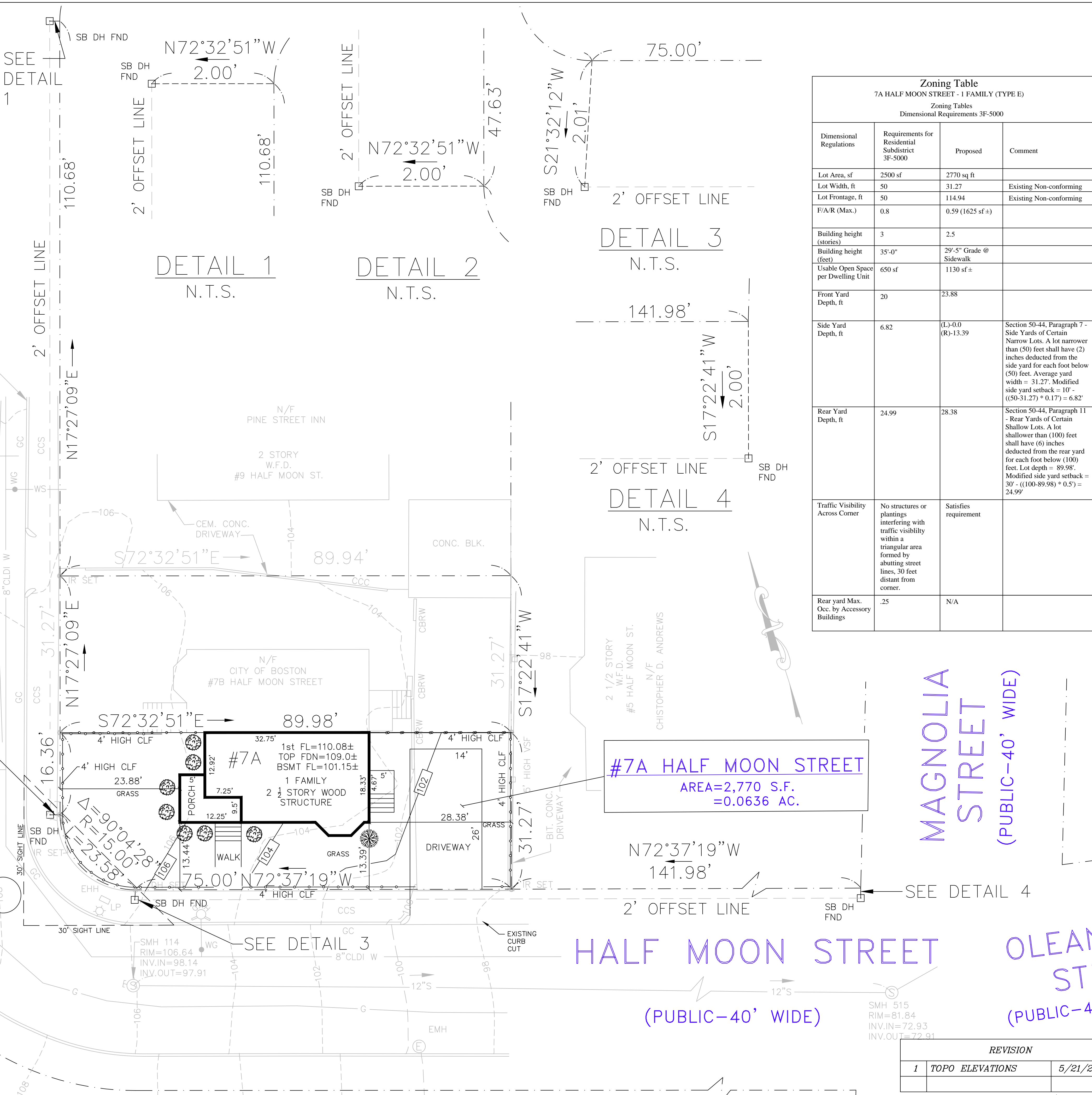
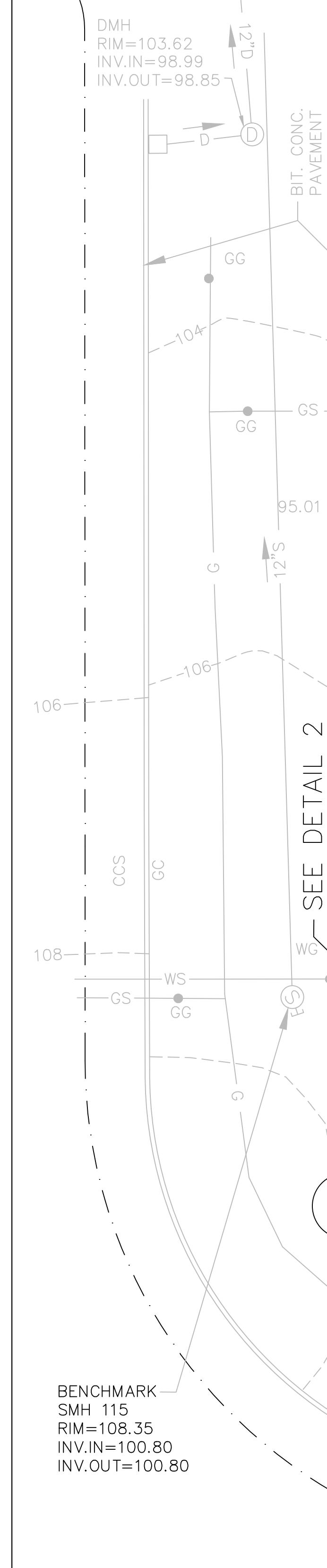


LOCUS
NOT TO SCALE



Zoning Table 7A HALF MOON STREET - 1 FAMILY (TYPE E) Zoning Tables Dimensional Requirements 3F-5000			
Dimensional Regulations	Requirements for Residential Subdistrict 3F-5000	Proposed	Comment
Lot Area, sf	2500 sf	2770 sq ft	
Lot Width, ft	50	31.27	Existing Non-conforming
Lot Frontage, ft	50	114.94	Existing Non-conforming
F/A/R (Max.)	0.8	0.59 (1625 sf ±)	
Building height (stories)	3	2.5	
Building height (feet)	35'-0"	29'-5" Grade @ Sidewalk	
Usable Open Space per Dwelling Unit	650 sf	1130 sf ±	
Front Yard Depth, ft	20	23.88	
Side Yard Depth, ft	6.82	(L)-0.0 (R)-13.39	Section 50-44, Paragraph 7 - Side Yards of Certain Narrow Lots. A lot narrower than (50) feet shall have (2) inches deducted from the side yard for each foot below (50) feet. Average yard width = 31.27'. Modified side yard setback = 10' - ((50-31.27) * 0.17) = 6.82'
Rear Yard Depth, ft	24.99	28.38	Section 50-44, Paragraph 11 - Rear Yards of Certain Shallow Lots. A lot shallower than (100) feet shall have (6) inches deducted from the rear yard for each foot below (100) feet. Lot depth = 89.98'. Modified side yard setback = 30' - ((100-89.98) * 0.5) = 24.99'
Traffic Visibility Across Corner	No structures or plantings interfering with traffic visibility within a triangular area formed by abutting street lines, 30 feet distant from corner.	Satisfies requirement	
Rear yard Max. Occ. by Accessory Buildings	.25	N/A	

NOTE

- SEE CITY OF BOSTON ASSESSORS PARCEL #1301038000 FOR SITE. SITE IS KNOWN AS #7 HALF MOON STREET IN DEED BOOK #8848 PAGE #513. THE PARCEL WILL BE SUBDIVIDED INTO TWO PARCELS: #7A HALF MOON STREET AND #7B HALF MOON STREET.
- REFERENCE BENCHMARK: TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS RIM OF SEWER MANHOLE 115, ELEVATION=108.35
- ZONE DISTRICT: ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT: 3F-5000
SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL
ZONING OVERLAY DISTRICT: NEIGHBORHOOD DESIGN REVIEW
- REFER TO THE "LANDSCAPE PLAN" CREATED BY CM KIRBY ENGINEERING, PLLC FOR LANDSCAPE DETAILS

LEGEND

- IR IRON ROD
- DH DRILL HOLE
- EHH ELECTRICAL HAND HOLE
- ⊕ HYDRANT
- CB CATCH BASIN
- SB DH STONE BOUND DRILL HOLE
- ☆ LP LIGHT POLE
- ⊙ SMH SEWER MANHOLE
- ⊙ DMH DRAIN MANHOLE
- ⊙ EMH ELECTRICAL MANHOLE
- WG WATER GATE
- GG GAS GATE
- S — SEWER PIPELINE
- W — WATER PIPELINE
- D — DRAIN PIPELINE
- G — GAS PIPELINE
- WS — WATER SERVICE PIPELINE
- GS — GAS SERVICE PIPELINE
- ○ — ○ — VINYL STOCKADE FENCE(VSF)
- □ — □ — WOOD PICKET FENCE(WPF)
- — 82 — ELEVATION CONTOUR
- X 82.12 SPOT ELEVATION
- N/F NOW OR FORMERLY
- W.F.D. WOOD FRAME DWELLING
- GC GRANITE CURB
- CCC CEMENT CONCRETE CURB
- BIT. CONC. BITUMINOUS CONCRETE PAVEMENT
- CEM. CONC. CEMENT CONCRETE
- CBRW CONCRETE BLOCK RETAINING WALL
- FND FOUND

CONTACT:
KENDRA ROE
KRG REALTY CORP
58 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565

ASSESSORS PARCEL:
#1301038000

COBUCS NUMBER:
1533238804789

ISD PERMIT NUMBER:
ERT804408
(B0A834537)

CM KIRBY ENGINEERING, PLLC
PO BOX 291
NORWOOD, MA 02062
TEL: (617) 872-5553
EMAIL: CKIRBY83@GMAIL.COM
PE LICENSE NO. 41662 EXP. 6/30/2020
JANUARY 27, 2018



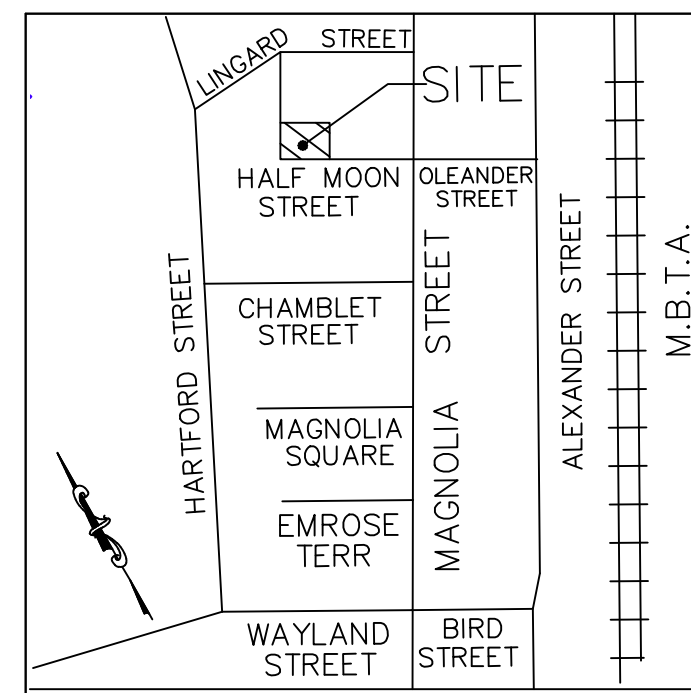
PLAN OF LAND
IN
BOSTON, MASSACHUSETTS
7A HALF MOON STREET

ORIGINAL SURVEY BY:
MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
TEL: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM

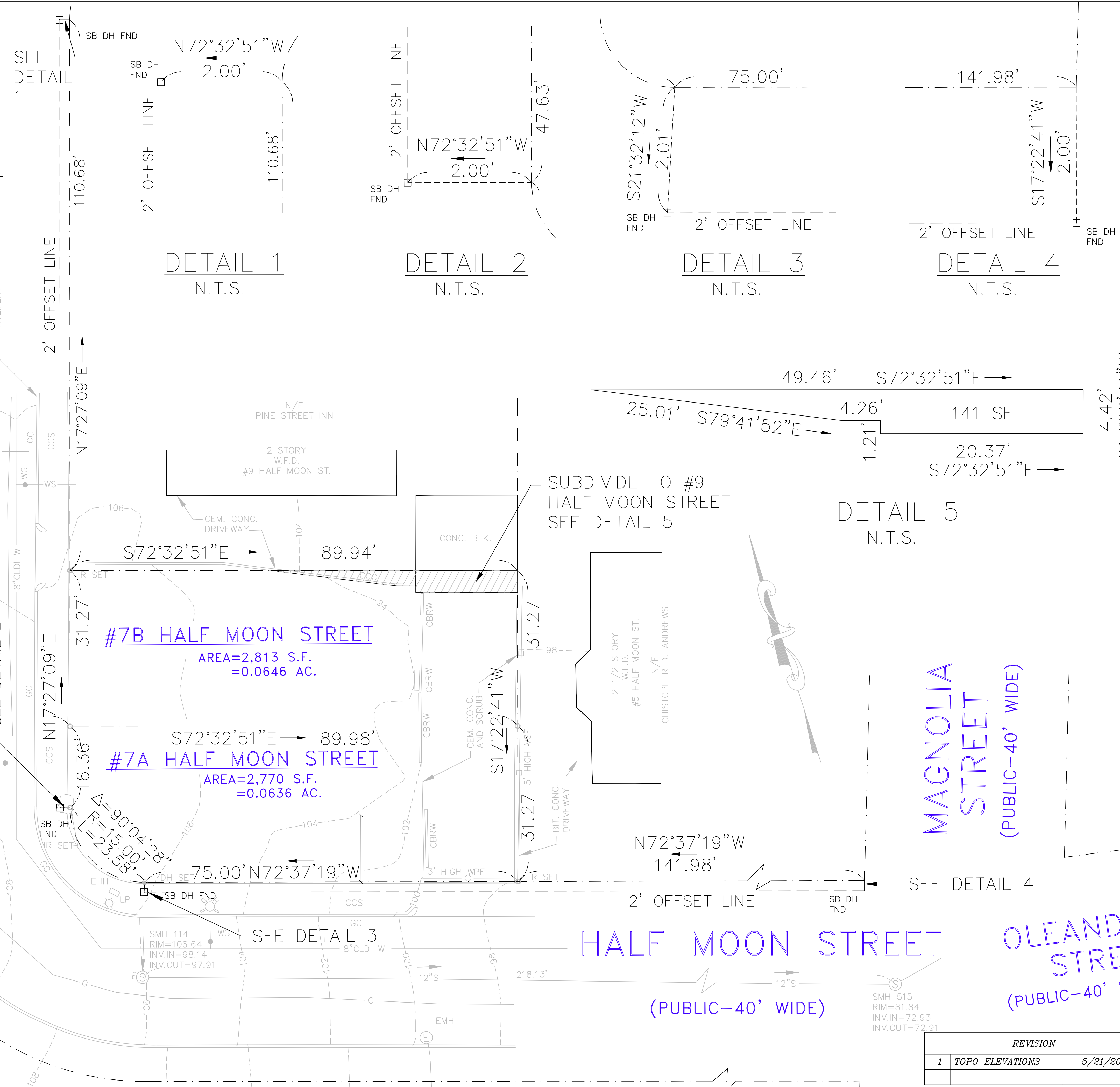
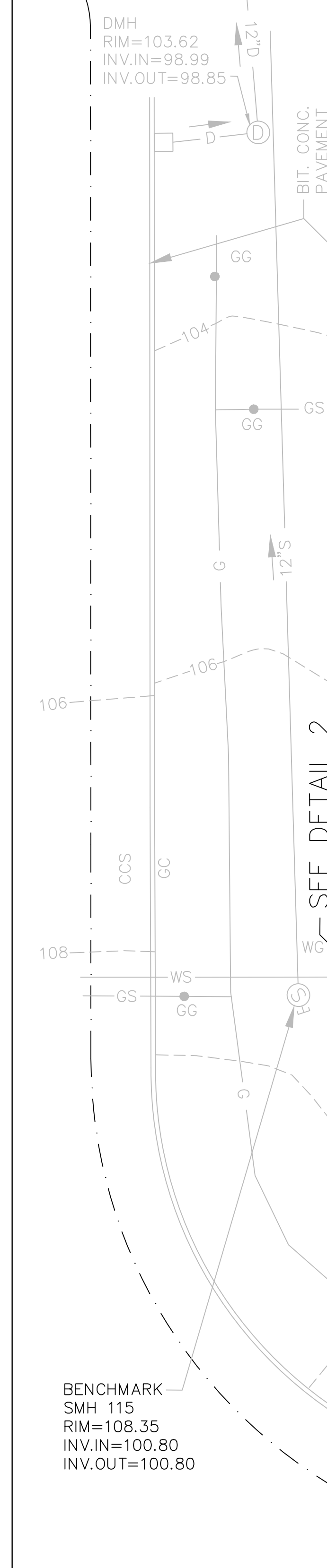
DATED: JULY 6, 2016

SCALE: 1"=10'
(24x36 PAPER)

REVISION	
1	TOPO ELEVATIONS 5/21/2020



LOCUS
NOT TO SCALE



NOTE

1. SEE CITY OF BOSTON ASSESSORS PARCEL #1301038000 FOR SITE. SITE IS KNOWN AS #7 HALF MOON STREET IN DEED BOOK #8848 PAGE #513. THE PARCEL WILL BE SUBDIVIDED INTO TWO PARCELS: #7A HALF MOON STREET AND #7B HALF MOON STREET.
2. TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS STONE BOUND WITH DRILL HOLE LOCATED AT THE INTERSECTION OF HALF MOON STREET AND LINGARD STREET, ELEVATION=87.99
3. ZONE DISTRICT: ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT: 3F-5000
SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL
ZONING OVERLAY DISTRICT: NEIGHBORHOOD DESIGN REVIEW

LEGEND

- IR IRON ROD
- DH DRILL HOLE
- EHH ELECTRICAL HAND HOLE
- ⋈ HYDRANT
- CB CATCH BASIN
- SB DH STONE BOUND DRILL HOLE
- ☆ LP LIGHT POLE
- ⊙ SMH SEWER MANHOLE
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- VINYL STOCKADE FENCE(VSF)
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- CEM. CONC. CEMENT CONCRETE
- CBRW CONCRETE BLOCK RETAINING WALL
- FND FOUND

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TEL: (617) 872-5553
EMAIL: CKIRBY83@GMAIL.COM
PE LICENSE NO. 41662 EXP. 6/30/2020
JANUARY 19, 2018



SUBDIVISION PLAN OF LAND
IN
BOSTON, MASSACHUSETTS
7A-7B HALF MOON STREET

ORIGINAL SURVEY BY:

MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
TEL: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM

DATED: JULY 6, 2016

SCALE: 1"=10'
(24x36 PAPER)

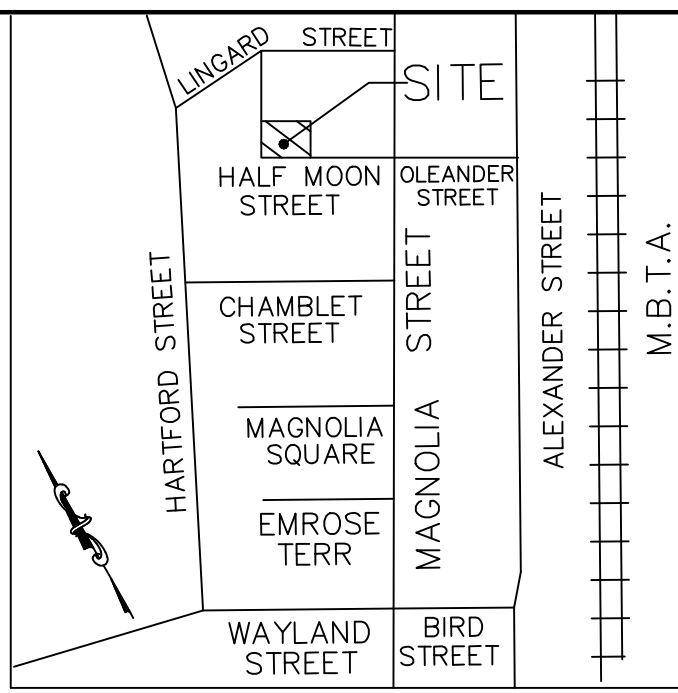
REVISION		
1	TOPO ELEVATIONS	5/21/2020

BENCHMARK
SMH 115
RIM=108.35
INV.IN=100.80
INV.OUT=100.80

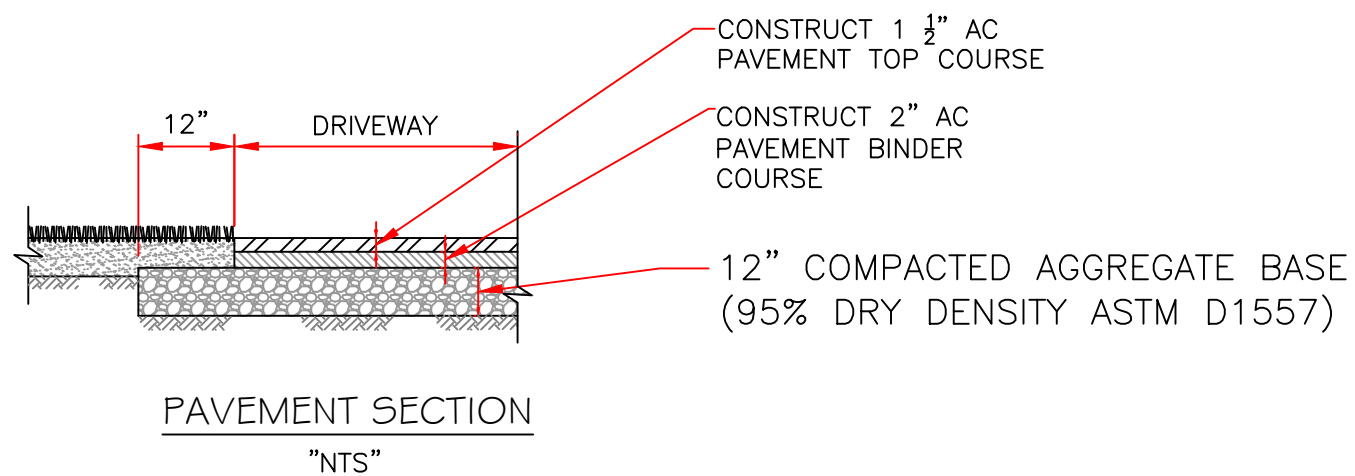
SMH 114
RIM=106.64
INV.IN=98.14
INV.OUT=97.91

SMH 515
RIM=81.84
INV.IN=72.93
INV.OUT=72.91

LINGARD STREET
(PUBLIC-40' WIDE)

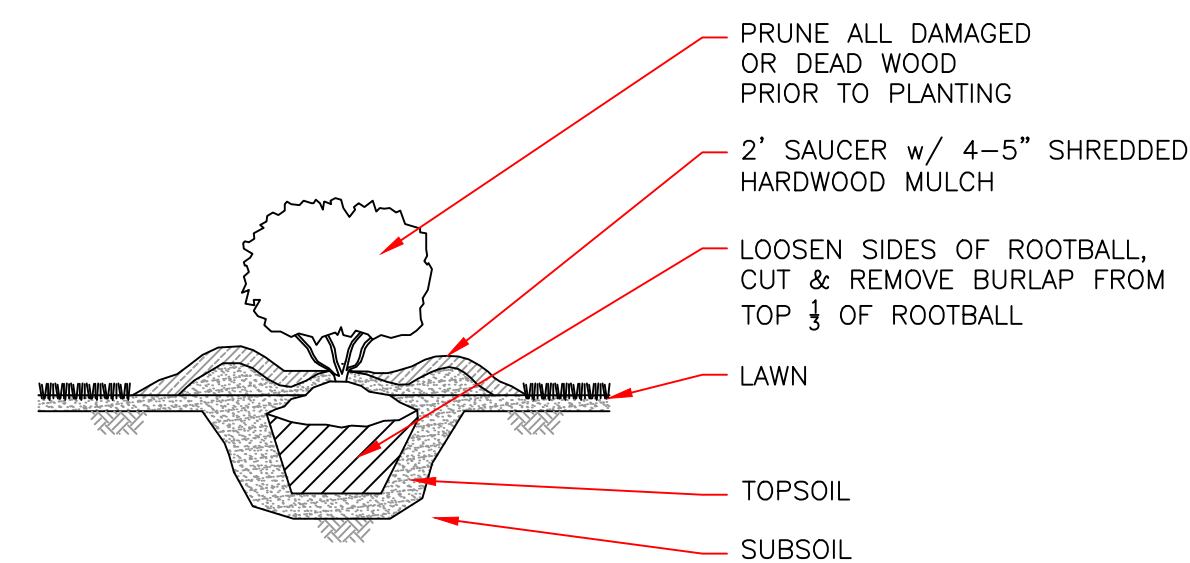


LOCUS
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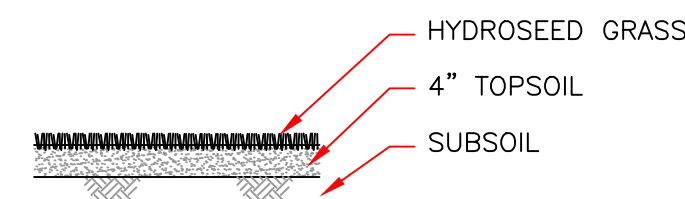


LANDSCAPE DETAILS:

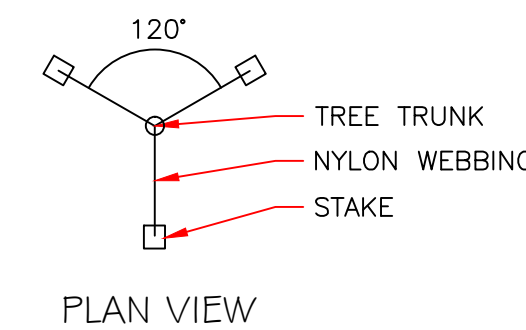
- ENGLISH BOXWOOD (BOXUS SEMPERVIRENS), 24" HIGH
- JAPANESE TREE LILAC (SYRINGA RETICULATA), 2" CALIPER
- CONTRACTOR SHALL MAKE AN EFFORT TO PRESERVE THE EXISTING MATURE TREE(S) ON SITE
- GRASS AREAS TO RECEIVE 4" LOAM AND HYDRO-SEED
- DRIVEWAY AND WALK TO BE BITUMINOUS PAVEMENT (2" BINDER, 1 1/2" FINISH)
- PROVIDE NEW 4' HIGH CHAIN LINK FENCE AS SHOWN



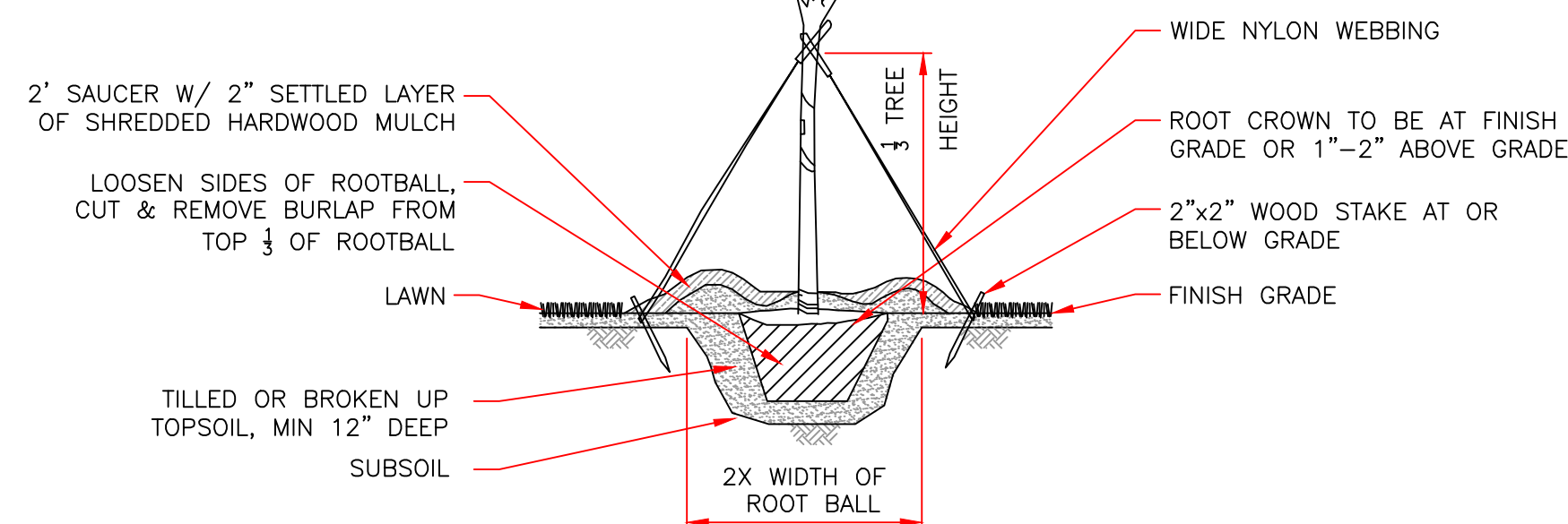
SHRUB PLANTING DETAIL
"NTS"



LAWN DETAIL
"NTS"

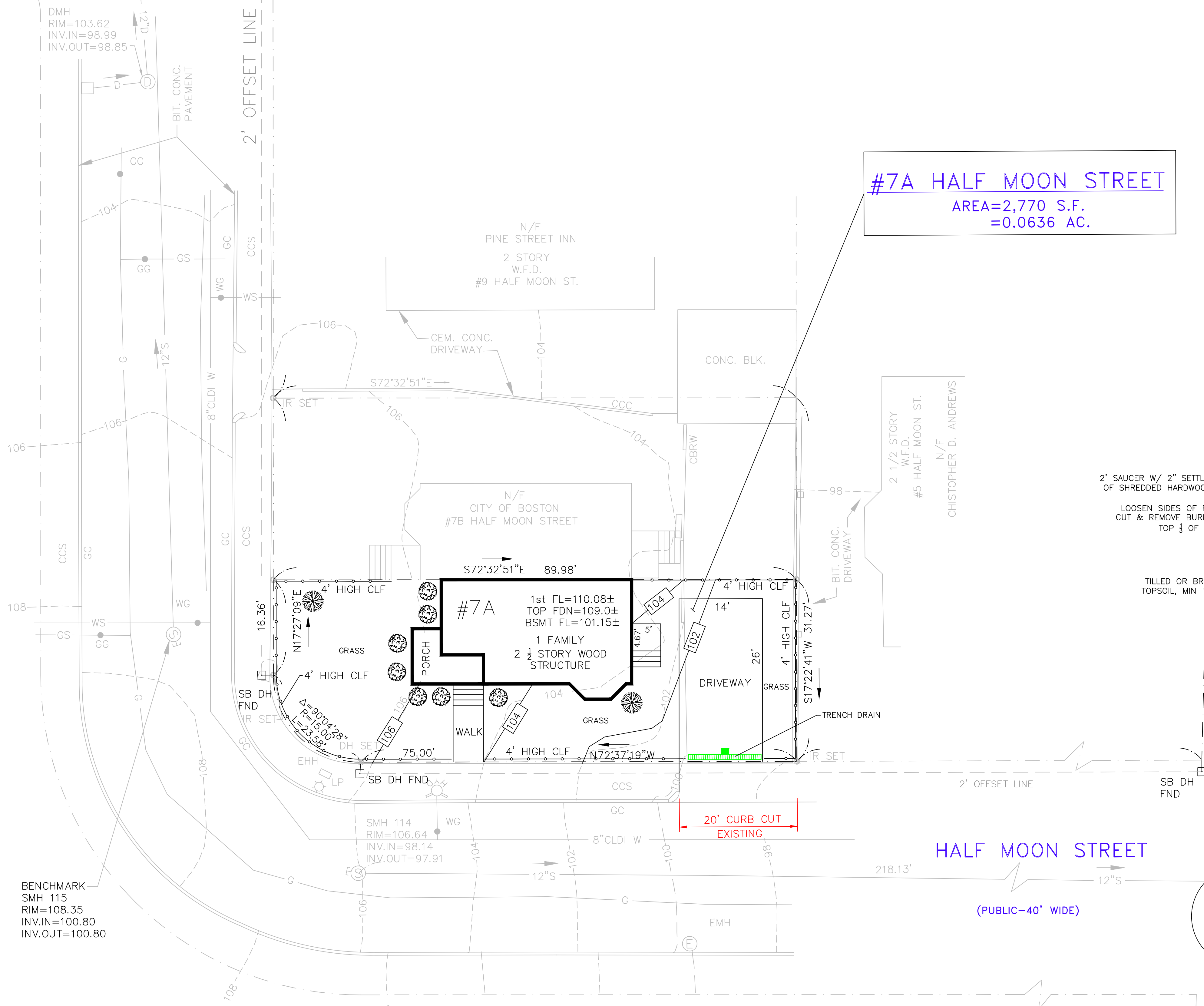


PLAN VIEW



TREE PLANTING DETAIL (2" CALIPER)
"NTS"

#7A HALF MOON STREET
AREA=2,770 S.F.
=0.0636 AC.



MAGNOLIA STREET
(PUBLIC-40' WIDE)

OLEANDER STREET
(PUBLIC-40' WIDE)

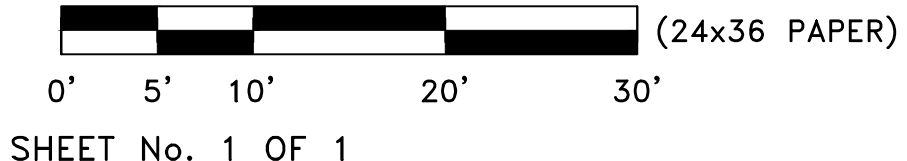
CONTACT:
KENDRA ROE
KRG REALTY CORP
58 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565

ASSESSORS PARCEL:
#1301038000
COBUCS NUMBER:
1533238804789
ISD PERMIT NUMBER:
ERT804408
(80A834537)



LANDSCAPE PLAN
7 HALF MOON STREET
BOSTON, MASS.
(ROXBURY NEIGHBORHOOD - 02125)

SCALE: 1"=10' JULY 31, 2019
CM KIRBY ENGINEERING, PLLC
CIVIL ENGINEERING & LAND PLANNING
PO BOX 291, NORWOOD, MA 02062
PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM



REVISIONS	
1	REV PER BWSC COMMENTS 5/21/2020

BENCHMARK
SMH 115
RIM=108.35
INV.IN=100.80
INV.OUT=100.80

SMH 114
RIM=106.64
INV.IN=98.14
INV.OUT=97.91

SMH 515
RIM=81.84
INV.IN=72.93
INV.OUT=72.93

PROJECT NARRATIVE

ADDRESS: 7A HALF MOON STREET BOSTON (DORCHESTER), MA 02125 WARD 13

PARCEL NO. 1301038000

PERMIT NO. ERT804408 (80A834537)

APPLICANT: KNG REALTY CORP
KENDRA ROE
58 UNION STREET
BRIGHTON, MA 02135
(617) 549-1565

THIS HOUSE IS PART OF THE CITY OF BOSTON'S NEIGHBORHOOD HOMES INITIATIVE (NHI) AND DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT (DND) PROJECTS.

THE PROPOSED PROJECT IS A NEW SINGLE FAMILY HOME (DND TYPE E HOME).

LAND USE CODE R1

THERE ARE LAUNDRY FIXTURES IN THE BASEMENT.

FIRST FLOOR- NO BEDROOMS

SECOND FLOOR - 2 BEDROOMS

ATTIC FLOOR - 1 BEDROOM

THE SITE IS VACANT.

THE PARCEL WAS ORIGINALLY SURVEYED BY MERRIMACK ENGINEERING SERVICES, 66 PARK STREET, ANDOVER, MA 01810, IN JULY OF 2016.

PLAN NOTES

THE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL INSTRUMENT SURVEY PERFORMED BY MERRIMACK ENGINEERING SERVICES, 66 PARK STREET, ANDOVER, MA 01810, IN JULY OF 2016.

SEE CITY OF BOSTON ASSESSORS PARCEL #1301038000 FOR SITE. SITE IS KNOWN AS #7 HALF MOON STREET IN DEED BOOK #8848 PAGE #513. THE PARCEL WILL BE SUBDIVIDED INTO TWO PARCELS: #7A HALF MOON STREET AND #7B HALF MOON STREET.

REFERENCE BENCHMARK: TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS RIM OF SEWER MANHOLE 115, ELEVATION=108.35

SEE PLAN PREPARED BY CM KIRBY ENGINEERING, PLLC ENTITLED, "SUBDIVISION PLAN OF LAND, 7A-7B HALF MOON STREET IN BOSTON, MA", DATED JANUARY 19, 2018, FOR DESCRIPTION OF SUBDIVISION.

STORMWATER INFILTRATION NOTES

THE EXISTING LOT IS GRASS COVERED AND HAS NO EXISTING IMPERVIOUS AREA. THE IMPERVIOUS AREA FOR THE PROPOSED IMPROVEMENTS TO THE SITE, DRIVEWAY, WALKS, AND DWELLING IS 1093 SQUARE FEET. THE COMMISSION REQUIRES THAT THE PROPERTY HAS AN INFILTRATION SYSTEM CAPABLE OF STORING AT LEAST 1-INCH OF STORMWATER PER SQUARE FOOT OF POST-CONSTRUCTION IMPERVIOUS AREA ON THE SITE. THE PROPOSED INFILTRATION SYSTEMS MUST HAVE A COMBINED MINIMUM STORAGE CAPACITY OF 91 CUBIC FEET (680 GAL) (1093 SF x 1/12 FT = 91 CF) TO COMPLY WITH BWSC REQUIREMENTS.

THERE WILL BE (2) INFILTRATION SYSTEMS ON SITE, EACH SYSTEM WILL HAVE (2) CULTEC RECHARGER 180HD CHAMBER. THE SYSTEMS WILL COLLECT STORMWATER FROM THE DRIVEWAY AND ROOF OF THE PROPOSED STRUCTURE.

EACH SYSTEM HAS A STORMWATER STORAGE CAPACITY OF 70.7 CF WITH A COMBINED CAPACITY OF 141.4 CF (91 CF REQUIRED) OR 1057 GALLONS (680 GALLONS REQUIRED). THE SYSTEMS WILL PROVIDE 1.55 INCHES OF STORAGE PER SF OF PROPOSED IMPERVIOUS AREA. SEE SHEET 2 OF 2 FOR ADDITIONAL NOTES AND DETAILS OF THE PROPOSED INFILTRATION SYSTEMS.

SEWAGE FLOW DISCHARGE CAPACITIES:

THE HOUSE IS A SINGLE FAMILY HOME w/ 3 BEDROOMS

ESTIMATED SEWAGE FLOW IS 330 GALLONS / DAY (110/BEDROOM)

THERE ARE LAUNDRY FIXTURES IN THE BASEMENT

LAND USE CODE R1

GENERAL NOTES

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. THE BOSTON WATER AND SEWER COMMISSION IS NOT PART OF DIG SAFE THEREFORE, FIELD LOCATIONS OF WATER AND SEWER LINES MUST BE MARKED BY THE COMMISSION. CALL 1-617-330-9400 FORTY EIGHT HOURS IN ADVANCE OF ANY EXCAVATION.

THE EXISTING WATER AND SEWER SERVICE LOCATIONS SHOWN ARE FROM AVAILABLE BWSC RECORD DATA AND ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE THE EXISTING WATER AND SEWER LINES. IF THE EXISTING SEWER SERVICE IS TO BE USED THE CONTRACTOR SHALL VISUALLY INSPECT THE LINE BY EXCAVATION AND OR BY VIDEO OF THE PIPE AS REQUIRED BY THE COMMISSION.

THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

THE CONTRACTOR SHALL SUPPLY THE COPPER SERVICE AND SHALL PERFORM THE TAP AS PART OF HIS CONTRACT.

NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

IT IS RECOMMENDED THAT DIGGING WITHIN ONE FOOT OF THE MAIN BE DONE WITH HAND TOOLS ONLY.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED AS-BUILT PLANS.

THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES TO PREVENT IMPACT ON WATER BODIES, BORDERING VEGETATED WETLANDS, CITY DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.

ANY PROPOSED GAS, ELECTRIC, STEAM, TELEPHONE, CABLE OR OTHER UTILITY LINES ARE TO BE LOCATED AND SIZED BY OTHERS. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.

ALL NEW CONSTRUCTION WILL REQUIRE A ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTIONAL SERVICES DEPARTMENT BEFORE FILING FOR A GENERAL SERVICE APPLICATION.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

THERE ARE LAUNDRY PLUMBING FIXTURES IN THE BASEMENT. A BACKWATER VALVE (SEE DETAIL) WILL BE INSTALLED IN THE BASEMENT.

IT IS REQUIRED THAT A DYE TEST WILL BE PERFORMED BY THE BOSTON WATER AND SEWER COMMISSION INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED 5' TO 6' BELOW GRADE. WHERE REQUIRED THRUST RESTRAINTS SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BWSC. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES TO PROTECT WORKERS, THE PUBLIC AND ALL PROPERTIES DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF LABOR AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

BWSC USE ONLY

BOSTON WATER AND SEWER COMMISSION
LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

Reviewed and approved as to proposed connection(s) to existing Water and Sewer facilities as shown, for issue of Building Permit Only. Additional Permits must be obtained from B.W.S.C. prior to connection to B.W.S.C. facilities. Site Plans are valid for a period of one (1) year from date of approval.

JOHN P. SULLIVAN, JR. P.E.
Chief Engineer

BACKWATER VALVE INSTALLATION

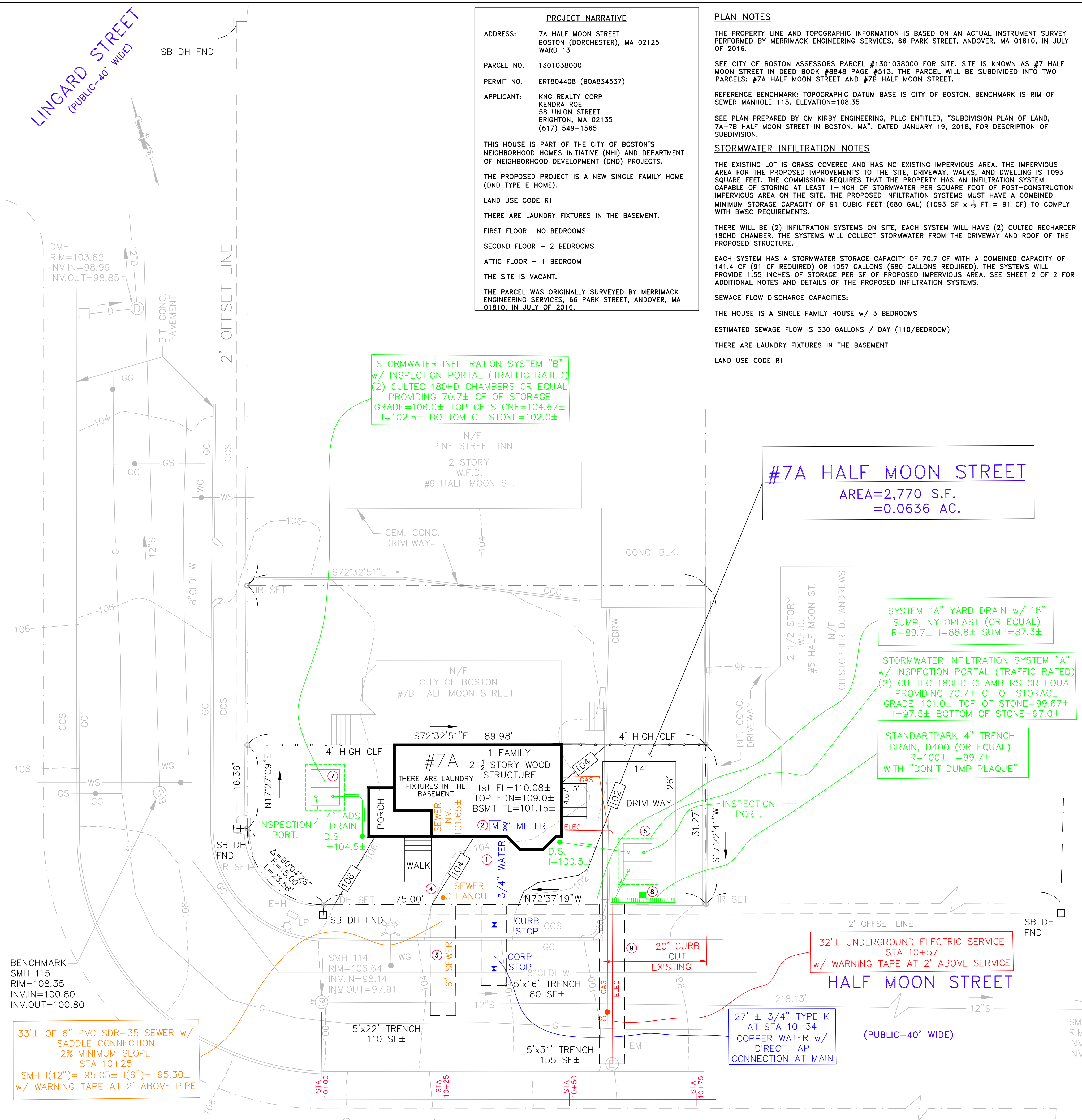
APPROVAL: _____ DATE: _____

ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

BWSC INSPECTIONS

7A HALF MOON STREET	BWSC ACCOUNT No. NEW
G.S.A. No. _____	WATER METER No. _____
ASSESSORS PARCEL No. #1301038000	

- 3/4" WATER INSPECTOR _____ DATE _____
- 5/8" WATER METER INSPECTOR _____ DATE _____
- 6" SEWER INSPECTOR _____ DATE _____
- SEWER CLEANOUT INSPECTOR _____ DATE _____
- DYE TEST (SEWER) INSPECTOR _____ DATE _____
- INFILTRATION SYSTEM A (TWO CULTEC 180HD CHAMBERS) INSPECTOR _____ DATE _____
- INFILTRATION SYSTEM B (TWO CULTEC 180HD CHAMBERS) INSPECTOR _____ DATE _____
- BWSC "DON'T DUMP" PLAQUE ON-SITE INSPECTOR _____ DATE _____
- AS-BUILT FEE INSPECTOR _____ DATE _____



#7A HALF MOON STREET
AREA=2,770 S.F.
=0.0636 AC.

SYSTEM "A" YARD DRAIN w/ 18" SUMP, NYLOPLAST (OR EQUAL)
R=89.7± I=88.8± SUMP=87.3±

STORMWATER INFILTRATION SYSTEM "A" w/ INSPECTION PORTAL (TRAFFIC RATED)
(2) CULTEC 180HD CHAMBERS OR EQUAL PROVIDING 70.7± CF OF STORAGE
GRADE=101.0± TOP OF STONE=99.67± I=97.5± BOTTOM OF STONE=97.0±

STANDARTPARK 4" TRENCH DRAIN, D400 (OR EQUAL)
R=100± I=99.7± WITH "DON'T DUMP PLAQUE"

33"± OF 6" PVC SDR-35 SEWER w/ SADDLE CONNECTION
2% MINIMUM SLOPE
STA 10+25

SMH I(12")= 95.05± I(6")= 95.30± w/ WARNING TAPE AT 2' ABOVE PIPE

32"± UNDERGROUND ELECTRIC SERVICE
STA 10+57
w/ WARNING TAPE AT 2' ABOVE SERVICE

27" ± 3/4" TYPE K AT STA 10+34
COPPER WATER w/ DIRECT TAP CONNECTION AT MAIN

CONTACT:
KENDRA ROE
KNG REALTY CORP
58 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565

ASSESSORS PARCEL:
#1301038000

COBUCS NUMBER:
1533238804789

ISD PERMIT NUMBER:
ERT804408 (80A834537)

LEGEND

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▽ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HYD)
- SPLASH BLOCK
- LIGHT POLE (LP)
- PROPOSED LAMP POST (LAMP)
- UTILITY POLE (UP)
- UTILITY POLE w/ LIGHT (UP/LP)
- HAND HOLE (HH)
- GC VERTICAL GRANITE CURB (GC)
- SGE SLOPED GRANITE EDGING (SGE)
- BB BITUMINOUS CONCRETE BERM (BB)
- CCB CAPE COD BERM (CCB)
- CC PRECAST CONCRETE CURB (CC)
- EP EDGE OF PAVEMENT (EP)
- SIGN

REVISIONS

2/14/2019	REVISED PER BWSC COMMENTS 11/21/18
5/21/2020	REVISED PER BWSC COMMENTS

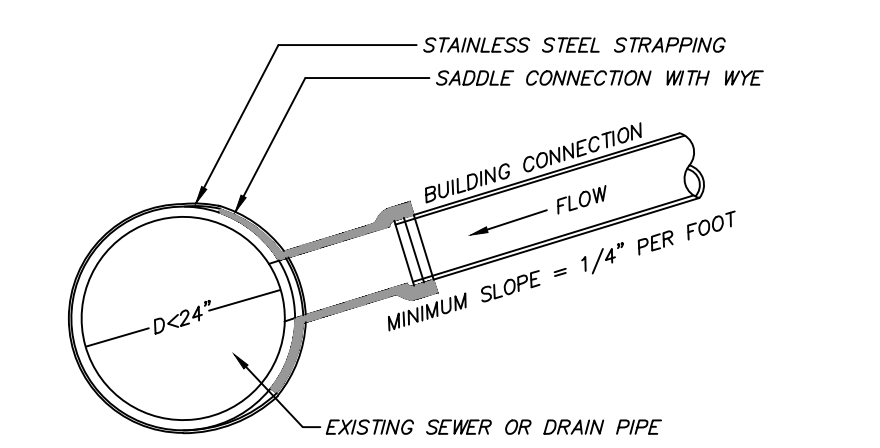
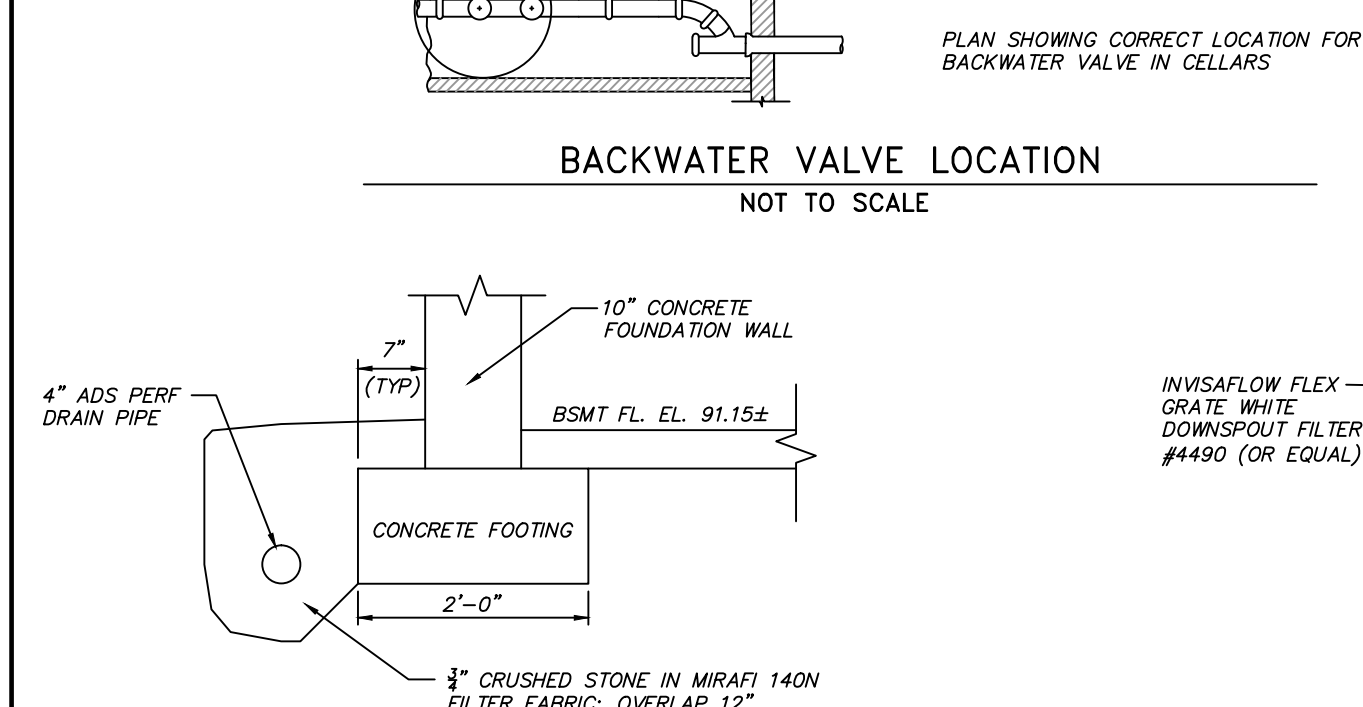
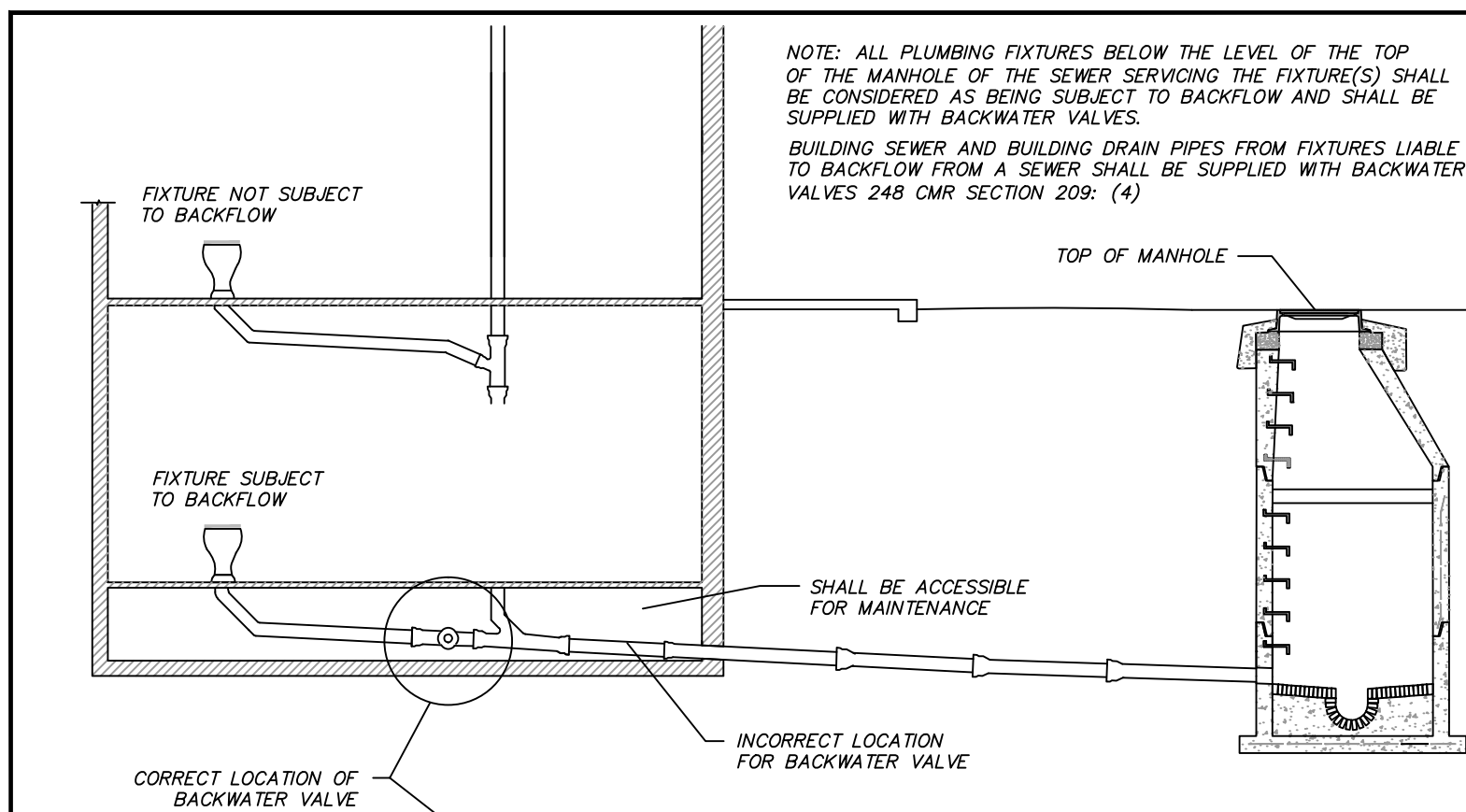
BWSC SITE PLAN No. 18575
7A HALF MOON STREET
BOSTON, MASS.
(ROXBURY NEIGHBORHOOD - 02125)

SCALE: 1"=10' JULY 26, 2019

CM KIRBY ENGINEERING, PLLC
CIVIL ENGINEERING & LAND PLANNING
PO BOX 291, NORWOOD, MA 02062
PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM

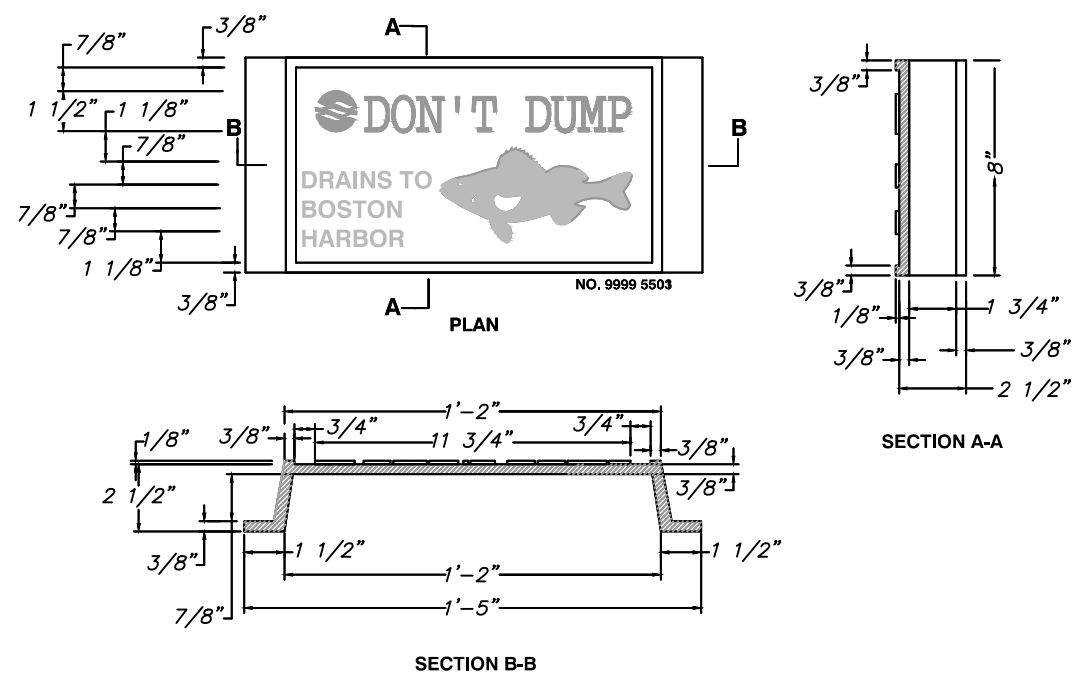
(24x36 PAPER)

SHEET No. 1 OF 2 18575-01



- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

SANITARY SEWER SADDLE CONNECTION DETAIL
NOT TO SCALE



COBUCS APPROVAL:

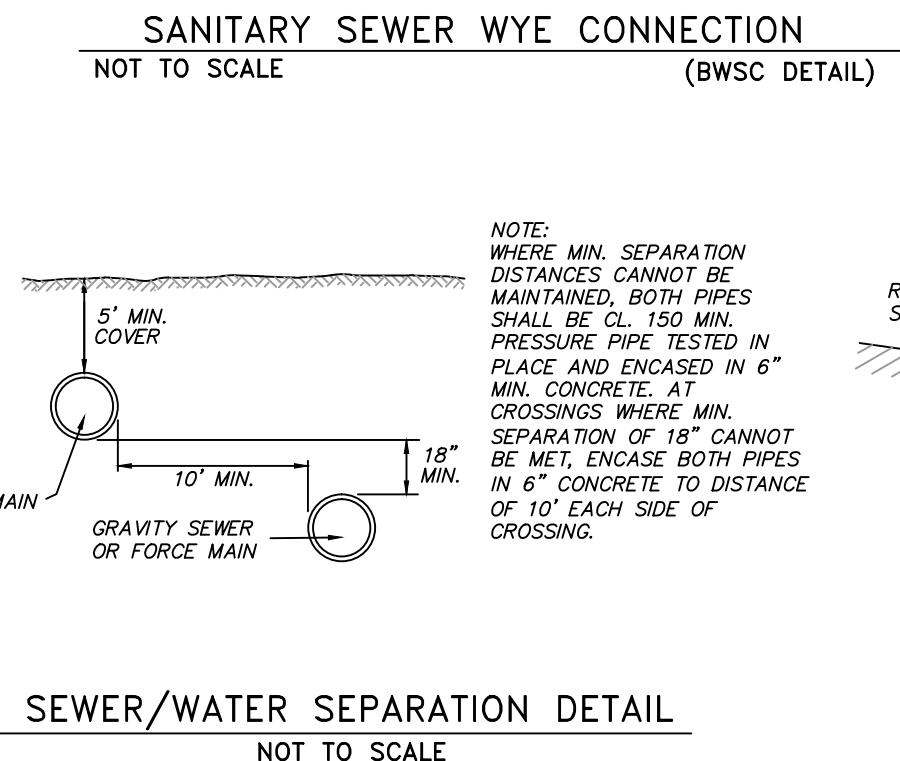
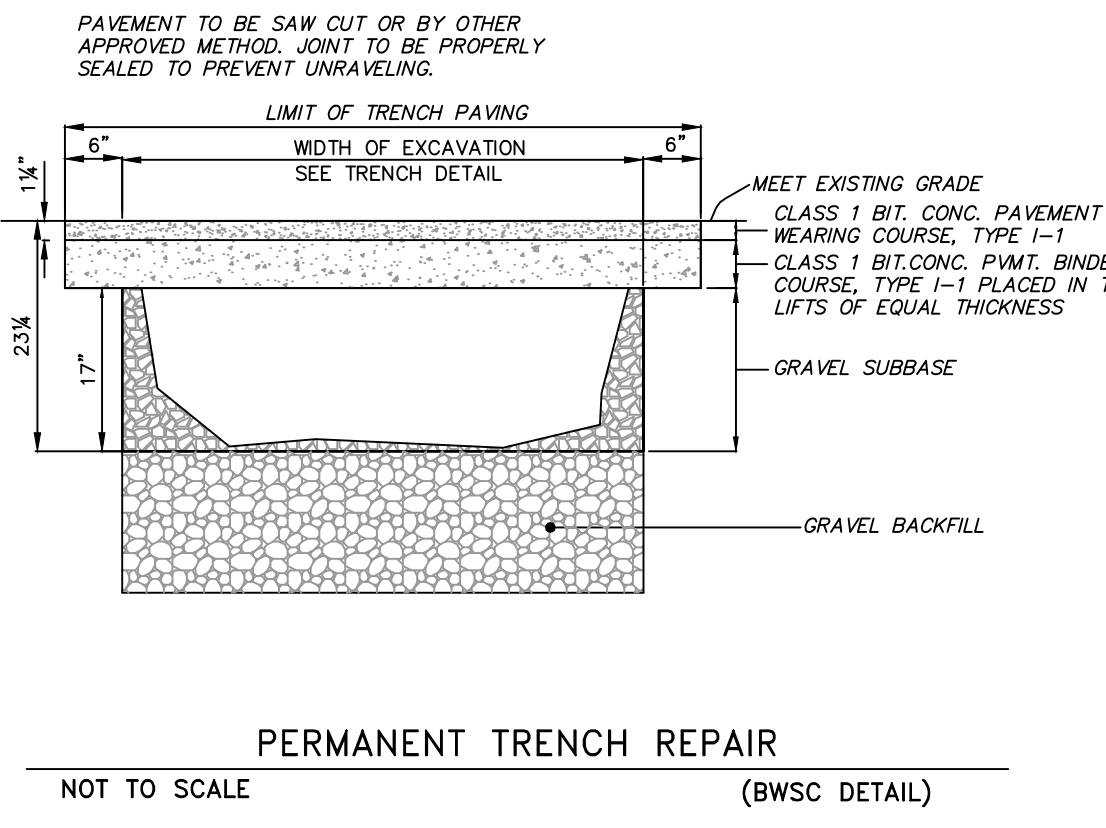
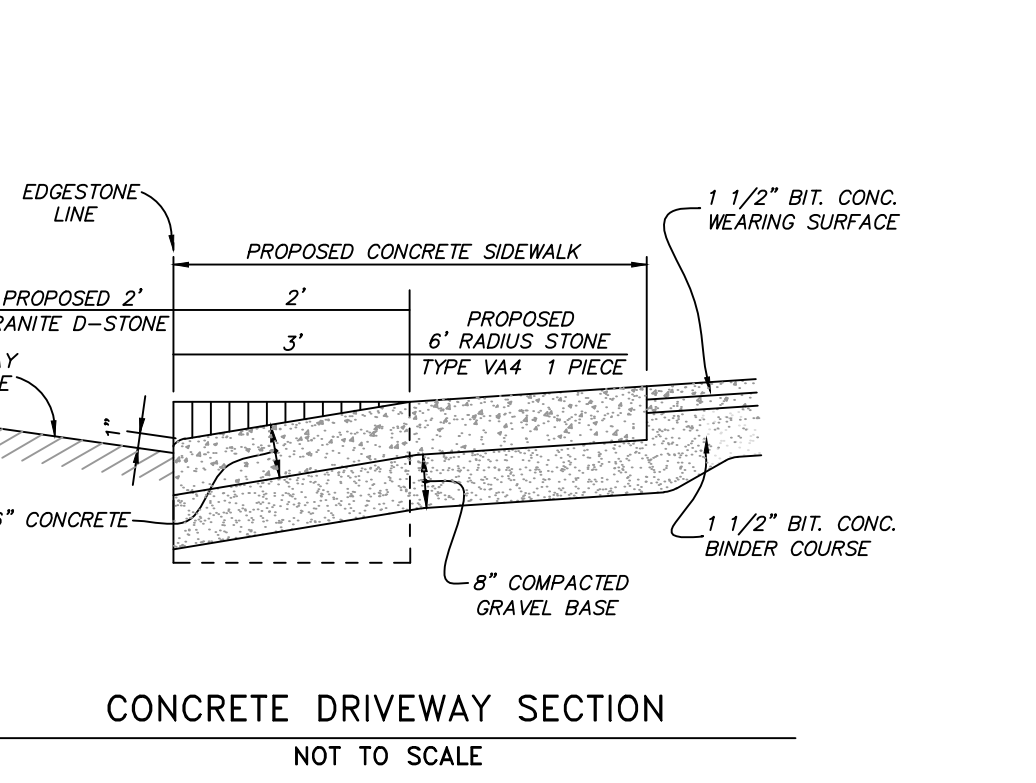
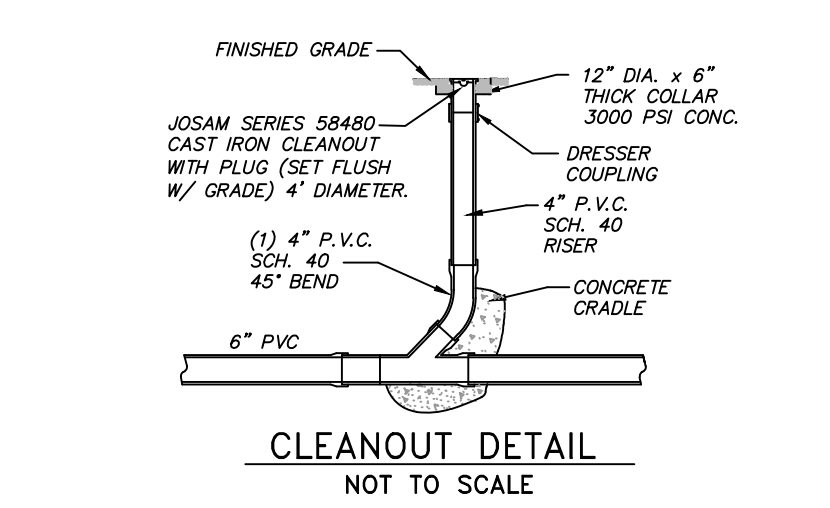
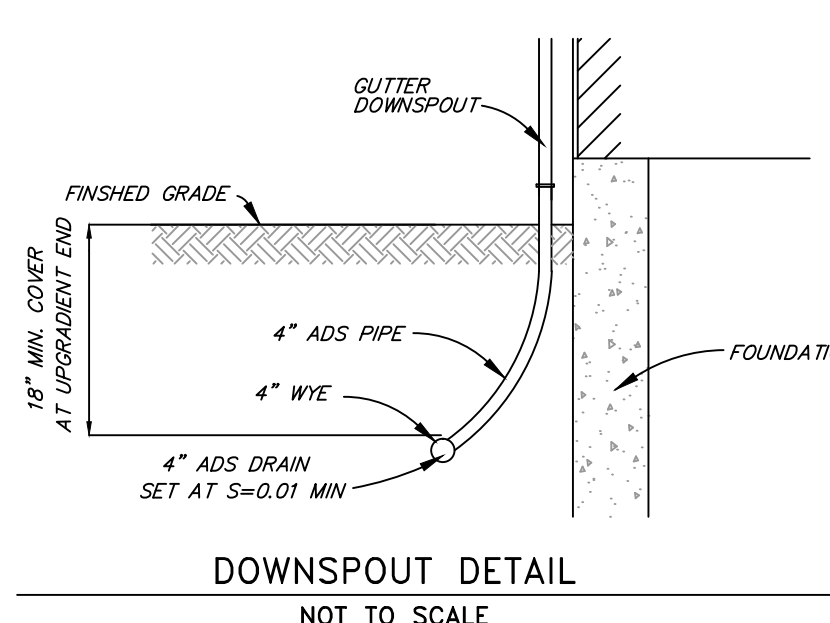
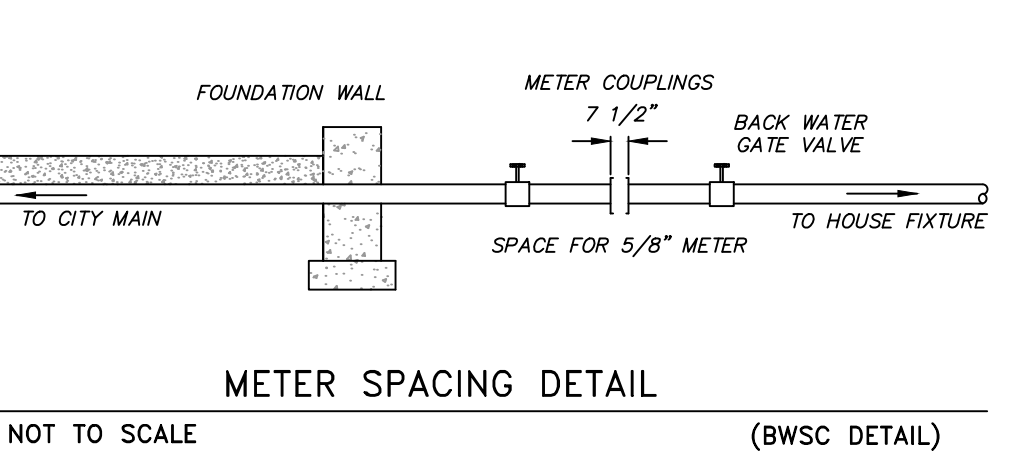
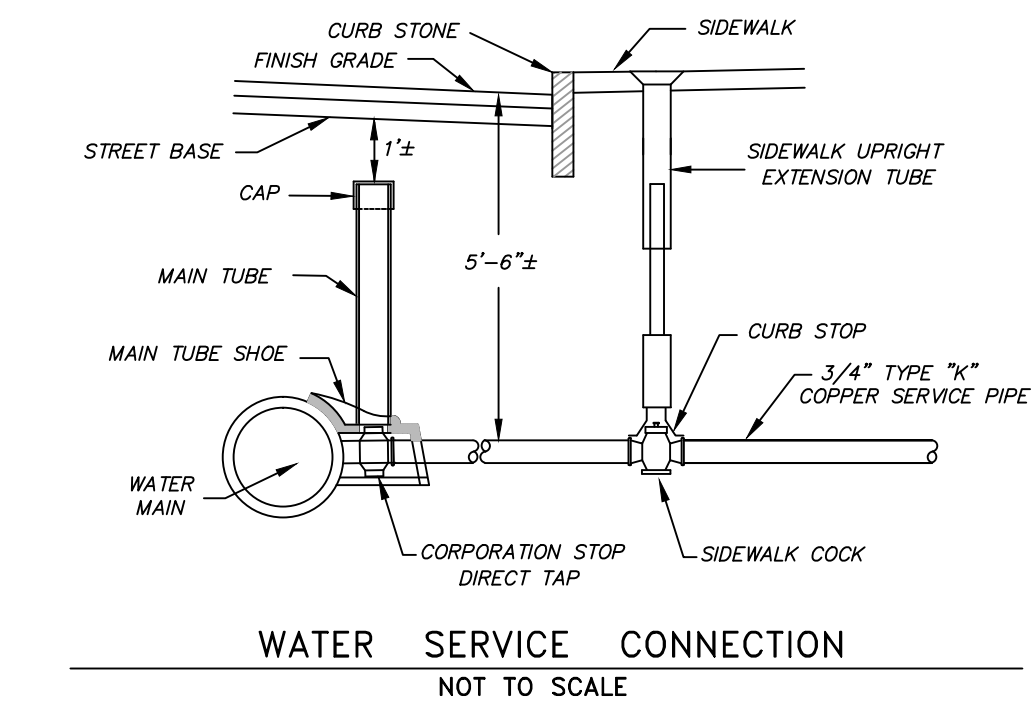
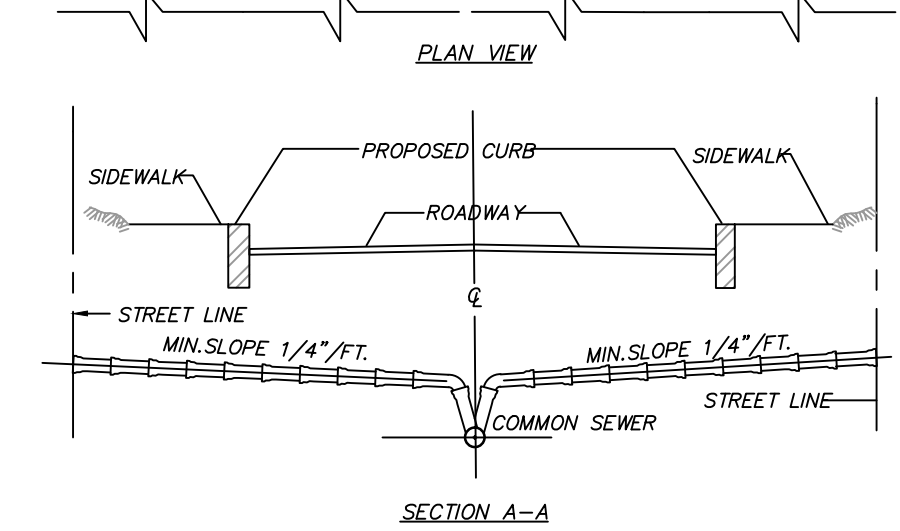
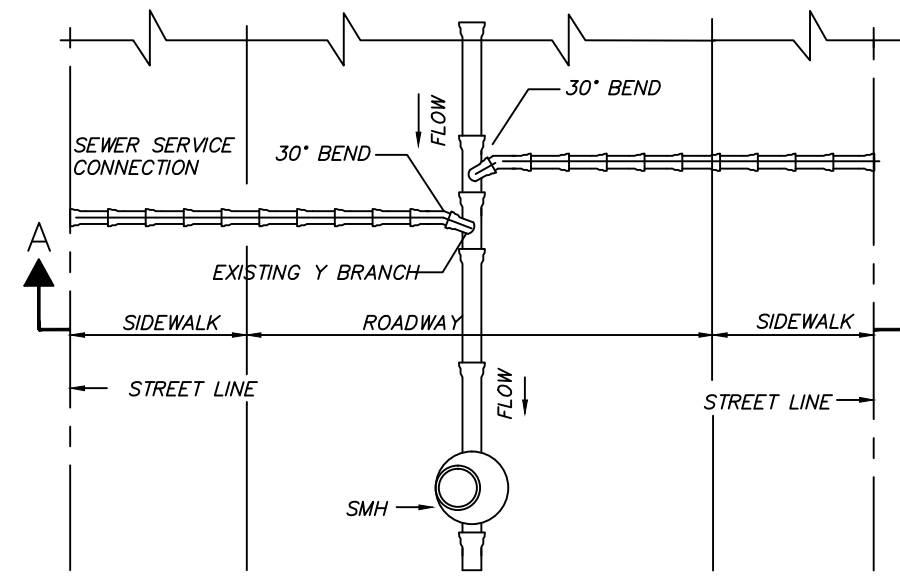
NOTE 7 HALF MOON IS NOW 7A HALF MOON

C M Kirby Engineering CAPITAL PLAN

Completed: 7 Half Moon Ke

Street	From	To	Lo	To	Hi	Type	Begin	End	Progress
HALF MOON ST	MAGNOLIA ST	STA	LINGARD ST	END	Utility Connections		09/15/2018	11/15/2019	Proposed

RECORD #1533238745618
Reference: 7 Half Moon_Kendra Roe (617) 549-1565
Address: 7 Half Moon St
Length: 20'
Added: on August 2, 2018 at 7:39 PM by CKIRBY
Last edited: on August 2, 2018 at 7:39 PM by CKIRBY
Conflict:
Justification:

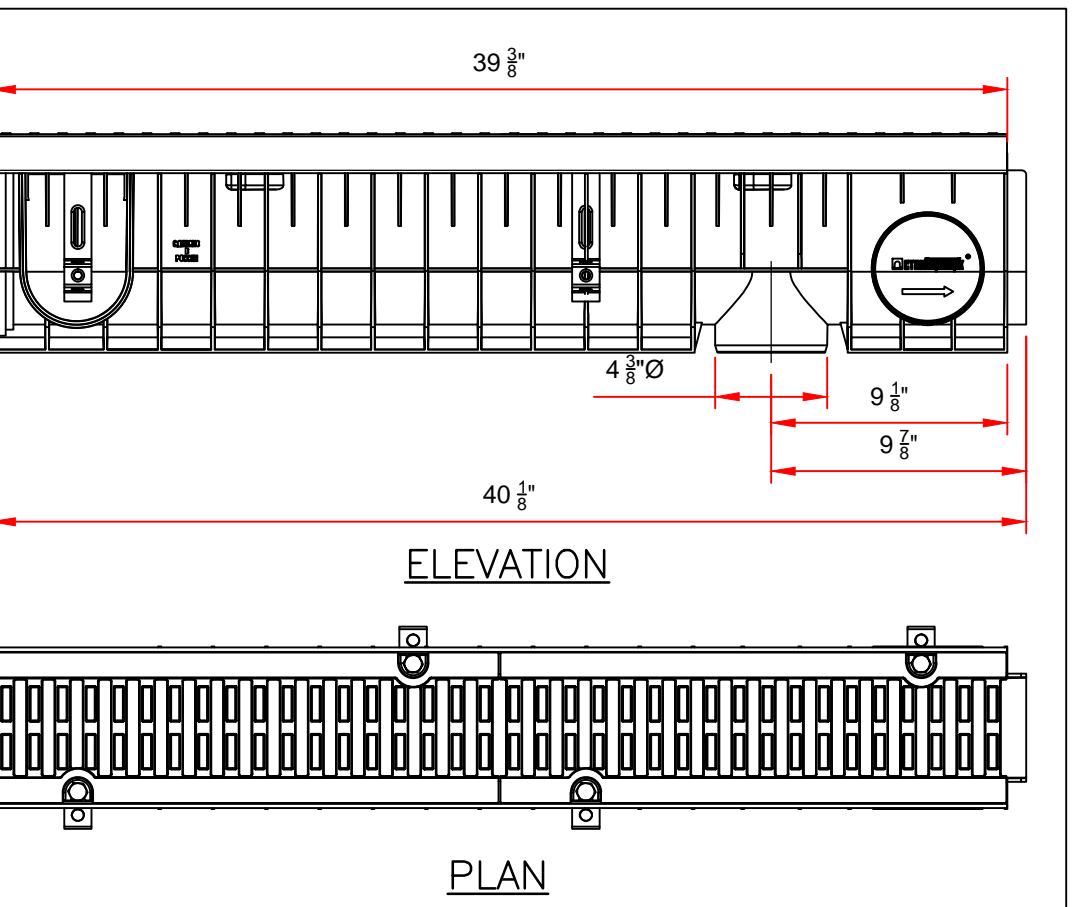
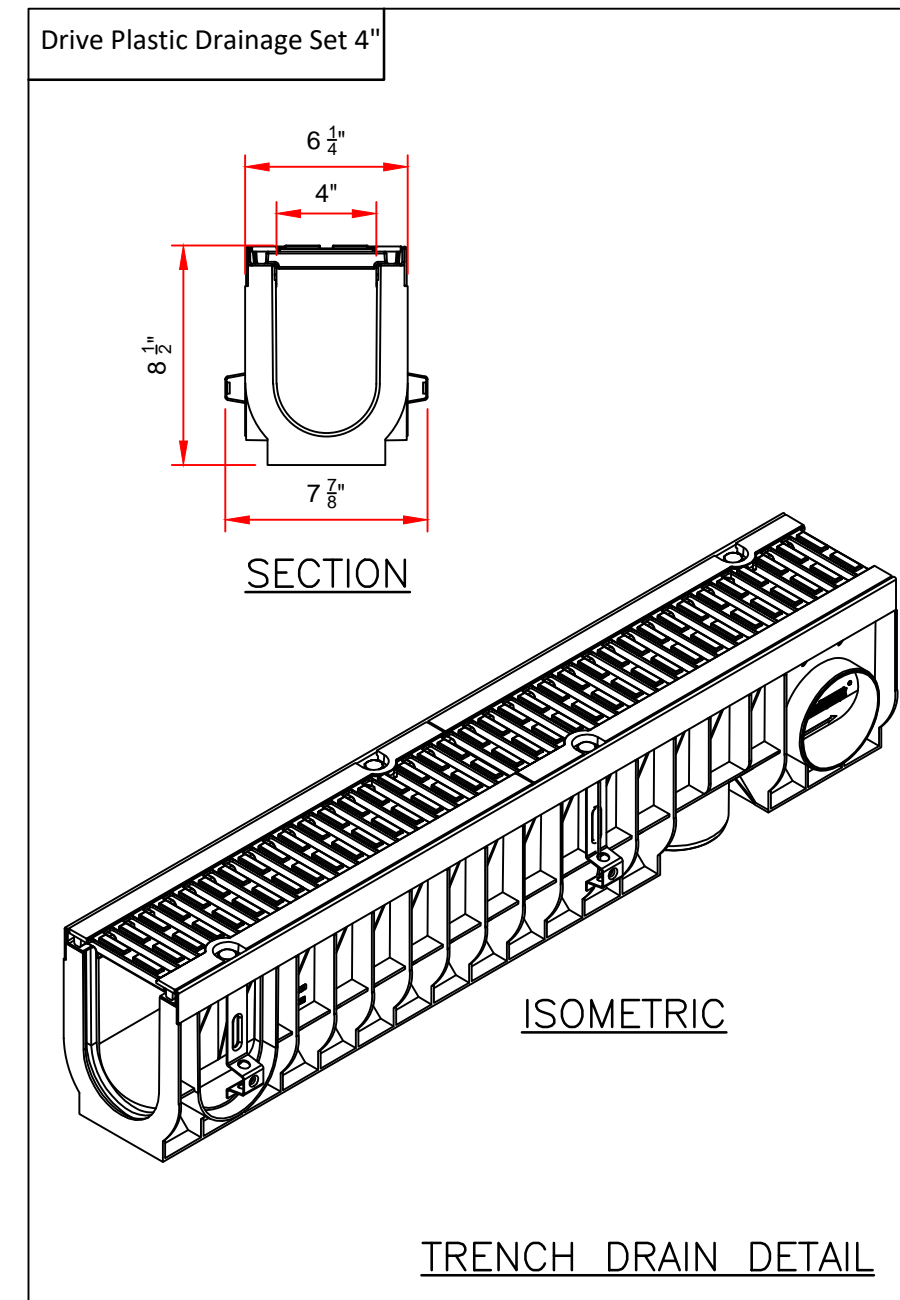


CULTEC Recharger® 180HD Stormwater Chamber

The Recharger® 180HD is a 20.5" (518 mm) tall, medium chamber and is typically used for installations with depth restrictions or when a larger infiltration area is required. The Recharger® 180HD has the side portal internal manifold feature. HVLV FC-24 Feed Connectors are inserted into the side ports to create the internal manifold.

Size (L x W x H)	2.33' x 3.0' x 23.5"
Installed Length	6.33'
Length Adjustment per Run	1.33'
Chamber Storage	0.20 m³
20.5" Inlet	0.20 m³
18" Inlet	0.20 m³
15" Inlet	0.20 m³
12" Inlet	0.20 m³
9" Inlet	0.20 m³
6" Inlet	0.20 m³
4" Inlet	0.20 m³
3" Inlet	0.20 m³
2" Inlet	0.20 m³
1.5" Inlet	0.20 m³
1" Inlet	0.20 m³
0.75" Inlet	0.20 m³
0.5" Inlet	0.20 m³
0.25" Inlet	0.20 m³

For more information, contact CULTEC at (283) 775-4618 or visit www.cultec.com.



1. Area of water intake slots 66.6 sq in
2. Water flow capacity 224.1 GPM (Slope 0.3%) - 1293.9 GPM (Slope 10%)

Rev	Sheet	Doc. No.	Sign.	Date	Let.	Weight (lb)
	30.37			04.08.18		

NP-PCM 080434
Load Classes A-D
Plastic, Ductile Cast Iron, Steel

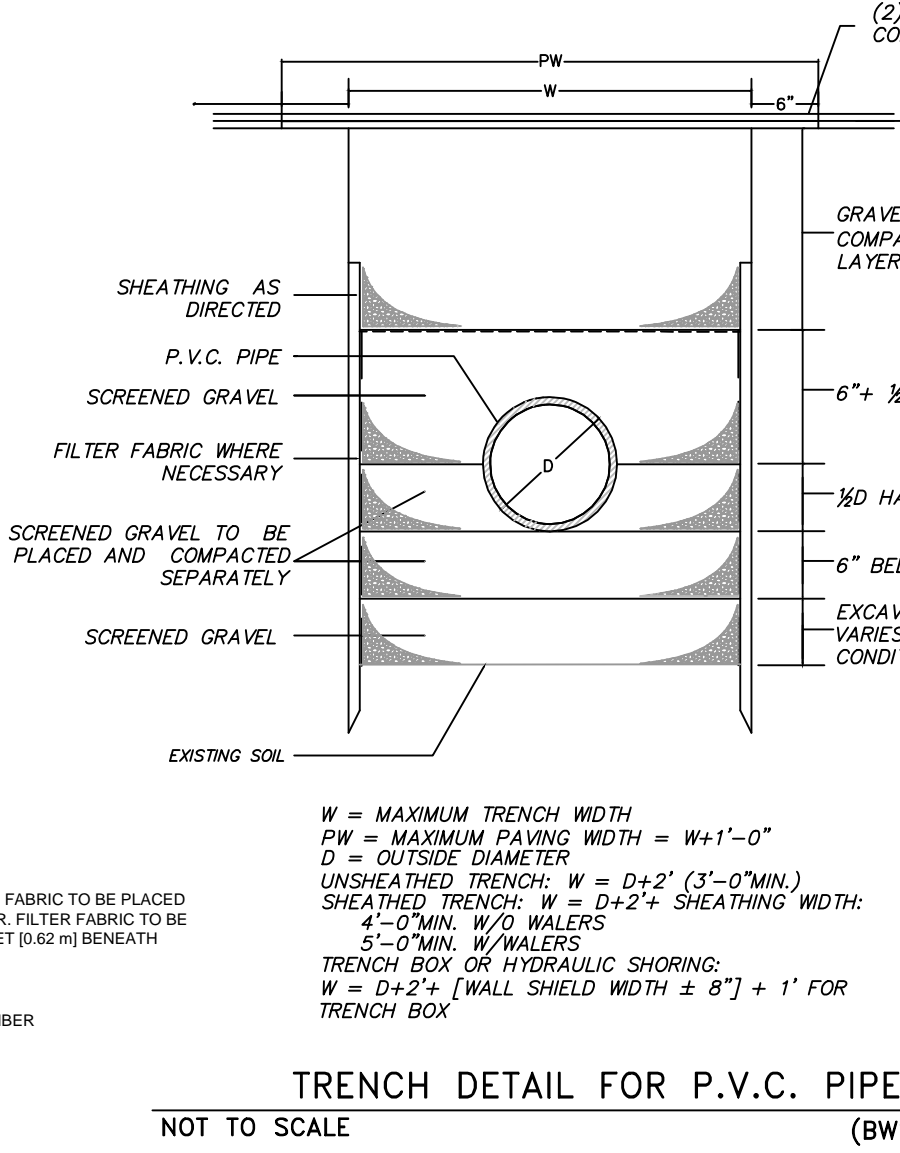
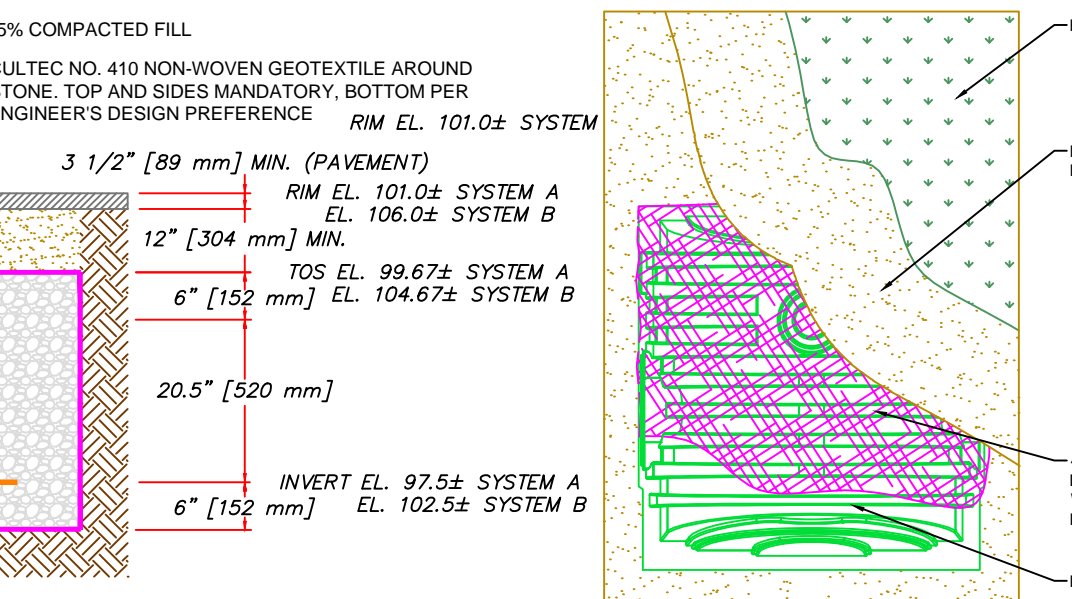
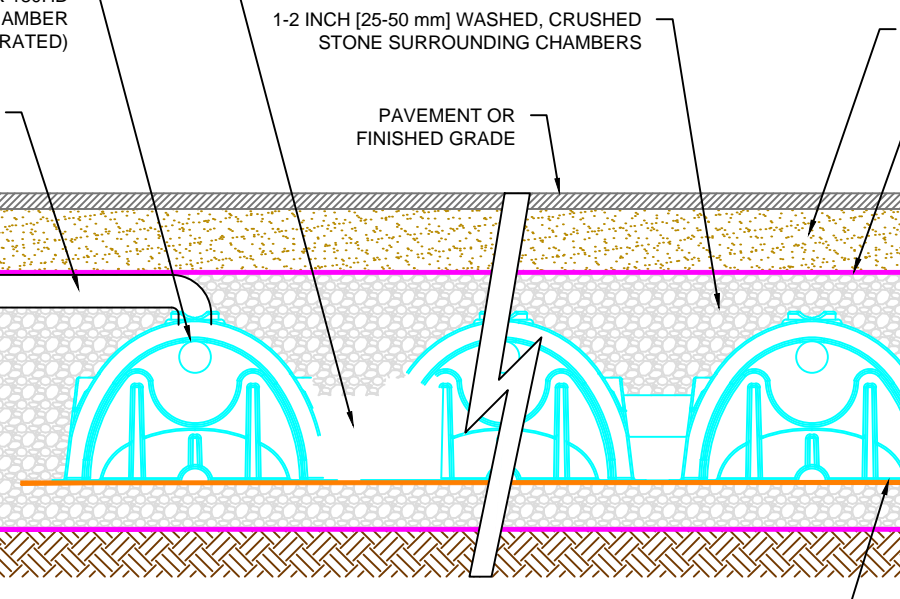
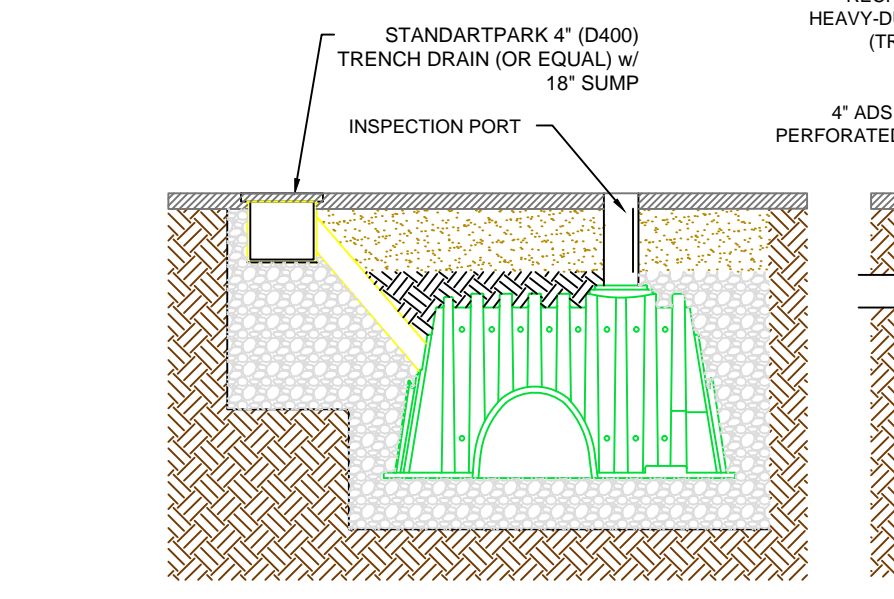
STORAGE CAPACITY CALCULATIONS FOR INFILTRATION SYSTEM:

THE 4" INLET PIPE TO THE CHAMBER SHALL ENTER THE TOP OF THE CHAMBER TO TAKE ADVANTAGE OF 100% OF THE CHAMBERS CAPACITY
SYSTEM CAPACITY = 35.37 FT³ PER CHAMBER w/ 6" STONE

(2) CHAMBERS = 2 * 35.37 FT³ = 70.7 FT³ OF STORAGE CAPACITY

91 CF OF STORAGE REQUIRED (SEE SHEET 1)

(2) SYSTEMS WITH (2) CHAMBERS (EACH) PROVIDED:
70.7 CF * 2 SYSTEMS = 141.4 CF OF STORAGE PROVIDED > 91 CF...OK



THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE OWNER. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTION ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS IS ALSO THE RESPONSIBILITY OF THE OWNER.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE FIELD NOTES WITH TIES TO THE LOCATION AND ELEVATIONS OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AVAILABLE TO RECORD THIS INFORMATION. THE CONTRACTOR SHALL PROVIDE THE FIELD NOTES TO THE PROJECT ENGINEER OR LAND SURVEYOR TO BE USED FOR THE PREPARATION OF ANY REQUIRED AS-BUILT PLANS.

THE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION IS REQUIRED WHERE A SEWER LINE PASSES A WATER OR DRAIN LINE. OTHERWISE, THE WATER, SEWER AND DRAIN LINES SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 10 FEET FROM THE CROSSING POINT.

NEW WATER LINES SHALL BE A MINIMUM OF TEN FEET AWAY FROM ALL SEWER LINES, EXISTING OR PROPOSED.

THE WATER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BOSTON WATER AND SEWER COMMISSION. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS OBTAINED BY THE CONTRACTOR. UNLESS DIRECTED OTHERWISE, ALL WATER LINES SHALL BE INSTALLED 5' TO 6' BELOW GRADE. WHERE REQUIRED THRUST RESTRAINTS SHALL BE INSTALLED PER THE COMMISSION'S STANDARD DETAILS. THE ACTUAL METHOD OF RESTRAINT WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS.

CONTACT:
KENDRA ROE
KNG REALTY CORP
58 UNION STREET
BRIGHTON, MA 02135
PHONE: 617-549-1565



ASSESSORS PARCEL:
#1301038000
COBUCS NUMBER:
1533238804789
ISD PERMIT NUMBER:
ERT804408
(BOA843537)

REVISIONS	
2/14/2019	REVISED PER BWSC COMMENTS 11/21/18
5/21/2020	REVISED PER BWSC COMMENTS

BWSC SITE PLAN No. 18575
7A HALF MOON STREET
BOSTON, MASS.
(ROXBURY NEIGHBORHOOD - 02125)

SCALE: NTS
JULY 26, 2019

CM KIRBY ENGINEERING, PLLC
CIVIL ENGINEERING & LAND PLANNING
PO BOX 291, NORWOOD, MA 02062
PHONE: 617-872-5553 EMAIL CKIRBY83@GMAIL.COM

(24x36 PAPER)

NEW SINGLE FAMILY HOME - ATTACHED DUPLEX DND - TYPE E

**7A HALF MOON STREET
BOSTON, MA**

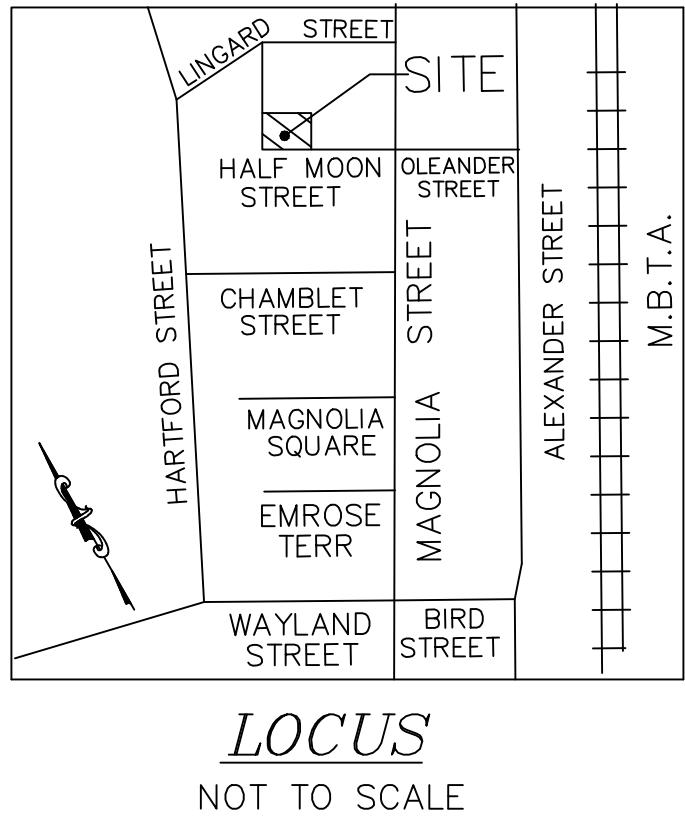
**ERT804408 (BOA834537)
COBUCS # 1533238804789
BWSC SITE PLAN # 18575**

DESCRIPTION OF THE WORK:

THE WORK ENTAILS INSTALLATION OF A NEW DND - TYPE "E" STRUCTURE

NOTES:

- 1. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED.
- 2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, 9th EDITION.
- 4. DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- 5. DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED OR DUPLICATED IN ANY MANNER.
- 6. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND GENERAL PUBLIC FROM INJURY & ADJACENT PROPERTY FROM DAMAGE.
- 7. THE DRAWINGS ARE PREPARED FOR THE PURPOSE OF PERMIT APPLICATION ONLY.
- 8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IN CASE OF ANY OR ALL DEVIATIONS FOR THESE DRAWINGS. THE ENGINEER SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS-BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ENGINEERS CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.



CODE INFORMATION:

BUILDING CODE: MA STATE BUILDING CODE, 9th EDITION
2015 IRC w/ MA AMENDMENTS

USE GROUP: R2 – SINGLE FAMILY ATTACHED

CONSTRUCTION TYPE: V-B (UNPROTECTED WOOD FRAME)

FLOOR LOADS:

DESIGN LIVE LOADS AS PER TABLE (R)301.5:

COMMON AREAS (OTHER THAN SLEEPING): 40 PSF
SLEEPING AREAS : 30 PSF
RESIDENTIAL ATTICS w/ FIXED STAIRS: 30 PSF
RESIDENTIAL ATTICS(STORAGE): 20 PSF
RESIDENTIAL ATTICS(NO STORAGE): 10 PSF
DECKS: 40 PSF

SNOW LOADING:

GROUND SNOW LOAD PER TABLE (R)301.2(4):
GROUND SNOW LOAD, P_g = 40 PSF

WIND LOADING:

WIND LOAD PER TABLE (R)301.2(4):
BASIC WIND SPEED (ULTIMATE), V_{ult} =128 PSF
BASIC WIND SPEED (ALLOWABLE), V_{asd} = 100 PSF
(WIND SPEED CONVERSION PER TABLE (R)301.2.1.3)

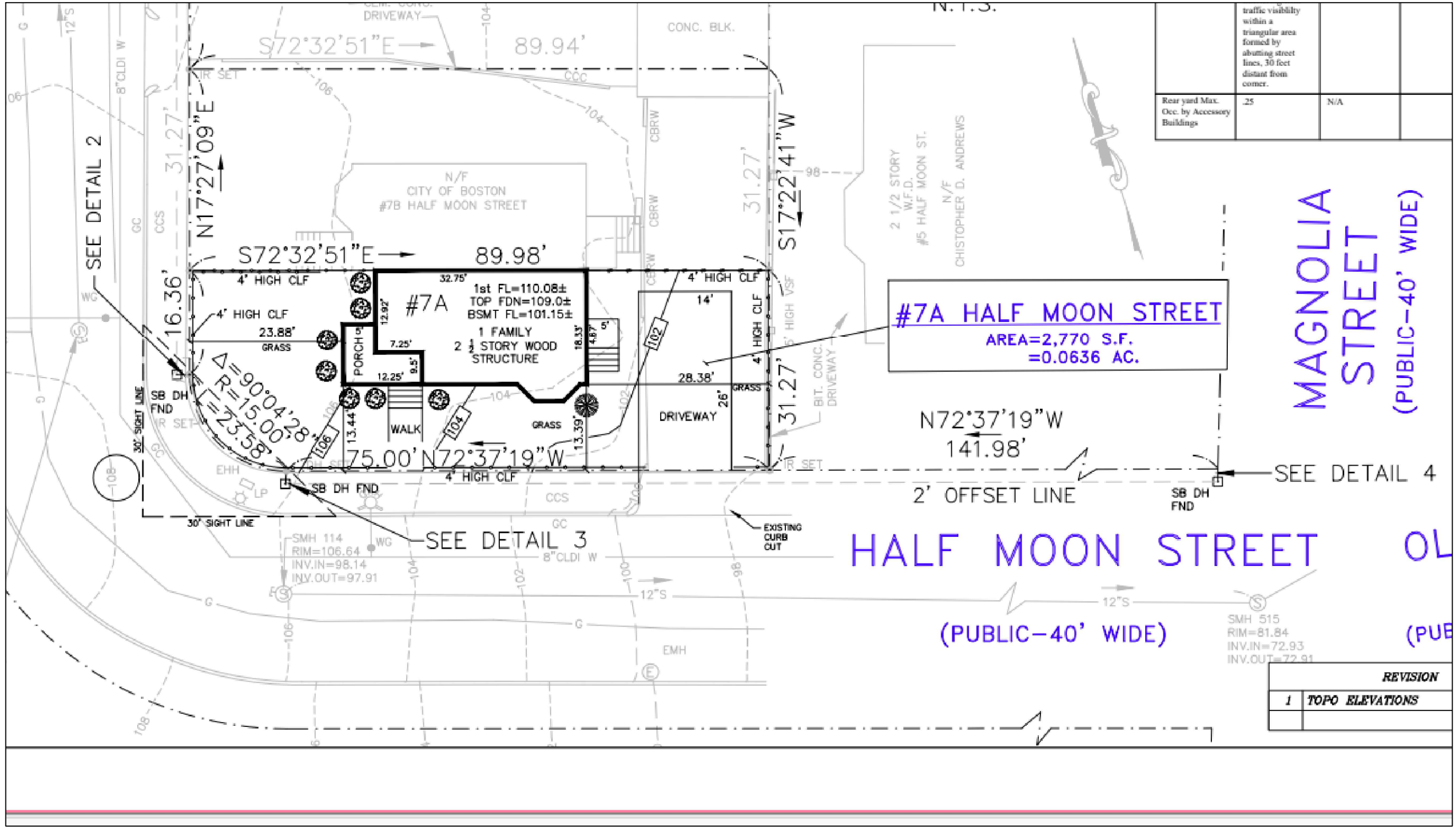
LIST OF DRAWINGS:

- A-0.0 COVER PAGE/SITE PLAN
- A-1.0 BASEMENT & FIRST FLOOR PLANS
- A-1.1 SECOND & ATTIC FLOOR PLANS
- A-1.2 ROOF PLAN
- A-2.0 FRONT & LEFT ELEVATIONS
- A-2.1 REAR & RIGHT ELEVATIONS
- S-1.0 FOUNDATION & FIRST FLOOR FRAMING PLANS
- S-1.1 SECOND FLOOR & ATTIC FRAMING PLANS
- S-1.2 ROOF FRAMING PLAN
- E-1.0 ELECTRICAL - GENERAL NOTES
- E-1.1 BASEMENT & FIRST FLOOR ELECTRICAL PLANS
- E-1.2 SECOND FLOOR & THIRD FLOOR ELECTRICAL PLANS
- T-1.0 SYMBOLS, SYSTEMS, ABBREVIATIONS & GENERAL NOTES
- T-1.1 GENERAL NOTES
- G-1.1 KITCHEN ELEVATION AND DETAILS
- G-2.0 DOOR SCHEDULE, DOOR / WINDOW DETAILS
- G-3.0 ROOM FINISH SCHEDULE & PARTITION TYPES
- G-4.0 WALL SECTIONS
- G-4.1 WALL SECTIONS
- G-5.0 TYPICAL DETAILS
- G-5.1 TYPICAL DETAILS

SITE PLAN NOTES:

- 1. SEE CITY OF BOSTON ASSESSORS PARCEL #1301038000 FOR SITE. SITE IS KNOWN AS #7 HALF MOON STREET IN DEED BOOK #8848 PAGE #513. THE PARCEL WILL BE SUBDIVIDED INTO TWO PARCELS: #7 HALF MOON STREET AND #7A HALF MOON STREET.
- 2. REFERENCE BENCHMARK: TOPOGRAPHIC DATUM BASE IS CITY OF BOSTON. BENCHMARK IS RIM OF SEWER MANHOLE 115, ELEVATION=108.35
- 3. ZONE DISTRICT: ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT: 3F-5000
SUBDISTRICT TYPE: THREE-FAMILY RESIDENTIAL
ZONING OVERLAY DISTRICT: NEIGHBORHOOD DESIGN REVIEW

Zoning Table 7A HALF MOON STREET - 1 FAMILY (TYPE E) Zoning Tables Dimensional Requirements 3F-5000			
Dimensional Regulations	Requirements for Residential Subdistrict 3F-5000	Proposed	Comment
Lot Area, sf	2500 sf	2813 sq ft	
Lot Width, ft	50	31.27	Existing Non-conforming
Lot Frontage, ft	50	31.27	Existing Non-conforming
F/A/R (Max.)	0.8	0.58 (1625 sf ±)	
Building height (stories)	3	2.5	
Building height (feet)	35'-0"	29'-5" Grade @ Sidewalk	
Usable Open Space per Dwelling Unit	650 sf	675 sf ±	
Front Yard Depth, ft	20	20.25	
Side Yard Depth, ft	6.82	(L)-14.68 (R)-0.0	Section 50-44, Paragraph 7 - Side Yards of Certain Narrow Lots. A lot narrower than (50) feet shall have (2) inches deducted from the side yard for each foot below (50) feet. Average yard width = 31.27'. Modified side yard setback = 10' - ((50-31.27) * 0.17) = 6.82'
Rear Yard Depth, ft	24.99	28.34	Section 50-44, Paragraph 11 - Rear Yards of Certain Shallow Lots. A lot shallower than (100) feet shall have (6) inches deducted from the rear yard for each foot below (100) feet. Lot depth = 89.98'. Modified side yard setback = 30' - ((100-89.98) * 0.5) = 24.99'
Rear yard Max. Occ. by Accessory Buildings	.25	N/A	



SITE PLAN

**7A HALF MOON STREET
BOSTON, MA**

CM KIRBY ENGINEERING, PLLC
ARCHITECTS ENGINEERS
PO BOX 291 NORWOOD, MA 02062 tel. 617.872.5553

CHRISTOPHER M. KIRBY, PE
MA PE LICENSE No. 41662
EXPIRES 6/30/2020
CKIRBY83@GMAIL.COM



Stamped By: CMK
Drawn By: RWC
Checked By: CMK
Date: 02/12/2018

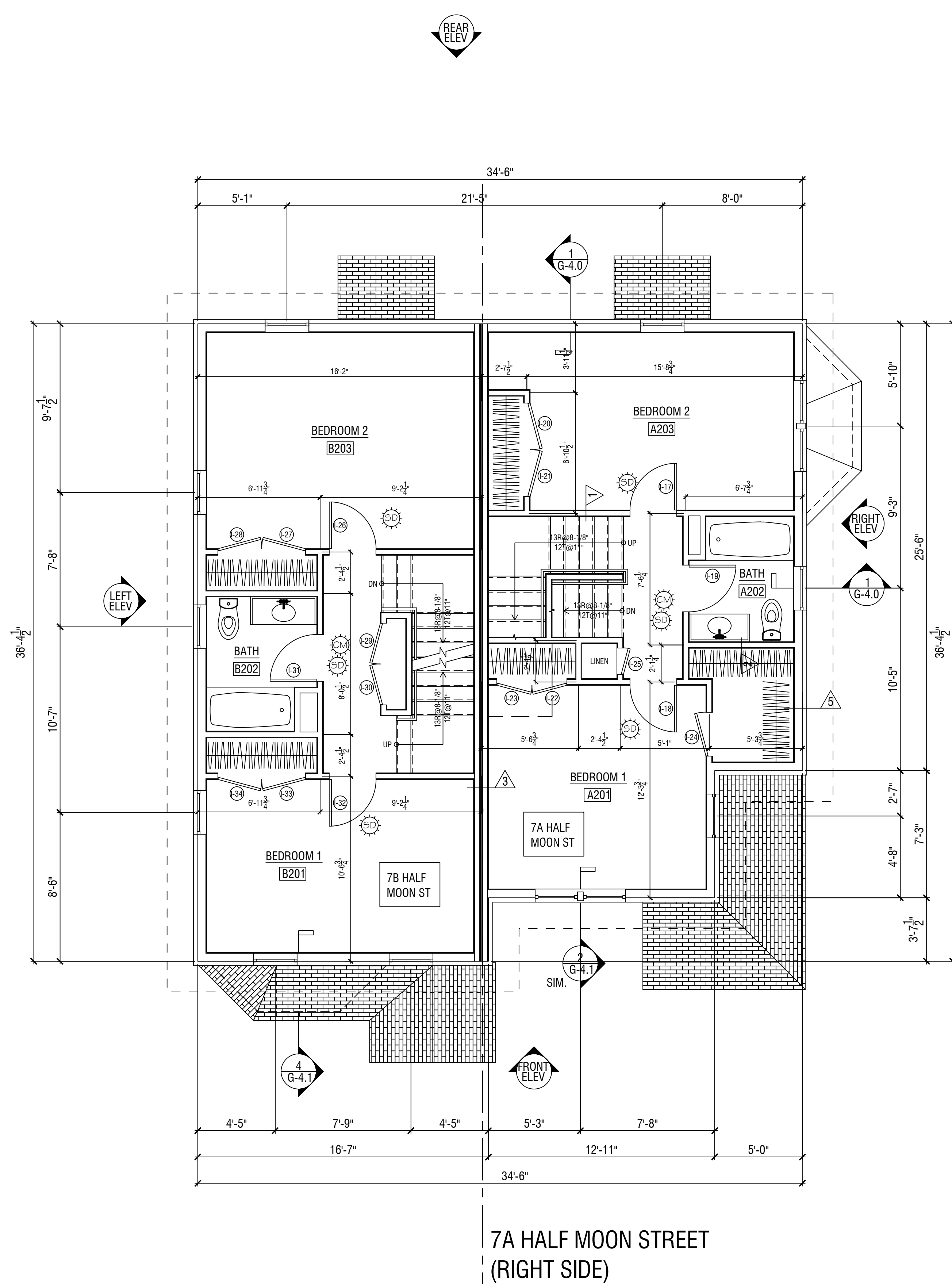
Revisions	

DND - TYPE E
SINGLE FAMILY

COVER PAGE

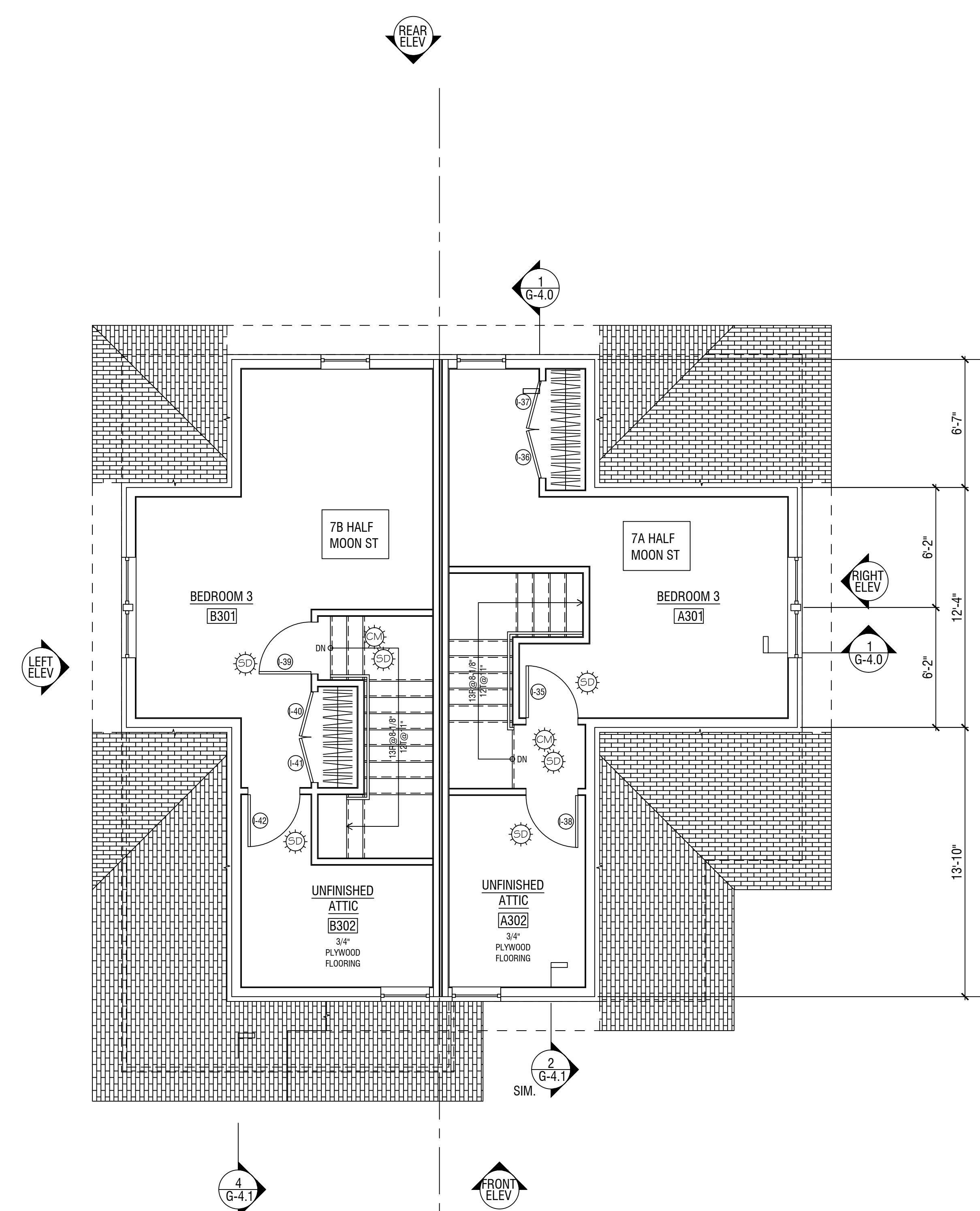
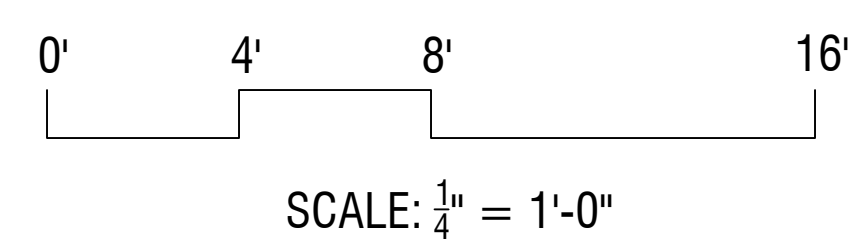
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7A HALF MOON STREET
BOSTON, MA



7A HALF MOON STREET
(RIGHT SIDE)

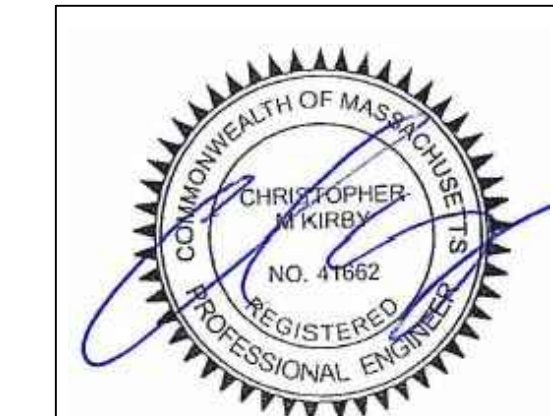
UNIT TYPE E
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



7A HALF MOON STREET
(RIGHT SIDE)

UNIT TYPE E
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

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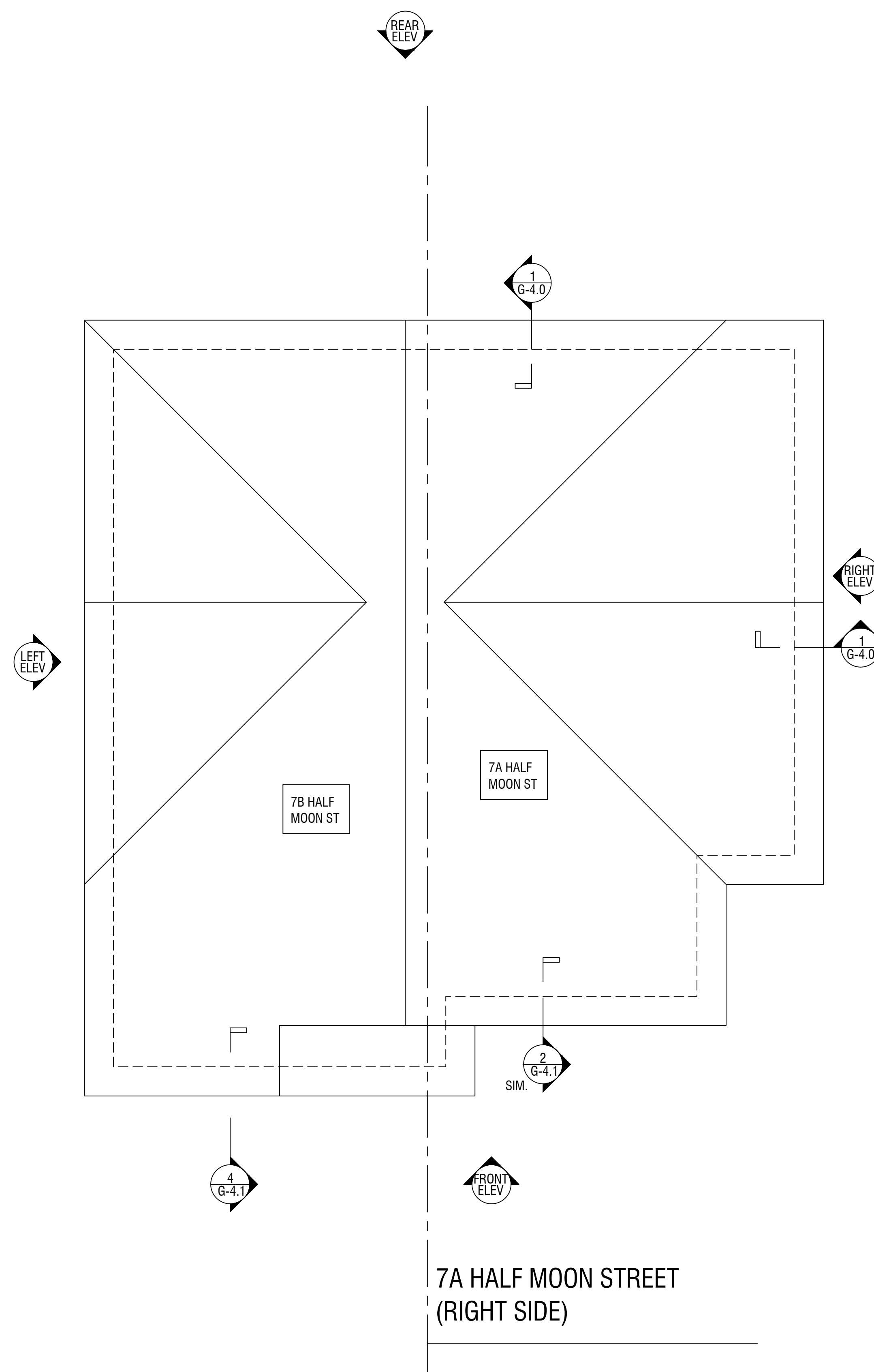
Stamped By: CMK
Drawn By: RWC
Checked By: CMK
Date: 02/12/2018

Revisions		
NO.	DESCRIPTION	DATE
Δ	PERMIT SET - REVIEW	5/21/2020
Δ	REVISION 1	6/7/2018
0	INITIAL SUBMISSION	2/12/2018

DND - TYPE E
SINGLE FAMILY
SECOND & ATTIC
FLOOR PLANS

Sheet No. **A-1.1**
Scale: 1/4" = 1'-0"

7A HALF MOON STREET
BOSTON, MA



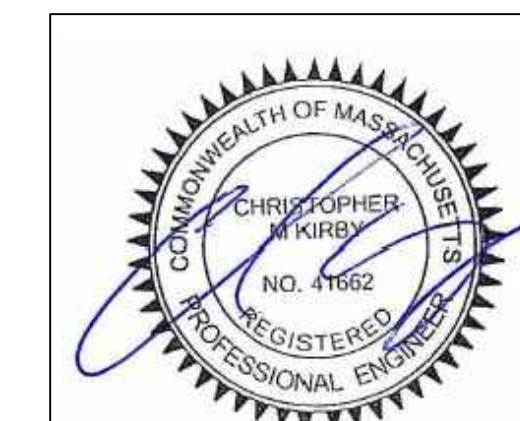
0' 4' 8' 16'
SCALE: 1/4" = 1'-0"

UNIT TYPE E
ROOF PLAN

SCALE: 1/4" = 1'-0"

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Stamped By: CMK

Drawn By: RWC

Checked By: CMK

Date: 02/12/2018

Revisions

NO.	DESCRIPTION	DATE
1	PERMIT SET - REVIEW	5/21/2020
2	REVISION 1	6/7/2018
3	INITIAL SUBMISSION	2/12/2018

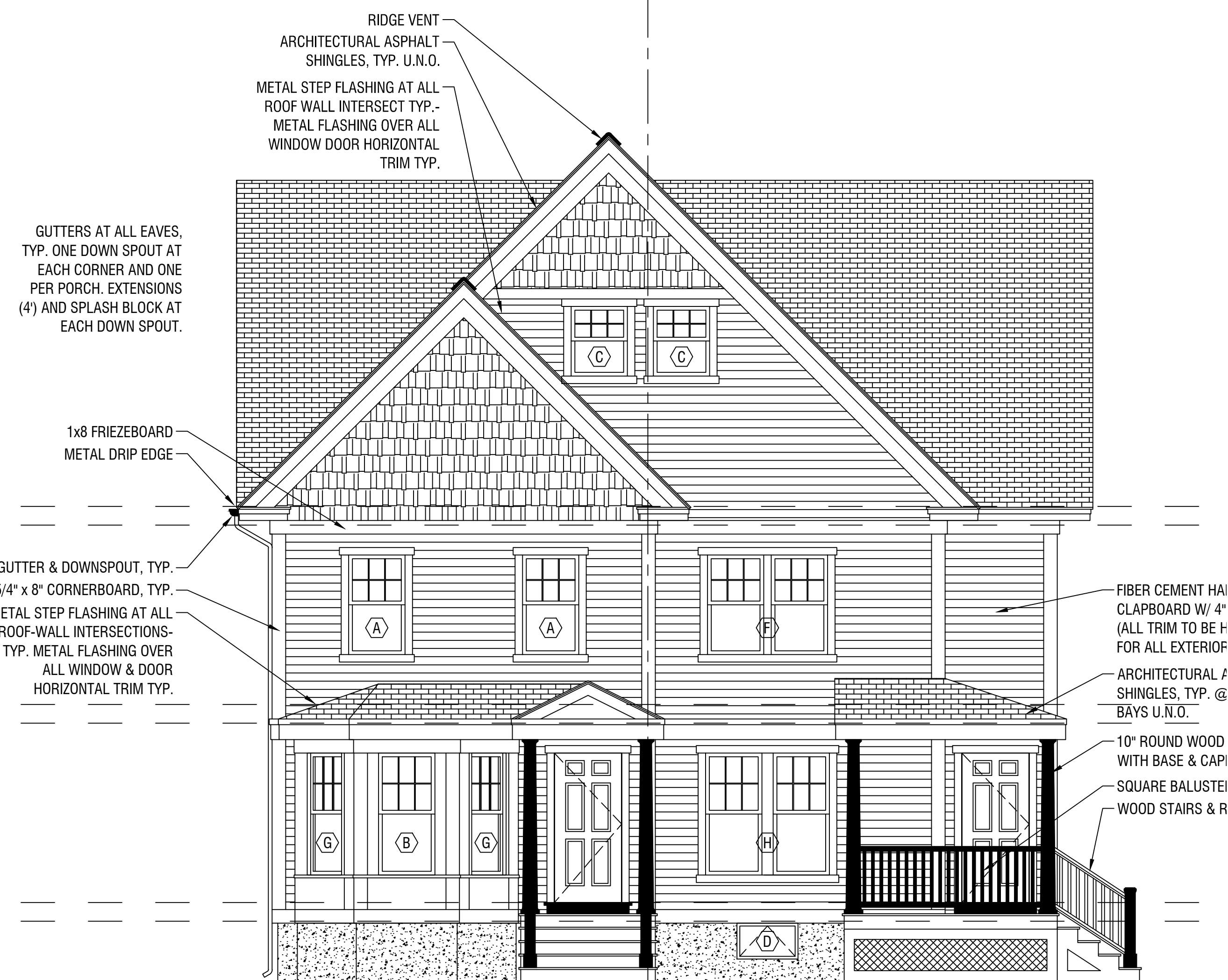
DND - TYPE E
SINGLE FAMILY

ROOF PLAN

Sheet No. **A-1.2**

Scale: 1/4" = 1'-0"

7A HALF MOON STREET
BOSTON, MA



1 EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"

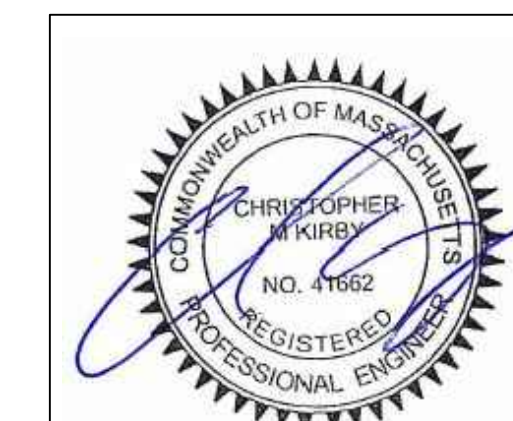
7A HALF MOON STREET
(RIGHT SIDE)



2 EXTERIOR ELEVATION - LEFT
1/4" = 1'-0"

7B HALF MOON STREET
(LEFT SIDE)

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Drawn By: RWC
Checked By: CMK
Date: 02/12/2018

Revisions

NO.	DESCRIPTION	DATE
1	PERMIT SET - REVIEW	5/21/2020
0	INITIAL SUBMISSION	2/12/2018

FRONT & RIGHT

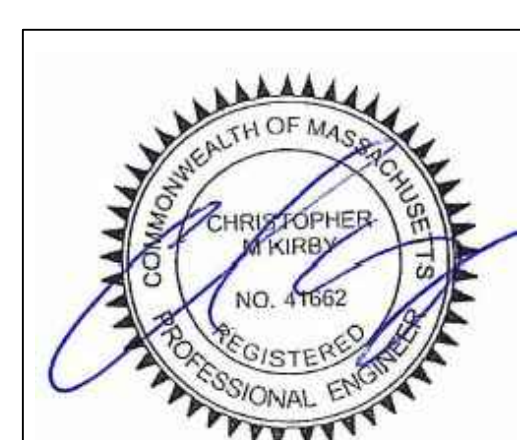
DND - TYPE E
SINGLE FAMILY

FRONT & LEFT
ELEVATIONS

Sheet No. **A-2.0**
Scale: 1/4" = 1'-0"

7A HALF MOON STREET
 BOSTON, MA

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 CKIRBY@GMAIL.COM



Stamped By: CMK
 Drawn By: RWC
 Checked By: CMK
 Date: 02/12/2018

Revisions

NO.	DESCRIPTION	DATE
1	PERMIT SET - REVIEW	5/21/2020
0	INITIAL SUBMISSION	2/12/2018

DND - TYPE E
 SINGLE FAMILY

REAR & RIGHT
 ELEVATIONS

Sheet No. **A-2.1**
 Scale: 1/4" = 1'-0"



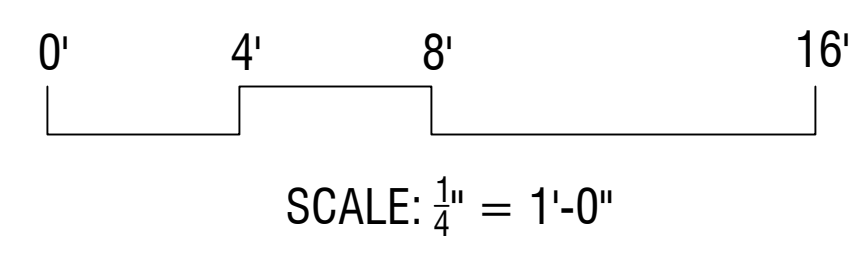
7A HALF MOON STREET
 (RIGHT SIDE)

3 EXTERIOR ELEVATION - REAR
 1/4" = 1'-0"

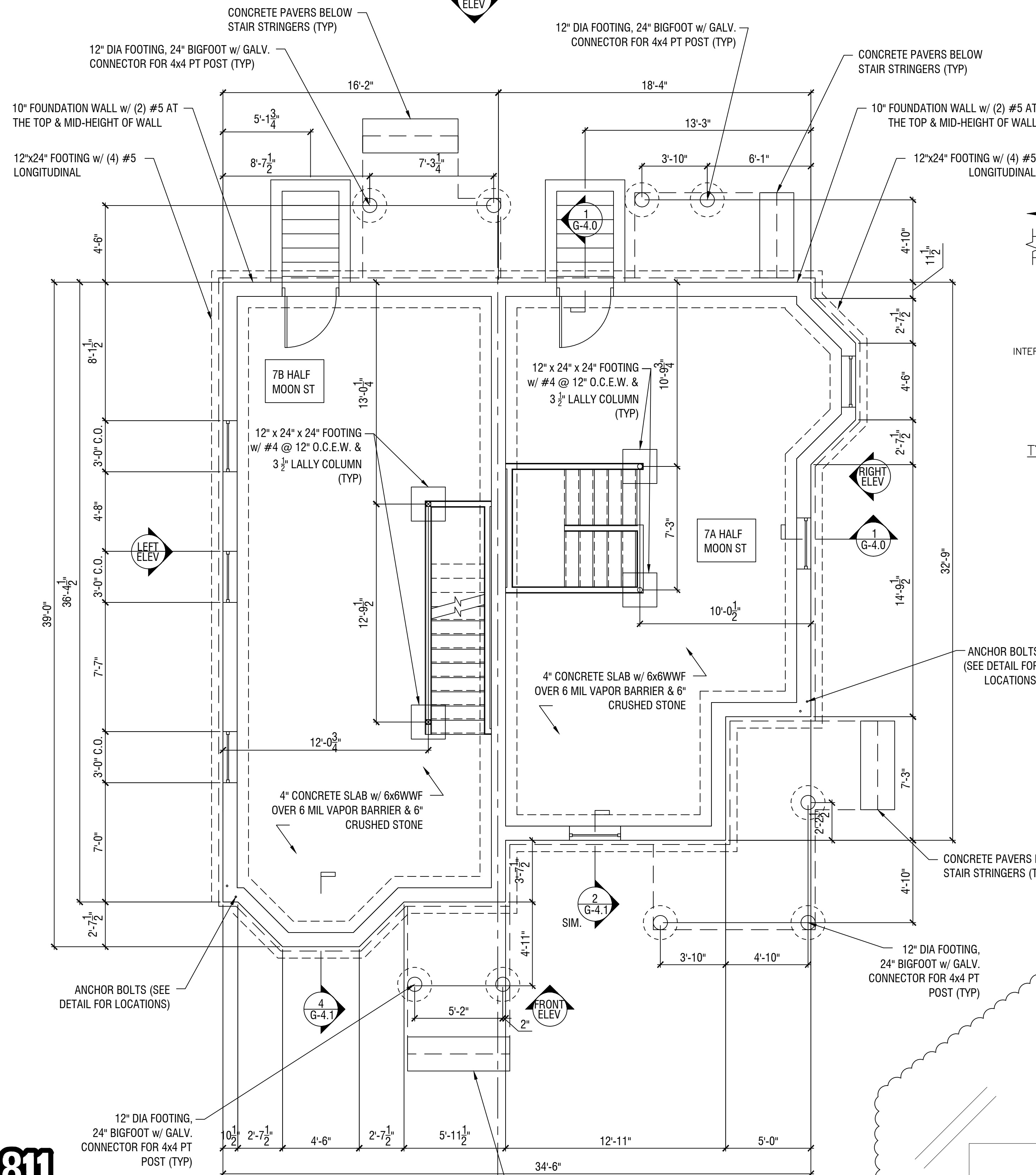


7A HALF MOON STREET
 (RIGHT SIDE)

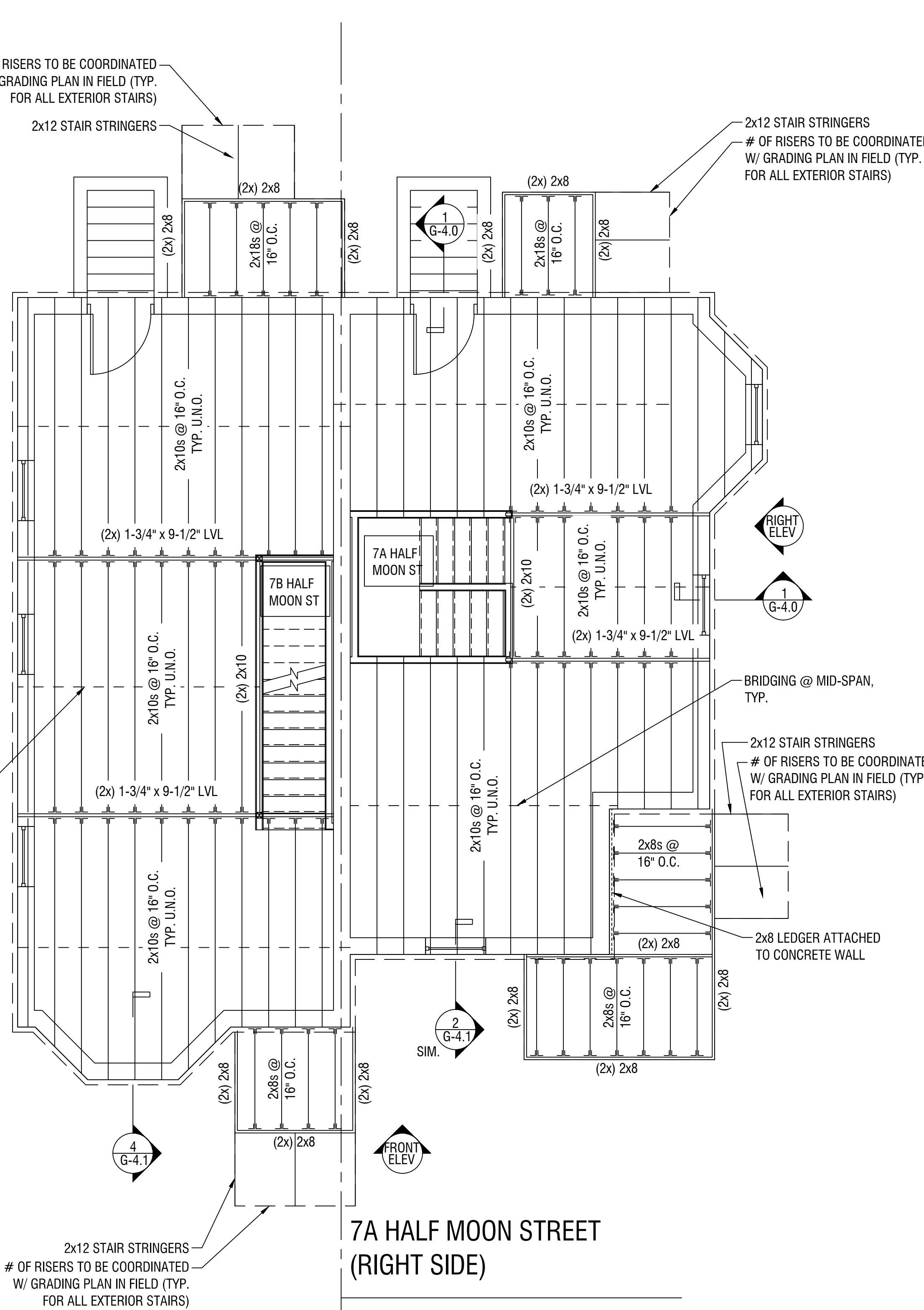
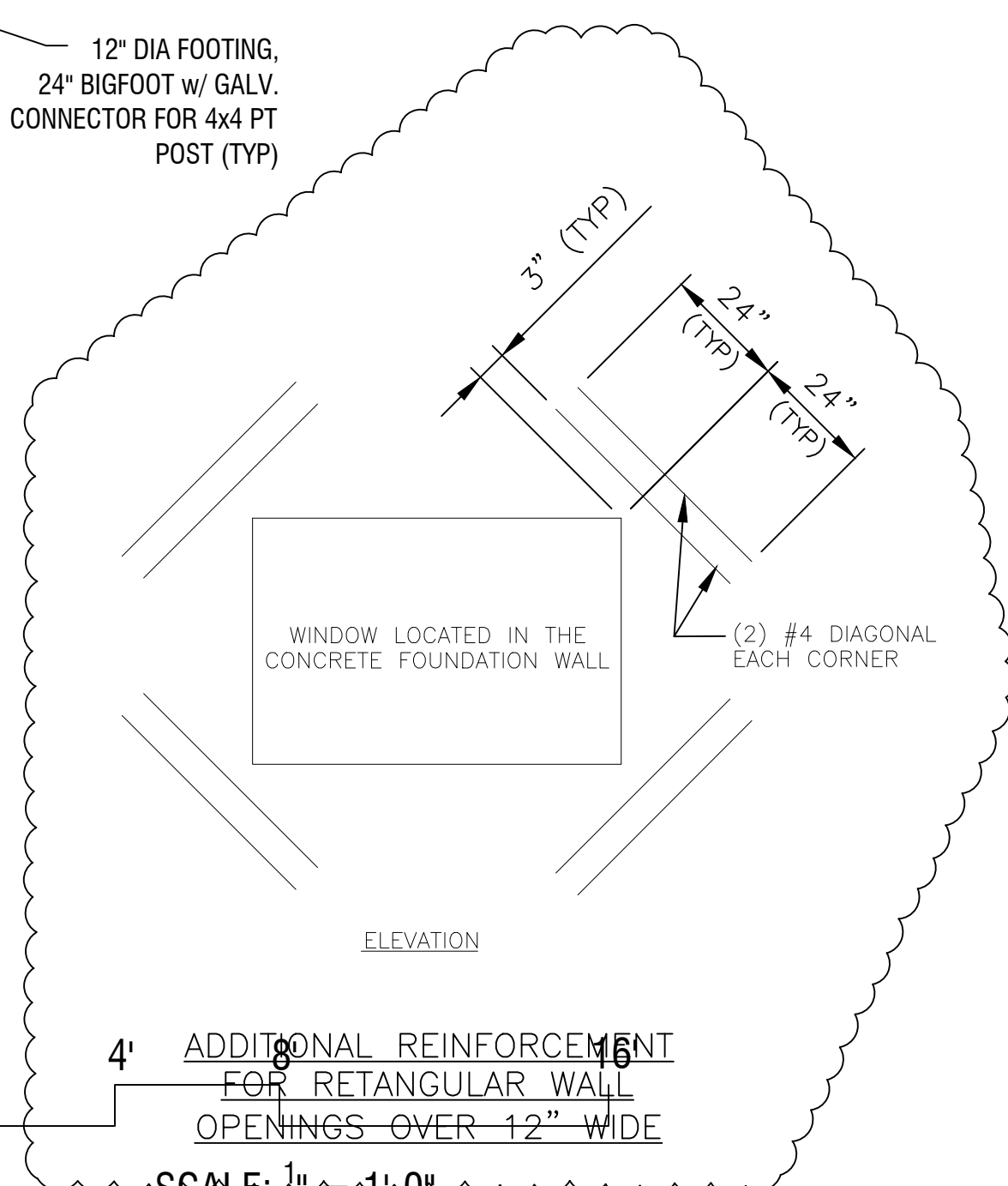
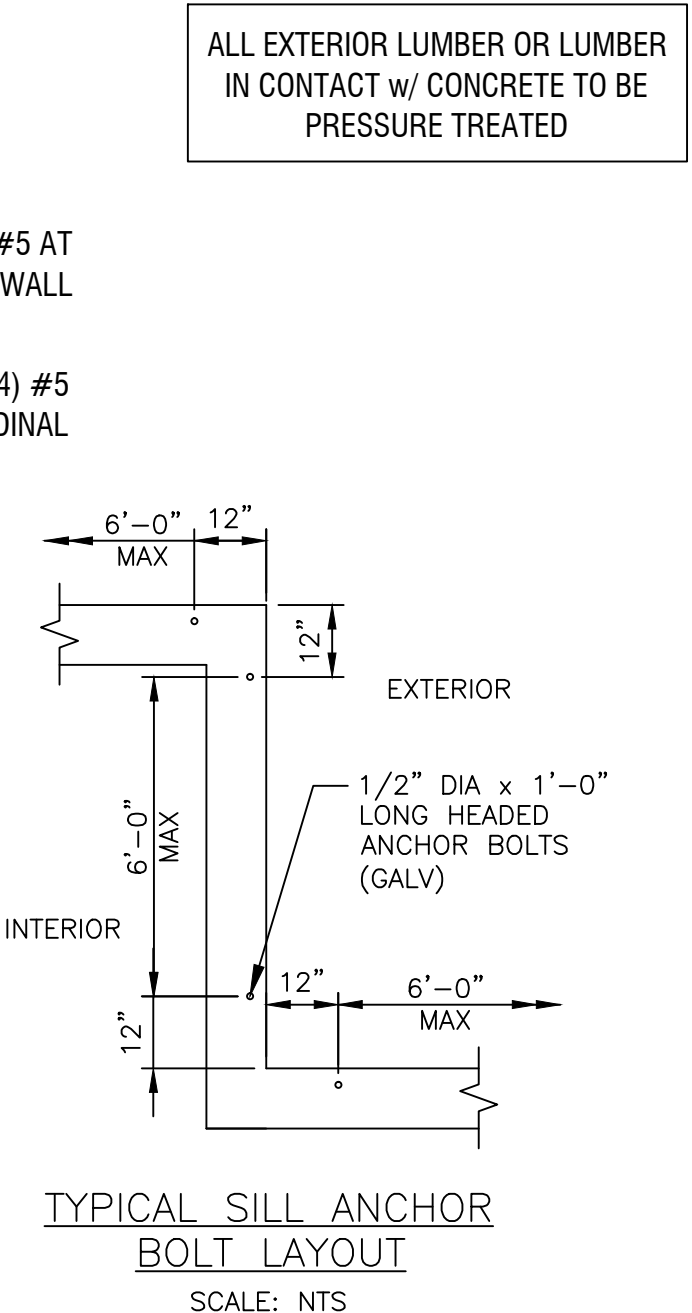
4 EXTERIOR ELEVATION - RIGHT
 1/4" = 1'-0"



- FOUNDATION NOTES:
1. f'c CONCRETE = 4000 PSI
 2. fy REINFORCING = 60000 PSI
 3. FOUNDATION WALL TO TERMINATE AT UNDERSIDE OF SILL FOR FIRST FLOOR



UNIT TYPE E FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

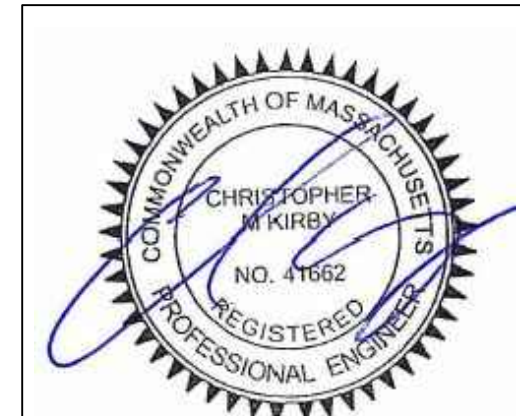


UNIT TYPE E FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- FRAMING NOTES:
1. WINDOW HEADER SIZE TO BE (3) 2"x8" WITH A MAX 6'-0" CLEAR SPAN (UNLESS NOTED)
 2. STAIR STRINGERS TO BE 2x12 @ 16" O.C. (MIN)
 3. STAIR LANDINGS TO BE 2x10 FRAMING
 4. BEAMS MAY BE INSTALLED UNDERMOUNT OR FLUSH FRAMED
 5. ALL BEAM TO HAVE 3" BEARING (MIN) UNDER ALL PLY'S
 6. IF FLOOR JOISTS FLUSH FRAME INTO A BEAM, HANG FLOOR JOISTS WITH JOISTS HANGER SIZED FOR FLOOR JOIST
 7. AT EXTERIOR OF I-JOISTS, INSTALL A 1" RIM BOARD
 8. DOUBLE ALL JOISTS UNDER WALLS RUNNING PARALLEL TO JOIST DIRECTION
 9. ALL FLOORS TO HAVE 3/4" SUBFLOOR, GLUED AND SCREWED
 10. EXTERIOR SHEATHING TO BE 5/8" PLYWOOD
 11. ROOF SHEATHING TO BE 5/8" PLYWOOD

7A HALF MOON STREET BOSTON, MA

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Stamped By: CMK
Drawn By: RWC
Checked By: CMK
Date: 05/24/2018

Revisions

NO.	REVISION	DATE
1	PERMIT SET - REVIEW	5/21/2020
2	REVISION 1	6/7/2018
3	INITIAL SUBMISSION	5/24/2018

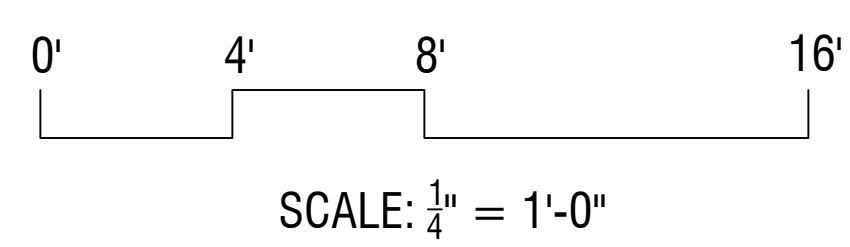
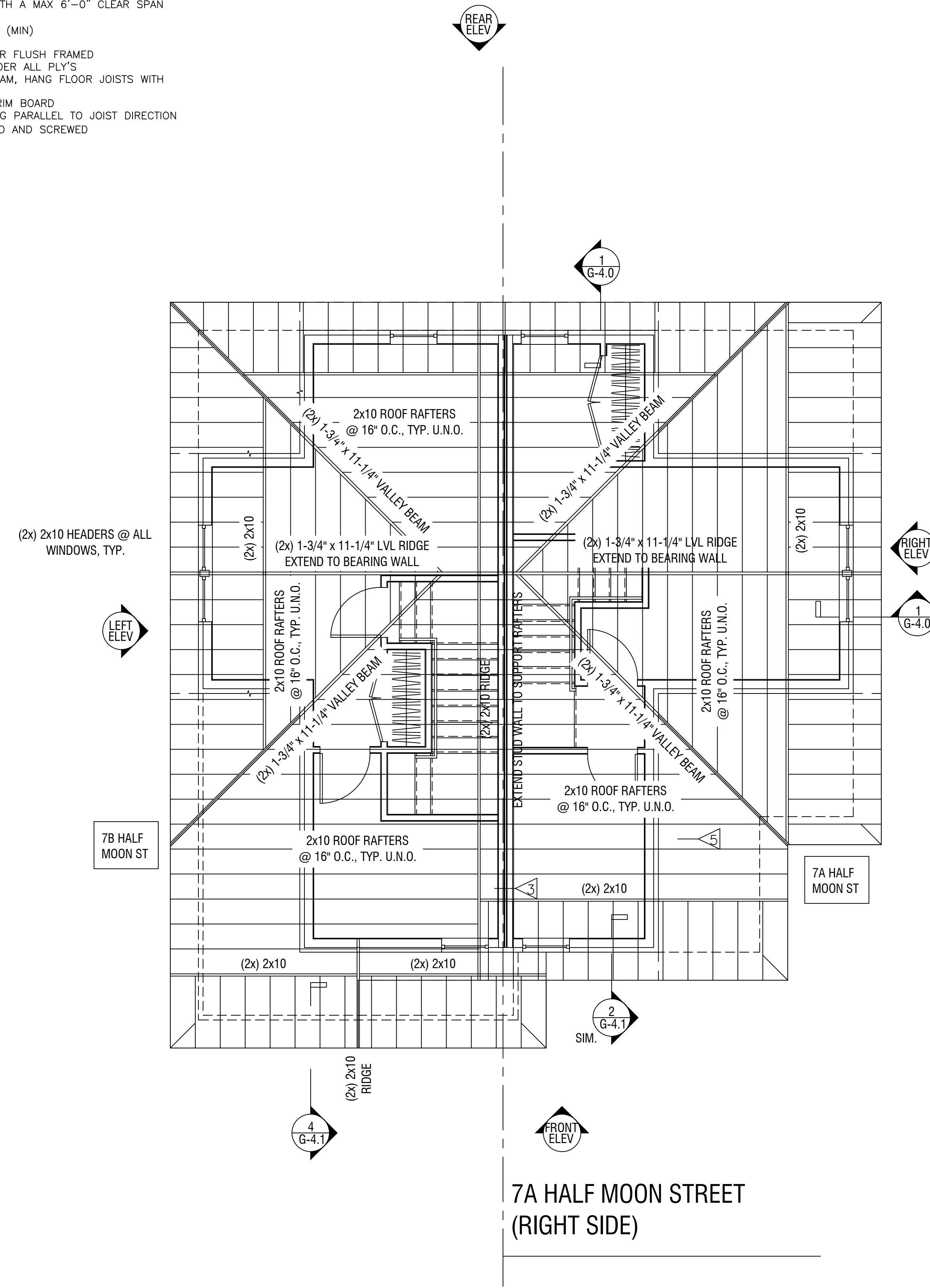
DND - TYPE E SINGLE FAMILY
FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN

Sheet No. **S-1.0**
Scale: 1/4" = 1'-0"



FRAMING NOTES:

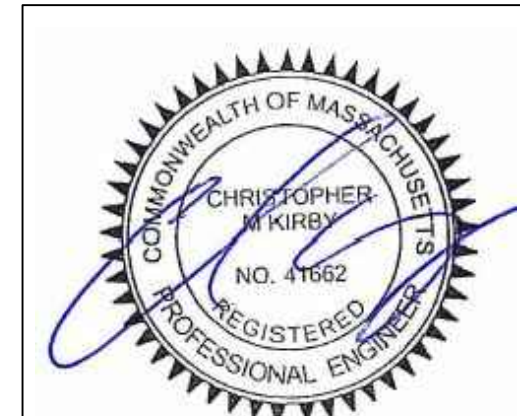
1. WINDOW HEADER SIZE TO BE (3) 2"x8" WITH A MAX 6'-0" CLEAR SPAN (UNLESS NOTED)
2. STAIR STRINGERS TO BE 2x12 @ 16" O.C. (MIN)
3. STAIR LANDINGS TO BE 2x10 FRAMING
4. BEAMS MAY BE INSTALLED UNDERMOUNT OR FLUSH FRAMED
5. ALL BEAM TO HAVE 3" BEARING (MIN) UNDER ALL PLY'S
6. IF FLOOR JOISTS FLUSH FRAME INTO A BEAM, HANG FLOOR JOISTS WITH JOISTS HANGER SIZED FOR FLOOR JOIST
7. AT EXTERIOR OF I-JOISTS, INSTALL A 1" RM BOARD
8. DOUBLE ALL JOISTS UNDER WALLS RUNNING PARALLEL TO JOIST DIRECTION
9. ALL FLOORS TO HAVE 3/4" SUBFLOOR, GLUED AND SCREWED
10. EXTERIOR SHEATHING TO BE 1/2" PLYWOOD
11. ROOF SHEATHING TO BE 5/8" PLYWOOD



UNIT TYPE E
 ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

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Revisions		
NO.	DESCRIPTION	DATE
1	PERMIT SET - REVIEW	5/21/2020
2	REVISION 1	6/7/2018
3	INITIAL SUBMISSION	5/24/2018

DND - TYPE E
 SINGLE FAMILY
 ROOF FRAMING
 PLAN

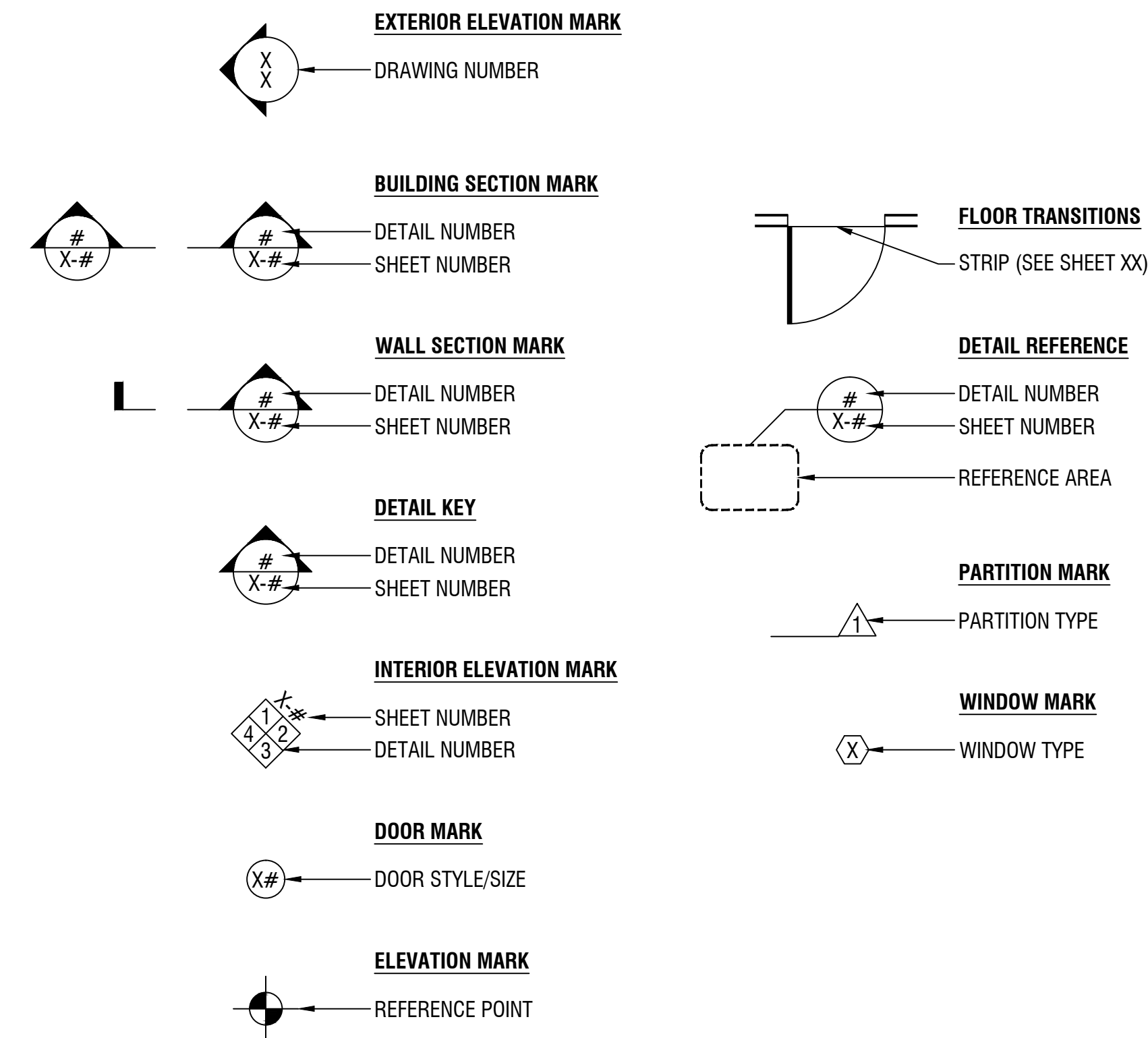
Sheet No. **S-1.2**
 Scale: 1/4" = 1'-0"

GENERAL NOTES

ABBREVIATIONS:

ACOUST.	ACOUSTICAL	E.	EAST	I.D.	INSIDE DIAMETER	R.	RISER
A.D.	AREA DRAIN	EA.	EACH	INCL.	INCLUDED, INCLUDING	RAD.	RADIUS
ADJ.	ADJUSTABLE	E.B.	EXPANSION BOLT	INSUL.	INSULATION	RBR.	RUBBER
A.F.F.	ABOVE FINISH FLOOR	E.J.	EXPANSION JOINT	INT.	INTERIOR	R.D.	ROOF DRAIN
AGGR.	AGGREGATE	EL.	ELEVATION	JAN.	JANITOR	RECD.	RECESSED
ALUM.	ALUMINUM	ELEC.	ELECTRICAL	JT.	JOINT	REF.	REFERENCE
APPROX.	APPROXIMATE	ELEV.	ELEVATOR	KIT.	KITCHEN	REFR.	REFRIGERATOR
ARCH.	ARCHITECTURAL	EMER.	EMERGENCY ENCLOSURE	L.A.B.	LABORATORY	REINF.	REINFORCED
		ENCL.	ELECTRICAL PANELBOARD	LAM.	LAMINATE	REQ.	REQUIRED
		E.P.	EQUAL	LAV.	LAVATORY	RESIL.	RESILIENT
ASPH.	ASPHALT	EQ.	EQUIPMENT	L.C.C.	LEAD-COATED COPPER	RM.	ROOM
ATTD.	ATTACHED	EQPT.	ELECTRIC WATER COOLER	LCKR.	LOCKER	R.O.	ROUGH OPENING
		E.W.C.	EXISTING	L.T.	LIGHT	S.	SOUTH, SINK
BD.	BOARD	EXST.	EXISTING	LTL.	LINTEL	S.C.	SOLID CORE
BF.	BI-FOLD	EXP.O.	EXPANSION	LVR.	LOUVER	SCHED.	SCHEDULE
BITUM.	BITUMINOUS	EXT.	EXTERIOR	MACH.	MACHINE	SCR.	SCREEN
BLDG.	BUILDING	F.A.	FIRE ALARM	MATL.	MATERIAL	SECT.	SECTION
BLK.	BLOCK	F.B.	FLAT BAR, FACE BRICK	MAX.	MAXIMUM	SEP.	SEPARATE
BLKG.	BLOCKING	F.D.	FLOOR DRAIN	M.B.	MACHINE BOLT	SH.	SHelf
BM.	BEAM	FDN.	FOUNDATION	M.C.	MEMBER, MEMBRANE	SHT.	SHEET
BOT.	BOTTOM	F.E.	FIRE EXTINGUISHER	M.C.C.	MEDICINE CABINET	SHTG.	SHEATHING
BSMT.	BASEMENT	F.E.C.	FIRE EXTINGUISHER CABINET	MECH.	MECHANICAL	SHWR.	SHOWER
		F.H.C.	FIRE HOSE CABINET	MEMB.	MEMBRANE	SIM.	SIMILAR
CAB.	CABINET	FIN.	FINISH, FINISHED	MFR.	MANUFACTURER	SPEC.	SPECIFICATION
C.B.	CATCH BASIN	FL.	FLOOR	M.H.	MANHOLE	SQ.	SQUARE
		FLASH.	FLASHING	MIN.	MINIMUM	S.S.	STAINLESS STEEL
CEM.	CEMENT	FLUOR.	FLUORESCENT	M.LDG.	MOULDING	STA.	STATION
CER.	CERAMIC	F.O.C.	FACE OF CONCRETE	M.LWK.	MILLWORK	STD.	STANDARD
C.I.	CAST IRON	F.O.F.	FACE OF FINISH	MOD.	MODULAR	ST.	STEEL
C.I.P.	CAST IN PLACE	F.O.S.	FACE OF STUDS	M.O.	MASONRY OPENING	STOR.	STORAGE
C.I.P.C.	CAST IN PLACE CONCRETE	PPRF.	FIREPROOF	MTD.	MOUNTED	STR.	STRUCTURAL
C.G.	CORNER GUARD	F.R.	FIRE RATED	MTL.	METAL	SUSP.	SUSPENDED
C.J.	CONTROL JOINT	F.S.	FULL SIZE	MUL.	MULLION	SV RNG	SELF-VENTING RANGE HOOD
CLG.	CEILING	FT.	FOOT OR FEET			SYM.	SYMMETRICAL
CLKG.	CAULKING	FTG.	FOOTING			SYS.	SYSTEM
CLO.	CLOSET	FURR.	FURRING			T. or TRD.	TREAD
CLR.	CLEAR	FUT.	FUTURE			T.B.	TOWEL BAR
C.O.	CONCRETE OPENING	GA.	GAUGE			T.C.	TOP OF CURB
COL.	COLUMN	GALV.	GALVANIZED			TEL.	TELEPHONE
CONC.	CONCRETE	G.B.	GRAB BAR			T. & G.	TONGUE and GROOVE
CONN.	CONNECTION	GL.	GLASS			THK.	THICK
CONSTR.	CONSTRUCTION	GND.	GROUND			THLD.	THRESHOLD
CONT.	CONTINUOUS	GR.	GRADE			TP.	TEMPERED
CORR.	CORRIDOR	GWB.	GYPSUM WALL BOARD			T.V.	TELEVISION
CTSK.	COUNTERSUNK	GYP.	GYPSUM			T.W.	TOP OF WALL
CNTR.	COUNTER	H.B.	HOSE BIBB			TYP.	TYPICAL
C.T.	CERAMIC TILE	H.C.	HOLLOW CORE, HANDICAPPED			U.L.	UNDERWRITER'S LABORATORY
CTR.	CENTER	HDWD.	HARDWOOD			UNF.	UNFINISHED
		HDWE.	HARDWARE			U.O.N.	UNLESS OTHERWISE NOTED
		H.M.	HOLLOW METAL			V.B.	VAPOR BARRIER, VINYL BASE
		HORIZ.	HORIZONTAL			VCT.	VINYL COMPOSITION TILE
		HR.	HOUR			VEN.	VENEER
		HGT.	HEIGHT			VERT.	VERTICAL
		HTR.	HEATER			VEST.	VESTIBULE
		HVAC	HEATING, VENTILATING, & AIR CONDITIONING			V.I.F.	VERIFY IN FIELD
						VIN.	VINYL
						W.	WEST
						W/	WITH
						W.C.	WATER CLOSET
						WD.	WOOD
						W.H.	WALL HUNG
						WIN.	WINDOW
						W/O	WITHOUT
						WP.	WATERPROOF
						W.R.	WATER RESISTENT
						WSCT.	WAINSCOT
						WT.	WEIGHT
						Q.T.	QUARRY TILE
						QTR.	QUARTER

LEGEND:



MECHANICAL SYSTEMS:

HEATING/COOLING SYSTEM:	<p>1. FAJITSU, MITSUBISHI, OR EQUAL MINI SPLIT HEAT PUMP SYSTEM</p> <ul style="list-style-type: none"> - COMPRESSOR SIZED - 4 HEADS. - NO DUCTS SHALL BE INSTALLED - HSPF OF 12 OR GREATER - SEER OF 20 OR GREATER <p>OR</p> <p>2. DUCTED FORCED HOT AIR SYSTEM w/ AC SYSTEM</p> <ul style="list-style-type: none"> - FURNACE TO BE NATURAL GAS, 95% EFFICIENT - COMPRESSOR SIZED - NO DUCTS OR SOFFITS SHALL BE EXPOSED. DUCT WORK SHALL BE INSTALLED IN FLOOR BAYS BETWEEN JOIST OR IN WALLS BETWEEN STUDS - AC COMPRESSOR SEER OF 15 OR GREATER
HOT WATER SYSTEM:	GAS DOMESTIC HOT WATER SYSTEM - INSTANTANEOUS GAS DHW SYSTEM EF OF .95 OR HIGHER
ERV SYSTEM:	PROVIDE ENERGY RECOVERY SYSTEM (ERV) BY PANASONIC FV04VE1, VENMAR OR EQUIVALENT CAPABLE OF MEETING VENTILATION CODE 50-80 CFM THAT MEETS THE 2012 IECC STANDARDS FOR EFFICACY
PASSIVE RADON SYSTEM:	PROVIDE A RADON RESISTANT CONSTRUCTION TECHNIQUES INCLUDING A PASSIVE SYSTEM WHICH FROM THE PERFORATED PIPE UNDER THE SLAB, UP THROUGH SLAB, AND HOUSE, TERMINATING ABOVE THE ROOF WITH AN ELECTRICAL OUTLET IN THE ATTIC FOR INSTALLING A FAN, MAKING IT AN ACTIVE SYSTEM, IF THERE IS A HIGH READING MEASURED. ASTM E1465 PRACTICE FOR RADON CONTROL OPTIONS
TO BE SOLAR PV READY:	INSTALL CONDUIT FROM ROOF TO AREA IN BASEMENT IN BASEMENT ROOM FOR A SOLAR METER, AN INVERTER AND A SWITCH BOX ON EXTERIOR OF BASEMENT ROOM FOLLOWING THE LOCAL ELECTRIC COMPANY GUIDELINES, AN ACCESSIBLE SAFETY OFF SWITCH BOX
PLUMBING:	WATER SENSE (EPA) FOR ALL INTERIOR PLUMBING DEVICES; - SHOWERHEAD - TOILET - LAVATORY FAUCET
APPLIANCES:	USE ENERGY STAR APPLIANCES USE NATURAL GAS RANGE AND EXHAUST RANGE TO EXTERIOR

GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM WITH COMMONWEALTH OF MASSACHUSETTS BUILDING CODE-9TH EDITION.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED WORK. THE PROJECT MANUAL SETS OUT THE HIERARCHY OF THE DRAWINGS AND SPECIFICATIONS. ANY VARIATION OR SUBSTITUTION OF MATERIALS OR DETAILS FROM THOSE SHOWN ON THE DRAWINGS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATIONS TO THE DRAWINGS.
- ABBREVIATIONS USED ON THE DRAWINGS ARE SELF-EVIDENT OR AS ACCEPTED IN THE INDUSTRY AND SUCH AS THE INTERPRETATION OF THE ARCHITECT. THE CONTRACTORS REQUEST FOR INTERPRETATION SHALL BE ADDRESSED TO THE ARCHITECT.
- ALL DOCUMENTS INCLUDING THE PROJECT MANUAL (IF ANY) AND REFERENCED STANDARDS ARE INTENDED TO BE COMPLEMENTARY. IT IS INTENDED THAT ALL TRADES SHALL FAMILIARIZE THEMSELVES WITH THE ENTIRE SET OF DOCUMENTS AS IT IS RELATED TO THEIR TRADE.
- INTERIOR DIMENSIONS ARE TAKEN FROM THE EXTERIOR FACE OF STUD OR MASONRY TO CENTERLINE OF INTERIOR PARTITIONS UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS "CLR." FROM FACE OF FINISH TO FACE OF FINISH. MINIMUM CLEAR "MIN CLR." IS A MINIMUM DIMENSION THAT MUST BE PROVIDED.
- THERE SHALL BE NO EXPOSED ELECTRICAL DISTRIBUTION IN ALL HABITABLE AREAS U.O.N.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BLOCKING, FRAMING AND FIRE STOPPING AS REQUIRED BY THE DOCUMENTS AND THE BUILDING CODE.
- ALL RISERS FOR DUCTS AND PIPES, SHALL BE BOXED IN WITH GYPSUM WALLBOARD TO PROVIDE TWO HOUR FIRE RATING. WHERE POSSIBLE, LOCATE RISER IN A CORNER OR WHERE SHOWN IN A CLOSET OR LINEN CLOSET, LOCATE AT END OF CLOSET TO PROVIDE MAXIMUM CLEAR SPACE, NOTIFY ARCHITECT OF ALL CONFLICTS.
- CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF ENERGY STAR. COMPLY WITH THE REQUIREMENTS CONTAINED IN THE FOLLOWING DOCUMENTS: ENERGY STAR HOMES TECHNICAL STANDARDS VERSION 3 FIELD GUIDE TO RESIDENTIAL NEW CONSTRUCTION, AUGUST 2000
- BASIC AIR SEALING: MAXIMUM ALLOWABLE AIR LEAKAGE IS 2 SQUARE INCHES LEAKAGE PER 100 SQUARE FEET OF BUILDING SHELL AREA.
- ALL RECESSED LIGHTS MUST BE AIRTIGHT. ANY RECESSED LIGHTS THAT PENETRATE THE SHELL OF THE BUILDING MUST BE INSULATION CONTACT (IC) RATED AND AIRTIGHT.
- WINDOWS FRAMES AND DOOR JAMBS MUST BE SEALED TO THEIR ROUGH OPENINGS USING LOW EXPANSION FOAM, BACKER ROD, OR CAULK. DO NOT USE FIBERGLASS FOR THIS PURPOSE. IT IS NOT AN EFFECTIVE AIR BARRIER.
- ALL PENETRATIONS THROUGH THE INSULATED ENVELOPE MUST BE CAREFULLY SEALED. TYPICAL PENETRATIONS INCLUDE CHIMNEY, DUCT AND PLUMBING CHASES AND PENETRATIONS OF PIPES AND WIRES THROUGH THE TOP PLATES OF TOP STORY WALLS. IT IS PARTICULARLY IMPORTANT TO SEAL ANY POSSIBLE AIR PATHS TO THE ATTIC AS THESE BY-PASSES ARE NOT ONLY SOURCE OF ENERGY LOSS BUT ALSO PROVIDE PATHS FOR MOISTURE TO MIGRATE INTO THE ATTIC.
- BATTS MUST BE INSTALLED AT FULL LOFT WITHOUT GAPS OR EMPTY POCKETS.
- BATTS MUST BE CUT TO ACCOMMODATE ALL OBSTRUCTIONS (I.E. PLUMBING AND ELECTRICAL). PROPER INSTALLATION IS CRITICAL TO ENSURE ITS RATED PERFORMANCE.
- THE INSULATION MUST BE COMPLETELY FILL THE STUD CAVITIES.
- ATTIC AND CRAWL SPACE ACCESS HATCHES MUST BE COVERED WITH A MINIMUM OF R-60 INSULATION, PERMANENTLY ATTACHED TO THE HATCH.
- A VAPOR RETARDER IS REQUIRED ON THE WINTER WARM SIDE OF THE INSULATION.
- TO EFFECTIVELY REDUCE AIR LEAKAGE, BUILDING AREAS SUCH AS KNEEWALL-FLOOR TRANSITIONS, DROPPED SOFFITS, AND CANTILEVERS MUST BE IDENTIFIED AND SEALED CAREFULLY WITH CONTINUOUS AIR BARRIER. WHERE JOIST SPANS OR STUD BAYS RUN BETWEEN A HEATED AREA AND UNHEATED AREA, ALL BAYS MUST BE BLOCKED AND SEALED AT THE TRANSITION.
- ATTIC AND CRAWL SPACE ACCESS DOORS OR HATCHES MUST BE WEATHER-STRIPPED.

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△	PERMIT SET - REVIEW	6/22/2020
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0	INITIAL SUBMISSION	6/8/2018

IND NO PROJECT

**SYMBOLS, SYSTEMS,
ABBREVIATIONS AND
GENERAL NOTES**

Sheet No. **T-1.0**
 Scale: **AS SHOWN**

GENERAL CONSTRUCTION NOTES

- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF EXTERIOR WALLS TO THE CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2x6 (5 1/2") FOR BOTH INTERIOR AND EXTERIOR WALLS.
- THE PROJECT IS A NEW STRUCTURE. EXACT DIMENSIONS, ELEVATIONS, TIE-IN POINTS, ROOF SLOPES, BEARING POINT LOCATIONS ARE REPRESENTED AS ACCURATE AS KNOWN AT THE TIME OF THE DRAWING SET CREATION. FIELD VERIFICATION OF ALL ELEMENTS IS REQUIRED BY THE CONTRACTOR AND IF INCONSISTENCIES OCCUR, NOTIFY THE ENGINEER FOR DIRECTION. THE ENGINEER IS NOT RESPONSIBLE FOR CHANGES TO THE PLANS WITHOUT DIRECTION.
- WINDOWS APPEARING ON THE FLOOR PLANS AND EXTERIOR ELEVATIONS ARE TO BE CONFIRMED BY THE OWNER.
- THE WINDOW FINAL SILL HEIGHT AT THE FIRST FLOOR IS 24" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO REVIEW ALL BUILT IN REQUIREMENTS WITH THE OWNER INCLUDING SHELVING, CLOSETS, PANTRY, ETC., IF APPLICABLE.
- ALL REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM, AND ANY AUDIO, COMPUTER OR CABLE TELEVISION SYSTEMS TO BE COORDINATED WITH OWNER.
- ALL PERMITS AND VARIANCES, IF NECESSARY, ARE THE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR PRIOR TO START OF CONST.
- ALL FINISH COLORS TO BE THE RESPONSIBILITY OF THE OWNER.

GENERAL FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS. FOLLOW DRAWING DIMENSIONS ONLY. DIMENSION IS NOT CALLED OUT, VERIFY DIMENSIONS WITH ENGINEER.
- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF EXTERIOR WALLS TO THE CENTERLINE OF INTERIOR STUD WALLS (UNO). STUD WALLS NOT DIMENSIONED ARE TYPICALLY 2x6 FOR EXTERIOR WALLS AND 2x4 FOR INTERIOR WALLS (UNO).
- ALL INTERIOR WALLS ARE TO BE COVERED WITH 1/2" GYPSUM BOARD, METAL CORNER REINFORCING, TAPE SEAMS AND PLASTER SKIMCOAT.
- ALL WALLS IN THE GARAGE TO HAVE A LAYRER OF 5/8", TYPE "X" FIRE RATED GYPSUM BOARD (UNO).
- ALL BATH AND TOILET AREA WALLS AND CEILINGS ADJACENT TO WET AREAS TO HAVE WATER RESISTANT GYPSUM BOARD.
- BEDROOM WINDOWS TO HAVE A MINIMUM NET CLEAR OPENING OF 3.38 SQFT., A MINIMUM NET CLEAR OPENING OF 20" WIDE x 24" HIGH IN EITHER DIRECTION, AND HAVE A MAXIMUM FINISHED SILL HEIGHT OF 44" FROM FINISHED FLOOR.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR OR 24" OF A DOOR SWING MUST BE TEMPERED GLASS.
- BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF 50 CFM FAN. RANGE HOODS TO BE VENTED TO THE OUTSIDE.
- SUBCONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

GENERAL ELEVATION NOTES

- ICE & WATER SHIELD TO BE INSTALLED CORRECTLY AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS, AND PENETRATIONS AND UNDER FIRST 36" OF PERIMETER OF ROOF.
- ICE & WATER SHIELD TO BE PLACE OVER ENTIRE ROOF SURFACE WHEN ROOF SLOPE IS BELOW A 4/12 PITCH.
- ADEQUATE ATTIC VENTILATION AND ROOF VENTS ARE TO BE PROVIDED AS SHOWN ON PLANS.
- ALL PLUMBING AND MECHANICAL VENTS TO BE LOCATED CLOSE TOGETHER WITHIN THE ATTIC SPACE WHEN POSSIBLE TO MINIMIZE THE NUMBER OF ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH APPEAR ABOVE THE ROOF TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. NO VENT TO BE ALLOWED ON THE FRONT ROOF. ALL METAL AND PVC VENTS AND PENETRATIONS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
- GUTTERS AND DOWN SPOUTS ARE NOT LOCATED ON ELEVATION DRAWINGS. LOCATIONS OF DOWN SPOUTS ARE TO BE DETERMINED ON-SITE DUE TO TOPOGRAPHICAL CONDITIONS TO ALLOW POSITIVE DRAINAGE AWAY FROM THE HOUSE. DOWN SPOUTS NOT TO BE LOCATED IN PROMINENT LOCATIONS, GUTTERS AND DOWN SPOUTS ARE TO CLOSELY MATCH TRIM COLOR OF THE HOUSE.
- ALL FLASHING TO BE OF THE SAME MATERIAL. DISSIMILAR METALS NOT ALLOWED.
- OWNER RESPONSIBLE FOR SELECTING ROOF COLOR.

GENERAL STAIRWAY NOTES

- STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND THE PERMITTED HEADROOM HEIGHT. THE MINIMUM WIDTH AT OR BELOW THE HANDRAIL HEIGHT SHALL NOT BE LESS THAN 32" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 28" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
- THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR THE NOSING FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
- THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9". TREAD NOSING SHALL NOT EXTEND MORE THAN 1 1/2" BEYOND THE FACE OF THE RISER BELOW.
- OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR/GRADE SHALL HAVE GUARDRAILS, WHICH SHALL ALSO SERVE AS HANDRAILS, NOT LESS THAN 36" IN HEIGHT.
- REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, BALCONIES, PORCHES, DECKS AND RAISED FLOOR AREAS, SHALL HAVE BALUSTERS WHICH PREVENT THE PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.

GENERAL FOUNDATION NOTES

- ALL CONCRETE WORK SHALL CONFORM WITH THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI).
- THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS SHALL BE 4000 PSI.
- ALL SLABS TO BE PLACED ON A 6 MIL VAPOR BARRIER OVER 6" OF COMPACTED GRAVEL.
- PROVIDE A 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED AREAS.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL SLABS, BOTH DIRECTIONS.
- PROVIDE 1 COAT OF MASTIC ON EXTERIOR SURFACE OF FOUNDATION WALL BELOW GRADE.
- FOUNDATION WALLS TO EXTEND A MINIMUM OF 36" ABOVE FINISH GRADE.
- PROVIDE 1/2" DIA ANCHOR BOLTS AS SHOWN ON THE FOUNDATION PLAN.

GENERAL FRAMING NOTES:

LOCATION	LIVE (PSF)	DEAD (PSF)	DEFLECTION
COMMON AREAS	40	15	L / 360
SLEEPING AREAS	30	15	L / 360
ATTIC (STORAGE)	20	15	L / 240
ATTIC (NO STORAGE)	10	15	L / 240
ROOF (SNOW LOAD)	40	15	L / 240
DECK	40	15	L / 360
BALCONY	60	15	L / 360

- ALL FRAMING MATERIAL TO BE MINIMUM #2 OR BETTER KD LUMBER,
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED (PT),
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO THE DIRECTION OF THE JOIST SPAN,
- PROVIDE 1"x3" CROSS BRIDGING OR 2"x6" BLOCKING AT THE MIDSPAN OF ALL FLOOR JOISTS,
- FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING. FINISH FLOORING TO BE EITHER 3/4" HARDWOOD,
- ALL STUD FRAMED WALLS TO BE FRAMED AT 16" ON CENTER, MAXIMUM,
- ALL ANGLED WALLS ARE TO BE FRAMED AT 45 DEGREES (UNO),
- HEADER SIZE OVER WINDOWS TO BE (3)2"x8" (UNO),
- ALL HEADERS TO BE FREE FROM SPLITS AND CHECKS,
- PROVIDE FULL SOLID BEARING OR STUD BEARING UNDER ALL BEAM BEARING POINTS,
- ALL BEAM AND JOIST INTERSECTIONS TO BE FLUSH FRAMED WITH GALVANIZED JOIST HANGERS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS,
- ALL BEAMS TO HAVE TRIPLE STUD BEARING UNDER EACH END,
- UNLESS OTHERWISE NOTED, PROVIDE A 2x PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER GALVANIZED BOLTS STAGGERED AT 24" ON CENTER,
- UNLESS OTHERWISE NOTED, PROVIDE DOUBLE HEADER JOIST AND TRIMMERS AT ALL FLOOR OPENINGS,
- STAIR CONSTRUCTION TO CONSIST OF 3-2"x12" STRINGERS, MINIMUM,
- TEMPORARY GUARDRAILS MUST BE INSTALLED AT ALL FLOOR OPENINGS,
- ALL WALLS OVER 10'-0" HIGH TO BE 2"x6"s AT 16" ON CENTER AND RECEIVE 1 ROW OF 2"x6" BLOCKING AT MID-HEIGHT,
- 2"x6" EXTERIOR WALLS TO BE SHEATHED WITH 1/2" EXTERIOR GRADE PLYWOOD. SHEATHING TO SPAN OVER ALL PLATES AND HEADERS. INSTALL SHEATHING WITH AN 1/8" GAP BETWEEN PANELS AND BLOCK ALL SEAMS - BOTH VERTICAL AND HORIZONTAL,
- FLOOR FRAMING LAYOUT IS CONSTRUCTED AS TO PROVIDE BEST POSSIBLE ACCESS TO THE HVAC DUCTS AND UNOBSTRUCTED RUNS FOR THE DUCT WORK,
- PROVIDE BLOCKING AT ALL CABINET LOCATIONS,
- PROVIDE 2"x4" RAFTER TIES AT ALL PLATES WHERE JOIST RUN IS PERPENDICULAR TO RAFTERS,
- HIP VALLEY RAFTERS AND RIDGE BOARDS TO BE ONE SIZE LARGER THAN TYPICAL RAFTERS UNLESS OTHERWISE NOTED ON PLANS,
- PROVIDE 1"x6" COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST AT 48" ON-CENTER,
- PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS,
- REQUIRED GUARDRAILS ON BALCONIES, PORCHES, DECKS, AND RAISED FLOOR AREAS, SHALL HAVE A MINIMUM HEIGHT OF 36" MEASURED VERTICALLY FROM THE FINISHED FLOOR,
- ALL HARDWARE AND FLASHING IN CONTACT WITH ACQ TREATED LUMBER MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL,

27. IF ON-SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY FOR DIRECTION.

GENERAL ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
- GENERAL AND ELECTRICAL CONTRACTOR TO REVIEW THE PLAN(S) AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED.
- ELECTRICAL SERVICE TO BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATOR, DISH WASHER, DISPOSAL, HVAC EQUIPMENT, ALARM PANEL, LAWN SPRINKLER SYSTEM, ETC. OUTLET TO BE PROVIDED ABOVE THE RANGE FOR MICROWAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
- ALL OUTLETS PLACED NEAR ANY WATER CONDITION TO BE G.F.C.I.
- SWITCHES AND OUTLETS TO BE COORDINATED WITH OWNER.
- PROVIDE EXTERIOR WATERPROOF OUTLETS AS REQUIRED BY CODE.
- ALL PHONE OUTLETS, COMPUTER OUTLETS, CABLE TV OUTLETS, AND ELECTRONIC DEVICE OUTLETS TO BE VERIFIED BY OWNER.
- DIMMERS TO BE SIZED FOR THE APPROPRIATE LOAD OF THE FIXTURES AND LAMPS SELECTED.
- VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS PRIOR TO LOCATING SWITCHES. ALL LOCATIONS SHOULD BE CLOSE TO TRIM AND ALIGNED WITH ONE ANOTHER, IF THERE ARE MULTIPLE.
- BLOCK AND PREWIRE SEPARATE SWITCHES TO EACH LIGHT AND CEILING.
- IF EXTERIOR SECURITY LIGHTING IS DESIRED BY OWNER THE TYPE, LOCATION, AND REQUIRED SWITCHING MUST ALL BE VERIFIED BY OWNER.
- IF AN ALARM IS DESIRED ALL OF THE REQUIREMENTS MUST BE COORDINATED WITH THE OWNER.
- PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND PROVIDE FOR A MINIMUM OF EIGHT (8) SPARES.
- RECESSED FIXTURES LOCATED IN FIRE RATED WALLS (i.e. - GARAGE CEILINGS OR FIRE SEPARATION ASSEMBLIES) SHALL BE RATED FIXTURES, FIRE RATED TO THE LEVEL OF FIRE SEPARATION OF THE WALL/CEILING IN WHICH THE FIXTURE IS INSTALLED.
- PROVIDE ENERGY EFFICIENT LIGHTING AS REQUIRED PER THE 2015 IECC.

GENERAL PLUMBING/HVAC NOTES

- PLUMBING SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- PROVIDE GAS SERVICE TO ALL WATER HEATERS, APPLIANCES, AND HVAC EQUIPMENT, AS REQUIRED.
- IF WALL PLATES OR JOISTS ARE CUT DURING INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT, PROVIDE BRACING TO TIE FRAMING BACK TOGETHER.
- ALL GAS WATER HEATERS TO BE VENTED AT TOPOUT.
- ALL PLUMBING AND MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
- HVAC CONTRACTOR TO PROPERLY SIZE HEATING AND COOLING SYSTEM FOR THE STRUCTURE.
- IF A NEW KITHCEN EXHAUST FAN OVER 400 CFM IS INSTALLED, AN OUTSIDE MAKE-UP AIR SYSTEM IS REQUIRED.

ENERGY EFFICIENCY

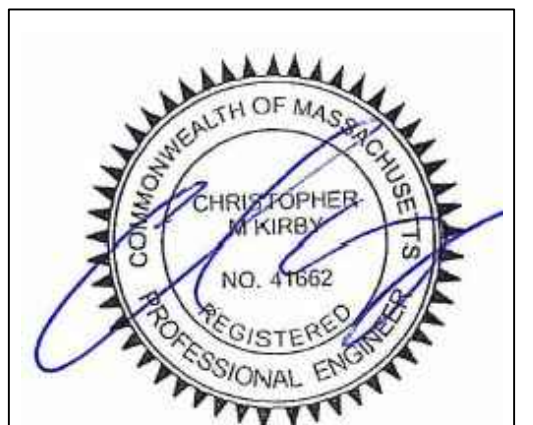
- ENERGY EFFICIENCY TO BE THE "PRESCRIPTIVE METHOD" IN ACCORDANCE WITH CHAPTER 4 (RESIDENTIAL ENERGY EFFICIENCY) OF THE THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC). SEE THIS CHAPTER FOR COMPLETE REQUIREMENTS.
- THE BUILDINGS (NEW PORTION) THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE R402.1.2. A SHORT VERSION OF TABLE R402.1.2 IS LISTED BELOW AND THE FULL VERSION SHALL BE REVIEWED FOR COMPLETE REQUIREMENTS.
- THE 2015 IECC HAS STRICT REQUIREMENTS FOR ENERGY EFFICIENCY AND CHANGES TO THE CODE INCLUDE; HIGHER WALL R-VALUES, PERMANENT CERTIFICATE OF BUILDING COMPONENTS POSTED, AIR LEAKAGE TEST, BASEMENT INSULATION TO A DEPTH OF 10 FEET BELOW GRADE OR THE BASEMENT FLOOR (WHICHEVER IS LESS), RIM JOIST/WALL SEALING, RECESSED LIGHTING SHALL BE SEALED FIXTURES, JUNCTION BOXES ON EXTERIOR WALLS SHALL BE INSULATED, ATTIC ACCESS SHALL BE SEALED, ETC.
- THE CITY OF BOSTON HAS ADOPTED THE "STRETCH ENERGY CODE". ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS MAY APPLY.

TABLE R402.1.2 - PARTIAL LIST (2015 IECC)					
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	FLOOR R-VALUE
5	0.30	0.55	49	20	30

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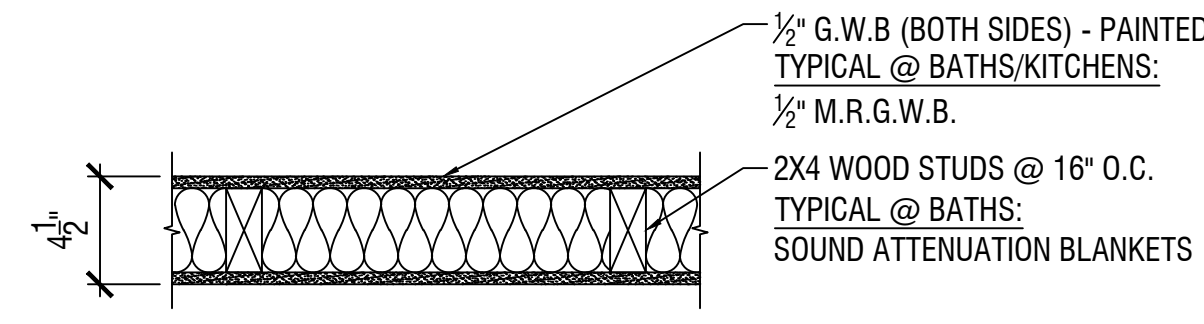
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 Checked By: **CMK**
 Date: **6/8/2018**

Revisions		
Δ	PERMIT SET - REVIEW	5/21/2020
◊	INITIAL SUBMISSION	6/8/2018

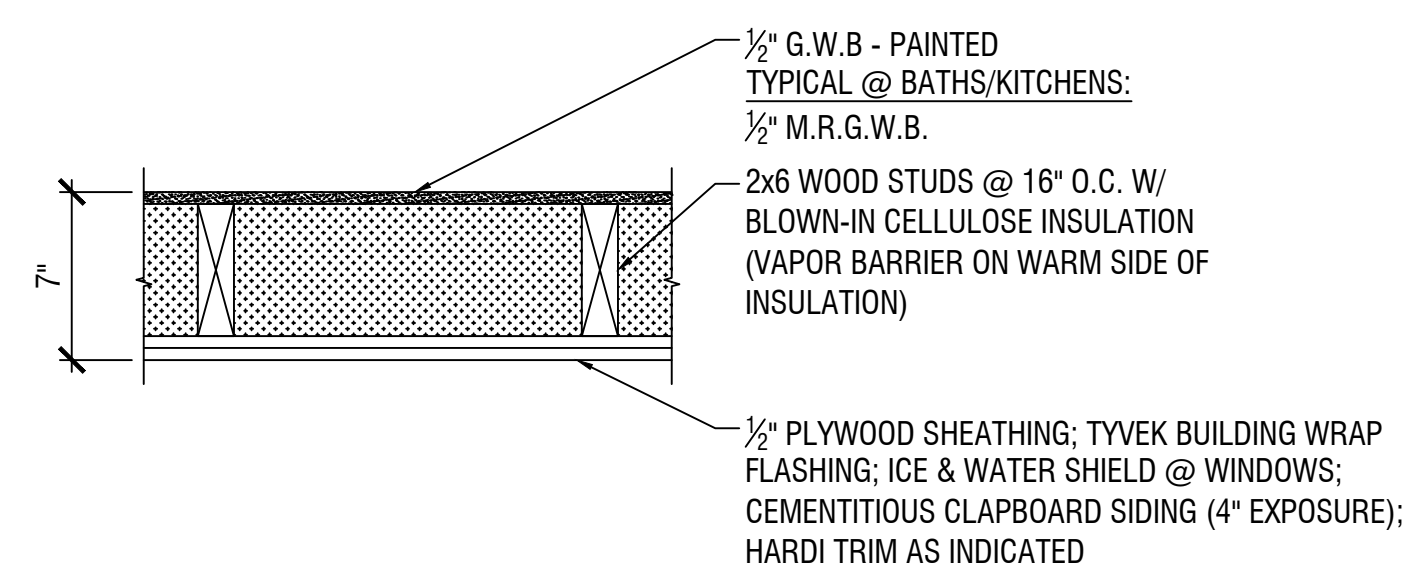
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GENERAL NOTES

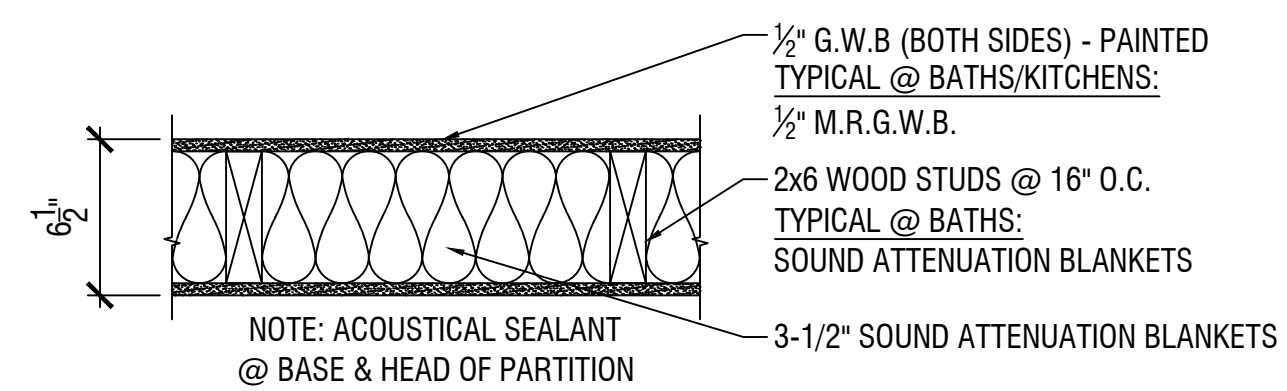
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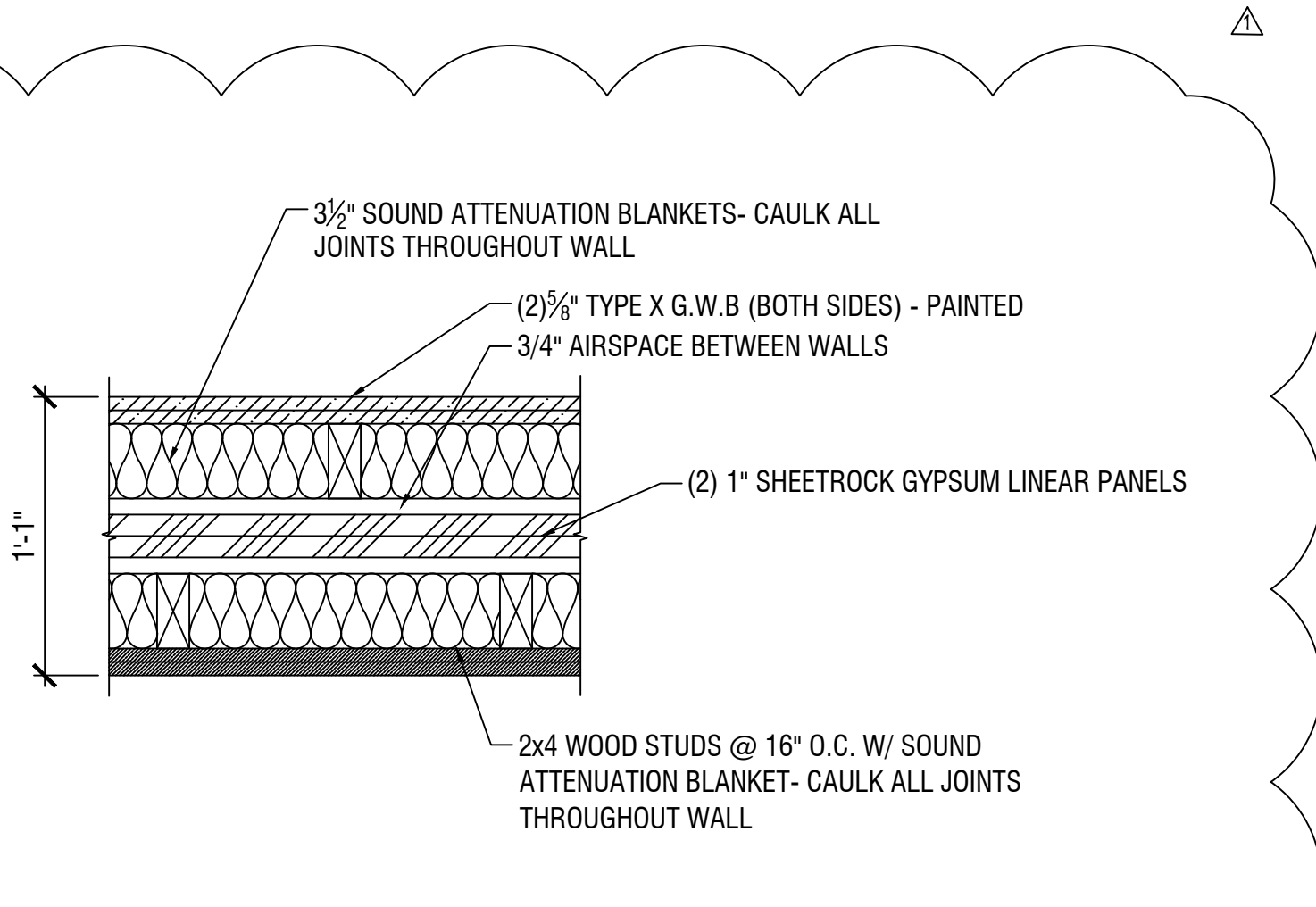
1 TYP. INTERIOR PARTITION
1-1/2" = 1'-0"



5 TYP. EXTERIOR WALL
1-1/2" = 1'-0" R-32



2 TYP. PLUMBING PARTITION
1-1/2" = 1'-0"



3 TYP. UNIT SEPARATION WALL
1-1/2" = 1'-0"
2 HR RATING

ROOM FINISH SCHEDULE								
ROOM NO.	ROOM NAME	WALLS/WAINSCOT	BASE	FLOOR	CEILING	CLNG HGT	MISC	REMARKS
A001	BASEMENT	GWB	-	CONC	DS	8'-0"	-	-
A101	LIVING ROOM	GWB	WD	WD	GWB	8'-0"	-	-
A102	KITCHEN	GWB	WD	WD	GWB	8'-0"	-	-
A103	DINING ROOM	GWB	WD	WD	GWB	8'-0"	-	-
A104	1/2 BATH	MR BD	CT	CT	GWB	7'-6"	-	-
A201	BEDROOM 1	GWB	WD	WD	GWB	8'-0"	-	-
A202	BATH	MR BD	CT	CT	GWB	7'-6"	-	-
A203	BEDROOM 2	GWB	WD	WD	GWB	8'-0"	-	-
A301	BEDROOM 3	GWB	WD	WD	GWB	8'-0"	-	-
A302	STORAGE	GWB	WD	WD	GWB	8'-0"	-	-

ROOM FINISH SCHEDULE ABBREVIATIONS

- CRPT = CARPET
- DS = DUST SHIELD
- CONC = CONCRETE
- CMU = CONCRETE MASONRY UNIT
- EXP = EXPOSED
- GWB = GYPSUM WALL BOARD
- PNT = PAINTED
- VB = VINYL BASE
- VNL = SHEET VINYL
- MR BD = MOISTURE RESISTANT GYPSUM WALL BOARD
- WD = WOOD

GENERAL NOTES:

- TYP. FIRST FLOOR/ BASEMENT CEILING ASSEMBLY - PROVIDE BATT, SPRAY FOAM OR NETTED LOOSE INSULATION R-30 W/ STRAPPING FIRE RATED G.W.B. AT BOILER AREA (TYP.)
- CLOSET FINISHES AND LAUNDRY CLOSET TO MATCH ROOM CLOSET OPENS INTO.
- PROVIDE OAK CAP AT STAIR HANDRAIL.
- STAIR TREAD AND LANDING FINISHES - BASEMENT TREADS - PROVIDE UNPAINTED HARD PINE FIRST FLOOR LANDING - PROVIDE WOOD FLOORING
- ALL WASHING MACHINES IN LIVING AREA TO HAVE CONNECTED METAL PAN TO DRAIN.
- PROVIDE MIN. ONE HAND HANDRAIL AT ALL STAIRS. TWO WHEN SHOWN IN THE DRAWINGS.
- STAIR HANDRAILS WITH OPEN BALUSTER B-720 BEECH NATURAL FINISH HANDRAIL 1-1/4" SQUARE PAINTED BALUSTER AND 3-1/4" SQUARE PAINTED NEWELL; BY BROSCO OR ARCHITECT APPROVED EQUAL.
- INTERIOR STAIR RAIL BRACKET: C- 3002 BROSCO BRASS FINISH OR ARCHITECT APPROVED EQUAL.
- WALL HANG RAILINGS BROSCO 1-1/2" x 1-11/16" NO. 75 ROUND AT BASEMENT STAIRS ONLY. NO. 66 TAPERED PROFILE PINE WITH INTERIOR STAIR HANDRAIL BRACKETS AT STAIRS WITHIN UNITS MITERED RETURNS.

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Date: 6/8/2018

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ROOM FINISH SCHEDULE AND PARTITION TYPES

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Scale: AS SHOWN

