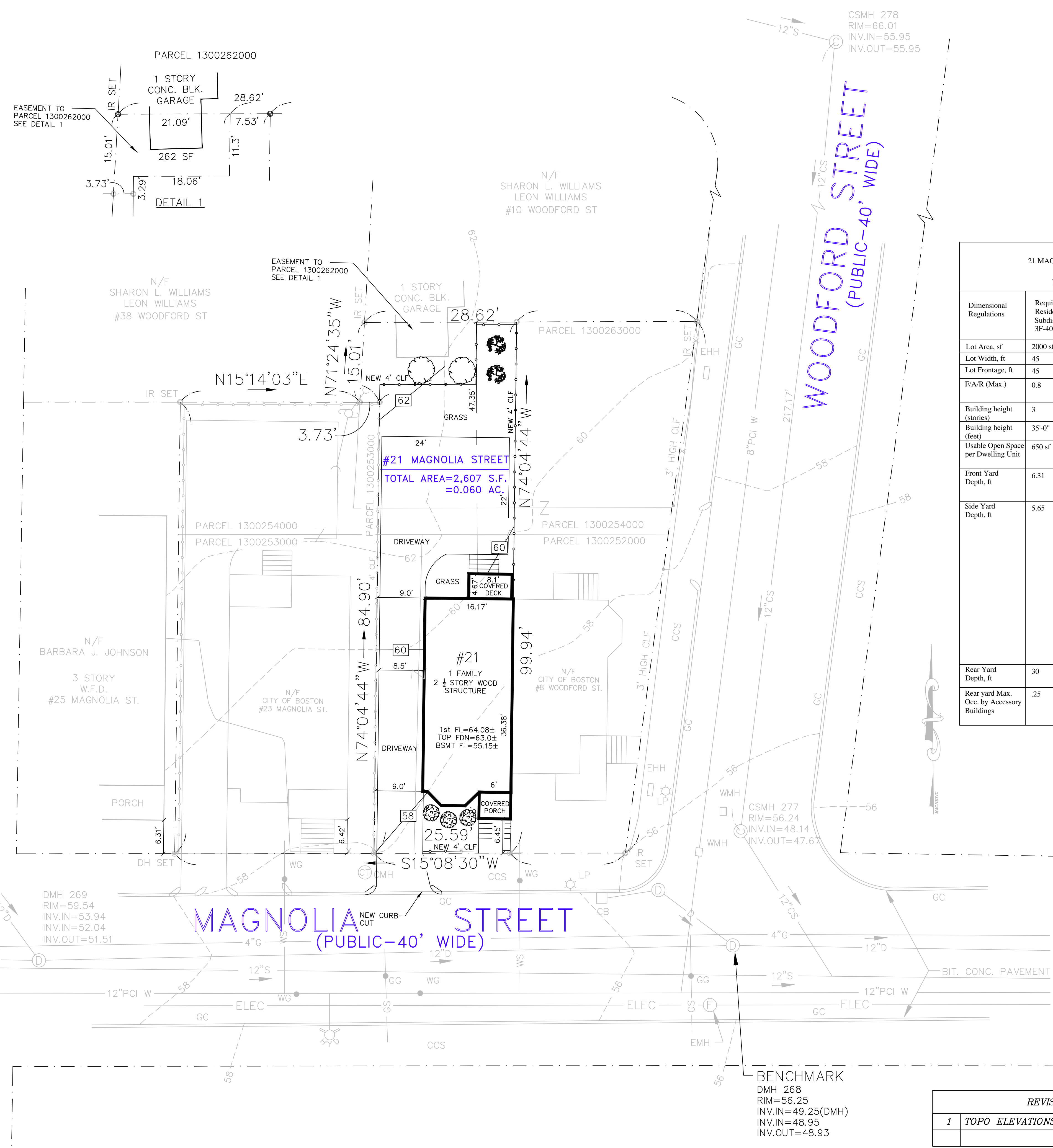


LOCUS
NOT TO SCALE



- NOTE**
- SEE CITY OF BOSTON ASSESSORS PARCEL #1300252000, #1300253000, #1300254000 AND #1300263000 FOR SITE. SITE IS KNOWN AS #21-23 MAGNOLIA STREET AND #8 WOODFORD STREET IN DEED BOOK #8341, PAGE #227-230 AND BOOK #8986, PAGE #377 SUFFOLK REGISTRY OF DEEDS. THE PARCEL WILL BE SUBDIVIDED INTO THREE PARCELS: #23 MAGNOLIA STREET, #21 MAGNOLIA STREET AND #8 WOODFORD STREET.
 - TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS DRAIN MANHOLE 268 RIM LOCATED ON MAGNOLIA STREET, ELEVATION=56.25
 - ZONE DISTRICT: ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT: 3F-4000
SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL
ZONING OVERLAY DISTRICT: NEIGHBORHOOD DESIGN REVIEW
 - REFER TO THE "LANDSCAPE PLAN" CREATED BY CM KIRBY ENGINEERING, PLLC FOR LANDSCAPE DETAILS

Zoning Table			
21 MAGNOLIA STREET - 1 FAMILY (TYPE E)			
Zoning Tables			
Dimensional Requirements 3F-4000			
Dimensional Regulations	Requirements for Residential Subdistrict 3F-4000	Proposed	Comment
Lot Area, sf	2000 sf	2607 sq ft	
Lot Width, ft	45	25.59	Existing Non-conforming
Lot Frontage, ft	45	25.59	Existing Non-conforming
F/A/R (Max.)	0.8	0.62 (1625 sf ±)	
Building height (stories)	3	2.5	
Building height (feet)	35'-0"	29'-5" Grade @ Sidewalk	
Usable Open Space per Dwelling Unit	650 sf	675 sf ±	
Front Yard Depth, ft	6.31	6.45	Section 50-44, Paragraph 2 - Conformity with Existing Building Alignment.
Side Yard Depth, ft	5.65	(L)-9.0 (R)-0.0	Section 50-44, Paragraph 7 - Side Yards of Certain Narrow Lots. A lot narrower than (50) feet shall have (2) inches deducted from the side yard for each foot below (50) feet. Average yard width = 25.59. Modified side yard setback = 10' - ((50-25.59) * 0.17) = 5.65' Article 50, Table F, Footnote F: Semi-attached dwellings, Town House Buildings, and Row House Buildings are required to have side yards only on sides that are not attached to another Dwelling.
Rear Yard Depth, ft	30	47.35	
Rear yard Max. Occ. by Accessory Buildings	.25	N/A	

- LEGEND**
- IR IR ROD
 - ⊙ DH DRILL HOLE
 - WHH WATER HAND HOLE
 - EHH ELECTRICAL HAND HOLE
 - ⊕ HYDRANT
 - CB CATCH BASIN
 - ☆ LP LIGHT POLE
 - ⊙ CSMH COMBINED SEWER MANHOLE
 - ⊙ SMH SEWER MANHOLE
 - ⊙ DMH DRAIN MANHOLE
 - ⊙ EMH ELECTRICAL MANHOLE
 - ⊙ CMH CABLE TELEVISION MANHOLE
 - WG WATER GATE
 - GG GAS GATE
 - S — SEWER PIPELINE
 - W — WATER PIPELINE
 - D — DRAIN PIPELINE
 - G — GAS PIPELINE
 - CS — COMBINED SEWER PIPELINE
 - WS — WATER SERVICE PIPELINE
 - GS — GAS SERVICE PIPELINE
 - X — X — CHAIN LINK FENCE (CLF)
 - 52 — ELEVATION CONTOUR
 - X 52.12 SPOT ELEVATION
 - N/F NOW OR FORMERLY
 - W.F.D. WOOD FRAME DWELLING
 - GC GRANITE CURB
 - CONC. BLK. CONCRETE BLOCK
 - CEM. CONC. CEMENT CONCRETE
 - BIT. CONC. BITUMINOUS CONCRETE PAVEMENT
 - FND FOUND
 - PCI PIT CAST IRON

CM KIRBY ENGINEERING, PLLC
PO BOX 291
NORWOOD, MA 02062
TEL: (617) 872-5553
EMAIL: CKIRBY83@GMAIL.COM
PE LICENSE NO. 41662 EXP. 6/30/2020
JANUARY 27, 2018



PLAN OF LAND
IN
BOSTON, MASSACHUSETTS
21 MAGNOLIA STREET

CONTACT:
KENDRA ROE
KRG REALTY CORP
59 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565

ASSESSORS PARCEL:
#1300252000

COBUCS NUMBER:
1533238330343

ISD PERMIT NUMBER:
ERT804390
(AS OF RIGHT)

ORIGINAL SURVEY BY:
MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
TEL: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM

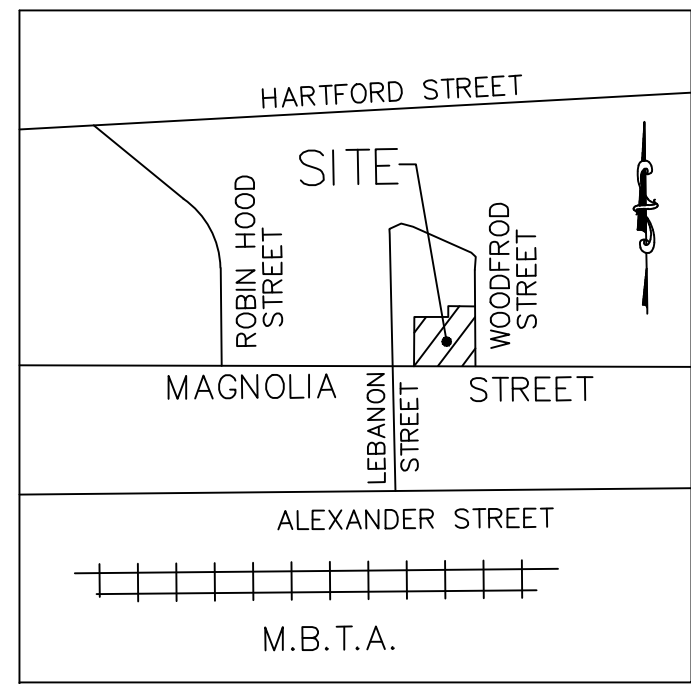
DATED: JULY 13, 2016

SCALE: 1"=10'
(24x36 PAPER)

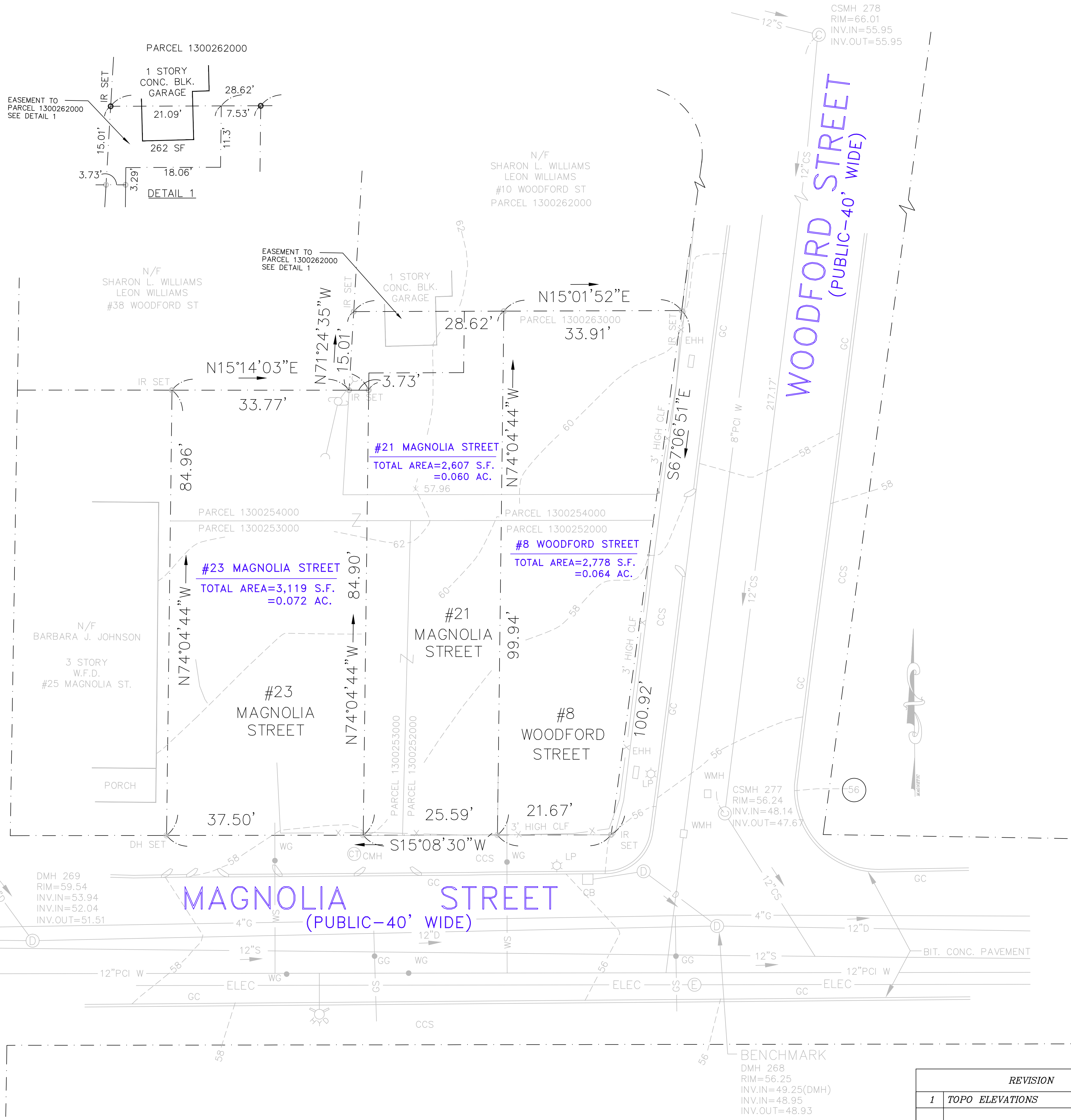


REVISION		
1	TOPO ELEVATIONS	5/7/2020

BENCHMARK
DMH 268
RIM=56.25
INV.IN=49.25(DMH)
INV.IN=48.95
INV.OUT=48.93



LOCUS
NOT TO SCALE



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ZONING SUBDISTRICT: 3F-4000
SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL
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JANUARY 19, 2018



SUBDIVISION PLAN OF LAND
IN
BOSTON, MASSACHUSETTS
8 WOODFORD STREET
21 MAGNOLIA STREET
23 MAGNOLIA STREET

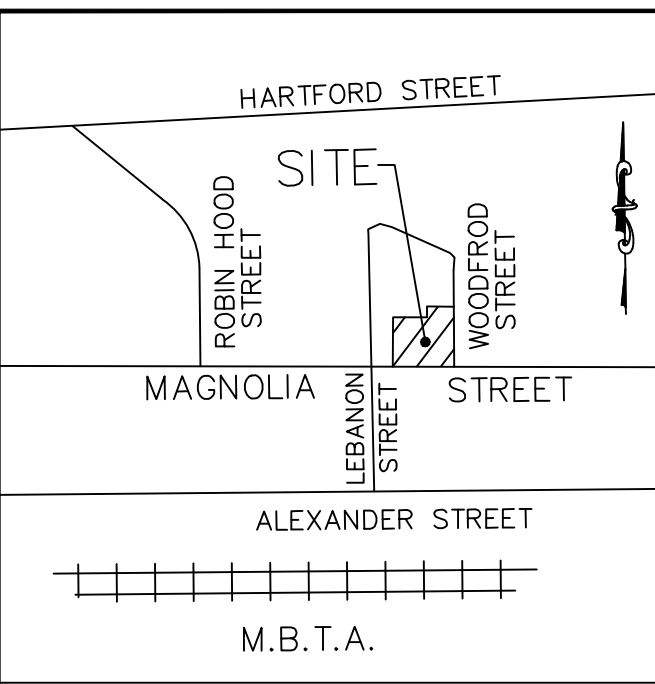
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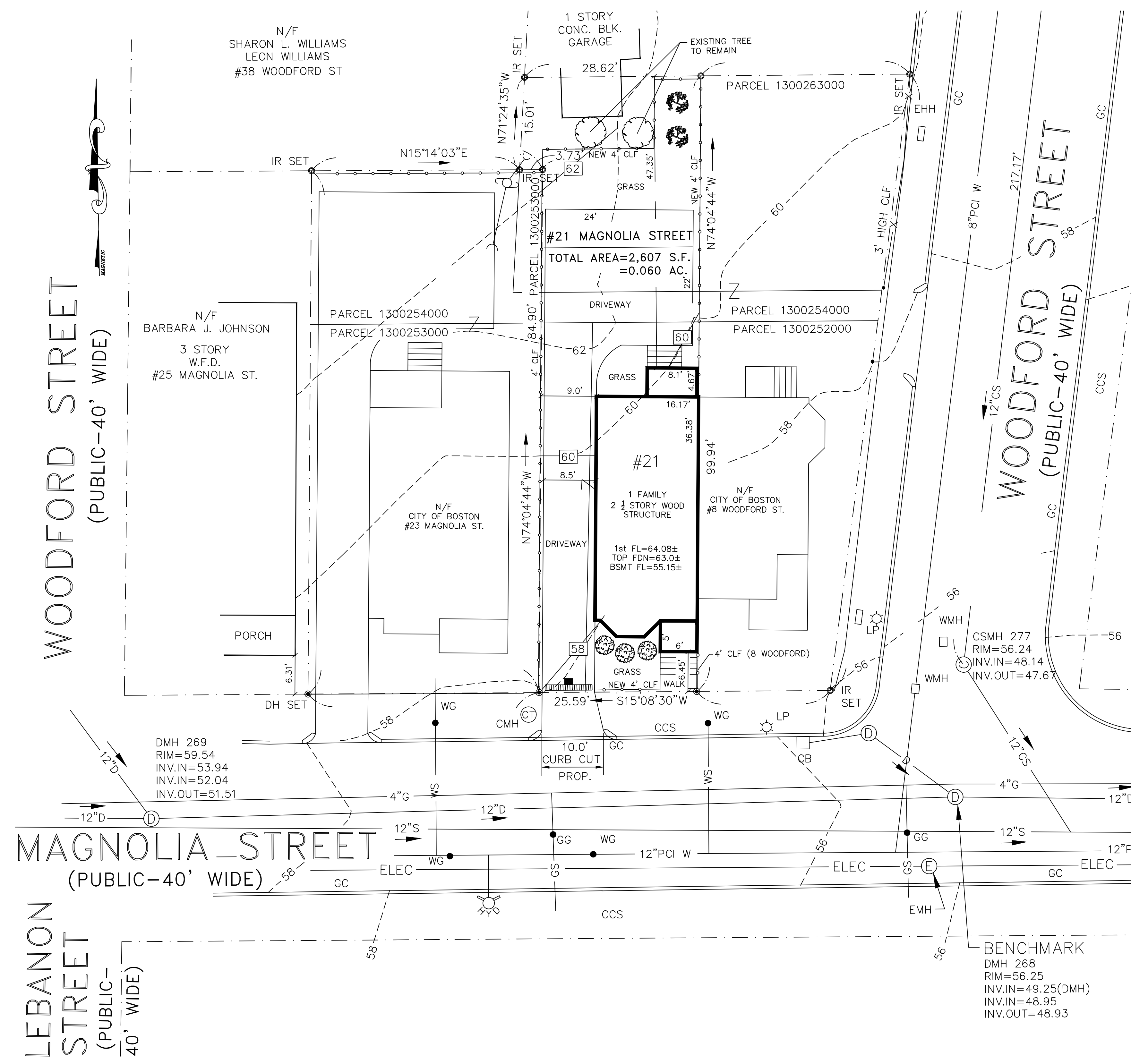
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REVISION		
1	TOPO ELEVATIONS	5/7/2020

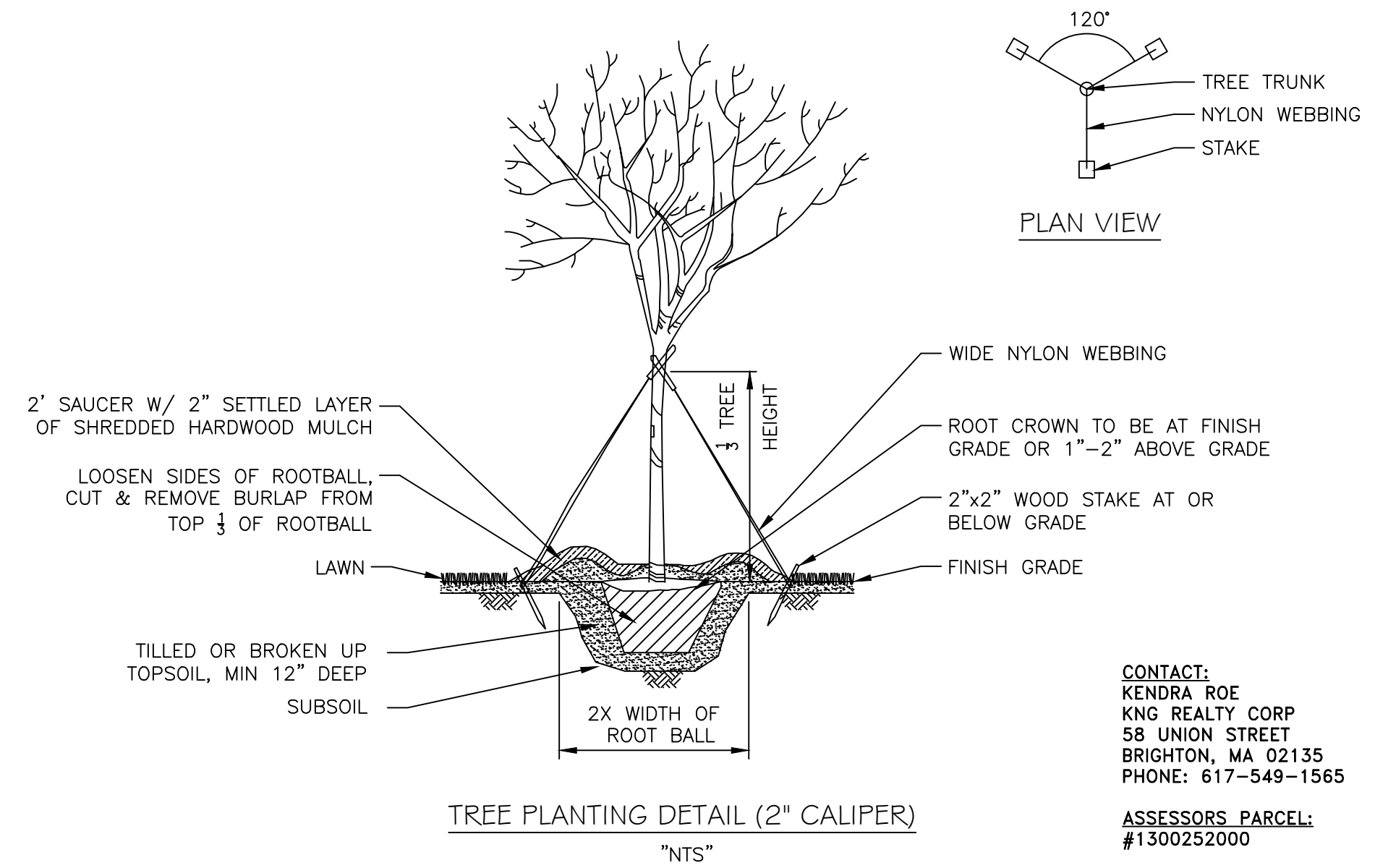
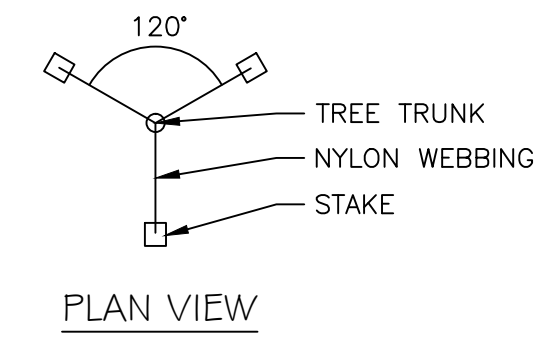
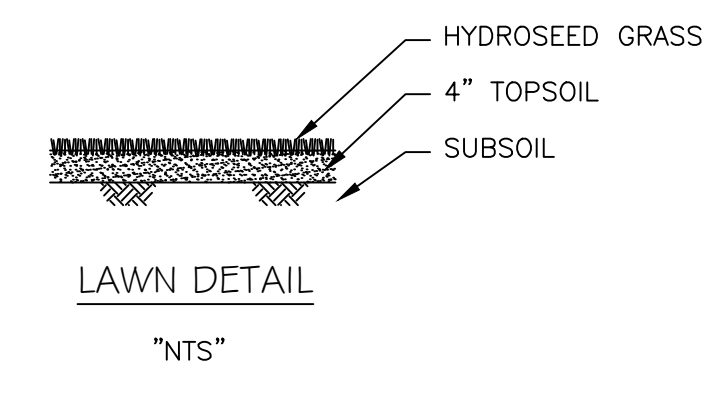
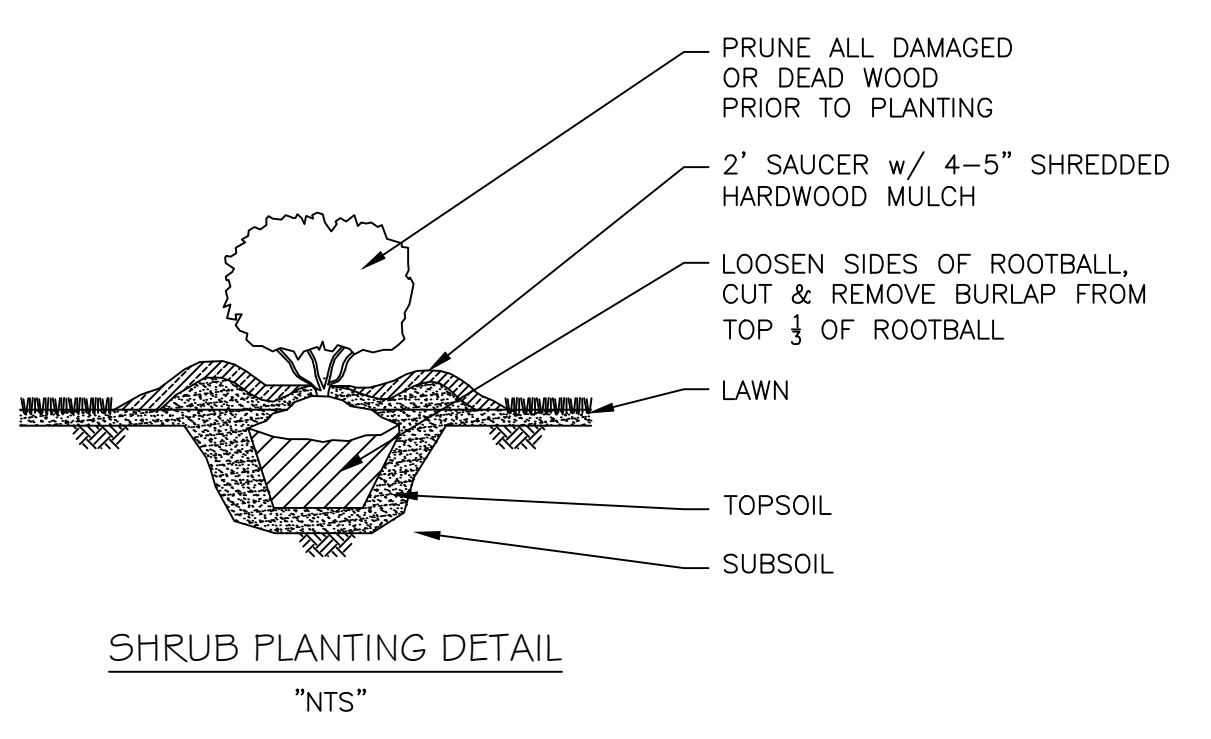
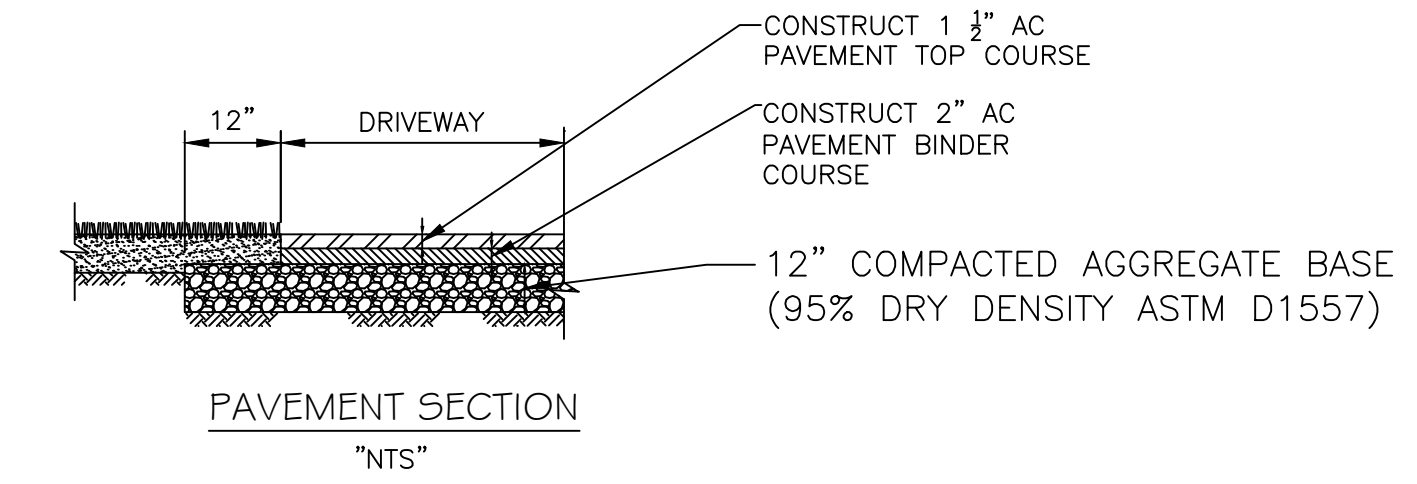
LEBANON STREET
(PUBLIC-40' WIDE)



LOCUS
NOT TO SCALE



- LANDSCAPE DETAILS:
- ENGLISH BOXWOOD (BOXUS SEMPERVIRENS), 24" HIGH
 - CRAB APPLE (MALUS X 'SUGARTYME'), 2" CALIPER
 - CONTRACTOR SHALL MAKE AN EFFORT TO PRESERVE THE EXISTING MATURE TREE(S) ON SITE
 - GRASS AREAS TO RECEIVE 4" LOAM AND HYDRO-SEED
 - DRIVEWAY AND WALK TO BE BITUMINOUS PAVEMENT (2" BINDER, 1 1/2" FINISH)
 - PROVIDE NEW 4' HIGH CHAIN LINK FENCE AS SHOWN



CONTACT:
KENDRA ROE
KNG REALTY CORP
58 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565

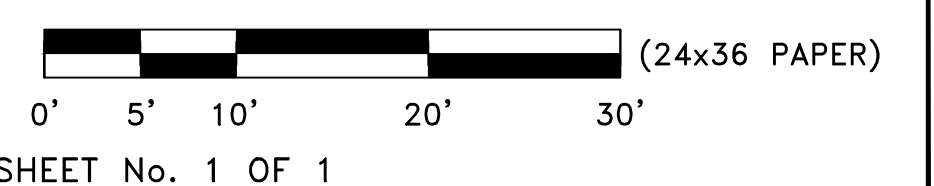
ASSESSORS' PARCEL:
#1300252000
COBUCS NUMBER:
1533238330343
ISD PERMIT NUMBER:
ERT804390
(AS OF RIGHT)

REVISIONS		
1	REV PER BWSC COMMENTS	5/7/2020



LANDSCAPE PLAN
21 MAGNOLIA STREET
BOSTON, MASS.
(ROXBURY NEIGHBORHOOD - 02125)

SCALE: 1"=10' JULY 31, 2019
CM KIRBY ENGINEERING, PLLC
CIVIL ENGINEERING & LAND PLANNING
PO BOX 291, NORWOOD, MA 02062
PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM



SHEET No. 1 OF 1

STORMWATER INFILTRATION NOTES

THE EXISTING LOT IS GRASS COVERED AND HAS NO EXISTING IMPERVIOUS AREA. THE IMPERVIOUS AREA FOR THE PROPOSED IMPROVEMENTS TO THE SITE, DRIVEWAY, WALKS, AND DWELLING IS 1764 SQUARE FEET. THE COMMISSION REQUIRES THAT THE PROPERTY HAS AN INFILTRATION SYSTEM CAPABLE OF STORING AT LEAST 1-INCH OF STORMWATER PER SQUARE FOOT OF POST-CONSTRUCTION IMPERVIOUS AREA ON THE SITE. THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A COMBINED MINIMUM STORAGE CAPACITY OF 147 CUBIC FEET (1100 GAL) (1764 SF x 1/2 FT = 147 CF) TO COMPLY WITH BWSC REQUIREMENTS.

THERE WILL BE (2) INFILTRATION SYSTEMS ON SITE, SYSTEM "A" WILL HAVE (3) CULTEC RECHARGER 180HD CHAMBERS w/ 6" STONE AND SYSTEM "B" WILL HAVE (2) CULTEC RECHARGER 180HD CHAMBERS w/ 6" STONE. THE SYSTEMS WILL COLLECT STORMWATER FROM THE DRIVEWAY AND ROOF OF THE PROPOSED STRUCTURE.

THE SYSTEMS HAVE A COMBINED STORMWATER STORAGE CAPACITY OF 176.8 CF (147 CF REQUIRED) OR 1322 GALLONS (1100 GALLONS REQUIRED). THE SYSTEMS WILL PROVIDE 1.2 INCHES OF STORAGE PER SF OF PROPOSED IMPERVIOUS AREA. SEE SHEET 2 OF 2 FOR ADDITIONAL NOTES AND DETAILS OF THE PROPOSED INFILTRATION SYSTEMS.

SEWAGE FLOW DISCHARGE CAPACITIES:

THE HOUSE IS A SINGLE FAMILY HOUSE w/ 3 BEDROOMS

ESTIMATED SEWAGE FLOW IS 330 GALLONS / DAY (110/BEDROOM)

THERE ARE NO FIXTURES IN THE BASEMENT

LAND USE CODE R1

PROJECT NARRATIVE

ADDRESS: 21 MAGNOLIA STREET
BOSTON (DORCHESTER), MA 02125
WARD 13

PARCEL NO. 1300252000

PERMIT NO. ERT804390 (AS OF RIGHT)

APPLICANT/CONTACT: KNG REALTY CORP
KENDRA ROE
58 UNION STREET
BRIGHTON, MA 02135
(617) 549-1565

THIS HOUSE IS PART OF THE CITY OF BOSTON'S NEIGHBORHOOD HOMES INITIATIVE (NHI) AND DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT (DND) PROJECTS.

THE PROPOSED PROJECT IS A NEW SINGLE FAMILY (ATTACHED) HOME (DND TYPE "E" HOME).

LAND USE CODE R1

THERE ARE FIXTURES IN THE BASEMENT.

FIRST FLOOR- NO BEDROOMS

SECOND FLOOR - 2 BEDROOMS

ATTIC FLOOR - 1 BEDROOM

THE SITE IS VACANT.

THE PARCEL WAS ORIGINALLY SURVEYED BY MERRIMACK ENGINEERING SERVICES, 66 PARK STREET, ANDOVER, MA 01810, IN JULY OF 2016.

PLAN NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY MERRIMACK ENGINEERING SERVICES, 66 PARK STREET, ANDOVER, MA 01810, IN JULY OF 2016.

SEE CITY OF BOSTON ASSESSORS PARCEL #1300252000, #1300253000, #1300254000 AND #130026300 FOR SITE. SITE IS KNOWN AS #21-23 MAGNOLIA STREET AND #8 WOODFORD STREET IN DEED BOOK #8341, PAGE #227-230 AND BOOK #8986, PAGE #377 SUFFOLK REGISTRY OF DEEDS. THE PARCEL WILL BE SUBDIVIDED INTO THREE PARCELS: #23 MAGNOLIA STREET, #21 MAGNOLIA STREET AND #8 WOODFORD STREET.

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SEE PLAN PREPARED BY CM KIRBY ENGINEERING, PLLC ENTITLED, "SUBDIVISION PLAN OF LAND, 8 WOODFORD STREET/21 MAGNOLIA STREET AND 23 MAGNOLIA STREET IN BOSTON, MA", DATED JANUARY 19, 2018, FOR DESCRIPTION OF SUBDIVISION.

GENERAL NOTES

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7235 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

THE EXISTING WATER AND SEWER SERVICE LOCATIONS SHOWN ARE FROM AVAILABLE BWSC RECORD DATA AND ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE THE EXISTING WATER AND SEWER LINES. IF THE EXISTING SEWER SERVICE IS TO BE USED THE CONTRACTOR SHALL VISUALLY INSPECT THE LINE BY EXCAVATION AND OR BY VIDEO OF THE PIPE AS REQUIRED BY THE COMMISSION.

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

THE CONTRACTOR SHALL SUPPLY THE COPPER SERVICE AND SHALL PERFORM THE TAP AS PART OF HIS CONTRACT.

NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

IT IS RECOMMENDED THAT DIGGING WITHIN ONE FOOT OF THE MAIN BE DONE WITH HAND TOOLS ONLY.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED AS-BUILT PLANS.

THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES TO PREVENT IMPACT ON WATER BODIES, BORDERING VEGETATED WETLANDS, CITY DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.

ANY PROPOSED GAS, ELECTRIC, STEAM, TELEPHONE, CABLE OR OTHER UTILITY LINES ARE TO BE LOCATED AND SIZED BY OTHERS. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

ALL NEW CONSTRUCTION WILL REQUIRE A ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

THERE ARE PLUMBING FIXTURES IN THE BASEMENT (LAUNDRY). A BACKWATER VALVE (SEE DETAIL) WILL BE INSTALLED IN THE BASEMENT FOR THE FIXTURES.

IT IS REQUIRED THAT A DYE TEST WILL BE PERFORMED BY THE BOSTON WATER AND SEWER COMMISSION INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED 5' TO 6' BELOW GRADE. WHERE REQUIRED THRUST RESTRAINTS SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BWSC. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES TO PROTECT WORKERS, THE PUBLIC AND ALL PROPERTIES DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF LABOR AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

BENCHMARK

REFERENCE BENCHMARK: BENCHMARK IS DRAIN MANHOLE 268 RIM LOCATED ON MAGNOLIA STREET, ELEVATION=56.25.

MATERIAL SPECIFICATIONS

THE PROPOSED WATER SERVICE SHALL BE 1/2" TYPE K COPPER PIPE

THE PROPOSED SEWER SERVICE SHALL BE 6" SDR-35 PIPE

THE ROOF DRAIN SHALL BE 4" ADS PERFORATED PIPE

THE PROPOSED STRUCTURES AND APPURTENANCES USED FOR THE PROPOSED INFILTRATION SYSTEM WILL BE CONSISTENT OF (2) CULTEC INFILTRATION SYSTEMS, ONE WITH (3) CULTEC RECHARGER 180HD CHAMBERS AND THE SECOND WITH (2) CULTEC RECHARGER 180HD CHAMBERS MANUFACTURED BY CULTEC, OR AN APPROVED EQUAL.

LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▷ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- SPLASH BLOCK
- ☆ LIGHT POLE (LP)
- ☆ PROPOSED LAMP POST (LAMP)
- ☆ UTILITY POLE (UP)
- ☆ UTILITY POLE w/ LIGHT (UP/LP)
- HAND HOLE (HH)
- GC VERTICAL GRANITE CURB (GC)
- SGB SLOPED GRANITE EDGING (SGB)
- BB BITUMINOUS CONCRETE BERM (BB)
- CCB CAPE COD BERM (CCB)
- CC PRECAST CONCRETE CURB (CC)
- EP EDGE OF PAVEMENT (EP)
- ~ SIGN

CONTACT:
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PHONE: 617-549-1565

ASSESSORS PARCEL:
#1300252000

COBUCS NUMBER:
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ISD PERMIT NUMBER:
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(AS OF RIGHT)

BENCHMARK
DMH 268
RIM=56.25
INV.IN=49.25(DMH)
INV.IN=48.95
INV.OUT=48.93

REVISIONS

NO.	REV PER BWSC COMMENTS	DATE
1	REV PER BWSC COMMENTS	5/7/2020

BWSC USE ONLY

BOSTON WATER AND SEWER COMMISSION
LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for Issue of Building Permit Only. Additional Permits must be obtained from B.W.S.C. prior to connection to B.W.S.C. facilities. Site Plans are valid for a period of one (1) year from date of approval.

JOHN P. SULLIVAN, JR. P.E.
Chief Engineer

BACKWATER VALVE INSTALLATION

APPROVAL: _____ DATE: _____
ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

BWSC INSPECTIONS

21 MAGNOLIA STREET BWSC ACCOUNT No. NEW
G.S.A. No. _____ WATER METER No. _____
ASSESSORS PARCEL No. #1300252000

1	3/4" WATER INSPECTOR	DATE
2	5/8" WATER METER INSPECTOR	DATE
3	6" SEWER INSPECTOR	DATE
4	SEWER CLEANOUT INSPECTOR	DATE
4	DYE TEST (SEWER) INSPECTOR	DATE
5	INFILTRATION SYSTEM A (THREE CULTEC 180HD CHAMBERS) INSPECTOR	DATE
6	BWSC "DON'T DUMP" PLAQUE ON-SITE INSPECTOR	DATE
7	INFILTRATION SYSTEM B (TWO CULTEC 180HD CHAMBERS) INSPECTOR	DATE
8	YARD DRAIN INSPECTOR	DATE
9	TRENCH DRAIN INSPECTOR	DATE
10	AS-BUILT PREPARATION FEE INSPECTOR	DATE



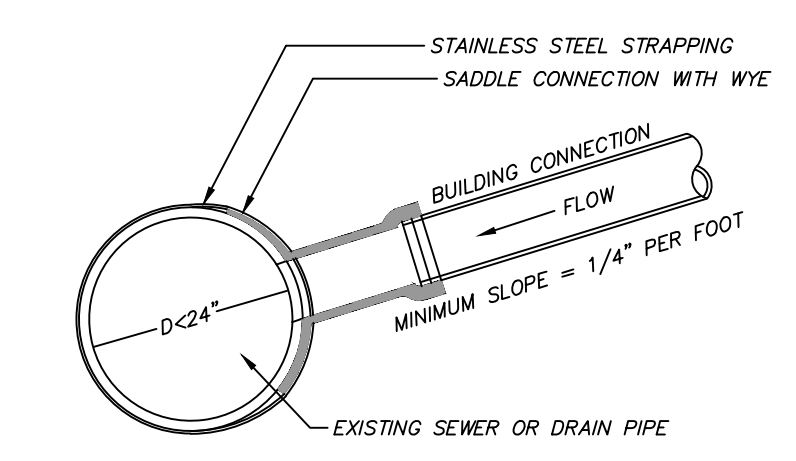
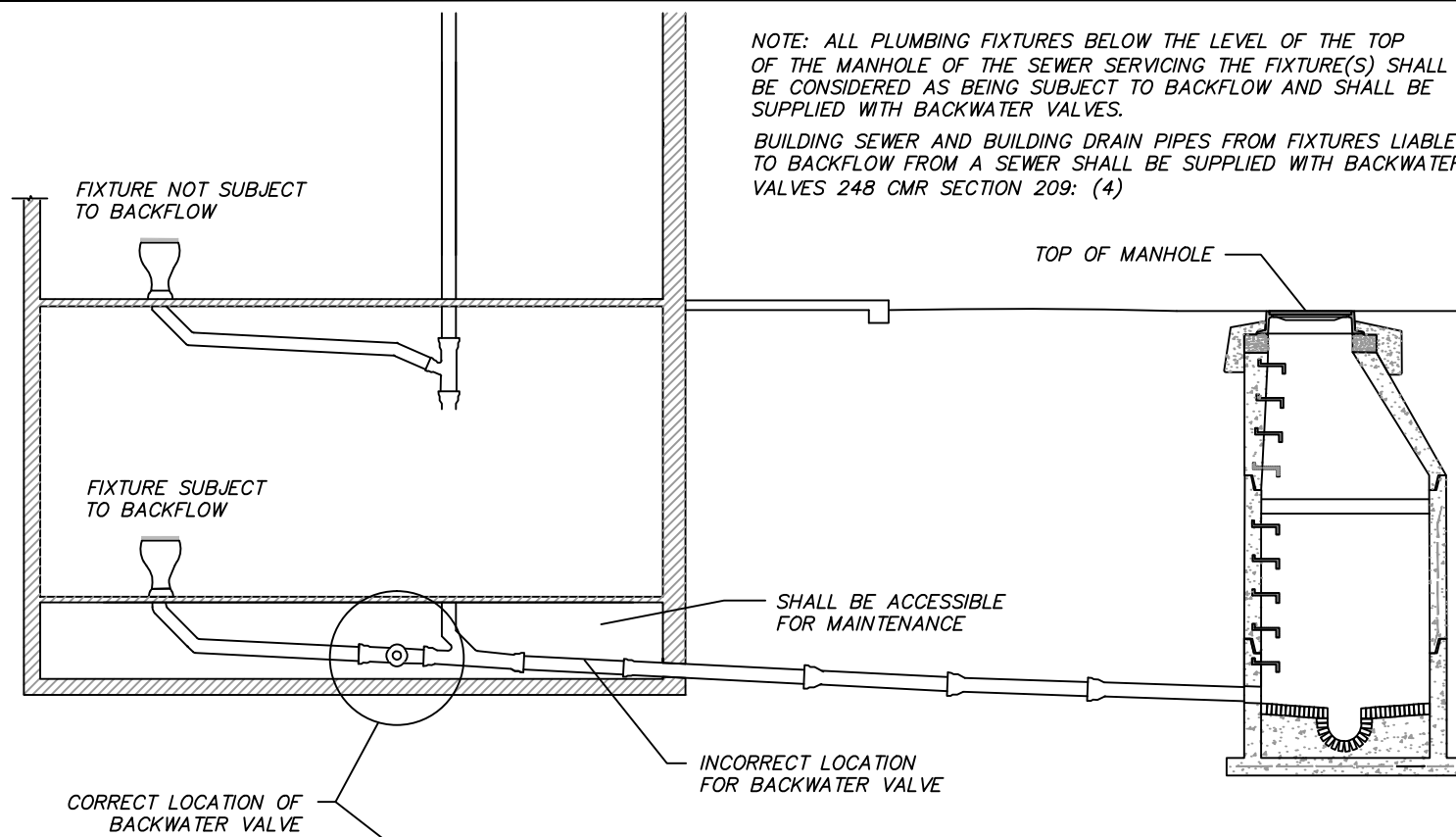
BWSC SITE PLAN No. 19348
21 MAGNOLIA STREET
BOSTON, MASS.
(ROXBURY NEIGHBORHOOD - 02125)

SCALE: 1"=10' JULY 2, 2019
CM KIRBY ENGINEERING, PLLC
CIVIL ENGINEERING & LAND PLANNING
PO BOX 291, NORWOOD, MA 02062
PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM

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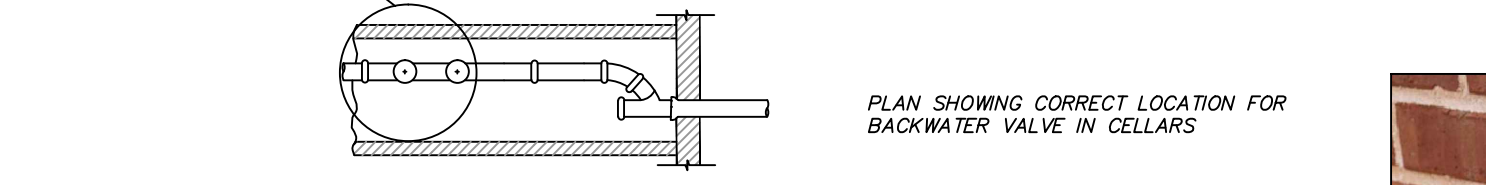
SHEET No. 1 OF 2 19348-01

BWSC SITE PLAN No. 19348

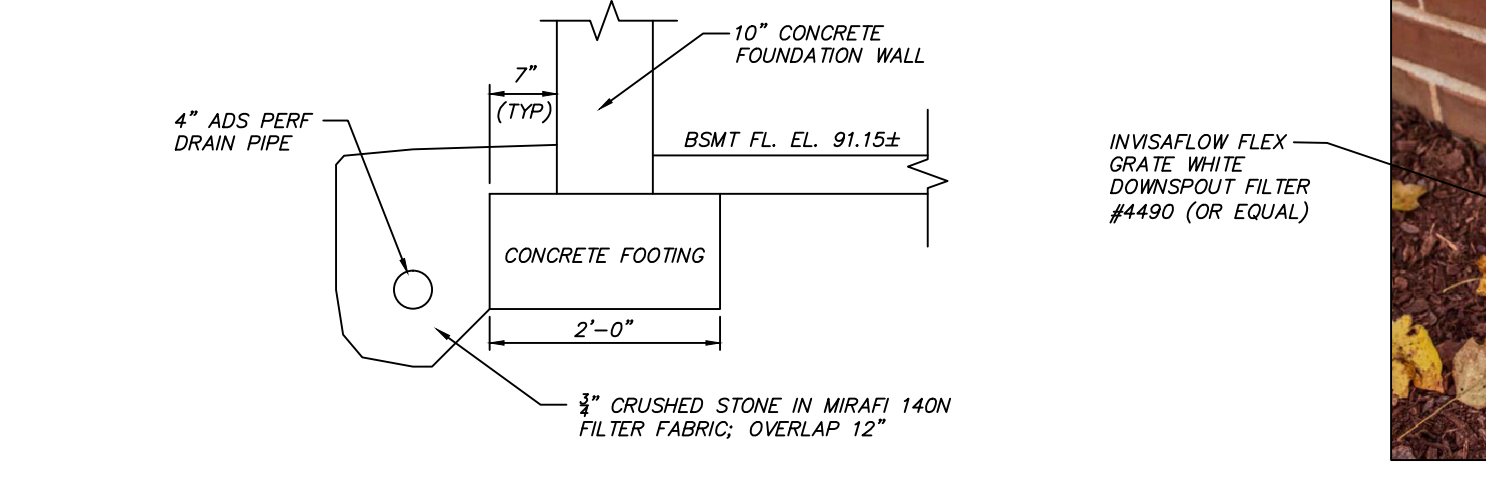


- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

SANITARY SEWER SADDLE CONNECTION DETAIL NOT TO SCALE



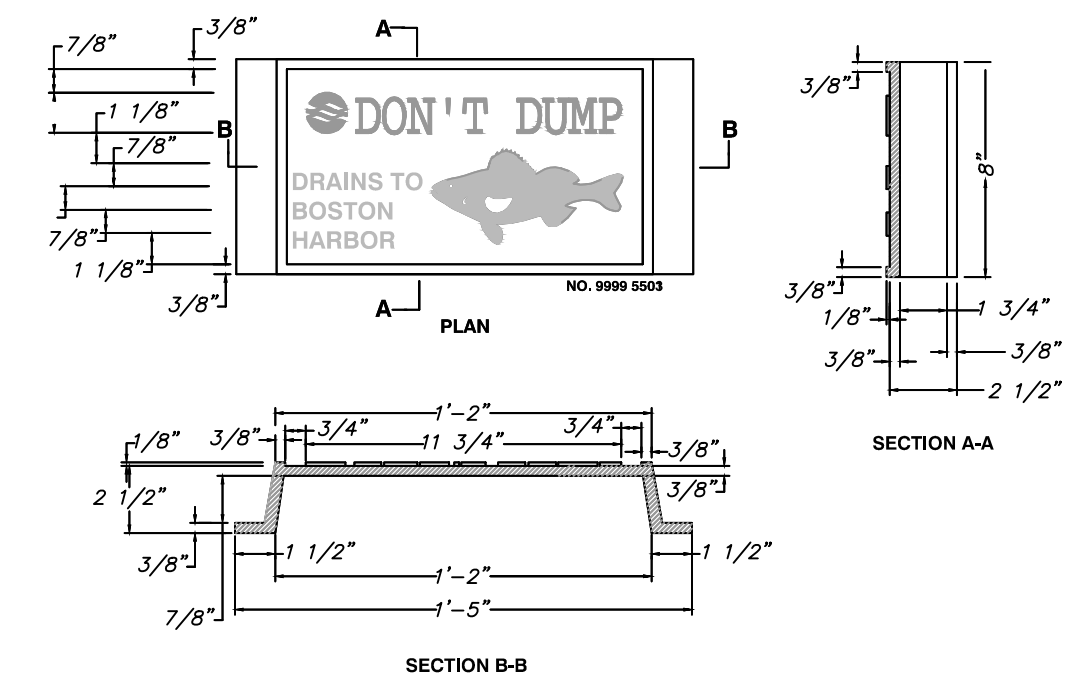
BACKWATER VALVE LOCATION NOT TO SCALE



FOUNDATION UNDER DRAIN SCHEMATIC NOT TO SCALE



DOWN SPOUT OVERFLOW NOT TO SCALE

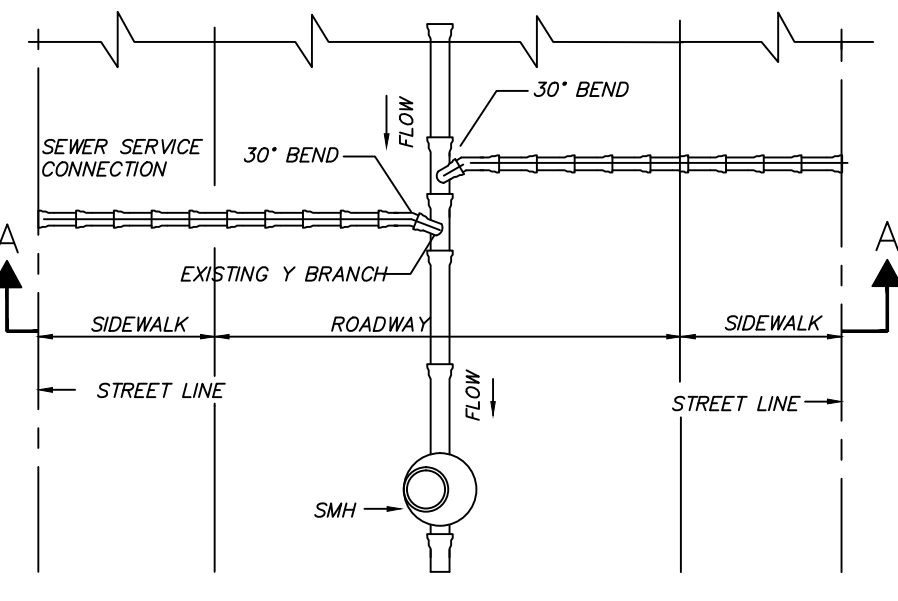


DO NOT DUMP PLAQUE DETAIL (BWSC DETAIL) NOT TO SCALE

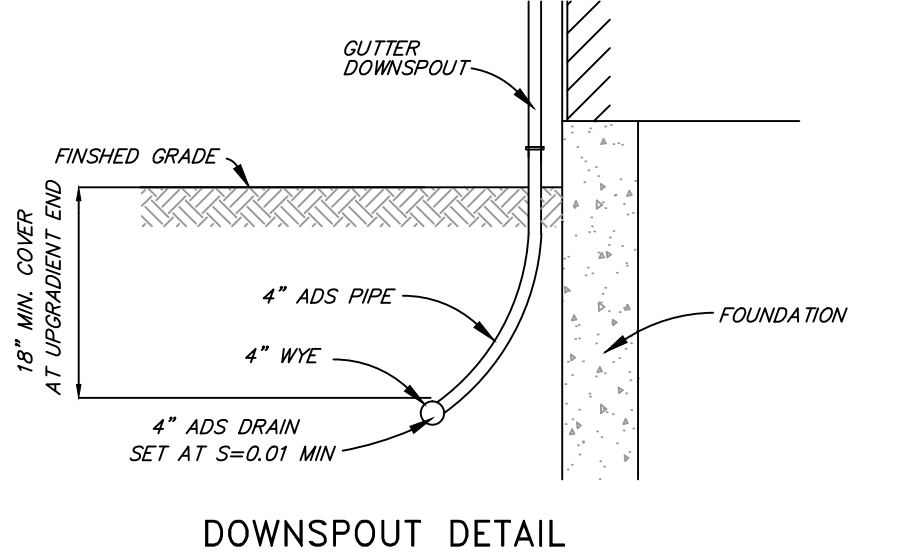
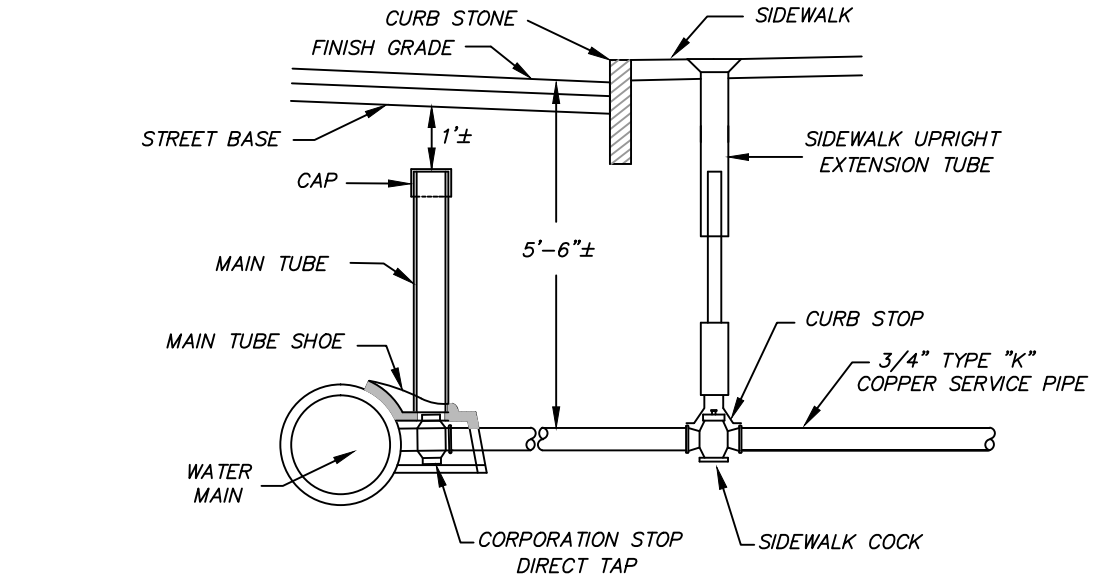
COBUCS APPROVAL:

Street	From	Lo	To	Hi	Type	Begin	End	Progress
MAGNOLIA ST	WOODFORD ST	28	WOODFORD ST	28	Utility Connections	09/15/2018	11/15/2019	Proposed

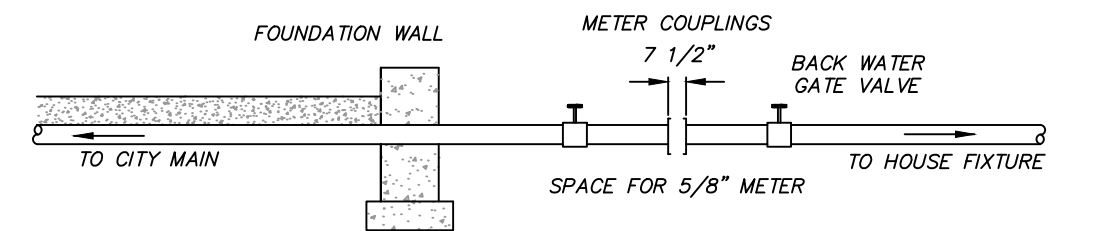
Add Segment Delete Segment Progress: Neighborhood: Completed: Ref. Submit
RECORD #1533238330343
 Reference: 21 Magnolia_Kendra Roe (617) 549-1565
 Address: 21 Magnolia Street
 Length: 20'
 Added: on August 2, 2018 at 7:32 PM by CKIRBY
 Last edited: on August 2, 2018 at 7:32 PM by CKIRBY
 Conflict:
 Justification:



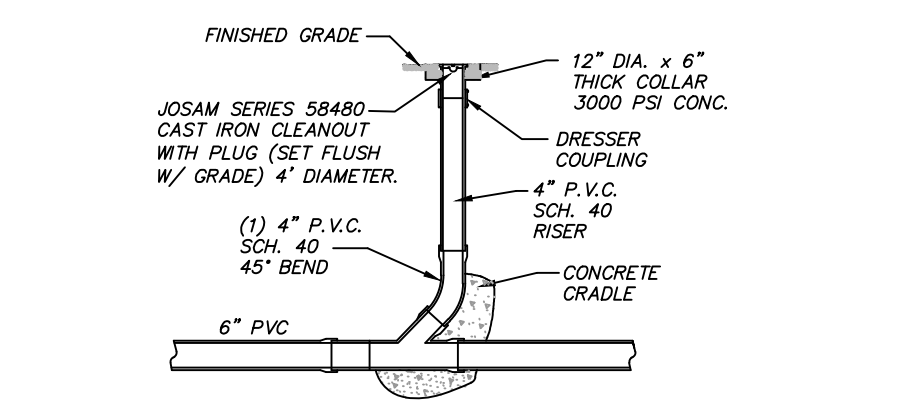
WATER SERVICE CONNECTION NOT TO SCALE



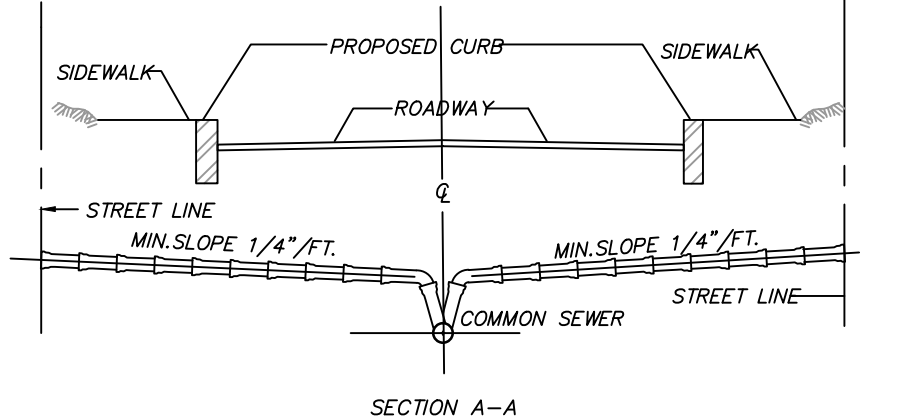
DOWNSPOUT DETAIL NOT TO SCALE



METER SPACING DETAIL (BWSC DETAIL) NOT TO SCALE



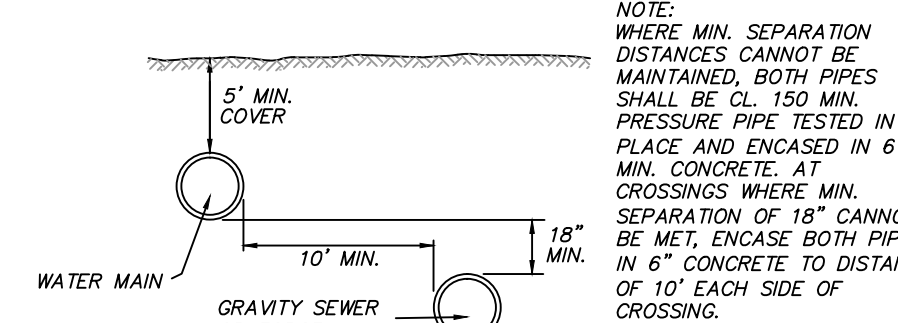
CLEANOUT DETAIL NOT TO SCALE



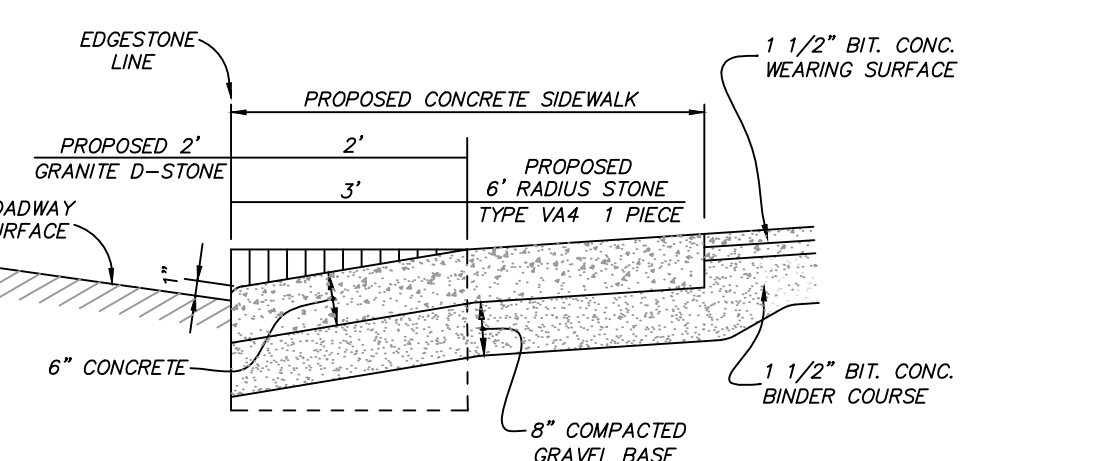
SANITARY SEWER WYE CONNECTION (BWSC DETAIL) NOT TO SCALE



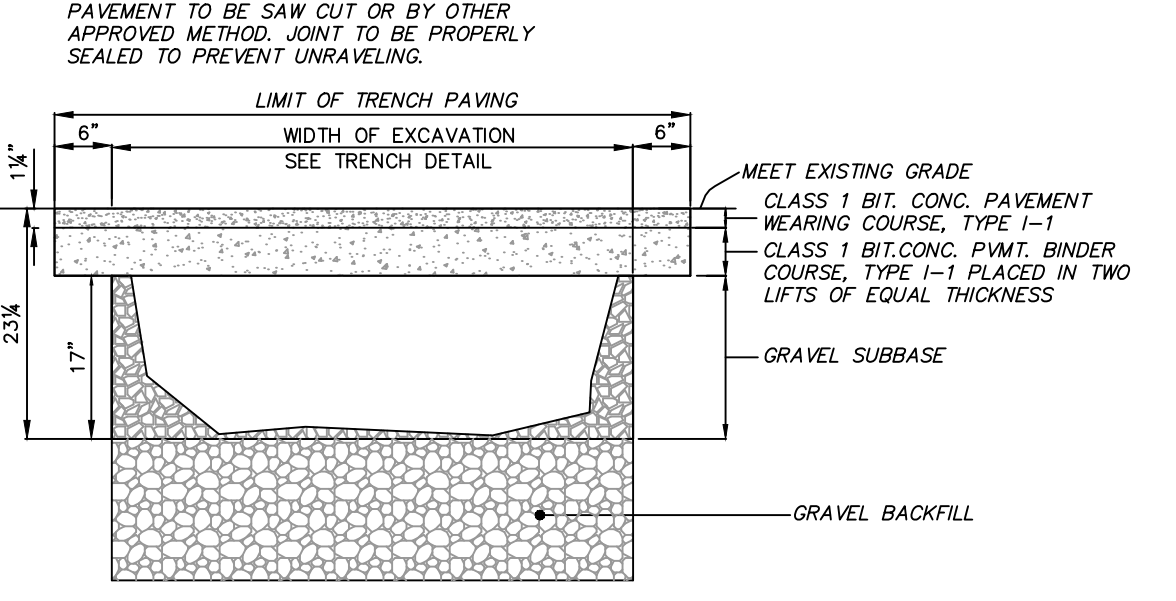
SANITARY SEWER WYE CONNECTION (BWSC DETAIL) NOT TO SCALE



SEWER/WATER SEPARATION DETAIL NOT TO SCALE



CONCRETE DRIVEWAY BASE (BWSC DETAIL) NOT TO SCALE



PERMANENT TRENCH REPAIR (BWSC DETAIL) NOT TO SCALE

CULTEC Recharger® 180HD Stormwater Chamber

The Recharger® 180HD is a 20.37' (621 mm) tall, mid-size chamber and is typically used for installations with slight restrictions or when a larger infiltration area is required. The Recharger® 180HD has the side inlet manifold feature. HVLV FC-24 Feed Connectors are inserted into the side ports to create the internal manifold.

Size (L x W x H)	7.53' x 36" x 20.37'	2.23' x 18.0" x 2.23'
Inletted Length	6.32'	1.92'
Length (Adjusted) per Run	5.28'	1.71'
Chamber Storage	2.43 m³ (85.9 cu ft)	0.22 m³ (7.8 cu ft)
Min. Inletted Storage	0.53 m³ (18.7 cu ft)	0.02 m³ (0.7 cu ft)
Min. Area Required	30.97 sq ft	1.91 sq ft
Min. Center to Center Spacing	3.28'	0.98'
Min. Allowable Cover	12"	12"
Max. Inletted Depth	3.78'	1.12'
Max. Inletted D.O.D.	13.23'	3.71'
Compatible Feed Connector	HVLV FC-24 Feed Connector	HVLV FC-24 Feed Connector

STORAGE CAPACITY CALCULATIONS FOR INFILTRATION SYSTEM:

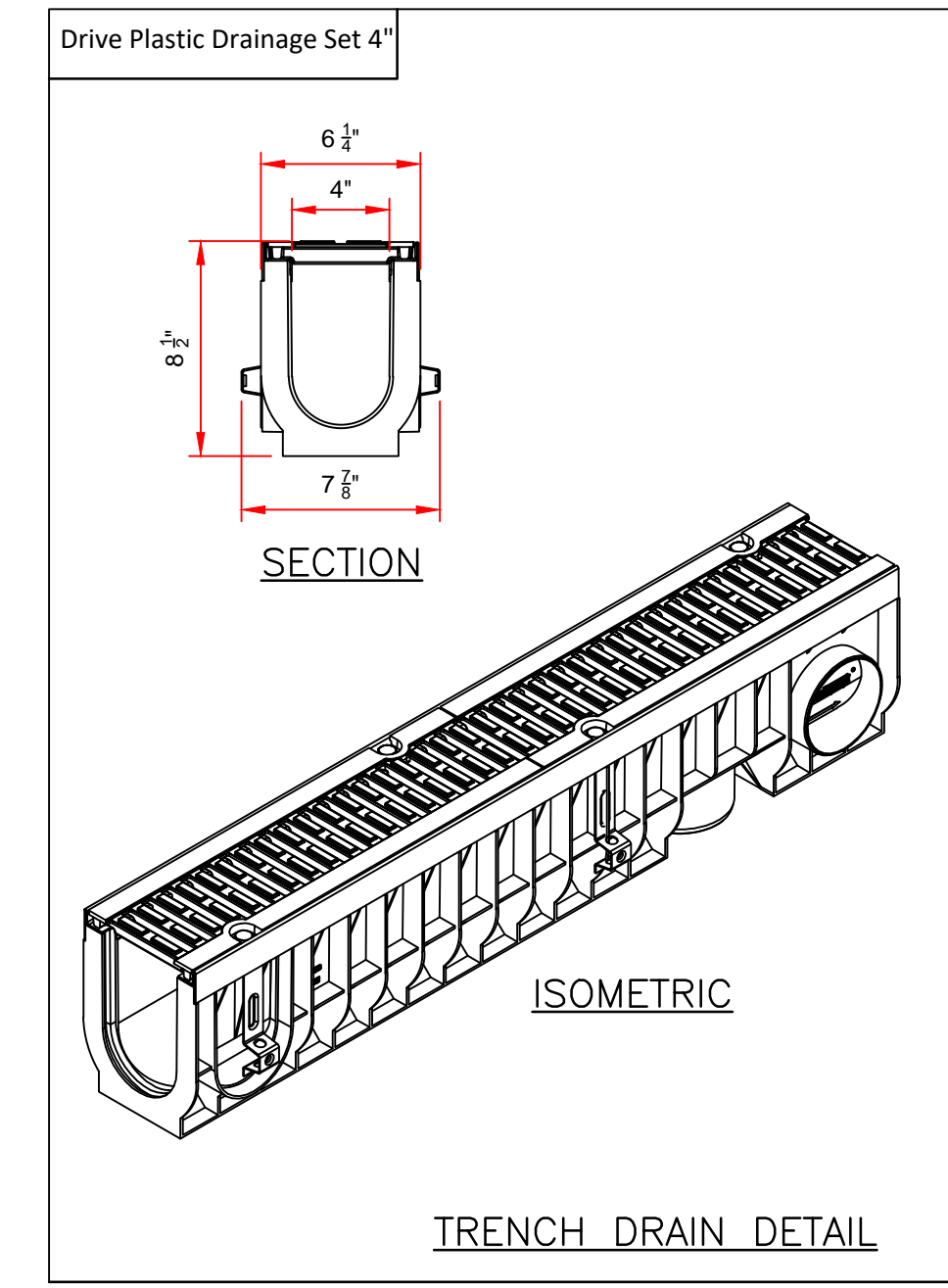
THE 4" INLET PIPE TO THE CHAMBER SHALL ENTER THE TOP OF THE CHAMBER TO TAKE ADVANTAGE OF 100% OF THE CHAMBER'S CAPACITY

SYSTEM CAPACITY = 35.37 FT³ PER CHAMBER w/ 6" STONE

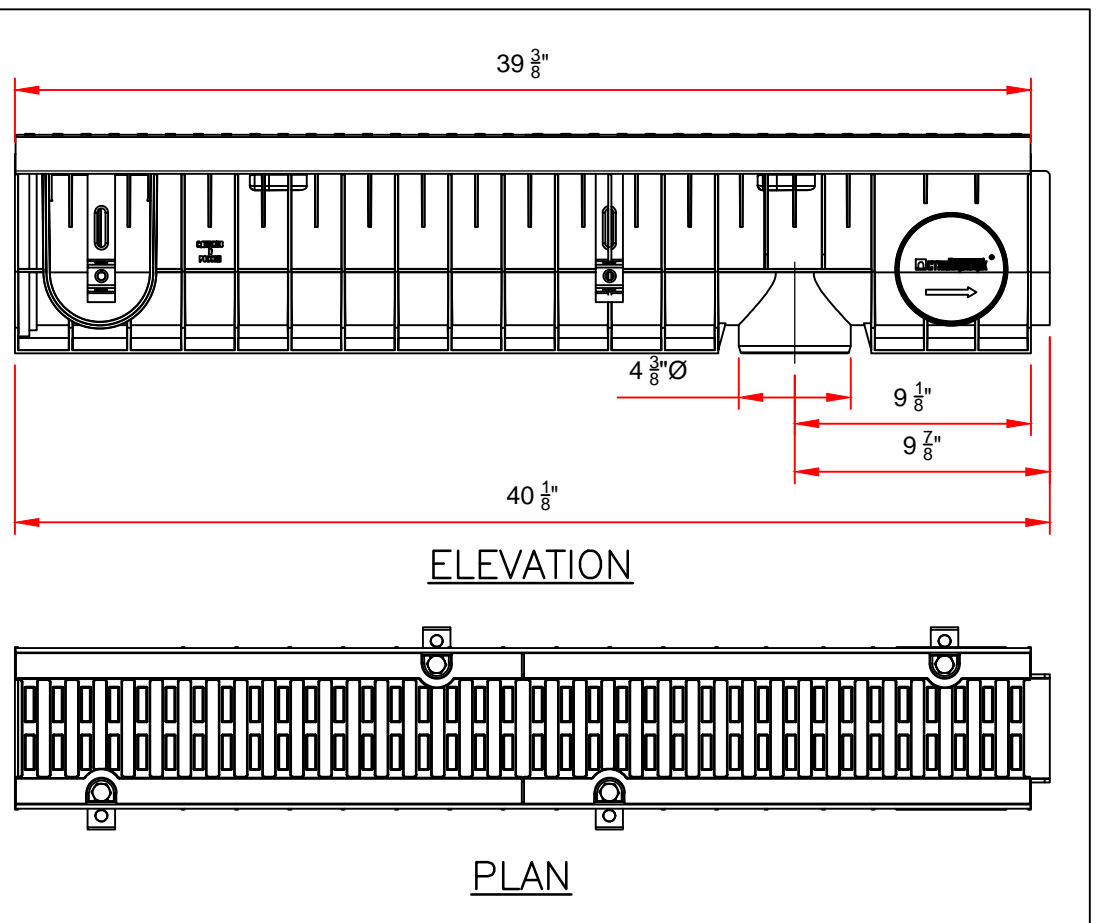
(5) CHAMBERS = 5 x 35.37 FT³ = 176.8 FT³ OF STORAGE CAPACITY

147 CF OF STORAGE REQUIRED (SEE SHEET 1)

(2) SYSTEMS, ONE w/ 3 CHAMBERS, ONE w/ 2 CHAMBERS = 176.8 CF OF STORAGE PROVIDED > 147 CF...OK.



TRENCH DRAIN DETAIL NOT TO SCALE



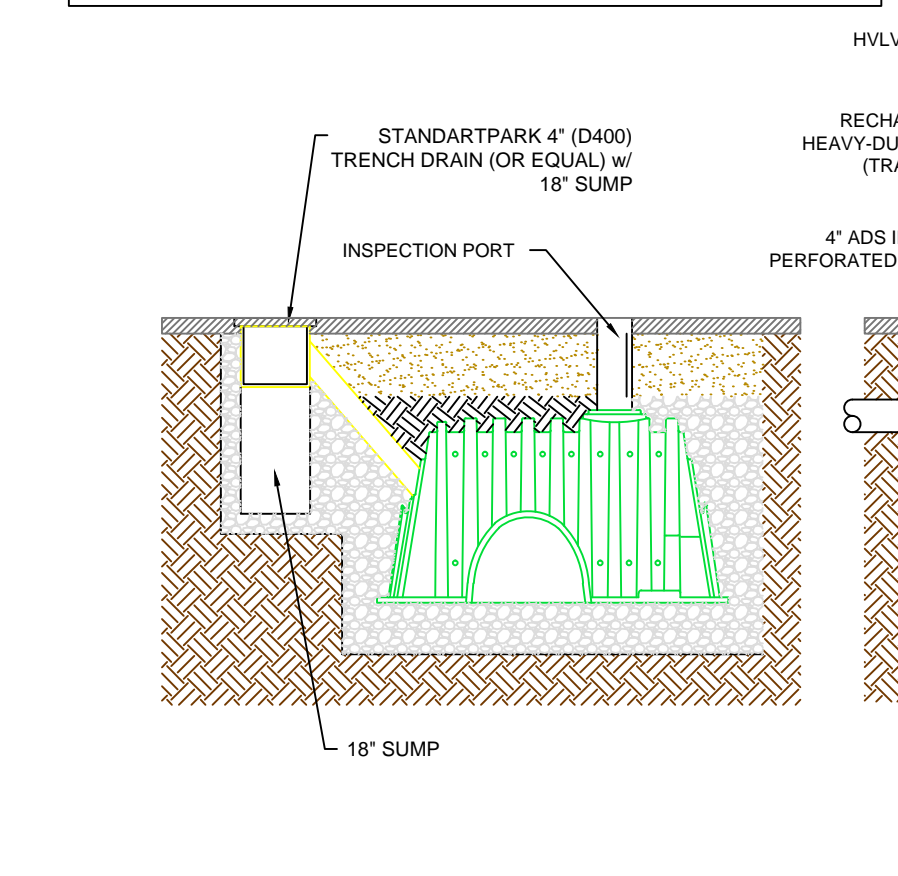
ELEVATION PLAN

1. Area of water intake slots 66.6 sq in
2. Water flow capacity 224.1 GPM (Slope 0.3%) - 1293.9 GPM (Slope 10%)

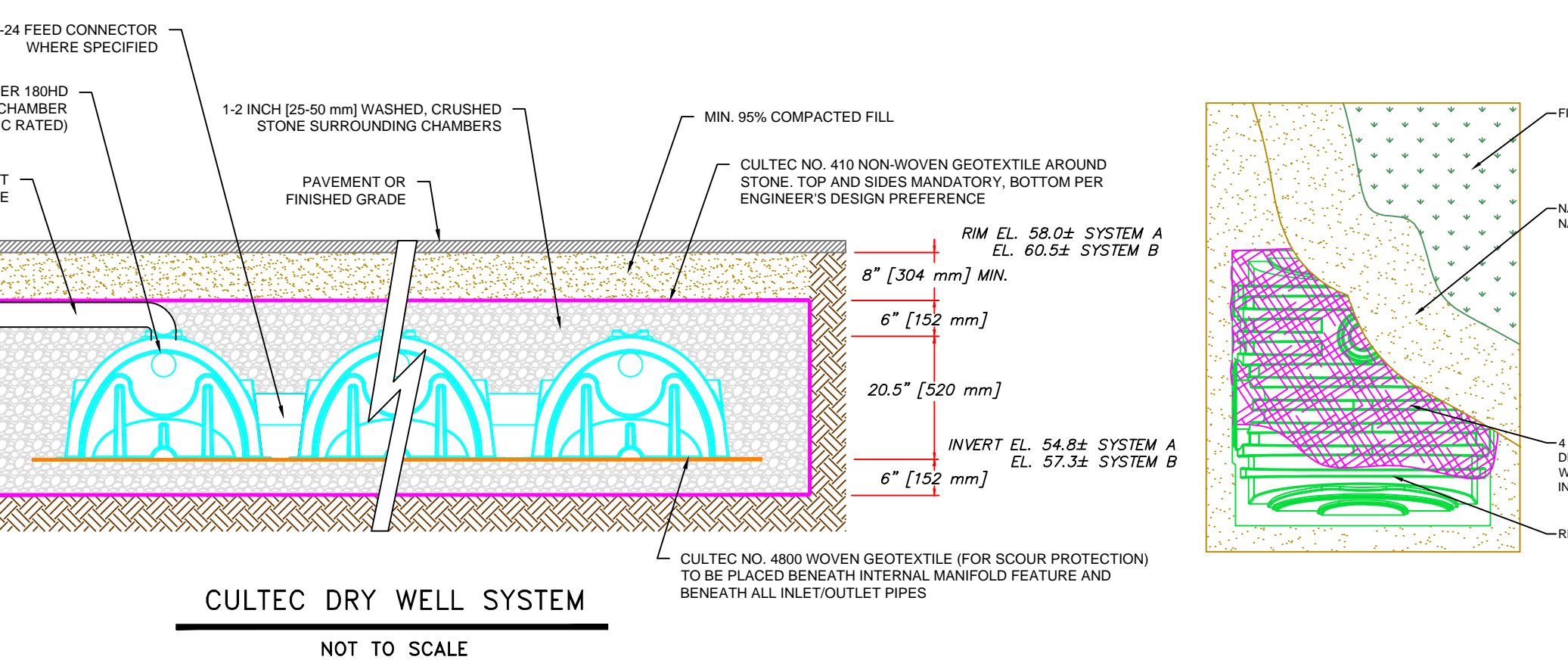
Rev	Sheet	Doc. No.	Sign	Date	Let	Weight (lb)

NP-PCM 080434
Load Classes A-D
Plastic, Ductile Cast Iron, Steel

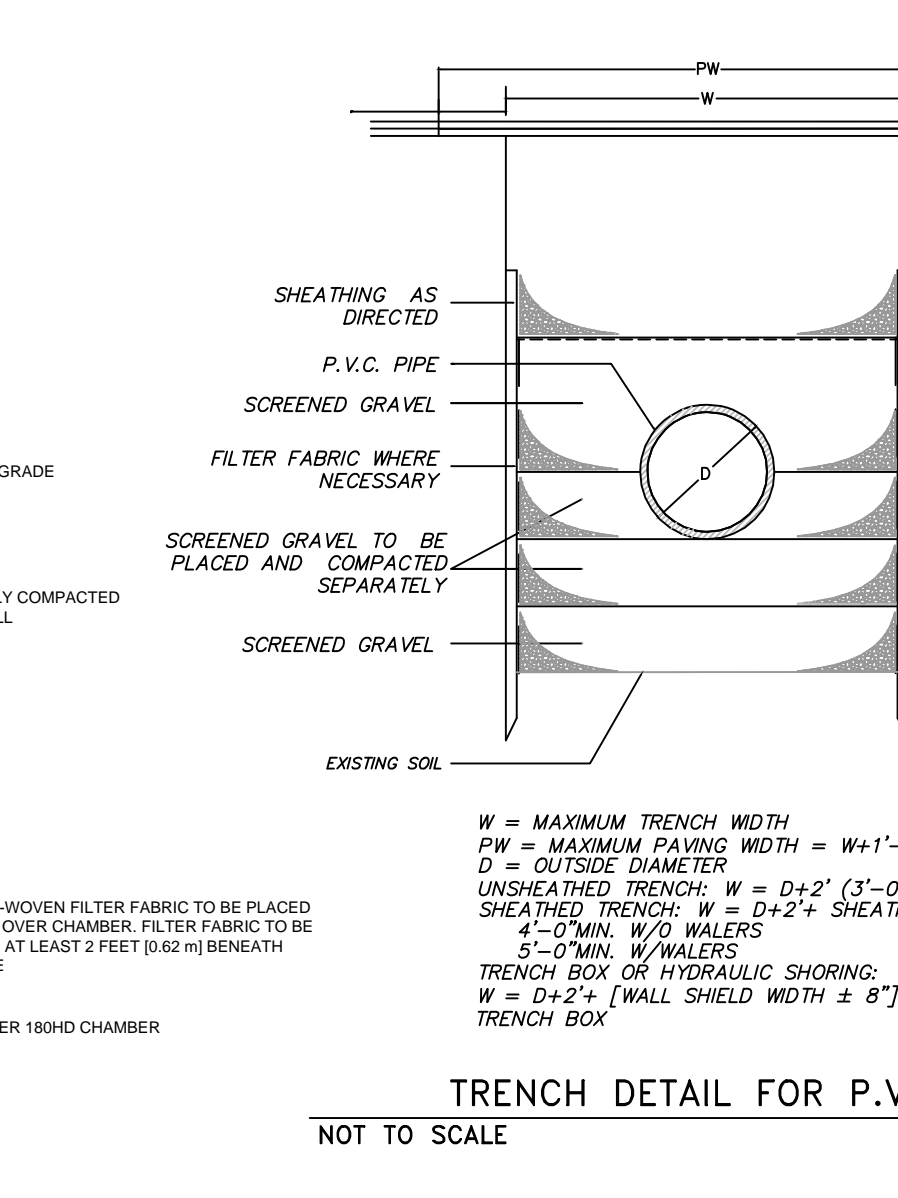
DRIVE PLASTIC DRAINAGE SET 4" NOT TO SCALE



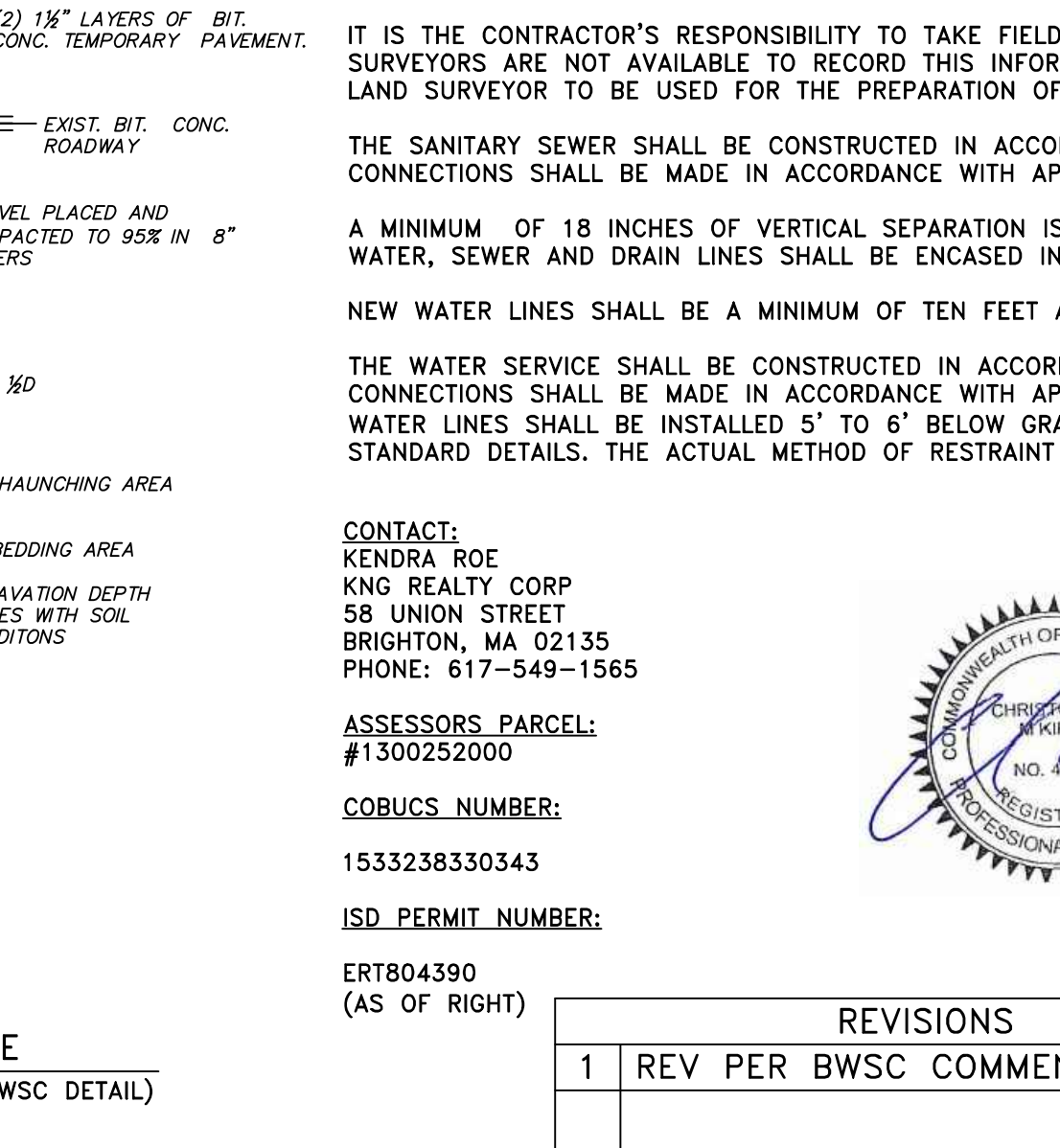
CULTEC DRY WELL SYSTEM NOT TO SCALE



CULTEC DRY WELL SYSTEM NOT TO SCALE



TRENCH DETAIL FOR P.V.C. PIPE NOT TO SCALE (BWSC DETAIL)



CONCRETE DRIVEWAY BASE (BWSC DETAIL) NOT TO SCALE

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED AS-BUILT PLANS.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED 5" TO 6" BELOW GRADE. WHERE REQUIRED THURST RESTRAINTS SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

CONTACT:
KENDRA ROE
KING REALTY CORP
58 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565

ASSESSORS PARCEL: #1300252000
COBUCS NUMBER: 1533238330343
ISD PERMIT NUMBER: ERT804390 (AS OF RIGHT)

REVISIONS		
1	REV PER BWSC COMMENTS	5/7/2020

(24x36 PAPER)

PWD USE ONLY

CITY OF BOSTON PUBLIC WORKS DEPARTMENT
APPROVAL OF SITE UTILITY/GRADING PLAN

APPROVING THE RELATIONSHIP GRADEWISE OF THE PROPOSED BUILDING TO THE ADJUTING PUBLIC WAY(S) AND DOES NOT CONSIDER THE APPROVAL OF NEW/MODIFIED CURB CUTS.

APPARENT BUILDING PROJECTIONS OVER THE PUBLIC WAY? YES NO

ANY BUILDING PROJECTIONS OVER THE PUBLIC WAY, NOTED OR OTHERWISE, REQUIRE ADDITIONAL PERMITTING.

TODD M. LIMING, P.E., PRINCIPAL CIVIL ENGINEER DATE

CONDITIONS OF THE CURB CUT PERMIT

THE PERMITEE AGREE TO SAVE AND HOLD HARMLESS THE CITY OF BOSTON FROM ALL LIABILITY ARISING FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT.

THIS PERMIT IS NON-TRANSFERABLE.

THIS PERMIT IS CONDITIONAL AND ONLY BECOMES VALID UPON THE ISSUANCE OF A USE OF PREMISES PERMIT BY THE CITY OF BOSTON INSPECTORIAL SERVICES ("ISO") FOR THE SAME PLAN SUBMITTED WITH THIS PERMIT. THIS PERMIT IS NOT VALID IF THE PLANS ASSOCIATED WITH THE USE OF PREMISES PERMIT HAS BEEN ALTERED IN ANY WAY FROM THE PLAN SUBMITTED WITH THIS PERMIT.

UNLESS OTHERWISE NOTED, THIS PERMIT AUTOMATICALLY EXPIRES 18 MONTHS FROM THE DATE OF THE ISSUANCE UNLESS EXTENDED IN WRITING BY THE CHIEF ENGINEER OF THE PUBLIC WORKS DEPARTMENT. AN EXTENSION MAY BE GRANTED AFTER A REQUEST IS MADE IN WRITING AND THE APPROPRIATE FEES ARE PAID PRIOR TO THE EXPIRATION DATE OF THE PERMIT.

THE PROPOSED SIDEWALK SHALL CONFORM TO THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (CMR521).

ALL WORK DONE UNDER THIS PERMIT SHALL COMPLY WITH WRITTEN REQUIREMENTS OF DIRECTIONS WHICH MAY BE ISSUED BY THE COMMISSIONER OF PUBLIC WORKS RELATING TO THE PARTICULAR PROJECT. IF ANY OF THE CONDITIONS OF THIS PERMIT ARE VIOLATED, THIS PERMIT MAY BE REVOKED BY THE COMMISSIONER OF PUBLIC WORKS.

THE WORK, MATERIALS, PLANS AND SPECIFICATIONS SHALL BE AVAILABLE AT ALL TIMES FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF THE CITY OF BOSTON.

PRIOR TO THE ISSUANCE OF ANY PERMIT FOR THE CONSTRUCTION OF A DRIVEWAY, A PERMIT FROM THE CITY OF BOSTON PARKS & RECREATION IS REQUIRED FOR THE REMOVAL AND/OR PLANTING OF ANY TREES ON OR ALONG A PUBLIC WAY. THE OPENING FOR THE DRIVEWAY MUST BE AT LEAST FIVE FEET AWAY FROM ANY TREE, STREET LIGHT, OR OTHER EXISTING APPURTENANCES. CONTACT (617) 635-4500 TO BE DIRECTED TO THE PARKS DEPARTMENT.

THE RELOCATION AND/OR ADJUSTMENT OF ANY PUBLIC OR PRIVATE UTILITY SHALL BE THE RESPONSIBILITY OF THE PERMITEE PRIOR TO ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

COORDINATE THE RELOCATION OF ANY TRAFFIC CONTROL SIGNS, PARKING METERS OR SIGNALIZATION DEVICE WITH THE TRANSPORTATION DEPARTMENT. CONTACT (617) 635-4500 FOR THE TRANSPORTATION DEPARTMENT.

CONSTRUCTION MATERIALS AND EQUIPMENT MUST NOT BE STORED OR PARKED ON THE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED AS A CONDITION OF THIS PERMIT.

PRIOR TO THE RELEASE OF THIS PERMIT, COMPLETE REPAIR (RESTORATION OF RIGHT OF WAY) SHALL BE MADE OF ANY AND ALL DAMAGES DONE TO THE EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY CAUSED BY CONSTRUCTION OPERATIONS ON THIS SITE. ALL DISTURBED AREAS SHALL BE FINE GRADED AND SODDED. PROPER PRECAUTIONS MUST BE TAKEN TO KEEP EXISTING ROADWAYS FREE OF MUD, DEBRIS, AND OTHER OBSTRUCTIONS.

THE PROPOSED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF THIS PERMIT, SUBJECT TO THE PROVISIONS OF THE MASSACHUSETTS GENERAL LAWS, THE ORDINANCES OF THE CITY OF BOSTON, AND ALL APPLICABLE REGULATIONS, STANDARDS, SPECIFICATIONS, AND INSPECTION AND CONTROL OF THE COMMISSIONERS OF THE DEPARTMENT OF PUBLIC WORKS, INSPECTORIAL SERVICES DEPARTMENT, AND TRANSPORTATION DEPARTMENT.



SITE PLAN FOR A NEW CURB CUT 21 MAGNOLIA STREET BOSTON, MASS. (ROXBURY NEIGHBORHOOD - 02125)

SCALE: 1"=10' JULY 2, 2019 CM KIRBY ENGINEERING, PLLC CIVIL ENGINEERING & LAND PLANNING PO BOX 291, NORWOOD, MA 02062 PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM

STORMWATER INFILTRATION NOTES

THE EXISTING LOT IS GRASS COVERED AND HAS NO EXISTING IMPERVIOUS AREA. THE IMPERVIOUS AREA FOR THE PROPOSED IMPROVEMENTS TO THE SITE, DRIVEWAY, WALKS, AND DWELLING IS 1764 SQUARE FEET. THE COMMISSION REQUIRES THAT THE PROPERTY HAS AN INFILTRATION SYSTEM CAPABLE OF STORING AT LEAST 1-INCH OF STORMWATER PER SQUARE FOOT OF POST-CONSTRUCTION IMPERVIOUS AREA ON THE SITE. THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A COMBINED MINIMUM STORAGE CAPACITY OF 147 CUBIC FEET (1100 GAL) (1764 SF x 1/2 FT = 147 CF) TO COMPLY WITH BWSC REQUIREMENTS.

THERE WILL BE (2) INFILTRATION SYSTEMS ON SITE. SYSTEM "A" WILL HAVE (3) CULTEC RECHARGER 180HD CHAMBERS w/ 6" STONE AND SYSTEM "B" WILL HAVE (2) CULTEC RECHARGER 180HD CHAMBERS w/ 6" STONE. THE SYSTEMS WILL COLLECT STORMWATER FROM THE DRIVEWAY AND ROOF OF THE PROPOSED STRUCTURE.

THE SYSTEMS HAVE A COMBINED STORMWATER STORAGE CAPACITY OF 176.8 CF (147 CF REQUIRED) OR 1322 CHAMBERS (1100 GALLONS REQUIRED). THE SYSTEMS WILL PROVIDE 1.2 INCHES OF STORAGE PER SF OF PROPOSED IMPERVIOUS AREA. SEE SHEET 2 OF 2 FOR ADDITIONAL NOTES AND DETAILS OF THE PROPOSED INFILTRATION SYSTEMS.

SEWAGE FLOW DISCHARGE CAPACITIES:

THE HOUSE IS A SINGLE FAMILY HOUSE w/ 3 BEDROOMS ESTIMATED SEWAGE FLOW IS 330 GALLONS / DAY (110/ROOM)

THERE ARE NO FIXTURES IN THE BASEMENT

LAND USE CODE R1

PLAN NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY MERRIMACK ENGINEERING SERVICES, 66 PARK STREET, ANDOVER, MA 01810, IN JULY OF 2016.

SEE CITY OF BOSTON ASSESSORS PARCEL #1300252000, #1300253000, #1300254000 AND #1300263000 FOR SITE. SITE IS KNOWN AS #21-23 MAGNOLIA STREET AND #8 WOODFORD STREET IN DEED BOOK #8341, PAGE #227-230 AND BOOK #8986, PAGE #377 SUFFOLK REGISTRY OF DEEDS. THE PARCEL WILL BE SUBDIVIDED INTO THREE PARCELS: #23 MAGNOLIA STREET, #21 MAGNOLIA STREET AND #8 WOODFORD STREET.

TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS DRAIN MANHOLE 268 RIM LOCATED ON MAGNOLIA STREET, ELEVATION=56.25

SEE PLAN PREPARED BY CM KIRBY ENGINEERING, PLLC ENTITLED, "SUBDIVISION PLAN OF LAND, 8 WOODFORD STREET/21 MAGNOLIA STREET AND 23 MAGNOLIA STREET IN BOSTON, MA", DATED JANUARY 19, 2018, FOR DESCRIPTION OF SUBDIVISION.

GENERAL NOTES

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

THE EXISTING WATER AND SEWER SERVICE LOCATIONS SHOWN ARE FROM AVAILABLE BWSC RECORD DATA AND ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE THE EXISTING WATER AND SEWER LINES. IF THE EXISTING SEWER SERVICE IS TO BE USED THE CONTRACTOR SHALL VISUALLY INSPECT THE LINE BY EXCAVATION AND OR BY VIDEO OF THE PIPE AS REQUIRED BY THE COMMISSION.

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

THE CONTRACTOR SHALL SUPPLY THE COPPER SERVICE AND SHALL PERFORM THE TAP AS PART OF HIS CONTRACT.

NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

IT IS RECOMMENDED THAT DIGGING WITHIN ONE FOOT OF THE MAIN BE DONE WITH HAND TOOLS ONLY.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED AS-BUILT PLANS.

THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES TO PREVENT IMPACT ON WATER BODIES, BORDERING VEGETATED WETLANDS, CITY DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.

ANY PROPOSED GAS, ELECTRIC, STEAM, TELEPHONE, CABLE OR OTHER UTILITY LINES ARE TO BE LOCATED AND SIZED BY OTHERS. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

ALL NEW CONSTRUCTION WILL REQUIRE A ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

THERE ARE PLUMBING FIXTURES IN THE BASEMENT (LAUNDRY). A BACKWATER VALVE (SEE DETAIL) WILL BE INSTALLED IN THE BASEMENT FOR THE FIXTURES.

IT IS REQUIRED THAT A DYE TEST WILL BE PERFORMED BY THE BOSTON WATER AND SEWER COMMISSION INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED 5' TO 6' BELOW GRADE. WHERE REQUIRED THRUST RESTRAINTS SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BWSC. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES TO PROTECT WORKERS, THE PUBLIC AND ALL PROPERTIES DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS OF LABOR AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

BENCHMARK

REFERENCE BENCHMARK: TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS DMH 268 RIM LOCATED ON MAGNOLIA STREET, ELEVATION=56.25.

MATERIAL SPECIFICATIONS

THE PROPOSED WATER SERVICE SHALL BE 3/4" TYPE K COPPER PIPE

THE PROPOSED SEWER SERVICE SHALL BE 6" SDR-35 PIPE

THE ROOF DRAIN SHALL BE 4" ADS PERFORATED PIPE

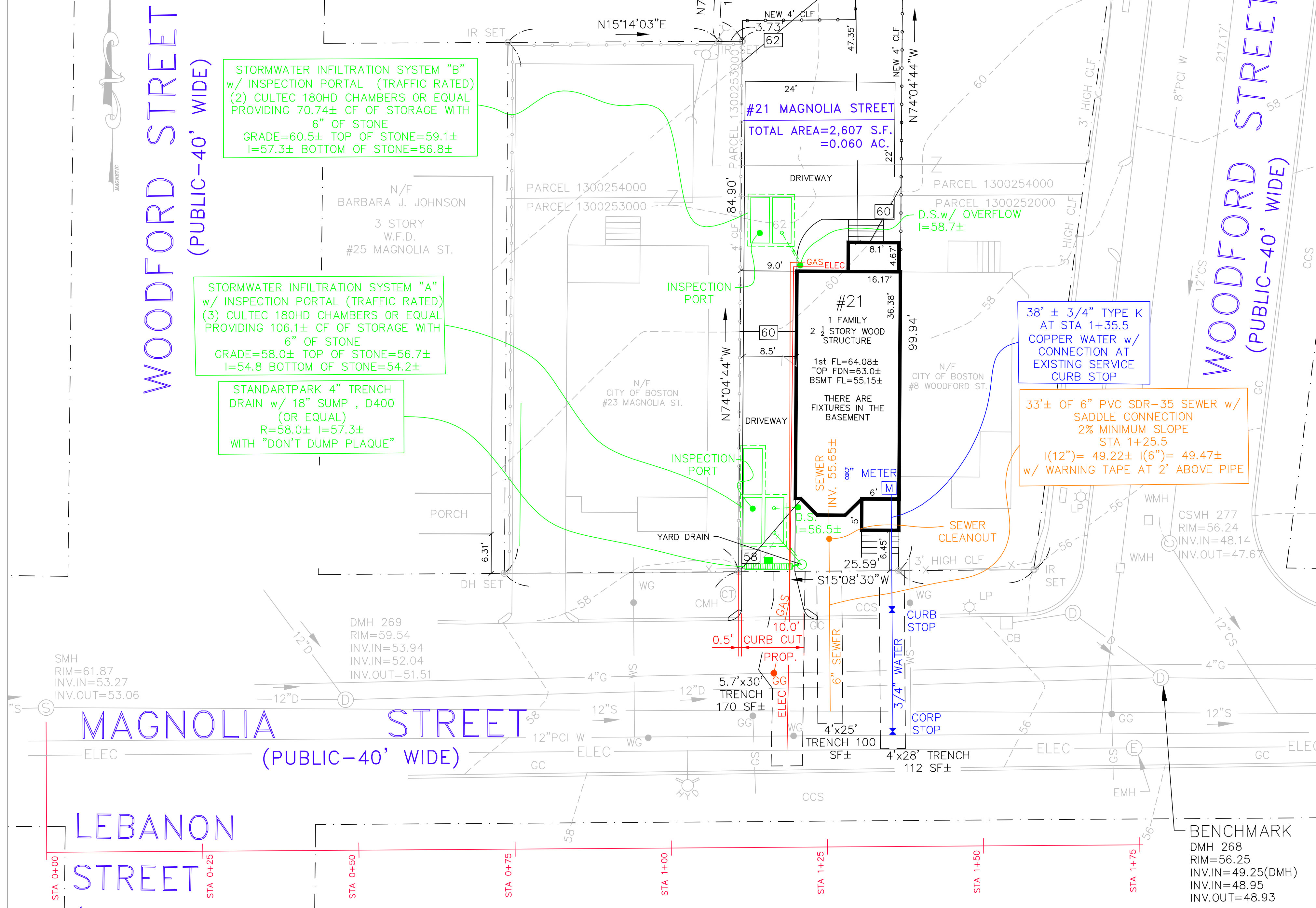
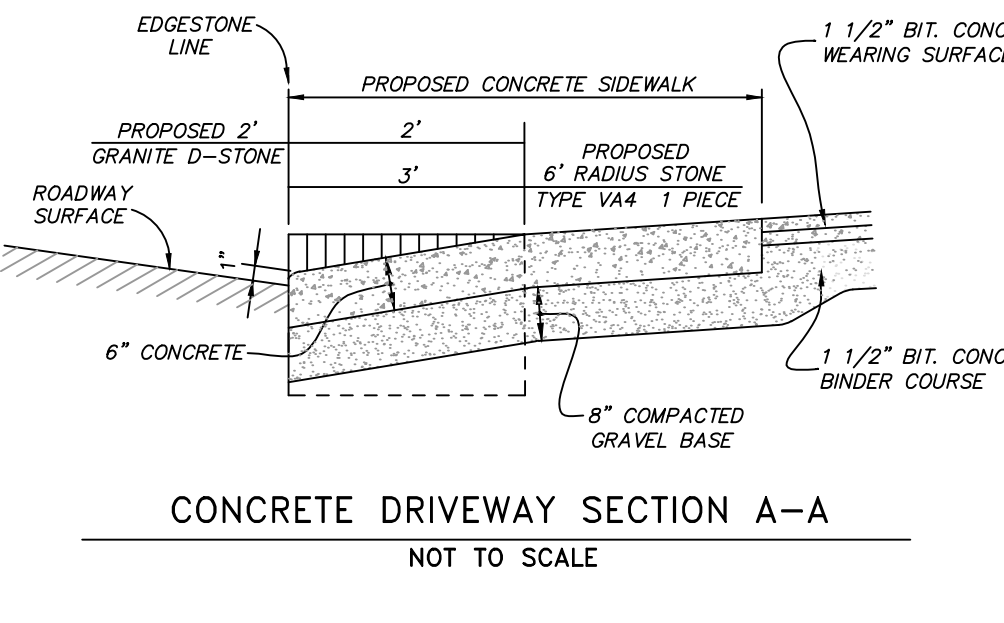
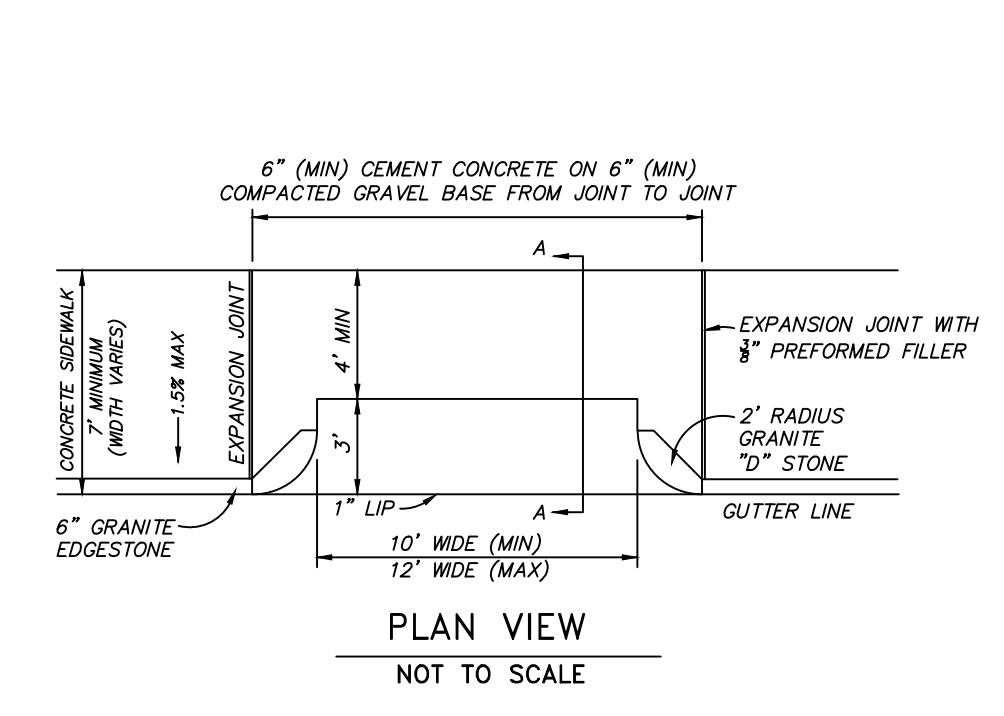
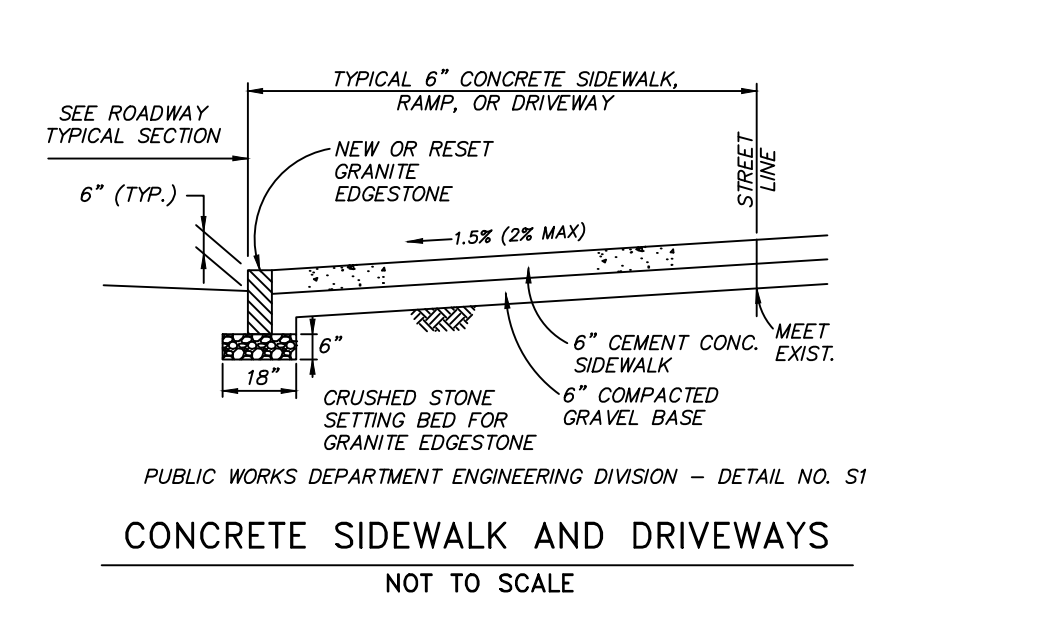
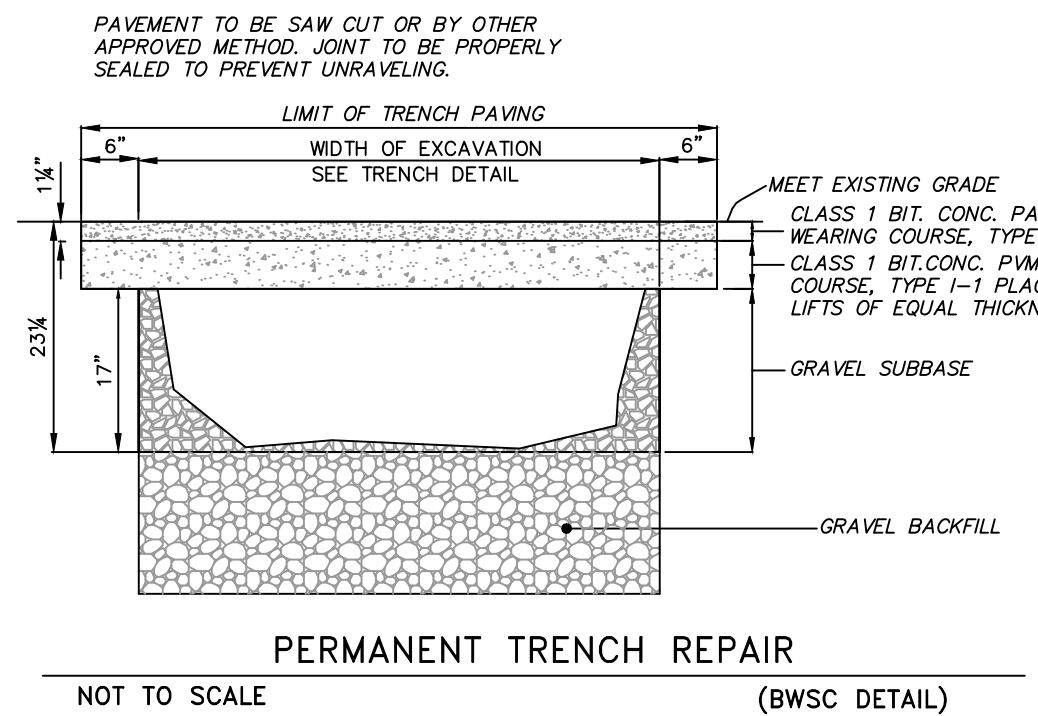
THE PROPOSED STRUCTURES AND APPURTENANCES USED FOR THE PROPOSED INFILTRATION SYSTEM WILL BE CONSISTENT OF (2) CULTEC INFILTRATION SYSTEMS, ONE WITH (3) CULTEC RECHARGER 180HD CHAMBERS AND THE SECOND WITH (2) CULTEC RECHARGER 180HD CHAMBERS MANUFACTURED BY CULTEC, OR AN APPROVED EQUAL.

CONTACT: KENDRA ROE KNG REALTY CORP 58 UNION STREET BRIGHTON, MA 02135 PHONE: 617-549-1565
ASSESSORS PARCEL: #1300252000
COBUCS NUMBER: 153323830343
ISD PERMIT NUMBER: ER804390 (AS OF RIGHT)

LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▤ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- SPLASH BLOCK
- LIGHT POLE (LP)
- PROPOSED LAMP POST (LAMP)
- UTILITY POLE (UP)
- UTILITY POLE w/ LIGHT (UP/LP)
- HAND HOLE (HH)
- VERTICAL GRANITE CURB (VC)
- SLOPED GRANITE EDGING (SGE)
- BITUMINOUS CONCRETE BERM (BB)
- CAPE COD BERM (CCB)
- PRECAST CONCRETE CURB (CC)
- EDGE OF PAVEMENT (EP)
- SIGN

REVISIONS table with 1 revision: REV PER BSWC COMMENTS 5/7/2020

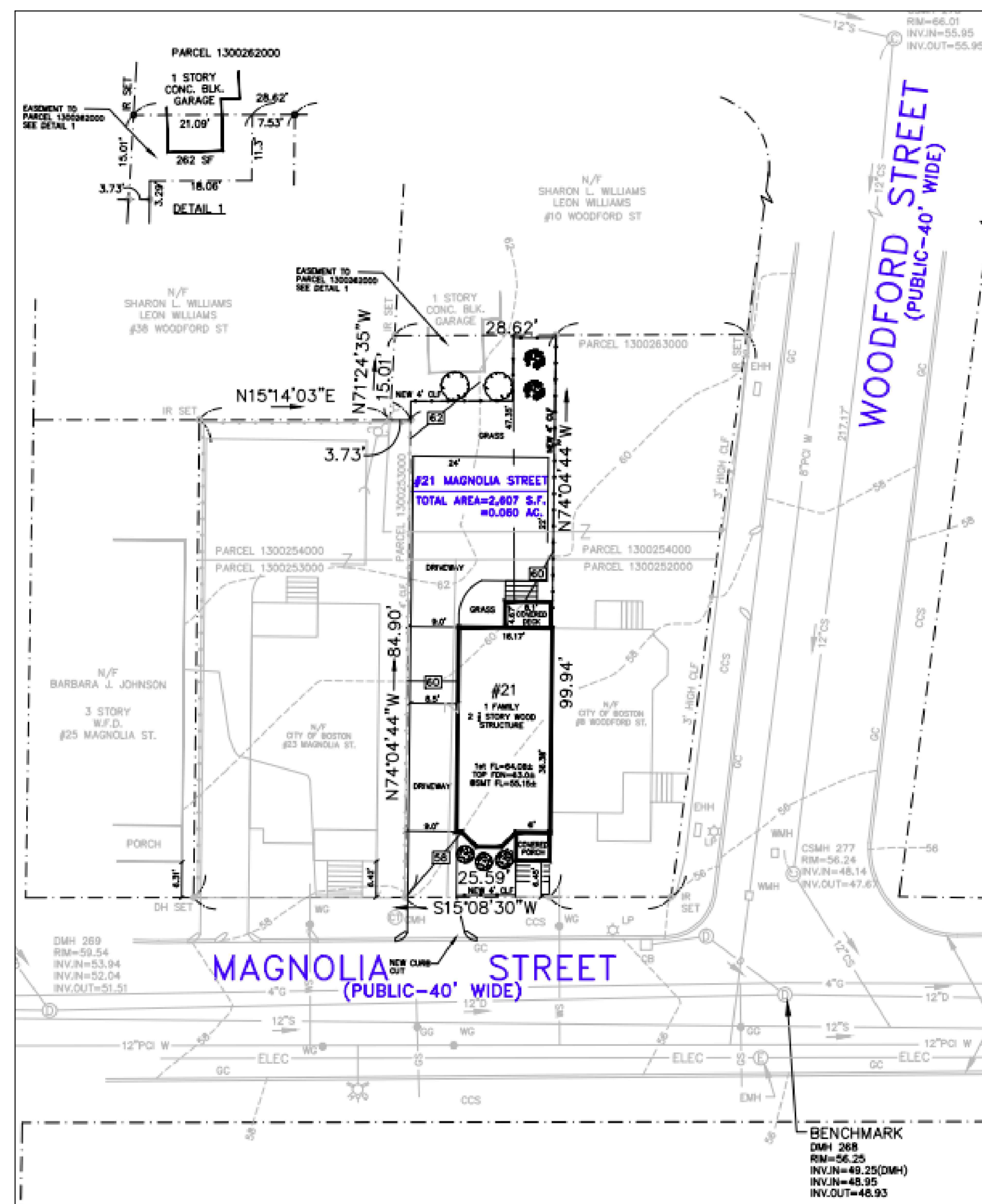


BENCHMARK DMH 268 RIM=56.25 INV.IN=49.25(DMH) INV.IN=48.95 INV.OUT=48.93

NEW SINGLE FAMILY HOME - ATTACHED DUPLEX DND - TYPE E

21 MAGNOLIA STREET
BOSTON, MA

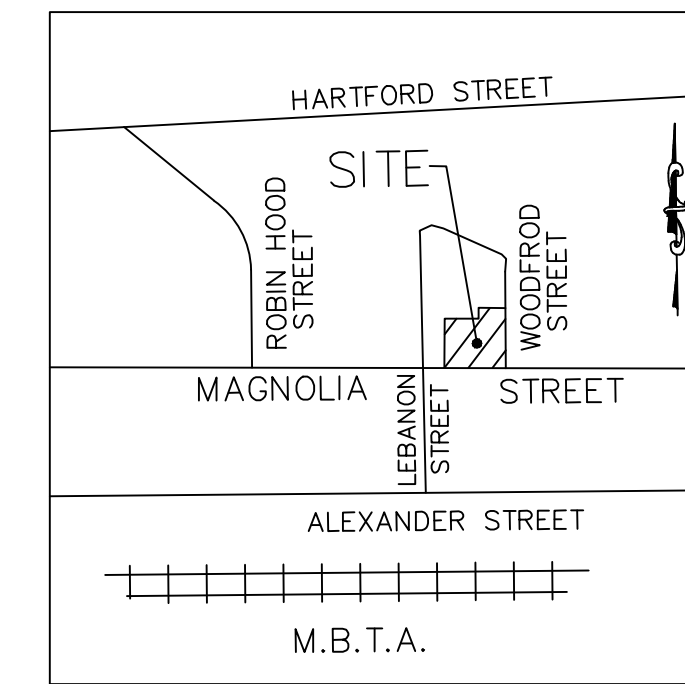
ERT804390 (AS OF RIGHT)
COBUCS # 1533238330343
BWSC SITE PLAN # 19348



SITE PLAN

NOTES:

1. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED.
2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, 9th EDITION.
4. DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
5. DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED OR DUPLICATED IN ANY MANNER.
6. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND GENERAL PUBLIC FROM INJURY & ADJACENT PROPERTY FROM DAMAGE.
7. THE DRAWINGS ARE PREPARED FOR THE PURPOSE OF PERMIT APPLICATION ONLY.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IN CASE OF ANY OR ALL DEVIATIONS FOR THESE DRAWINGS. THE ENGINEER SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS-BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ENGINEERS CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.



LOCUS
NOT TO SCALE

DESCRIPTION OF THE WORK:

THE WORK ENTAILS INSTALLATION OF A NEW DND - TYPE "E" STRUCTURE

NOTE

1. SEE CITY OF BOSTON ASSESSORS PARCEL #1300252000, #1300253000, #1300254000 AND #130026300 FOR SITE. SITE IS KNOWN AS #21-23 MAGNOLIA STREET AND #8 WOODFORD STREET IN DEED BOOK #8341, PAGE #227-230 AND BOOK #8986, PAGE #377 SUFFOLK REGISTRY OF DEEDS. THE PARCEL WILL BE SUBDIVIDED INTO THREE PARCELS: #23 MAGNOLIA STREET, #21 MAGNOLIA STREET AND #8 WOODFORD STREET.
2. TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS DRAIN MANHOLE RIM LOCATED ON MAGNOLIA STREET, ELEVATION=56.25
3. ZONE DISTRICT: ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT: 3F-4000
SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL
ZONING OVERLAY DISTRICT: NEIGHBORHOOD DESIGN REVIEW

Zoning Table 21 MAGNOLIA STREET - 1 FAMILY (TYPE E) Zoning Tables Dimensional Requirements 3F-4000			
Dimensional Regulations	Requirements for Residential Subdistrict 3F-4000	Proposed	Comment
Lot Area, sf	2000 sf	2607 sq ft	
Lot Width, ft	45	25.59	Existing Non-conforming
Lot Frontage, ft	45	25.59	Existing Non-conforming
F/A/R (Max.)	0.8	0.62 (1625 sf ±)	
Building height (stories)	3	2.5	
Building height (feet)	35'-0"	29'-5" Grade @ Sidewalk	
Usable Open Space per Dwelling Unit	650 sf	675 sf ±	
Front Yard Depth, ft	6.31	6.45	Section 50-44, Paragraph 2 - Conformity with Existing Building Alignment.
Side Yard Depth, ft	5.65	(L)-9.0 (R)-0.0	Section 50-44, Paragraph 7 - Side Yards of Certain Narrow Lots. A lot narrower than (50) feet shall have (2) inches deducted from the side yard for each foot below (50) feet. Average yard width = 25.59'. Modified side yard setback = 10' - ((50-25.59) * 0.17) = 5.65' Article 50, Table F, Footnote F: Semi-attached dwellings, Town House Buildings, and Row House Buildings are required to have side yards only on sides that are not attached to another Dwelling.
Rear Yard Depth, ft	30	47.35	
Rear yard Max. Occ. by Accessory Buildings	.25	N/A	

CODE INFORMATION:

BUILDING CODE: MA STATE BUILDING CODE, 9th EDITION
2015 IRC w/ MA AMENDMENTS

USE GROUP: R2 - SINGLE FAMILY ATTACHED

CONSTRUCTION TYPE: V-B (UNPROTECTED WOOD FRAME)

FLOOR LOADS:

DESIGN LIVE LOADS AS PER TABLE (R)301.5:

COMMON AREAS (OTHER THAN SLEEPING): 40 PSF
SLEEPING AREAS : 30 PSF
RESIDENTIAL ATTICS w/ FIXED STAIRS: 30 PSF
RESIDENTIAL ATTICS(STORAGE): 20 PSF
RESIDENTIAL ATTICS(NO STORAGE): 10 PSF
DECKS: 40 PSF

SNOW LOADING:

GROUND SNOW LOAD PER TABLE (R)301.2(4):
GROUND SNOW LOAD, Pg = 40 PSF

WIND LOADING:

WIND LOAD PER TABLE (R)301.2(4):
BASIC WIND SPEED (ULTIMATE), Vult = 128 PSF
BASIC WIND SPEED (ALLOWABLE), Vasd = 100 PSF
(WIND SPEED CONVERSION PER TABLE (R)301.2.1.3)

LIST OF DRAWINGS:

- A-0.0 COVER PAGE/SITE PLAN
- A-1.0 BASEMENT & FIRST FLOOR PLANS
- A-1.1 SECOND & ATTIC FLOOR PLANS
- A-1.2 ROOF PLAN
- A-2.0 FRONT & LEFT ELEVATIONS
- A-2.1 REAR & RIGHT ELEVATIONS
- S-1.0 FOUNDATION & FIRST FLOOR FRAMING PLANS
- S-1.1 SECOND FLOOR & ATTIC FRAMING PLANS
- S-1.2 ROOF FRAMING PLAN
- E-1.0 ELECTRICAL - GENERAL NOTES
- E-1.1 BASEMENT & FIRST FLOOR ELECTRICAL PLANS
- E-1.2 SECOND FLOOR & THIRD FLOOR ELECTRICAL PLANS
- T-1.0 SYMBOLS, SYSTEMS, ABBREVIATIONS & GENERAL NOTES
- T-1.1 GENERAL NOTES
- G-1.1 KITCHEN ELEVATION AND DETAILS
- G-2.0 DOOR SCHEDULE, DOOR / WINDOW DETAILS
- G-3.0 ROOM FINISH SCHEDULE & PARTITION TYPES
- G-4.0 WALL SECTIONS
- G-4.1 WALL SECTIONS
- G-5.0 TYPICAL DETAILS
- G-5.1 TYPICAL DETAILS

21 MAGNOLIA STREET
BOSTON, MA

CONTACT:
KENDRA ROE
KNG REALTY CORP
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BRIGHTON, MA 02135
PHONE: 617-549-1565

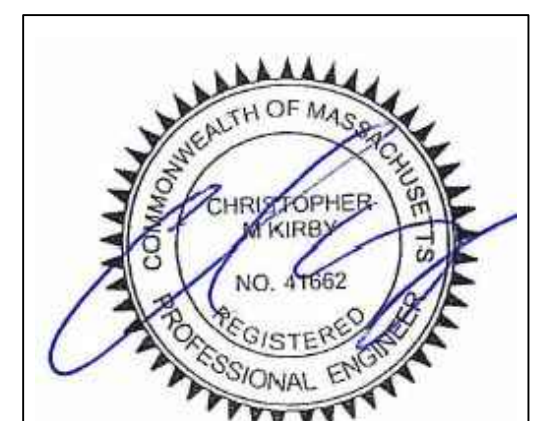
ASSESSORS PARCEL:
#1300252000

COBUCS NUMBER:
1533238330343

ISD PERMIT NUMBER:
ERT804390
(AS OF RIGHT)

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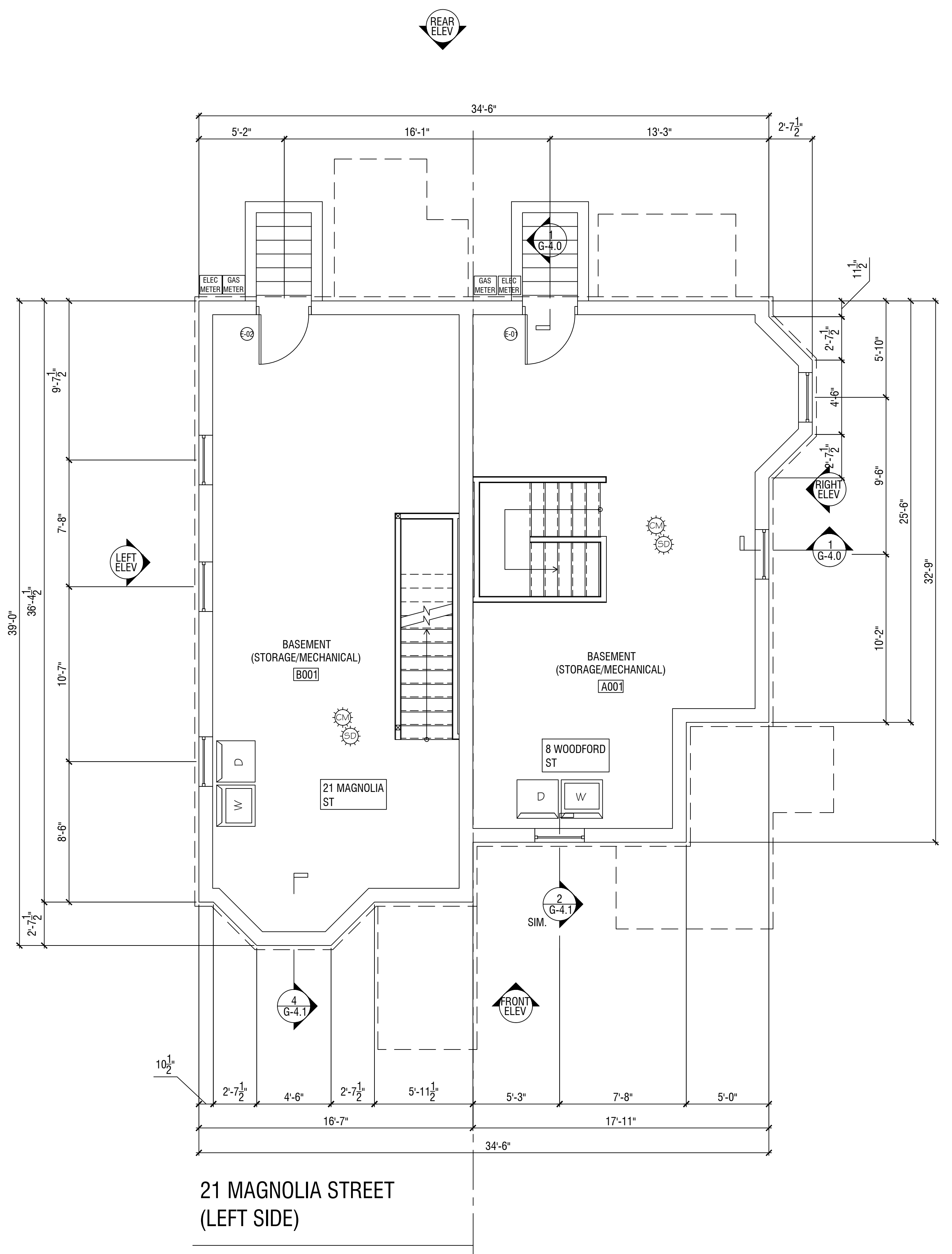
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Checked By: CMK
Date: 02/12/2018

Revisions		
No.	Description	Date
1	PERMIT SET - REVIEW	5/7/2020
2	PERMIT SET - REVIEW	6/8/2018
3	INITIAL SUBMISSION	2/12/2018

DND - TYPE E
SINGLE FAMILY

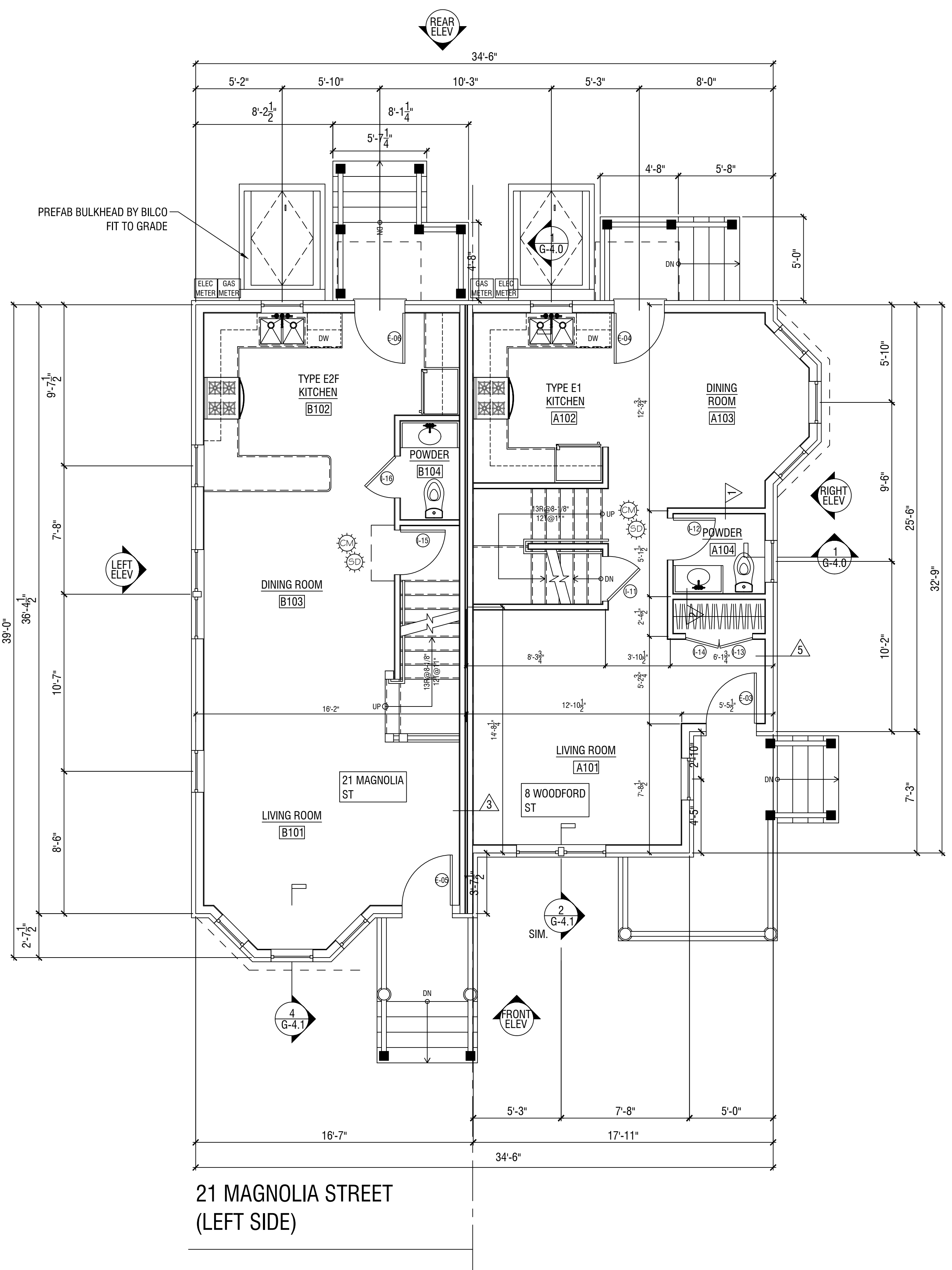
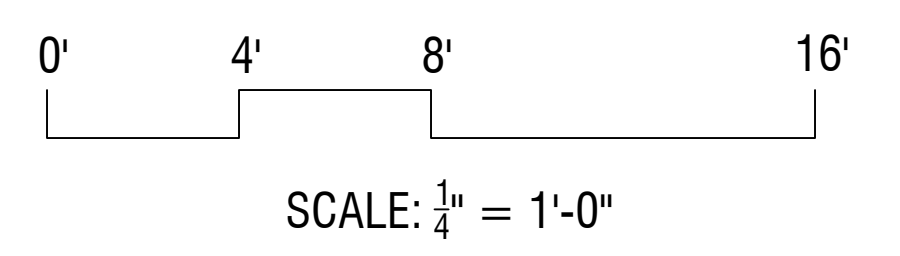
COVER PAGE

Sheet No. **A-0.0**
Scale: 1/4" = 1'-0"



21 MAGNOLIA STREET
(LEFT SIDE)

UNIT TYPE E
BASEMENT PLAN
SCALE: 1/4" = 1'-0"

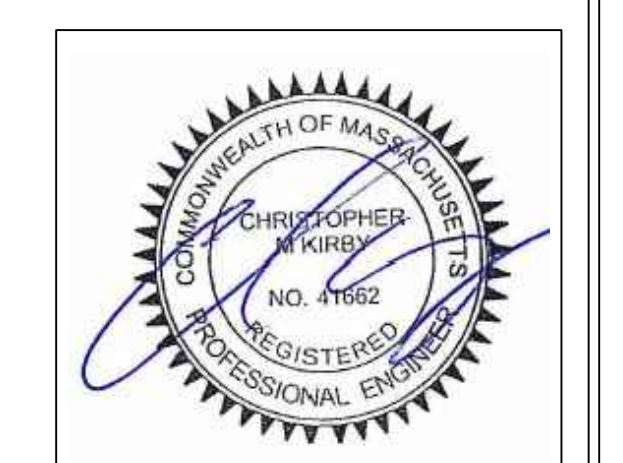


21 MAGNOLIA STREET
(LEFT SIDE)

UNIT TYPE E
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

21 MAGNOLIA
STREET
BOSTON, MA

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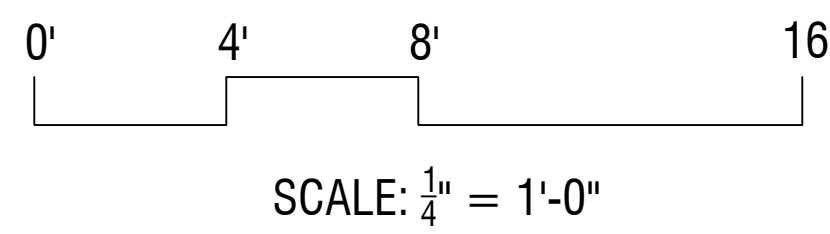
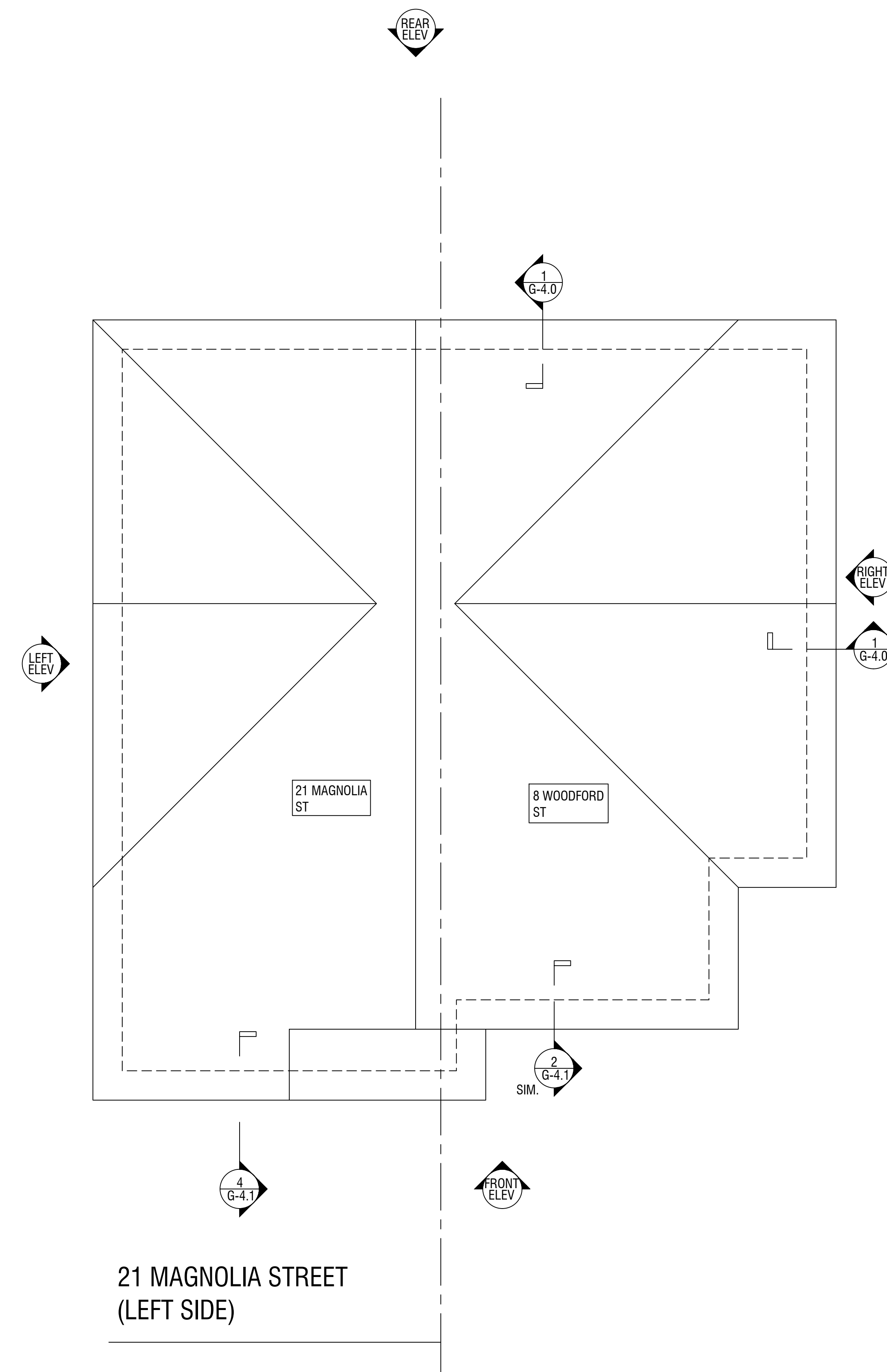
Revisions

No.	Description	Date
△	PERMIT SET - REVIEW	5/7/2020
△	PERMIT SET - REVIEW	6/8/2018
○	INITIAL SUBMISSION	2/12/2018

DND - TYPE E
SINGLE FAMILY
BASEMENT & FIRST
FLOOR PLANS

Sheet No. **A-1.0**
Scale: 1/4" = 1'-0"

21 MAGNOLIA STREET
BOSTON, MA



UNIT TYPE E
ROOF PLAN
SCALE: 1/4" = 1'-0"

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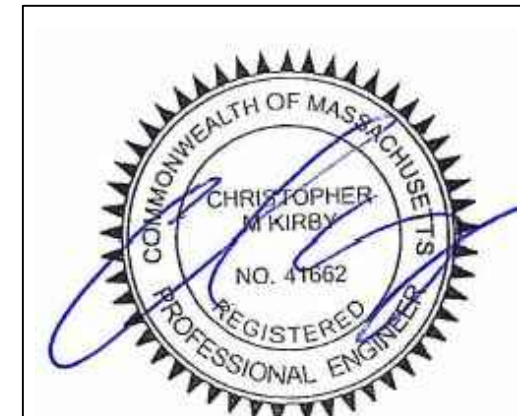
DND - TYPE E
SINGLE FAMILY

ROOF PLAN

Sheet No. **A-1.2**
Scale: 1/4" = 1'-0"

21 MAGNOLIA
STREET
BOSTON, MA

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1	PERMIT SET - REVIEW	5/7/2020
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DND - TYPE E
SINGLE FAMILY

REAR & RIGHT
ELEVATIONS

Sheet No. **A-2.1**
Scale: 1/4" = 1'-0"

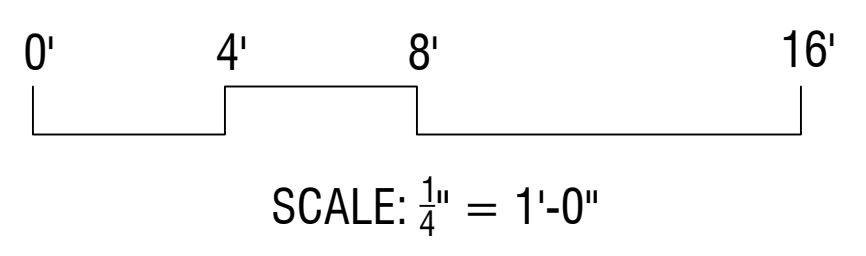


21 MAGNOLIA STREET
(LEFT SIDE)

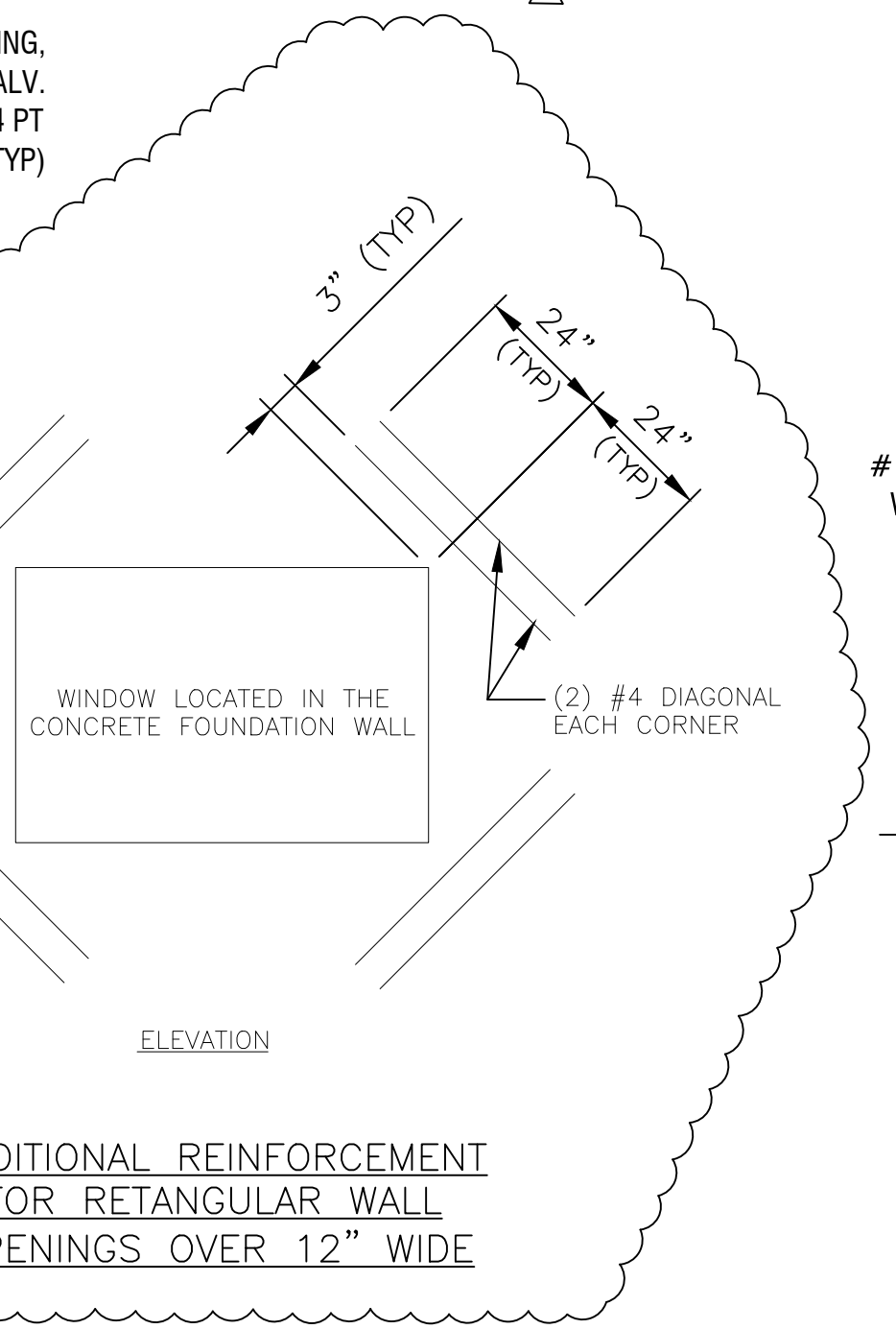
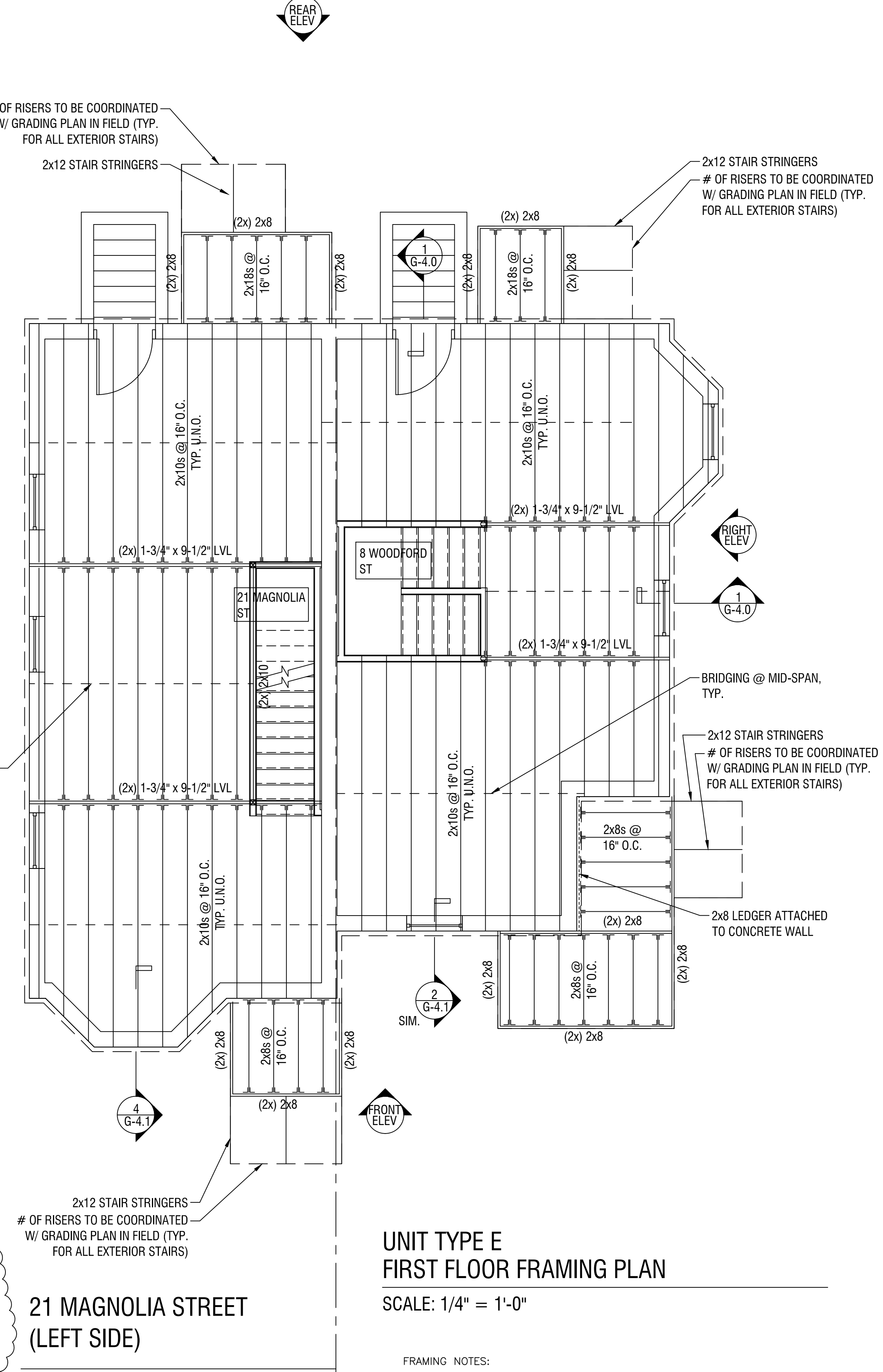
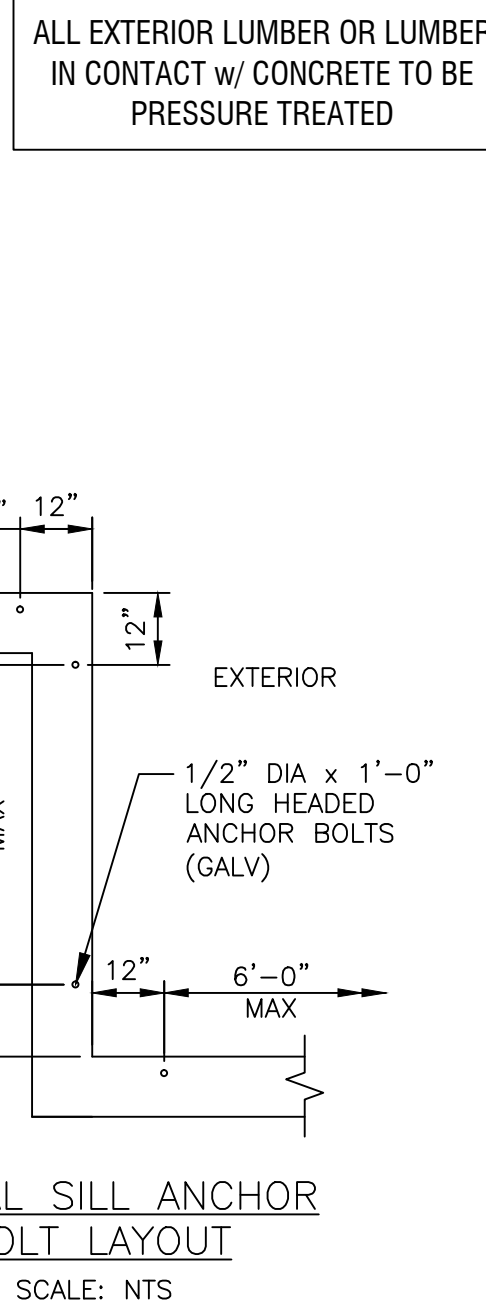
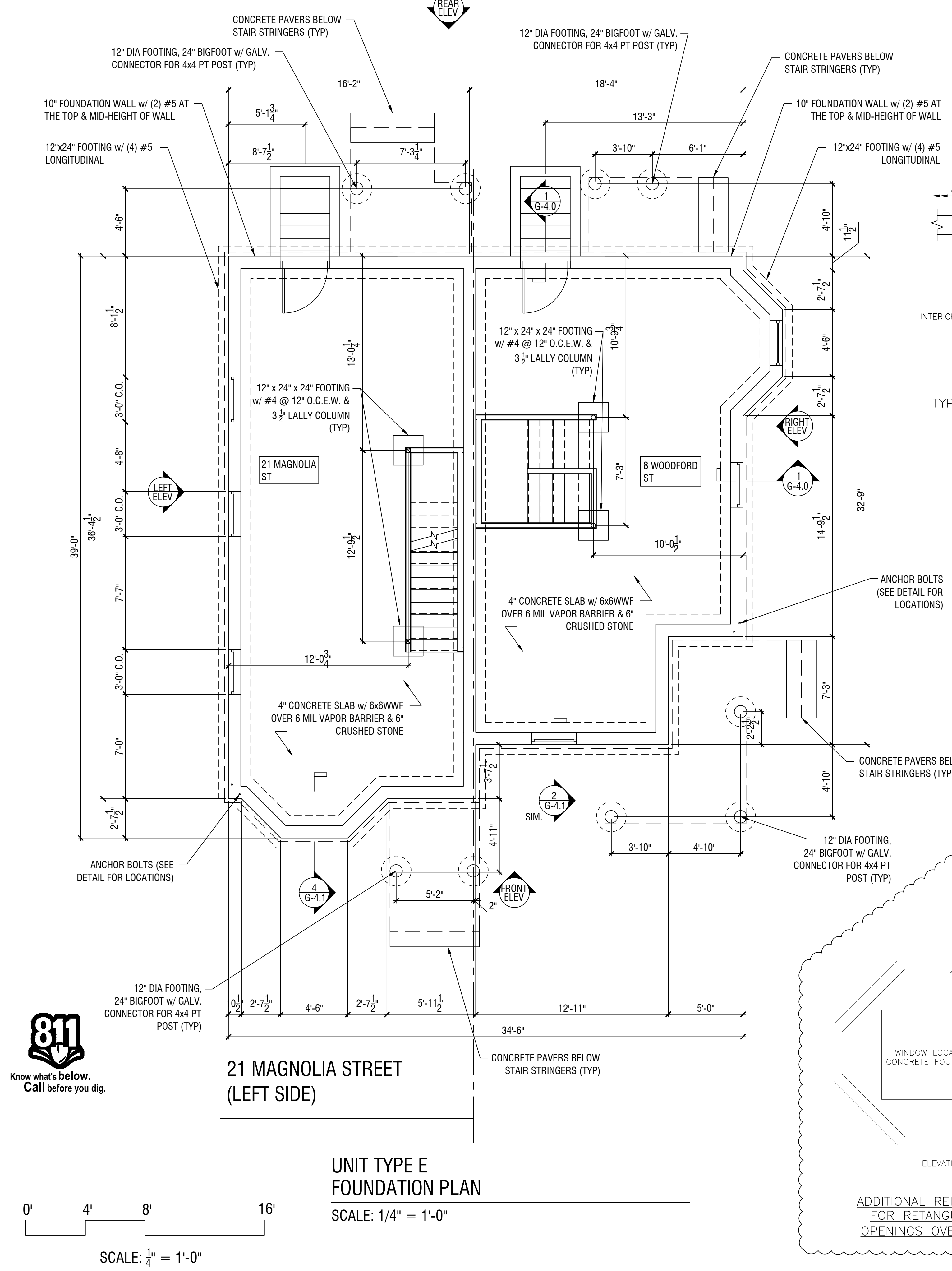
8 WOODFORD STREET
(RIGHT SIDE)

3 EXTERIOR ELEVATION - REAR
1/4" = 1'-0"

4 EXTERIOR ELEVATION - RIGHT
1/4" = 1'-0"



- FOUNDATION NOTES:
1. f'c CONCRETE = 4000 PSI
 2. fy REINFORCING = 60000 PSI
 3. FOUNDATION WALL TO TERMINATE AT UNDERSIDE OF SILL FOR FIRST FLOOR



- FRAMING NOTES:
1. WINDOW HEADER SIZE TO BE (3) 2"x8" WITH A MAX 6'-0" CLEAR SPAN (UNLESS NOTED)
 2. STAIR STRINGERS TO BE 2x12 @ 16" O.C. (MIN)
 3. STAIR LANDINGS TO BE 2x10 FRAMING
 4. BEAMS MAY BE INSTALLED UNDERMOUNT OR FLUSH FRAMED
 5. ALL BEAM TO HAVE 3" BEARING (MIN) UNDER ALL PLY'S
 6. IF FLOOR JOISTS FLUSH FRAME INTO A BEAM, HANG FLOOR JOISTS WITH JOISTS HANGER SIZED FOR FLOOR JOIST
 7. AT EXTERIOR OF I-JOISTS, INSTALL A 1" RIM BOARD
 8. DOUBLE ALL JOISTS UNDER WALLS RUNNING PARALLEL TO JOIST DIRECTION
 9. ALL FLOORS TO HAVE 3/4" SUBFLOOR, GLUED AND SCREWED
 10. EXTERIOR SHEATHING TO BE 1/2" PLYWOOD
 11. ROOF SHEATHING TO BE 5/8" PLYWOOD

21 MAGNOLIA STREET
BOSTON, MA

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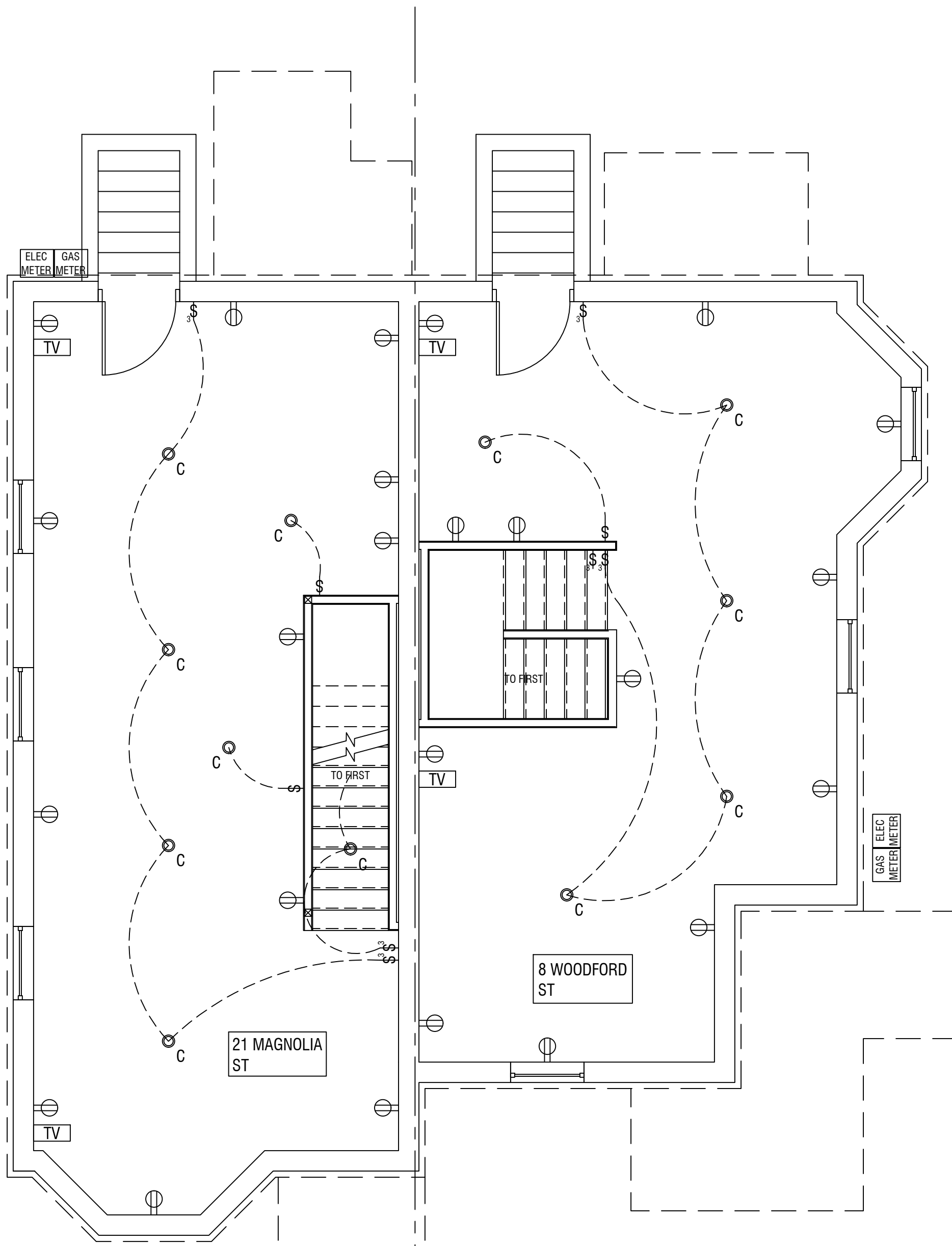
DND - TYPE E SINGLE FAMILY

FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN

Sheet No. **S-1.0**
Scale: 1/4" = 1'-0"

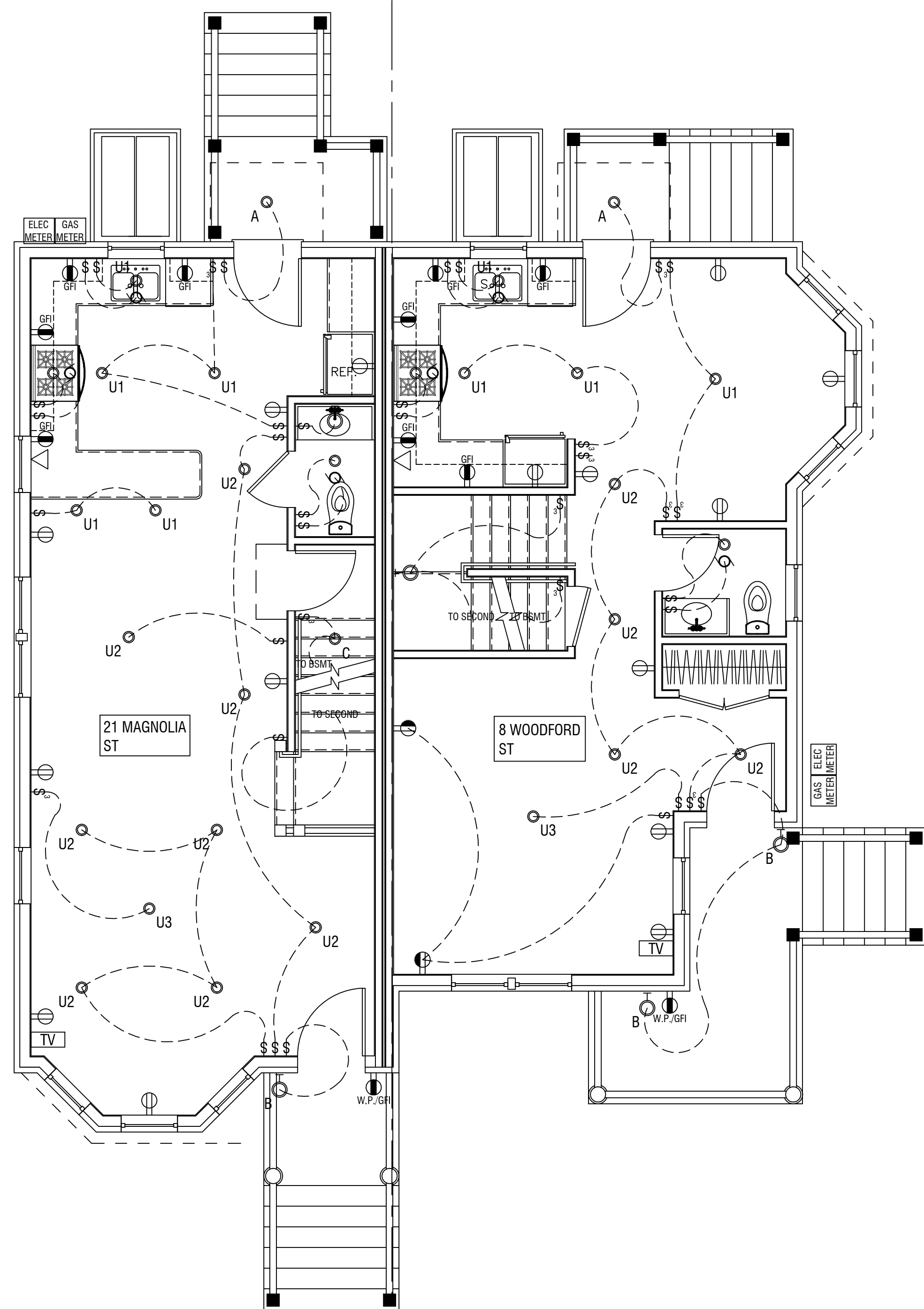
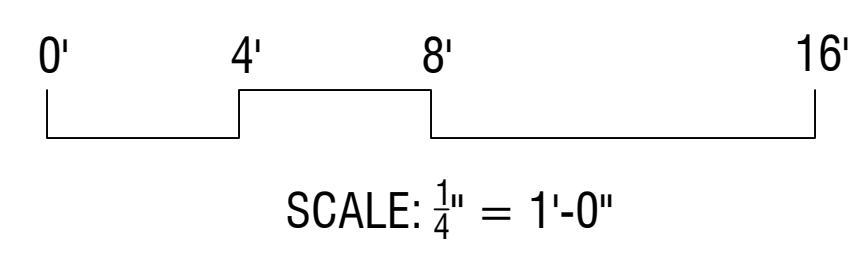


21 MAGNOLIA STREET
BOSTON, MA



21 MAGNOLIA STREET
(LEFT SIDE)

UNIT TYPE E
BASEMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



21 MAGNOLIA STREET
(LEFT SIDE)

UNIT TYPE E
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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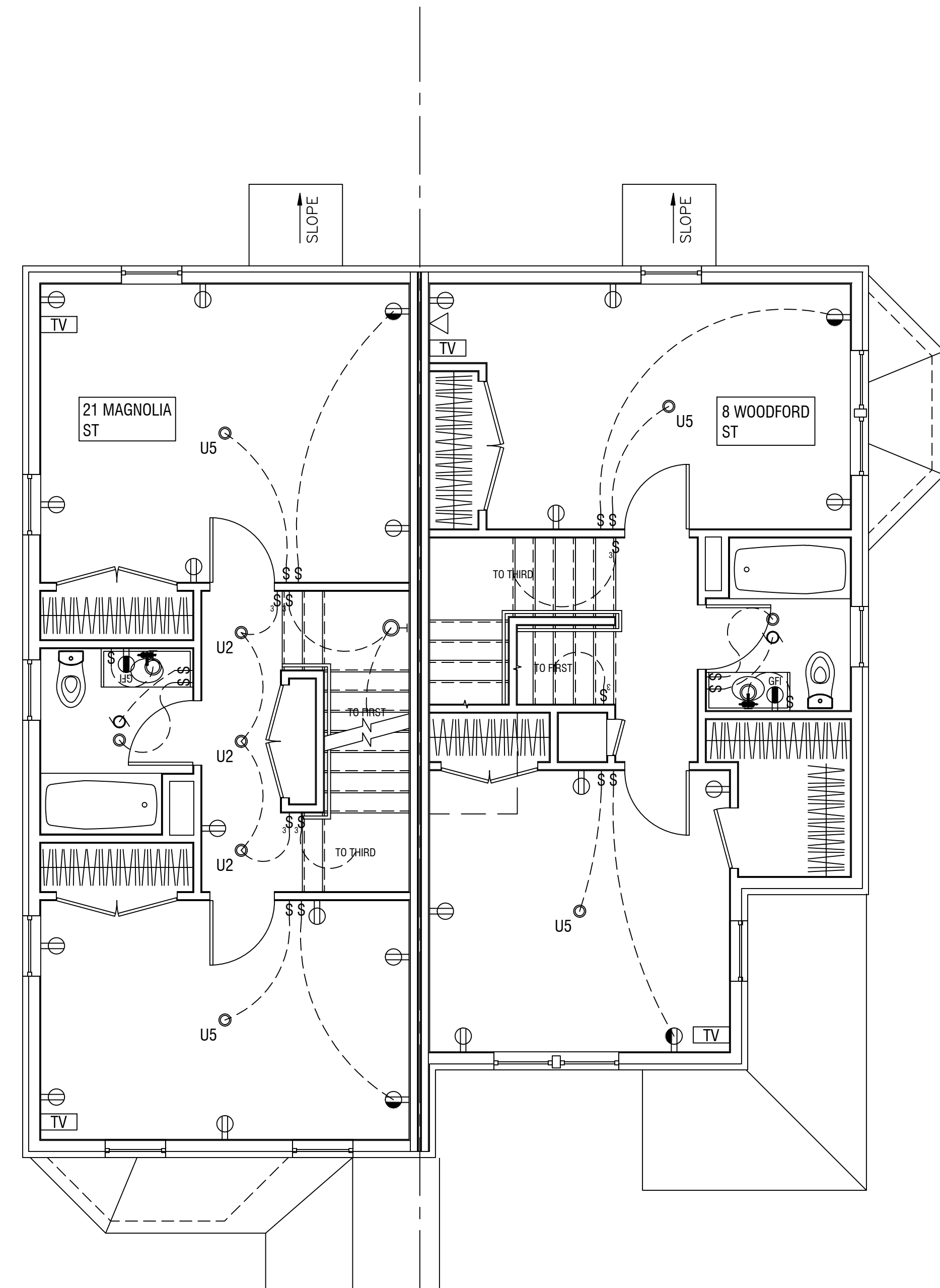
No.	Description	Date
1	PERMIT SET - REVIEW	5/7/2020
2	INITIAL SUBMISSION	6/8/2018

DND - TYPE E
SINGLE FAMILY

BASEMENT & FIRST FLOOR
ELECTRICAL PLANS

Sheet No. **E-1.1**
Scale: 1/4" = 1'-0"

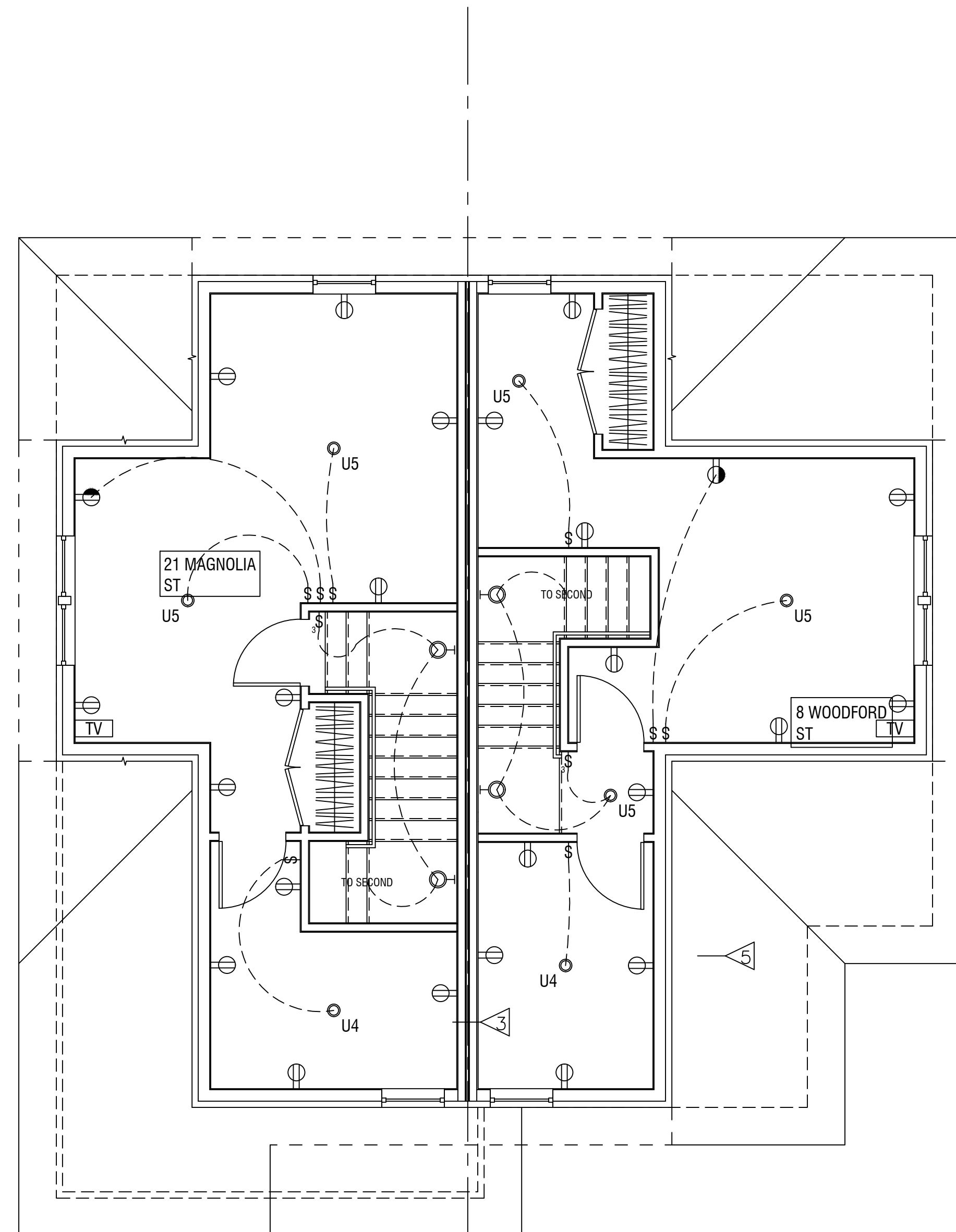
21 MAGNOLIA STREET
 BOSTON, MA



21 MAGNOLIA STREET
 (LEFT SIDE)

UNIT TYPE E
 SECOND FLOOR ELECTRICAL PLAN

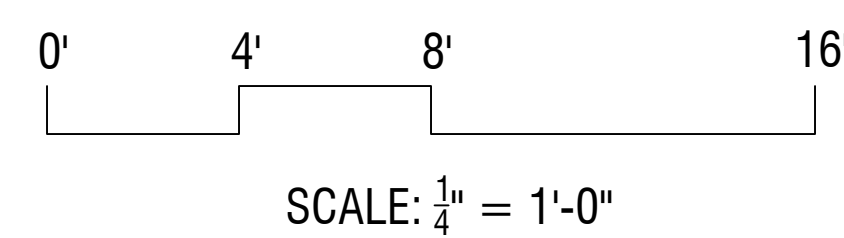
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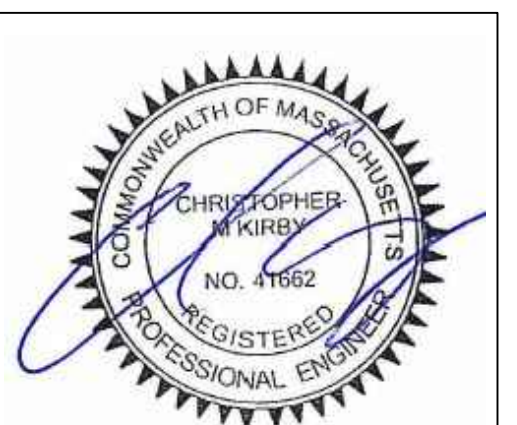
21 MAGNOLIA STREET
 (LEFT SIDE)

UNIT TYPE E
 THIRD FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



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Δ	PERMIT SET - REVIEW	5/7/2020
◊	INITIAL SUBMISSION	6/8/2018

DND - TYPE E
 SINGLE FAMILY
 SECOND & THIRD FLOOR
 ELECTRIC PLANS

Sheet No. **E-1.2**
 Scale: 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

- 1. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF EXTERIOR WALLS TO THE CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2x6 (5 1/2") FOR BOTH INTERIOR AND EXTERIOR WALLS.
2. THE PROJECT IS A NEW STRUCTURE. EXACT DIMENSIONS, ELEVATIONS, TIE-IN POINTS, ROOF SLOPES, BEARING POINT LOCATIONS ARE REPRESENTED AS ACCURATE AS KNOWN AT THE TIME OF THE DRAWING SET CREATION. FIELD VERIFICATION OF ALL ELEMENTS IS REQUIRED BY THE CONTRACTOR AND IF INCONSISTENCIES OCCUR, NOTIFY THE ENGINEER FOR DIRECTION. THE ENGINEER IS NOT RESPONSIBLE FOR CHANGES TO THE PLANS WITHOUT DIRECTION.
3. WINDOWS APPEARING ON THE FLOOR PLANS AND EXTERIOR ELEVATIONS ARE TO BE CONFIRMED BY THE OWNER.
4. THE WINDOW FINAL SILL HEIGHT AT THE FIRST FLOOR IS 24" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO REVIEW ALL BUILT IN REQUIREMENTS WITH THE OWNER INCLUDING SHELVING, CLOSETS, PANTRY, ETC., IF APPLICABLE.
6. ALL REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM, AND ANY AUDIO, COMPUTER OR CABLE TELEVISION SYSTEMS TO BE COORDINATED WITH OWNER.
7. ALL PERMITS AND VARIANCES, IF NECESSARY, ARE THE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR PRIOR TO START OF CONST.
8. ALL FINISH COLORS TO BE THE RESPONSIBILITY OF THE OWNER.

GENERAL FLOOR PLAN NOTES

- 1. DO NOT SCALE DRAWINGS. FOLLOW DRAWING DIMENSIONS ONLY. DIMENSION IS NOT CALLED OUT, VERIFY DIMENSIONS WITH ENGINEER.
2. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF EXTERIOR WALLS TO THE CENTERLINE OF INTERIOR STUD WALLS (UNO). STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2x6 FOR EXTERIOR WALLS AND 2x4 FOR INTERIOR WALLS (UNO).
3. ALL INTERIOR WALLS ARE TO BE COVERED WITH 1/2" GYPSUM BOARD, METAL CORNER REINFORCING, TAPE SEAMS AND PLASTER SKIMCOAT.
4. ALL WALLS IN THE GARAGE TO HAVE A LAYRER OF 5/8", TYPE "X" FIRE RATED GYPSUM BOARD (UNO).
5. ALL BATH AND TOILET AREA WALLS AND CEILINGS ADJACENT TO WET AREAS TO HAVE WATER RESISTANT GYPSUM BOARD.
6. BEDROOM WINDOWS TO HAVE A MINIMUM NET CLEAR OPENING OF 3.38 SQFT., A MINIMUM NET CLEAR OPENING OF 20" WIDE x 24" HIGH IN EITHER DIRECTION, AND HAVE A MAXIMUM FINISHED SILL HEIGHT OF 44" FROM FINISHED FLOOR.
7. ALL GLASS LOCATED WITHIN 18" OF FLOOR OR 24" OF A DOOR SWING MUST BE TEMPERED GLASS.
8. BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF 50 CFM FAN. RANGE HOODS TO BE VENTED TO THE OUTSIDE.
9. SUBCONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

GENERAL ELEVATION NOTES

- 1. ICE & WATER SHIELD TO BE INSTALLED CORRECTLY AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS, AND PENETRATIONS AND UNDER FIRST 36" OF PERIMETER OF ROOF.
2. ICE & WATER SHIELD TO BE PLACE OVER ENTIRE ROOF SURFACE WHEN ROOF SLOPE IS BELOW A 4/12 PITCH.
3. ADEQUATE ATTIC VENTILATION AND ROOF VENTS ARE TO BE PROVIDED AS SHOWN ON PLANS.
4. ALL PLUMBING AND MECHANICAL VENTS TO BE LOCATED CLOSE TOGETHER WITHIN THE ATTIC SPACE WHEN POSSIBLE TO MINIMIZE THE NUMBER OF ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH APPEAR ABOVE THE ROOF TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. NO VENT TO BE ALLOWED ON THE FRONT ROOF. ALL METAL AND PVC VENTS AND PENETRATIONS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
5. GUTTERS AND DOWN SPOUTS ARE NOT LOCATED ON ELEVATION DRAWINGS. LOCATIONS OF DOWN SPOUTS ARE TO BE DETERMINED ON-SITE DUE TO TOPOGRAPHICAL CONDITIONS TO ALLOW POSITIVE DRAINAGE AWAY FROM THE HOUSE. DOWN SPOUTS NOT TO BE LOCATED IN PROMINENT LOCATIONS, GUTTERS AND DOWN SPOUTS ARE TO CLOSELY MATCH TRIM COLOR OF THE HOUSE.
6. ALL FLASHING TO BE OF THE SAME MATERIAL. DISSIMILAR METALS NOT ALLOWED.
7. OWNER RESPONSIBLE FOR SELECTING ROOF COLOR.

GENERAL STAIRWAY NOTES

- 1. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND THE PERMITTED HEADROOM HEIGHT. THE MINIMUM WIDTH AT OR BELOW THE HANDRAIL HEIGHT SHALL NOT BE LESS THAN 32" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 28" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
2. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR THE NOSING FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
3. THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9". TREAD NOSING SHALL NOT EXTEND MORE THAN 1 1/2" BEYOND THE FACE OF THE RISER BELOW.
4. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR/GRADE SHALL HAVE GUARDRAILS, WHICH SHALL ALSO SERVE AS HANDRAILS, NOT LESS THAN 36" IN HEIGHT.
5. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, BALCONIES, PORCHES, DECKS AND RAISED FLOOR AREAS, SHALL HAVE BALUSTERS WHICH PREVENT THE PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.

GENERAL FOUNDATION NOTES

- 1. ALL CONCRETE WORK SHALL CONFORM WITH THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI).
2. THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS SHALL BE 4000 PSI.
3. ALL SLABS TO BE PLACED ON A 6 MIL VAPOR BARRIER OVER 6" OF COMPACTED GRAVEL.
4. PROVIDE A 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED AREAS.
5. PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL SLABS, BOTH DIRECTIONS.
6. PROVIDE 1 COAT OF MASTIC ON EXTERIOR SURFACE OF FOUNDATION WALL BELOW GRADE.
7. FOUNDATION WALLS TO EXTEND A MINIMUM OF 36" ABOVE FINISH GRADE.
8. PROVIDE 1/2" DIA ANCHOR BOLTS AS SHOWN ON THE FOUNDATION PLAN.

GENERAL FRAMING NOTES:

Table with 4 columns: LOCATION, LIVE (PSF), DEAD (PSF), DEFLECTION. Rows include COMMON AREAS, SLEEPING AREAS, ATTIC (STORAGE), ATTIC (NO STORAGE), ROOF (SNOW LOAD), DECK, BALCONY.

- 1. ALL FRAMING MATERIAL TO BE MINIMUM #2 OR BETTER KD LUMBER,
2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED (PT),
3. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO THE DIRECTION OF THE JOIST SPAN,
4. PROVIDE 1"x3" CROSS BRIDGING OR 2"x6" BLOCKING AT THE MIDSPAN OF ALL FLOOR JOISTS,
5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING. FINISH FLOORING TO BE EITHER 3/4" HARDWOOD,
6. ALL STUD FRAMED WALLS TO BE FRAMED AT 16" ON CENTER, MAXIMUM,
7. ALL ANGLED WALLS ARE TO BE FRAMED AT 45 DEGREES (UNO),
8. HEADER SIZE OVER WINDOWS TO BE (3)2"x8" (UNO),
9. ALL HEADERS TO BE FREE FROM SPLITS AND CHECKS,
10. PROVIDE FULL SOLID BEARING OR STUD BEARING UNDER ALL BEAM BEARING POINTS,
11. ALL BEAM AND JOIST INTERSECTIONS TO BE FLUSH FRAMED WITH GALVANIZED JOIST HANGERS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS,
12. ALL BEAMS TO HAVE TRIPLE STUD BEARING UNDER EACH END,
13. UNLESS OTHERWISE NOTED, PROVIDE A 2x PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER GALVANIZED BOLTS STAGGERED AT 24" ON CENTER,
14. UNLESS OTHERWISE NOTED, PROVIDE DOUBLE HEADER JOIST AND TRIMMERS AT ALL FLOOR OPENINGS,
15. STAIR CONSTRUCTION TO CONSIST OF 3-2"x12" STRINGERS, MINIMUM,
16. TEMPORARY GUARDRAILS MUST BE INSTALLED AT ALL FLOOR OPENINGS,
17. ALL WALLS OVER 10'-0" HIGH TO BE 2"x6"s AT 16" ON CENTER AND RECEIVE 1 ROW OF 2"x6" BLOCKING AT MID-HEIGHT,
18. 2"x6" EXTERIOR WALLS TO BE SHEATHED WITH 1/2" EXTERIOR GRADE PLYWOOD. SHEATHING TO SPAN OVER ALL PLATES AND HEADERS. INSTALL SHEATHING WITH AN 1/8" GAP BETWEEN PANELS AND BLOCK ALL SEAMS - BOTH VERTICAL AND HORIZONTAL,
19. FLOOR FRAMING LAYOUT IS CONSTRUCTED AS TO PROVIDE BEST POSSIBLE ACCESS TO THE HVAC DUCTS AND UNOBSTRUCTED RUNS FOR THE DUCT WORK,
20. PROVIDE BLOCKING AT ALL CABINET LOCATIONS,
21. PROVIDE 2"x4" RAFTER TIES AT ALL PLATES WHERE JOIST RUN IS PERPENDICULAR TO RAFTERS,
22. HIP VALLEY RAFTERS AND RIDGE BOARDS TO BE ONE SIZE LARGER THAN TYPICAL RAFTERS UNLESS OTHERWISE NOTED ON PLANS,
23. PROVIDE 1"x6" COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST AT 48" ON-CENTER,
24. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS,
25. REQUIRED GUARDRAILS ON BALCONIES, PORCHES, DECKS, AND RAISED FLOOR AREAS, SHALL HAVE A MINIMUM HEIGHT OF 36" MEASURED VERTICALLY FROM THE FINISHED FLOOR,
26. ALL HARDWARE AND FLASHING IN CONTACT WITH ACQ TREATED LUMBER MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL,

27. IF ON-SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY FOR DIRECTION.

GENERAL ELECTRICAL NOTES

- 1. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
2. GENERAL AND ELECTRICAL CONTRACTOR TO REVIEW THE PLAN(S) AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED.
3. ELECTRICAL SERVICE TO BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATOR, DISH WASHER, DISPOSAL, HVAC EQUIPMENT, ALARM PANEL, LAWN SPRINKLER SYSTEM, ETC. OUTLET TO BE PROVIDED ABOVE THE RANGE FOR MICROWAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
4. ALL OUTLETS PLACED NEAR ANY WATER CONDITION TO BE G.F.C.I.
5. SWITCHES AND OUTLETS TO BE COORDINATED WITH OWNER.
6. PROVIDE EXTERIOR WATERPROOF OUTLETS AS REQUIRED BY CODE.
7. ALL PHONE OUTLETS, COMPUTER OUTLETS, CABLE TV OUTLETS, AND ELECTRONIC DEVICE OUTLETS TO BE VERIFIED BY OWNER.
8. DIMMERS TO BE SIZED FOR THE APPROPRIATE LOAD OF THE FIXTURES AND LAMPS SELECTED.
9. VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS PRIOR TO LOCATING SWITCHES. ALL LOCATIONS SHOULD BE CLOSE TO TRIM AND ALIGNED WITH ONE ANOTHER, IF THERE ARE MULTIPLE.
10. BLOCK AND PREWIRE SEPARATE SWITCHES TO EACH LIGHT AND CEILING.
11. IF EXTERIOR SECURITY LIGHTING IS DESIRED BY OWNER THE TYPE, LOCATION, AND REQUIRED SWITCHING MUST ALL BE VERIFIED BY OWNER.
12. IF AN ALARM IS DESIRED ALL OF THE REQUIREMENTS MUST BE COORDINATED WITH THE OWNER.
13. PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND PROVIDE FOR A MINIMUM OF EIGHT (8) SPARES.
14. RECESSED FIXTURES LOCATED IN FIRE RATED WALLS (i.e. - GARAGE CEILINGS OR FIRE SEPARATION ASSEMBLIES) SHALL BE RATED FIXTURES, FIRE RATED TO THE LEVEL OF FIRE SEPARATION OF THE WALL/CEILING IN WHICH THE FIXTURE IS INSTALLED.
15. PROVIDE ENERGY EFFICIENT LIGHTING AS REQUIRED PER THE 2015 IECC.

GENERAL PLUMBING/HVAC NOTES

- 1. PLUMBING SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. PROVIDE GAS SERVICE TO ALL WATER HEATERS, APPLIANCES, AND HVAC EQUIPMENT,AS REQUIRED.
3. IF WALL PLATES OR JOISTS ARE CUT DURING INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT, PROVIDE BRACING TO TIE FRAMING BACK TOGETHER.
4. ALL GAS WATER HEATERS TO BE VENTED AT TOPOUT.
5. ALL PLUMBING AND MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
6. HVAC CONTRACTOR TO PROPERLY SIZE HEATING AND COOLING SYSTEM FOR THE STRUCTURE.
7. IF A NEW KITHCEN EXHAUST FAN OVER 400 CFM IS INSTALLED, AN OUTSIDE MAKE-UP AIR SYSTEM IS REQUIRED.

ENERGY EFFICIENCY

- 1. ENERGY EFFICIENCY TO BE THE "PRESCRIPTIVE METHOD" IN ACCORDANCE WITH CHAPTER 4 (RESIDENTIAL ENERGY EFFICIENCY) OF THE THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC). SEE THIS CHAPTER FOR COMPLETE REQUIREMENTS.
2. THE BUILDINGS (NEW PORTION) THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE R402.1.2. A SHORT VERSION OF TABLE R402.1.2 IS LISTED BELOW AND THE FULL VERSION SHALL BE REVIEWED FOR COMPLETE REQUIREMENTS.
3. THE 2015 IECC HAS STRICT REQUIREMENTS FOR ENERGY EFFICIENCY AND CHANGES TO THE CODE INCLUDE; HIGHER WALL R-VALUES, PERMANENT CERTIFICATE OF BUILDING COMPONENTS POSTED, AIR LEAKAGE TEST, BASEMENT INSULATION TO A DEPTH OF 10 FEET BELOW GRADE OR THE BASEMENT FLOOR (WHICHEVER IS LESS), RIM JOIST/WALL SEALING, RECESSED LIGHTING SHALL BE SEALED FIXTURES, JUNCTION BOXES ON EXTERIOR WALLS SHALL BE INSULATED, ATTIC ACCESS SHALL BE SEALED, ETC.
4. THE CITY OF BOSTON HAS ADOPTED THE "STRETCH ENERGY CODE". ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS MAY APPLY.

TABLE R402.1.2 - PARTIAL LIST (2015 IECC)
Table with 6 columns: CLIMATE ZONE, FENESTRATION U-FACTOR, SKYLIGHT U-FACTOR, CEILING R-VALUE, WOOD FRAME WALL R-VALUE, FLOOR R-VALUE. Row 1: 5, 0.30, 0.55, 49, 20, 30

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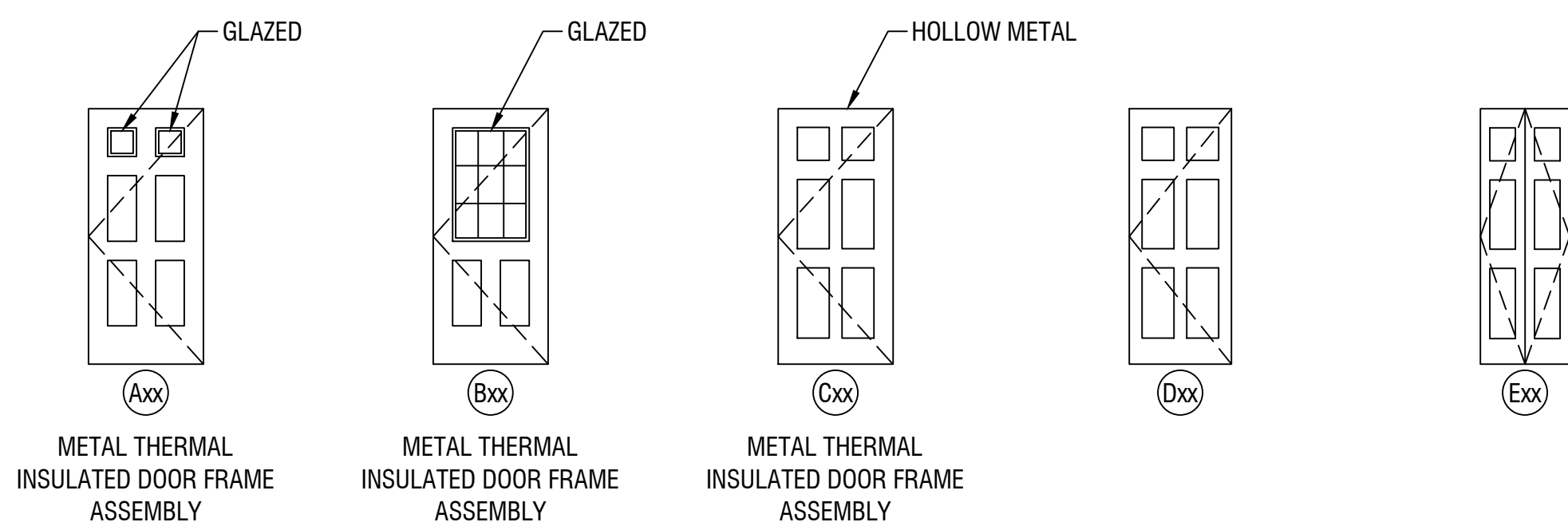
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Checked By: CMK
Date: 6/8/2018

Revisions table with 2 columns: Description, Date. Row 1: PERMIT SET - REVIEW, 5/7/2020. Row 2: INITIAL SUBMISSION, 6/8/2018

DND PROJECT

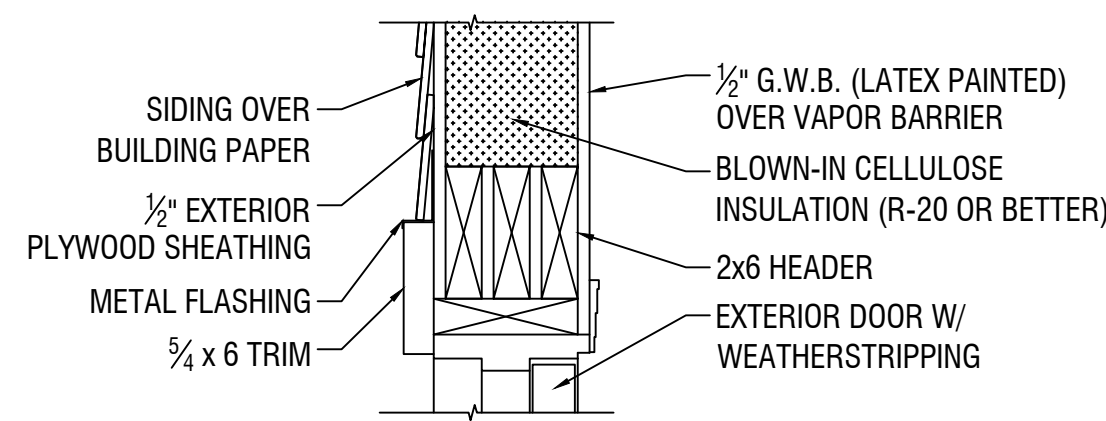
GENERAL NOTES

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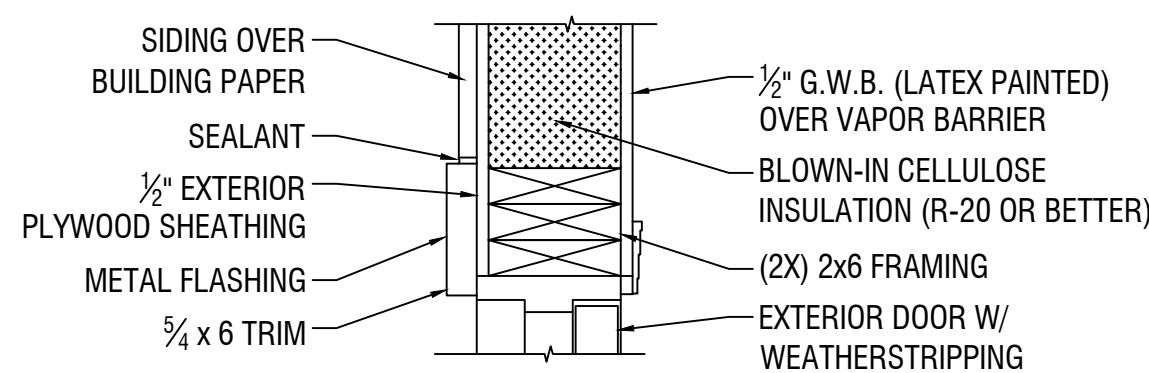
DOOR TYPES

1/4" = 1'-0"



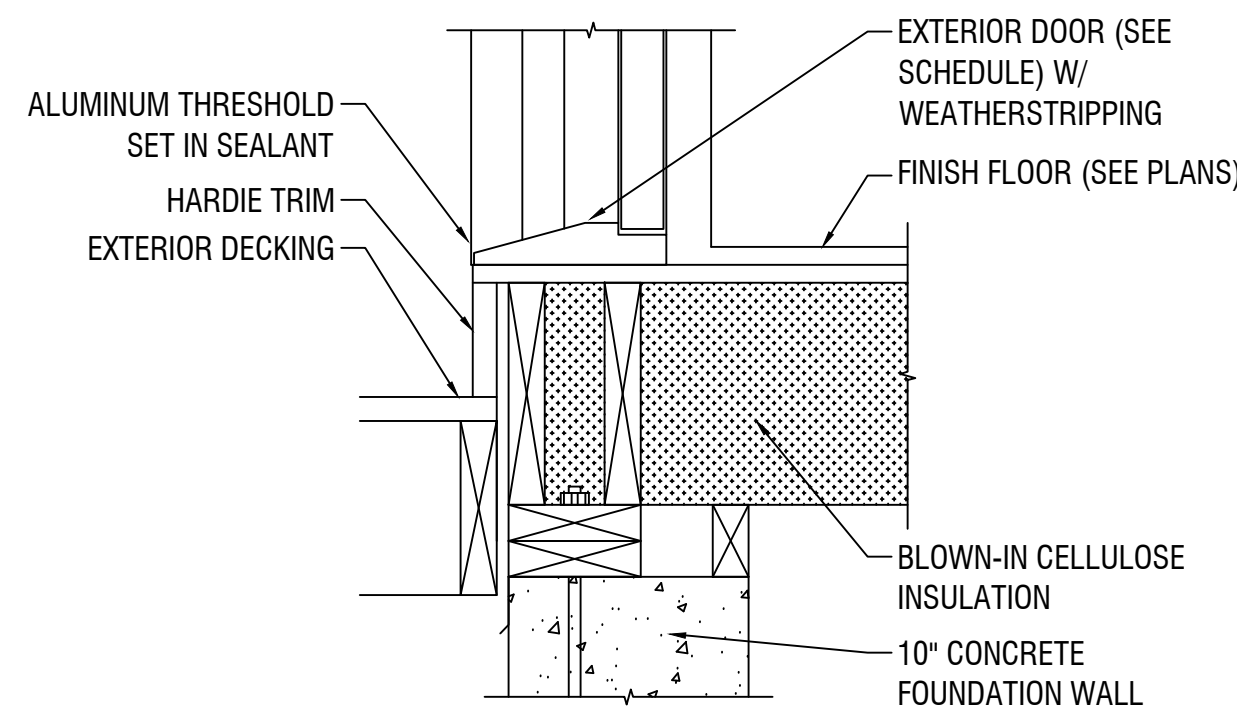
1 EXTERIOR DOOR HEAD

1-1/2" = 1'-0"



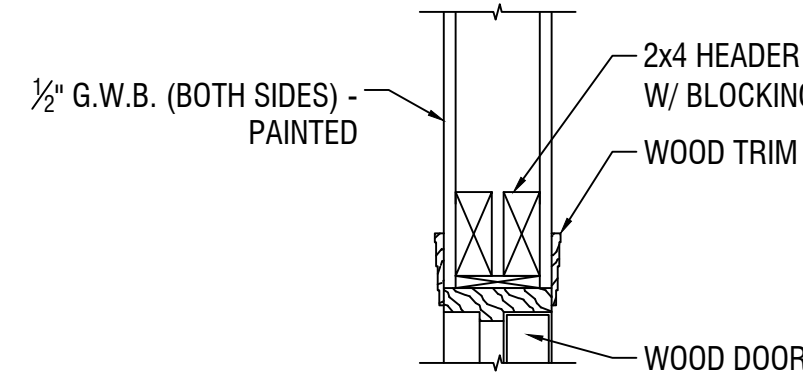
2 EXTERIOR DOOR JAMB

1-1/2" = 1'-0"



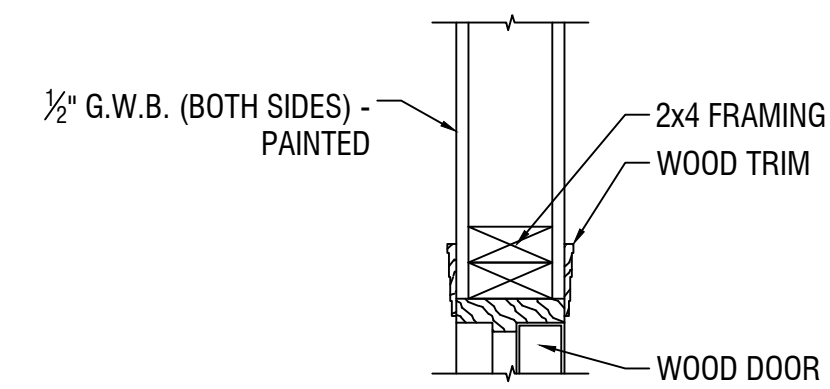
3 EXTERIOR DOOR SILL

1-1/2" = 1'-0"



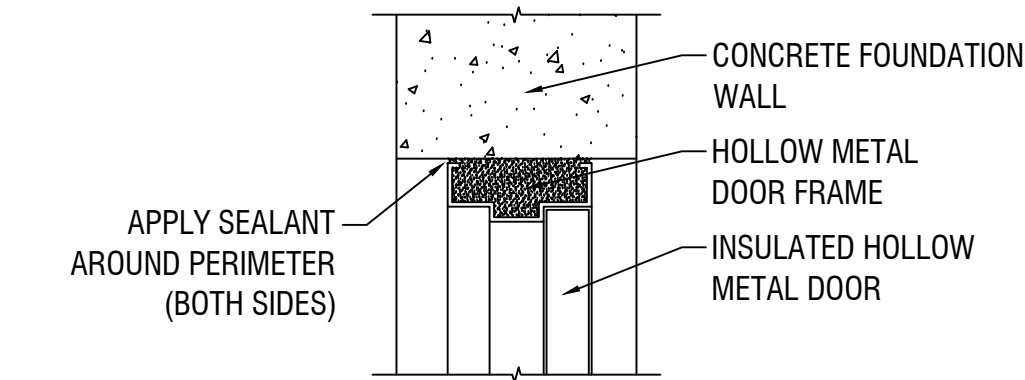
4 INTERIOR DOOR HEAD

1-1/2" = 1'-0"



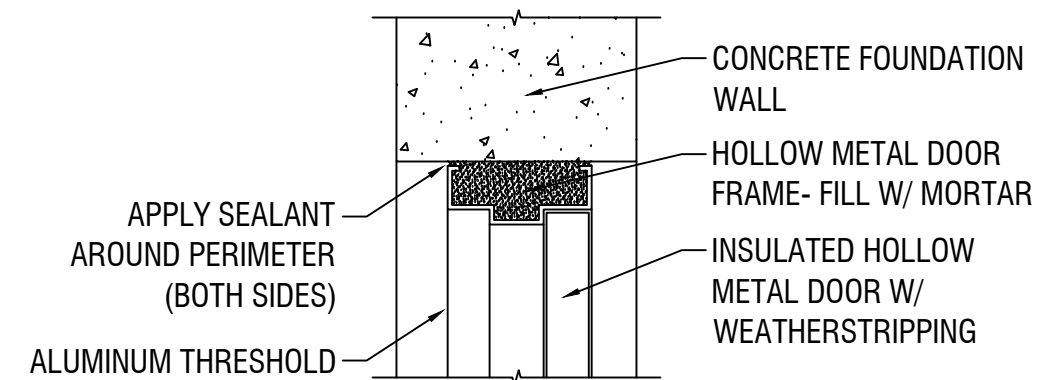
5 INTERIOR DOOR JAMB

1-1/2" = 1'-0"



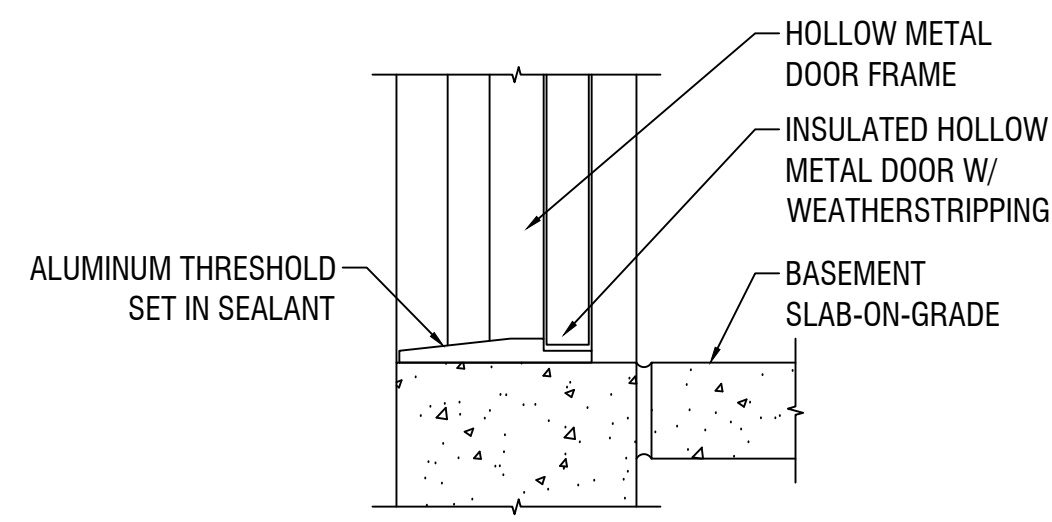
6 DOOR HEAD

1-1/2" = 1'-0"



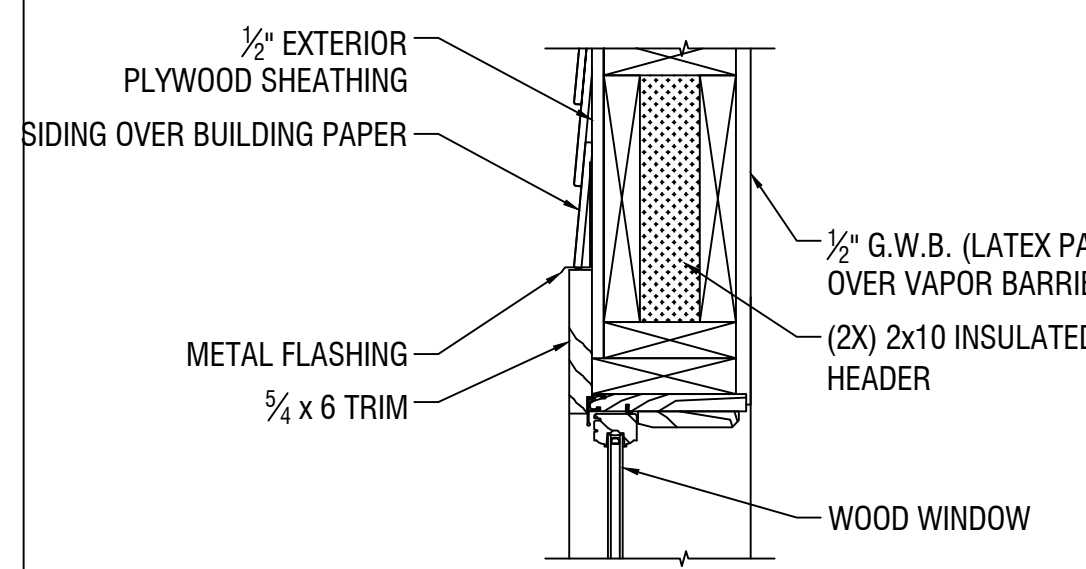
7 DOOR JAMB

1-1/2" = 1'-0"



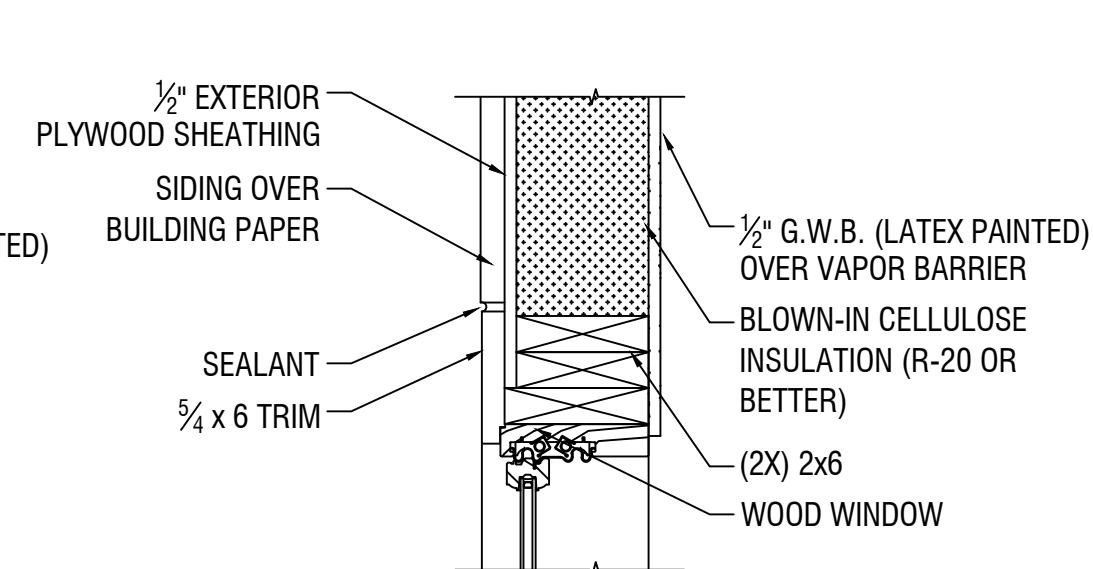
8 DOOR SILL

1-1/2" = 1'-0"



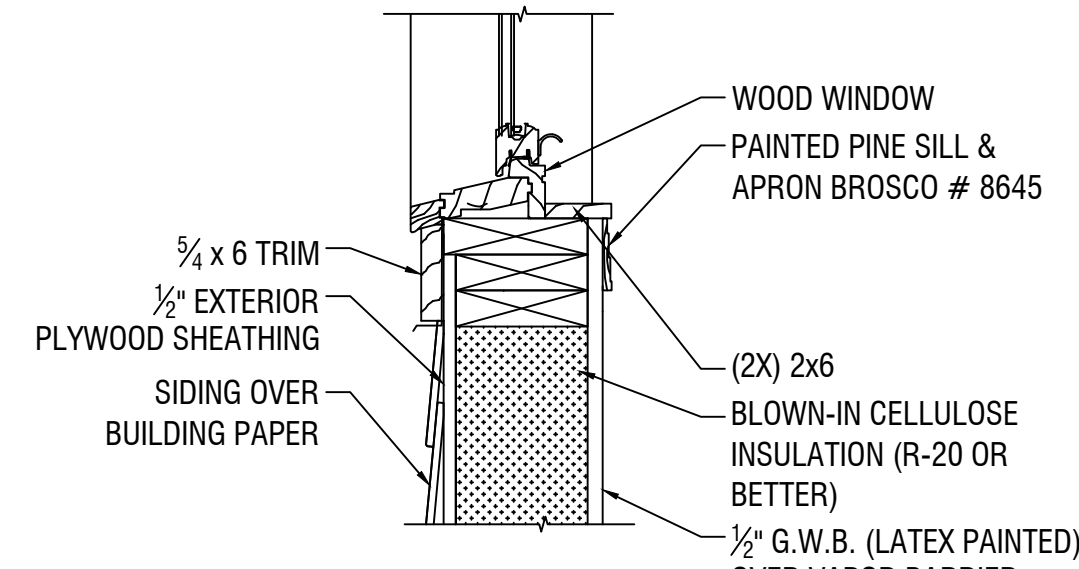
1 WINDOW HEAD

1-1/2" = 1'-0"



2 WINDOW JAMB

1-1/2" = 1'-0"



3 WINDOW SILL

1-1/2" = 1'-0"

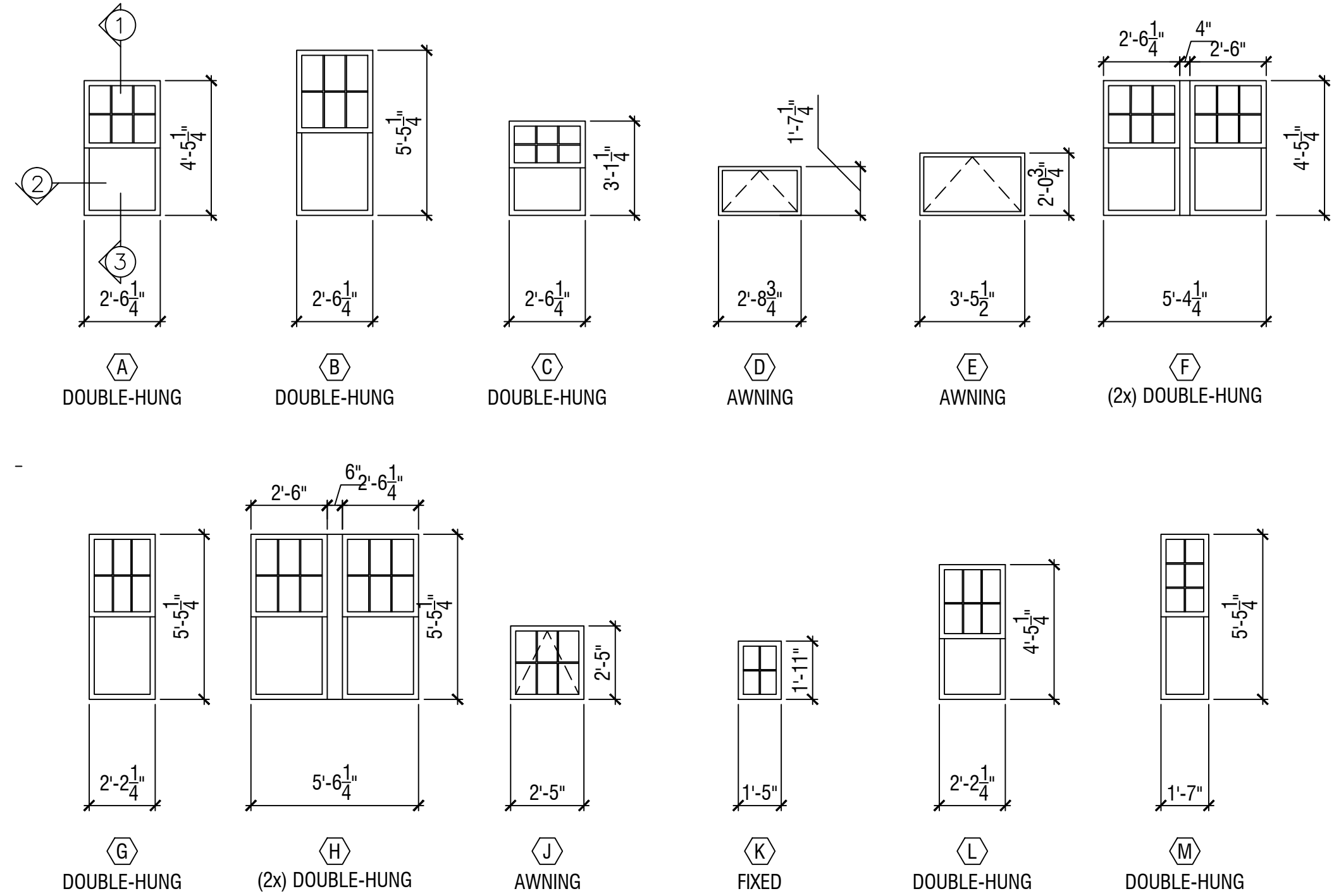
DOOR SCHEDULE												
DOOR NO.	UNIT	LOCATION	SIZE	TYPE	MATERIAL	GLASS	FRAME	HEAD	JAMB	SILL	HARDWARE	MISC
E-01	7A HALF MOON ST	BASEMENT	3'-0"x6'-8"x1 3/4"	C	ST/INSUL	INSUL/TP	MTL	6	7	8	-	ALUM THRESHOLD
E-02	7A HALF MOON ST	BASEMENT	3'-0"x6'-8"x1 3/4"	C	ST/INSUL	INSUL/TP	MTL	6	7	8	-	ALUM THRESHOLD
E-03	7A HALF MOON ST	FRONT ENTRY	3'-0"x6'-8"x1 3/4"	A	ST/INSUL	INSUL/TP	MTL	6	7	8	-	ALUM THRESHOLD
E-04	7A HALF MOON ST	BACK ENTRY	3'-0"x6'-8"x1 3/4"	B	ST/INSUL	INSUL/TP	MTL	6	7	8	-	ALUM THRESHOLD
E-05	7A HALF MOON ST	FRONT ENTRY	3'-0"x6'-8"x1 3/4"	A	ST/INSUL	INSUL/TP	MTL	6	7	8	-	ALUM THRESHOLD
E-06	7A HALF MOON ST	BACK ENTRY	3'-0"x6'-8"x1 3/4"	B	ST/INSUL	INSUL/TP	MTL	6	7	8	-	ALUM THRESHOLD
I-11	7A HALF MOON ST	1st FLOOR TO BASEMENT	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-12	7A HALF MOON ST	LAV	2'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	MARBLE THRESHOLD
I-13	7A HALF MOON ST	CLOSET	2'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-14	7A HALF MOON ST	CLOSET	2'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-15	7A HALF MOON ST	1st FLOOR TO BASEMENT	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-16	7A HALF MOON ST	LAV	2'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	MARBLE THRESHOLD
I-17	7A HALF MOON ST	BEDROOM 2	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-18	7A HALF MOON ST	BEDROOM 1	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-19	7A HALF MOON ST	BATH	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	MARBLE THRESHOLD
I-20	7A HALF MOON ST	CLOSET	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-21	7A HALF MOON ST	CLOSET	2'-8"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-22	7A HALF MOON ST	CLOSET	2'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-23	7A HALF MOON ST	CLOSET	2'-0"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-24	7A HALF MOON ST	CLOSET	2'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-25	7A HALF MOON ST	LINEN	1'-6"x6'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-26	7A HALF MOON ST	BEDROOM 2	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-27	7A HALF MOON ST	CLOSET	2'-6"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-28	7A HALF MOON ST	CLOSET	2'-6"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-29	7A HALF MOON ST	CLOSET	2'-4"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-30	7A HALF MOON ST	CLOSET	2'-4"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-31	7A HALF MOON ST	BATH	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	MARBLE THRESHOLD
I-32	7A HALF MOON ST	BEDROOM 1	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-33	7A HALF MOON ST	CLOSET	2'-6"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-34	7A HALF MOON ST	CLOSET	2'-6"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-35	7A HALF MOON ST	BEDROOM 3	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-36	7A HALF MOON ST	CLOSET	2'-6"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-37	7A HALF MOON ST	CLOSET	2'-6"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-38	7A HALF MOON ST	ATTIC	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-39	7A HALF MOON ST	BEDROOM 3	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-40	7A HALF MOON ST	CLOSET	2'-4"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-41	7A HALF MOON ST	CLOSET	2'-4"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-
I-42	7A HALF MOON ST	ATTIC	2'-8"x3'-8"x1 3/8"	D	WD	-	WD	4	5	-	-	-

DOOR SCHEDULE ABBREVIATIONS

- AL = ALUMINUM HM = HOLLOW METAL TP = TEMPERED IN = INSULATED E-00 = EXTERIOR DOORS MTL = METAL
 HC = HOLLOW CORE WD = WOOD VL = VINYL ST = STEEL I-00 = INTERIOR DOORS PR = PAIR

ALL WINDOWS ARE INDICATED BY ROUGH OPENING ADJUST TO MANUFACTURES CLOSEST CURRENT SIZE

WINDOWS:
 1. PELLA PROLINE ALUM. CLAD WOOD DBL HUNG WINDOWS, WITH ADVANCED COMFORT LOW-E W/ ARGON (DUAL GLAZED UNITS) WITH ENERGYSTAR OR BETTER
 2. OR EQUAL WINDOW MEETING OR EXCEEDING D.N.D. MIN. GUIDELINES
 3. INSTALL ICE AND WATER SHIELD AROUND ALL WINDOW OPENING AS PER MANUFACTURER RECOMMENDATION.
 4. ONLY USE DIVIDED LIGHT IF IN CONTEXT
 5. FOR WINDOW SIZES THE CLOSEST WINDOW SIZE AVAILABLE TO THE SIZES INDICATED OR THE NEXT LARGER SIZE. DIVIDED LITES OR NOT A REQUIREMENT USE IF CONTEXTUALLY APPROPRIATE.



WINDOW TYPES

1/4" = 1'-0"

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 Drawn By: RVC
 Checked By: CMK
 Date: 6/8/2018

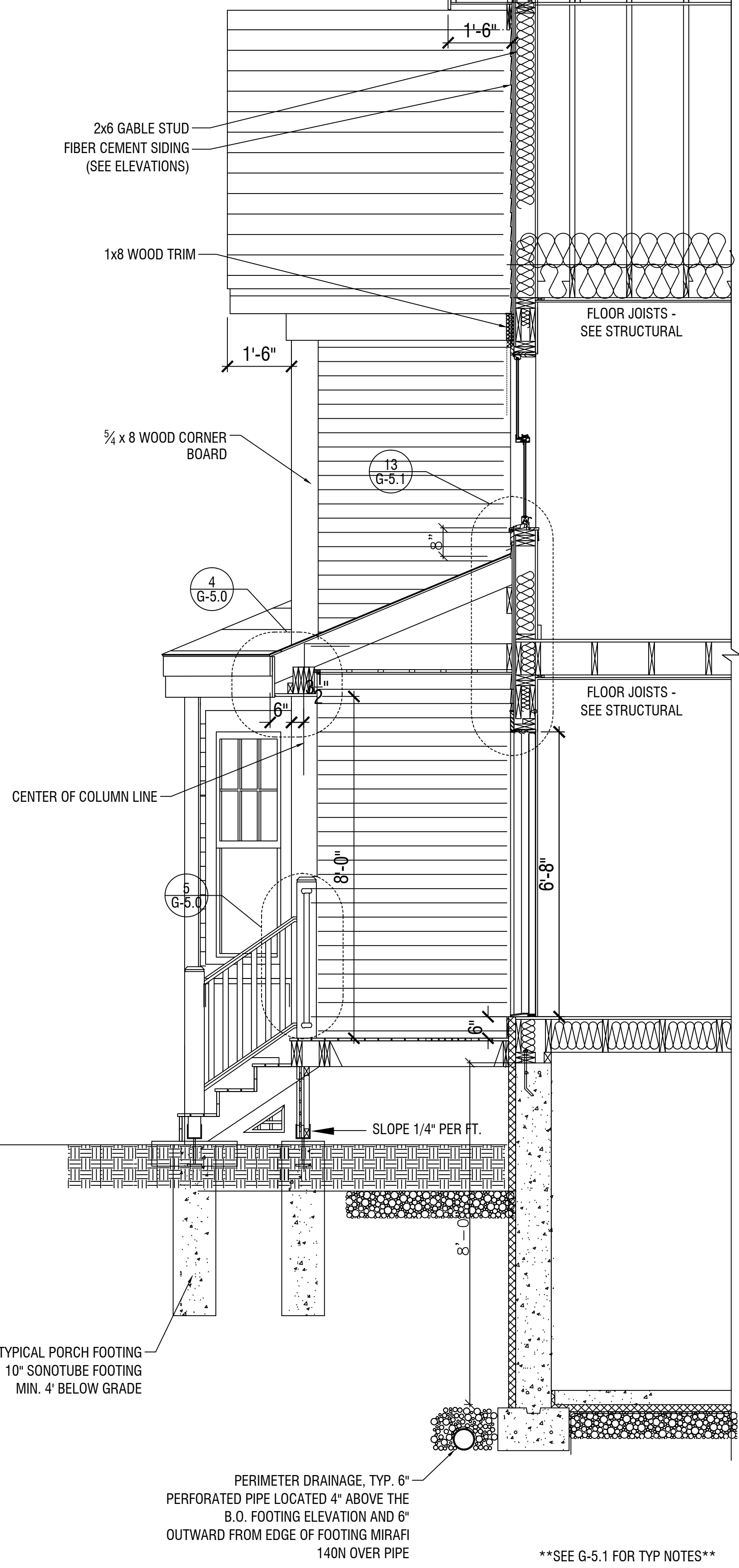
Revisions

△ PERMIT SET - REVIEW 5/7/2020
 ◻ INITIAL SUBMISSION 6/8/2018

DND PROJECT

DOOR SCHEDULE,
 DOOR / WINDOW
 DETAILS

SEE G-5.1 FOR TYP NOTES



TYPICAL PORCH FOOTING
10" SONOTUBE FOOTING
MIN. 4" BELOW GRADE

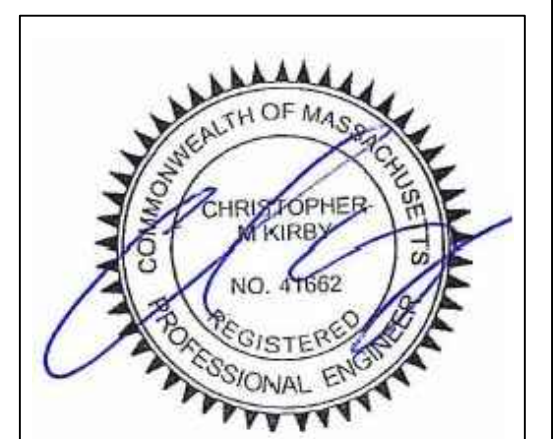
PERIMETER DRAINAGE, TYP. 6" PERFORATED PIPE LOCATED 4" ABOVE THE B.O. FOOTING ELEVATION AND 6" OUTWARD FROM EDGE OF FOOTING MIRAFI 140N OVER PIPE

SEE G-5.1 FOR TYP NOTES

2 TYPICAL WALL SECTION
1/2" = 1'-0"

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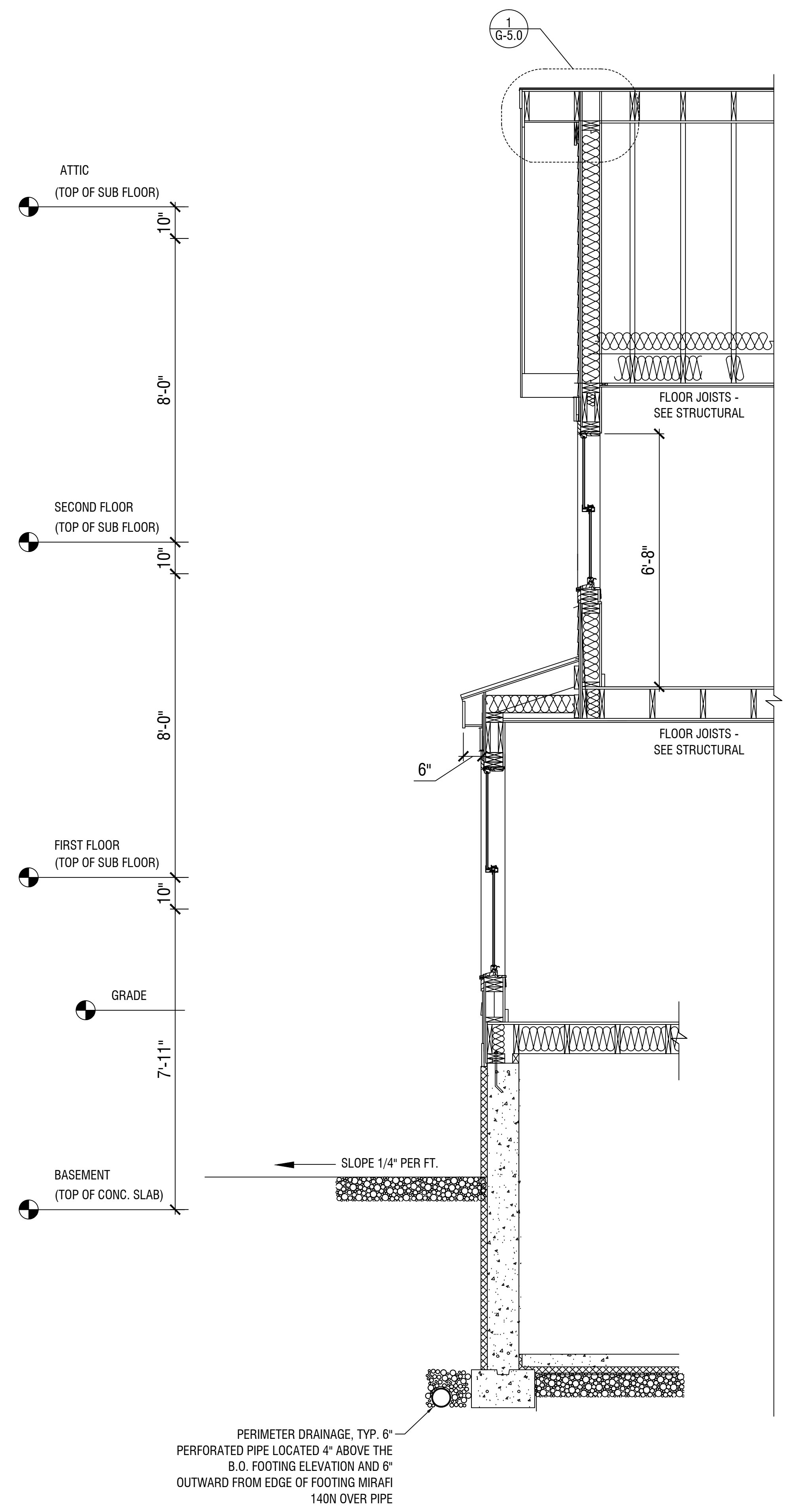
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Revisions	

DND PROJECT

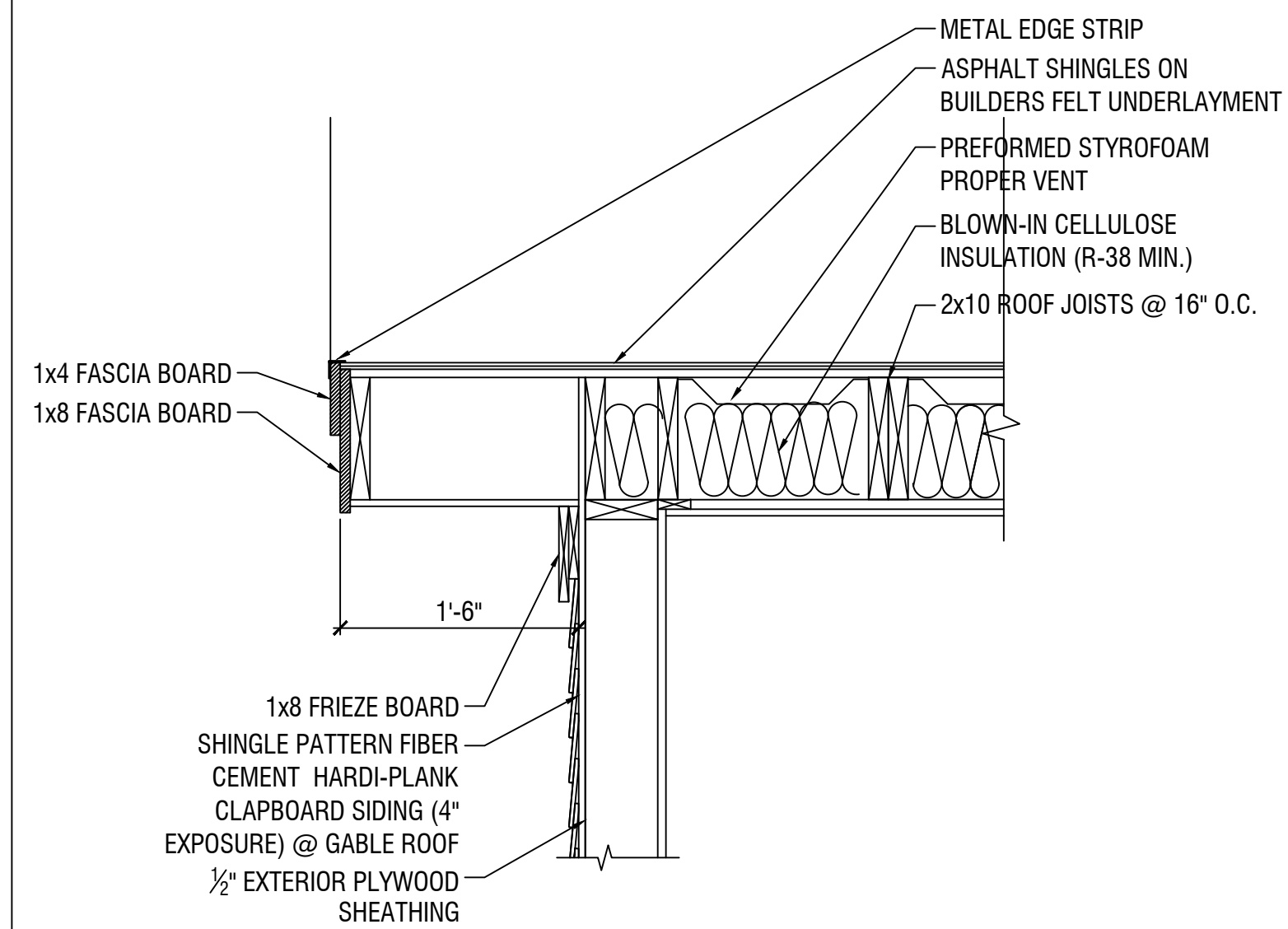
WALL SECTIONS

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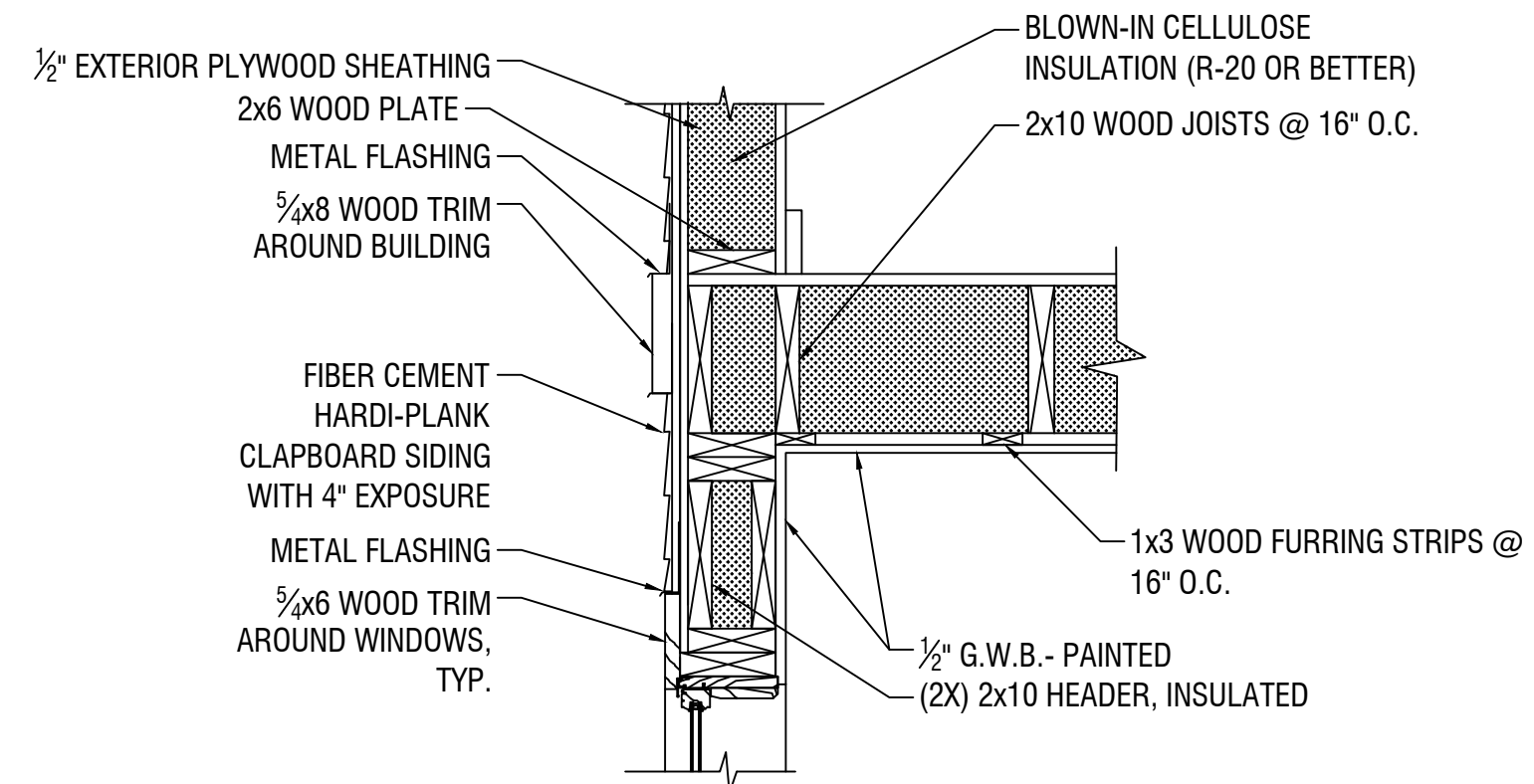


PERIMETER DRAINAGE, TYP. 6" PERFORATED PIPE LOCATED 4" ABOVE THE B.O. FOOTING ELEVATION AND 6" OUTWARD FROM EDGE OF FOOTING MIRAFI 140N OVER PIPE

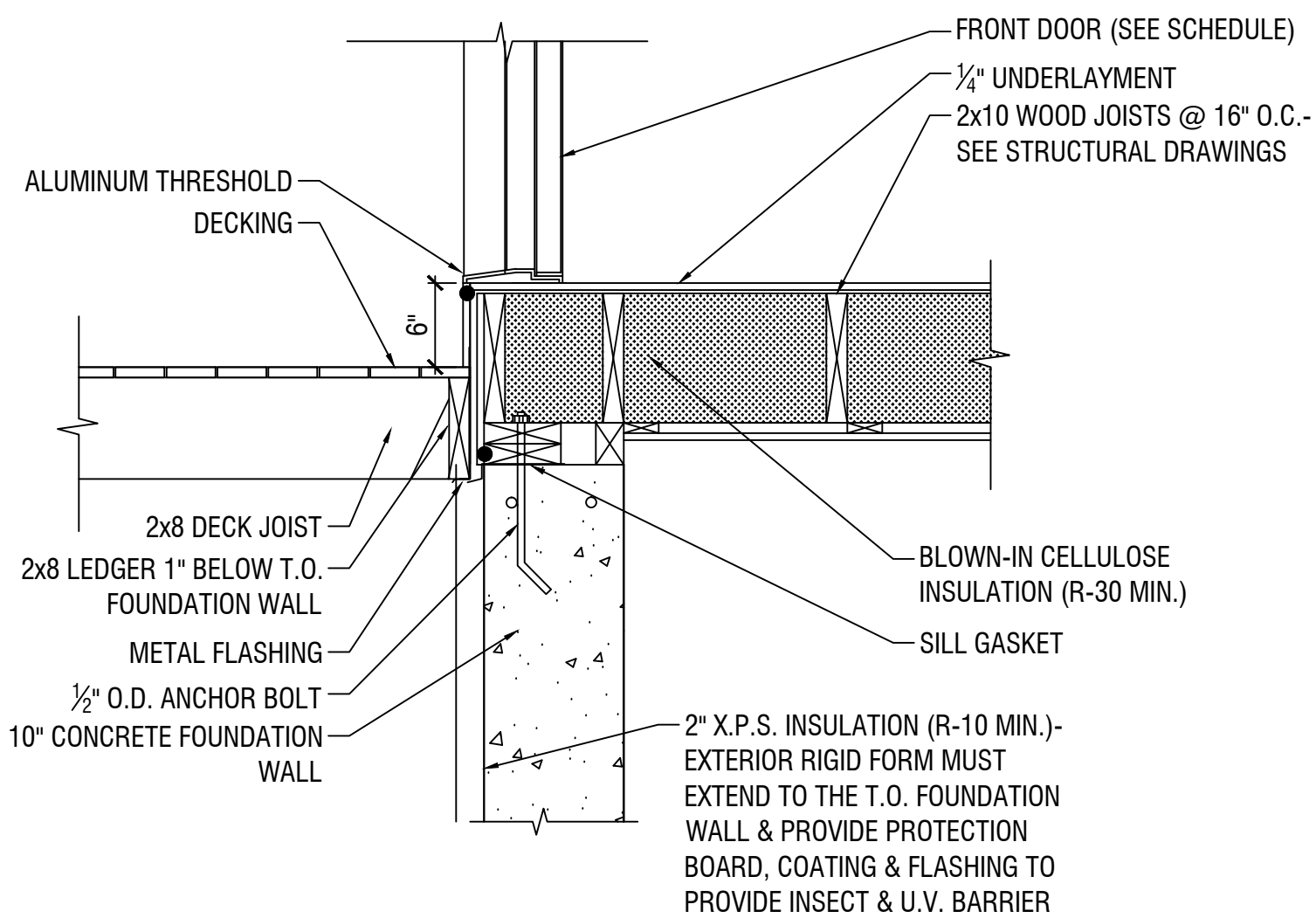
4 TYPICAL WALL SECTION @ BAY
1/2" = 1'-0"



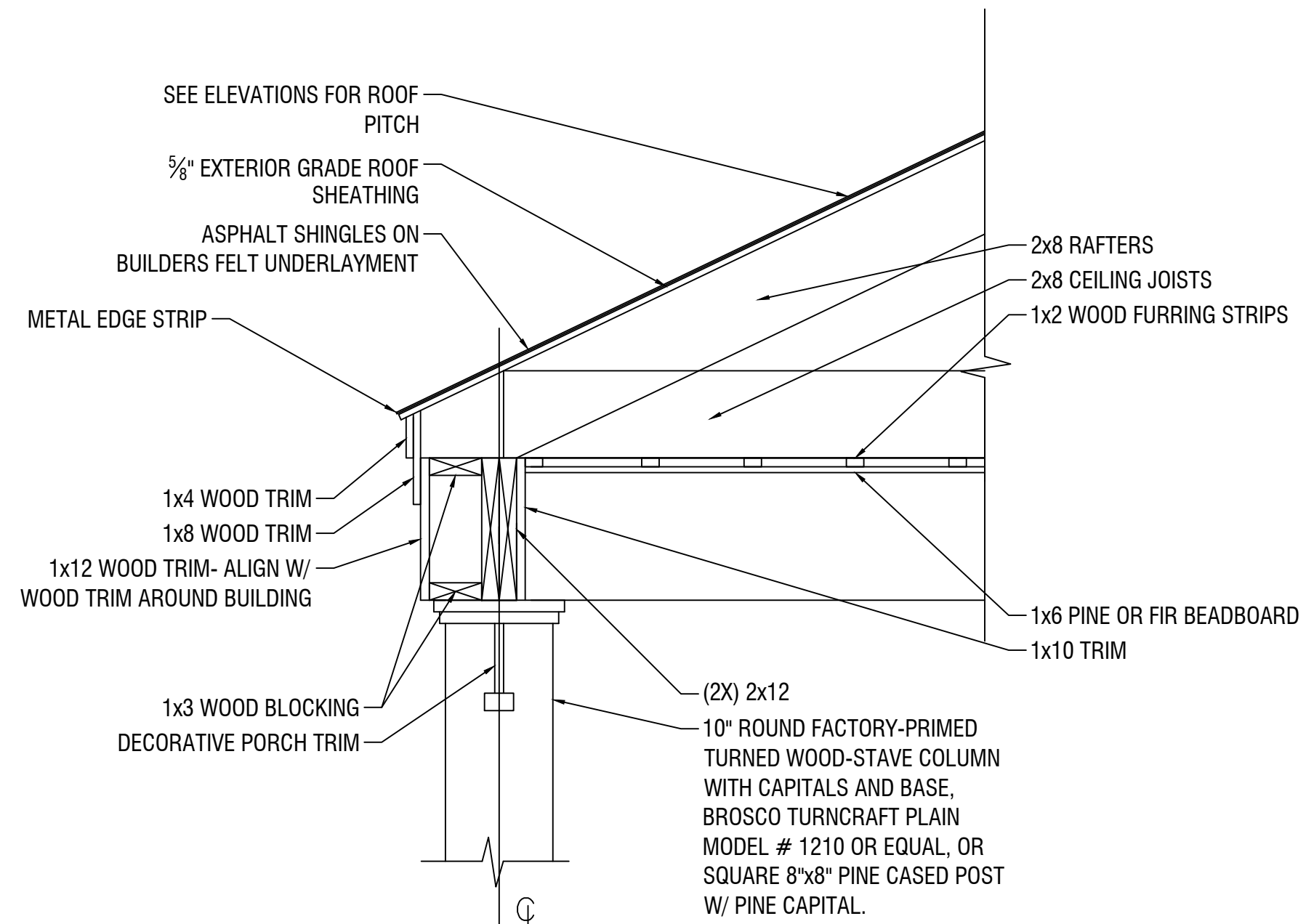
1 RAKE DETAIL @ GABLE ROOF
1" = 1'-0"



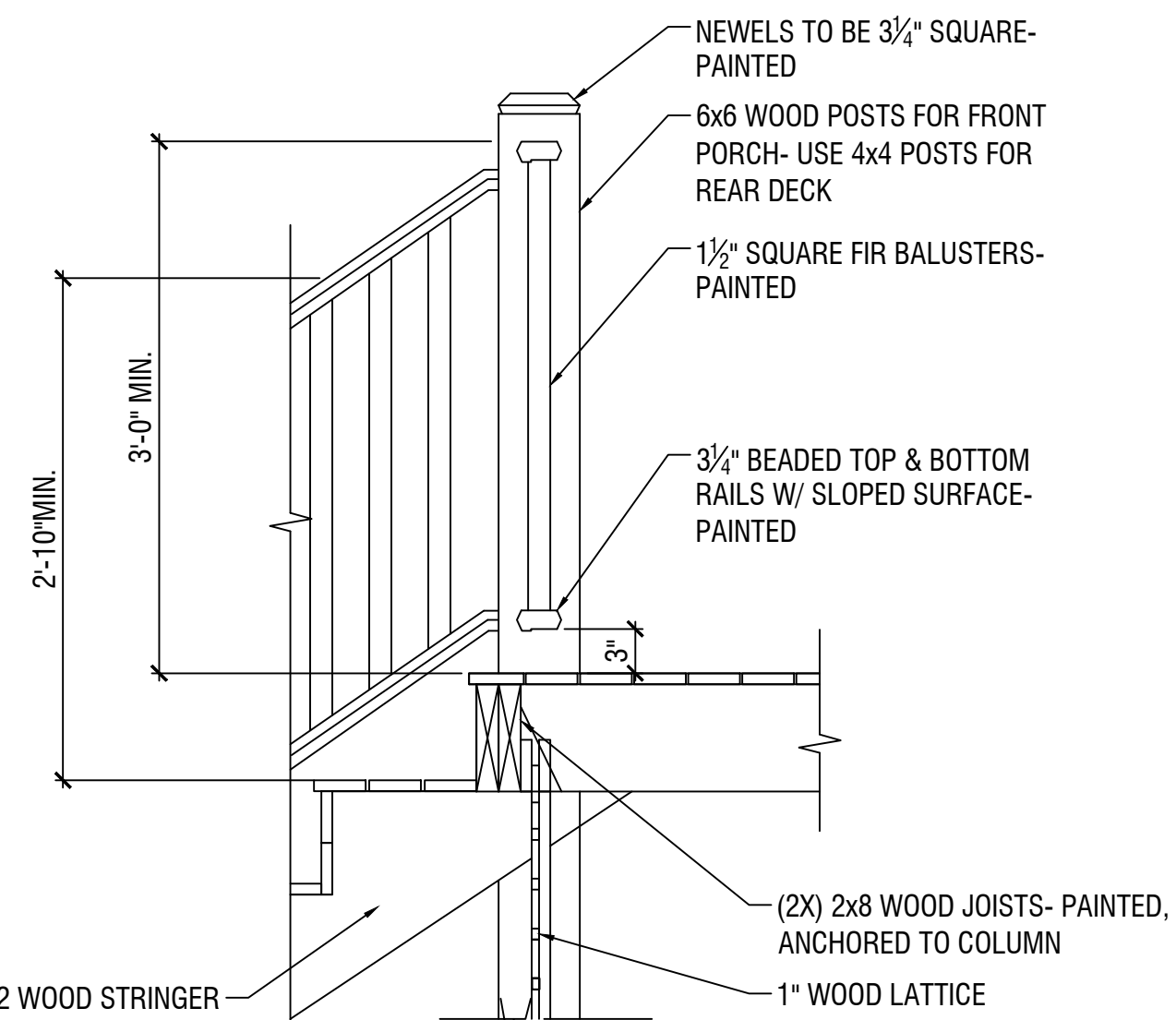
2 TYP. WALL DETAIL
1" = 1'-0"



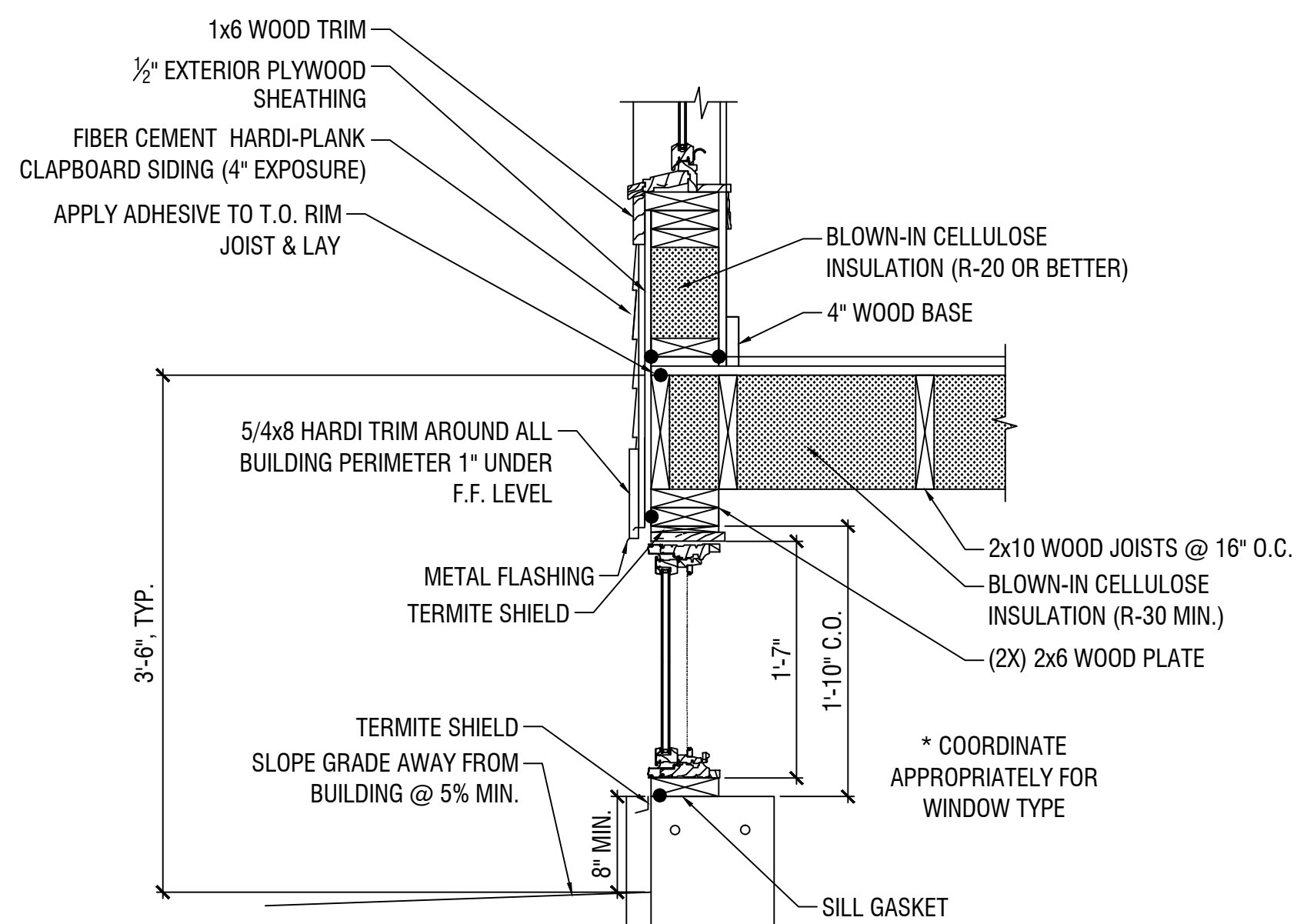
3 TYP. DETAIL @ DECK
1" = 1'-0"



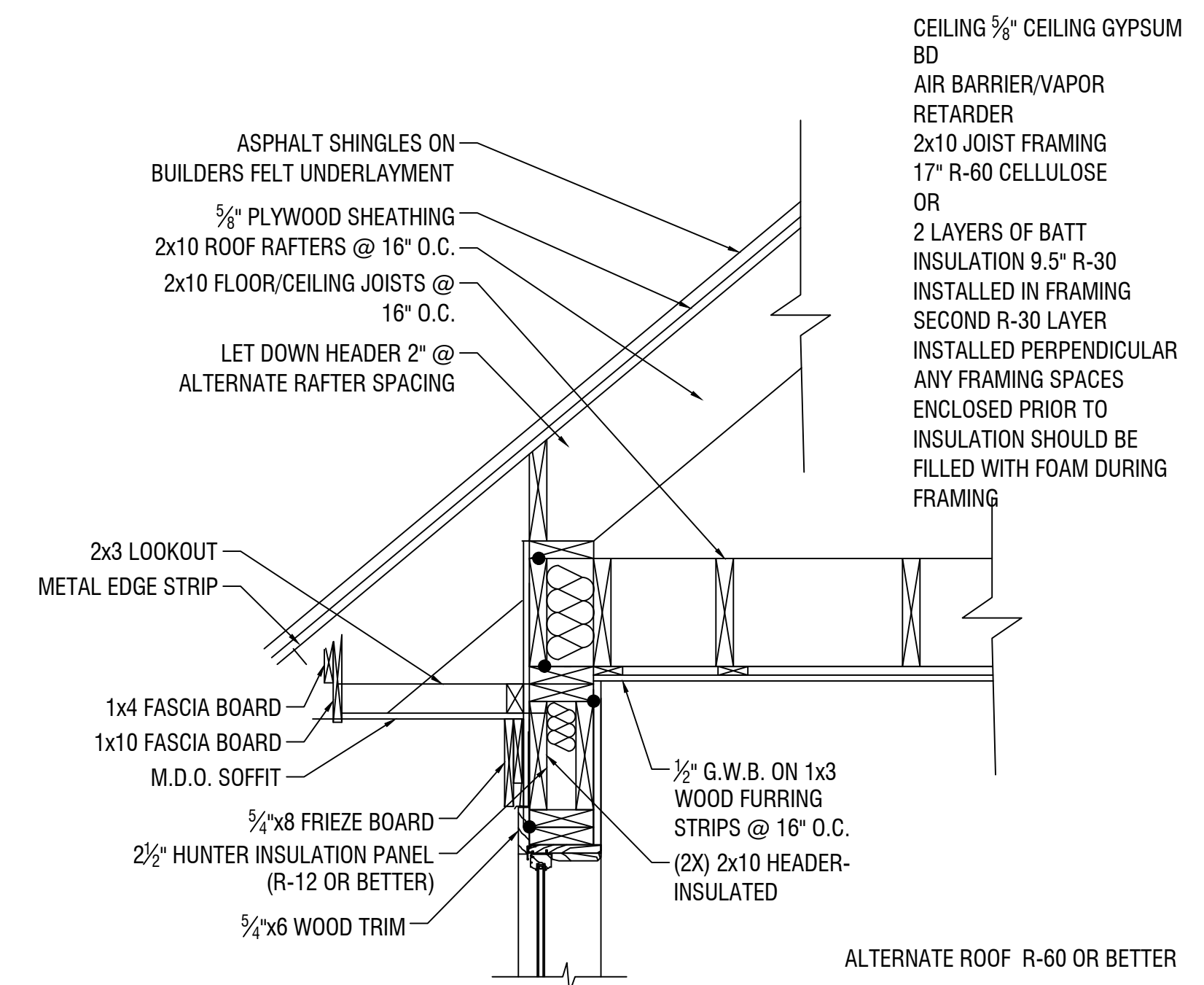
4 EAVE @ PORCH FRAMING DETAIL
1" = 1'-0"



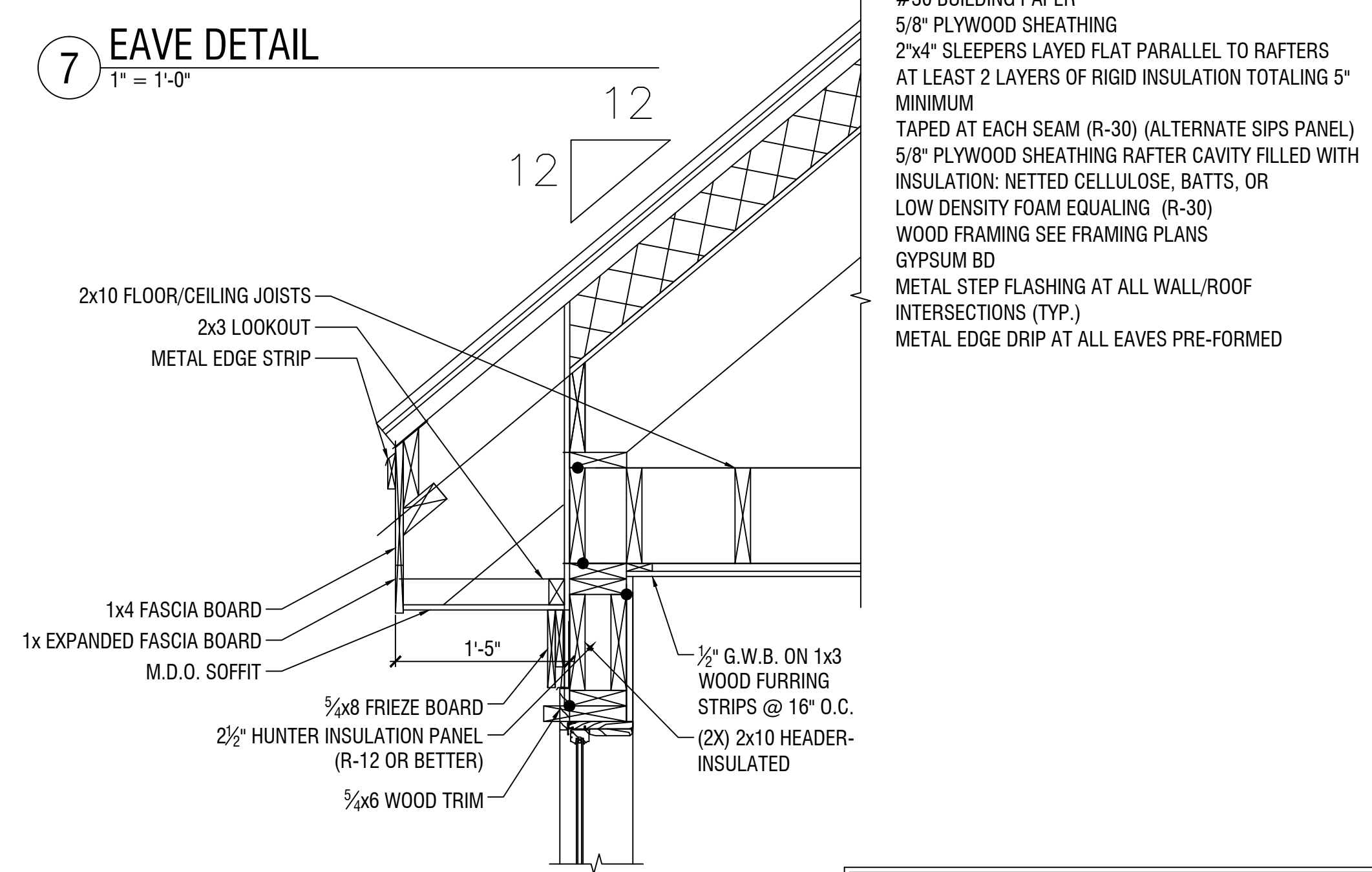
5 TYP. FRAMING DETAIL @ DECK
1" = 1'-0"



6 BASEMENT WINDOW SECTION
1" = 1'-0"



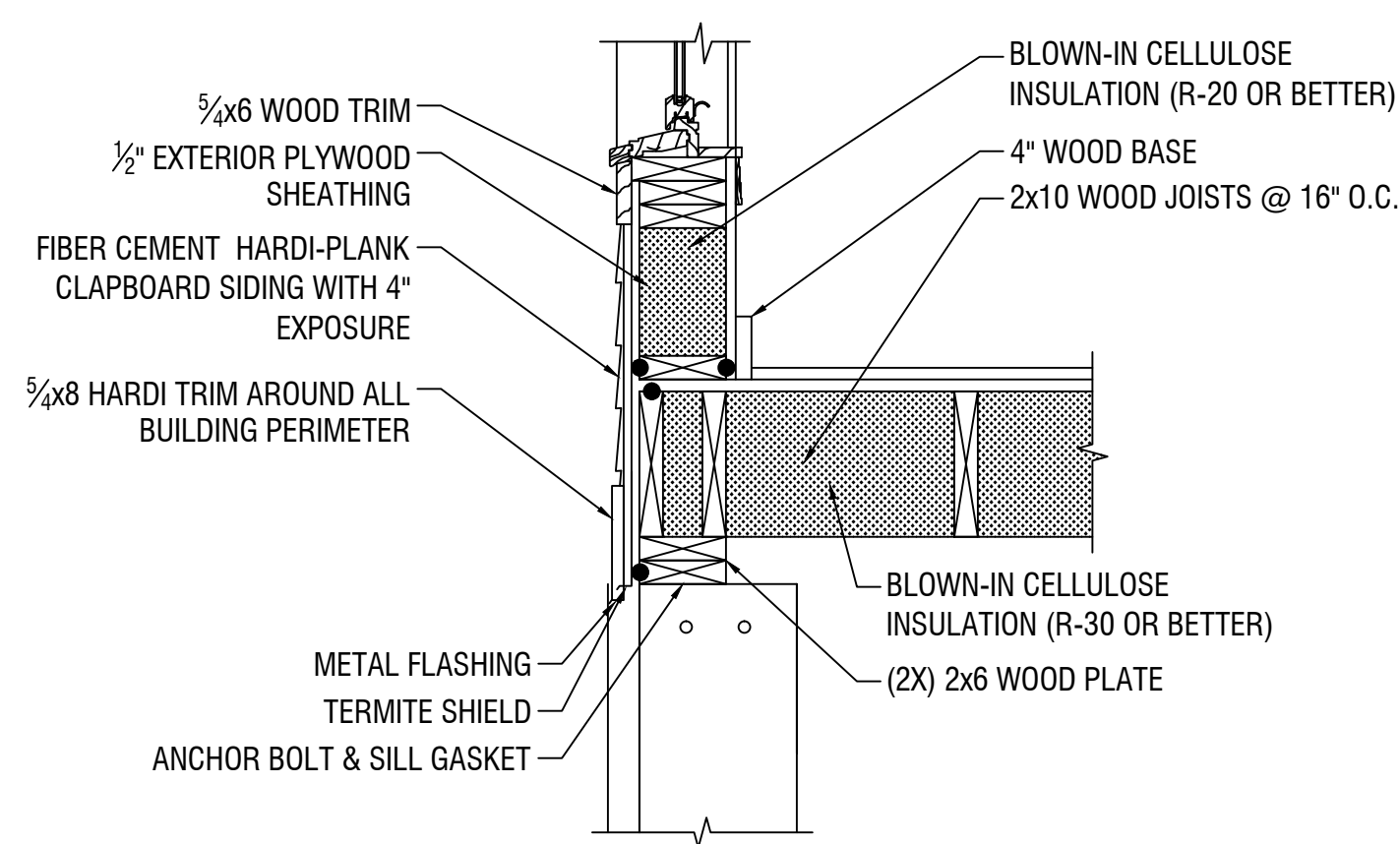
7 EAVE DETAIL
1" = 1'-0"



8 EAVE DETAIL ALTERNATE
1" = 1'-0"

● DOT REPRESENTS POINTS WHERE CAULKING IS REQUIRED. THIS IS TYPICAL OF ALL DETAILS.

NOTE:
INCLUDE ADHESIVE SEAM TAPE
ON ALL SHEATHING INSTALLATION



9 TYP. DETAIL @ FOUNDATION WALL
1" = 1'-0"

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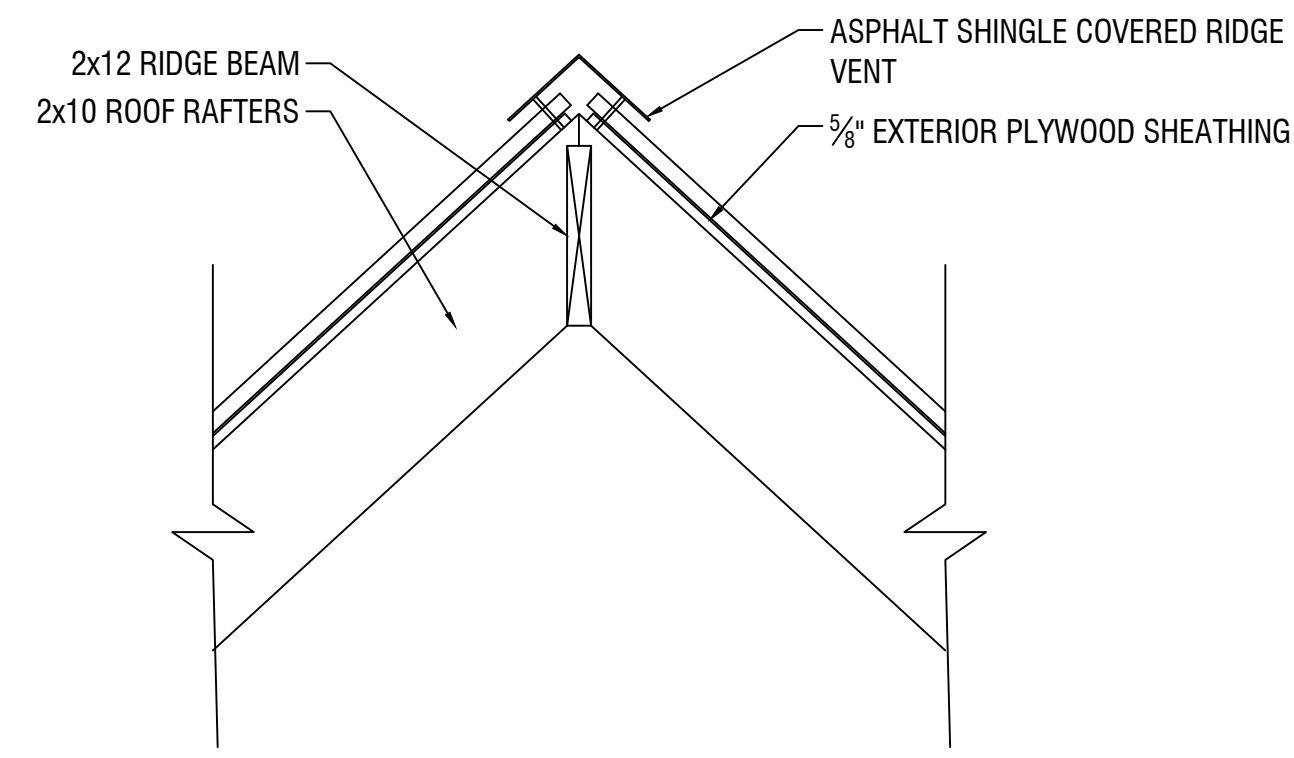
Stamped By: CMK
Drawn By: RWC
Checked By: CMK
Date: 6/8/2018

Revisions		

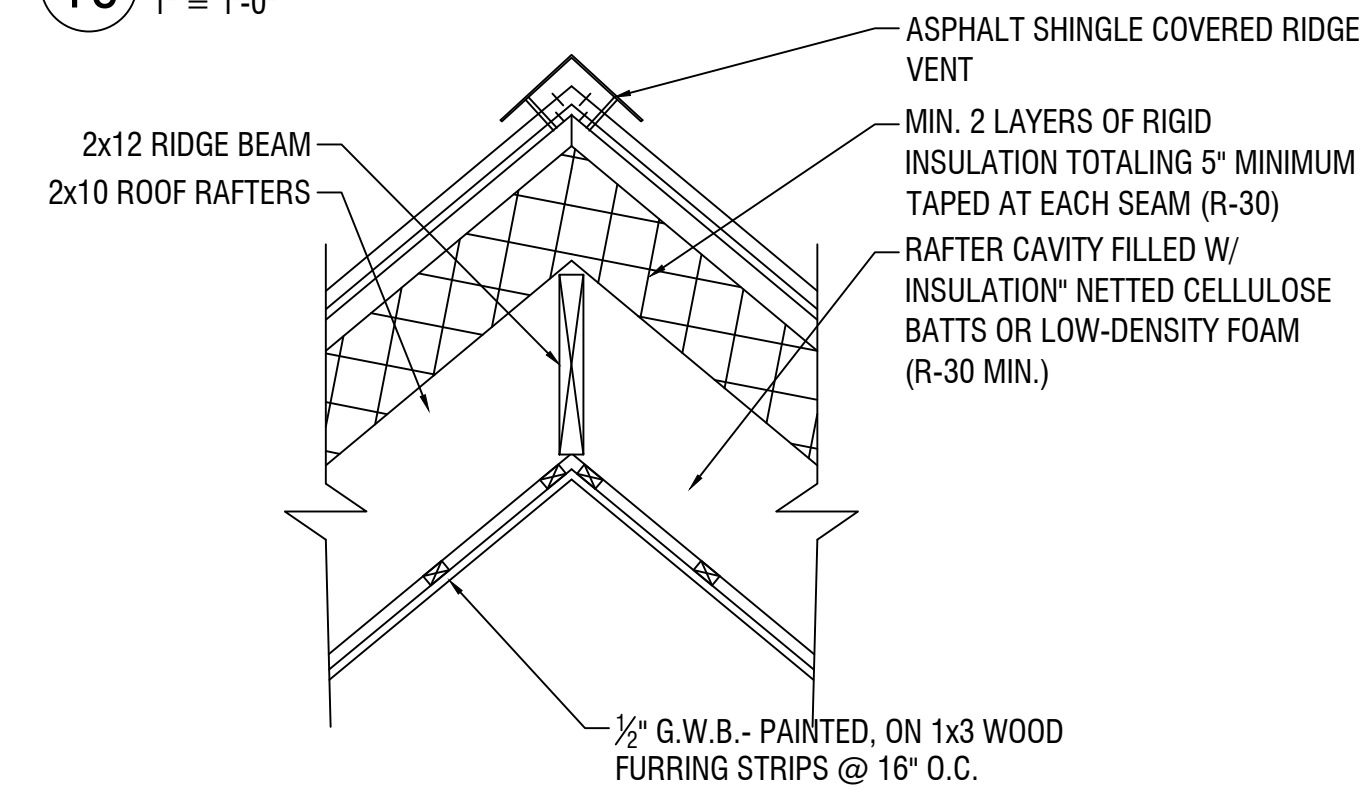
DND PROJECT

TYPICAL DETAILS

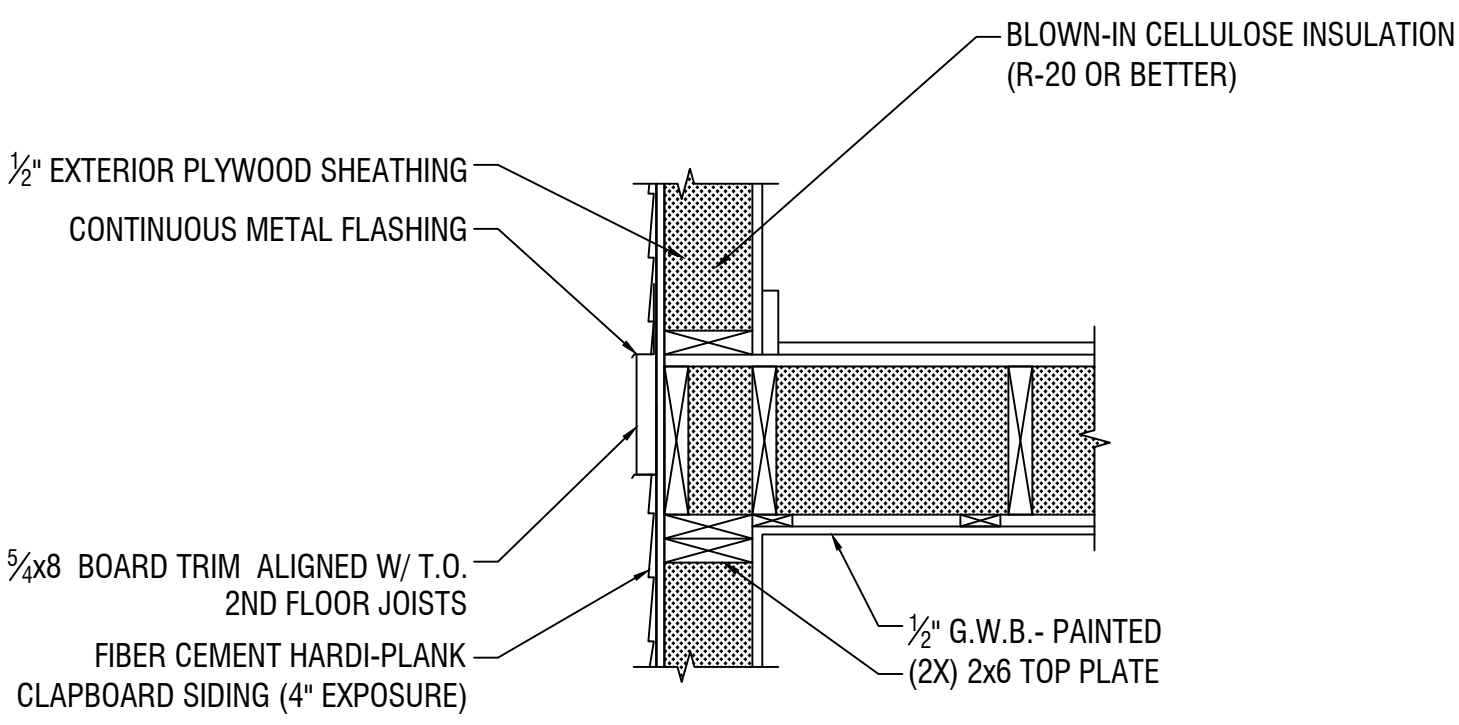
Sheet No. **G-5.0**
Scale: AS SHOWN



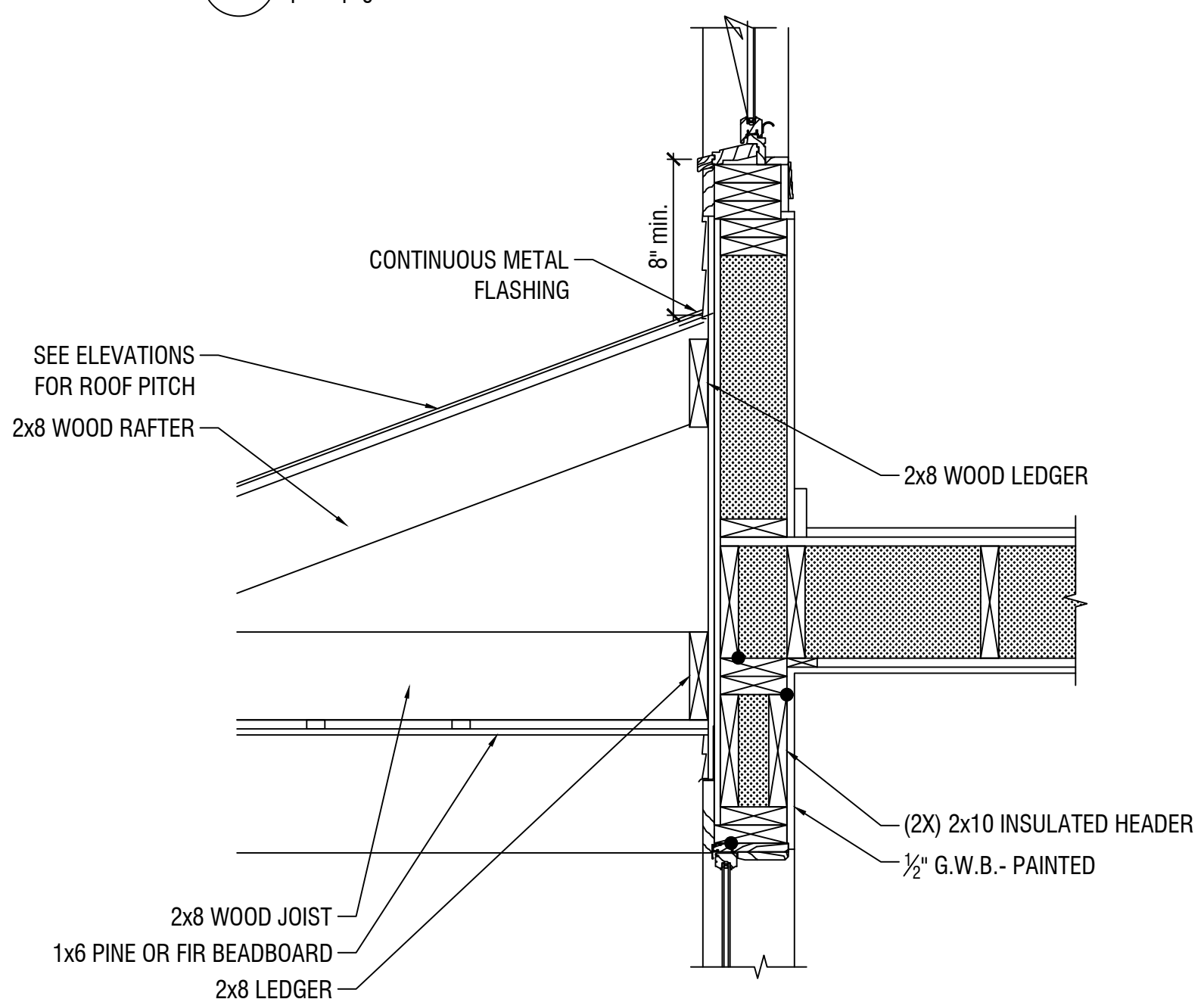
10 RIDGE DETAIL
1" = 1'-0"



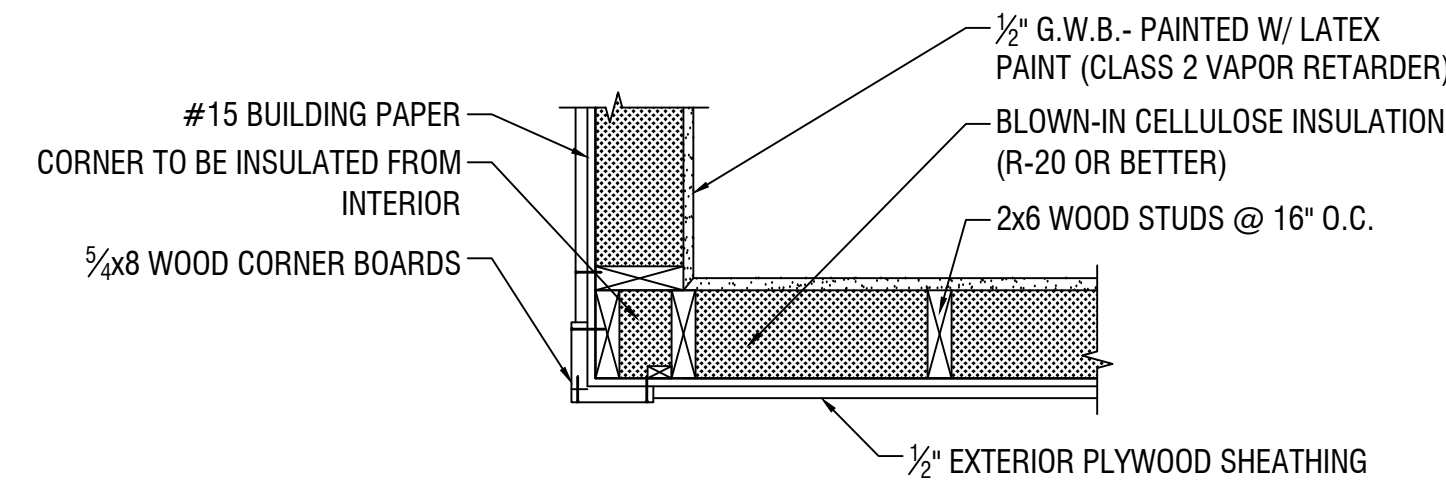
11 RIDGE DETAIL
1" = 1'-0"



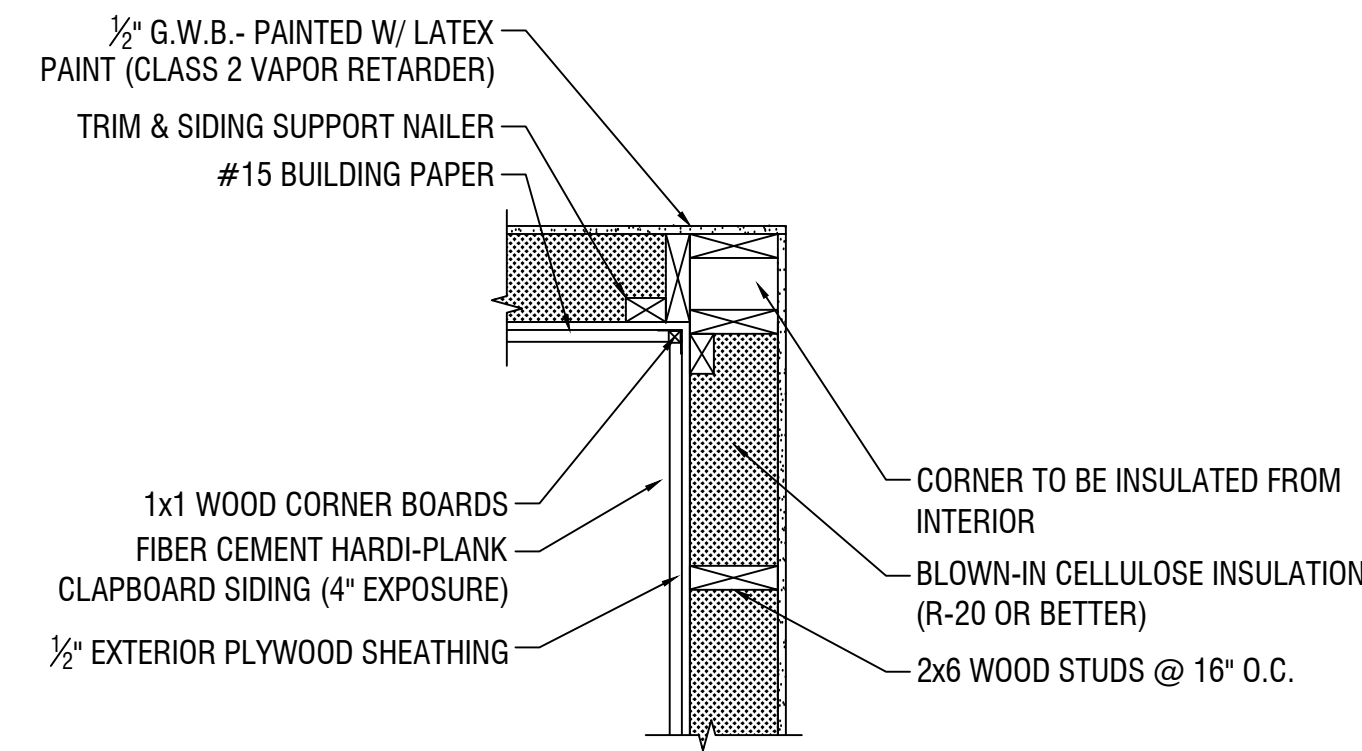
12 TRIM DETAIL
1" = 1'-0"



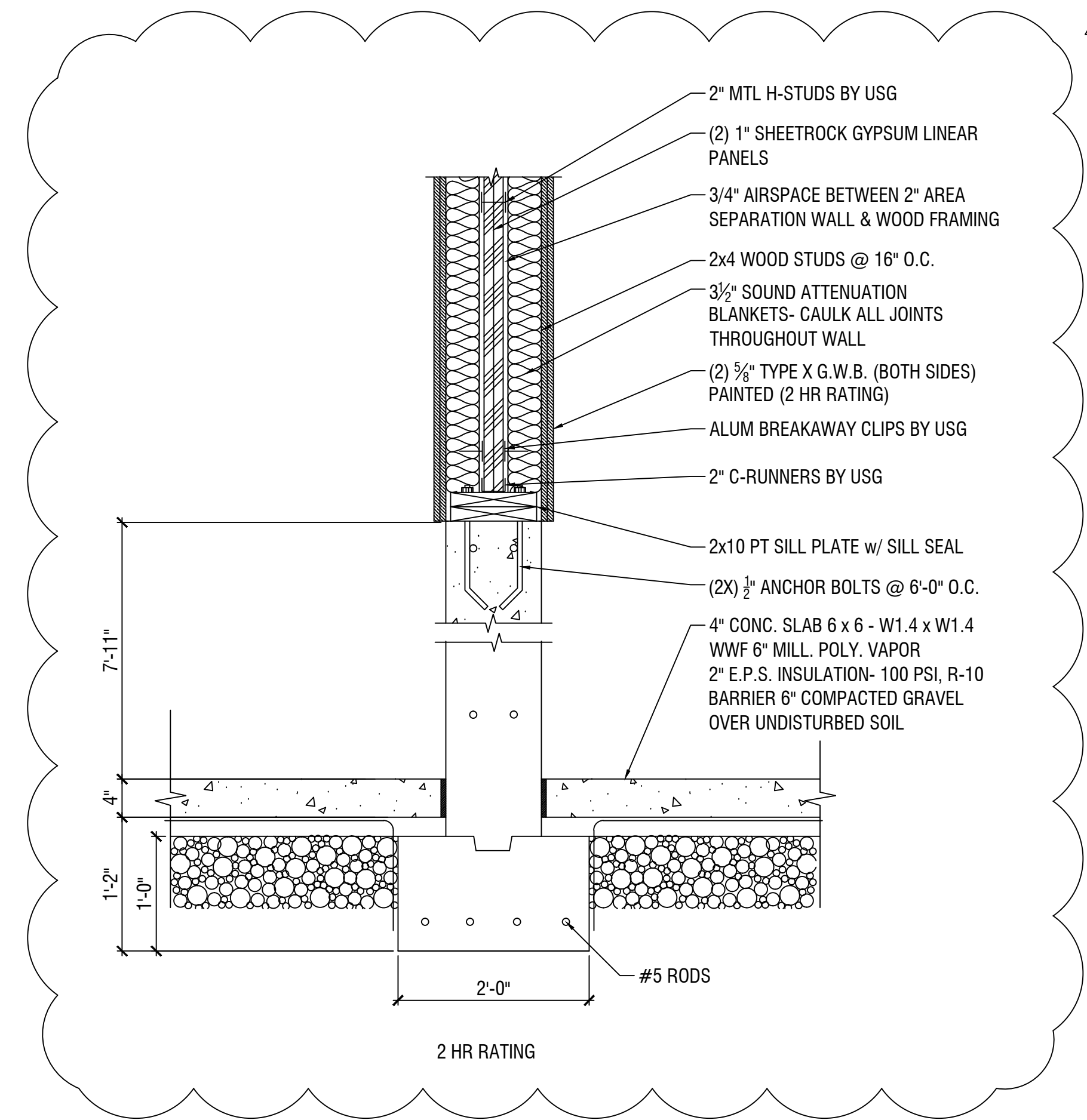
13 PORCH ROOF DETAIL
1" = 1'-0"



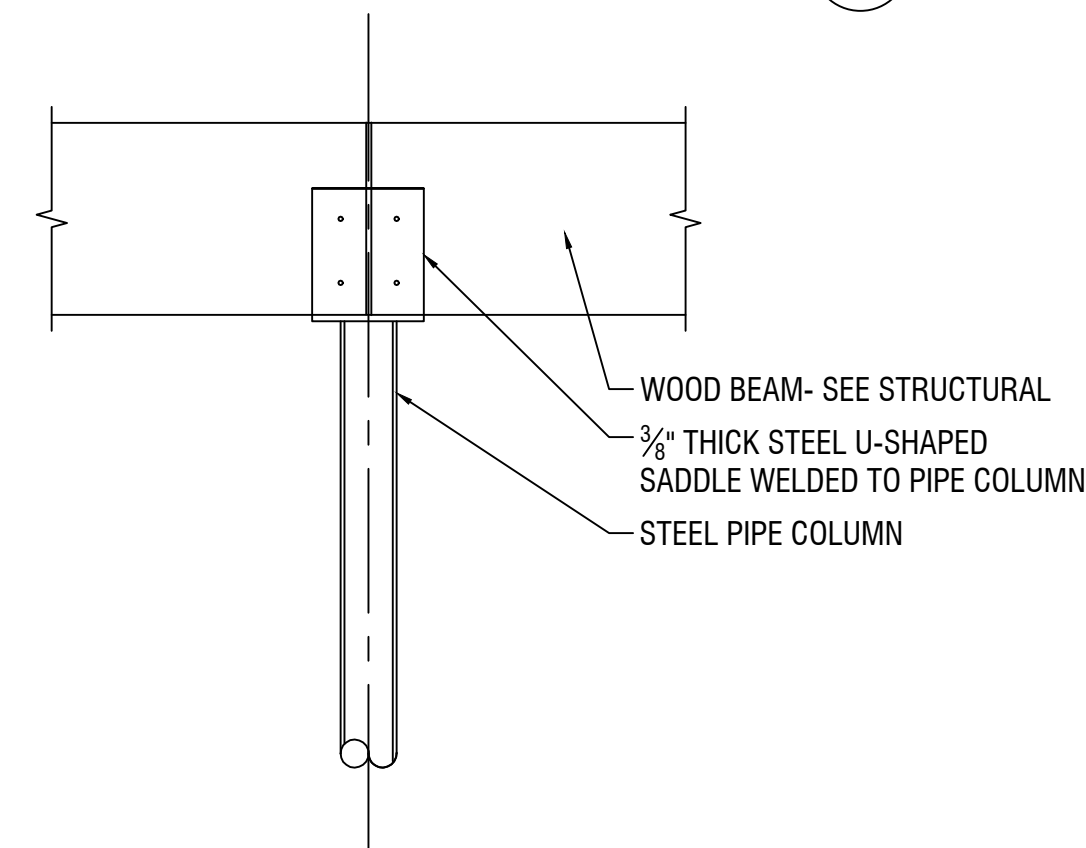
14 TYP. EXTERIOR CORNER DETAIL
1" = 1'-0"



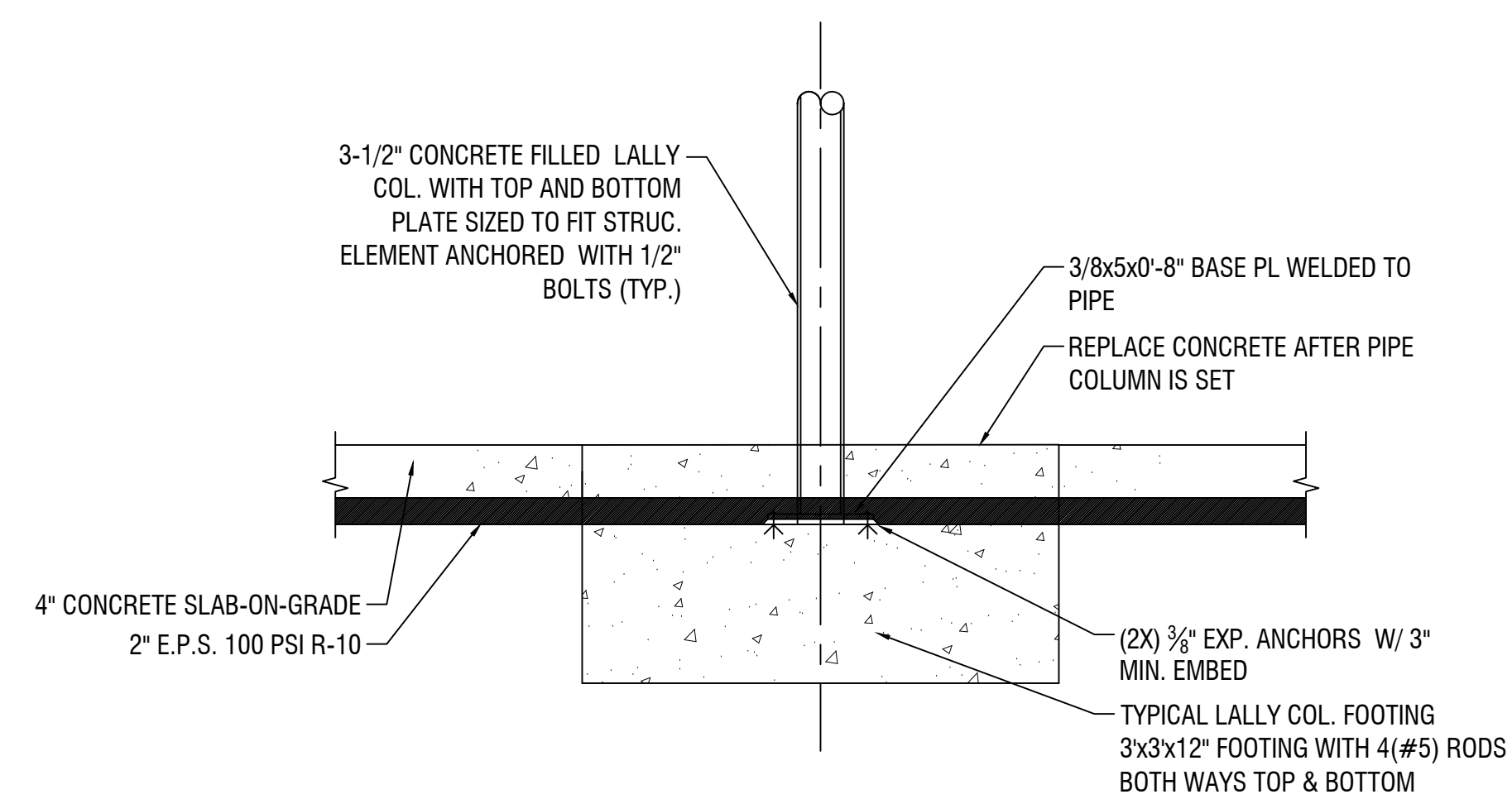
15 TYP. INTERIOR CORNER DETAIL
1" = 1'-0"



16 TYPICAL UNIT SEPARATION WALL
1" = 1'-0"



17 TYPICAL LALLY DETAIL, TOP
1" = 1'-0"



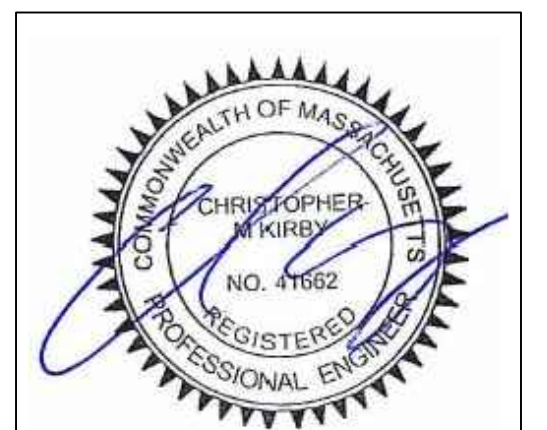
18 TYPICAL LALLY DETAIL, BASE
1" = 1'-0"

• DOT REPRESENTS POINTS WHERE CAULKING IS REQUIRED. THIS IS TYPICAL OF ALL DETAILS.

NOTE:
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Stamped By: CMK
Drawn By: RWC
Checked By: CMK
Date: 6/8/2018

Revisions		
△ PERMIT SET - REVIEW	5/7/2020	
○ INITIAL SUBMISSION	6/8/2018	

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TYPICAL DETAILS

Sheet No. **G-5.1**
Scale: AS SHOWN