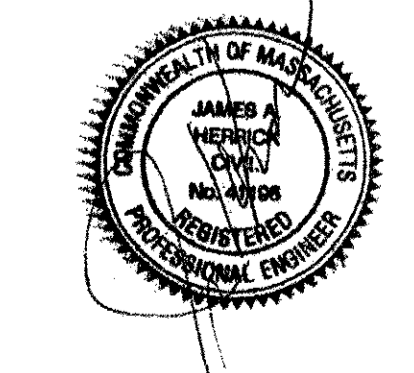
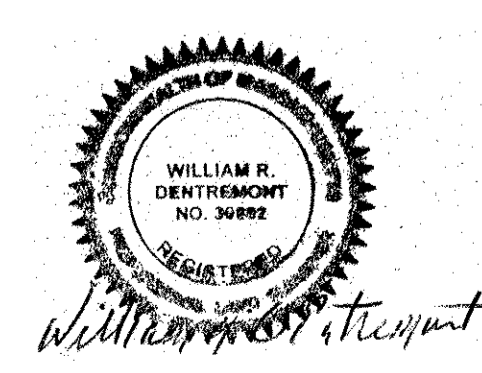
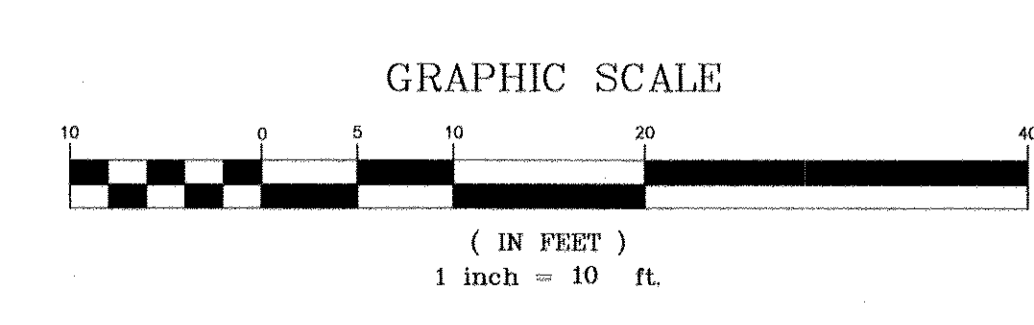


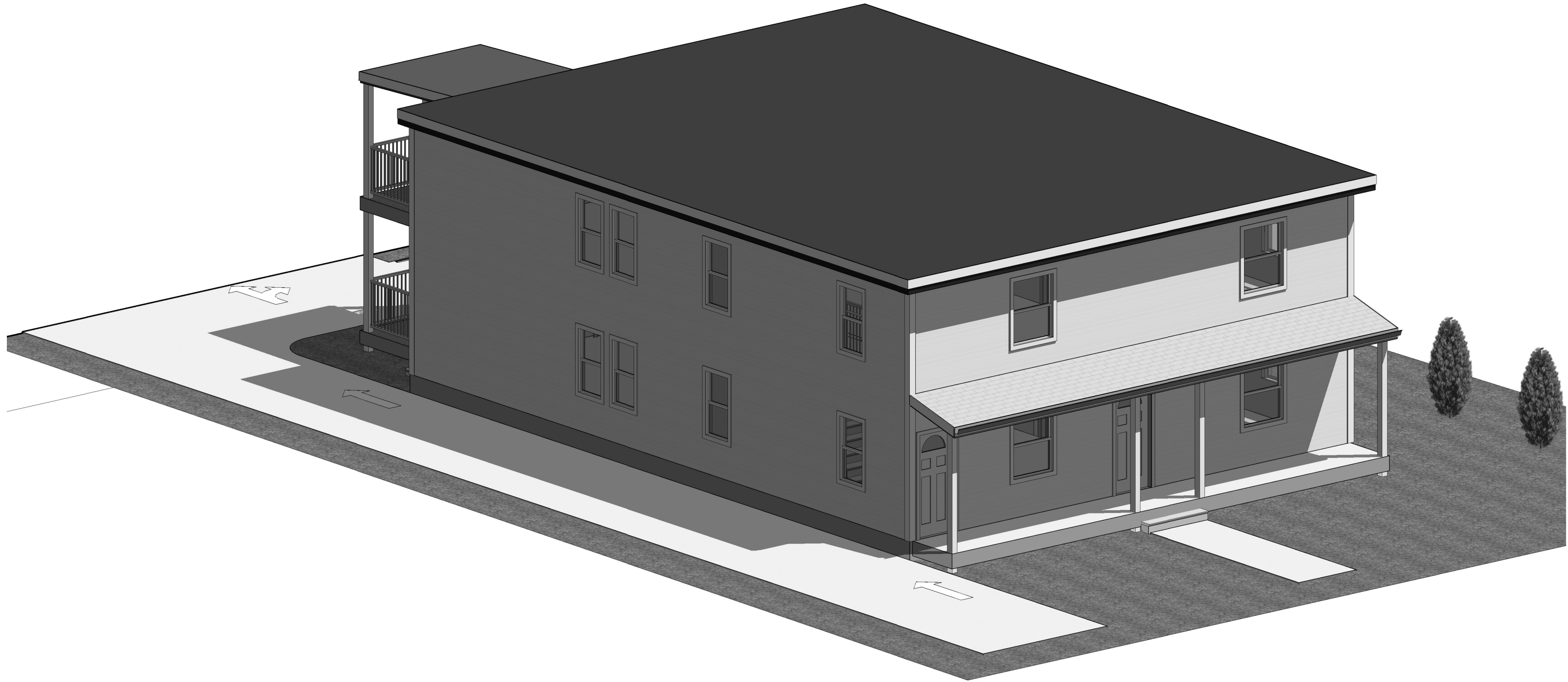
- REFERENCES:**
- ASSESSORS PARCELS 1300480000-1300481000
  - SUFFOLK REGISTRY BK. 20722 PG. 558
  - BK. 17580 PG. 87
  - BK. 59632 PG. 337
  - PL. BK. 2072 PG. 558
  - L.C.C. 1328-A
  - L.C.C. 18129-A
  - CITY OF BOSTON STREET LAYOUT L-2131
  - L-2381
  - L-2811
  - L-4242
  - L-4329
  - CITY OF BOSTON ENGINEERING N.B. 319 PG. 138-140
  - N.B. 320 PG. 144
  - N.B. 361 PG. 128
  - N.B. 377 PG. 124
  - N.B. 434 PG. 61



**PROPOSED SITE PLAN**  
**32 & 34 DEWEY STREET**  
**DORCHESTER, MA**  
 FOR  
**JOÃO BARBOSA**  
**CIVIL ENVIRONMENTAL CONSULTANTS**  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1	DATE: 2/25/2020 JOB: 4145
DRAWN BY: C.R.L.	

# **32-34 DEWEY STREET BOSTON, MA** **NEW TWO FAMILY DWELLING**



① PROPOSED PERSPECTIVE VIEW

## **LOCUS PLAN**



### **GENERAL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.  
ALL WORK SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS WITH THE PROJECT PRIOR TO SUBMITTING A PRICE.  
ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- THE CONTRACTOR SHALL WARRANT HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

### **FOUNDATION NOTES:**

- ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL, OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95 %
- ALL FOOTING SHALL BE POURED IN THE DRY ONLY.
- NO FOOTING SHALL BE POURED ON FROZEN GROUND.
- THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
- LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
- ALL REINFORCEMENT: ASTM A615-60, WWF A185.

### **CONCRETE NOTES:**

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
- MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.
- ALL CONCRETE SLABS SHALL BE POURED IN 900 SQUARE FOOT PANELS, MAXIMUM; OR, PROVIDE CONTROL JOINTS BY SAW CUTTING THE SLAB WHILE THE CONCRETE IS STILL GREEN.

### **WINDOWS**

NEW WINDOW U-FACTOR CAN NOT BE LESS THE 0.32 (U.S/I-P) AND AIR LEAKAGE LESS THAN 0.3 CFM/SQ. FT. WINDOWS MUST HAVE TO HAVE NFRC LABEL FOR U-FACTOR

### **NOTES**

- THE BASIC WIND SPEEDS FOR BOSTON, MA IS **108 MPH**
- THE GROUND SNOW LOADS FOR BOSTON, MA IS **45 PSF**  
CMR MASSACHUSETTS STATE BUILDING CODE 9TH EDITION

### **DESIGN LOADS:**

FLOORS - 40 P/S.F. (LIVE LOAD)  
ROOF - 50 P/S.F.  
DECK - 60 P/S.F.

### **WOOD NOTES:**

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOMORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=1,200 PSI, FV=70 PSI, E=1,300,000 PSI.
- ALL L.V.L LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: AND NOT MORE THAN 8'-0" O.C.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

### **WOOD LINTEL SCHEDULE:**

Lintels over openings in bearing walls shall be as follows; Or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
Less than 4'-0"	3 - 2x4	2 - 2x4
Up to 6'-0"	3 - 2x6	2 - 2x6
Up to 8'-0"	3 - 2x8	2 - 2x8
Up to 10'-0"	3 - 2x10	2 - 2x10

### **CODE SUMMARY**

#### **EXISTING**

#### **LOT AREA 6,277 SQ. SF**

#### **PROPOSED NEW TWO FAMILY DWELLINGS**

RESIDENTIAL UNITS (2)

FIRST FLOOR AREA 1,840 SF APPROX.  
SECOND FLOOR AREA 1,855 SF APPROX.

BASEMENT FLOOR AREA 1,887 SF APPROX.

NOT SPRINKLER BUILDING

#### **EXISTING**

NOT STRUCTURE

#### **PROPOSED USE**

2 UNIT DWELLINGS

2 STORY AND BASEMENT

EACH BUILDING TYPE: R2

CONSTRUCTION TYPE: 5A

## **TITLE SHEET**

A000 PROPOSE AXONOMETRIC VIEW STRUCTURE / SITE PLAN  
GENERAL NOTES

1-1 SITE PLAN BY: James A Herrick ( Civil Engineer )  
PLOT PLAN BY: William R Dentremont ( Land Survey )

Civil Environmental Consultants  
8 Oak Street Peabody, MA 01960  
Ph: 978-531-1191

E-0 ELECTRICAL SITE PLAN BY:

A000 PROPOSED AXONOMETRIC AND LOCUS PLAN  
A001 ARCHITECTURAL SITE PLAN / ZONING CHART / FLOOR AREAS  
A002 WALL TYP / WINDOW & DOOR SCHEDULE / ENERGY CODE  
A100 BASEMENT FLOOR PLAN & FIRST FLOOR PLAN  
A101 SECOND FLOOR PLAN & ROOF PLAN  
A102 SOUTHERN / NORTHERN / WESTERN EASTERN ELEVATION  
A103 SECTIONS ELEVATIONS & DECK DETAIL

S001 FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN  
S002 SECOND FLOOR FRAMING PLAN & ROOF FRAMING PLAN



375 High Street Unit 2  
Street, Medford 02155 MA  
Tel: 617 3724291  
antinea.noguera@anzzadesign.com

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

Approved by:

No.	Description	Date
1	Addressed Comments by City	
2	Addressed Comments by City	

Description of Revision

PROPOSED TWO  
RESIDENTIAL UNITS  
DWELLINGS

32-34 DEWEY STREET  
BOSTON, MA

PROPOSED  
AXONOMETRIC AND  
LOCUS PLAN

Project number 00134

Date 02-23-2020

Drawn by Antinea Noguera

Checked by ANZZA DESIGN

A000

Scale 1 1/2" = 1'-0"







**CODE ENERGY**

BASEMENT EXTERIOR WALL 2X6 WALL BEHIND FOUNDATION WALL 3" CLOSE CELL R-VALUE 19  
 BASEMENT INTERIOR WALL 2X4 WALL 3" CLOSE CELL R-VALUE 19  
 1ST FLOOR EXTERIOR WALL 2X4 WALL 3" CLOSE CELL R-VALUE 21  
 1ST FLOOR COMMON AREA WALL 2X4 WALL 3" MINERAL WOOL  
 1ST FLOOR 2X8 CEILING 4" MINERAL WOOL TOPPED OFF WITH R-VALUE 19 FACED BATTS  
 2ND FLOOR EXTERIOR WALL 2X4 WALL 3" CLOSE CELL R-VALUE 21  
 2ND FLOOR COMMON AREA 2X4 WALLS 3" MINERAL WOOL  
 2ND FLOOR 2X12 FLAT ROOF 12" MINERAL OPEN CELL R-VALUE 48

Code Energy Insulation Stretch Energy Calculation  
 1/4" = 1'-0"

BASIC WIND SPEED TO BOSTON, MA 108 MPH  
 ENERGY CALCULATION

CLIMATE ZONES FOR MASSACHUSETTS

5A BY IECC 2015

TABLE R 402.1.3 IECC 2015 EQUIVALENT U-FACTORS

TABLE R 402.1. IECC 2015 INSULATION AND FENESTRATION BY COMPONENT

DEFAULT GLAZED FENESTRATION U-FACTOR ENERGY PERFORMANCE RATINGS U-FACTOR (U.S./I-P) 0.32 MIN. SOLAR HEAT GAIN COEFFICIENT 0.25 MIN. VISIBLE TRANSMITTANCE 0.41 MIN. AIR LEAKAGE (U.S./I-P) 0.3 MIN. ALL WINDOWS MUST BE NFRC LABEL FOR U-FACTOR

CLIMATE ZONE	FENESTRATION U-F	SKYLIGHT U-FACTOR	CEILING R-FACTOR	FRAME WALL U-FAC	MASS WALL U-FAC	FLOOR U-FAC	BASEMENT U-FACTOR	CRAWL SPACE W U-FACTOR
5 A	0.32	0.55	0.026	0.057	0.082	0.033	0.050	0.055

CLIMATE ZONE	FENESTRATION U-F	GLAZED FENESTRATION	CEILING R-V	WOOD FM WALL R-V	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-V	SLAB R-V	CRAWL SPACE WALL R-V
5 A	0.32	NR	49	20 OR 13+5	13/17	30	15/19	10.2 FT	15/19

**TABLE 502.1.2 BUILDING ENVELOPE REQUIREMENTS OPAQUE ELEMENT, MAXIMUM U-FACTORS**

Roofs	Group R
Insulation entirely above deck	U - 0.039
Attic and other	U - 0.027
Walls, Above Grade	
Wood framed and other	U - 0.051
Floor	
Wood Joist/ Framing	U - 0.033
Opaque Doors	
Swinging	U - 0.037
Roll-up or sliding	U - 0.050

**TABLE 502.2 BUILDING ENVELOPE REQUIREMENTS OPAQUE ASSEMBLIES**

Roofs	Group R	Note: IECC 2009 equivalent
Insulation entirely above deck	R - 25 ci	Zone 7
Attic and other	R - 13 + R - 19	Zone 7
Walls, Above Grade		
Wood framed and other	R - 13 + R - 7.5	Zone 6
Floor		
Wood Joist/ Framing	R - 30	Zone 4-8
Opaque Doors		
Swinging	U - 0.37	
Roll-up or sliding	R - 4.75	

**TABLE 502.3.2 Maximum U-factor and SHGC.**  
 For vertical fenestration, the max. U-factor solar heat gain coefficient (SHGC) shall be as specified in Table 502.3 which is uniformly set at 0.40. For skylights, the limit is set at 3% of roof area, but can be expanded to 5% of the roof in conjunction with automatic day lighting control.

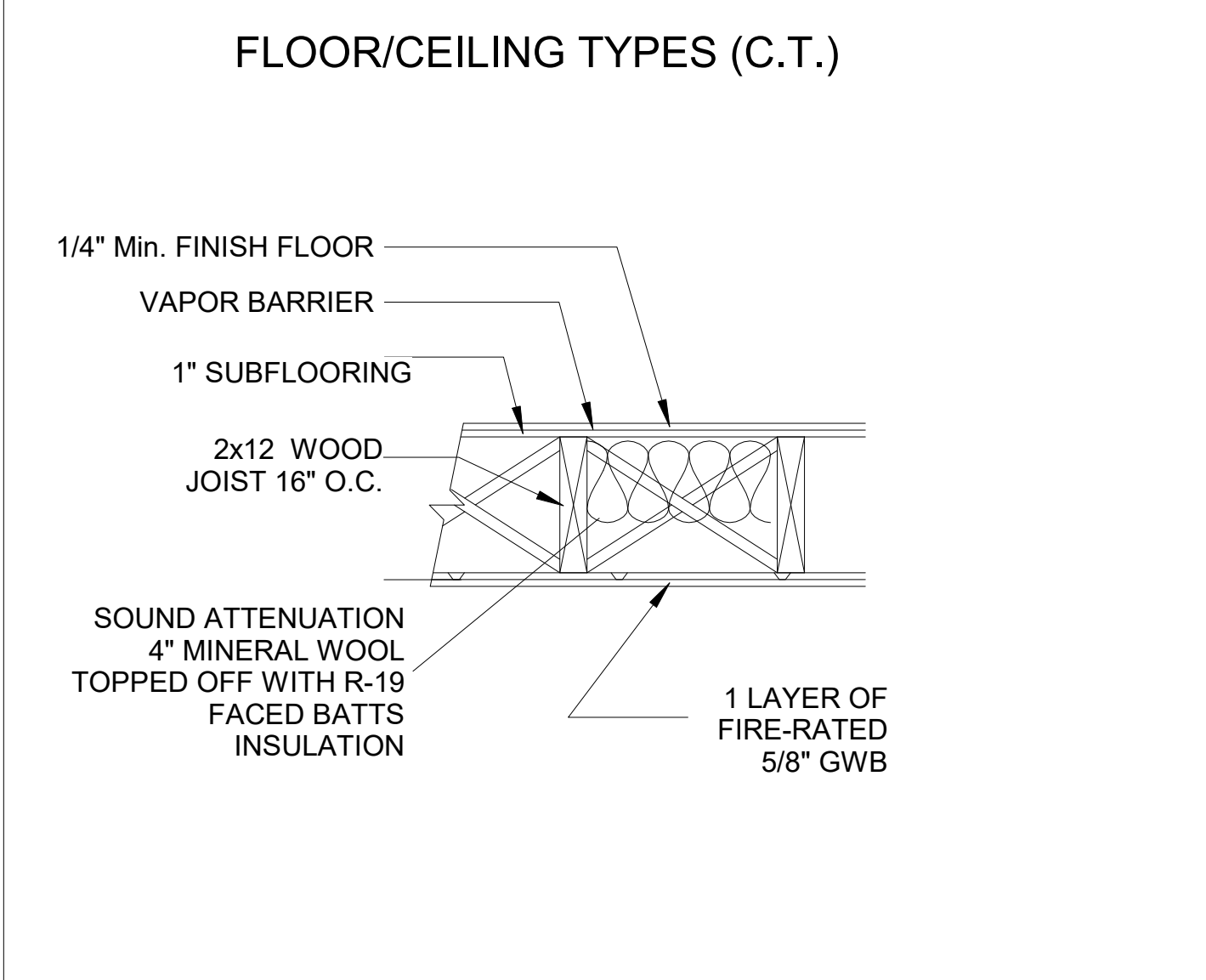
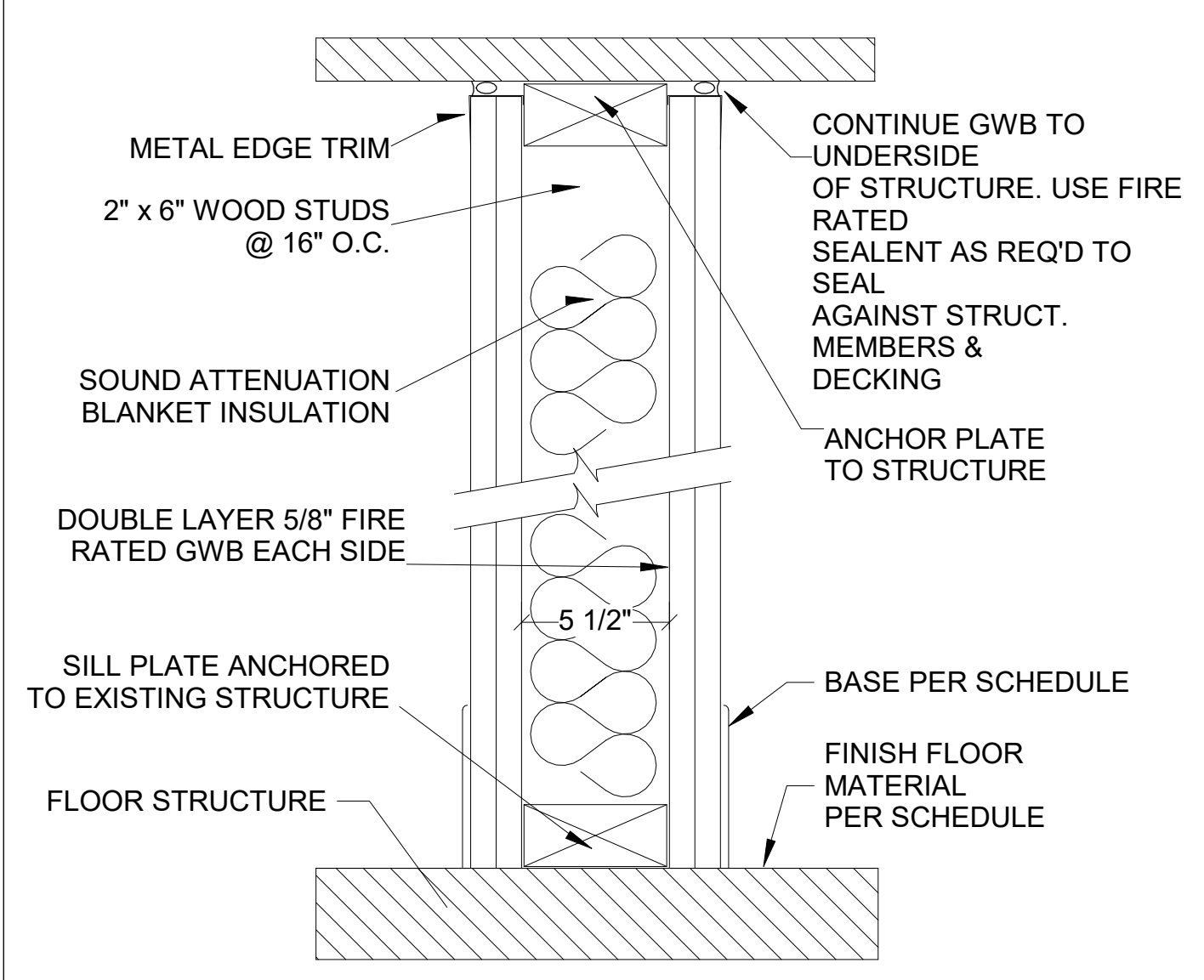
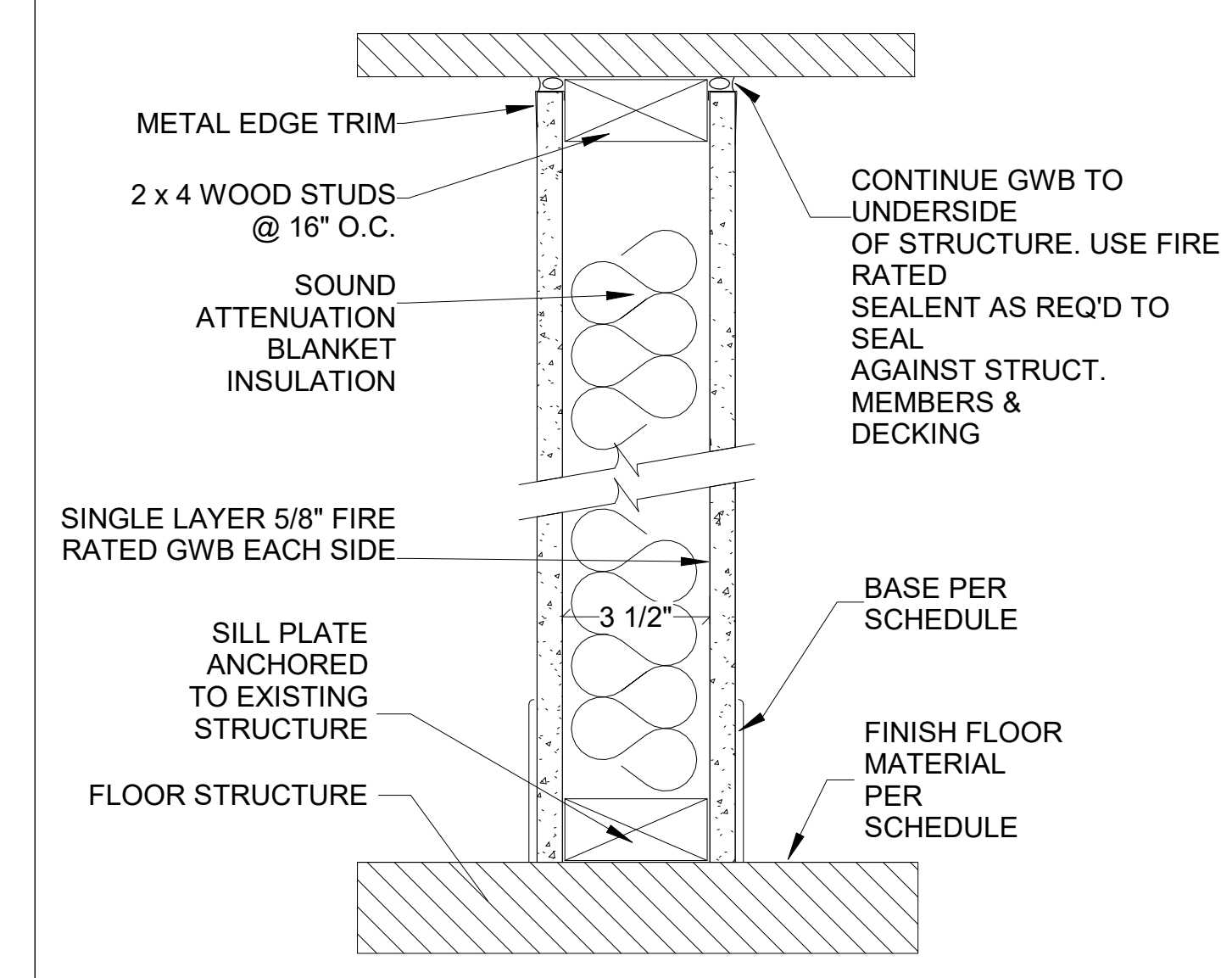
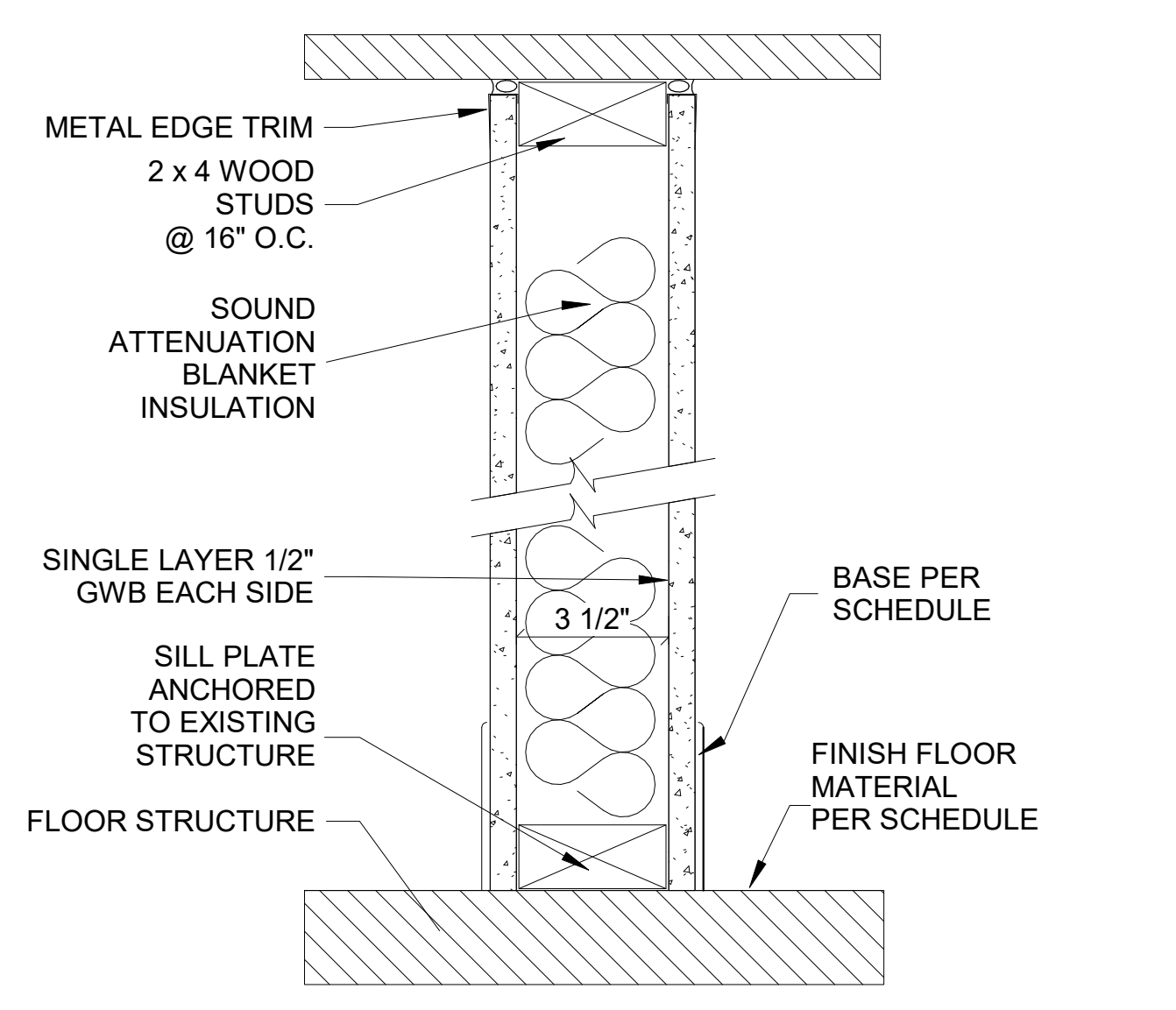
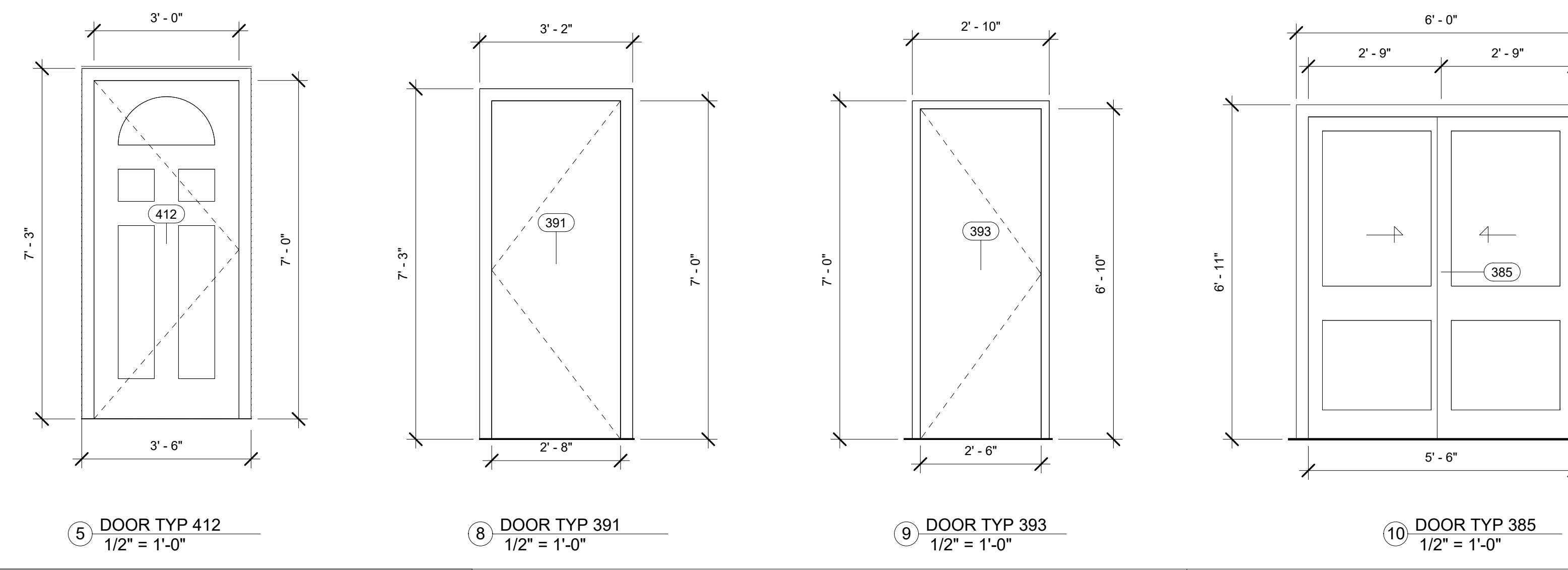
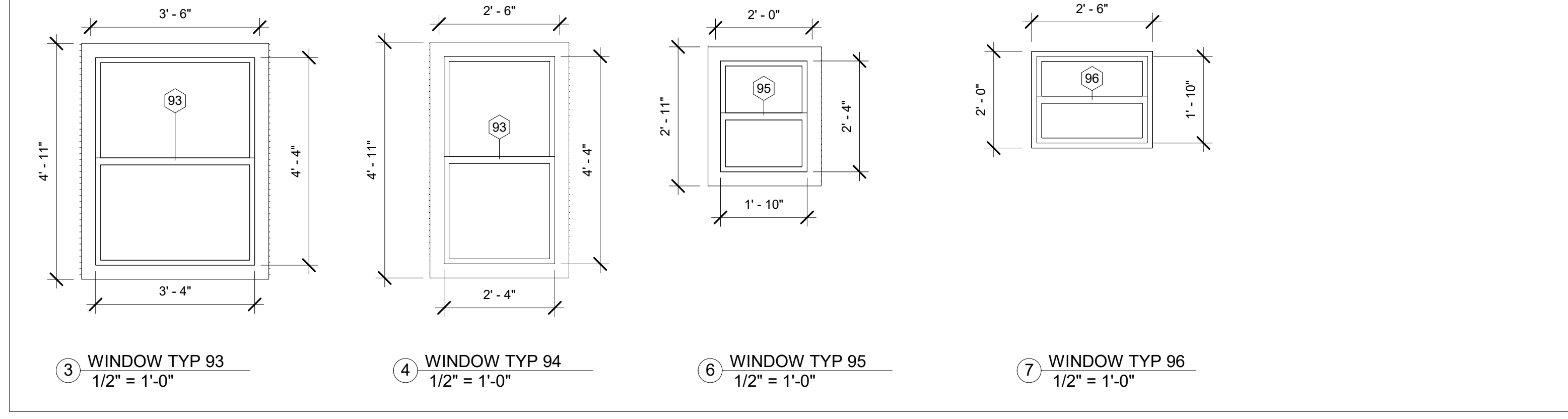
**DOOR SCHEDULE**

MARK	MODEL	DOOR SIZE	PANEL-SILL	REMARKS
391	INTERIOR SINGLE WOOD DOOR	(1) 6'-10" X 2'-6" Thick. 1 3/4"	INTERIOR MOULDED WOOD FIBER DOOR & SLIDING ALUMINUM HANGER FRAME	ANDERSEN
391	INTERIOR SINGLE WOOD DOOR	(1) 6'-8" X 2'-8" Thick. 1 3/4"	INTERIOR MOULDED WOOD FIBER DOOR & SLIDING ALUMINUM HANGER FRAME	ANDERSEN
390	BY-PASS DOOR CLOSET	(1) 6'-8" X 2'-6" Thick. 1 3/4" (1) 6'-8" X 2'-6" Thick. 1 3/4"	INTERIOR MOULDED WOOD FIBER DOOR & BY-PASS ALUMINUM HANGER FRAME	ANDERSEN
412	EXTERIOR SINGLE DOOR	(1) 6'-8" X 3'-0" Thick. 1 3/4"	EXTERIOR GALVANIZED STEEL DOOR & SLIDING STEEL ALUMINUM HANGER FRAME	THERMA-TRU

**WINDOW SCHEDULE**

MARK	MODEL	WINDOW SIZE	GLASS	REMARKS	LOCATED
93	TILT-W DOUBLE-HUNG	4'-6" X 3'-6"	TEMPERED		1ST/2ND
94	TILT-W DOUBLE-HUNG	4'-6" X 2'-6"	TEMPERED		1ST/2ND
95	TILT-W DOUBLE-HUNG	2'-6" X 2'-0"	TEMPERED		1ST/2ND BATH
96	TILT-W DOUBLE-HUNG	2'-6" X 2'-0"	TEMPERED		BASEMENT

**RESCHECK FOR ALL WINDOW BY NFRC ENERGY CALCULATION**  
 DEFAULT GLAZED FENESTRATION U-FACTOR ENERGY PERFORMANCE RATINGS  
 U-FACTOR (U.S./I-P) 0.32 MIN.  
 SOLAR HEAT GAIN COEFFICIENT 0.25 MIN.  
 VISIBLE TRANSMITTANCE 0.41 MIN.  
 AIR LEAKAGE (U.S./I-P) 0.3 MIN.  
 ALL WINDOWS MUST BE NFRC LABEL FOR U-FACTOR



**1 Hour Fire-Rated Construction Detail**  
 Description  
 - 5/8" Sheetrock Fire C Code Gypsum panels, ceiling.  
 - 1 1/4" Nominal wood sub and finished floor.  
 - 4" Mineral wool R-19  
 - 2x8 Ex'g wood joist 16" O.C.  
 - RC-1 channel or equivalent.  
 - Joints finished.  
 Test Number  
 UL Des L516  
 Acoustical Performance  
 STC 50 to 54 Sound IIC 66 CK-6412-9  
 Based on 5/8" Sheetrock Firecode Core Gypsum Panels  
**Notes by:**  
 IECC R402.4.4 Recessed Lighting  
 Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

0 TYPICAL PARTITION - WOOD STUD  
 SCALE: 3"=1'-0"

1 1 HOUR PARTITION - WOOD STUD DESIGN  
 SCALE: 3"=1'-0"

2 2 HOUR PARTITION - WOOD STUD: UL DESIGN  
 SCALE: 3"=1'-0"

1 1 HOUR CLG TYPE UL Des L516  
 SCALE: 1"=1'-0"

WALL TYPES (W.T.)

375 High Street Unit 2  
 Street, Medford 02155 MA  
 Tel: 617 3724291  
 antinea.noguera@anzzadesign.com

Consultant  
 Address  
 Address  
 Phone  
 Fax  
 e-mail

Approved by:

No.	Description	Date
1	Addressed Comments by City	
2	Addressed Comments by City	

**PROPOSED TWO RESIDENTIAL UNITS DWELLINGS**  
 32-34 DEWEY STREET BOSTON, MA

**WALL TYP / WINDOW & DOOR SCHEDULE**

Project number	00134
Date	02-23-2020
Drawn by	A.N.
Checked by	ANZZA DESIGN
<b>A002</b>	
Scale	As indicated

**WINDOWS LIGHT\_VENTILATION NOTE:**

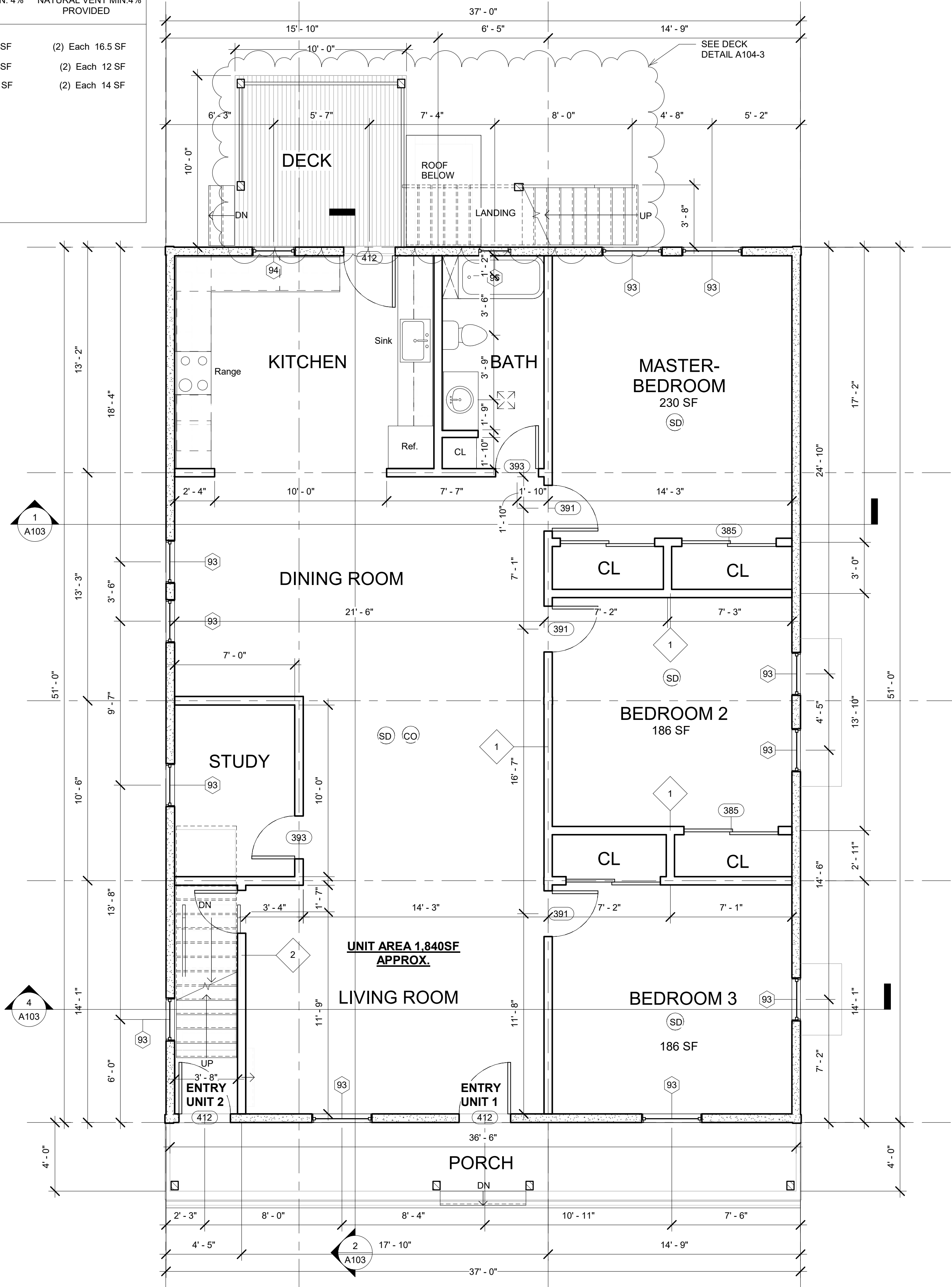
MARK	AREA	NATURAL LIGHT 8%	NATURAL LIGHT 8% PROVIDED	NATURAL VENT MIN. 4%	NATURAL VENT MIN. 4% PROVIDED
MASTER-BEDROOM	230 SF	230 / 8% = 18.5 SF MIN.	(2) Windows 33 SF	230 / 4% = 9.5 SF	(2) Each 16.5 SF
BEDROOM 2	186 SF	186 / 8% = 15 SF MIN.	(2) Windows 24 SF	186 / 4% = 7.0 SF	(2) Each 12 SF
BEDROOM 3	186 SF	186 / 8% = 15 SF MIN.	(2) Windows 28.6 SF	186 / 4% = 7.0 SF	(2) Each 14 SF

R 303.1 HABITABLE SPACE  
 CALCULATION FOR NEW BEDROOMS NATURAL LIGHT AND VENTILATION  
 BY BUILDING CODE SECTION R303.1 HABITABLE ROOMS, SHALL HAVE AN AGGREGATE GLAZING AREA OF NO LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOM. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOOR, LOUVERS OR OTHER APPROVAL OPENING TO THE OUTDOOR AIR, AND 4% NATURAL VENTILATION.

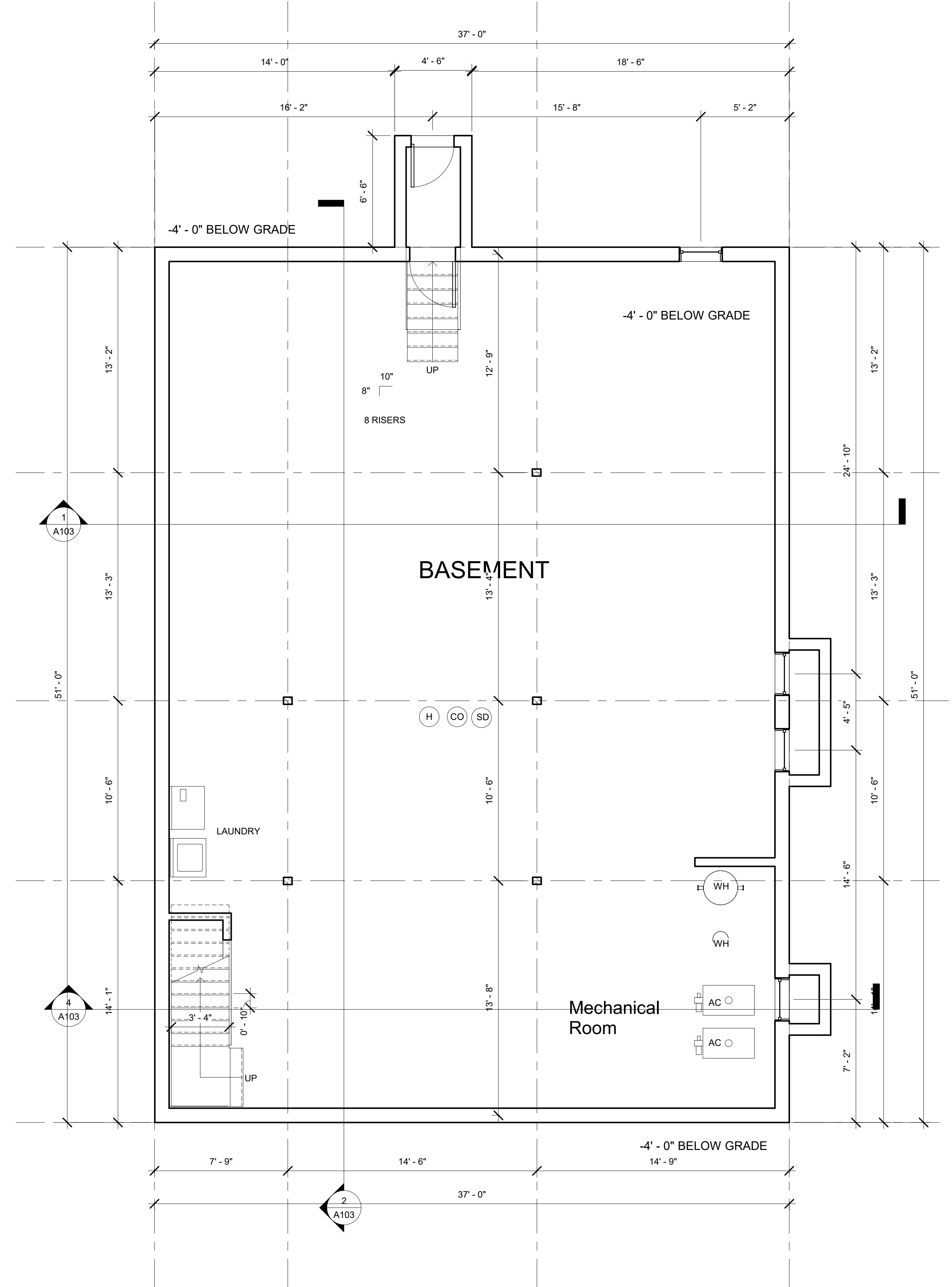
**GENERAL FLOOR PLAN NOTES:**

- ALL SMOKE DETECTORS TO BE INTERCONNECTED AND HARD WIRING. SEE FLOOR PLANS FOR LOCATIONS.
- FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
- UNLESS OTHERWISE NOTED ALL NEW EXTERIOR WALLS ARE TYPE "W13". COORDINATE W/ ELEVATIONS FOR EXTERIOR FINISH TYPE.
- CENTER CLOSET DOORS WHERE POSSIBLE. OTHERWISE PROVIDE MIN. 4" FROM HINGE SIDE. COORDINATE W/ SELECTED DOOR TRIM.
- ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
- UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "P5".
- SEE A-108 FOR PARTITION TYPES.
- MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS.
- SEE A-901 FOR DOOR & WINDOW DETAILS.
- ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB.
- ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF EXTERIOR FACE OF FINISH, TYP., U.N.O.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES.
- CONTRACTOR TO COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
- CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR CABINETS & FOR FUTURE INSTALLATION OF GRAB BARS.
- CONTRACTOR TO COORDINATE ALL INTERIOR ACCESSORIES WITH OWNER AND TO SUPPLY ADEQUATE BLOCKING.
- CONTRACTOR TO REVIEW ARCHITECTURAL RCP PLANS W/ ELECTRICAL DRAWINGS FOR SMOKE/CARBON MONOXIDE ALARMS & ALL LIGHTING FIXTURES.
- PROVIDE WALK OFF ENTRY MATT INSIDE FRONT ENTRIES.
- DW SHOULD BE POSITIONED TO THE RIGHT OF THE SINK, TYPICAL.
- PROVIDE FIRE PROOFING SEALANT AS REQUIRED FOR ALL PENETRATIONS THRU RATED PARTITIONS, WHERE DETAILS ARE NOT SHOWN. SEE FIRE SEPARATION PLANS.
- FURR OUT ROOF DRAIN PIPES WITH METAL FRAMING & GYPSUM BOARD ALL LOCATIONS U.N.O. REFER TO PLUMBING DRAWINGS FOR EXACT LOCATIONS.
- CONTRACTOR TO ENSURE ADJACENT PROPERTY SHALL NOT BE DAMAGED AND NEGATIVELY EFFECTED WITH NEW CONSTRUCTION.

○ GENERAL FLOOR PLAN NOTES  
 1" = 1'-0"



② FIRST FLOOR PLAN  
 1/4" = 1'-0"



① BASEMENT FLOOR PLAN  
 1/4" = 1'-0"



375 High Street Unit 2  
 Street, Medford 02155 MA  
 Tel: 617 3724291  
 antinea.noguera@anzzadesign.com

Consultant  
 Address  
 Phone  
 Fax  
 e-mail

Approved by:

No.	Description	Date
1	Revision/Addressed Comments by City	Date 1
2	Addressed Comments by City	

Description of Revision

PROPOSED TWO  
 RESIDENTIAL UNITS  
 DWELLINGS  
 32-34 DEWEY STREET  
 BOSTON, MA

BASEMENT & FIRST  
 FLOOR PLAN

Project number	00134
Date	02-23-2020
Drawn by	Antinea Noguera
Checked by	ANZZA DESIGN
<b>A100</b>	
Scale	As indicated



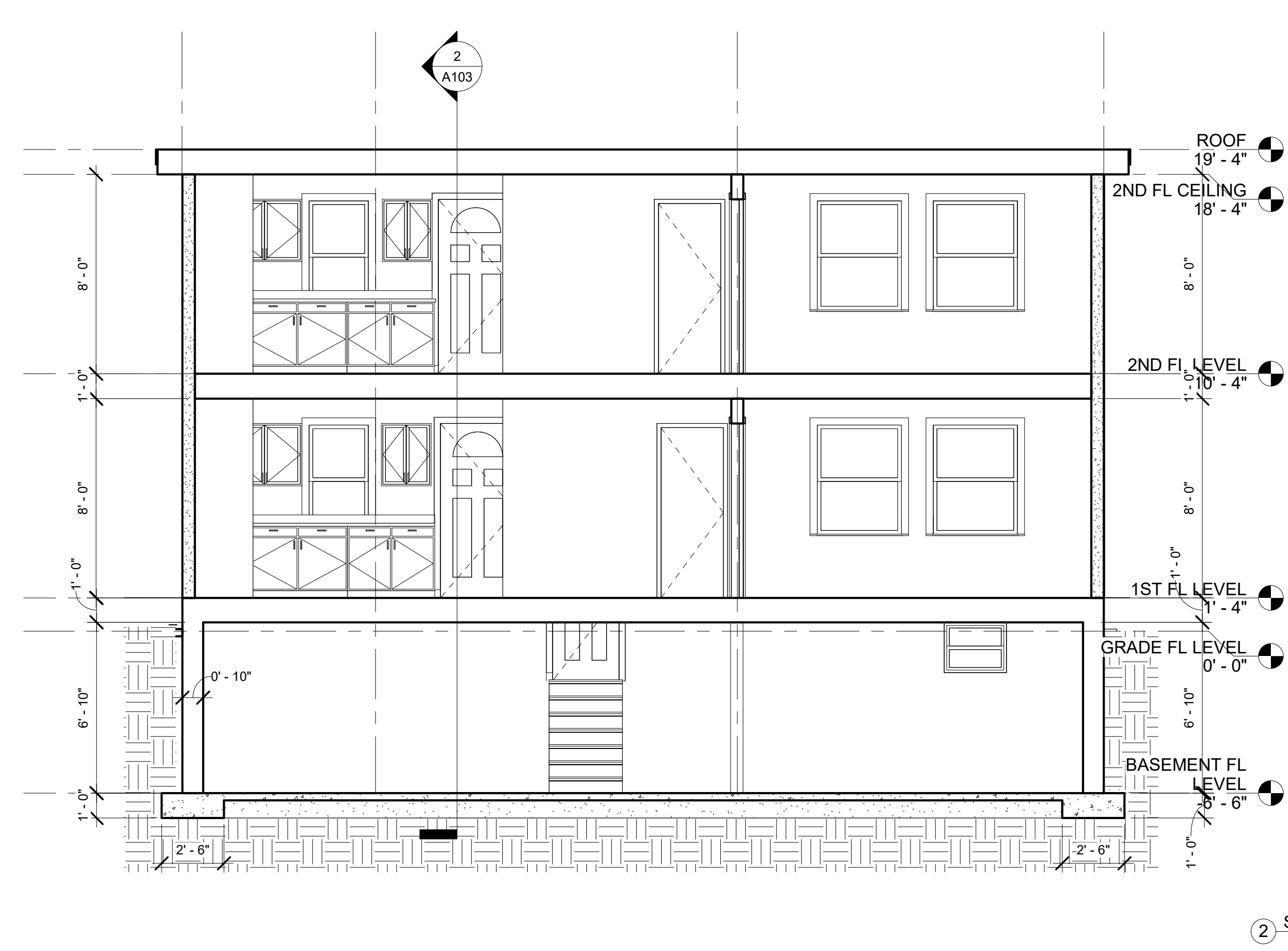




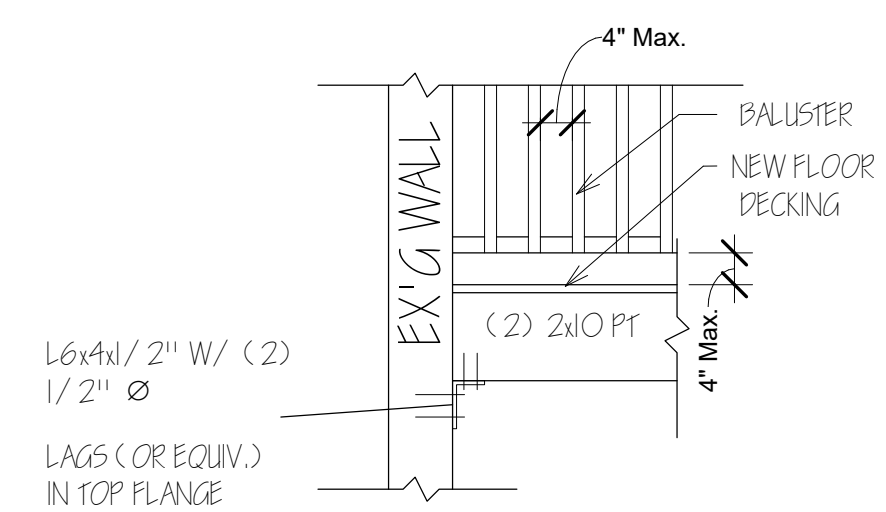




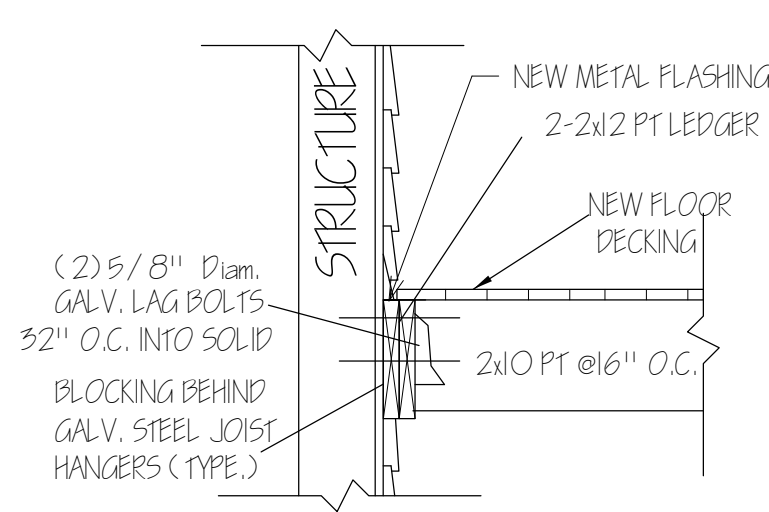
Section 1  
1/4" = 1'-0"



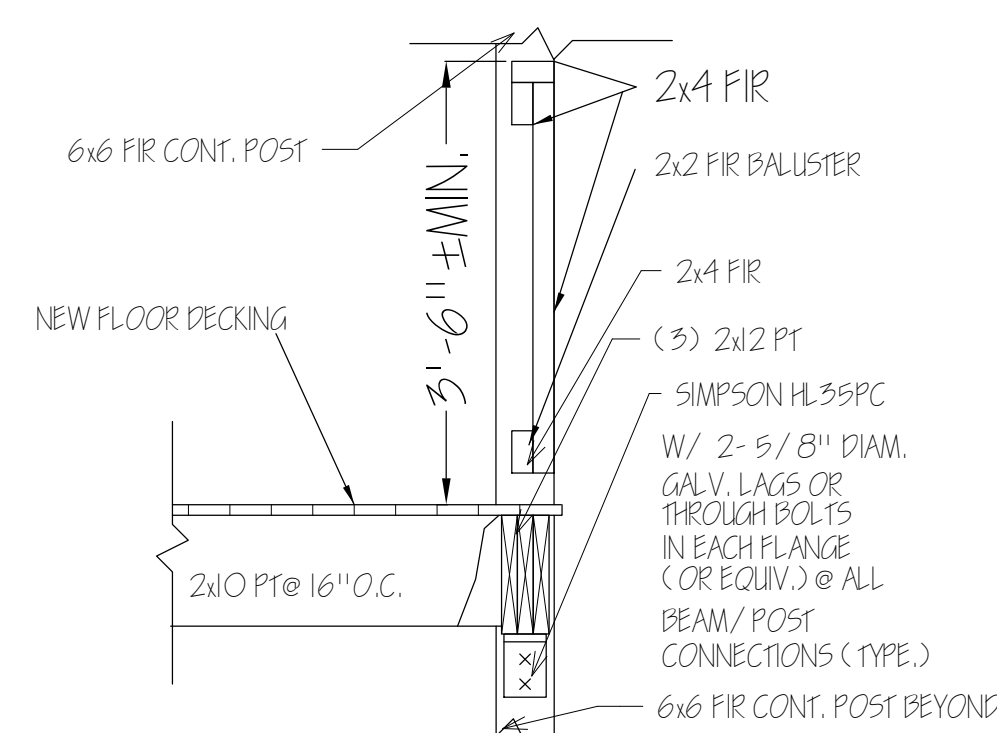
Section 2  
1/4" = 1'-0"



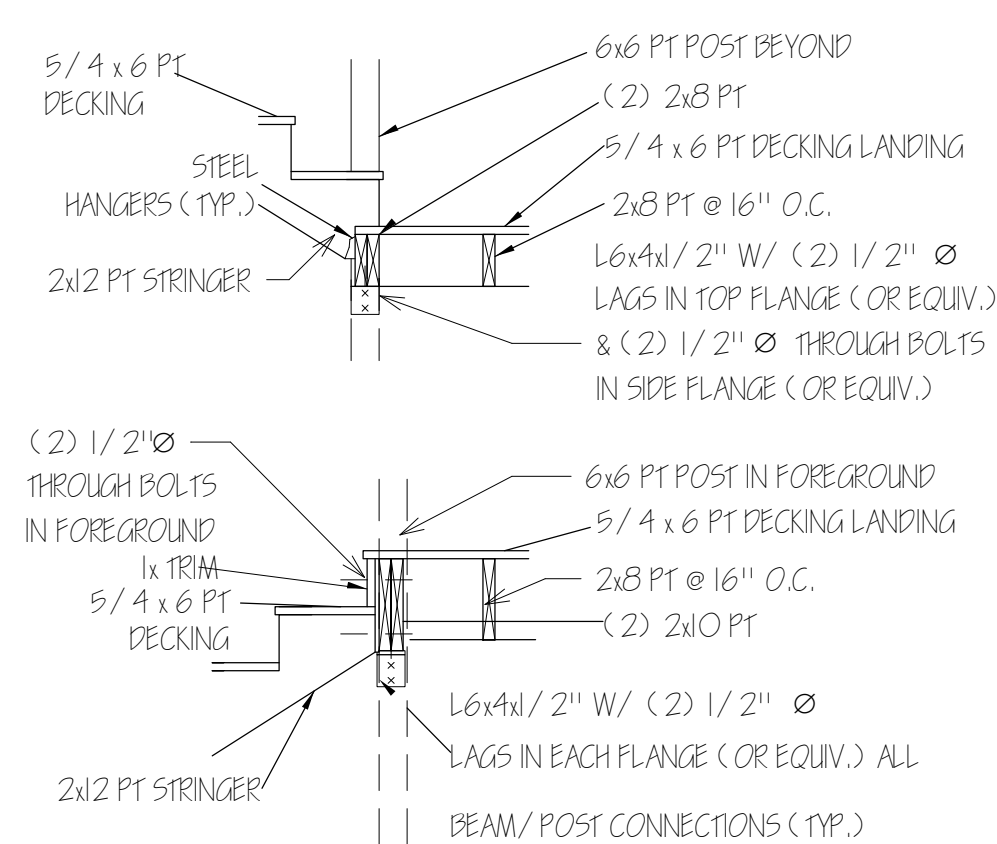
5- DETAIL JOINT OUT SIDE DECK TO HOUSE



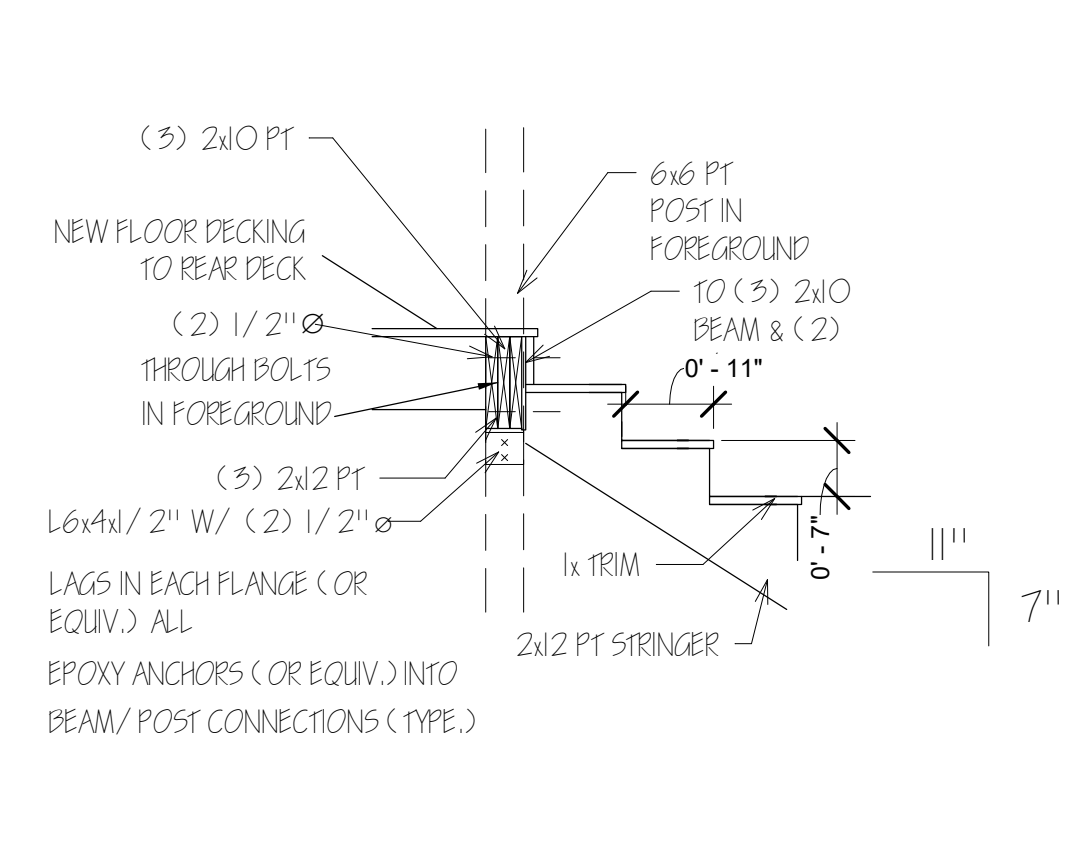
4- DETAIL JOINT SECTION DECK TO HOUSE



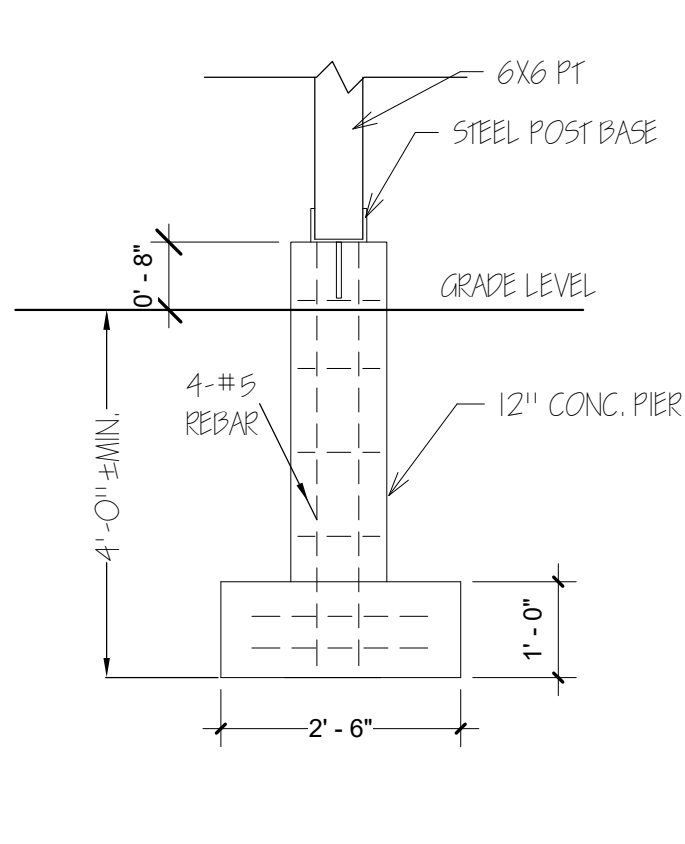
3- FRONT SIDE DECK DETAIL



6- STAIR JOINT LANDING DETAIL

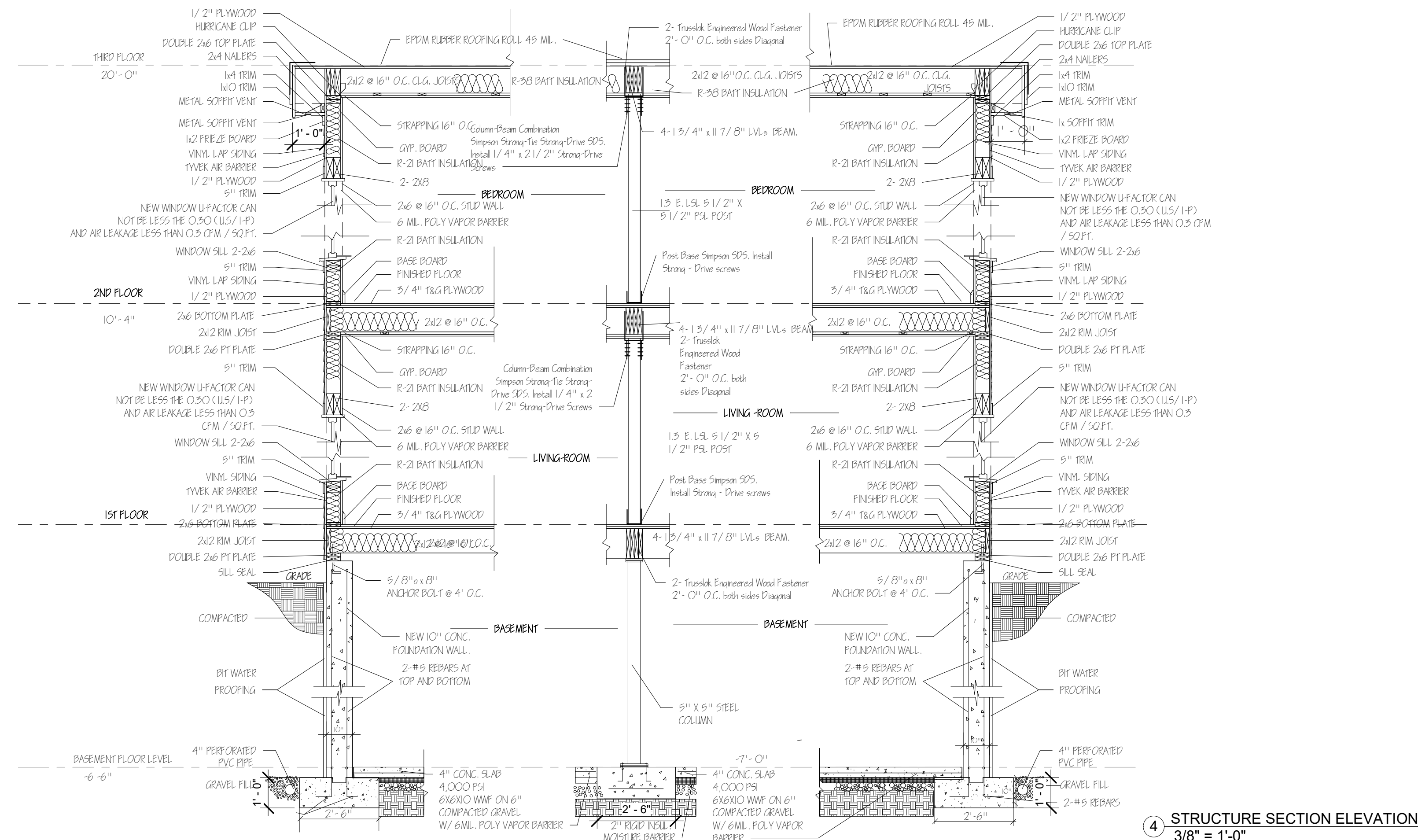


2- STAIR SECTION DETAIL



1- POST FOOTING DETAIL

3- DECK AND STAIR FRAMING DETAIL  
1/2" = 1'-0"



4- STRUCTURE SECTION ELEVATION  
3/8" = 1'-0"



375 High Street Unit 2  
Street, Medford 02155 MA  
Tel: 617 3724291  
antinea.noguera@anzzadesign.com

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

Approved by:

No.	Description	Date
1	Addressed Comments by City	
2	Addressed Comments by City	
Description of Revision		

PROPOSED TWO  
RESIDENTIAL UNITS  
DWELLINGS  
32-34 DEWEY STREET  
BOSTON, MA

SECTION  
ELEVATION & DECK  
DETAIL

Project number	00134
Date	02-23-2020
Drawn by	Antinea Noguera
Checked by	ANZZA
<b>A103</b>	
Scale	As indicated