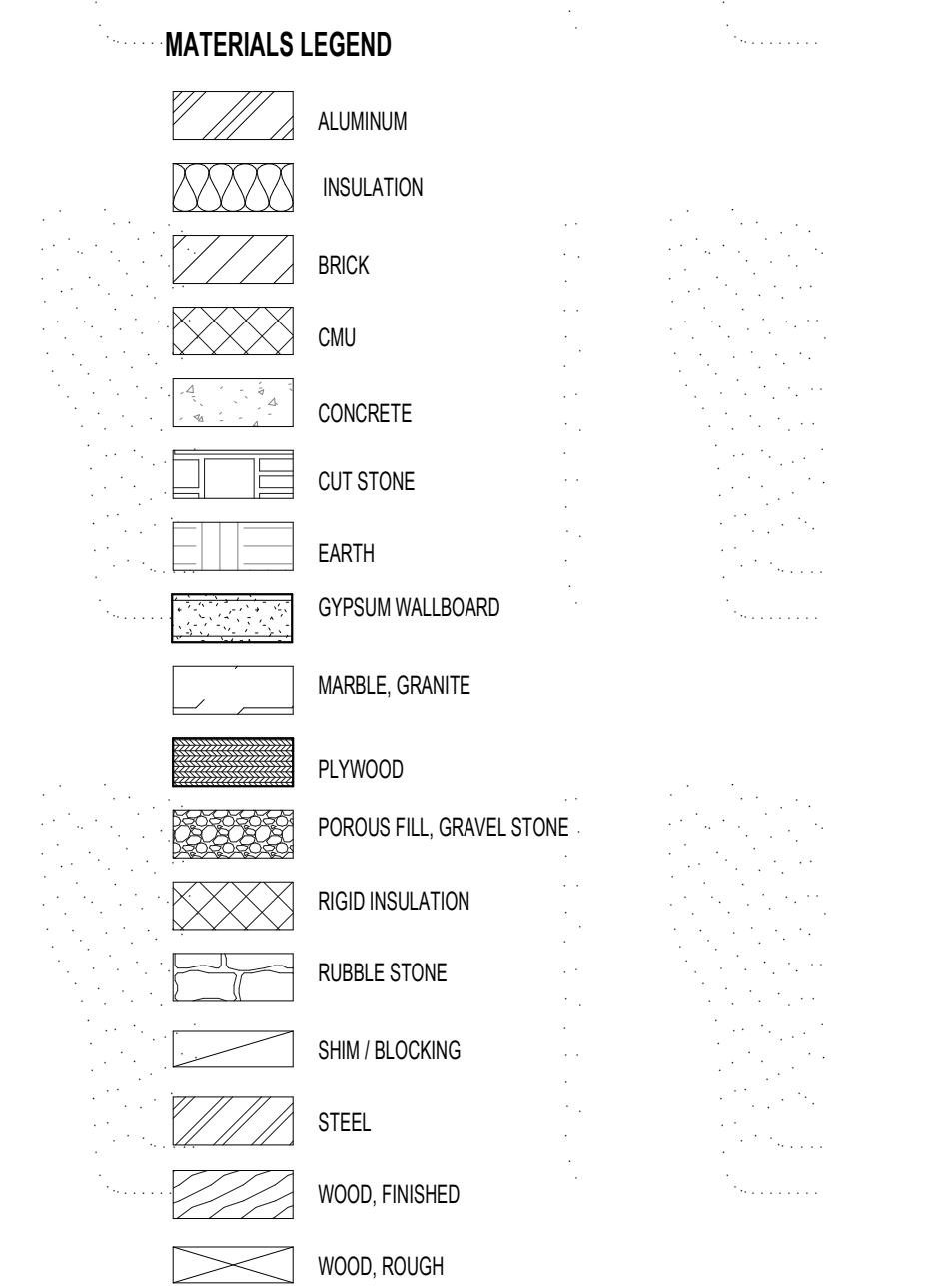
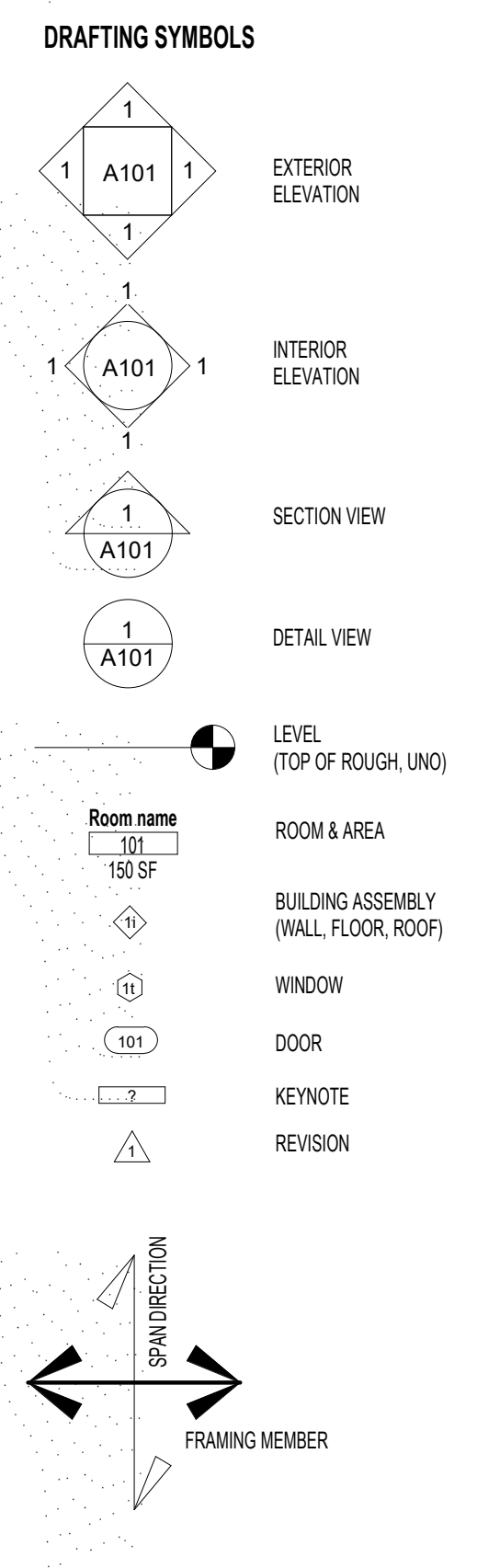
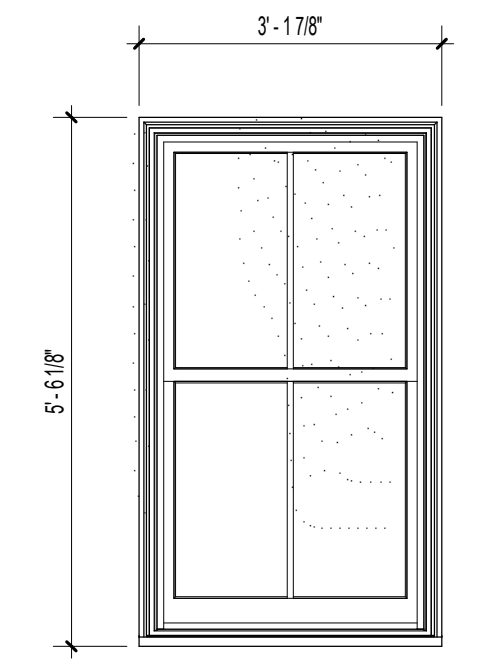


ABBREVIATIONS table with columns for abbreviations and full names. Includes categories like AIR CONDITIONING, CERAMIC TILE, GRADE GRADING, NORTH, SPECIFICATION, etc.



JAMES HARDI 'NAVAJO BEIGE' FIBER CEMENT CLAPBOARD, 4' EXPOSURE



A - DOUBLE HUNG WINDOW
2 OVER 2 ALUM CLAD WOOD WINDOW (BROWN/BRONZE CLADDING)



BOARD-FORMED CONCRETE FOUNDATION

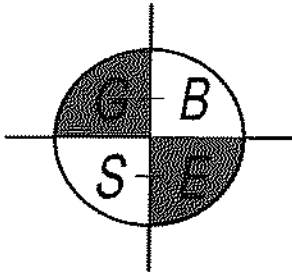
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review for the Board of Appeal
Signature: M. Cannizzo
2/8/2021

SHEET LIST table with columns: #, NAME, SD, ZBA, DD, GD, BID, IFC. Lists sheets from A000 to S101 including Project Cover Sheet, Proposed Plot Plan, Context, 3D Views and Diagrams, Code and Zoning, General Notes and Specifications, Typical Assemblies, Doors and Windows, Architectural Site Plan, First & Second Floor Plans, Third & Roof Plans, Front & Side Elevations, Rear & Side Elevations, Side Elevation, Building Section, and Foundation Plan and Details.



NEW TWO FAMILY BUILDING

88 WAUMBECK STREET
ROXBURY, MA 02121



GREATER BOSTON SURVEY AND ENGINEERING

PAUL J. TYRELL
 PROFESSIONAL ENGINEER
 PROFESSIONAL LAND SURVEYOR
 19 FREDITH ROAD
 WEYMOUTH, MA 02185
 (781) 391-6128
 (781) 413-7029 (CELL) DS

DANIEL G. MacISAAC
 PROFESSIONAL LAND SURVEYOR
 18 FAIRVIEW ROAD
 CANTON, MA 02021
 (781) 562-9009
 (617) 642-7065 (CELL)

Mr. Solmon Chowdry
 P.O. Box 190887
 Roxbury, MA

Ref: 88 Waumbeck Road
 Modal Setback Analysis

APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
 for the
 Board of Appeal

M. Cannizzo
 Signature

December 11, 2020

2/8/2021

Dear Mr. Chowdry:

As requested, Greater Boston Survey and Engineering has performed a modal Setback Analysis along the Southern side of Waumbeck Street between Humboldt Avenue and Harold Street (Dorchester) in accordance with Section 18-2 of the Boston Zoning Code to determine the Modal Front Yard Depth.

The results of our finding are as follows:

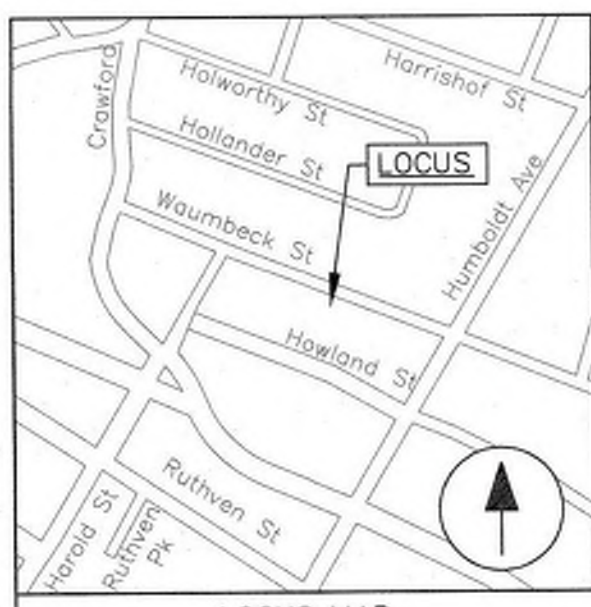
Address	Front Yard	Width
68 Waumbeck Street	16'	47.1
72-74 Waumbeck Street	18.5'	51.3
76-78 Waumbeck Street	18.5'	48.8
84-86 Waumbeck Street	12.5'	45.0
80-82 Waumbeck Street	15.0'	50.0
92 Waumbeck Street	15.0'	40.0
94 Waumbeck Street	15.0'	30.0
96 Waumbeck Street	15.0'	30.0
98 Waumbeck Street	15.0'	30.0
100 Waumbeck Street	15.0'	<u>25.2</u>
		205.2

The 15.0' front yard setback is the front yard depth with the largest total lot width (50.0') between Humboldt Avenue and Harold Street and accordingly is the Modal Setback.

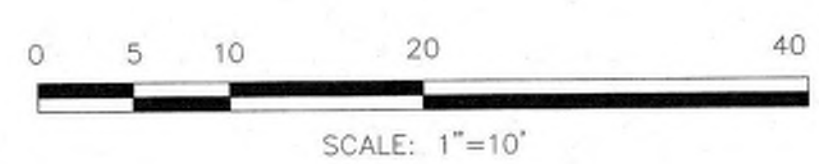
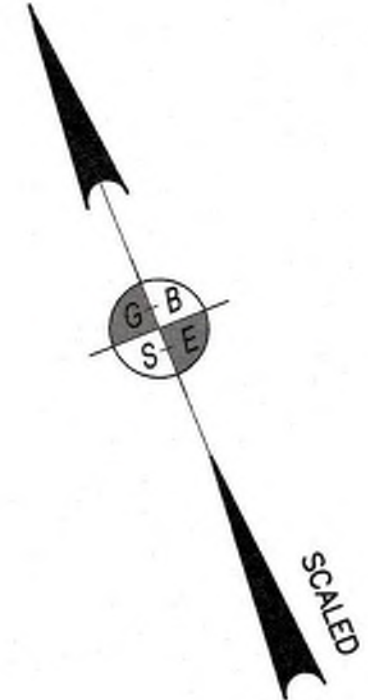
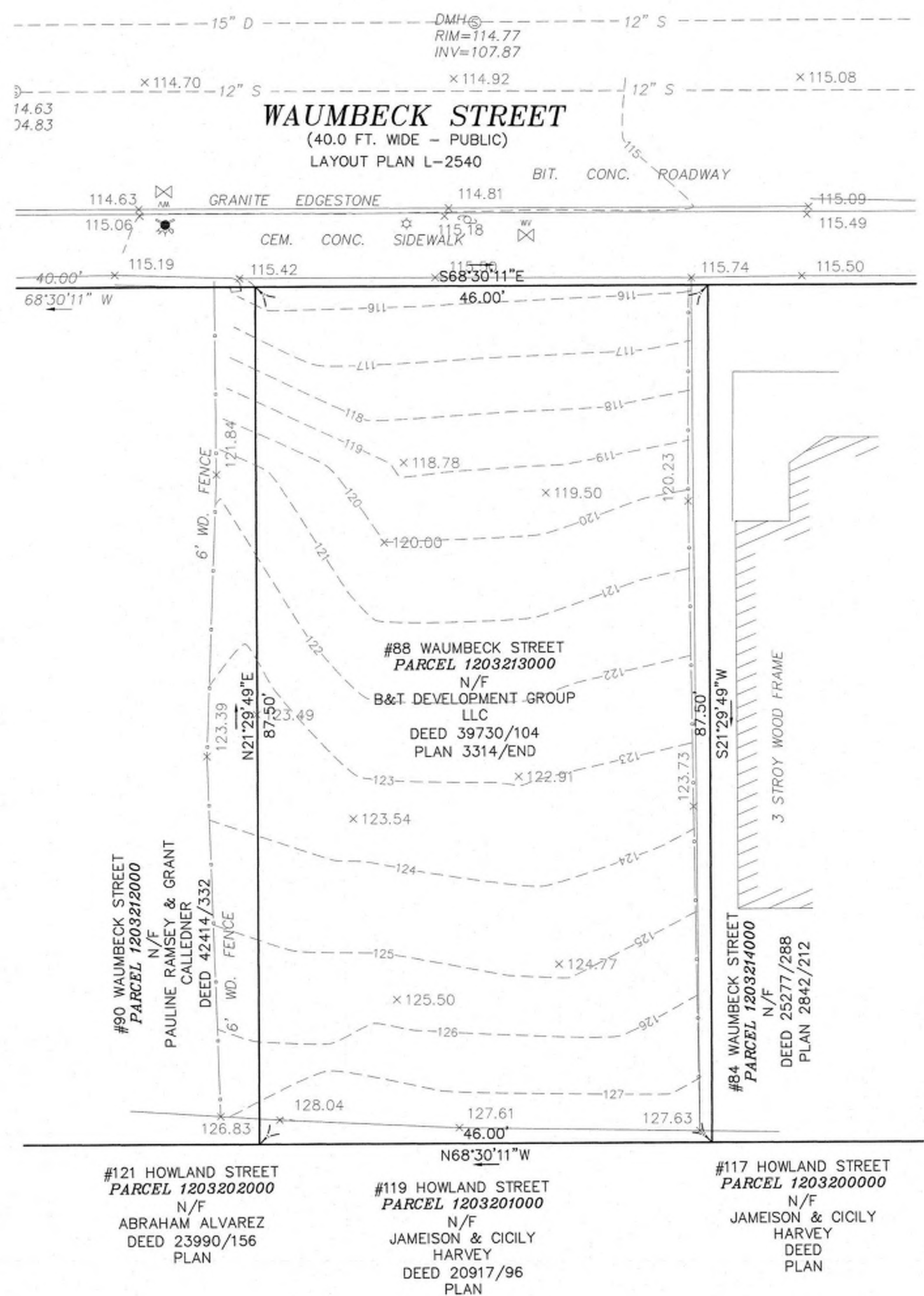
Please contact me if you have any questions.

Sincerely,

Paul J. Tyrell
 Paul J. Tyrell P.E., P.L.S.
 781-413-7029



LOCUS MAP
N.T.S.



- REFERENCES**
- BOSTON PUBLIC WORKS DEPARTMENT SURVEY FIELD NOTES BK 294/134-135, 442/98-99, 610/36
 - CITY OF BOSTON ASSESSORS MAP 12030.

PLANS RECORDED AT SUFFOLK REGISTRY OF DEEDS:
 PLAN 549 OF 2016
 PLAN 868 OF 2005

APPROVED
 Design Section
 BOSTON REDEVELOPMENT AUTHORITY
 Design Review
 for the
 Board of Appeal
 Signature: *M. Cannizzo*

2/8/2021



**PLAN OF LAND
 88 WAUMBEC STREET
 BOSTON, MASSACHUSETTS
 (ROXBURY DISTRICT)**

OWNER
 SOLMON CHOWDURY
 PO BOX 190887
 ROXBURY, MA
 617-869-6806

GREATER BOSTON SURVEYING AND ENGINEERING
 19 FREDITH ROAD
 WEYMOUTH, MA 02189
 (781) 331-6128

CALC BY: PJT	DATE: MAY 16, 2019	SCALE: 1"=10'
--------------	--------------------	---------------

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WAUMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

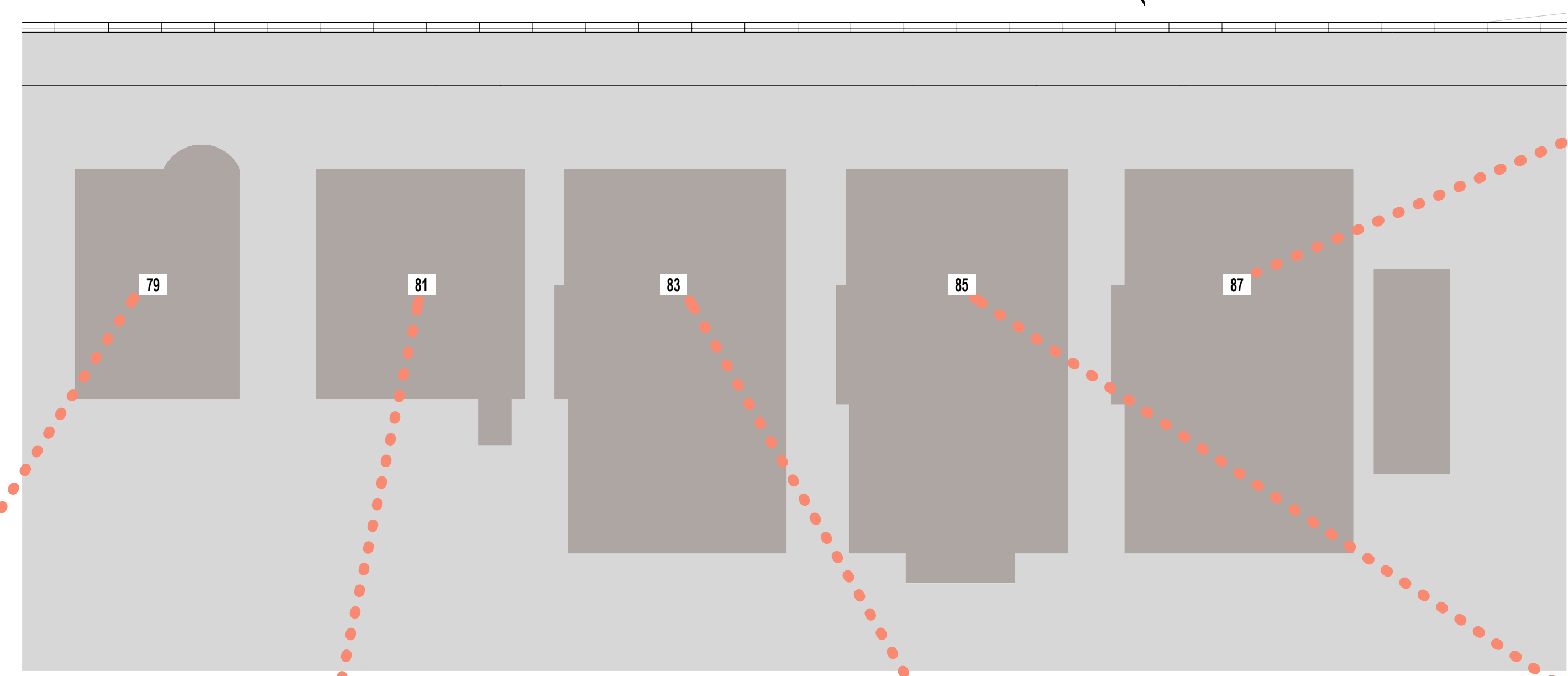
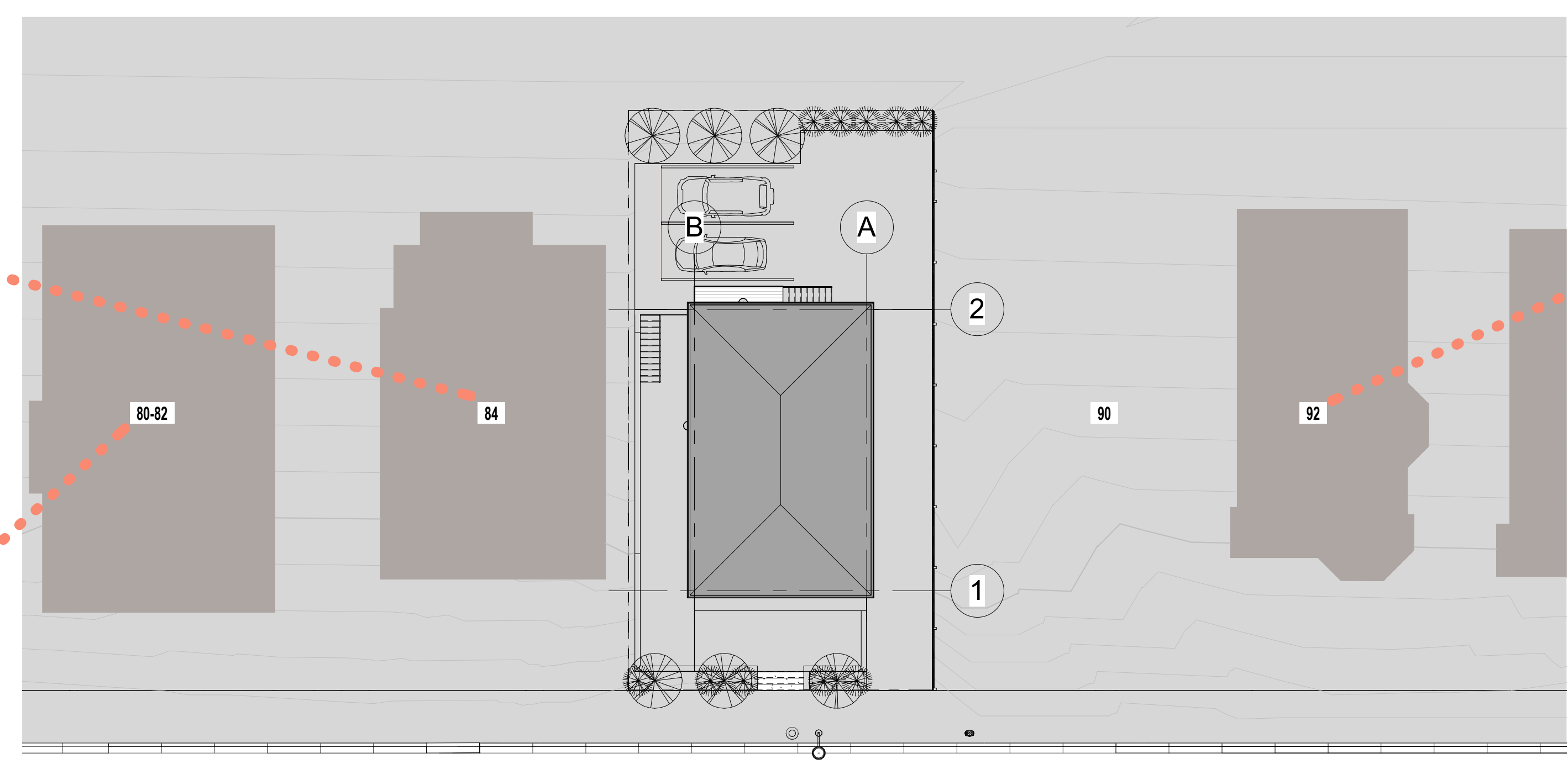
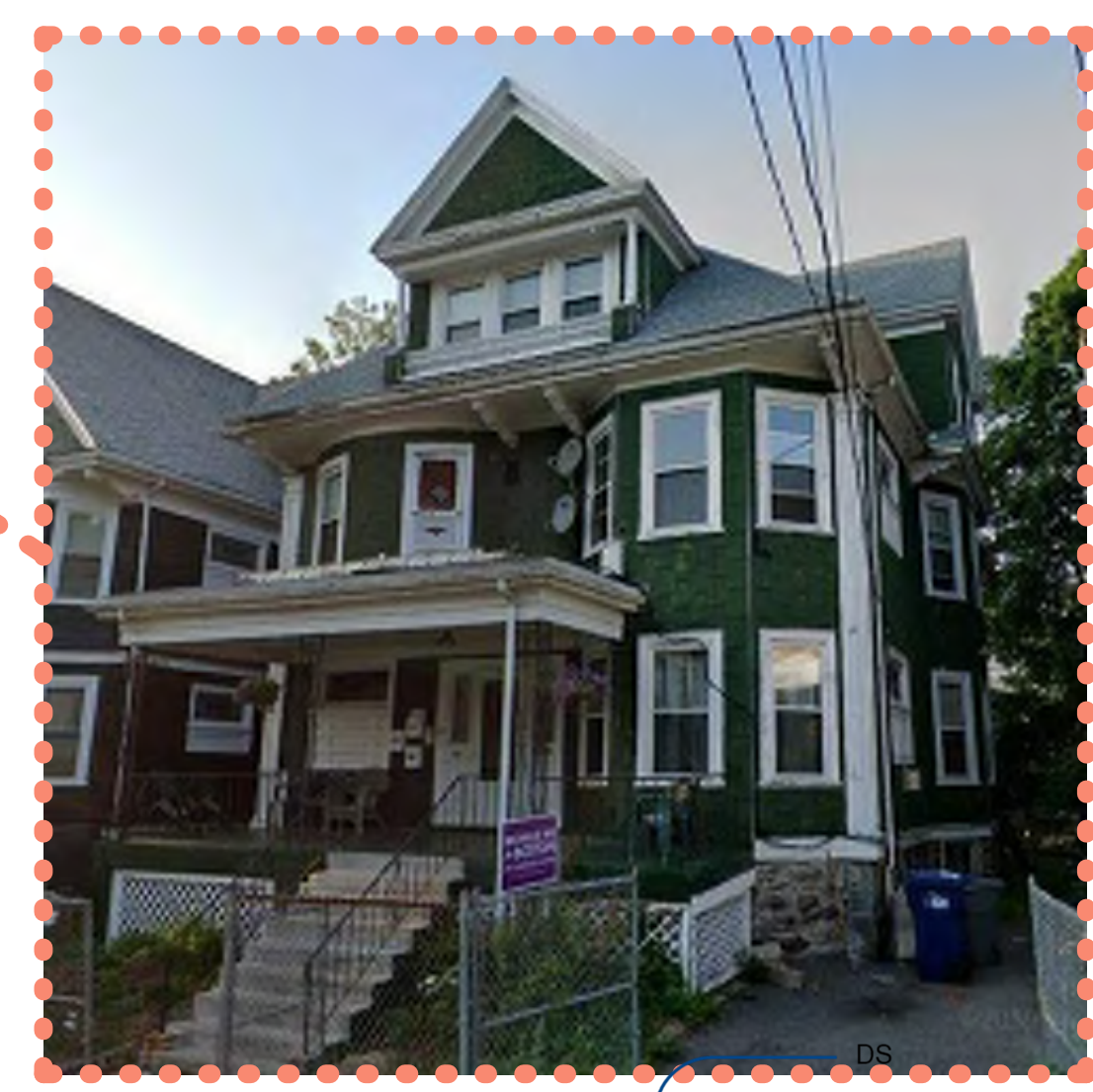
APPROVALS

REGISTERED PROFESSIONAL

SHEET NAME
CONTEXT

SHEET USE
DATE 1/11/2021
SCALE 1/16" = 1'-0"
REVISION
REV ISSUE

A001



APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review for the Board of Appeal
Signature
M. Conlizzo
2/8/2021



3 REAR PATIOS



1 AERIAL 1

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
Signature
2/8/2021



2 PEDESTRIAN

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WAUMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT



407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

APPROVALS

REGISTERED PROFESSIONAL



SHEET NAME
3D VIEWS AND DIAGRAMS

SHEET USE
DATE 1/11/2021
SCALE
REVISION
REV ISSUE

A002

ZONING INFORMATION - 88 WAUMBECK STREET							ZONING DISTRICT - ROXBURY Neighborhood ZONING SUB-DISTRICT - 3F-4000 ARTICLE - 65 OVERLAYS - NONE						
	USE	MAX FAR	BUILDING HEIGHT	LOT SIZE	LOT SIZE PER DW. UNIT	LOT REQ'D FOR EA ADD DW. UNIT	OPEN SPACE PER DW. UNIT	LOT WIDTH	LOT FRONTAGE	FRONT YARD	SIDE YARD	REAR YARD	REAR YARD MAX OCCUPANCY BY ACCESSORY BUILDINGS
ZONING	3 FAMILY	0.8	3 ST 35'-0"	4,000 SF	4,000 SF	2,000 SF	650 SF	45'-0"	45'-0"	20'-0"	10'-0"	30'-0"	25 %
EXISTING	VACANT LAND	-	-	4,025 SF	-	-	-	46'-0"	46'-0"	-	-	-	-
PROPOSED	2 FAMILY	0.797 4,025 (LAND) 3,206 (BUILDING)	3 ST 35'-0"	4,025 SF	4,025 SF	-	690 SF	46'-0"	46'-0"	20'-0"	10'-0"	30'-0"	-
VIOLATIONS	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES

GROSS BUILDING AREA	
NAME	AREA
COMMON	Not Placed
MECH	Not Placed
MECH	64 SF
UNIT 1	539 SF
UNIT 1	984 SF
UNIT 1 STORAGE	1084 SF
UNIT 2	121 SF
UNIT 2	566 SF
UNIT 2	1105 SF
UNIT 2 STORAGE	Not Placed
	4463 SF

FAR CALCULATION	
NAME	AREA
COMMON	Not Placed
	0 SF
UNIT 1	539 SF
UNIT 1	984 SF
	1523 SF
UNIT 2	121 SF
UNIT 2	566 SF
UNIT 2	1105 SF
	1792 SF
	3315 SF

PROJECT NAME
NEW TWO FAMILY BUILDING

PROJECT ADDRESS
88 WAUMBECK STREET
ROXBURY, MA 02121

PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO STUDIOS
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

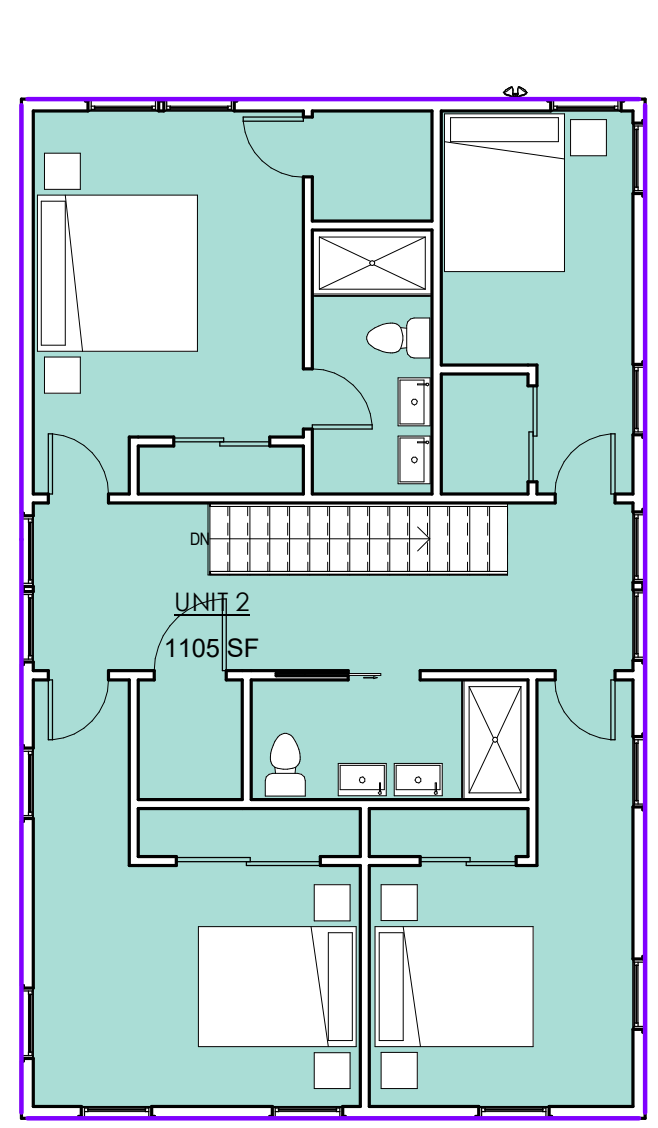
CONSULTANT(S)

DS

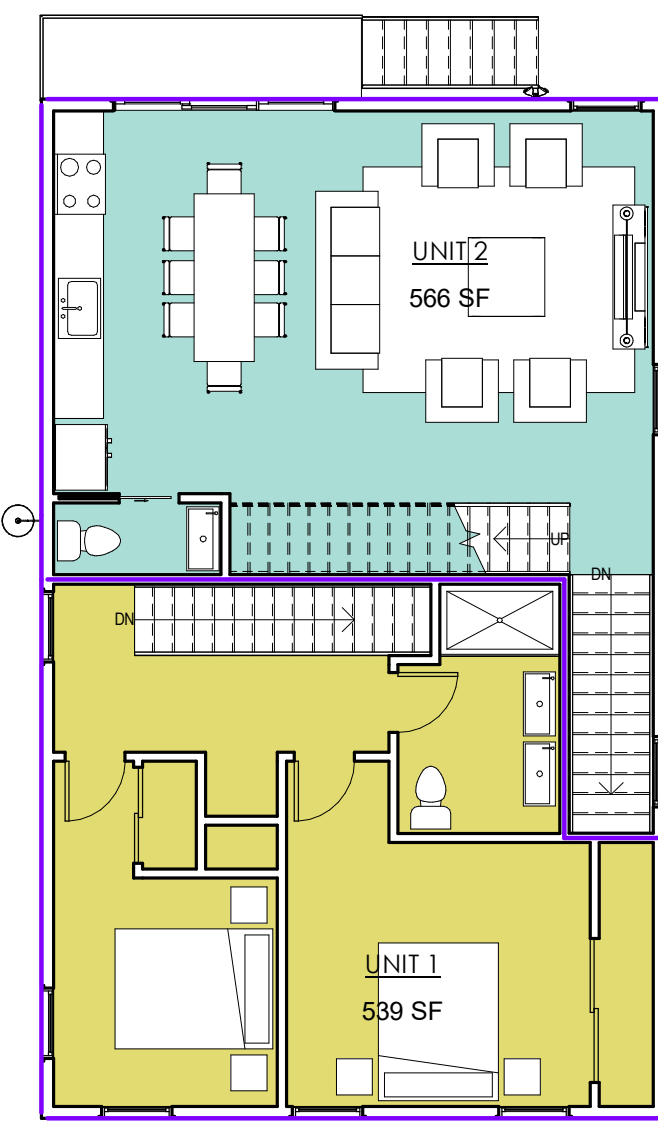
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review for the Board of Appeal
M. Gonzalez
Signature

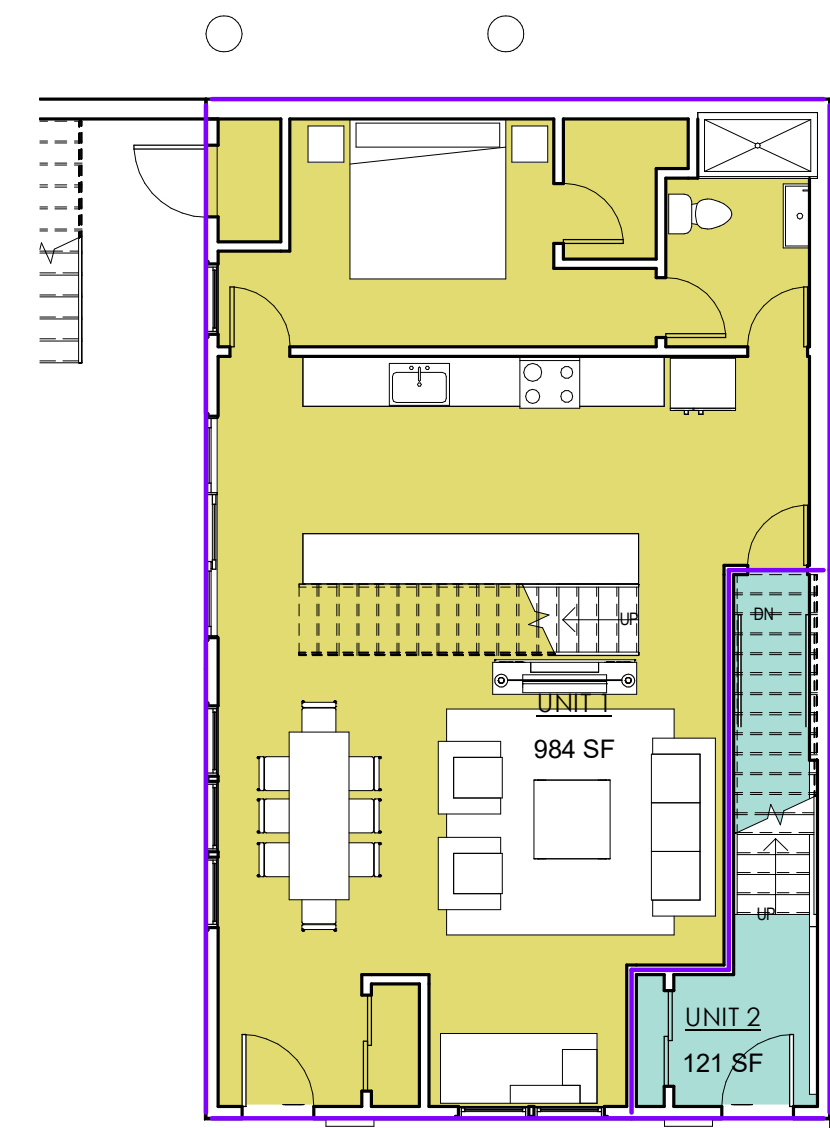
2/8/2021



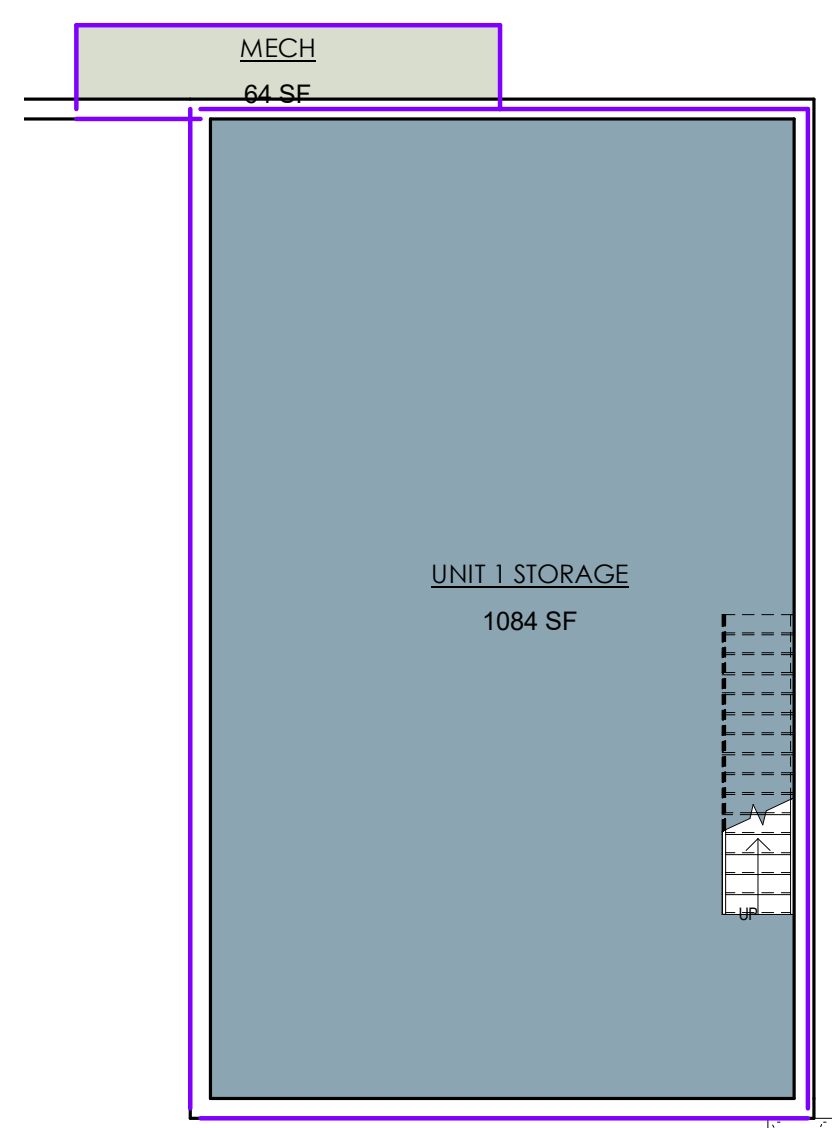
3 03 - LEVEL 3
1/8" = 1'-0"



2 02 - LEVEL 2
1/8" = 1'-0"



1 01 - LEVEL 1
1/8" = 1'-0"



B 00 - BASEMENT
1/8" = 1'-0"

APPROVALS

REGISTERED PROFESSIONAL

SHEET NAME
CODE AND ZONING

SHEET USE

DATE 1/11/2021

SCALE As indicated

REVISION

REV ISSUE

A003

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WAUMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)
DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
M. Conrizzo
Signature

2/8/2021

APPROVALS

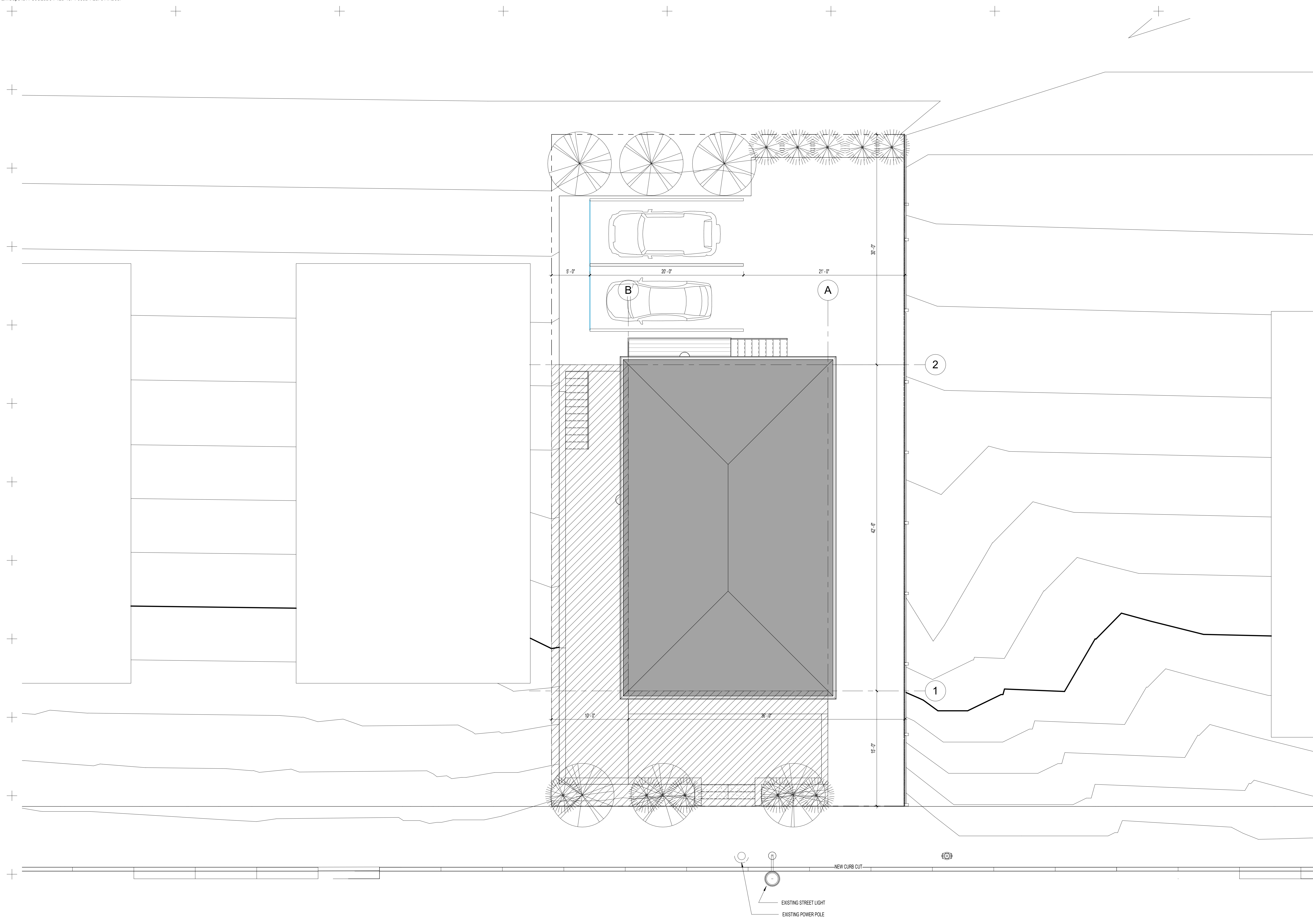
REGISTERED PROFESSIONAL



SHEET NAME
ARCHITECTURAL SITE PLAN

SHEET USE
DATE 1/11/2021
SCALE 3/16" = 1'-0"
REVISION
REV ISSUE

A100



PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WAUMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

APPROVALS

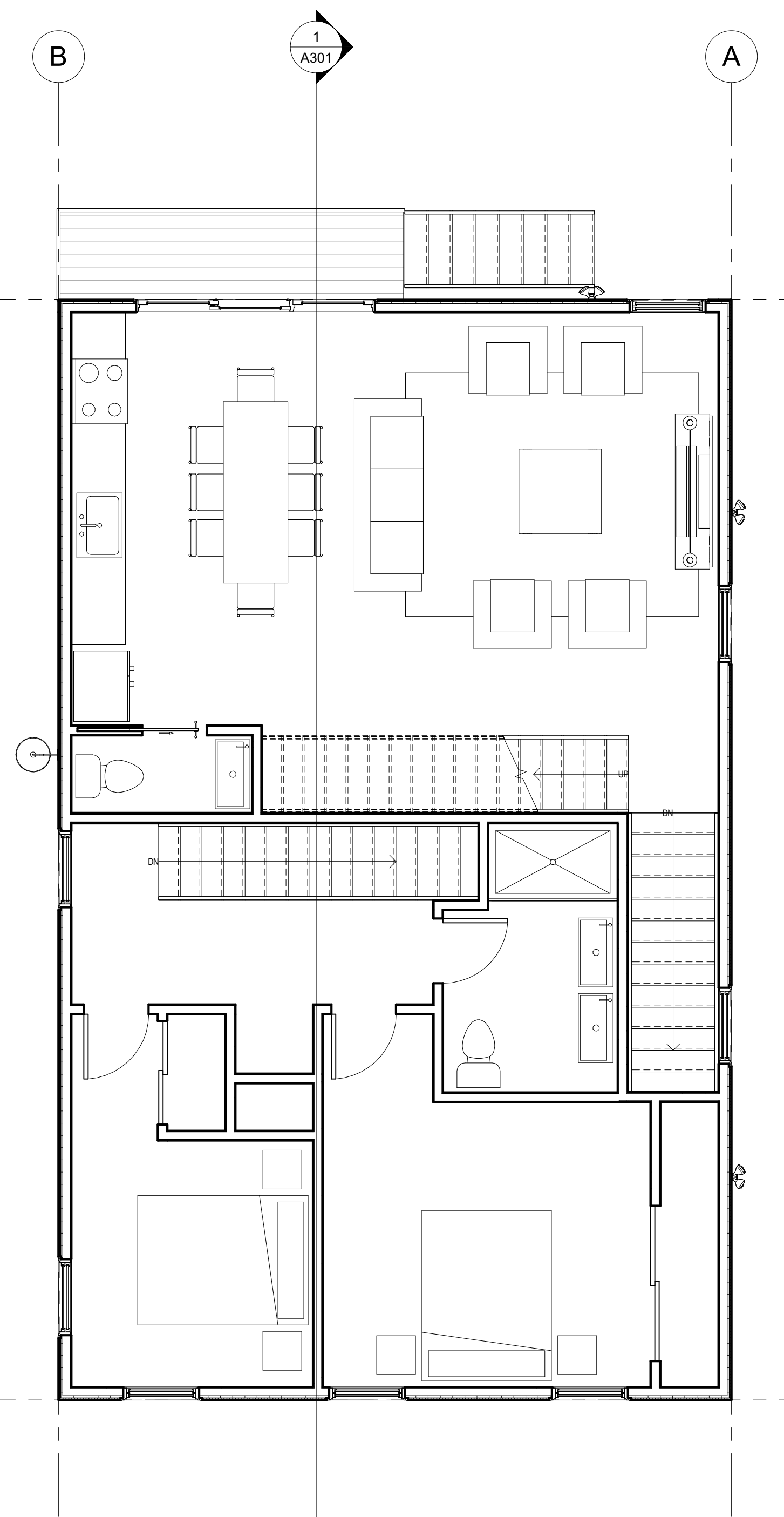
REGISTERED PROFESSIONAL



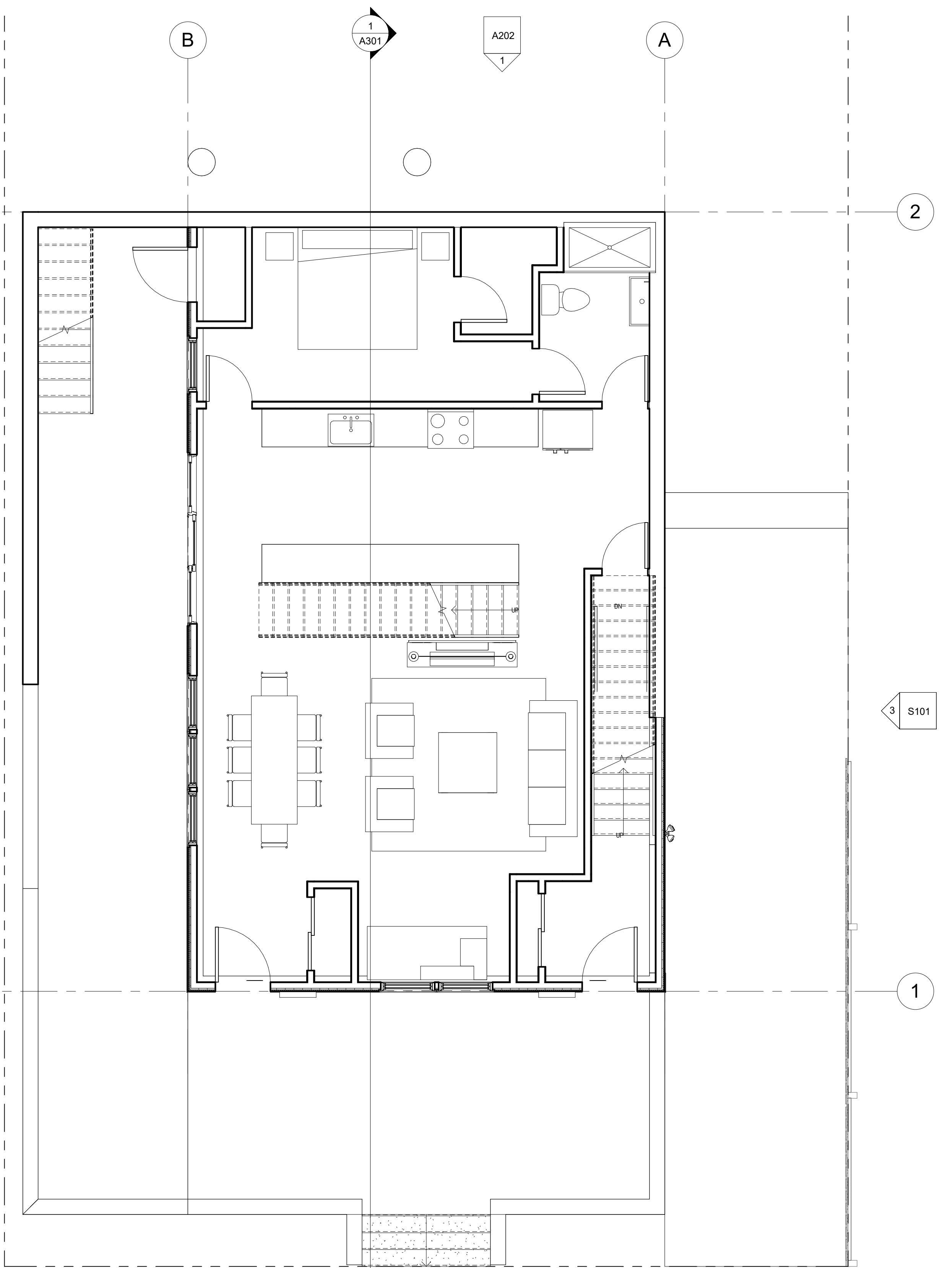
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
Signature
2/8/2021

SHEET NAME
FIRST & SECOND FLOOR PLANS
SHEET USE
DATE 1/11/2021
SCALE 1/4" = 1'-0"
REVISION
REV ISSUE

A101



2 02 - LEVEL 2
1/4" = 1'-0"



1 01 - LEVEL 1
1/4" = 1'-0"

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WAUMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

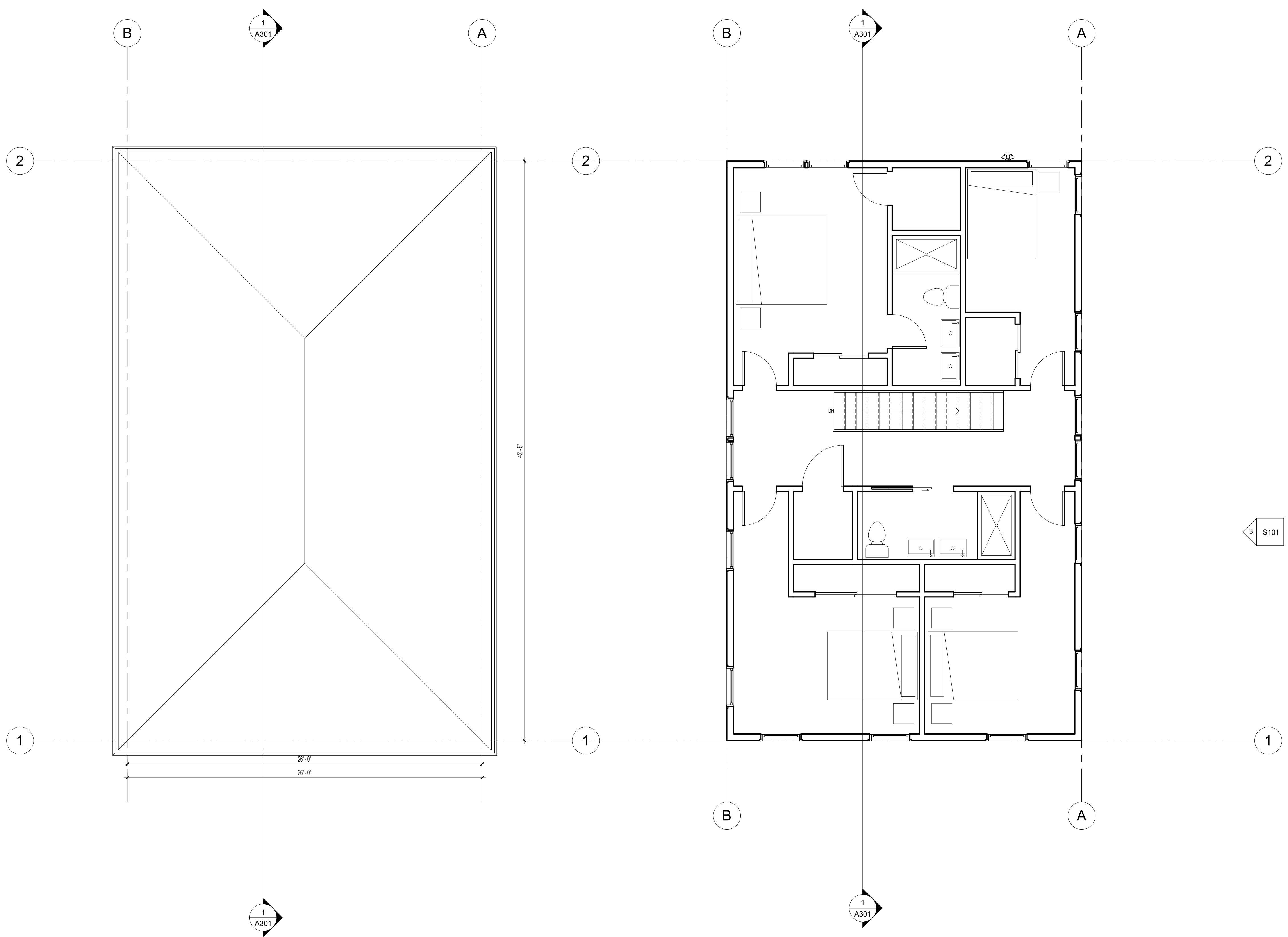
APPROVALS

REGISTERED PROFESSIONAL



DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
M. Cannizzo
Signature
SHEET NAME
THIRD & ROOF PLANS

SHEET USE
DATE 1/11/2021
SCALE 1/4" = 1'-0"
REVISION
REV ISSUE



4 04 - TOP OF ROOF
1/4" = 1'-0"

3 03 - LEVEL 3
1/4" = 1'-0"

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WALMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

APPROVALS

REGISTERED PROFESSIONAL



SHEET NAME
FRONT & SIDE ELEVATIONS

SHEET USE
DATE 1/11/2021
SCALE 3/8" = 1'-0"
REVISION
REV ISSUE

A201



DS
APPROVED
Design Section 2/8/2021
BOSTON REDEVELOPMENT AUTHORITY
Design Review for the Board of Appeal
M. Conlizzo
Signature

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WALUMBEC STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

APPROVALS

REGISTERED PROFESSIONAL

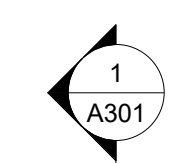


SHEET NAME
REAR & SIDE ELEVATIONS

SHEET USE
DATE 1/11/2021
SCALE 1/4" = 1'-0"
REVISION
REV ISSUE

A202

1 2 A B



04 - TOP OF ROOF
35' - 0"

03 - LEVEL 3
25' - 0"

02 - LEVEL 2
14' - 0"

01 - LEVEL 1
3' - 0"

00 - SIDEWALK
0' - 0"

00 DBASEMENT
-7' - 0"

APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
M. Carlucci
Signature
2/8/2021

2 WEST
1/4" = 1'-0"

1 SOUTH
1/4" = 1'-0"

PROJECT NAME
NEW TWO FAMILY BUILDING
PROJECT ADDRESS
88 WALIMBECK STREET
ROXBURY, MA 02121
PROJECT PHASE
SCHEMATIC DESIGN

ARCHITECT
VANKO
STUDIO
ARCHITECTS
407 DUDLEY STREET, SUITE #8
BOSTON, MA 02119
617.502.1120

CONSULTANT(S)

APPROVALS

REGISTERED PROFESSIONAL



SHEET NAME
SIDE ELEVATION

SHEET USE
DATE 1/11/2021
SCALE 1/4" = 1'-0"
REVISION
REV ISSUE

A203



EAST
1/4" = 1'-0"

00 - BASEMENT
-7' - 0"

DS
APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
2/8/2021
M. Calvizzo
Signature