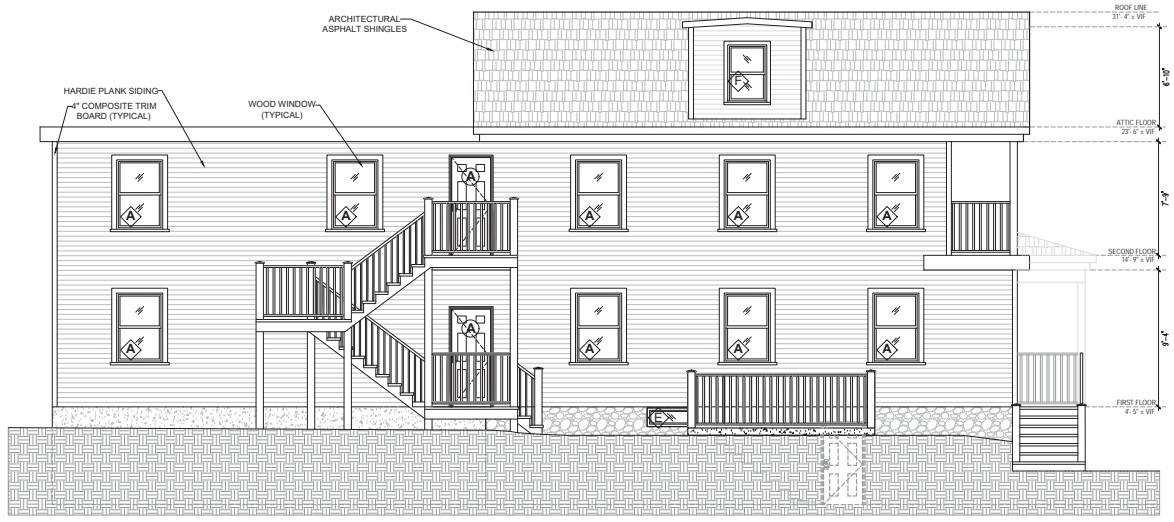
1
B-2.1 **EXISTING REAR ELEVATION**
 SCALE: 1/4"=1'-0"



2
B-2.1 **EXISTING RIGHT ELEVATION**
 SCALE: 1/4"=1'-0"



1
A-2.0 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



2
A-2.0 PROPOSED LEFT ELEVATION
SCALE: 1/4"=1'-0"



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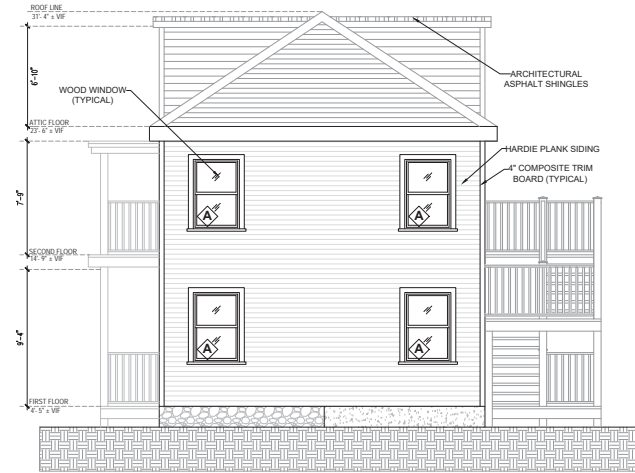
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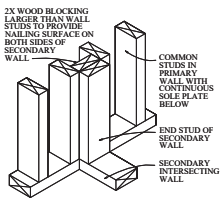
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1
A-2.1 **PROPOSED REAR ELEVATION**
 SCALE: 1/4"=1'-0"

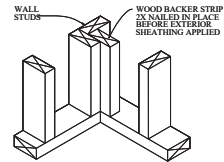


2
A-2.1 **PROPOSED RIGHT ELEVATION**
 SCALE: 1/4"=1'-0"

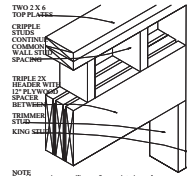




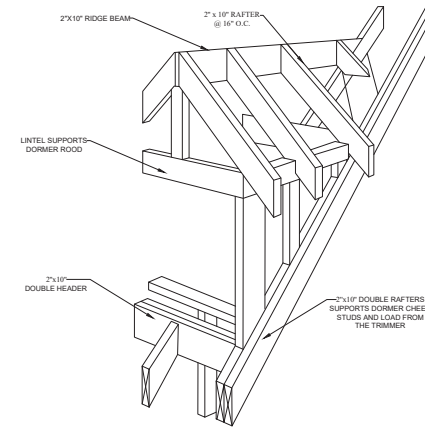
INTERSECTING WALLS WITH BLOCKING



CORNER BLOCKING DETAIL



NOTE: Periodic maximum nailing surface on interior and exterior walls.

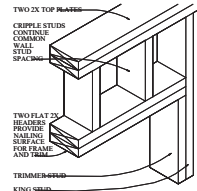
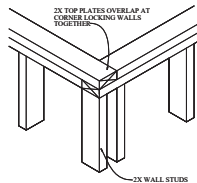
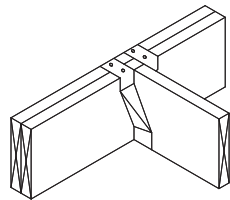


4 DORMER DETAIL
S-1.1 SCALE:NTS

1 INSULATED WALL DETAILS
S-1.1 SCALE:NTS

2 INSULATED WALL DETAILS
S-1.1 SCALE:NTS

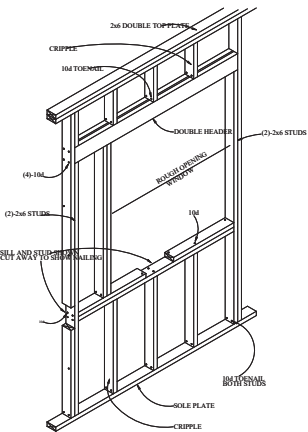
3 2x6 BEARING WALL HEADER DETAIL
S-1.1 SCALE:NTS



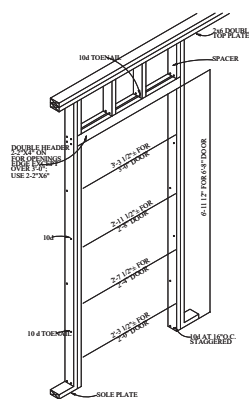
5 JOIST SUPPORTED ON WOOD GIRDERS
S-1.1 SCALE:NTS

6 TOP PLATE FRAMING DETAIL
S-1.1 SCALE:NTS

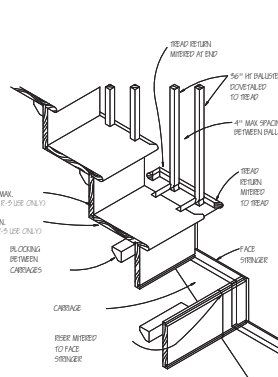
7 2X PARTITION WALL HEADER DETAIL
S-1.1 SCALE:NTS



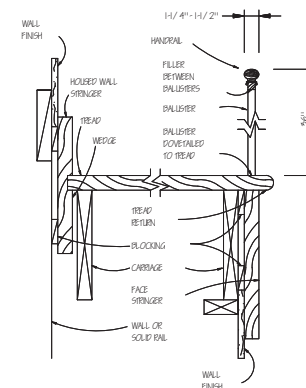
8 WINDOW OPENING DETAIL
S-1.1 SCALE:NTS



9 DOOR OPENING DETAIL
S-1.1 SCALE:NTS



10 STAIRS DETAIL
S-1.1 SCALE:NTS



11 STAIRS DETAIL
S-1.1 SCALE:NTS



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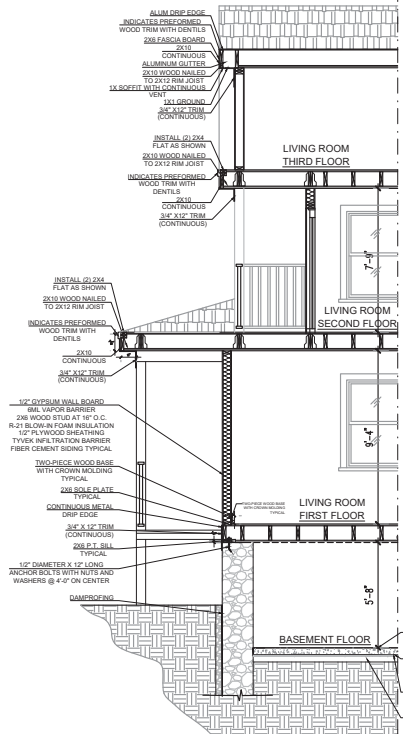
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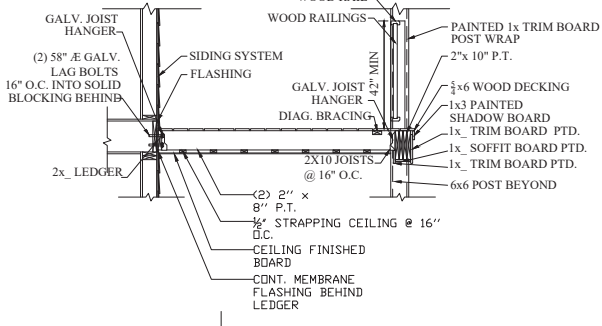
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CONSTRUCTION DETAILS

SHEET NUMBER:
S-1.1

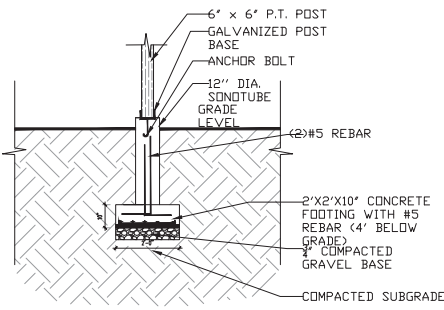
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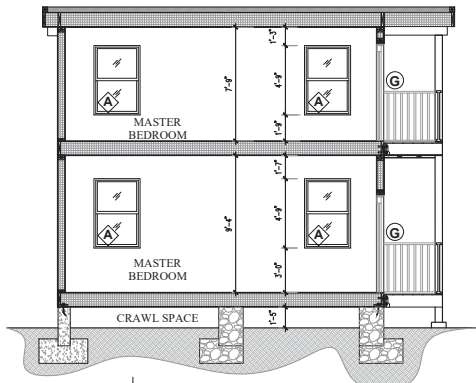
1 SECTION DETAIL A-A'
S-1.2 SCALE:NTS



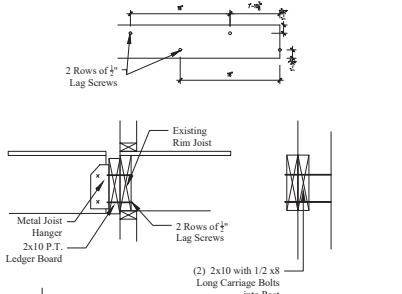
3 DECK SECTION DETAIL
S-1.2 SCALE:NTS



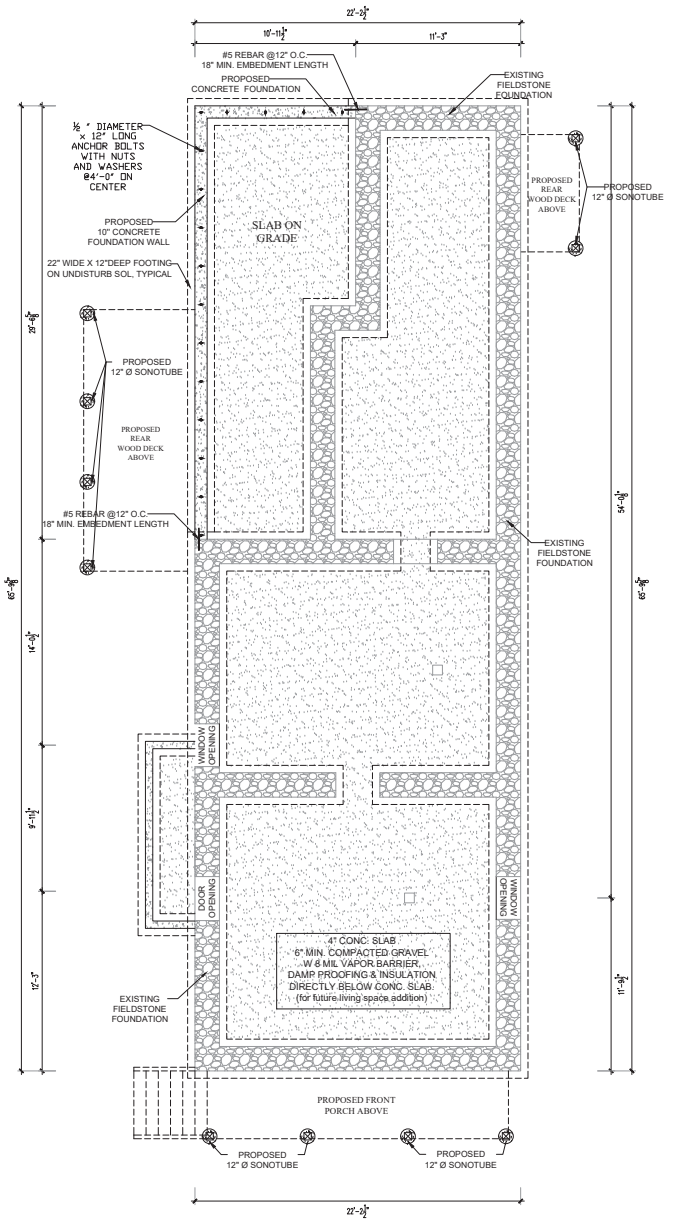
4 REAR FOOTING DETAIL
S-1.2 SCALE:NTS



2 SECTION DETAIL B-B'
S-1.2 SCALE:NTS



5 FRONT PORCH LEDGER CONNECTION
S-1.2 SCALE:NTS



6 PROPOSED FOUNDATION PLAN
S-1.2 SCALE:1/8"=1'-0"



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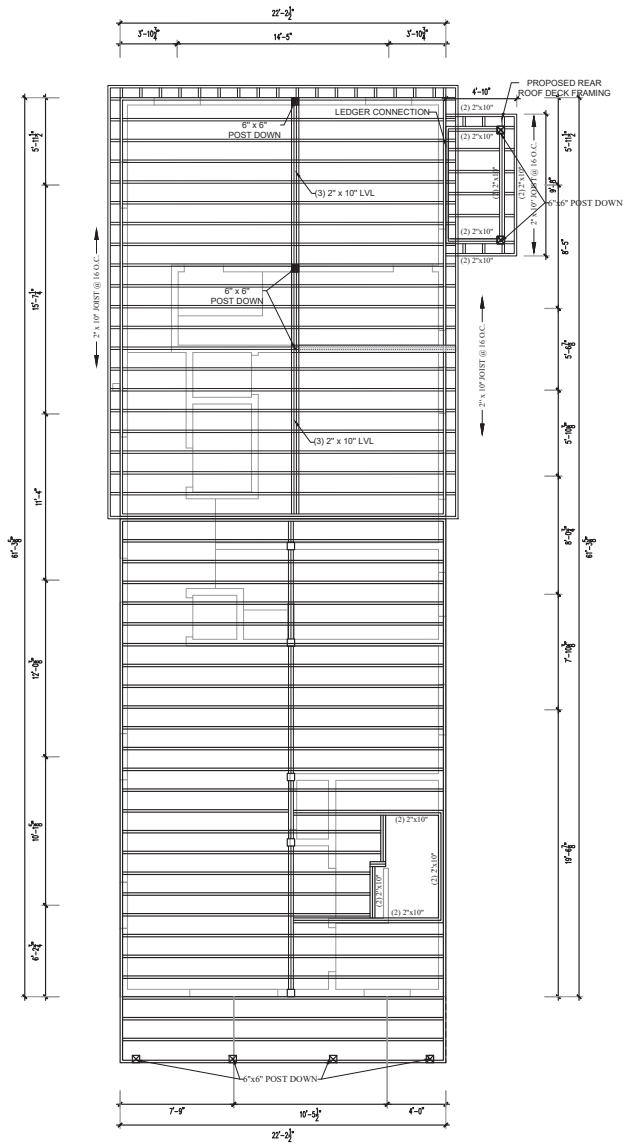
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DETAILS

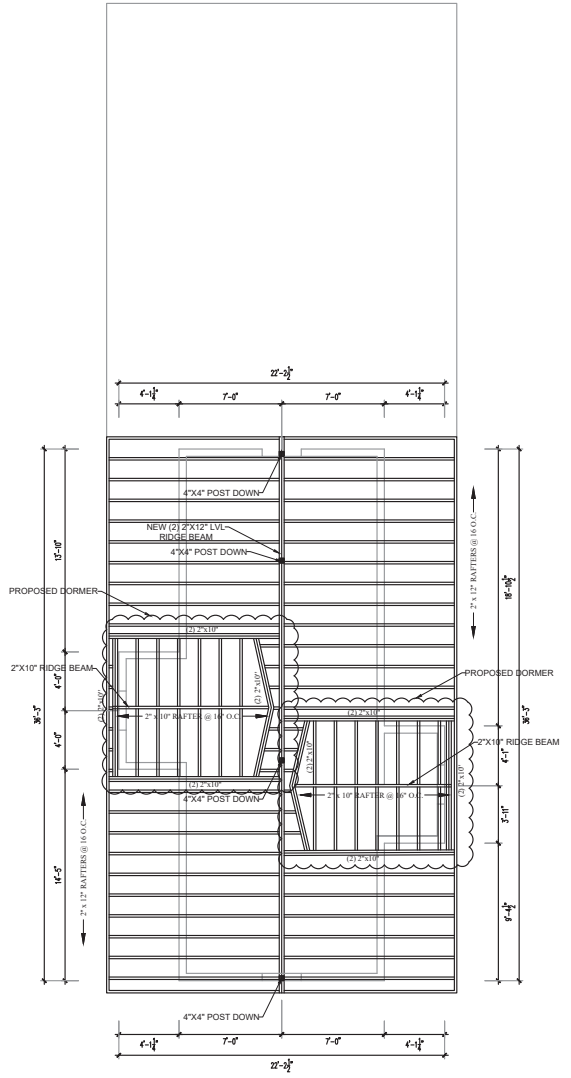
SHEET NUMBER:
S-1.2

PERMIT SET



1
S-1.4

PROPOSED THIRD FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



2
S-1.4

PROPOSED ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



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S-1.4

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