# RENOVATION /EXTENSION OF LIVING SPACE **2 FAMILY DWELLING**

17 AKRON STREET, BOSTON. MA 02119

LOCATION MAP



http://maps.bostonredevelopmentauthority.org/zoningviewer/



**GOOGLE EARTH** 

UNIT

TOTAL

1st FLOOR (UNIT 1)

2nd FLOOR (UNIT 2)

ATTIC (UNIT 2)

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CONSTRUCTION DETAILS (THIRD / ROOF FLOOR FRAMING PLAN)

EXISTING LIVING SPACE | PROPOSED LIVING SPACE | COMMON AREA

(Sq. Ft.)

1,230

1,149

435

2,814

	FOGO	DIG :	DED	ODT
ASS	ESSO	R'S	КEР	ORT

PARCEL ID: 1201389000 PROPERTY TYPE: TWO FAMILY CLASSIFICATION CODE: 0104 (RESIDENTIAL PROPERTY / TWO-FAM DWELLING)

LOT SIZE: 7,537 SQ FT

https://www.cityofboston.gov/assessing/search/?pid=1201389000

ZONING SUBDISTRICT: 3F-4000 SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL OVERLAYS: NEIGHBORHOOD DESIGN REVIEW

MAP NO. : 6A-6C ARTICLE: 50 (TABLE)

http://maps.bostonredevelopmentauthority.org/zoningviewer/

# **GENERAL NOTES**

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.

2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REOUIRED FOR THIS PROJECT.

3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.

4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY. 6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.

7. THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

8. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THE ARCHITECT SHALL BE NOTIFIED OF INCONSISTENCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH THE WORK.

9. TAKE FIELD MEASUREMENTS BEFORE FABRICATION WORK TO ENSURE THAT COMPONENTS FIT TOGETHER PROPERLY.

# ZONING

ZONING DISTRICT: ROXBURY NEIGHBORHOOD

### **GENERAL SYMBOLS**

ROOM NAME	ROOM TAG
	BREAK LINE WINDOW
	DOOR
_	OBJECT ABOVE OR BELOW
⊠	COMBO - EXHAUST LIGHT
⊕	COMBO - SMOKE, CO DETECTORS
(9)	HEAT DETECTOR
(5)	SMOKE DETECTOR

# TABLE C: Roxbury Neighborhood District -Residential Subdistricts - Dimensional Regulations

(Sq. Ft.)

1,248

930

470

2,648

	tol arm, Moseum for Deeth Smith) Specified (St. Ph.)	additional and area for Eq additional Limb (log Pt)	Last Months Management of motio	sar traumage Minorque (Feet)	Floor Acres States Missernant	Building horght Mesomum <sup>2</sup>		should Sport Space Manhors Sp. Pt.	Front Yard Manmore Septi	National World	Ann York	Sear Yard Manager Discipling by Accessive Subblegs
						Bette	Feet	Fer Shaeling Last <sup>15</sup>	(Feet) <sup>(4)</sup>	(Feet) <sup>(2)</sup>	(7+41)	Perent
					M 4,000 <sup>2</sup>		_					
ioni attoched Ewelling, Row House Building, or Town House Building	2,000 for 3 unit	2,000	8	ь	**		н	400 <u>11.</u> per	M	(8)	10	8
Any Other Dwelling or Use	4,000 for 1 or 2 only	1,000	- 0	45	0.0	3	33	850 <u>L.C.</u> per let	м		30	25
Existing	1,331 16	8/8	39		14	7.5	418	Emil M	19.5	324	38.5	
Frequent	7,607.95	N/A	881	19.	11.5	118.00	416	5,895 W.	10.0	17.4	- 10	

617.953.4356 - INFO@ROSADC.COI

NOVATION /EXTENSION C LIVING SPACE 2 FAMILY DWELLING RENOVATION

> APPLICANT: RENOVATION GUY LLC

ROJECT NO.: RDC/ 00597

(Sq. Ft.)

58

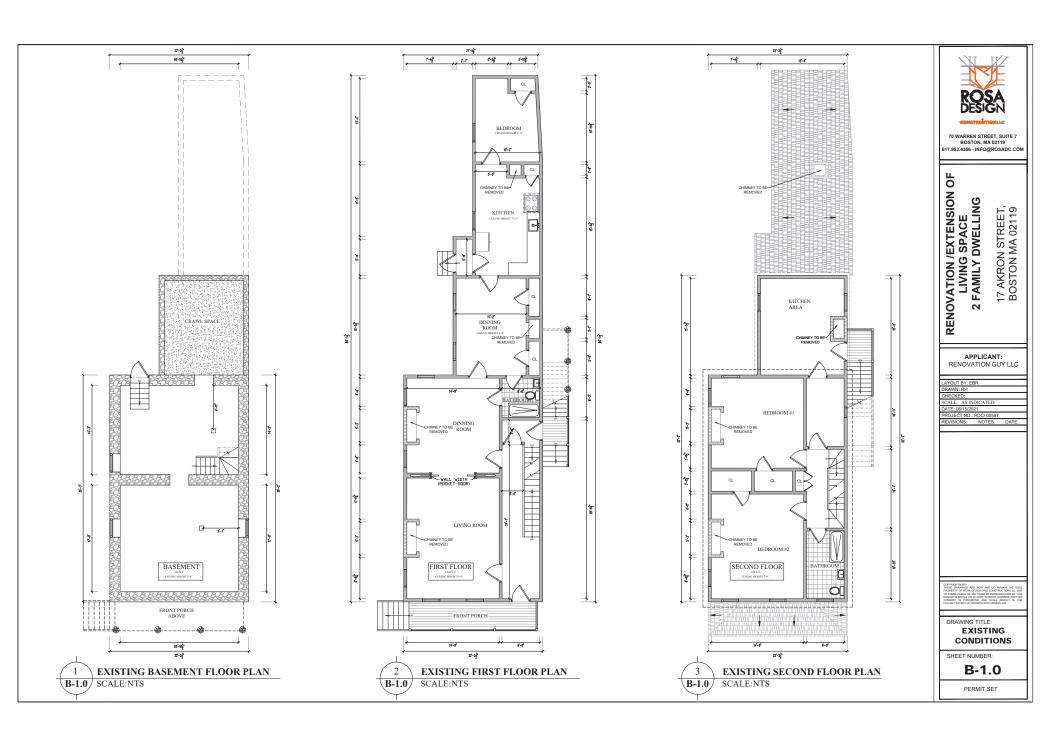
32

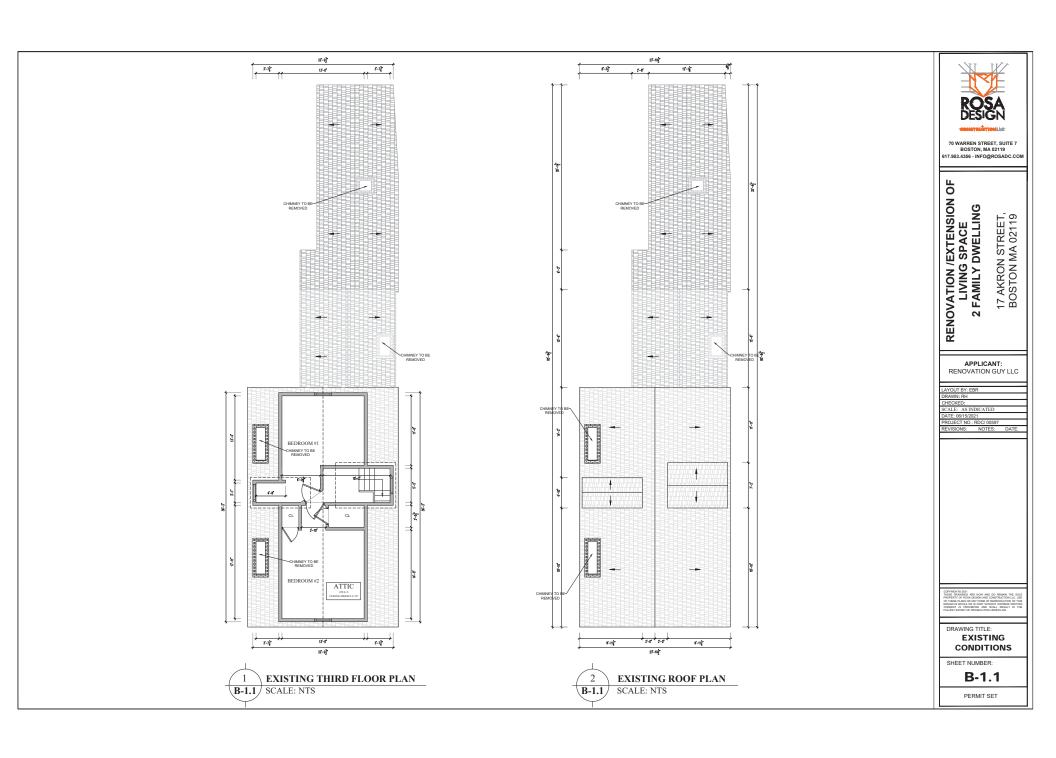
DRAWING TITLE:

COVER SHEET

SHEET NUMBER:

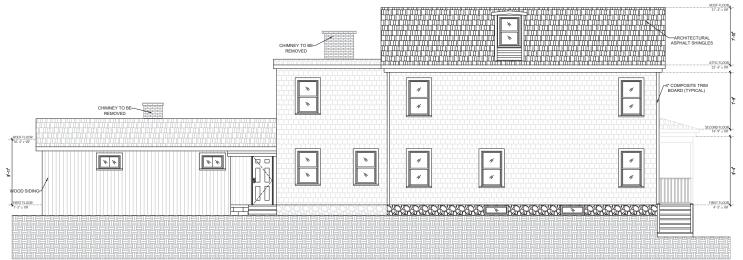
A-0.0







EXISTING FRONT ELEVATION 1 B-2.0 | SCALE:1/4"=1'-0"



2 EXISTING LEFT ELEVATION SCALE:1/4"=1'-0" B-2.0

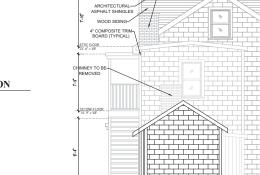
BOSTON, MA 02119 17.953.4356 - INFO@ROSADC.COM

RENOVATION /EXTENSION OF LIVING SPACE 2 FAMILY DWELLING 17 AKRON STREET, BOSTON MA 02119

APPLICANT: RENOVATION GUY LLC

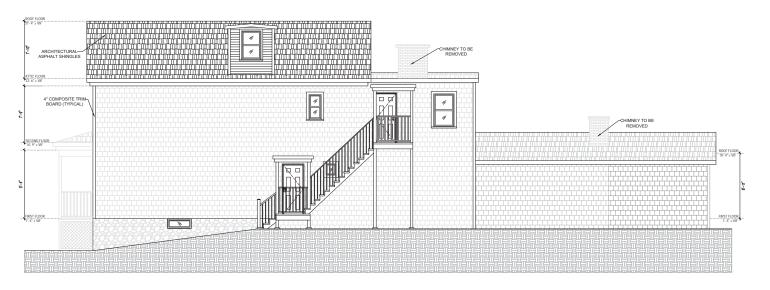
DRAWING TITLE: **EXISTING** CONDITIONS

SHEET NUMBER: **B-2.0** 



-CHIMNEY TO BE REMOVED CHIMNEY TO BE REMOVED









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RENOVATION /EXTENSION OF LIVING SPACE 2 FAMILY DWELLING

> APPLICANT: RENOVATION GUY LLC

17 AKRON STREET, BOSTON MA 02119

LAYOUT BY: EBR

DRAWN: RH

CHECKED:
SCALE: AS INDICATED

DATE: 08/15/2021

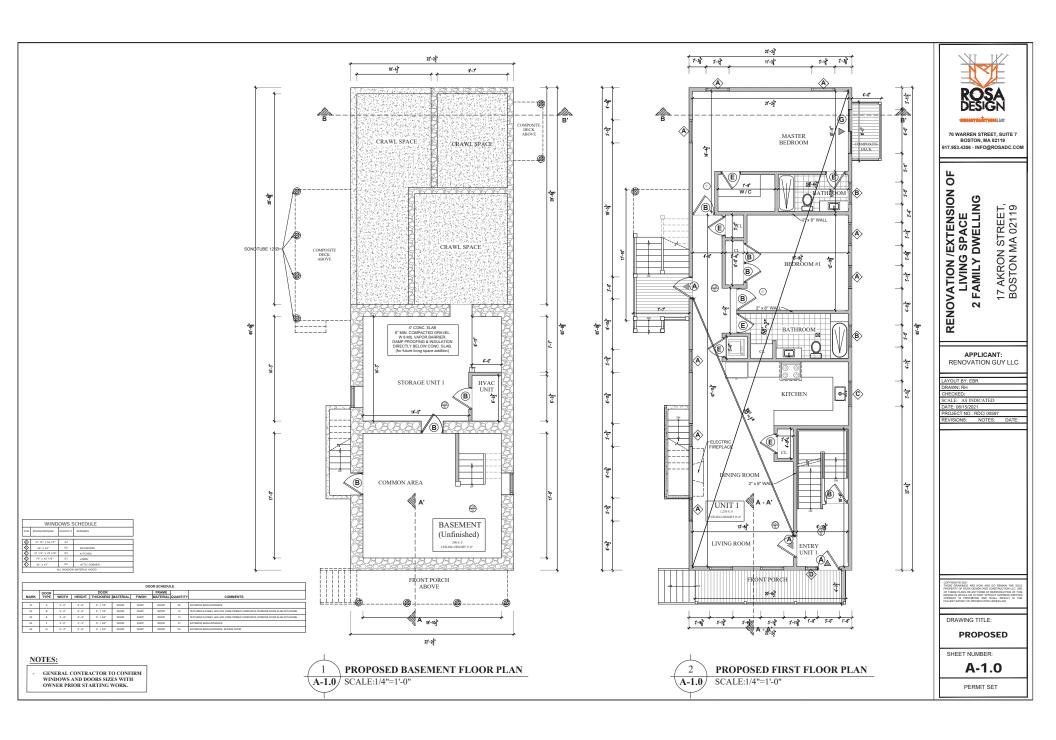
PROJECT NO: RDC/ 00597

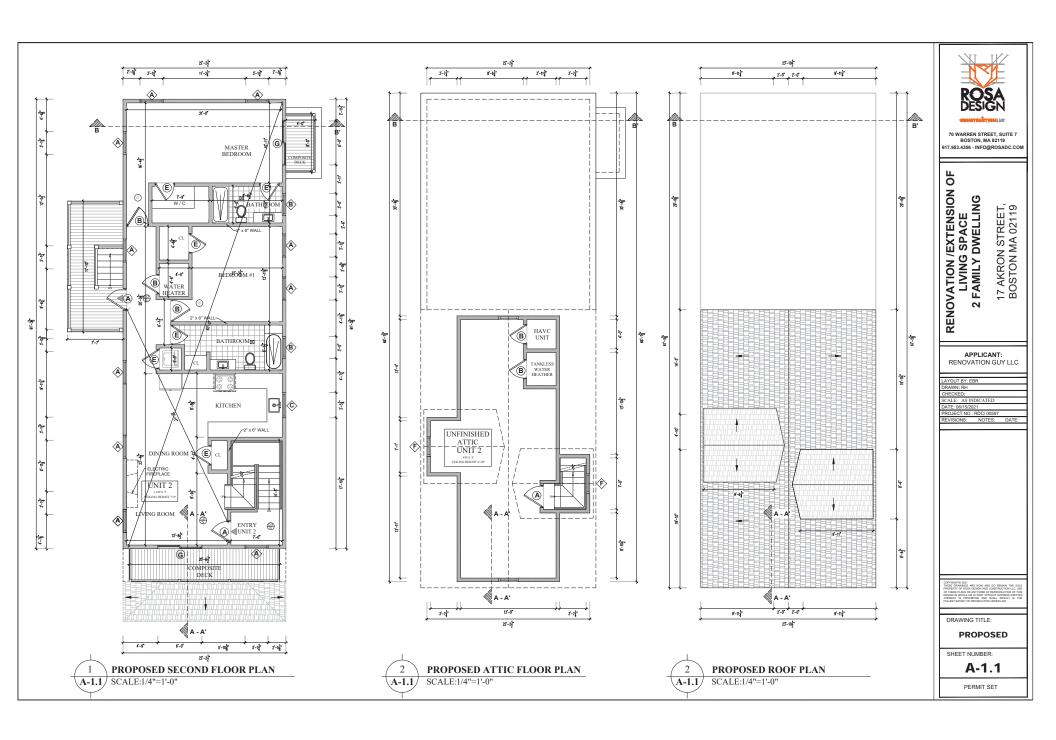
REVISIONS: NOTES: DATE:

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CONSIGNT IS PROHIBITED AND SHALL RESULT IN THE
PLILEST EXTENT OF PROSECUTION HANCER LAW.

DRAWING TITLE:
EXISTING
CONDITIONS

SHEET NUMBER: **B-2.1** 







PROPOSED FRONT ELEVATION

A-2.0 SCALE:1/4"=1'-0"



2 PROPOSED LEFT ELEVATION
SCALE:1/4"=1'-0"

ROSA DESIGN CONTRACTION LINE

70 WARREN STREET, SUITE 7 BOSTON, MA 02119 :17.953.4356 - INFO@ROSADC.COM

RENOVATION /EXTENSION OF LIVING SPACE 2 FAMILY DWELLING

> APPLICANT: RENOVATION GUY LLC

17 AKRON STREET, BOSTON MA 02119

LAYOUT BY: EBR
DRAWN: RH
CHECKED:
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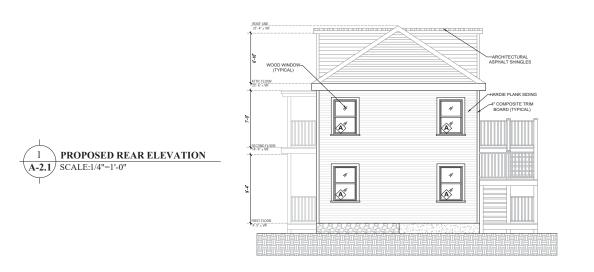
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DRAWING TITLE:

PROPOSED

SHEET NUMBER:

A-2.0









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RENOVATION /EXTENSION OF LIVING SPACE 2 FAMILY DWELLING 17 AKRON STREET, BOSTON MA 02119

APPLICANT: RENOVATION GUY LLC

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DRAWING TITLE:

PROPOSED

SHEET NUMBER: A-2.1

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### WOOD NOTES:

- 1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19
- 2. ALL FRAMING LUMBER SHALL BE 2 HEM-FIR, OR BETTER, HAVING A MINIMUM:

FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI,

- 3. ALL L.V.L. LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM:
  - FB=2,650 PSI, FV=285 PSI, E=1,900,000 PSI FOR STUDS COLUMNS
  - FB-3100 PSI, FV=285 PSI, E=2,000,000 PSI FOR BEAMS
- 4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN

AND NOT MORE THAN 8'-O" O.C.

- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT
- 12 STUD HEIGHT, AND NOT MORE THAN 6'-O" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- 7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING
- 8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- 9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON

STUD PARTITIONS OR BEAMS.

- 10 . PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD
- 11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- 12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 12" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

#### WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span o	of opening:	Size: 2x6 studs	Size: 2x4 stu
less th	an 4'-0"	3 - 2x4	2 - 2x4
up to	6'-0"	3 - 2x6	2 - 2x6
up to	8'-0"	3 - 2x8	2 - 2x8
up to	10'-0"	3 - 2x10	2 - 2x10

#### REINFORCING NOTES:

- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40. ALL WELDED WIRE FARRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
- A. FOOTINGS
  B. SIDES OF FOUNDATIONS WALLS.
- EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNSPIERS, SLABS 2 INCHES
- ON GRADE FROM TOP SURFACE
  C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED
- 1-12 INCHES TO THE WEATHER
- D. TOP STEEL OF INTERIOR SLABS 1 INCHES
  6. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 14" OF SECTIONS 10" OR LESS, 12" FOR SECTIONS GREATER THAN 10"

#### **EPOXY ANCHORS:**

- EXPANSION BOLTS LISED IN CONCRETE SHALL BE SIMPSON STRONG BOLT 2 OR FOLIAL BOLTS NEED TO BE INSTALLED IN ACCORDANCE WITH ICC-REPORT ESR-3037.
  EPOXY ANCHORS AND DOWELS INSTALLED INTO CONCRETE SHALL BE A THREADED ROD OR
- REINFORCING BAR DOWEL WITH THE HILTI "RE-500SD" ADHESIVE SYSTEM AND BE INSTALLED
- ACCORDING TO ICC-REPORT ESR-2322.
  CONTRACTOR MAY SUBSTITUTE EXPANSION BOLTS OR EPOXY ADHESIVES OF EQUAL VALUE IN THE SPECIFIED MATERIAL WITH A CURRENT ICC-REPORT FOR REVIEW

#### FOUNDATION NOTES:

- 1. ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE OR DEEPER IF NECESSARY TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF
- 2. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL: OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95
- 3. ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
- 4. NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN OF 5 DAYS AFTER THEY WERE POURED.
- 5. THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR. AS SHOWN ON DRAWINGS.
- 6. LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.

#### CONCRETE NOTES:

- 1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH
  - 3000 PSI
  - 3500 PSI
- 2. MAXIMUM SLUMP SHALL NOT EXCEED 3": AND MAXIMUM: COARSE
- AGGREGATE SIZE SHALL NOT EXCEED 34" IN DIAMETER. ALL CONCRETE SLABS ON GRADE SHALL BE POURED IN 900 SQUARE FOOT
- PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

#### RECOMENDED FASTENING SCHEDULE BUILDING ELEMENT NAIL SIZE AND TYPE NUMBER AND LOCATION

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION			
STLID TO SOLE PLATE	BD COMMON HD COMMON	4 TOE-NAL OR 2 DIRECT-NAL			
STUD TO CAP PLATE	IEP CONNON	2 TOE-NAL OR 2 PRECENAL			
DOUBLE 50105	IOP CONNON	12" O.C. PRECT			
CORNER STUPS	IEP CONNON	24" O.C. DRECT			
SOLE PLATE TO JOIST OF BLOCKING	160 CONMON	16" CC			
DOUBLE CAP PLATE	IOP COMMON	I6" O.C. PRECT			
CAP PLATE LAPS	IOP COMMON	2 DRECT-NAL			
RBBON 5RRP. 6" OR LESS	IOR COMMON	2 EACH DIRECT BEARING			
RRECU SERV. A" OR MORE	IOP COMMON	5 EACHDRECT SEARING			
ROOF RAFIER TO PLATE	BP COMMON	5 t/XE-NAIL			
MOLERANDE TO RECE	INF COMMON	2 DE-NAL OF DIRECT-NAL			
JACK RAFTER TO HP	IOP COMMON	5 TOE-NAL OR 2 PIRECT-NAL			
	160 COMMON				
FLOOR JOSES 10 S1025 (NO CELING JOSES)	IOD COMMON	5 DIRECT OR 5 DIRECT			
FLOOR J01515 10 51005	IOP CONNON	2 DRECT			
(With CELLING JOHN)					
FLOOR JOSES TO SILL OR ARDER	50 COMMON	5 TOE-NAL			
LEDGER 51RP	IBP COMMON	5 EACH DIRECT			
CELING J01615 10 PLATE	160 COMMON	5 TOE-NAL			
CELING JOISTS (LAPS OVER PARTITION)	IOP COMMON	5 DRECT-NAL			
CELING JOISTS (PARALLEL 10 RAPTER)	IOP COMMON	5 DRECT			
COLLAR SEAM	IOP COMMON	5 DRECT			
880 GNG 10 101515	80 COMMON	2 EACH DIRECT END			
DIAGONAL BRACE (10 STLD AND PLATE)	80 COMMON	2 EACH DIRECT BEARING			
TAL BEAMS TO HEADERS (WHEN NALING PERMITTED)	200 COMMON	I EACH BND 45Q, FT, RLOOR AREA			
HEADER BEAMS TO TRIMMERS	209 COMMON	LEACH BND 8 50, FT, FLOOR AREA			
I" ROOF DECKING	80 CONNON 80 CONNON	2 EACH DIRECT RAPTER 5 EACH DIRECT RAPTER			
(OVER 6" N WIPH) I" 9/88, OORNG (6" OR LESS)	BV CONNON	2 EACH DIRECT 1091 DK			
I SIBILOURING (BY OR MORE)	BD COMMON BD COMMON				
1" SUPLOCRING (B" OR MORE) 2" SUPLOCRING		5 EACH DIRECT JOIST			
2" SUPPLUDIONA I" WALL SEATHING (8" OR LESS IN WIDTH)	160 COMMON	2 EACH DIRECT JOINT			
	BD CONNON	2 EACH DIRECT STUD			
I" WALL SHEATHING ( OVER 8" IN WIDTH)	BD COMMON	5 EACH DIRECT STUD			
PLYWOOD ROOF & WALL SHEARING (1/2" OR LESS) (5/8" OR GREATER) (5/16",5/8", OR 1/2")	60 COMMON BO COMMON 16 GALCE GALVIAIZED WIBE 514PLES, 57 B** MINIMUM GIDVINN, LENGTH OF 1** PLUS PLYMOOD 96CD/8E55	6" O.C. DIBECTEDGES & 12" O.C. INTERNEDIATE 6" O.C. DIBECTEDGES & 12" O.C. INTERNEDIATE 4" O.C. EDGES & 8" O.C. INTERNEDIATE 21/2" O.C. EDGES & 5" O.C. INTERNEDIATE			
(OVER 6" IN WIDTH)	SAME AS IMMEDIATELY ABOVE	21/2" O.C. BOQES & 5" O.C. INTERMEDIATE			
PLYWDDD 9.DPL.DDRWG (12") (5/8", 5/4") (1",11/8")	60' COMMON OR 60' ANNLAR OR SPIRAL 1HEAD BO' COMMON OR BO ANNLAR OR SPIRAL 1HEAD IOD COMMON OR BO' BING SHINK OR BO ANNLAR OR SPIRAL HEERD	6" O.C. DRECT EDGES & IO" O.C. INTERMEDIATE 6" O.C. DRECT EDGES & IO" O.C. INTERMEDIATE 6" O.C. DRECT EDGES & 6" O.C. INTERMEDIATE			
(12") (38")	160 GALVANIZEO WRE STAPLES 5/8" MINIMUM CROWN; I 5/8" LENGTH	4" O.C. EDGES & 7" O.C. INTERMEDIATE 21/2" O.C. EDGES & 4" O.C. INTERMEDIATE			
BUILT-UP CARDERS AND BEAMS	200 COMMON	52" O.C. DRECT			
CONTINUOUS HEADER TO STUD	BD COMMON	4 tOE-NAL			
CONTINUOUS HEADER, 1WO PIECES	I60 COMMON	16" O.C. DIRECT			
I/ 2" FBER BOARD SKEATHING	11/2" GALVANZED ROOFING NAL OR 16 GALGE 50PLE, 11/2" LONG WITH MINL OXOMN OF 7/16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERNEDIATE			
26 / 52" FIBER BOND SHEARING	1.57.4" GALVANIZED ROOFING NAL OR 8D COWMON NAL OR 16 GALIGE STAPLE, 117.2" LONG WITH MN. CROWN OF 17.16"	5" O.C. EXTERIOR EDGE 6" O.C. INTERWEDIATE			
OPSIM SEARING	12 GALCE 1 5 / 4" LARCE HEAD CORROSION- RESISTANT	4" O.C. EDGE B" O.C. INTERWEDIATE			
PARTICLE BOARD UNDERLANMENT (1/4"-5/4")	60 HALLAS THEHOSO	6" O.C. DIRECT EDGES IO" O.C. INTERMEDIATE			
PARTICLE BOARD ROOF AND WALL SHEATHING 17.2" OR LESS	60 COMMON	6" O.C. DIRECTEDIZES 12" O.C. INTERMEDIATE			
5/8" OR GREATER	BD COMMON	6" O.C. DRECT EDGES 12" O.C. INTERMEDIATE			
PARTICLE BOARD SURFLOORING (5/8" OR GREATER)	BD COMMON	6" O.C. DRECT EDOES 12" O.C. INTERNEDIATE			
SHIVALES, WOOD*	NO. 14 BILS GAGE CORROSION RESISTIVE	2 EACH BEARING			

#### ENERGY AUDIT

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IRC 2015 WITH MASSACHUSETTS AMENDMENTS SECTION N1 101

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3)

- 1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST, INSULATION VALUES AS FOLLOWS
  - ROOF R-VALUE: R49
  - WALL R-VALUE: R20 FLOOR R-VALUE: R30
  - CRAWL SPACE R-VALUE: R10
- 2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL
- WINDOWS: DOORS; AND SKYLIGHTS VERSION 5.0. ALL NEW WINDOW GLAZING WITH .30 U-FACTOR.

  3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REOUIREMENTS OF 401.3

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Р RENOVATION /EXTENSION LIVING SPACE 2 FAMILY DWELLING

> APPLICANT: RENOVATION GUY LLC

17 AKRON STF BOSTON MA (

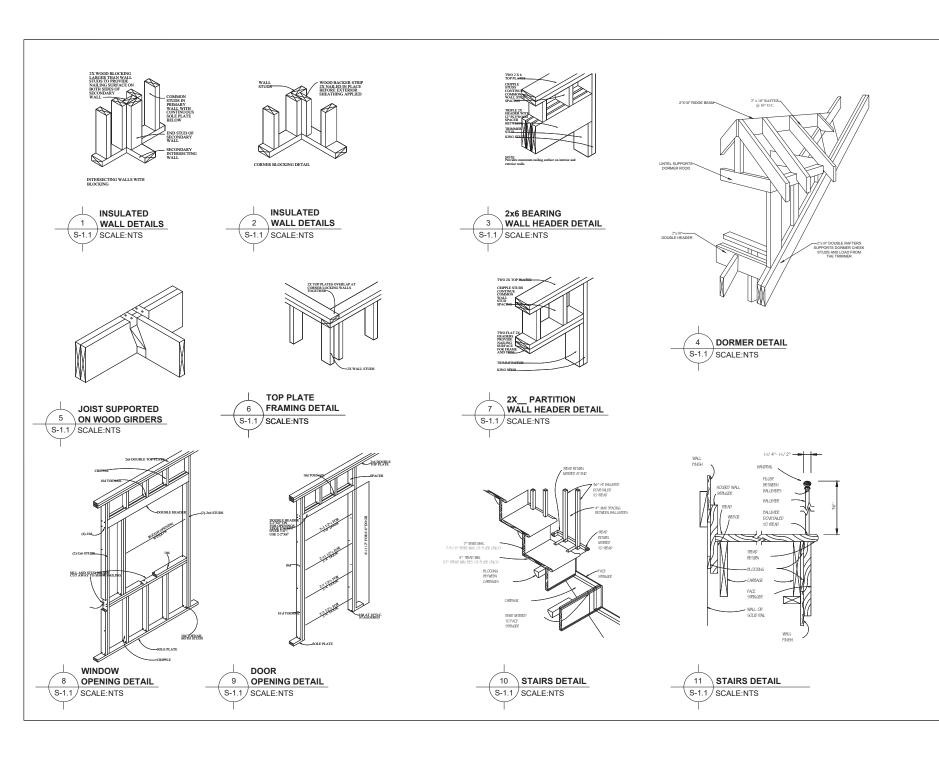
SCALE: AS INDICATED DATE: 06/15/2021 PROJECT NO.: RDC/ 00597

DRAWING TITLE

CONSTRUCTION **DETAILS** 

SHEET NUMBER

S-0.0





70 WARREN STREET, SUITE 7 BOSTON, MA 02119 617.953.4356 - INFO@ROSADC.CON

RENOVATION /EXTENSION OF LIVING SPACE 2 FAMILY DWELLING 17 AKRON STREET, BOSTON MA 02119

APPLICANT:

DRAWING TITLE: CONSTRUCTION DETAILS

SHEET NUMBER:

S-1.1

