

Location:

5 CARLISLE STREET
BOSTON, MA 02121

Prepared by:

CM KIRBY ENGINEERING, PLLC
CHRISTOPHER M. KIRBY, PE
P.O. BOX 291
NORWOOD, MA 02062
(617) 872-5553

CODE INFORMATION:

BUILDING CODE: MA STATE BUILDING CODE, 9th EDITION
2015 IBC w/ MA AMENDMENTS
USE GROUP: R2 - THREE FAMILY STRUCTURE
CONSTRUCTION TYPE: V-A (PROTECTED WOOD FRAME)
THE BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.

FLOOR LOADS:

DESIGN LIVE LOADS AS PER TABLE (R)301.5:
COMMON AREAS (OTHER THAN SLEEPING): 40 PSF
SLEEPING AREAS : 30 PSF
RESIDENTIAL ATTICS w/ FIXED STAIRS: 30 PSF
RESIDENTIAL ATTICS(STORAGE): 20 PSF
RESIDENTIAL ATTICS(NO STORAGE): 10 PSF
DECKS: 40 PSF

SNOW LOADING:

GROUND SNOW LOAD PER TABLE (R)301.2(4):
GROUND SNOW LOAD, Pg = 40 PSF

WIND LOADING:

WIND LOAD PER TABLE (R)301.2(4):
BASIC WIND SPEED (ULTIMATE), $V_{ult} = 129$ MPH
BASIC WIND SPEED (ALLOWABLE), $V_{asd} = 100$ MPH
(WIND SPEED CONVERSION PER TABLE (R)301.2.1.3)

NOTES:

- NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, 9th EDITION.
- DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED OR DUPLICATED IN ANY MANNER.
- CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND GENERAL PUBLIC FROM INJURY & ADJACENT PROPERTY FROM DAMAGE.
- THE DRAWINGS ARE PREPARED FOR THE PURPOSE OF PERMIT APPLICATION ONLY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IN CASE OF ANY OR ALL DEVIATIONS FOR THESE DRAWINGS. THE ENGINEER SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS-BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ENGINEERS CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.

Project:

- CONVERTING AN EXISTING 1 FAMILY INTO A 3 FAMILY. (ALLOWED BY RIGHT)

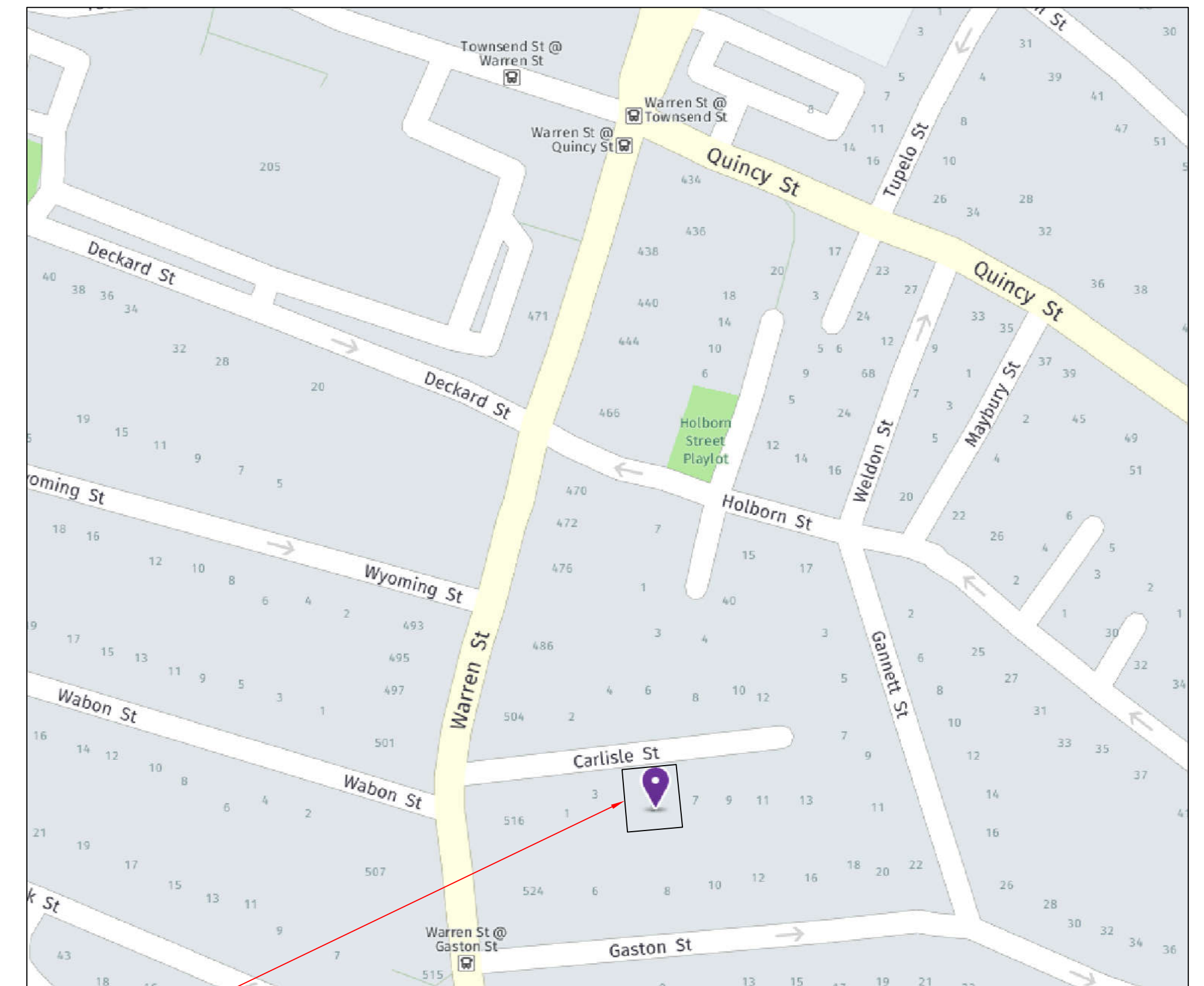
ZONE 3F-4000.
ASSESSORS PARCEL ID = 1202789000
LOT AREA REQ'D = 6.000 SF
LOT AREA PROVIDED = 6,000 SF...OK

F/A/R MAX = 0.8
LIVING AREA PROPOSED = 3,187 SF
F/A/R PROVIDED = 3,187 / 6,000 = 0.53...OK

OFF STREET PARKING REQ'D:
1 SPACE / UNIT = 3 SPACES REQ'D
OFF-STREET PARKING PROVIDED = 3 SPACES...OK

- MAJOR RENOVATION OF ENTIRE STRUCTURE

NEW PLUMBING, ELECTRICAL, MECHANICAL,
KITCHENS, INSULATION, DRYWALL, & FINISHES



PROJECT

LOCUS



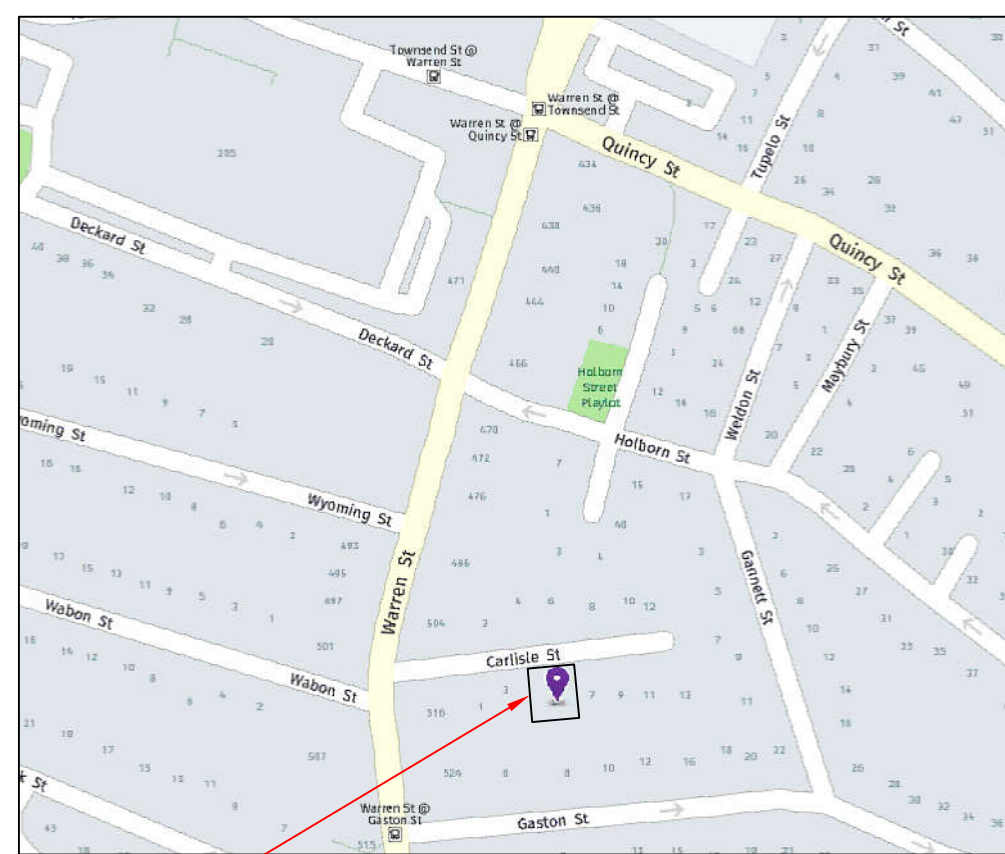
FRONT ELEVATION

DRAWING LIST

- COVER PAGE
- SITE PLAN
- GENERAL NOTES
- ELEVATIONS
- FLOOR PLANS - EXISTING
- FLOOR PLANS - PROPOSED
- STRUCTURAL PLANS
- ROOF FRAMING PLAN, CROSS SECTION & DETAILS

(22x34 PAPER - ANSI D)

					ENGINEER:	PROJECT LOCATION:	DRAWING TITLE:	DRAWING NO.
					CM KIRBY ENGINEERING, PLLC P.O. BOX 291 NORWOOD, MA 02062 (617) 872-5553 PE LICENSE No. 41662, EXP 6/30/2020	5 CARLISLE STREET BOSTON, MA 02021	COVER PAGE	I REVISION NO. 0
REV. NO.	DATE	CHKD	REMARKS					
0	3/15/2019	CMK	FOR SUBMISSION					



LOCUS
NOT TO SCALE

PLAN NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY BOSTON SURVEY, INC, UNIT 4C-SHIPWAY PLACE, CHARLESTON, MA, IN NOVEMBER OF 2018.

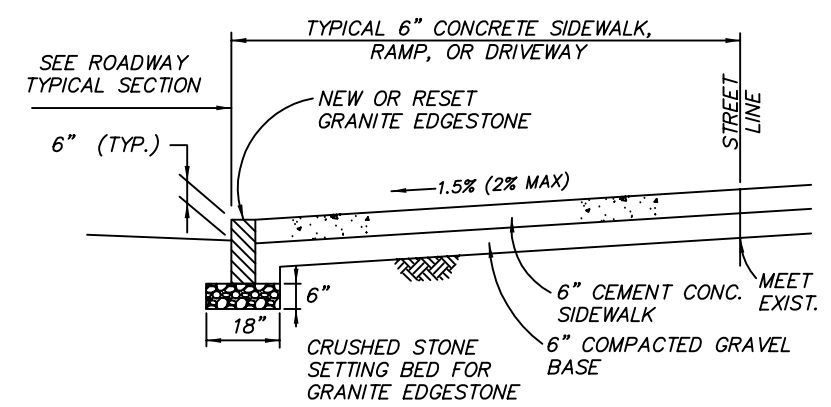
SEE CITY OF BOSTON ASSESSORS PARCEL #1202789000 FOR SITE. SITE IS KNOWN AS #5 CARLISLE STREET IN DEED BOOK.

SEWAGE FLOW DISCHARGE CAPACITIES:

THE HOUSE IS A THREE FAMILY HOUSE w/ 7 BEDROOMS

ESTIMATED SEWAGE FLOW IS 770 GALLONS / DAY (110/BEDROOM)

THERE ARE NO FIXTURES IN THE BASEMENT



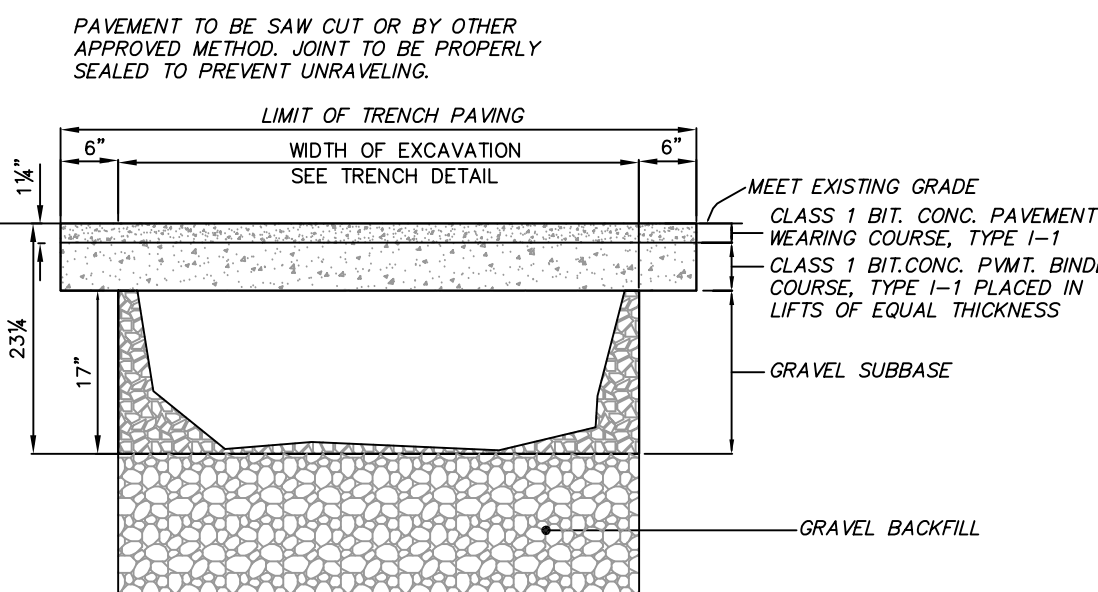
PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION - DETAIL NO. 51
CONCRETE SIDEWALK AND DRIVEWAYS
NOT TO SCALE

STORMWATER INFILTRATION NOTES

THE EXISTING LOT IS GRASS COVERED AND HAS NO EXISTING IMPERVIOUS AREA. THE IMPERVIOUS AREA FOR THE PROPOSED IMPROVEMENTS TO THE SITE, DRIVEWAY, WALKS, AND DWELLING IS 3,291 SQUARE FEET. THE COMMISSION REQUIRES THAT THE PROPERTY HAS AN INFILTRATION SYSTEM CAPABLE OF STORING AT LEAST 1-INCH OF STORMWATER PER SQUARE FOOT OF POST-CONSTRUCTION IMPERVIOUS AREA ON THE SITE. THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A COMBINED MINIMUM STORAGE CAPACITY OF 275 CUBIC FEET (2,057 GAL) (3,291 SF x 1/12 FT = 274.25 CF) TO COMPLY WITH BWSC REQUIREMENTS.

THERE WILL BE (1) INFILTRATION SYSTEMS ON SITE. THE SYSTEM WILL HAVE (7) CULTEC RECHARGER 180HD CHAMBERS. THE SYSTEMS WILL COLLECT STORMWATER FROM THE DRIVEWAY AND ROOF OF THE PROPOSED STRUCTURE.

THE SYSTEM HAS A STORMWATER STORAGE CAPACITY OF 305.2 CF (275 CF REQUIRED) OR 2,283 GALLONS (2,057 GALLONS REQUIRED). THE SYSTEMS WILL PROVIDE 1.11 INCHES OF STORAGE PER SF OF PROPOSED IMPERVIOUS AREA. SEE DETAILS OF THE PROPOSED INFILTRATION SYSTEM.



PERMANENT TRENCH REPAIR
NOT TO SCALE (BWSC DETAIL)

GENERAL NOTES

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

THE EXISTING WATER, SEWER, GAS AND ELECTRIC SERVICE CONNECTIONS WILL BE UTILIZED TO SERVICE THE PROJECT.

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

IT IS RECOMMENDED THAT DIGGING WITHIN ONE FOOT OF THE MAIN BE DONE WITH HAND TOOLS ONLY.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED AS-BUILT PLANS.

THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES TO PREVENT IMPACT ON WATER BODIES, BORDERING VEGETATED WETLANDS, CITY DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.

ALL NEW CONSTRUCTION WILL REQUIRE A ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

THERE ARE NO PLUMBING FIXTURES IN THE BASEMENT.

IT IS REQUIRED THAT A DYE TEST WILL BE PERFORMED BY THE BOSTON WATER AND SEWER COMMISSION INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.

THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES TO PROTECT WORKERS, THE PUBLIC AND ALL PROPERTIES DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF LABOR AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

PWD USE ONLY

CITY OF BOSTON PUBLIC WORKS DEPARTMENT
APPROVAL OF SITE UTILITY/GRADING PLAN

APPROVING THE RELATIONSHIP GRADEWISE OF THE PROPOSED BUILDING TO THE ABUTTING PUBLIC WAY(S) AND DOES NOT CONSIDER THE APPROVAL OF NEW/MODIFIED CURB CUTS.

APPARENT BUILDING PROJECTIONS OVER THE PUBLIC WAY? YES NO

ANY BUILDING PROJECTIONS OVER THE PUBLIC WAY, NOTED OR OTHERWISE, REQUIRE ADDITIONAL PERMITTING.

TODD M. LIMING, P.E., DATE
PRINCIPAL CIVIL ENGINEER

CONDITIONS OF THE CURB CUT PERMIT

THE PERMITEE AGREE TO SAVE AND HOLD HARMLESS THE CITY OF BOSTON FROM ALL LIABILITY ARISING FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT.

THIS PERMIT IS NON-TRANSFERABLE.

THIS PERMIT IS CONDITIONAL AND ONLY BECOMES VALID UPON THE ISSUANCE OF A USE OF PREMISE PERMIT BY THE CITY OF BOSTON INSPECTORIAL SERVICES ("ISD") FOR THE SAME PLAN SUBMITTED WITH THIS PERMIT. THIS PERMIT IS NOT VALID IF THE PLANS ASSOCIATED WITH THE USE OF PREMISES PERMIT HAS BEEN ALTERED IN ANY WAY FROM THE PLAN SUBMITTED WITH THIS PERMIT.

UNLESS OTHERWISE NOTED, THIS PERMIT AUTOMATICALLY EXPIRES 18 MONTHS FROM THE DATE OF THE ISSUANCE UNLESS EXTENDED IN WRITING BY THE CHIEF ENGINEER OF THE PUBLIC WORKS DEPARTMENT. AN EXTENSION MAY BE GRANTED AFTER A REQUEST IS MADE IN WRITING AND THE APPROPRIATE FEES ARE PAID PRIOR TO THE EXPIRATION DATE OF THE PERMIT.

THE PROPOSED SIDEWALK SHALL CONFORM TO THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (CMR521).

ALL WORK DONE UNDER THIS PERMIT SHALL COMPLY WITH WRITTEN REQUIREMENTS OF DIRECTIONS WHICH MAY BE ISSUED BY THE COMMISSIONER OF PUBLIC WORKS RELATING TO THE PARTICULAR PROJECT. IF ANY OF THE CONDITIONS OF THIS PERMIT ARE VIOLATED, THIS PERMIT MAY BE REVOKED BY THE COMMISSIONER OF PUBLIC WORKS.

THE WORK, MATERIALS, PLANS AND SPECIFICATIONS SHALL BE AVAILABLE AT ALL TIMES FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF THE CITY OF BOSTON.

PRIOR TO THE ISSUANCE OF ANY PERMIT FOR THE CONSTRUCTION OF A DRIVEWAY, A PERMIT FROM THE CITY OF BOSTON PARKS & RECREATION IS REQUIRED FOR THE REMOVAL, AND/OR PLANTING OF ANY TREES ON OR ALONG A PUBLIC WAY. THE OPENING FOR THE DRIVEWAY MUST BE AT LEAST FIVE FEET AWAY FROM ANY TREE, POLE, STREET LIGHT, OR OTHER EXISTING APPURTENANCES. CONTACT (617) 635-4500 TO BE DIRECTED TO THE PARKS DEPARTMENT.

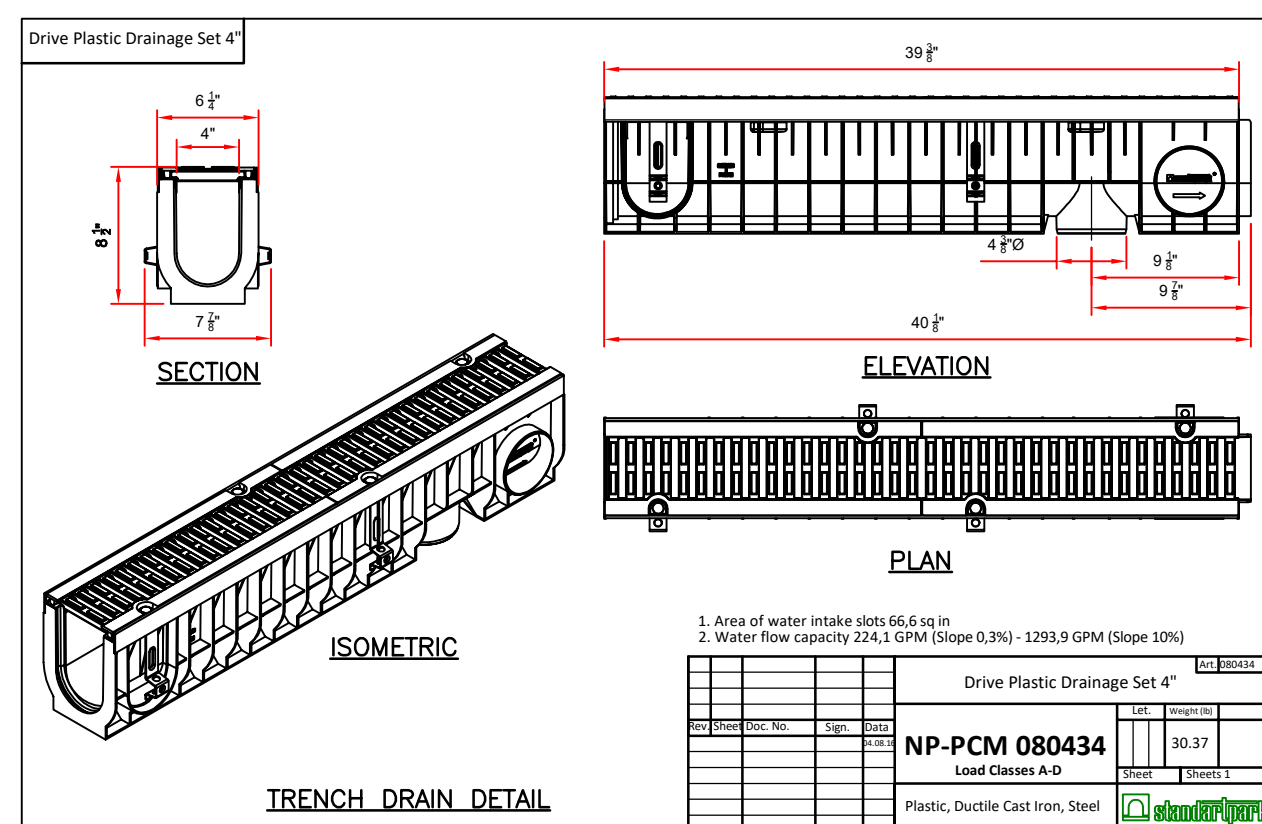
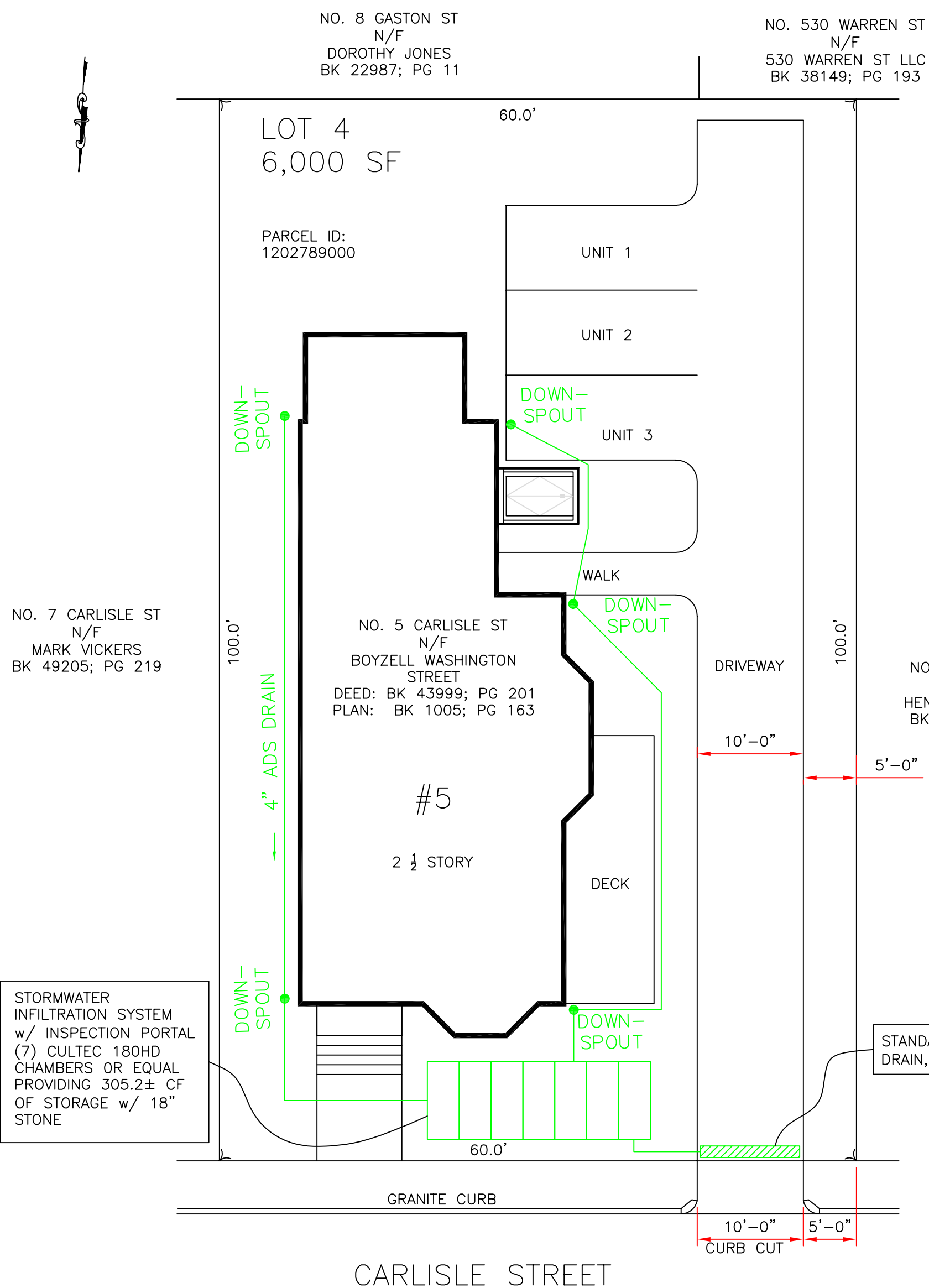
THE RELOCATION AND/OR ADJUSTMENT OF ANY PUBLIC OR PRIVATE UTILITY SHALL BE THE RESPONSIBILITY OF THE PERMITEE PRIOR TO ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

COORDINATE THE RELOCATION OF ANY TRAFFIC CONTROL SIGNS, PARKING METERS OR SIGNALIZATION DEVICE WITH THE TRANSPORTATION DEPARTMENT. CONTACT (617) 635-4500 FOR THE TRANSPORTATION DEPARTMENT.

CONSTRUCTION MATERIALS AND EQUIPMENT MUST NOT BE STORED OR PARKED ON THE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED AS A CONDITION OF THIS PERMIT.

PRIOR TO THE RELEASE OF THIS PERMIT, COMPLETE REPAIR (RESTORATION OF RIGHT OF WAY) SHALL BE MADE OF ANY AND ALL DAMAGES DONE TO THE EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY CAUSED BY CONSTRUCTION OPERATIONS ON THIS SITE. ALL DISTURBED AREAS SHALL BE FINE GRADED AND SODDED. PROPER PRECAUTIONS MUST BE TAKEN TO KEEP EXISTING ROADWAYS FREE OF MUD, DEBRIS, AND OTHER OBSTRUCTIONS.

THE PROPOSED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF THIS PERMIT, SUBJECT TO THE PROVISIONS OF THE MASSACHUSETTS GENERAL LAWS, THE ORDINANCES OF THE CITY OF BOSTON, AND ALL APPLICABLE REGULATIONS, STANDARDS, SPECIFICATIONS, AND INSPECTION AND CONTROL OF THE COMMISSIONERS OF THE DEPARTMENT OF PUBLIC WORKS, INSPECTORIAL SERVICES DEPARTMENT, AND TRANSPORTATION DEPARTMENT.

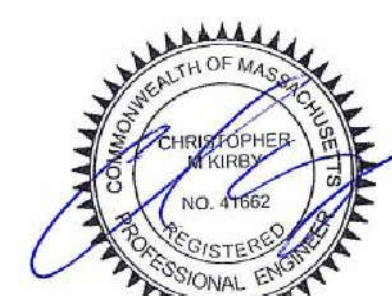
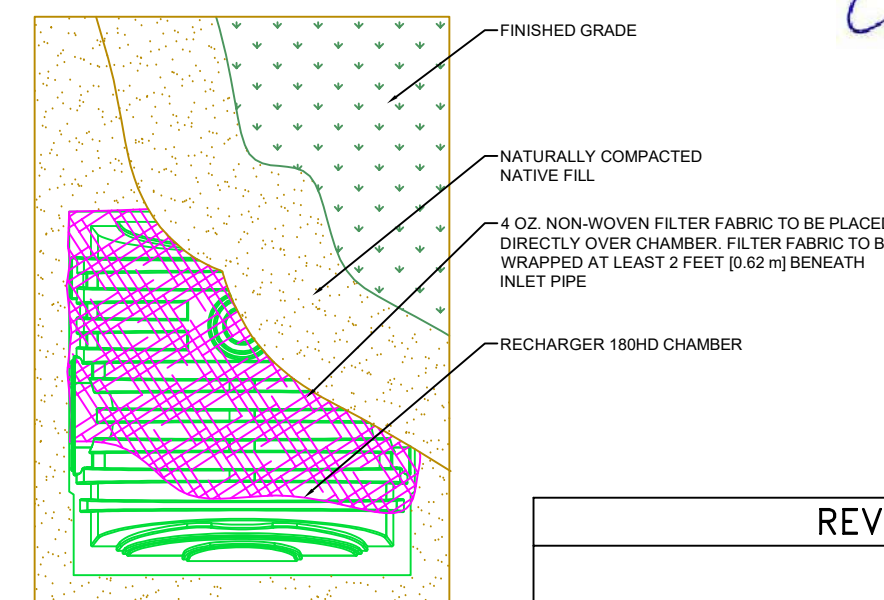
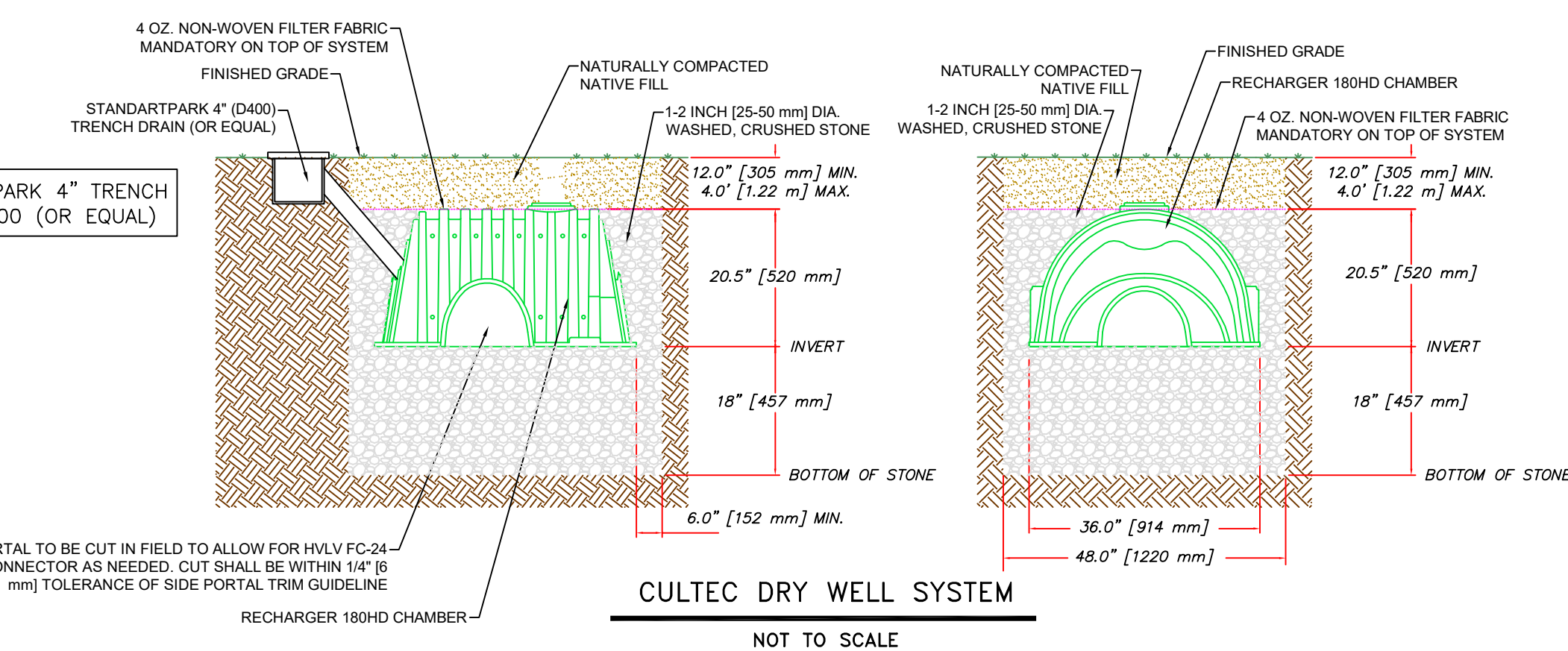
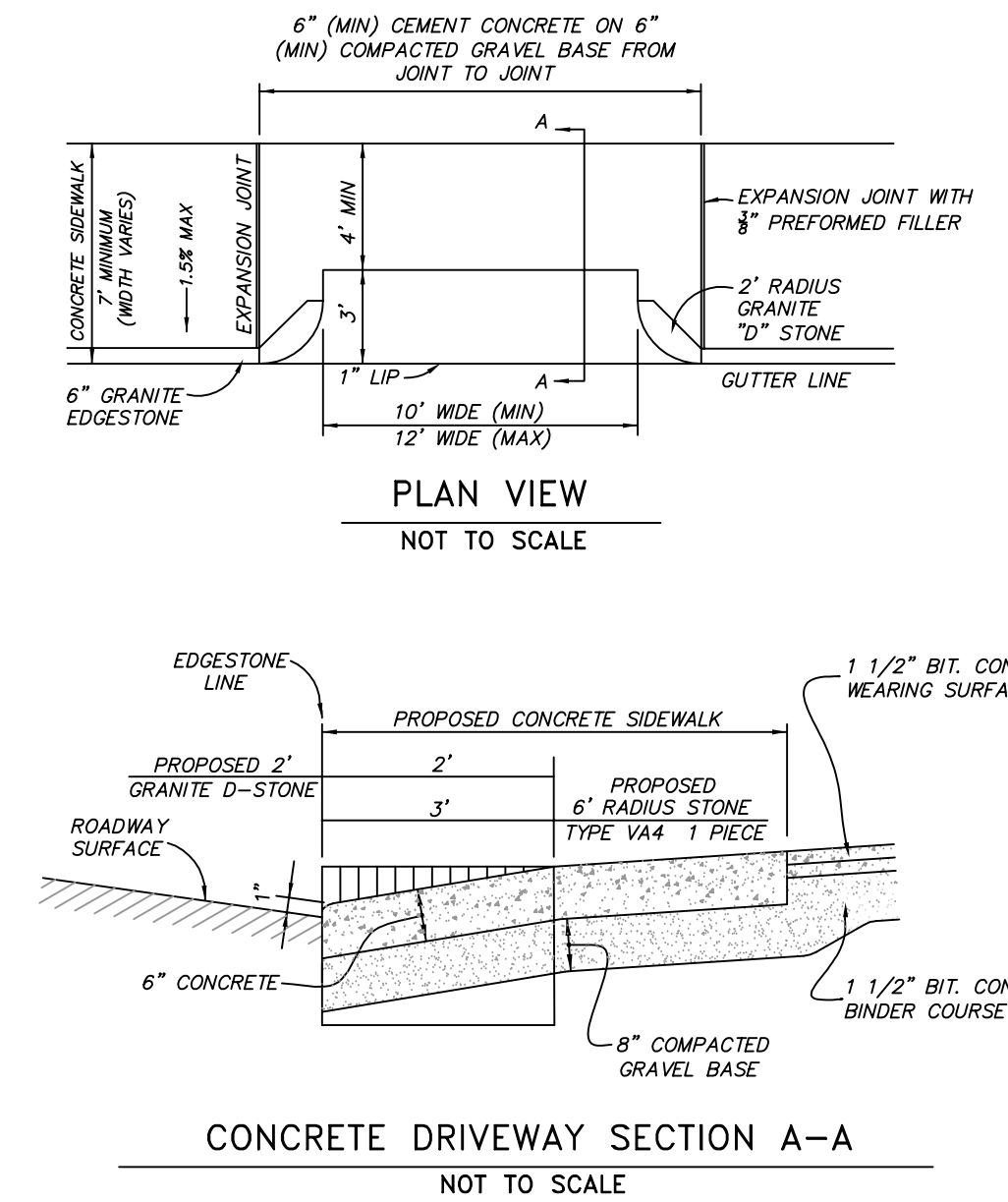


CULTEC Recharger® 180HD Stormwater Chamber

The Recharger® 180HD is a 20.5" (521 mm) tall, mid-size chamber and is typically used for installations with depth restrictions or where a larger infiltration area is required. The Recharger® 180HD has the side portal internal manifold feature. 1/2" FC-24 Feed Connectors are inserted into the side portals to create the internal manifold.

Chamber and Stone Storage	6"	12"	18"
Min. Chamber Storage	1.00 m³	1.12 m³	1.23 m³
Min. Effective Depth	2.72'	3.22'	3.76'
Min. Storage Required Per Chamber	1.28 m³	1.84 m³	2.02 m³

STORAGE CAPACITY CALCULATIONS FOR INFILTRATION SYSTEM:
 SYSTEM CAPACITY = 43.6 FT³ PER CHAMBER w/ 18" STONE
 (7) CHAMBERS = 7 * 43.6 FT³ = 305.2 FT³ OF STORAGE CAPACITY
 275 CF OF STORAGE REQUIRED
 (1) SYSTEM WITH (7) CHAMBERS PROVIDED:
 = 305.2 CF OF STORAGE PROVIDED > 275 CF...OK.

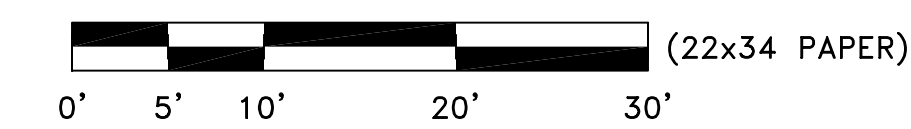


REVISIONS

NO.	DESCRIPTION

SITE PLAN
FOR A NEW CURB CUT
5 CARLISLE STREET
BOSTON, MASS.
(ROXBURY NEIGHBORHOOD - 02121)

SCALE: 1"=10' MARCH 15, 2019
CM KIRBY ENGINEERING, PLLC
CIVIL ENGINEERING & LAND PLANNING
PO BOX 291, NORWOOD, MA 02062
PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM



GENERAL CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF EXTERIOR WALLS TO THE CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2x6 (5 1/2") FOR BOTH INTERIOR AND EXTERIOR WALLS.
2. THE PROJECT IS A NEW STRUCTURE. EXACT DIMENSIONS, ELEVATIONS, TIE-IN POINTS, ROOF SLOPES, BEARING POINT LOCATIONS ARE REPRESENTED AS ACCURATE AS KNOWN AT THE TIME OF THE DRAWING SET CREATION. FIELD VERIFICATION OF ALL ELEMENTS IS REQUIRED BY THE CONTRACTOR AND IF INCONSISTENCIES OCCUR, NOTIFY THE ENGINEER FOR DIRECTION. THE ENGINEER IS NOT RESPONSIBLE FOR CHANGES TO THE PLANS WITHOUT DIRECTION.
3. WINDOWS APPEARING ON THE FLOOR PLANS AND EXTERIOR ELEVATIONS ARE TO BE CONFIRMED BY THE OWNER.
4. THE WINDOW FINAL SILL HEIGHT AT THE FIRST FLOOR IS 24" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
5. GENERAL CONTRACTOR TO REVIEW ALL BUILT IN REQUIREMENTS WITH THE OWNER INCLUDING SHELIVING, CLOSETS, PANTRY, ETC., IF APPLICABLE.
6. ALL REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM, AND ANY AUDIO, COMPUTER OR CABLE TELEVISION SYSTEMS TO BE COORDINATED WITH OWNER.
7. ALL PERMITS AND VARIANCES, IF NECESSARY, ARE THE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR PRIOR TO START OF CONST.
8. ALL FINISH COLORS TO BE THE RESPONSIBILITY OF THE OWNER.

GENERAL FLOOR PLAN NOTES

1. DO NOT SCALE DRAWINGS. FOLLOW DRAWING DIMENSIONS ONLY. DIMENSION IS NOT CALLED OUT, VERIFY DIMENSIONS WITH ENGINEER.
2. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF EXTERIOR WALLS TO THE CENTERLINE OF INTERIOR STUD WALLS (UNO). STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2x6 FOR EXTERIOR WALLS AND 2x4 FOR INTERIOR WALLS (UNO).
3. ALL INTERIOR WALLS ARE TO BE COVERED WITH 1/2" GYPSUM BOARD, METAL CORNER REINFORCING, TAPE SEAMS AND PLASTER SKIMCOAT.
4. ALL WALLS IN THE GARAGE TO HAVE A LAYRER OF 5/8", TYPE "X" FIRE RATED GYPSUM BOARD (UNO).
5. ALL BATH AND TOILET AREA WALLS AND CEILINGS ADJACENT TO WET AREAS TO HAVE WATER RESISTANT GYPSUM BOARD.
6. BEDROOM WINDOWS TO HAVE A MINIMUM NET CLEAR OPENING OF 3.38 SQFT., A MINIMUM NET CLEAR OPENING OF 20" WIDE x 24" HIGH IN EITHER DIRECTION, AND HAVE A MAXIMUM FINISHED SILL HEIGHT OF 44" FROM FINISHED FLOOR.
7. ALL GLASS LOCATED WITHIN 18" OF FLOOR OR 24" OF A DOOR SWING MUST BE TEMPERED GLASS.
8. BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF 50 CFM FAN. RANGE HOODS TO BE VENTED TO THE OUTSIDE.
9. SUBCONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

GENERAL ELEVATION NOTES

1. ICE & WATER SHIELD TO BE INSTALLED CORRECTLY AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS, AND PENETRATIONS AND UNDER FIRST 36" OF PERIMETER OF ROOF.
2. ICE & WATER SHIELD TO BE PLACE OVER ENTIRE ROOF SURFACE WHEN ROOF SLOPE IS BELOW A 4/12 PITCH.
3. ADEQUATE ATTIC VENTILATION AND ROOF VENTS ARE TO BE PROVIDED AS SHOWN ON PLANS.
4. ALL PLUMBING AND MECHANICAL VENTS TO BE LOCATED CLOSE TOGETHER WITHIN THE ATTIC SPACE WHEN POSSIBLE TO MINIMIZE THE NUMBER OF ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH APPEAR ABOVE THE ROOF TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. NO VENT TO BE ALLOWED ON THE FRONT ROOF. ALL METAL AND PVC VENTS AND PENETRATIONS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
5. GUTTERS AND DOWN SPOUTS ARE NOT LOCATED ON ELEVATION DRAWINGS. LOCATIONS OF DOWN SPOUTS ARE TO BE DETERMINED ON-SITE DUE TO TOPOGRAPHICAL CONDITIONS TO ALLOW POSITIVE DRAINAGE AWAY FROM THE HOUSE. DOWN SPOUTS NOT TO BE LOCATED IN PROMINENT LOCATIONS, GUTTERS AND DOWN SPOUTS ARE TO CLOSELY MATCH TRIM COLOR OF THE HOUSE.
6. ALL FLASHING TO BE OF THE SAME MATERIAL. DISSIMILAR METALS NOT ALLOWED.
7. OWNER RESPONSIBLE FOR SELECTING ROOF COLOR.

GENERAL STAIRWAY NOTES

1. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND THE PERMITTED HEADROOM HEIGHT. THE MINIMUM WIDTH AT OR BELOW THE HANDRAIL HEIGHT SHALL NOT BE LESS THAN 32" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 28" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
2. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR THE NOSING FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
3. THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9". TREAD NOSING SHALL NOT EXTEND MORE THAN 1 1/2" BEYOND THE FACE OF THE RISER BELOW.
4. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR/GRADE SHALL HAVE GUARDRAILS, WHICH SHALL ALSO SERVE AS HANDRAILS, NOT LESS THAN 36" IN HEIGHT.
5. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, BALCONIES, PORCHES, DECKS AND RAISED FLOOR AREAS, SHALL HAVE BALUSTERS WHICH PREVENT THE PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.

GENERAL FOUNDATION NOTES

1. ALL CONCRETE WORK SHALL CONFORM WITH THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI).
2. THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS SHALL BE 4000 PSI.
3. ALL SLABS TO BE PLACED ON A 6 MIL VAPOR BARRIER OVER 6" OF COMPACTED GRAVEL.
4. PROVIDE A 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED AREAS.
5. PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL SLABS, BOTH DIRECTIONS.

GENERAL FRAMING NOTES:

LOCATION	LIVE (PSF)	DEAD (PSF)	DEFLECTION
COMMON AREAS	40	15	L / 360
SLEEPING AREAS	30	15	L / 360
ATTIC (STORAGE)	20	15	L / 240
ATTIC (NO STORAGE)	10	15	L / 240
ROOF (SNOW LOAD)	VARIES	15	L / 240
DECK	40	15	L / 360
BALCONY	60	15	L / 360

1. ALL FRAMING MATERIAL TO BE MINIMUM #2 OR BETTER KD LUMBER.
2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED (PT).
3. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO THE DIRECTION OF THE JOIST SPAN.
4. PROVIDE 1"x3" CROSS BRIDGING OR 2"x6" BLOCKING AT THE MIDSPAN OF ALL FLOOR JOISTS.
5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR GLUED AND SCREWED TO FLOOR FRAMING. FINISH FLOORING TO BE EITHER 3/4" HARDWOOD.
6. ALL STUD FRAMED WALLS TO BE FRAMED AT 16" ON CENTER, MAXIMUM.
7. ALL ANGLED WALLS ARE TO BE FRAMED AT 45 DEGREES (UNO).
8. HEADER SIZE OVER WINDOWS TO BE (3)2"x8" (UNO).
9. ALL HEADERS TO BE FREE FROM SPLITS AND CHECKS.
10. PROVIDE FULL SOLID BEARING OR STUD BEARING UNDER ALL BEAM BEARING POINTS.
11. ALL BEAM AND JOIST INTERSECTIONS TO BE FLUSH FRAMED WITH GALVANIZED JOIST HANGERS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
12. ALL BEAMS TO HAVE TRIPLE STUD BEARING UNDER EACH END.
13. UNLESS OTHERWISE NOTED, PROVIDE DOUBLE HEADER JOIST AND TRIMMERS AT ALL FLOOR OPENINGS.
14. STAIR CONSTRUCTION TO CONSIST OF 3-2"x12" STRINGERS, MINIMUM.
15. TEMPORARY GUARDRAILS MUST BE INSTALLED AT ALL FLOOR OPENINGS.
16. ALL WALLS OVER 10'-0" HIGH TO BE 2"x6"s AT 16" ON CENTER AND RECEIVE 1 ROW OF 2"x6" BLOCKING AT MID-HEIGHT.
17. 2"x6" EXTERIOR WALLS TO BE SHEATHED WITH 1/2" EXTERIOR GRADE PLYWOOD. SHEATHING TO SPAN OVER ALL PLATES AND HEADERS. INSTALL SHEATHING WITH AN 1/8" GAP BETWEEN PANELS AND BLOCK ALL SEAMS - BOTH VERTICAL AND HORIZONTAL.
18. FLOOR FRAMING LAYOUT IS CONSTRUCTED AS TO PROVIDE BEST POSSIBLE ACCESS TO THE HVAC DUCTS AND UNOBSTRUCTED RUNS FOR THE DUCT WORK.
19. PROVIDE BLOCKING AT ALL CABINET LOCATIONS.
20. PROVIDE 2"x4" RAFTER TIES AT ALL PLATES WHERE JOIST RUN IS PERPENDICULAR TO RAFTERS.
21. HIP VALLEY RAFTERS AND RIDGE BOARDS TO BE ONE SIZE LARGER THAN TYPICAL RAFTERS UNLESS OTHERWISE NOTED ON PLANS.
22. PROVIDE 1"x6" COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST AT 48" ON-CENTER.
23. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
24. REQUIRED GUARDRAILS ON BALCONIES, PORCHES, DECKS, AND RAISED FLOOR AREAS, SHALL HAVE A MINIMUM HEIGHT OF 36" MEASURED VERTICALLY FROM THE FINISHED FLOOR.
25. ALL HARDWARE AND FLASHING IN CONTACT WITH ACQ TREATED LUMBER MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

26. IF ON-SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY FOR DIRECTION.

GENERAL ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
2. GENERAL AND ELECTRICAL CONTRACTOR TO REVIEW THE PLAN(S) AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED.
3. ELECTRICAL SERVICE TO BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATOR, DISH WASHER, DISPOSAL, HVAC EQUIPMENT, ALARM PANEL, LAWN SPRINKLER SYSTEM, ETC. OUTLET TO BE PROVIDED ABOVE THE RANGE FOR MICROWAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
4. ALL OUTLETS PLACED NEAR ANY WATER CONDITION TO BE G.F.C.I.
5. SWITCHES AND OUTLETS TO BE COORDINATED WITH OWNER.
6. PROVIDE EXTERIOR WATERPROOF OUTLETS AS REQUIRED BY CODE.
7. ALL PHONE OUTLETS, COMPUTER OUTLETS, CABLE TV OUTLETS, AND ELECTRONIC DEVICE OUTLETS TO BE VERIFIED BY OWNER.
8. DIMMERS TO BE SIZED FOR THE APPROPRIATE LOAD OF THE FIXTURES AND LAMPS SELECTED.
9. VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS PRIOR TO LOCATING SWITCHES. ALL LOCATIONS SHOULD BE CLOSE TO TRIM AND ALIGNED WITH ONE ANOTHER, IF THERE ARE MULTIPLE.
10. BLOCK AND PREWIRE SEPARATE SWITCHES TO EACH LIGHT AND CEILING.
11. IF EXTERIOR SECURITY LIGHTING IS DESIRED BY OWNER THE TYPE, LOCATION, AND REQUIRED SWITCHING MUST ALL BE VERIFIED BY OWNER.
12. IF AN ALARM IS DESIRED ALL OF THE REQUIREMENTS MUST BE COORDINATED WITH THE OWNER.
13. PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND PROVIDE FOR A MINIMUM OF EIGHT (8) SPARES.
14. RECESSED FIXTURES LOCATED IN FIRE RATED WALLS (i.e. - GARAGE CEILINGS OR FIRE SEPARATION ASSEMBLIES) SHALL BE RATED FIXTURES, FIRE RATED TO THE LEVEL OF FIRE SEPARATION OF THE WALL/CEILING IN WHICH THE FIXTURE IS INSTALLED.
15. PROVIDE ENERGY EFFICIENT LIGHTING AS REQUIRED PER THE 2015 IECC.

GENERAL PLUMBING/HVAC NOTES

1. PLUMBING SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. PROVIDE GAS SERVICE TO ALL WATER HEATERS, APPLIANCES, AND HVAC EQUIPMENT,AS REQUIRED.
3. IF WALL PLATES OR JOISTS ARE CUT DURING INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT, PROVIDE BRACING TO TIE FRAMING BACK TOGETHER.
4. ALL GAS WATER HEATERS TO BE VENTED AT TOPOUT.
5. ALL PLUMBING AND MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
6. HVAC CONTRACTOR TO PROPERLY SIZE HEATING AND COOLING SYSTEM FOR THE STRUCTURE.
7. IF A NEW KITCHEN EXHAUST FAN OVER 400 CFM IS INSTALLED, AN OUTSIDE MAKE-UP AIR SYSTEM IS REQUIRED.

ENERGY EFFICIENCY

1. ENERGY EFFICIENCY TO BE THE "PRESCRIPTIVE METHOD" IN ACCORDANCE WITH CHAPTER 4 (RESIDENTIAL ENERGY EFFICIENCY) OF THE THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC). SEE THIS CHAPTER FOR COMPLETE REQUIREMENTS.
2. THE BUILDINGS (NEW PORTION) THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE R402.1.2. A SHORT VERSION OF TABLE R402.1.2 IS LISTED BELOW AND THE FULL VERSION SHALL BE REVIEWED FOR COMPLETE REQUIREMENTS.
3. THE 2015 IECC HAS STRICT REQUIREMENTS FOR ENERGY EFFICIENCY AND CHANGES TO THE CODE INCLUDE: HIGHER WALL R-VALUES, PERMANENT CERTIFICATE OF BUILDING COMPONENTS POSTED, AIR LEAKAGE TEST, BASEMENT INSULATION TO A DEPTH OF 10 FEET BELOW GRADE OR THE BASEMENT FLOOR (WHICHEVER IS LESS), RIM JOIST/WALL SEALING, RECESSED LIGHTING SHALL BE SEALED FIXTURES, JUNCTION BOXES ON EXTERIOR WALLS SHALL BE INSULATED, ATTIC ACCESS SHALL BE SEALED, ETC.

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	FLOOR R-VALUE
5	0.30	0.55	49	20	30

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REV. NO.	DATE	CHKD	REMARKS
0	3/15/2019	CMK	FOR SUBMISSION



ENGINEER:
CM KIRBY ENGINEERING , PLLC
 P.O. BOX 291
 NORWOOD, MA 02062
 (617) 872-5553
 PE LICENSE No. 41662, EXP 6/30/2020

PROJECT LOCATION:
5 CARLISLE STREET
BOSTON, MA 02021

DRAWING TITLE:
GENERAL NOTES

DRAWING NO.
3
 REVISION NO.
0



FRONT ELEVATION - EXISTING



RIGHT ELEVATION - EXISTING



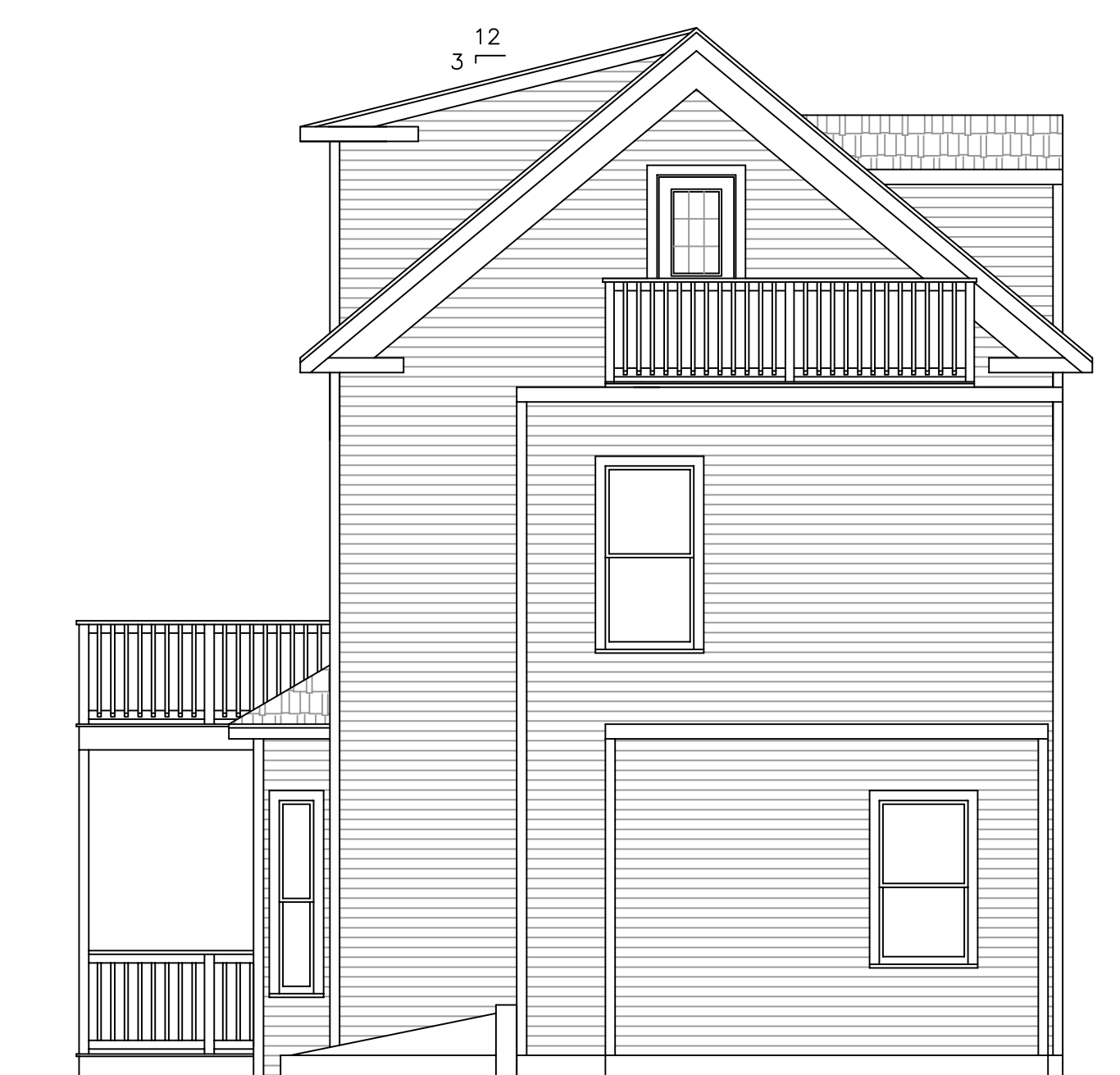
REAR ELEVATION - EXISTING



FRONT ELEVATION - PROPOSED



RIGHT ELEVATION - PROPOSED



REAR ELEVATION - PROPOSED

0' 2' 4' 10'
SCALE 3/8" = 1'-0"
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REV. NO.	DATE	CHKD	REMARKS
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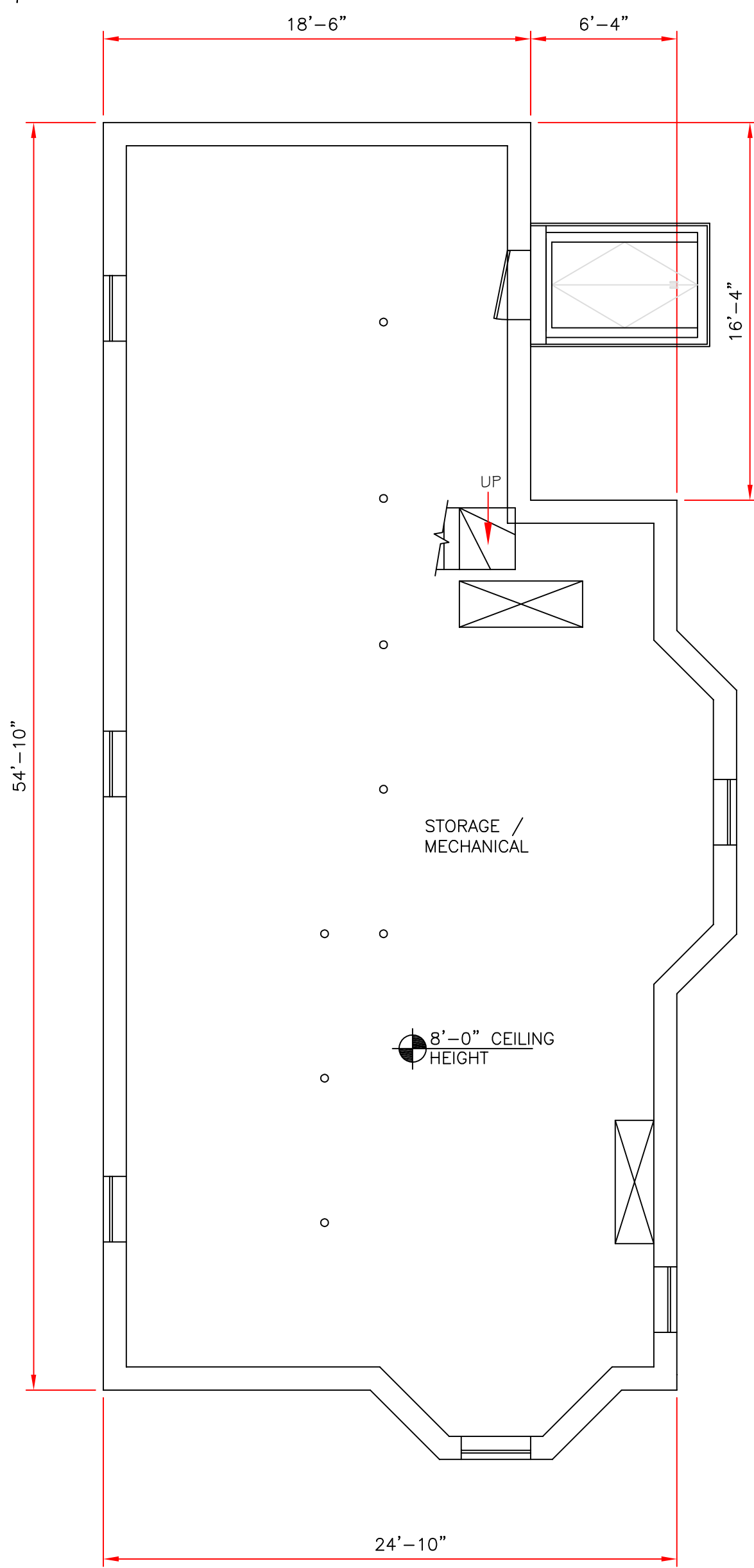


ENGINEER:
CM KIRBY ENGINEERING, PLLC
P.O. BOX 291
NORWOOD, MA 02062
(617) 872-5553 CKIRBY83@GMAIL.COM
MA PE LICENSE NO. 41662 EXP 6/30/2020

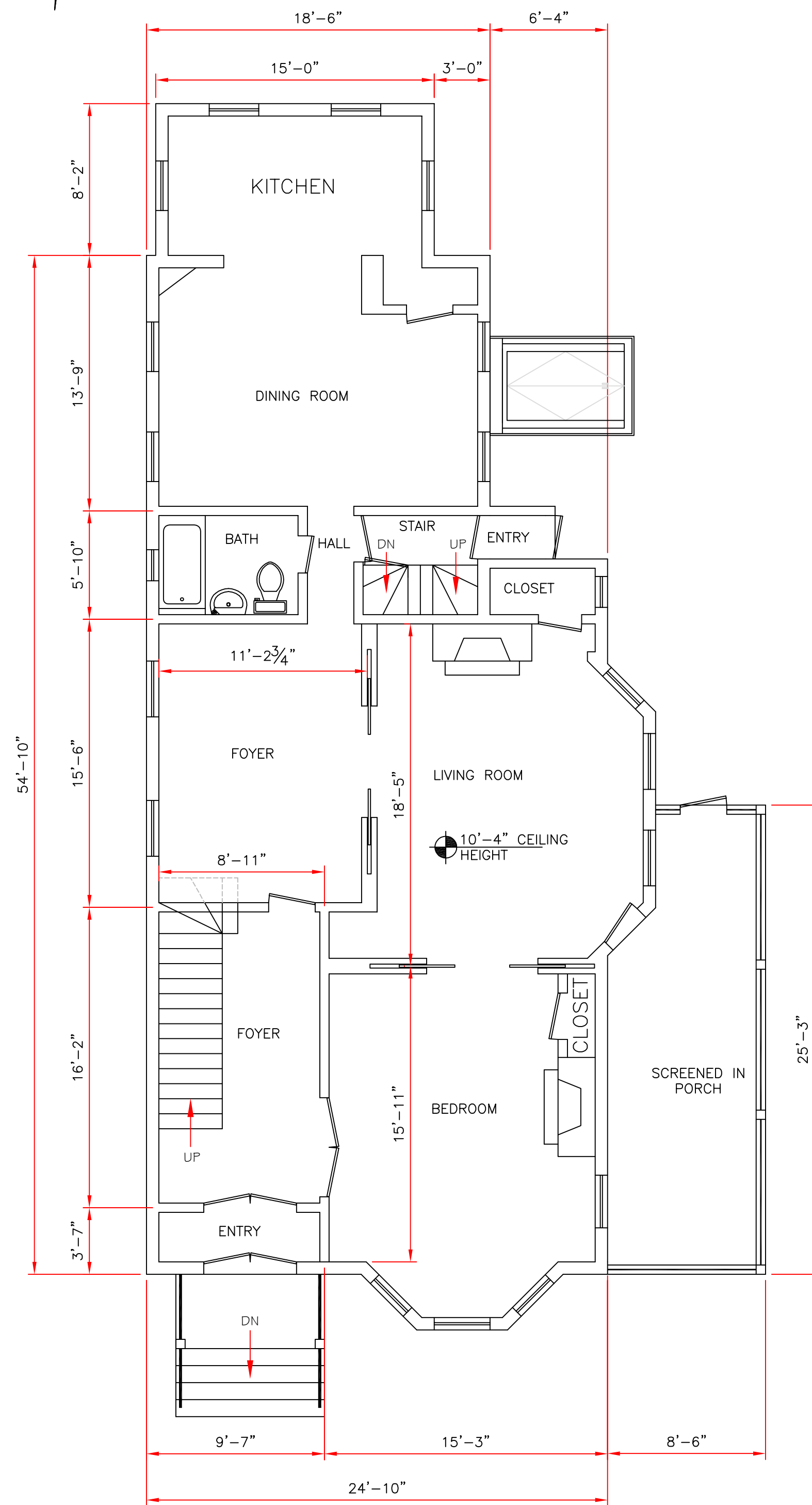
PROJECT LOCATION:
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ELEVATIONS

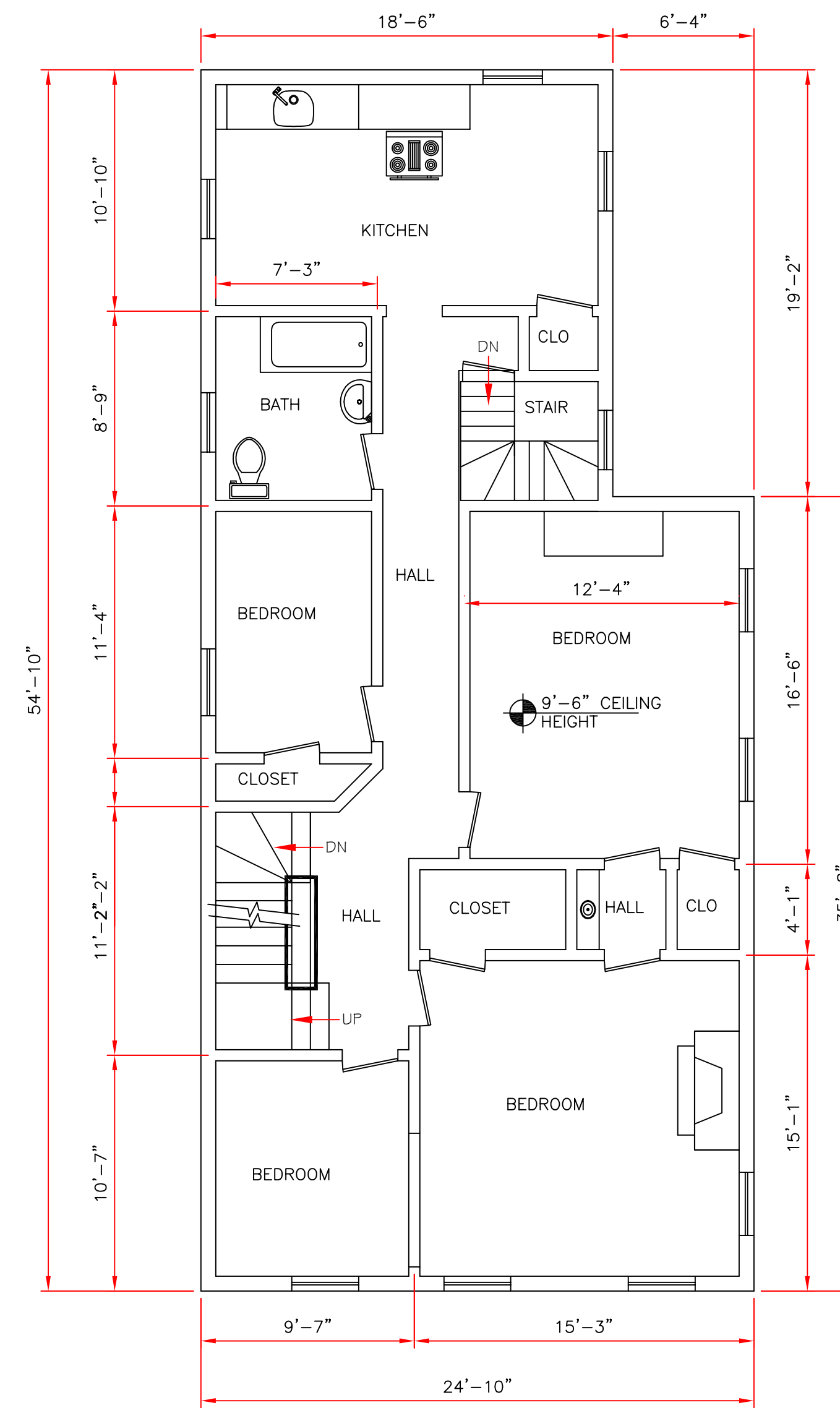
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4
REVISION NO.
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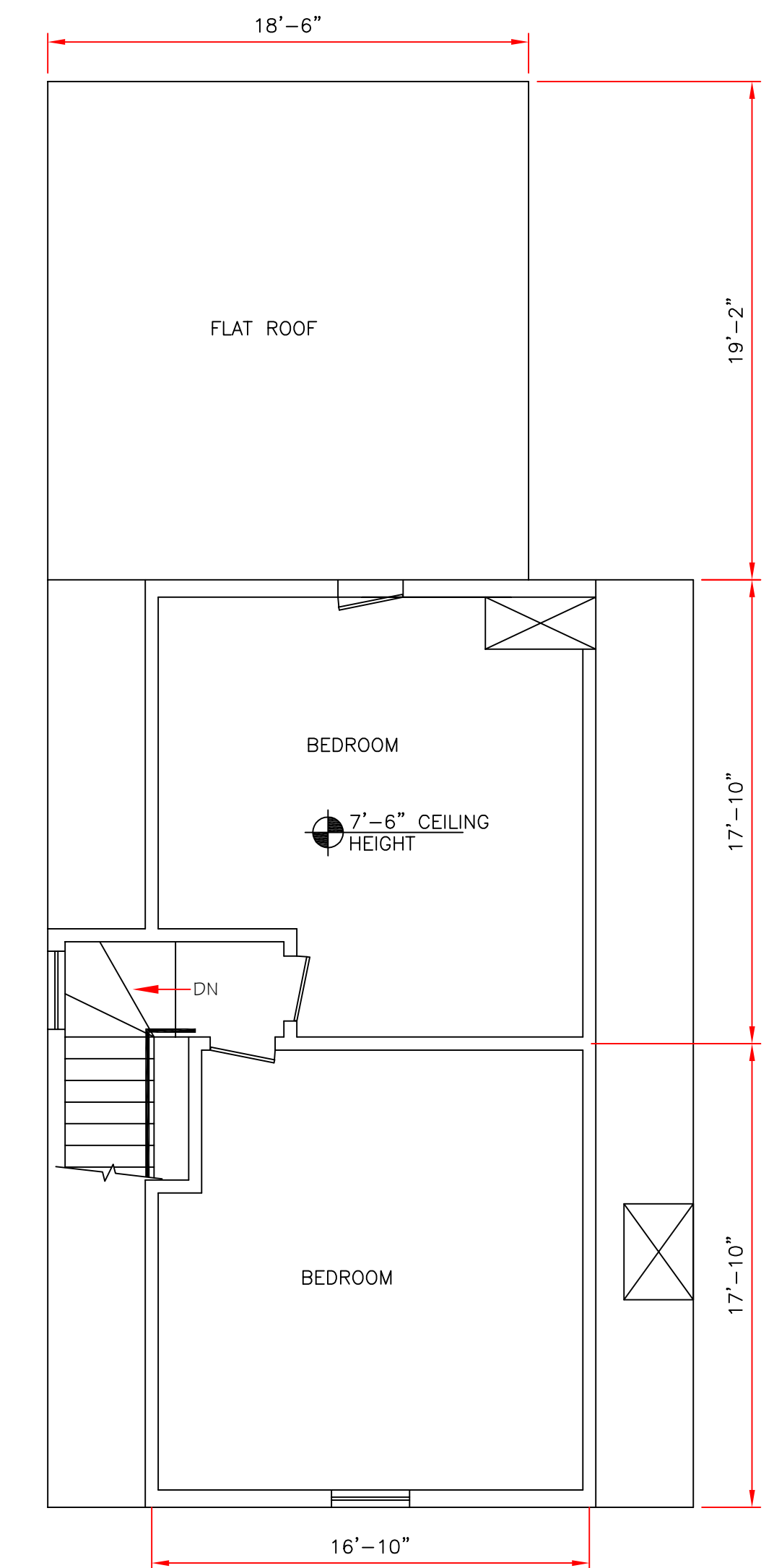
BASEMENT FLOOR PLAN - EXISTING



FIRST FLOOR PLAN - EXISTING



SECOND FLOOR PLAN - EXISTING



THIRD FLOOR PLAN - EXISTING

0' 2' 4' 10'
SCALE 3/8" = 1'-0"
(22x34 PAPER - ANSI D)

REV. NO.	DATE	CHKD	REMARKS
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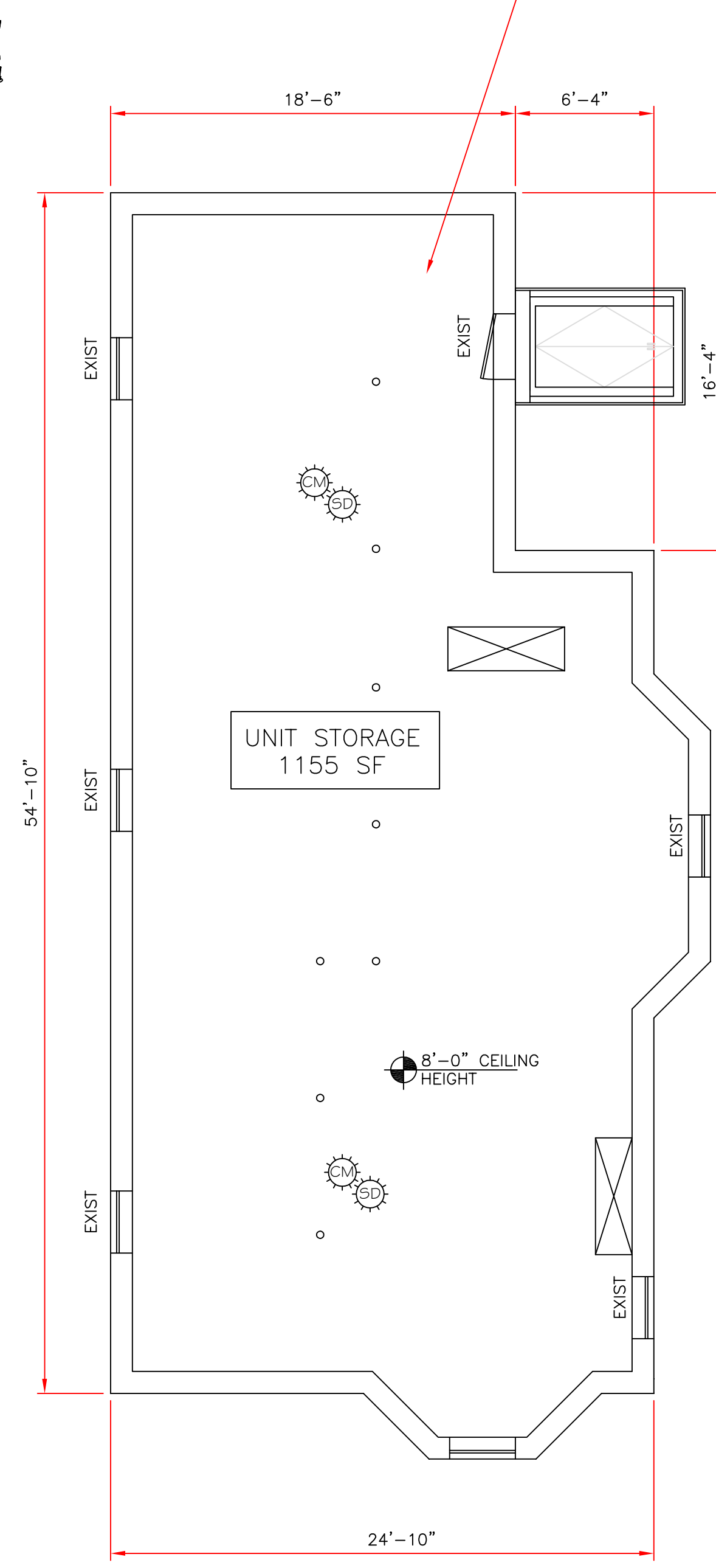
ENGINEER:
CM KIRBY ENGINEERING, PLLC
 P.O. BOX 291
 NORWOOD, MA 02062
 (617) 872-5553 CKIRBY83@GMAIL.COM
 MA PE LICENSE NO. 41662 EXP 6/30/2020

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DRAWING TITLE:
FLOOR PLANS - EXISTING

DRAWING NO.
5
 REVISION NO.
0

CEILING FINISHED SMOOTH WITH 5/8" TYPE X GYPSUM (UNLESS NOTED)



BASEMENT FLOOR PLAN - PROPOSED

NOTE:
THERE IS ONLY ONE MEANS OF EGRESS FOR UNITS 2 AND 3.

PER THE MSBC 9th ED (2015 IBC), SECTION 1006.2.1 - IN GROUP R-2 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 WHERE THE DWELLING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET.

THE BUILDING IS:
EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM,
OCCUPANCY IS LESS THAN 20 OCCUPANTS,
PATH OF EGRESS TRAVEL IS 60 FEET.
THEREFORE, ONE MEANS OF EGRESS IS ALLOWED.

FINISH NOTES:

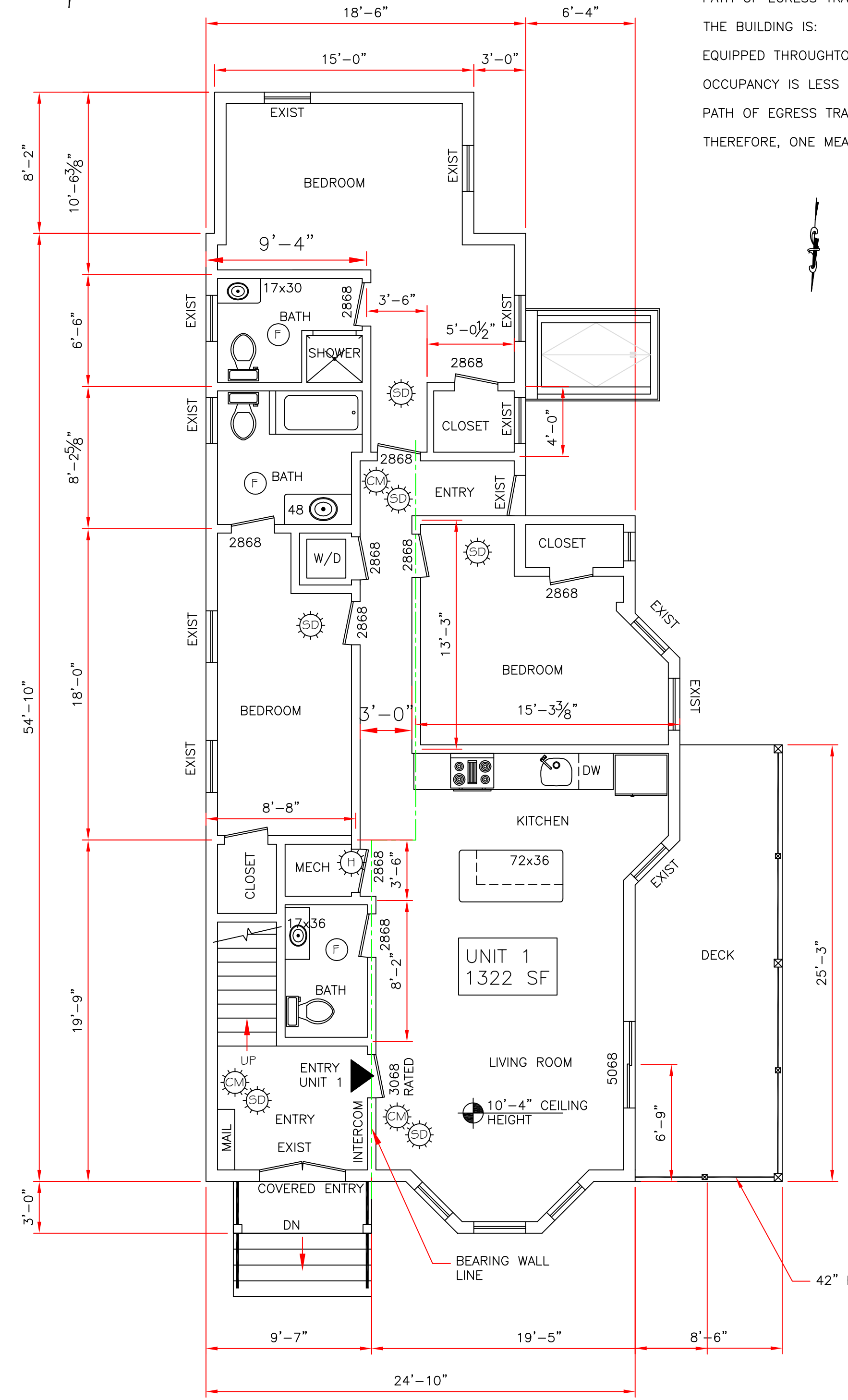
1. ALL WALLS/CEILINGS FINISHED SMOOTH WITH 5/8" TYPE X GYPSUM (UNLESS NOTED)
2. ALL WALLS IN WET AREAS (SHOWER STALL) TO BE 1/2" CEMENT BOARD
3. ALL WALLS/CEILING SURFACES TO BE PRIMED AND THEN PAINTED WITH 2 COATS OF BENJAMIN MOORE PAINT (OR EQUAL). OWNER TO SELECT COLOR(S).
4. WINDOW SIZE AND GRILLES TO MATCH EXISTING WINDOW PATTERNS. OWNER TO CONFIRM PRIOR TO ORDERING.
5. NEW DOORS TO MATCH EXISTING
6. THE BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM

LEGEND:

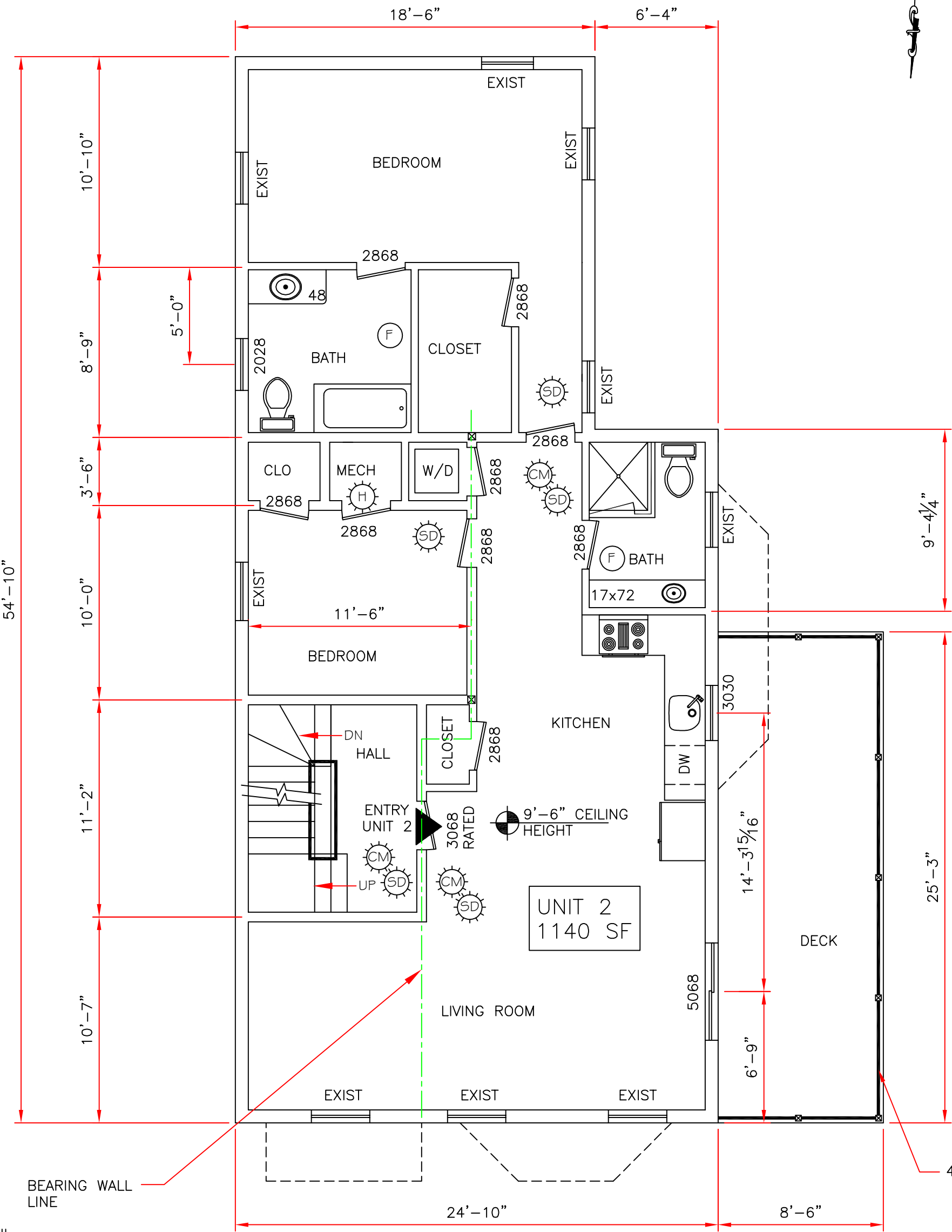
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR
- EXHAUST FAN

DOOR CALL OUT:
2868 - 2'-8" x 6'-8" DOOR

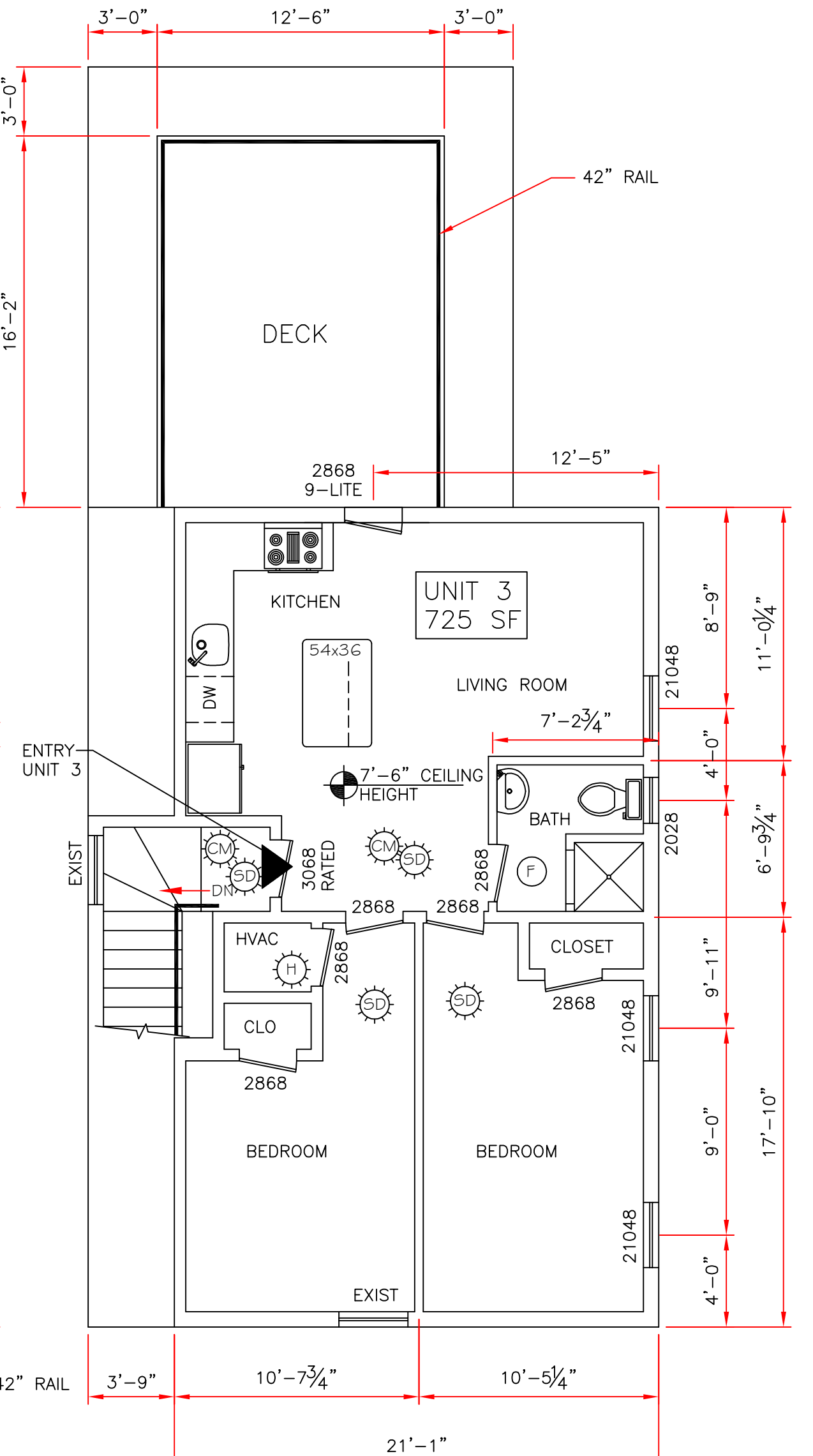
WINDOW CALL OUT:
3054 - 3'-0" WIDE x 5'-4" HIGH RO (±)



FIRST FLOOR PLAN - PROPOSED



SECOND FLOOR PLAN - PROPOSED



THIRD FLOOR PLAN - PROPOSED

0 2' 4' 10'

SCALE 1/4" = 1'-0"

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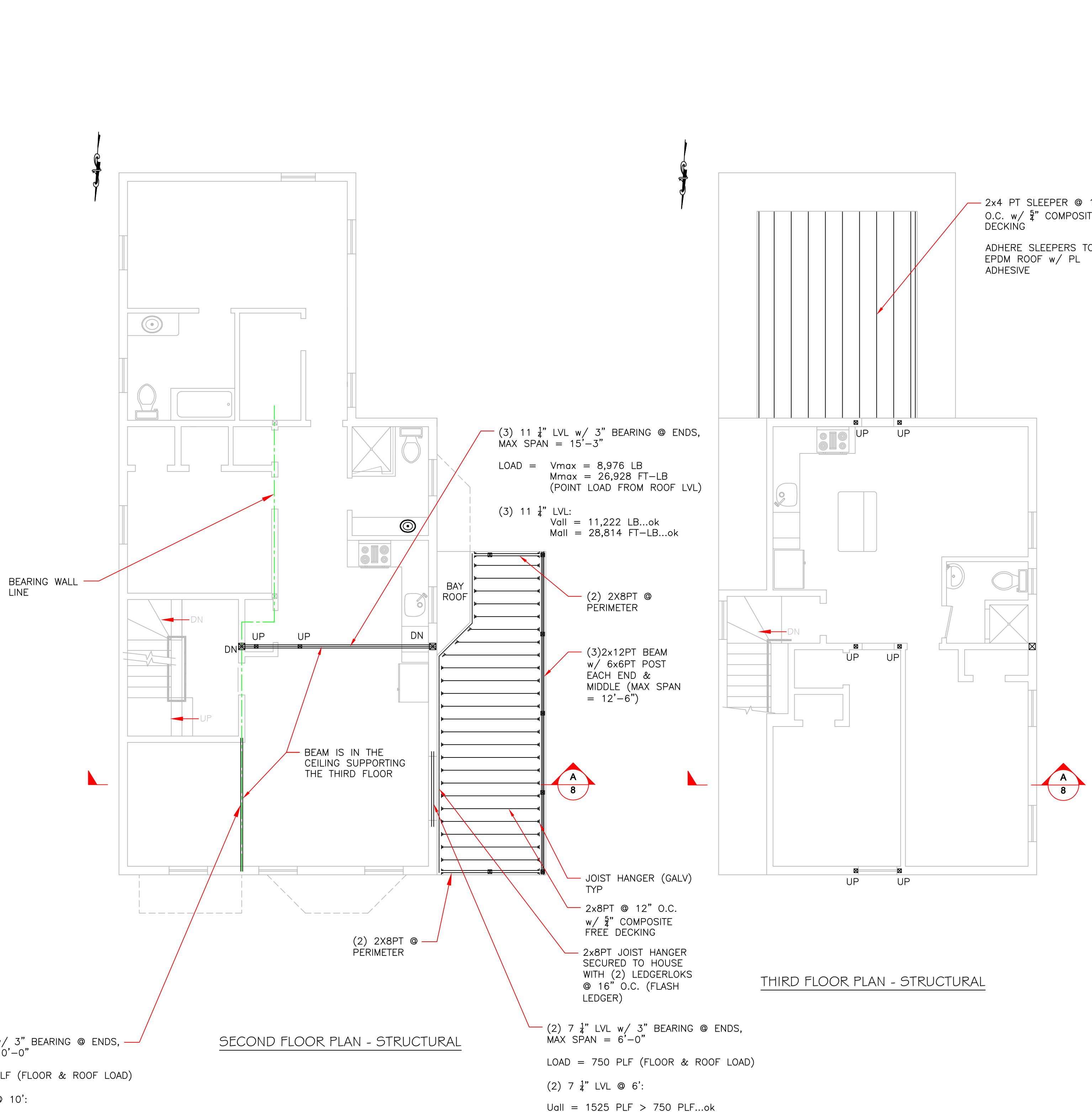
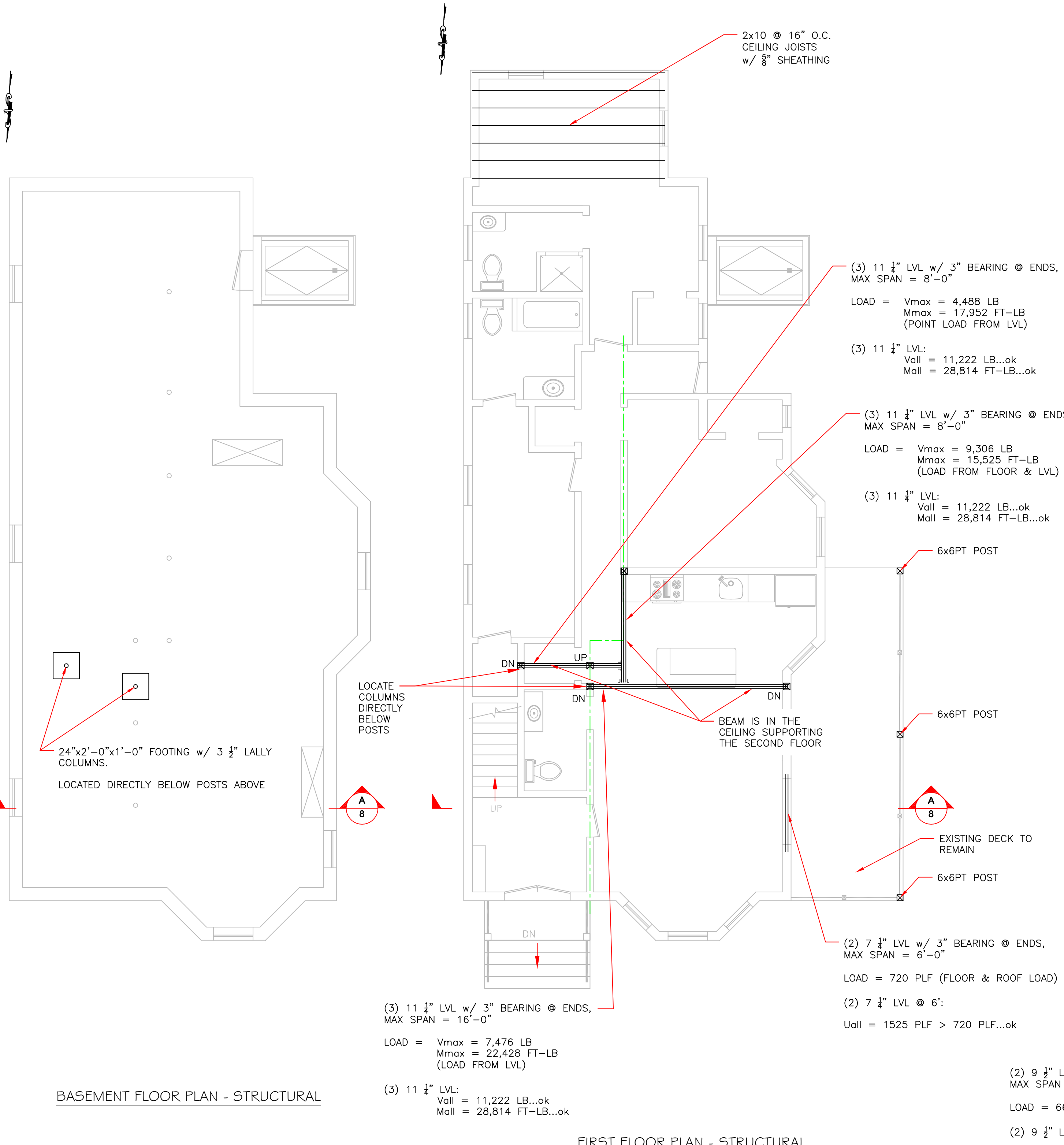
ENGINEER:
CM KIRBY ENGINEERING, PLLC
P.O. BOX 291
NORWOOD, MA 02062
(617) 872-5553 CKIRBY83@GMAIL.COM
MA PE LICENSE NO. 41662 EXP 6/30/2020

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DRAWING TITLE:
FLOOR PLANS - PROPOSED

DRAWING NO.
6

REVISION NO.
0



0' 2' 4' 10'
SCALE 1/8" = 1'-0"
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ENGINEER:
CM KIRBY ENGINEERING, PLLC
 P.O. BOX 291
 NORWOOD, MA 02062
 (617) 872-5553 CKIRBY83@GMAIL.COM
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PROJECT LOCATION:
**5 CARLISLE STREET
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DRAWING TITLE:
STRUCTURAL PLANS

DRAWING NO.
7

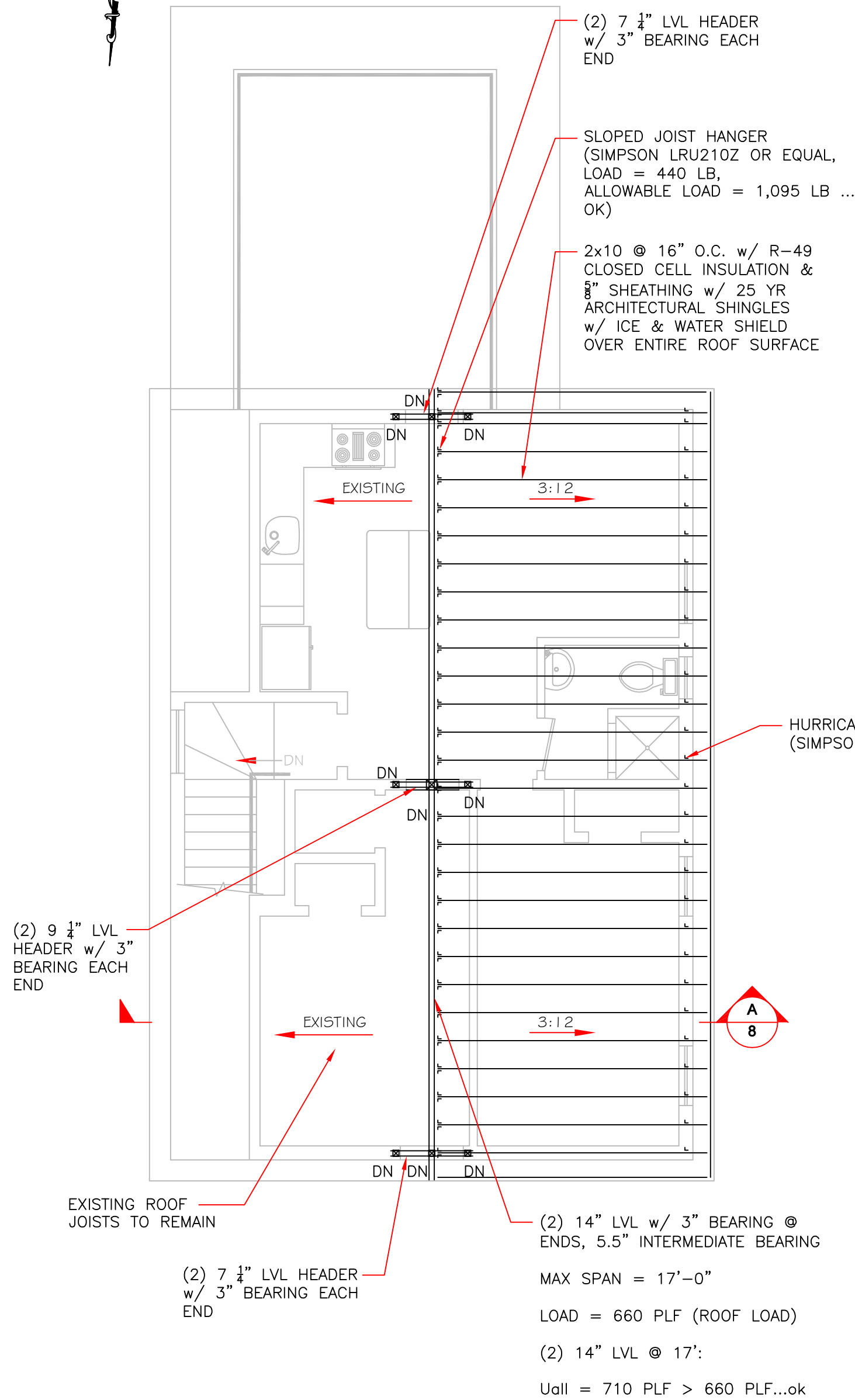
REVISION NO.
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1 HR FIRE ASSEMBLY
UL DES L514 (FLOOR/CEILING) STC - 50

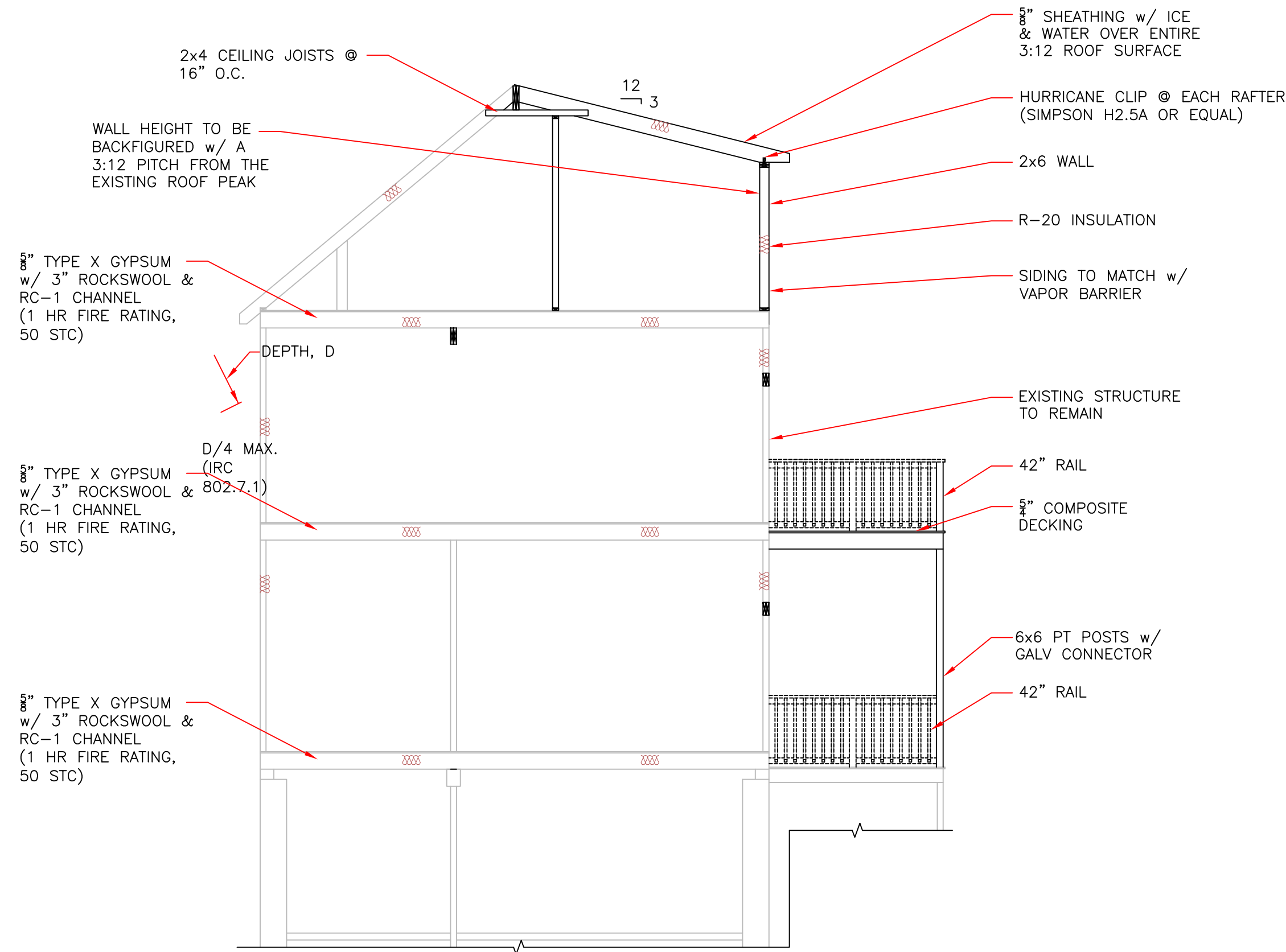
DOORS ENTERING EACH UNIT ARE TO BE FIRE RATED TO 1/2 HOUR PROTECTION (MIN)

FIRE SEPARATION PER THE MSBC, 9th EDITION, SECTION 708 - FIRE PARTITIONS

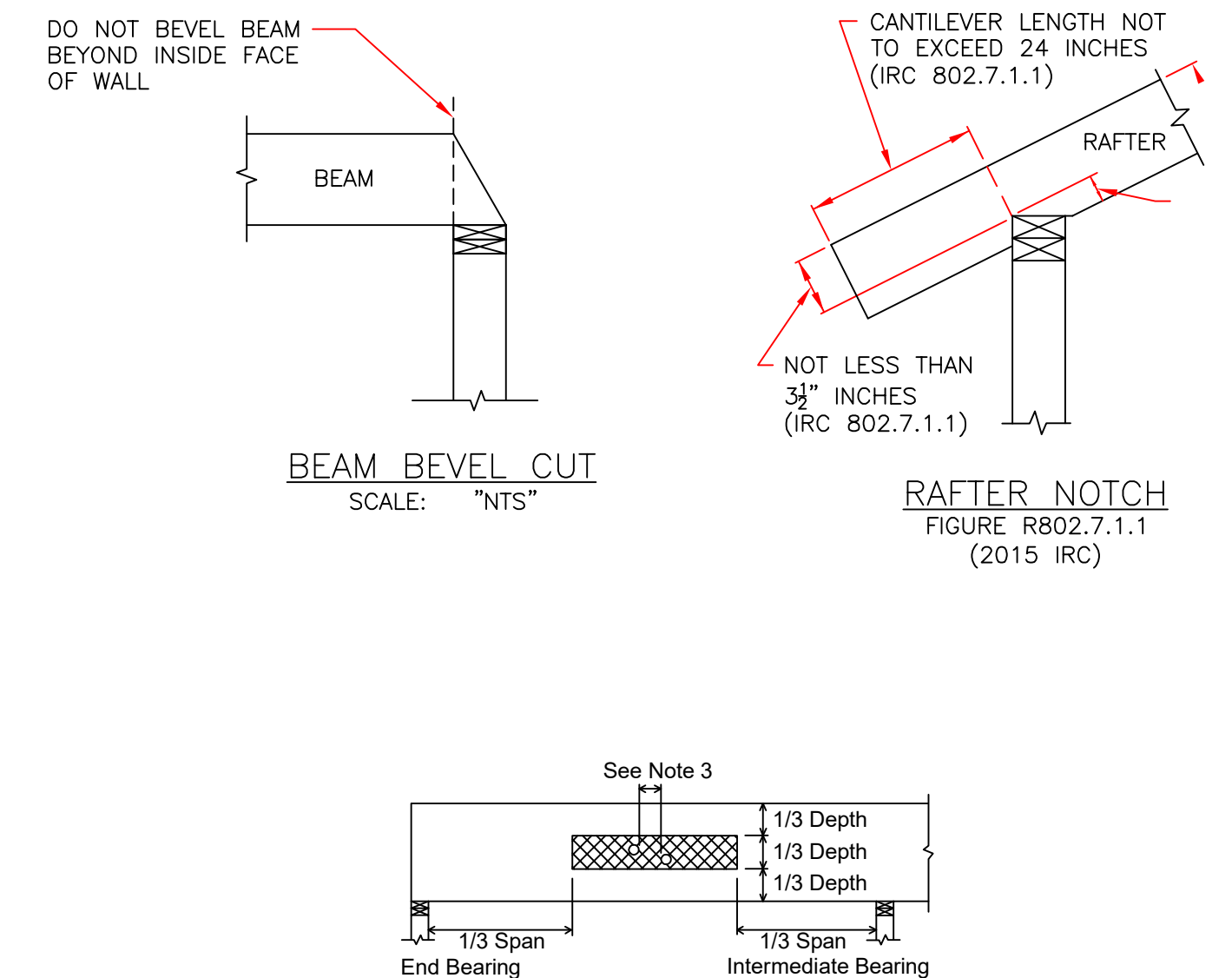
NOTE: THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. PER SECTION 708.3, EXCEPTION 2, A 1/2 HOUR FIRE SEPARATION IS REQUIRED (1 HOUR PROVIDED).



ROOF PLAN - STRUCTURAL



SECTION A



NOTES:

- Square and rectangular holes are NOT permitted.
 - Round holes may be drilled or cut with a hole saw anywhere within the hatched area of the beam.
 - The horizontal distance between adjacent holes must be at least two times the diameter of the larger hole.
 - Do not drill more than three access holes in any four foot long section of beam.
 - The maximum round hole diameter permitted is:
- | Beam Depth | 5 1/2" | 7 1/4" | 9 1/4" + |
|-----------------------|--------|--------|----------|
| Maximum Hole Diameter | 3/4" | 1" | 2" |
- These limitations apply to holes drilled for plumbing or wiring access only. The size and location of holes drilled for fasteners are governed by the provisions of the National Design Specification® for Wood Construction.
 - Beams deflect under load. Size holes to provide clearance where required.
 - This hole chart is valid for beams supporting uniform load only. For beams supporting concentrated loads or for beams with larger holes, contact Engineering.

ALLOWABLE HOLES IN LVL BEAMS

0' 2' 4' 10'

SCALE 3/8" = 1'-0" (22x34 PAPER - ANSI D)

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P.O. BOX 291
NORWOOD, MA 02062
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PROJECT LOCATION:
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BOSTON, MA 02021

DRAWING TITLE:
ROOF FRAMING,
CROSS SECTION &
DETAILS

DRAWING NO.
8

REVISION NO.
0