

Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 93 & 91 Waumbeck Street, Roxbury, MA

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- G-4.0 Details
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Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

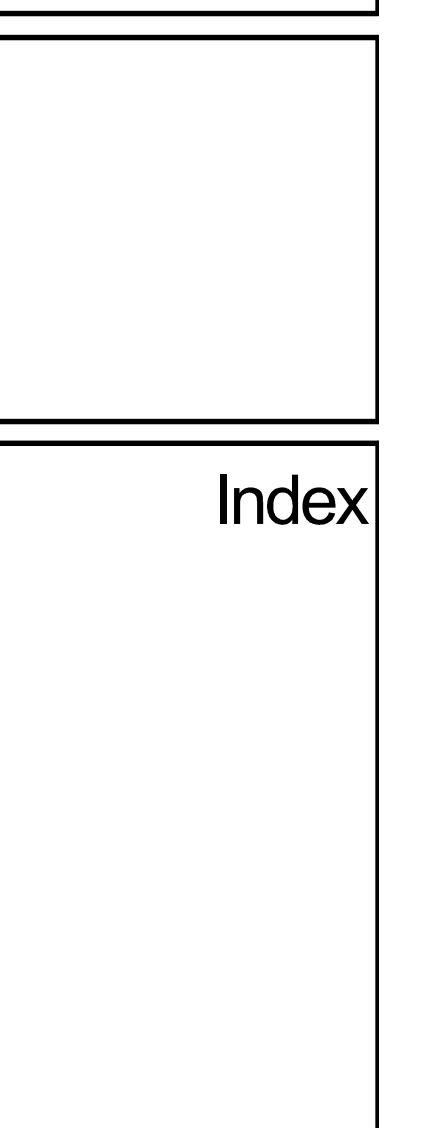
ZONING ANALYSIS					
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED	PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
93 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	NONE	91 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	NONE
USE: ONE-FAMILY SEMI-ATTACHED DWELLING (ALLOWED)		NONE	USE: ONE-FAMILY SEMI-ATTACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 588 SQFT	GROSS FLOOR AREA: 1176 SQFT	NONE	BUILDING FOOTPRINT: 605 SQFT	GROSS FLOOR AREA: 1210 SQFT	NONE
LOT FRONTAGE: 25'-0" (REQUIRED)	31'-0" (PROPOSED)	NONE	LOT FRONTAGE: 25'-0" (REQUIRED)	31'-11" (PROPOSED)	NONE
LOT WIDTH: 25'-0" (REQUIRED)	31'-0" MIN. (PROPOSED)	NONE	LOT WIDTH: 25'-0" (REQUIRED)	31'-0" MIN. (PROPOSED)	NONE
LOT SIZE: 2000 SQFT (REQUIRED)	3189 SQFT (PROPOSED)	NONE	LOT SIZE: 2000 SQFT (REQUIRED)	3251 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.37 +/- (PROPOSED)	NONE	FLOOR AREA RATIO: .8 (REQUIRED)	.37 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE	HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE	OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE	FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE	SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	EXCEEDS (PROPOSED)	NONE	REAR YARD SETBACK: 30' (REQUIRED)	EXCEEDS (PROPOSED)	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE	OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	
97 WAUMBECK ROXBURY, MA	95 WAUMBECK ROXBURY, MA	
93 WAUMBECK ROXBURY, MA	91 WAUMBECK ROXBURY, MA	
STREET: WAUMBECK STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
87 WAUMBECK STREET	10'-9"(11')	56'-10"
85 WAUMBECK STREET	11'-0"(11')	40'-9"
83 WAUMBECK STREET	10'-6"(11')	39'-8"
81 WAUMBECK STREET	10'-5"(10')	40'-9"
79 WAUMBECK STREET	12'-2"(12')	40'-0"
77 WAUMBECK STREET	10'-9"(11')	41'-1"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	11'-0"	
MODAL SETBACK	11'-0"	
PROPOSED MINIMUM SETBACK	11'-0"	

Garrison Trotter II
 Homes
 93 & 91 Waumbeck Street
 Roxbury, MA
 Neighborhood
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 TEL: (617) 708-1071



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

Permit Set

91 WAUMBECK STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▤ CEMENT CONCRETE SIDEWALK
- · - · - SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- +100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB @ LEACHING BASIN
- WG @ WATER GATE
- @ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN



DZI Land Planning, Civil Engineering, Landscape Architecture
 Po Box 307
 Foxborough, MA
 www.develliszrein.com
 tel. 508.473.4114

DeVellis Zrein Inc.

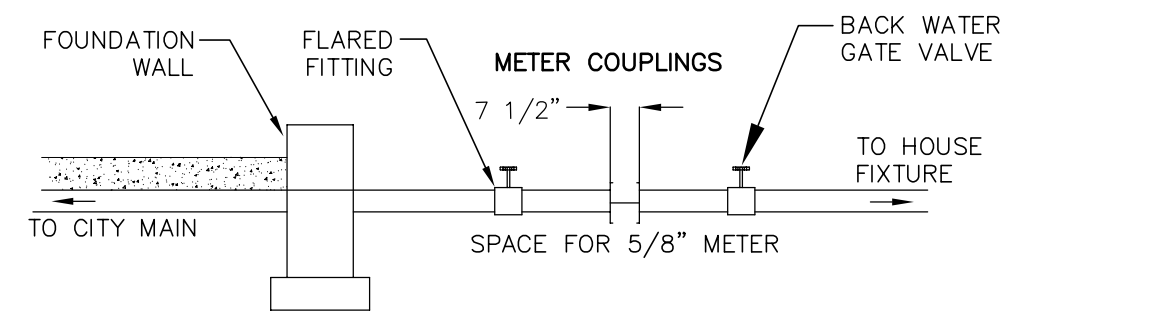
UTILITY PLAN AND DETAILS

SITE PLAN # 16410

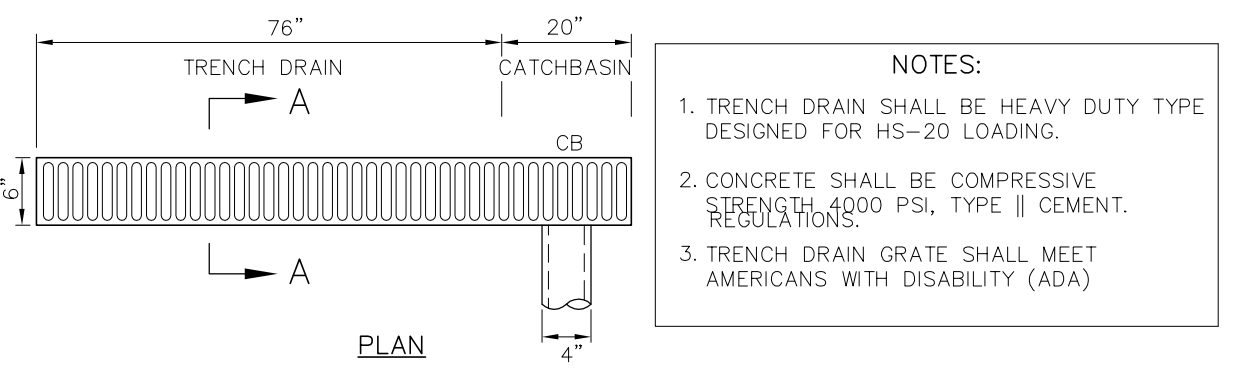
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 JOB: 2G15-262
 FILE: 2G15-262-GU
 DRAWN: IAZ
 CHECKED:
 DATE: 08.16.16

C-1

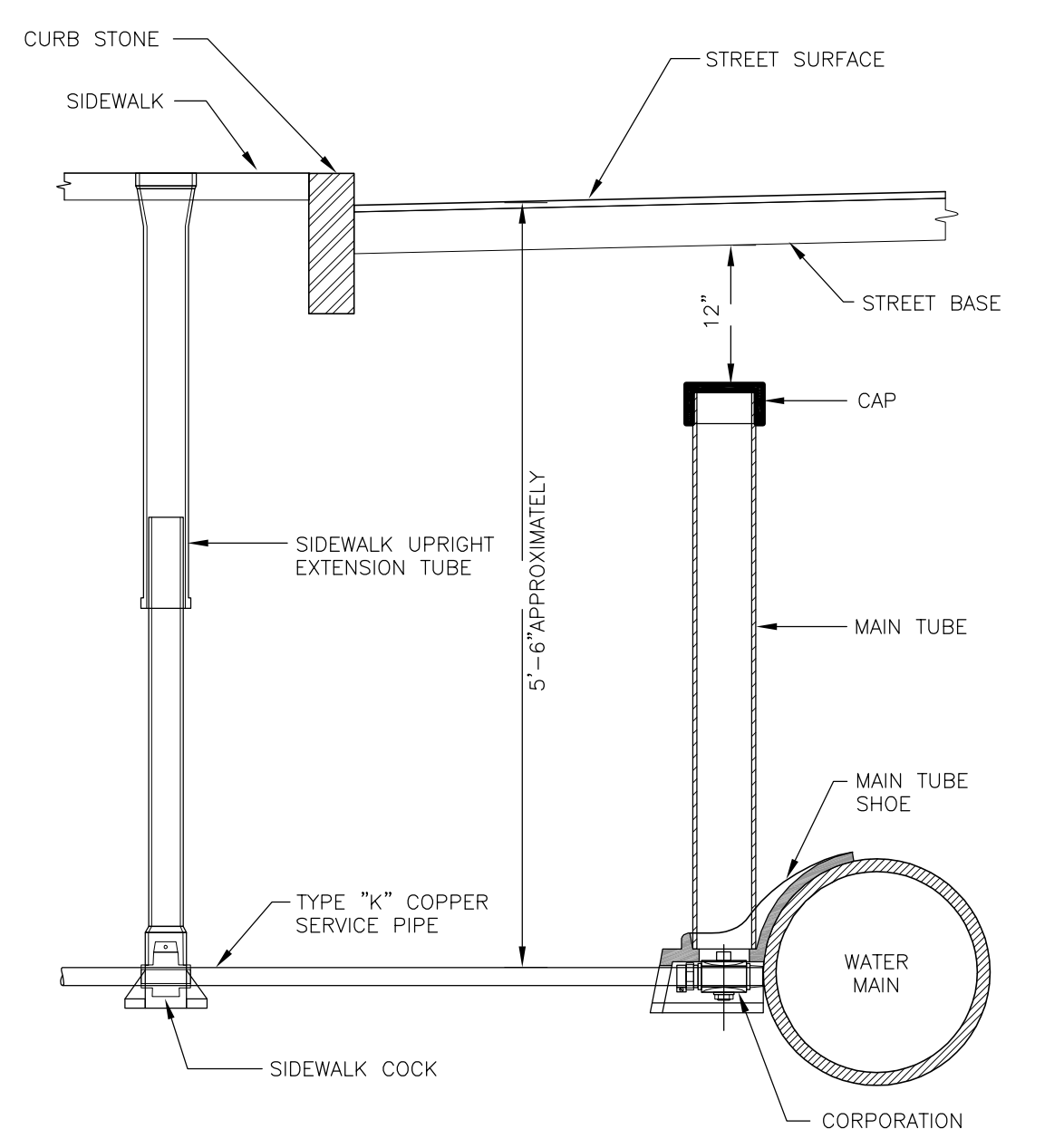
- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



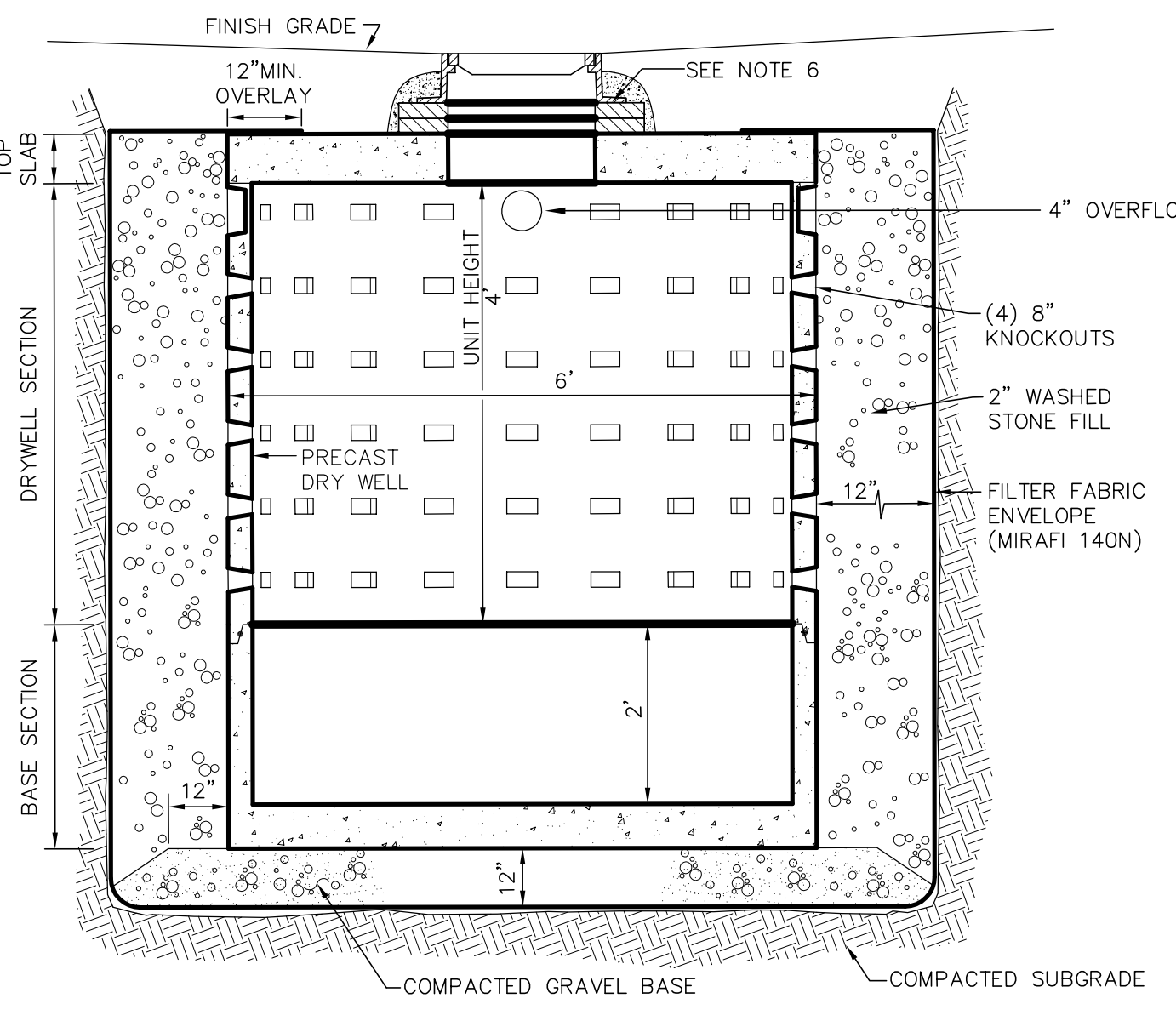
WATER METER SPACING DETAIL



TRENCH DRAIN



1" WATER CONNECTION DETAIL



LEACHING BASIN

INFILTRATION CALCULATIONS

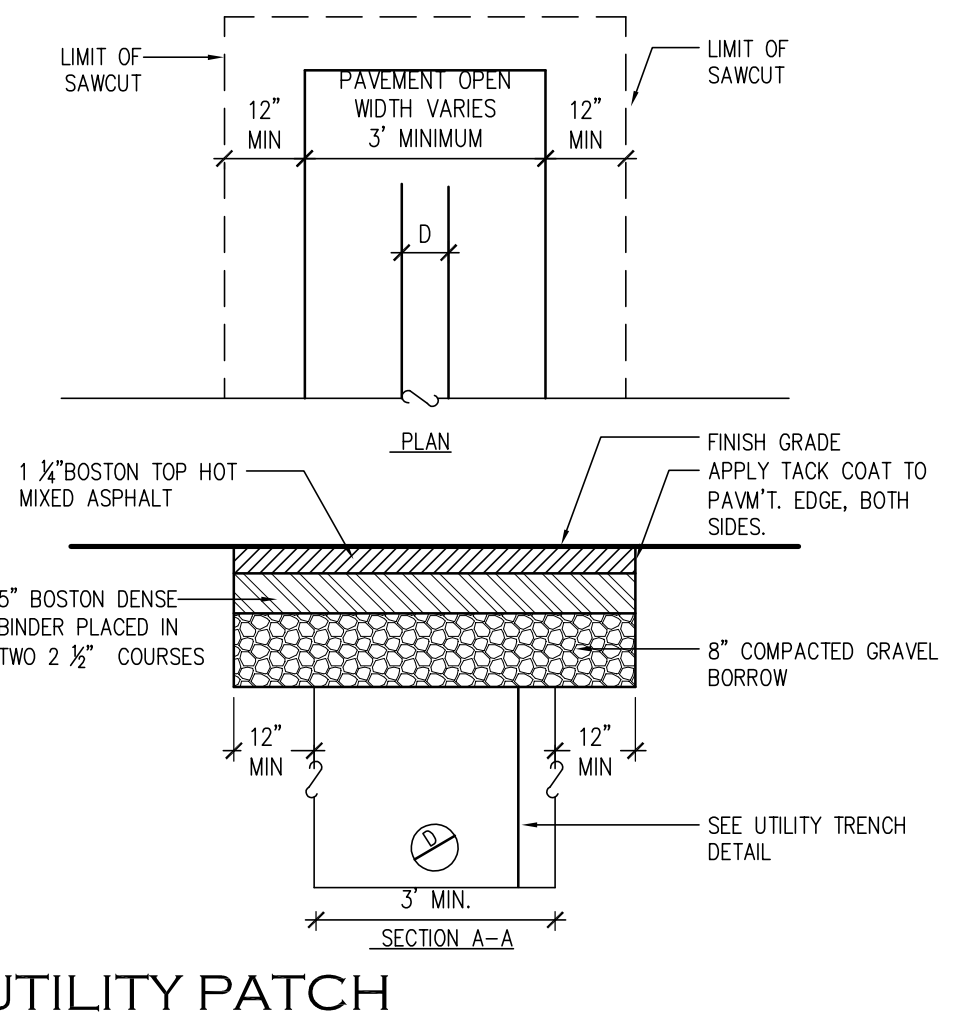
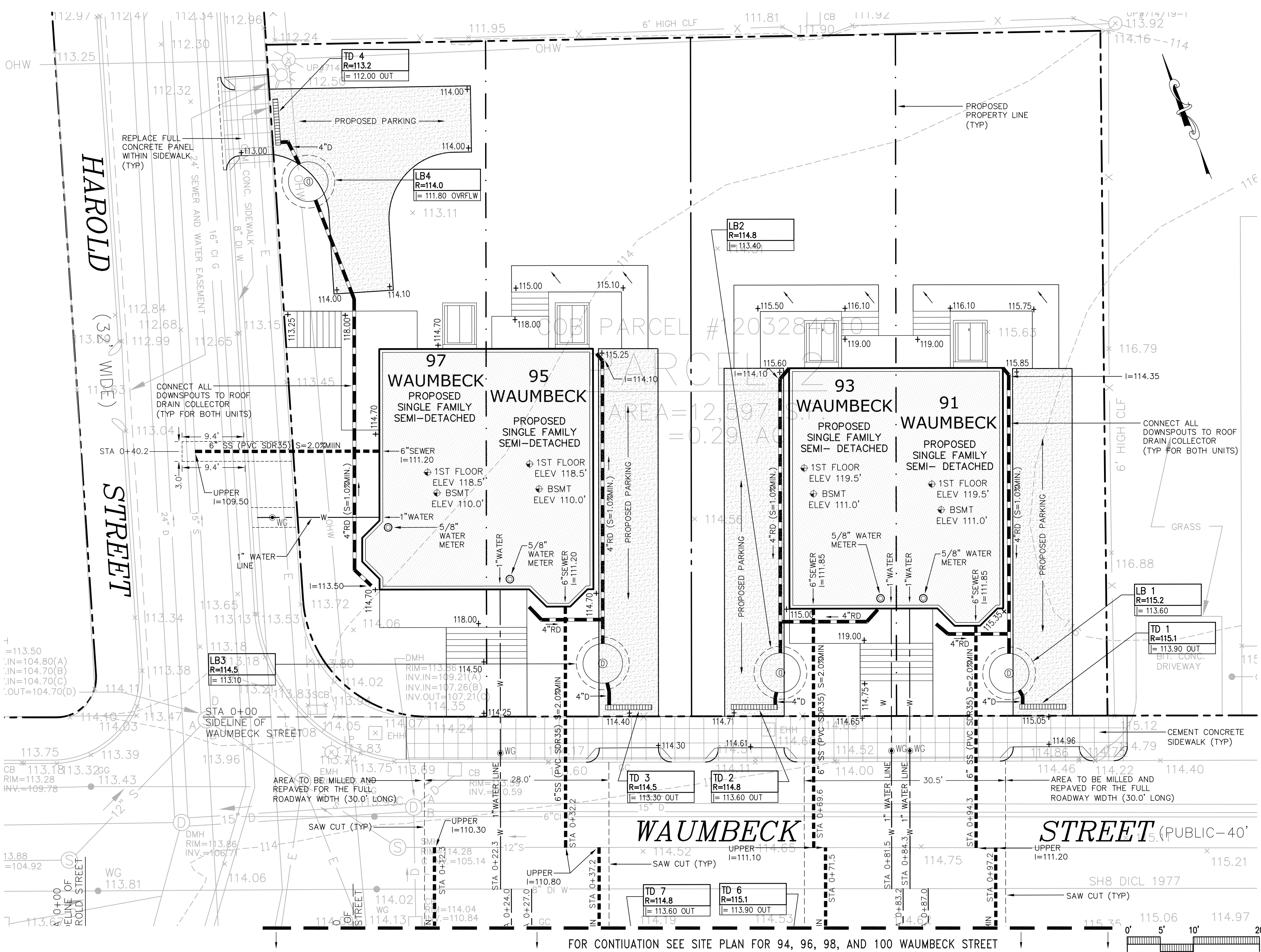
91 WAUMBECK STREET

STORAGE VOLUME REQUIRED
 1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
 IMPERVIOUS SURFACE = 1,251 S.F.
 REQUIRED STORAGE =
 (1/12) FEET X 1,251 = 104.2 C.F.
 PROVIDE LEACHING BASIN 6'-DIA/4' DEEP
 W/12" STONE ALL AROUND
 STORAGE PROVIDED = 113.0 C.F. > 104.2 C.F.

LAND USE CODE: "A" RESIDENTIAL
 2 BEDROOMS (220 GPD)

BWSC INSPECTIONS:

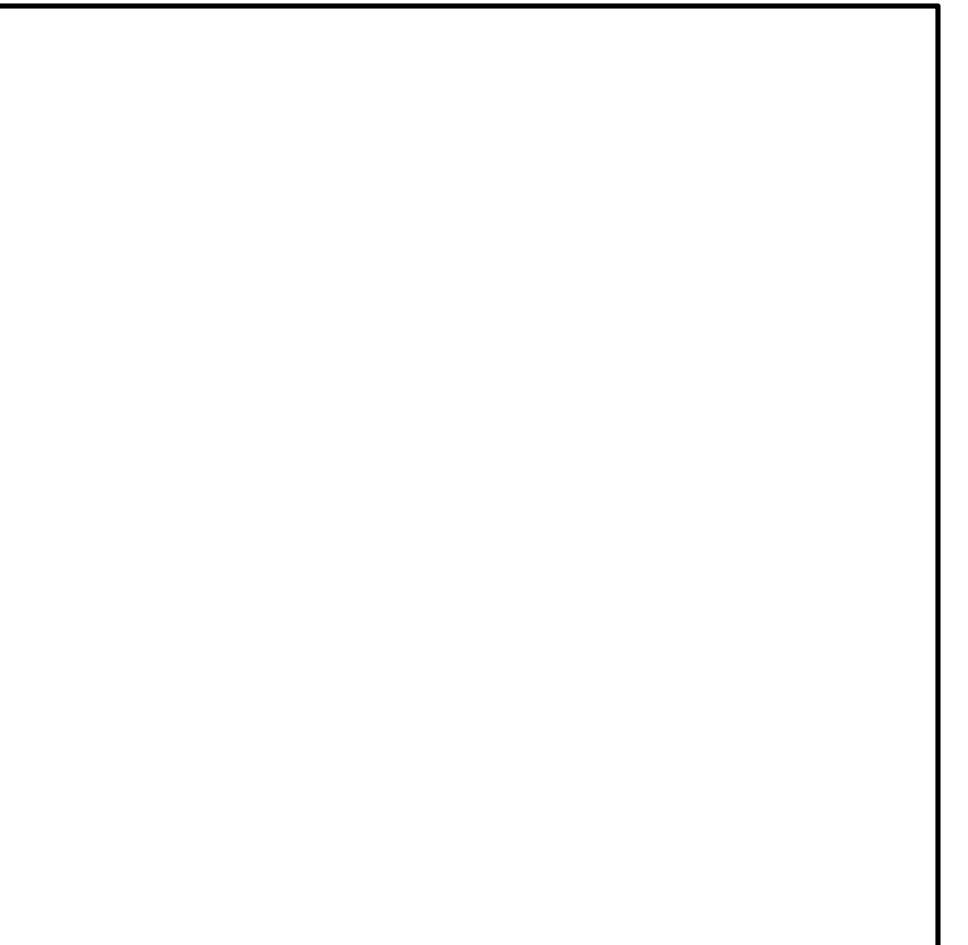
	BWSC INSPECTOR	DATE
(1) RECHARGE SYSTEM		
(2) 6" SEWER LINE		
(3) 1" WATER LINE		
(4) TRENCH DRAIN		
(5) DYE TEST		



UTILITY PATCH

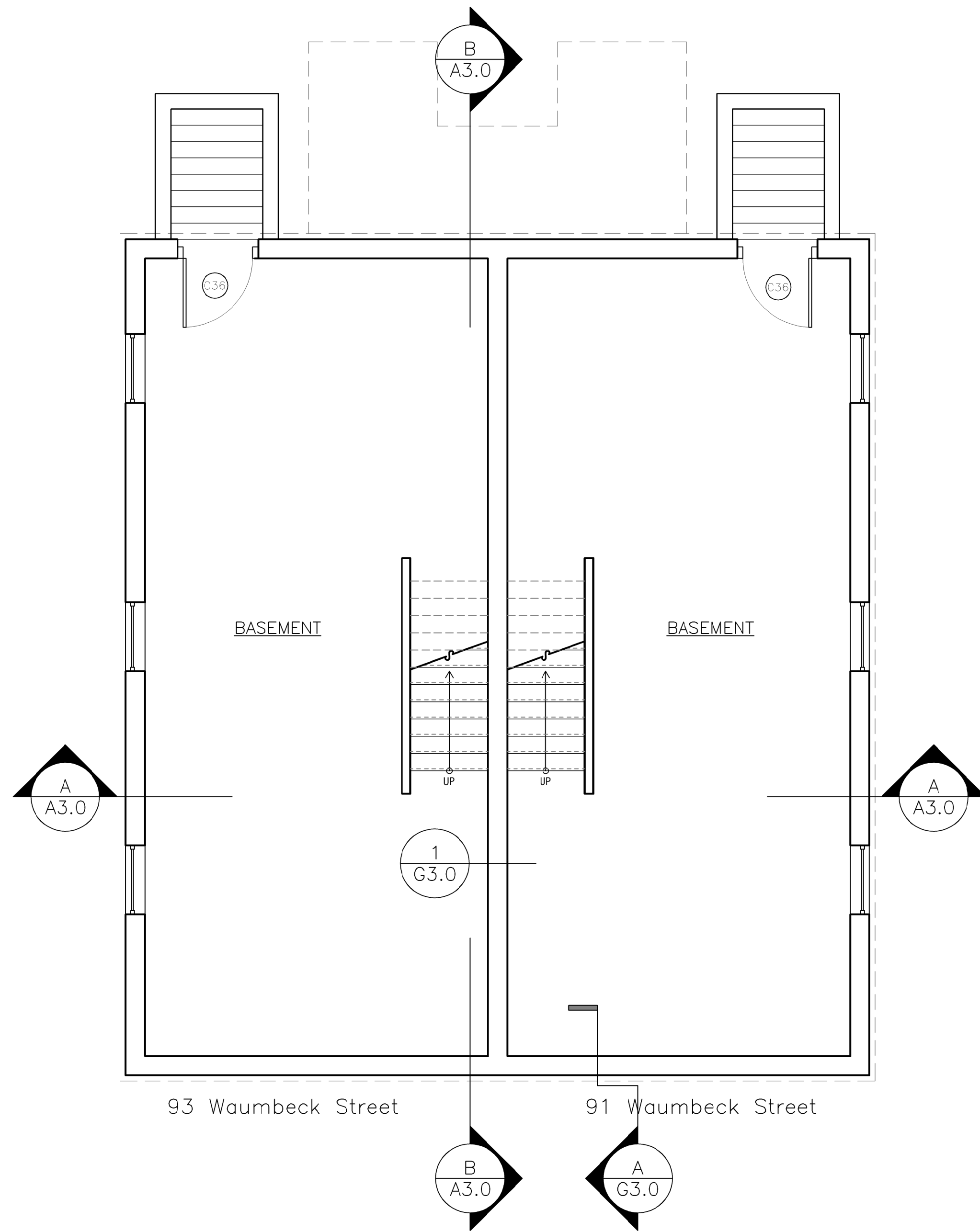
1. Ward/Parcel: 12/3284
 2. Property Location: 91 WAUMBECK STREET
 3. Neighborhood: Roxbury
 4. Site Zip: 02119
 5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
 6. Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
 7. Owner Telephone No.: 617.445.5100
 8. Type of Premise: Residential Development
 9. New Account:

FOR BOSTON WATER SEWER USE ONLY

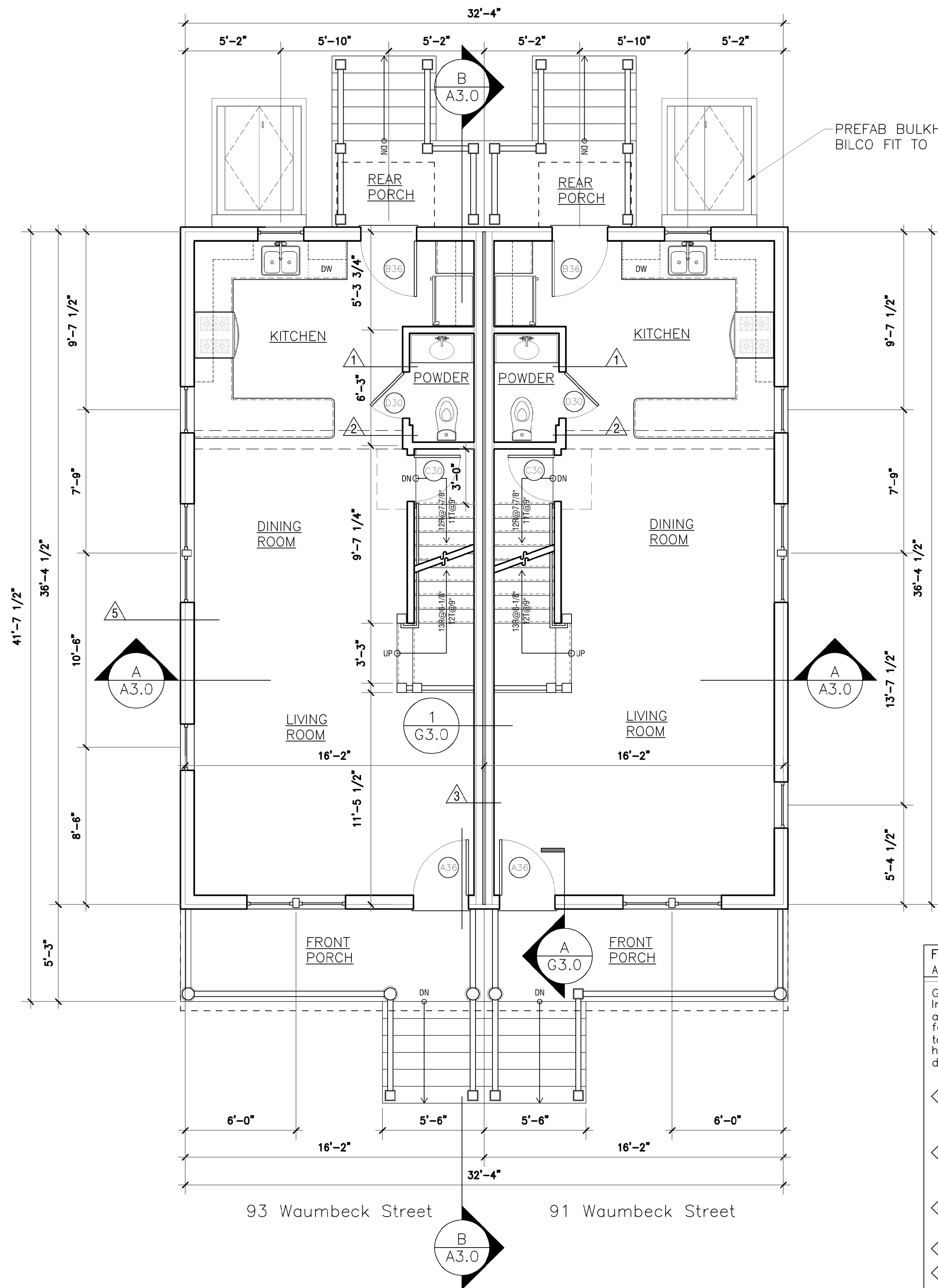


FOR CONTINUATION SEE SITE PLAN FOR 94, 96, 98, AND 100 WAUMBECK STREET

Job Ref:	-
Scale:	(11x17 - use graphic scale)
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Revisions:	

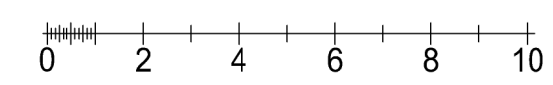


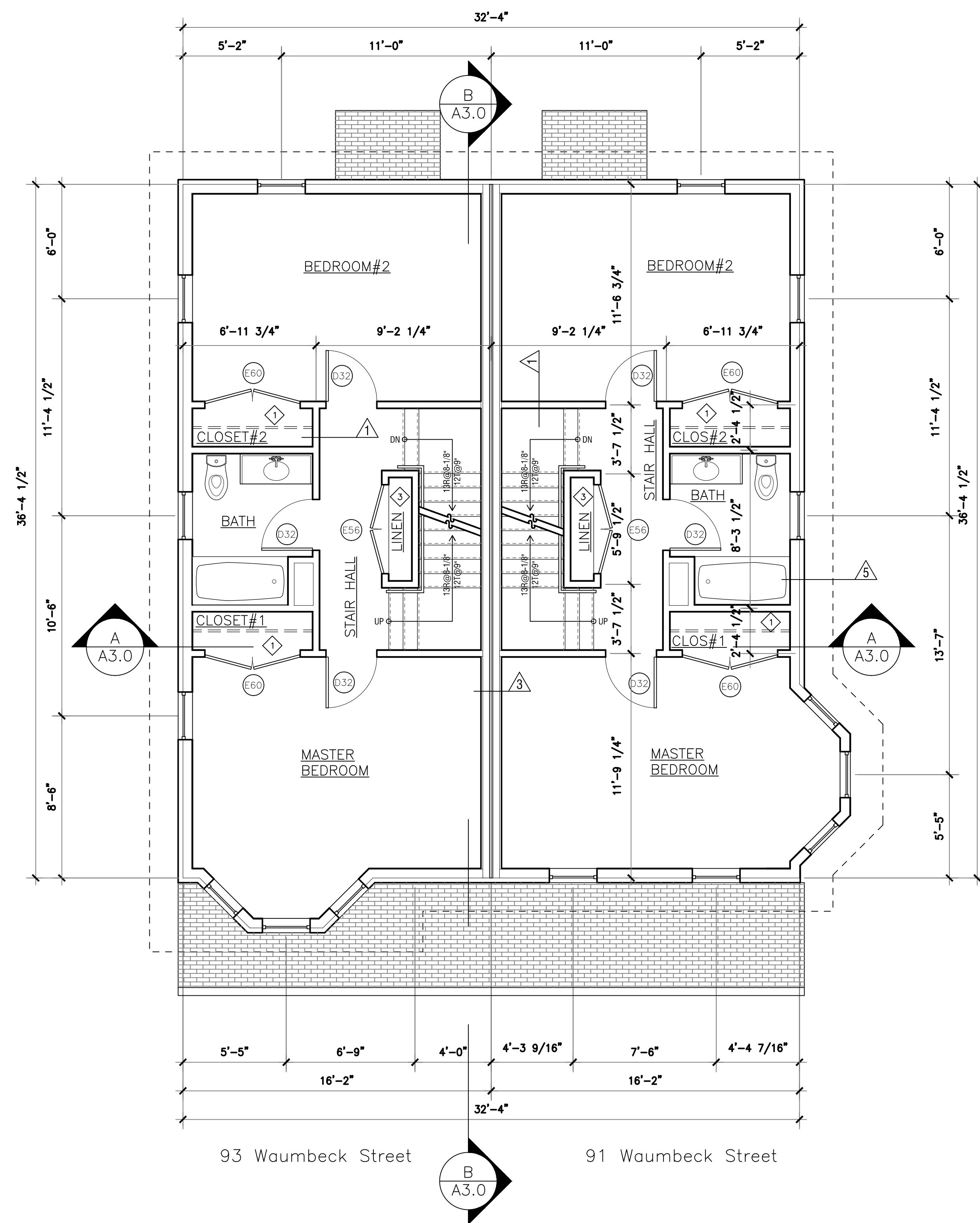
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BASEMENT PLAN**
SCALE: 1/4" = 1'-0"



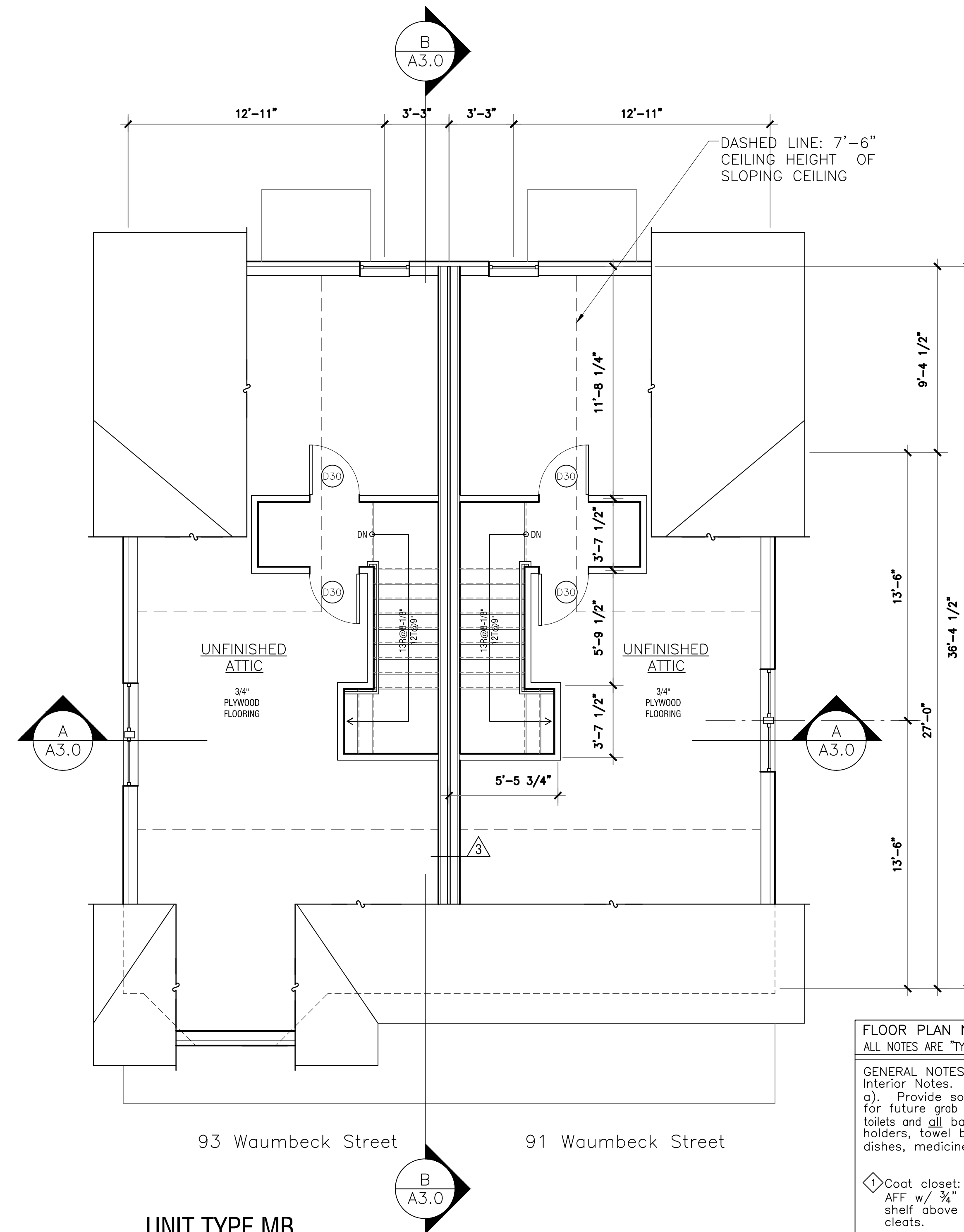
**UNIT TYPE MB
FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- a). Provide solid wood blocking in walls for future grab bars in all both tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
 - ◇ Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ◇ Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
 - ◇ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
 - ◇ 16" MDF shelf over laundry
 - ◇ Provide aluminum transition strip between flooring materials
 - ◇ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ◇ Bituthane roof underlay at eaves, valleys, and dormer side walls



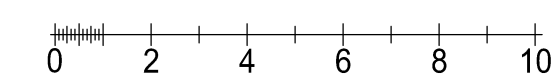


**UNIT TYPE MB
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



**UNIT TYPE MB
THIRD FLOOR PLAN**
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- a) Provide solid wood blocking in walls for future grab bars in all both tubs and toilets and all bathroom accessories (TIP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
 - ◊ Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ◊ Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
 - ◊ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart
 - ◊ 16" MDF shelf over laundry
 - ◊ Provide aluminum transition strip between flooring materials
 - ◊ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ◊ Bituthone roof underlay at eaves, valleys, and dormer side walls



Garrison Trotter II
Homes
91,93 Waumbek Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

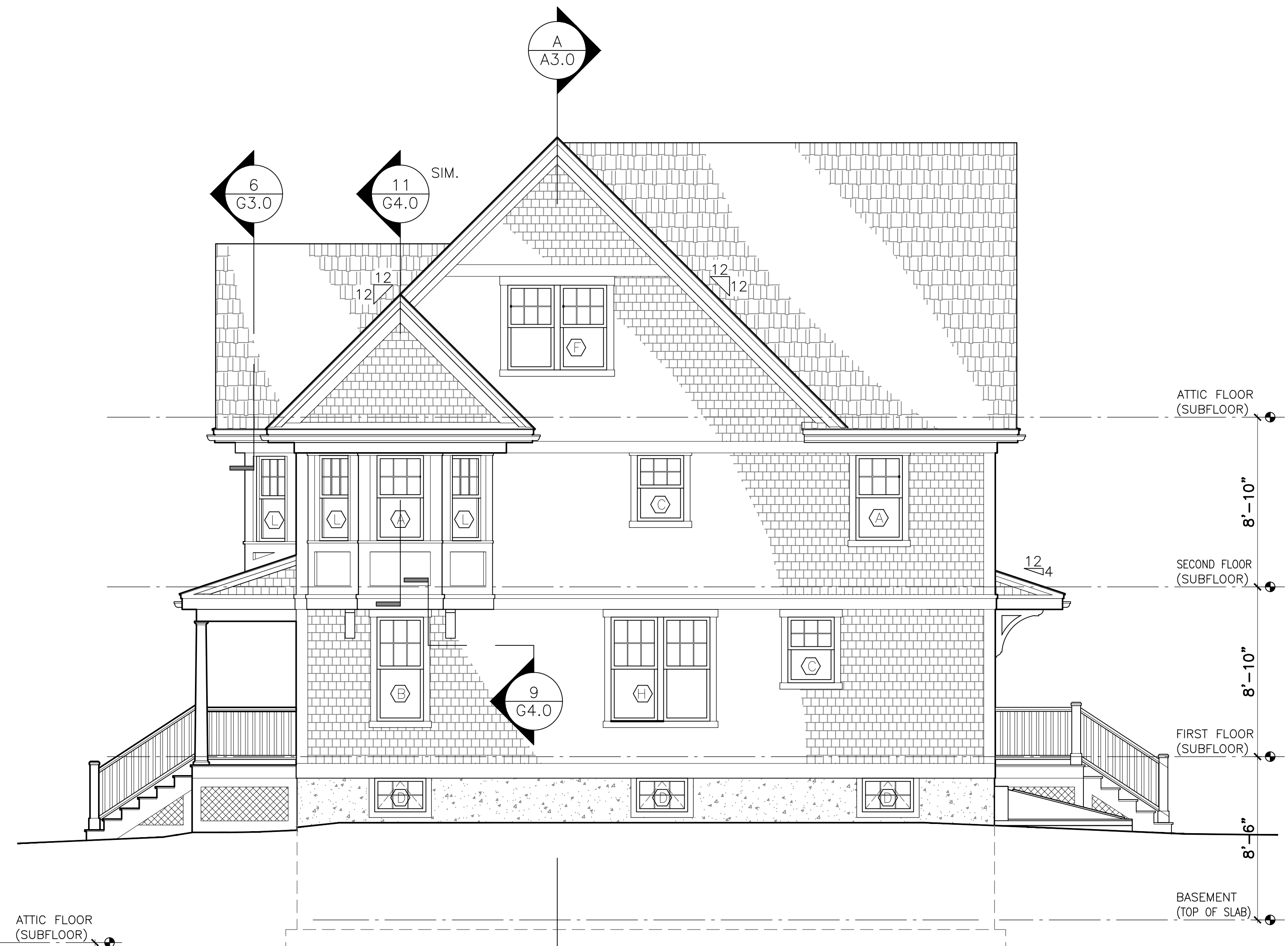
Development For:
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HAMPTON
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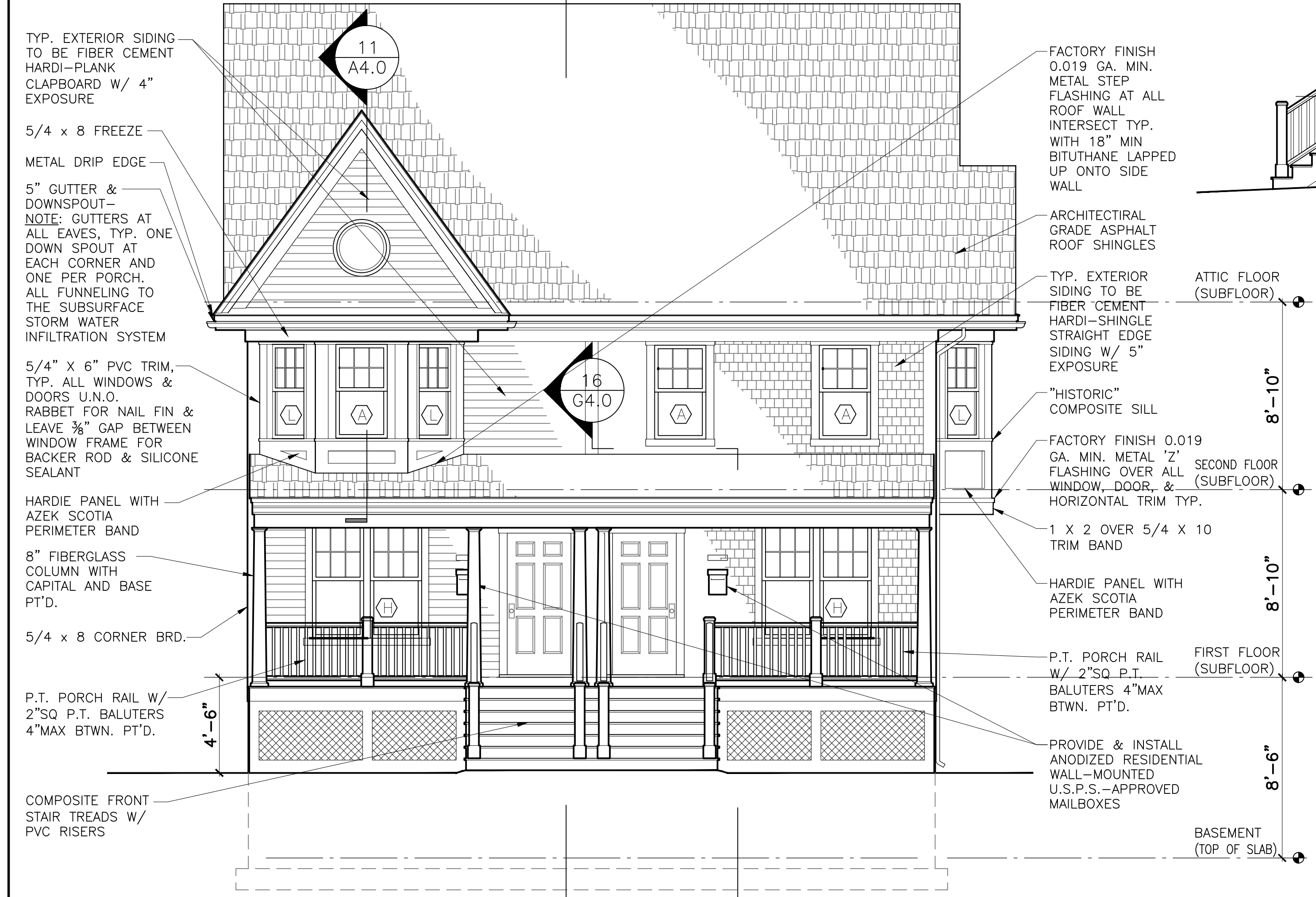
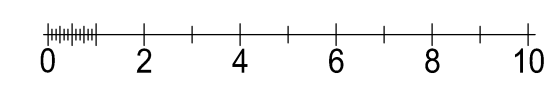
**Front &
Right
Elevations**

Job Ref:	
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Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-2.0



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

- TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-PANK CLAPBOARD W/ 4" EXPOSURE
- 5/4 x 8 FREEZE
- METAL DRIP EDGE
- 5" GUTTER & DOWNSPOUT - NOTE: GUTTERS AT ALL EAVES, TYP. ONE DOWN SPOUT AT EACH CORNER AND ONE PER PORCH, ALL FUNNELING TO THE SUBSURFACE STORM WATER INFILTRATION SYSTEM
- 5/4" X 6" PVC TRIM, TYP. ALL WINDOWS & DOORS U.N.O. RABBET FOR NAIL FIN & LEAVE 3/8" GAP BETWEEN WINDOW FRAME FOR BACKER ROD & SILICONE SEALANT
- HARDIE PANEL WITH AZEK SCOTIA PERIMETER BAND
- 8" FIBERGLASS COLUMN WITH CAPITAL AND BASE PT'D.
- 5/4 x 8 CORNER BRD.
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- COMPOSITE FRONT STAIR TREADS W/ PVC RISERS
- FACTORY FINISH 0.019 GA. MIN. METAL STEP FLASHING AT ALL ROOF WALL INTERSECT TYP. WITH 18" MIN BITUTHANE LAPPED UP ONTO SIDE WALL
- ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES
- TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-SHINGLE STRAIGHT EDGE SIDING W/ 5" EXPOSURE
- "HISTORIC" COMPOSITE SILL
- FACTORY FINISH 0.019 GA. MIN. METAL "Z" FLASHING OVER ALL WINDOW, DOOR, & HORIZONTAL TRIM TYP.
- 1 X 2 OVER 5/4 X 10 TRIM BAND
- HARDIE PANEL WITH AZEK SCOTIA PERIMETER BAND
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- PROVIDE & INSTALL ANODIZED RESIDENTIAL WALL-MOUNTED U.S.P.S.-APPROVED MAILBOXES

Garrison Trotter II
Homes
91.93 Waumbeck Street
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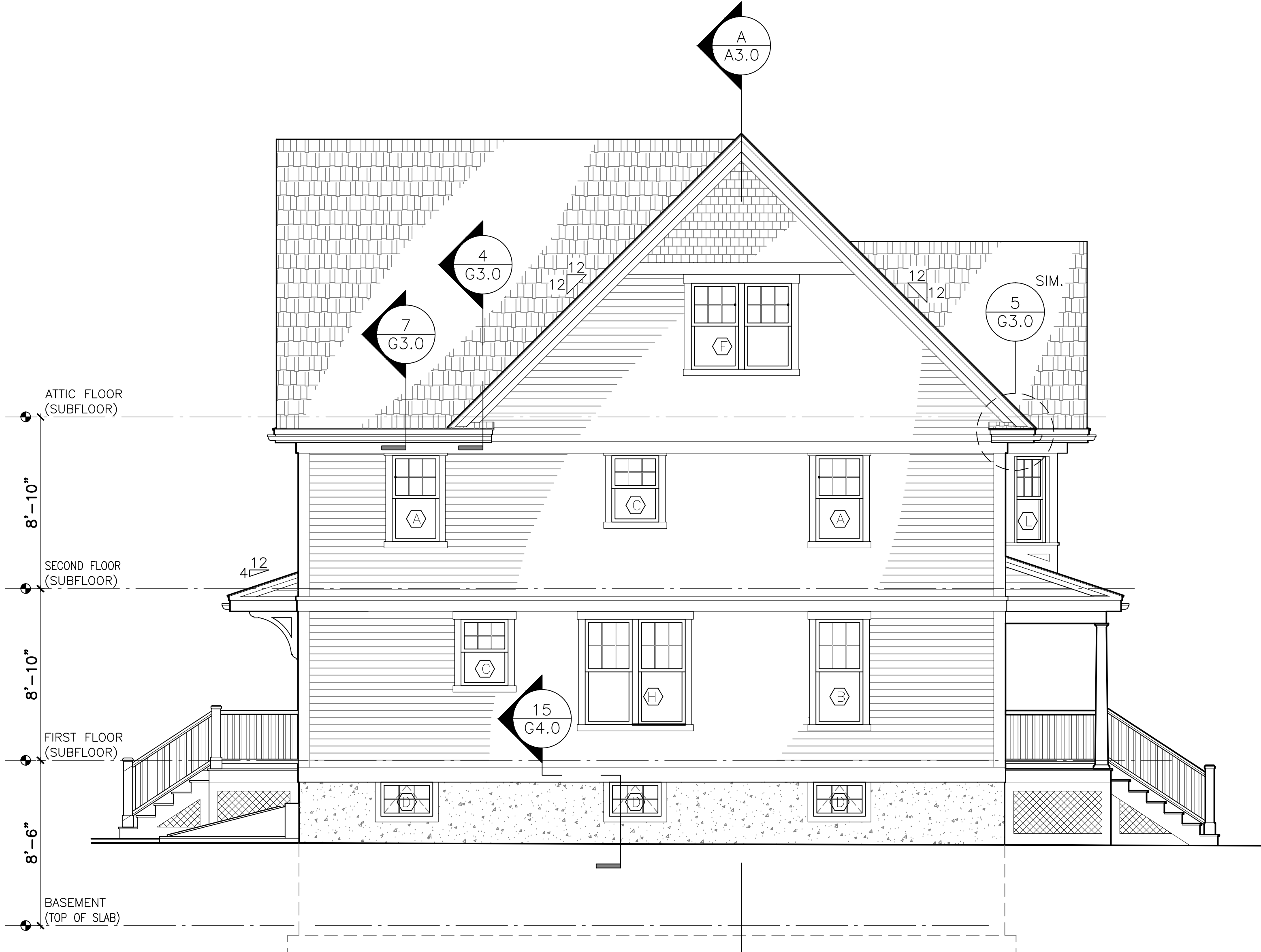
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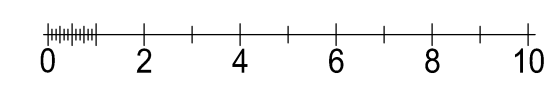
**Rear &
Left Side
Elevations**

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Drawn By: _____
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Revisions:

A-2.1



3 LEFT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-SHINGLE STRAIGHT EDGE SIDING W/ 5" EXPOSURE

5/4 x 8 FREEZE

METAL DRIP EDGE

5" GUTTER & DOWNSPOUT—NOTE: GUTTERS AT ALL EAVES, TYP. ONE DOWN SPOUT AT EACH CORNER AND ONE PER PORCH. ALL FUNNELING TO THE SUBSURFACE STORM WATER INFILTRATION SYSTEM

"HISTORIC" COMPOSITE SILL

HARDIE PANEL WITH AZEK SCOTIA PERIMETER BAND

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1 X 2 OVER 5/4 X 10 TRIM BAND

5/4 x 8 CORNER BRD.

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BILCO STEEL BULKHEAD PTD.

COMPOSITE FRONT STAIR TREADS W/ PVC RISERS

5/4 x 8 TRIM BAND

12/10

ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES

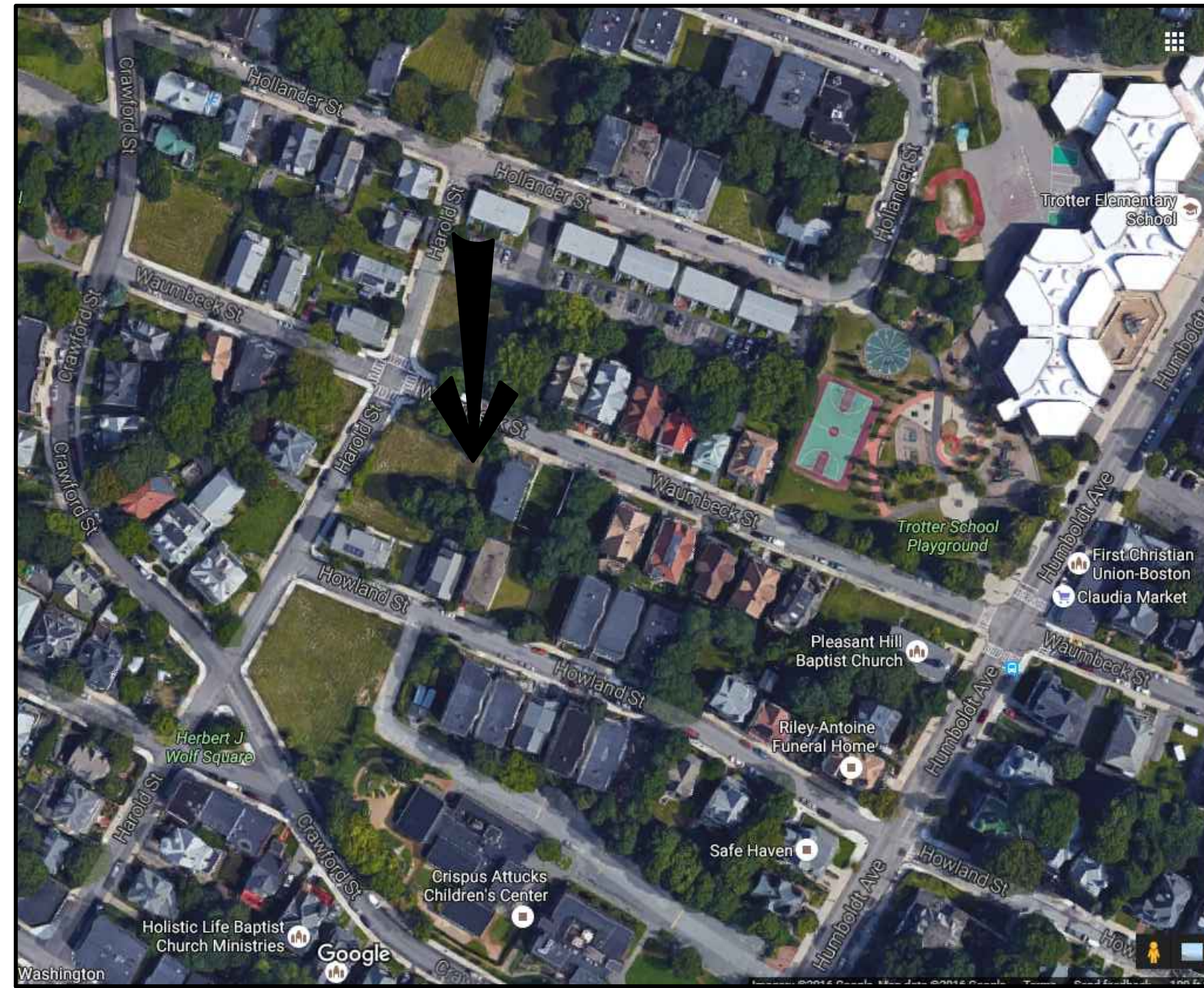
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P.T. PORCH RAIL W/ 2"SQ P.T. BALUNERS 4"MAX BTWN. PT'D.

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 96 & 94 Waumbeck Street, Roxbury, MA

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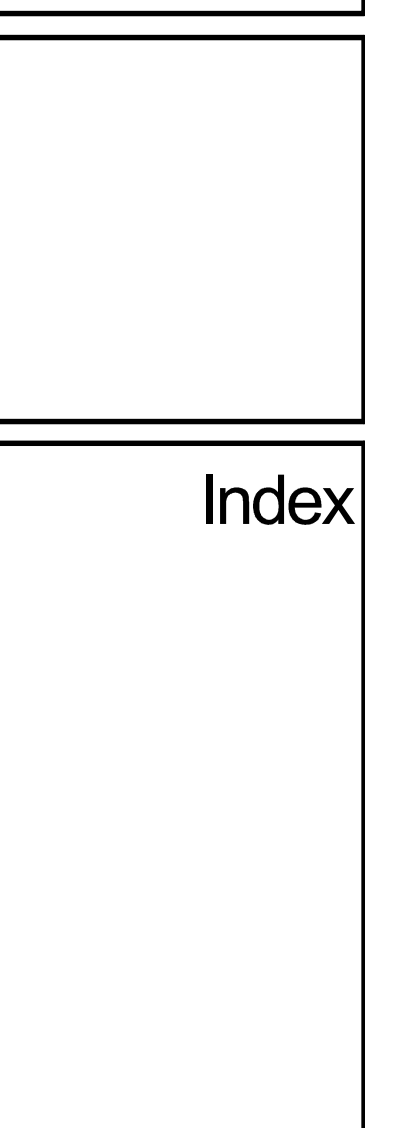
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USE: ONE-FAMILY SEMI-DETACHED DWELLING (ALLOWED)		NONE	USE: ONE-FAMILY SEMI-DETACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 588 SQFT	GROSS FLOOR AREA: 1176 SQFT	NONE	BUILDING FOOTPRINT: 605 SQFT	GROSS FLOOR AREA: 1210 SQFT	NONE
LOT FRONTAGE: 25'-0" (REQUIRED)	30'-0" (PROPOSED)	NONE	LOT FRONTAGE: 25'-0" (REQUIRED)	30'-0" (PROPOSED)	NONE
LOT WIDTH: 25'-0" (REQUIRED)	30'-0" MIN. (PROPOSED)	NONE	LOT WIDTH: 25'-0" (REQUIRED)	30'-0" MIN. (PROPOSED)	NONE
LOT SIZE: 2000 SQFT (REQUIRED)	2561 SQFT (PROPOSED)	NONE	LOT SIZE: 2000 SQFT (REQUIRED)	2624 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.46 +/- (PROPOSED)	NONE	FLOOR AREA RATIO: .8 (REQUIRED)	.46 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE	HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE	OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE	FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE	SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE
REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE	REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE	OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	PROJECT ADDRESS:
100 WAUMBECK ROXBURY, MA	98 WAUMBECK ROXBURY, MA	96 WAUMBECK ROXBURY, MA
PROJECT ADDRESS: 96 WAUMBECK ROXBURY, MA	PROJECT ADDRESS: 94 WAUMBECK ROXBURY, MA	
STREET: WAUMBECK STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
92 WAUMBECK STREET	10'-3"(10')	79'-8"
84 WAUMBECK STREET	9'-6"(10')	46'-3"
82-80 WAUMBECK STREET	6'-4"(6')	52'-8"
78-76 WAUMBECK STREET	11'-0"(11')	46'-10"
74-72 WAUMBECK STREET	11'-7"(12')	51'-6"
68 WAUMBECK STREET	6'-5"(6')	46'-10"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	10'-0"	
MODAL SETBACK	10'-0"	
PROPOSED MINIMUM SETBACK	10'-0"	



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

Permit Set

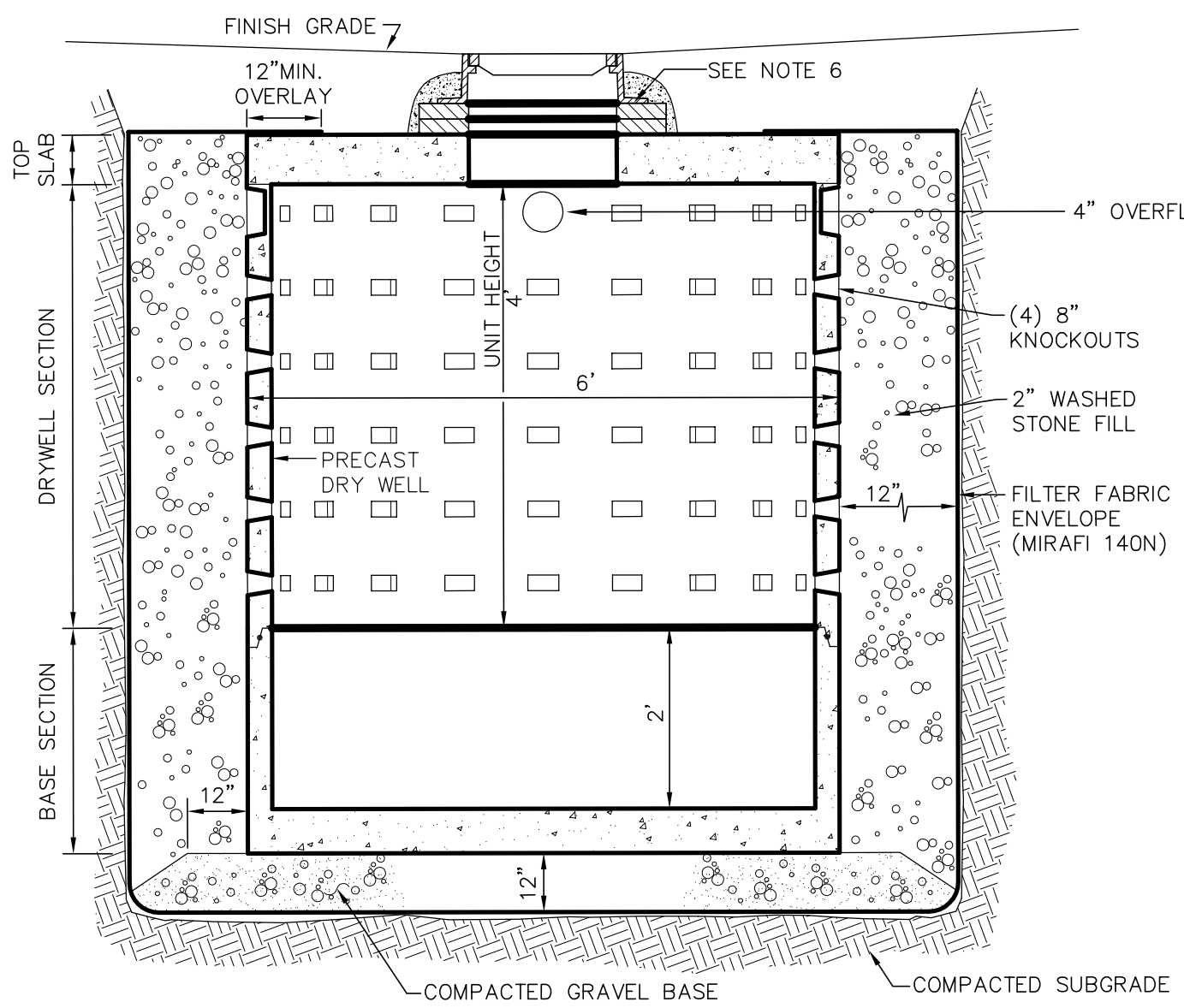
94 WAUMBECK STREET

ROXBURY, MA

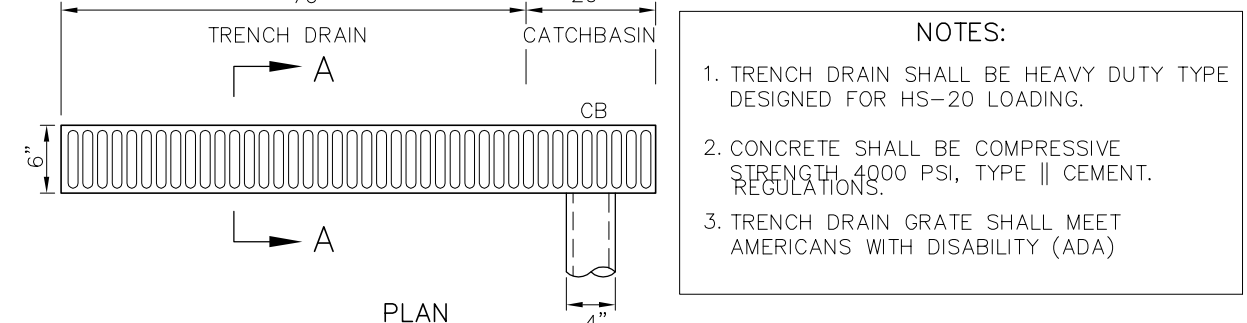
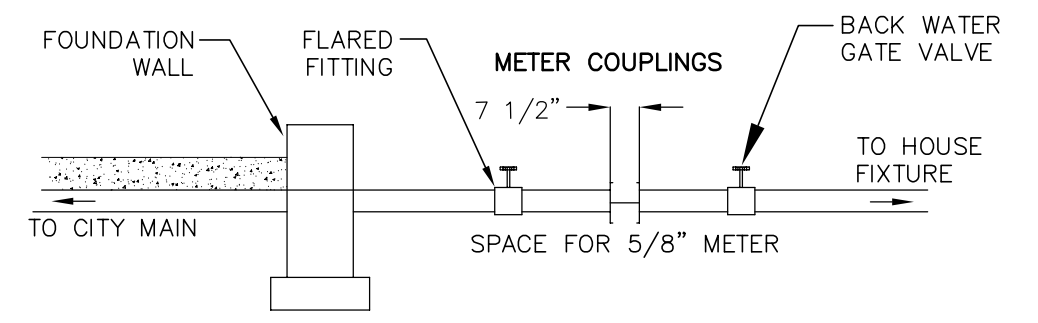
GRADING AND UTILITY LEGEND

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- CEMENT CONCRETE SIDEWALK
- SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- SPOTGRADE
- PROPOSED CONTOUR LINE
- GRADE TO DRAIN
- LEACHING BASIN
- WATER GATE
- CLEAN OUT
- ROOF DRAIN
- TRENCH DRAIN

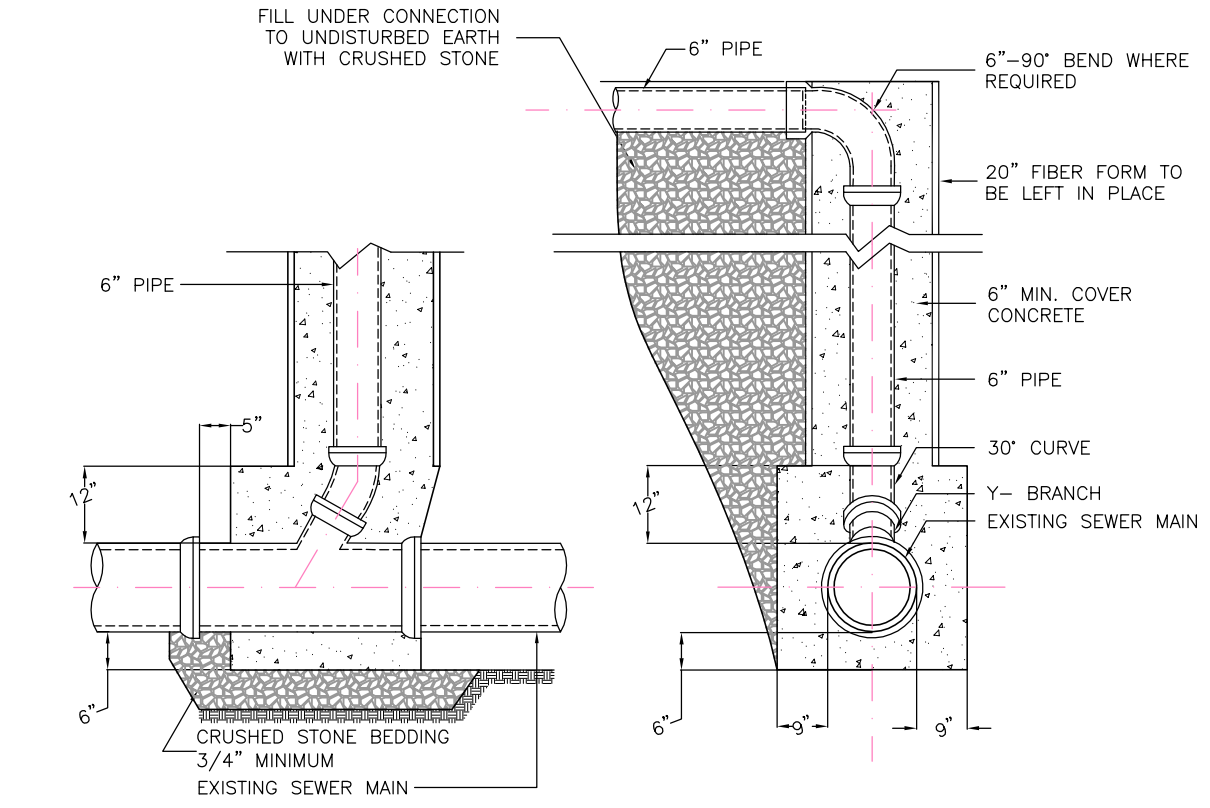
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



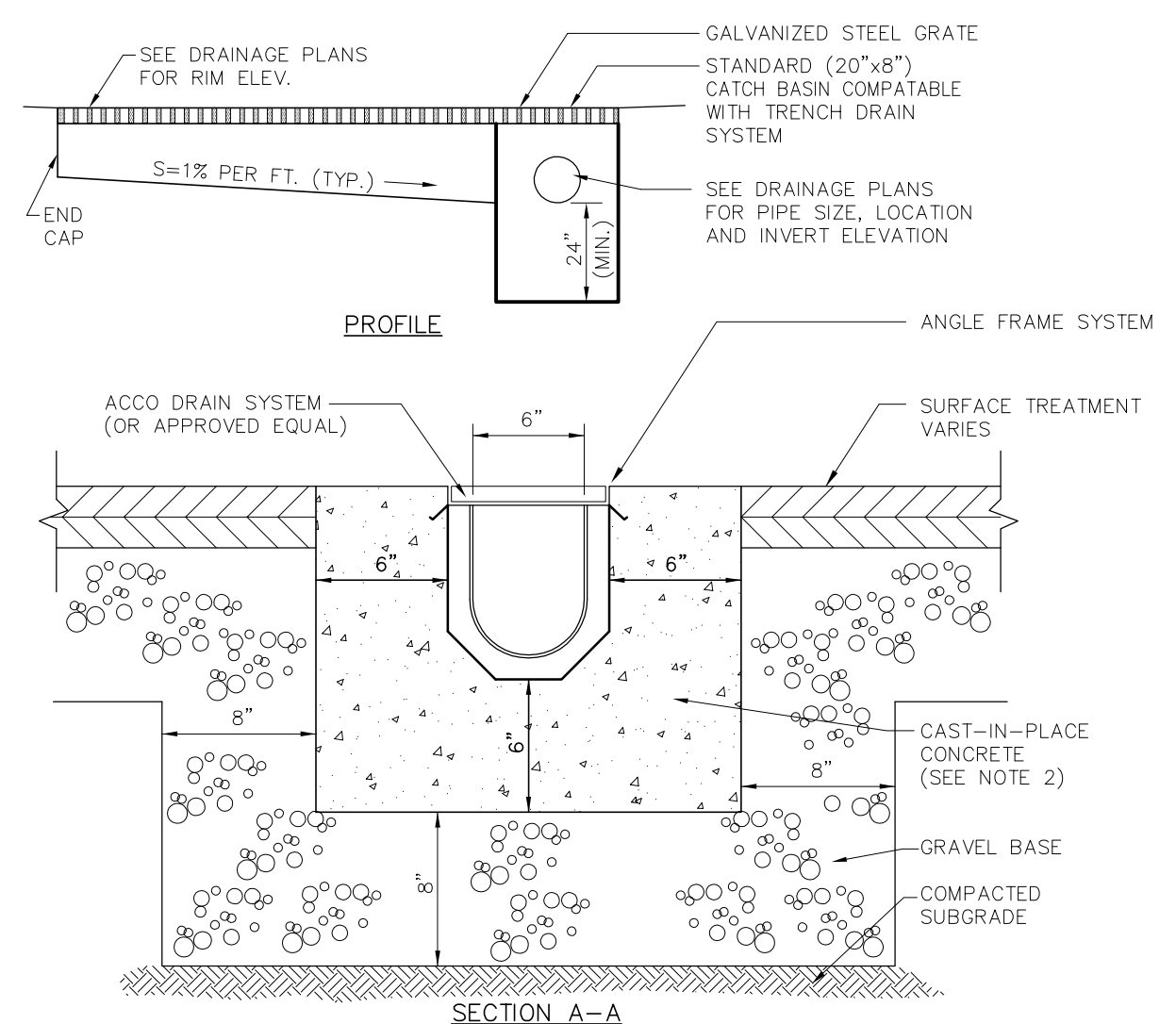
WATER METER SPACING DETAIL



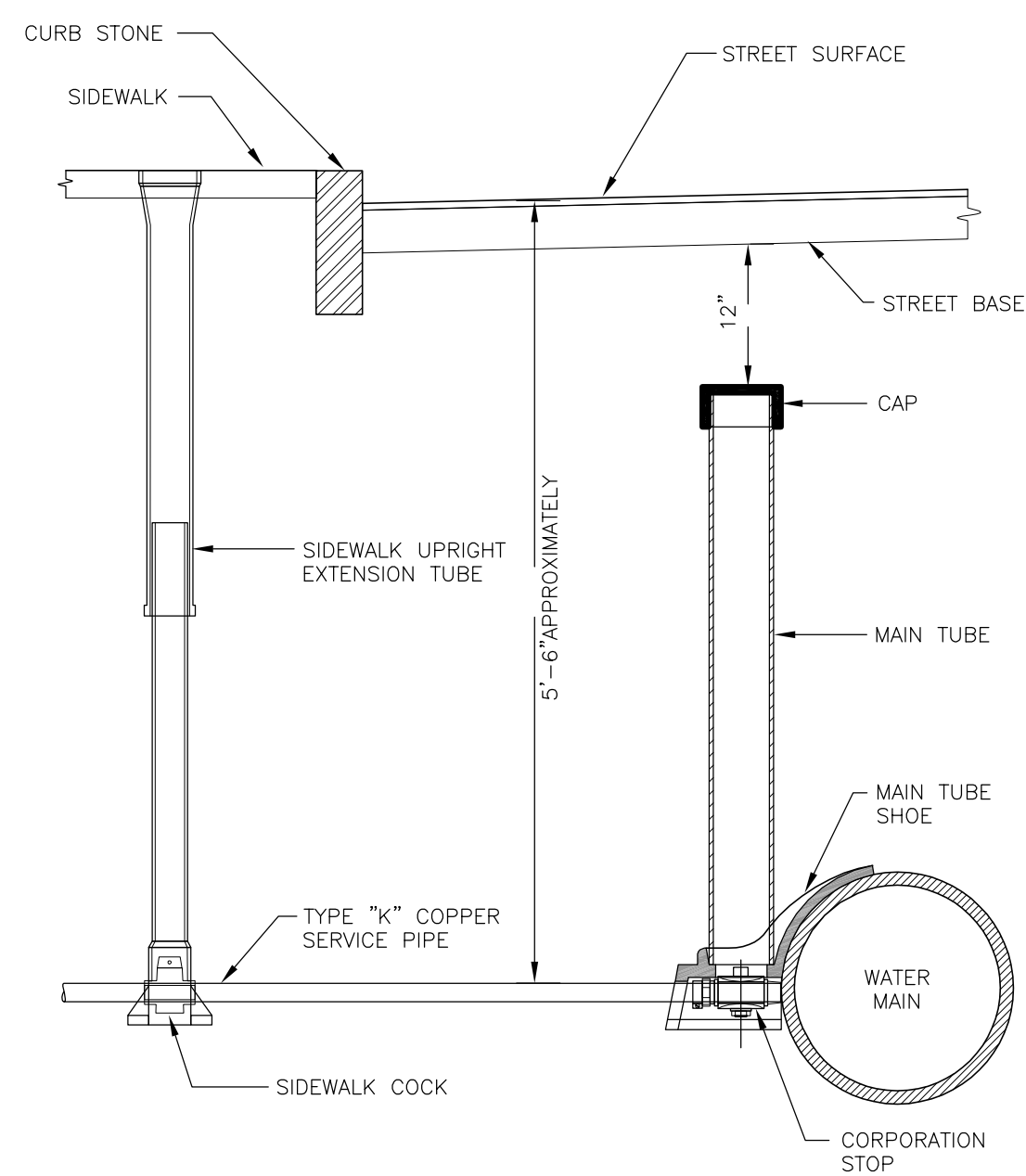
- NOTES:
1. TRENCH DRAIN SHALL BE HEAVY DUTY TYPE DESIGNED FOR HS-20 LOADING.
 2. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT. REGULATIONS.
 3. TRENCH DRAIN GRATE SHALL MEET AMERICANS WITH DISABILITY (ADA)



SEWER CONNECTION



TRENCH DRAIN



1" WATER CONNECTION DETAIL

LEACHING BASIN

INFILTRATION CALCULATIONS 94 WAUMBECK STREET

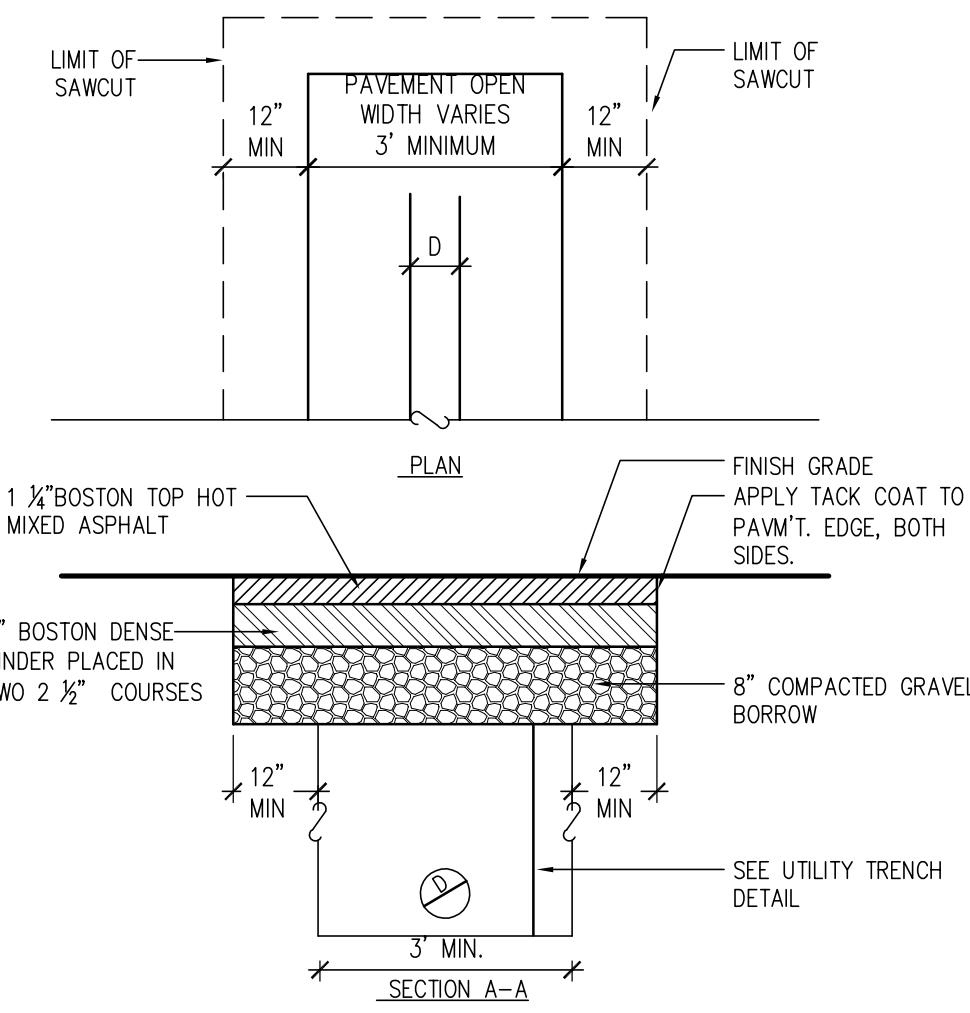
STORAGE VOLUME REQUIRED
1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES IMPERVIOUS SURFACE = 1,032 S.F.
REQUIRED STORAGE = (1/12) FEET X 1,032 = 86.0 C.F.
PROVIDE LEACHING BASIN 6'-DIA/4' DEEP W/12" STONE ALL AROUND
STORAGE PROVIDED = 113.0 C.F. > 86.0 C.F.

LAND USE CODE: "A" RESIDENTIAL
2 BEDROOMS (220 GPD)

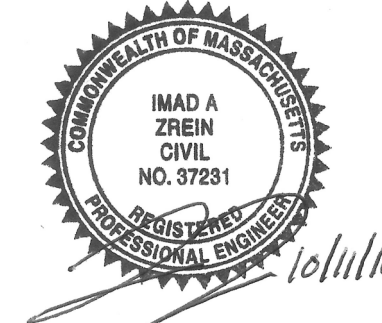
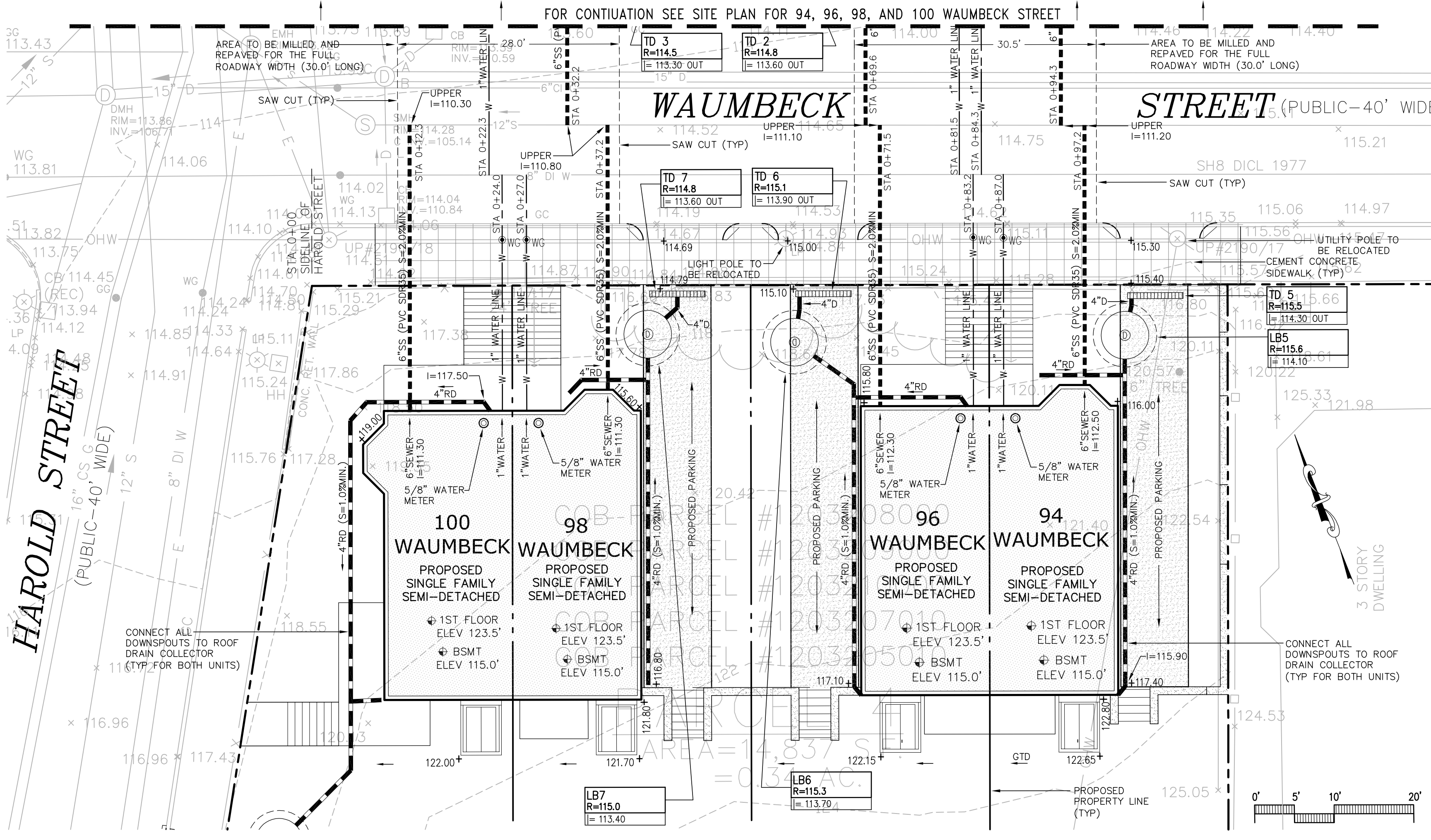
BWSC INSPECTIONS:

	BWSC INSPECTOR	DATE
(1) RECHARGE SYSTEM		
(2) 6" SEWER LINE		
(3) 1" WATER LINE		
(4) TRENCH DRAIN		
(5) DYE TEST		

1. Ward/Parcel: 12/3209-3210
2. Property Location 94 WAUMBECK STREET
3. Neighborhood Roxbury
4. Site Zip 02119
5. Owner Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address 95 Humboldt Avenue Dorchester, MA 02121
7. Owner Telephone No. 617.445.5100
8. Type of Premise Residential Development
9. New Account:



UTILITY PATCH



DZI Land Planning, Civil Engineering, Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

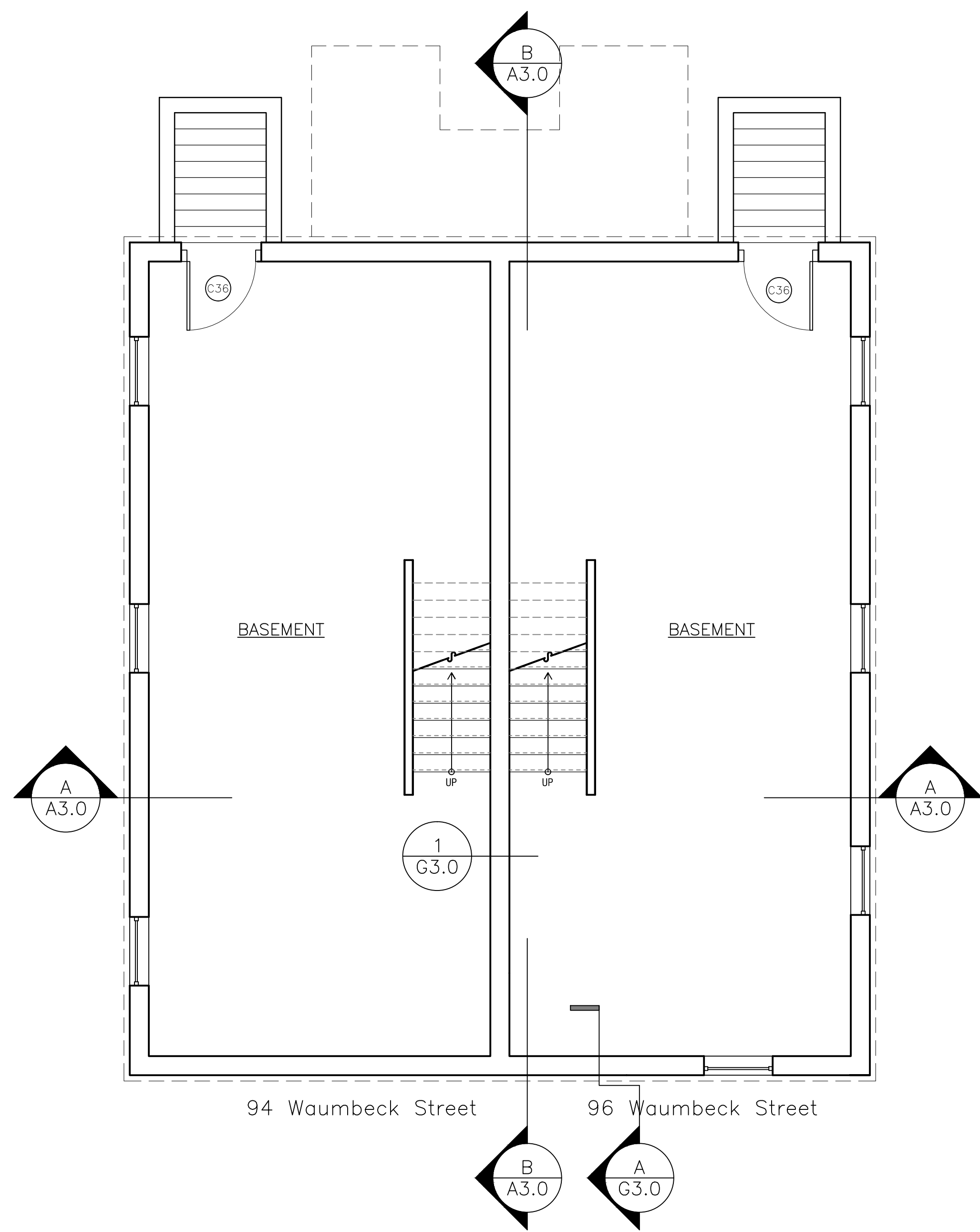
DeVellis Zrein Inc.

10.06.16 PER BSWC COMMENTS

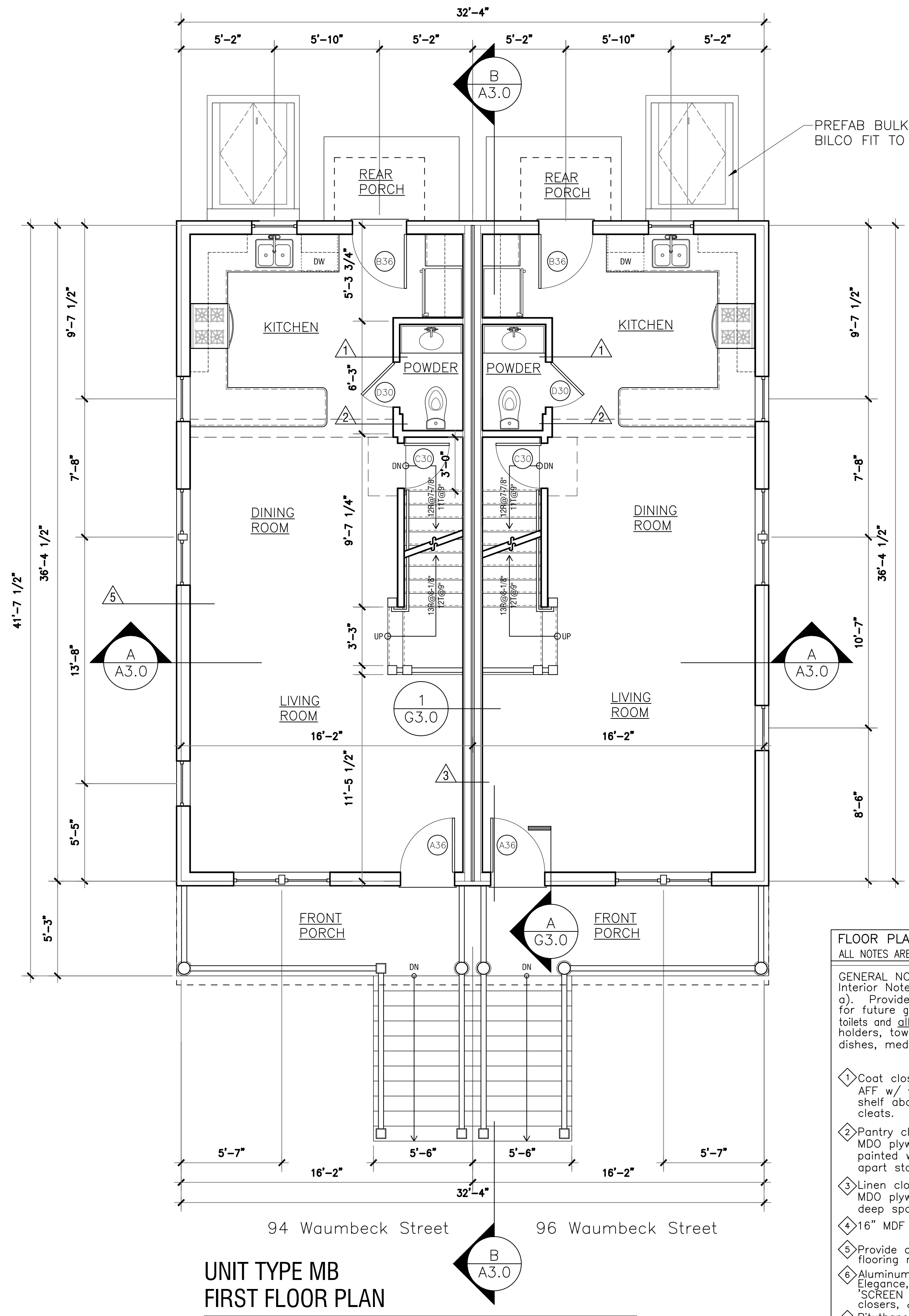
UTILITY PLAN AND DETAILS SITE PLAN # 16409

SCALE:	1" = 10'
JOB:	2G15-262
FILE:	2G15-262-GU
DRAWN:	IAZ
CHECKED:	
DATE:	08.16.16

C-1

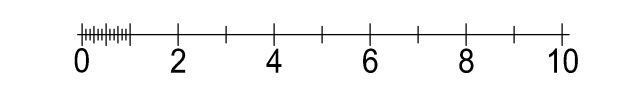


**UNIT TYPE MB
BASEMENT PLAN**
SCALE: 1/4" = 1'-0"



**UNIT TYPE MB
FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- a) Provide solid wood blocking in walls for future grab bars in all both tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- ◇ Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ◇ Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
 - ◇ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart
 - ◇ 16" MDF shelf over laundry
 - ◇ Provide aluminum transition strip between flooring materials
 - ◇ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ◇ Bituthone roof underlay at eaves, valleys, and dormer side walls

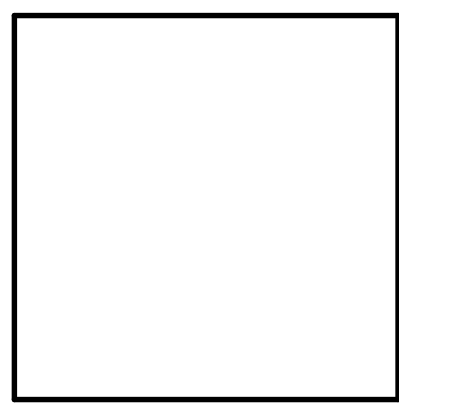


Garrison Trotter II
Homes
94,96 Waumbek Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

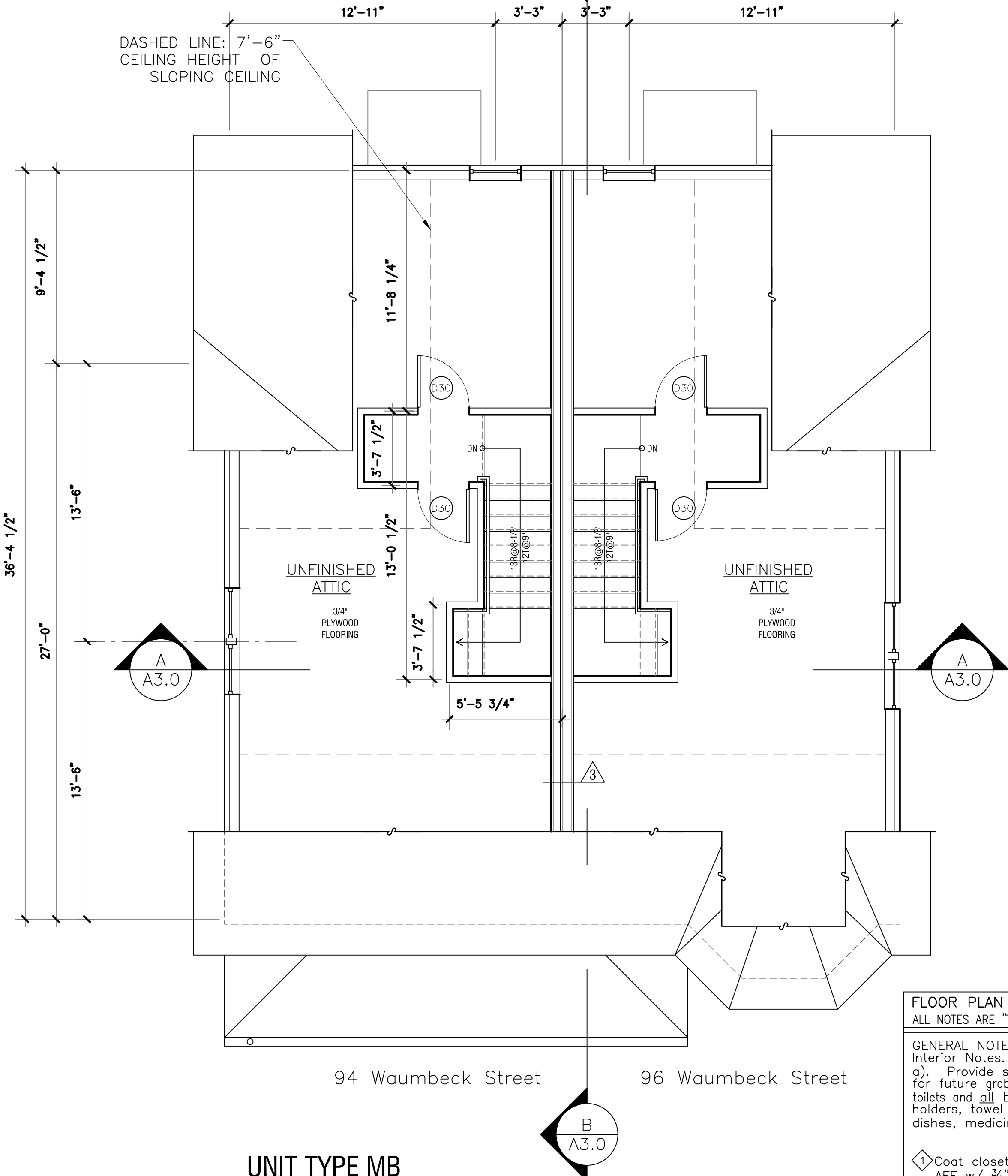
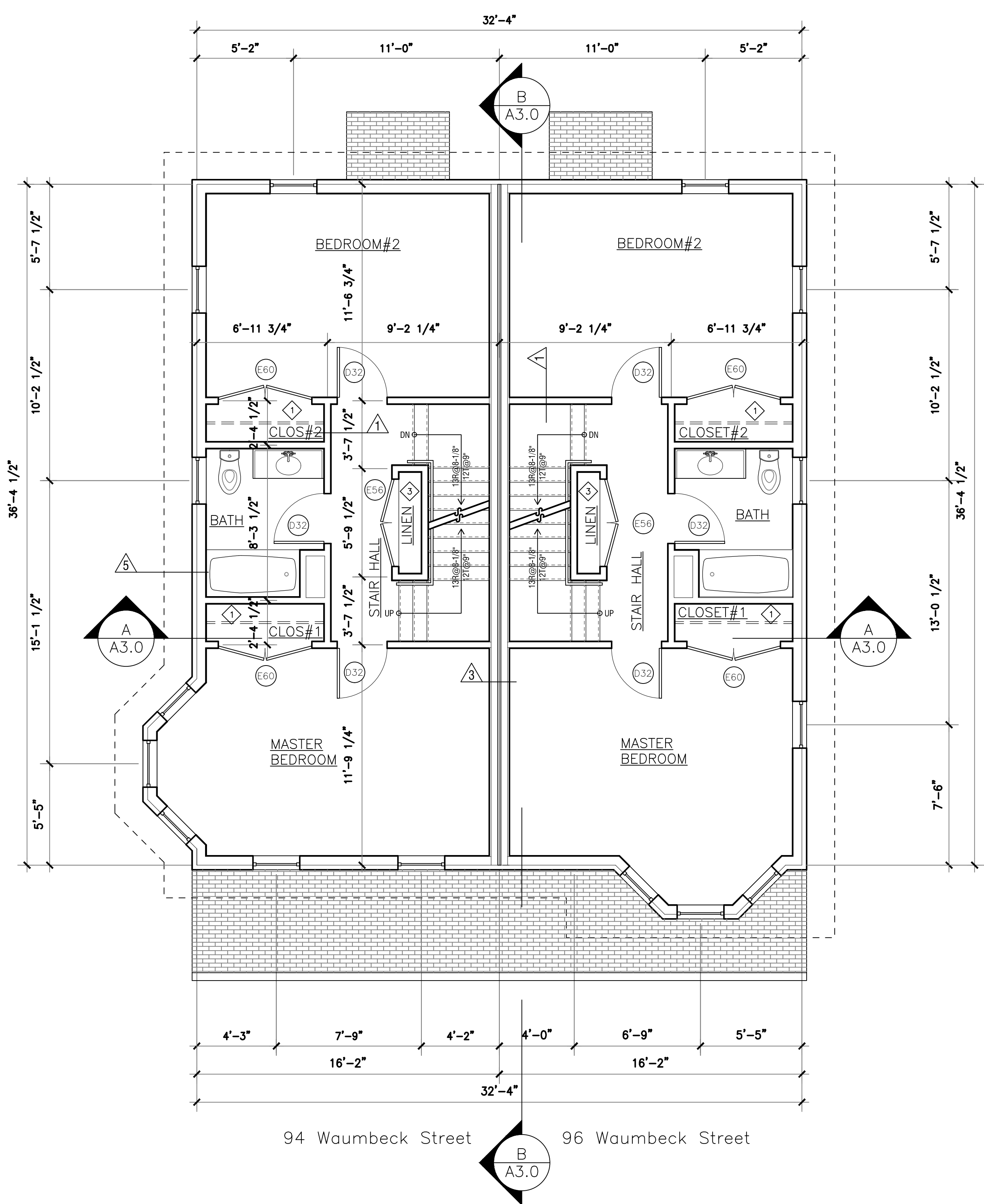


**Basement &
First Floor
Plans:**

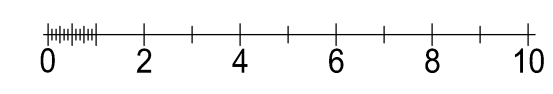
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Scale:	(1/4" = 1'-0" graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-1.0

Job Ref:	-
Scale:	(1:1x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	



- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
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 - ◊ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart
 - ◊ 16" MDF shelf over laundry
 - ◊ Provide aluminum transition strip between flooring materials
 - ◊ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ◊ Bituthone roof underlay at eaves, valleys, and dormer side walls



Garrison Trotter II
Homes
94,96 Waumbek Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

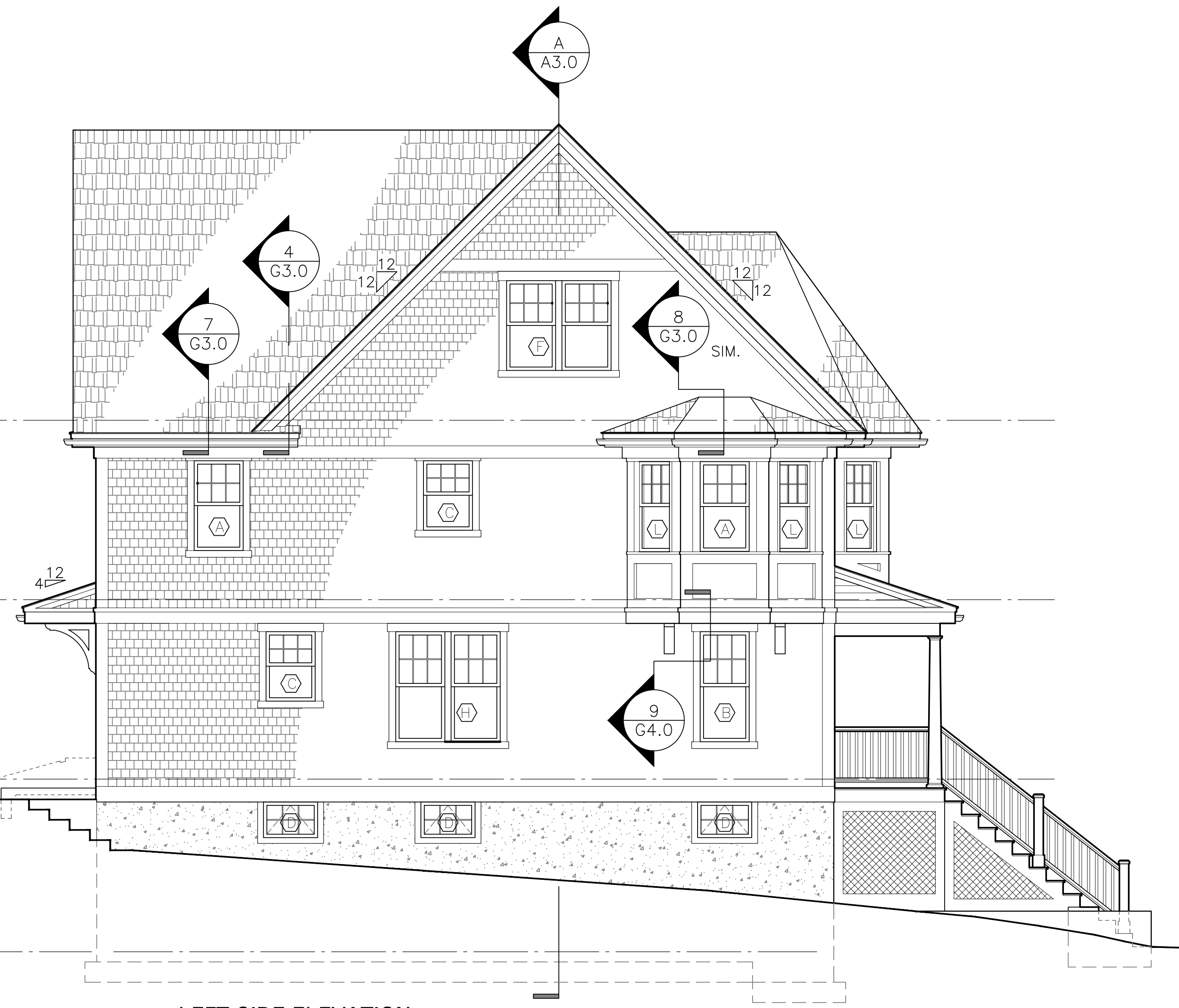
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

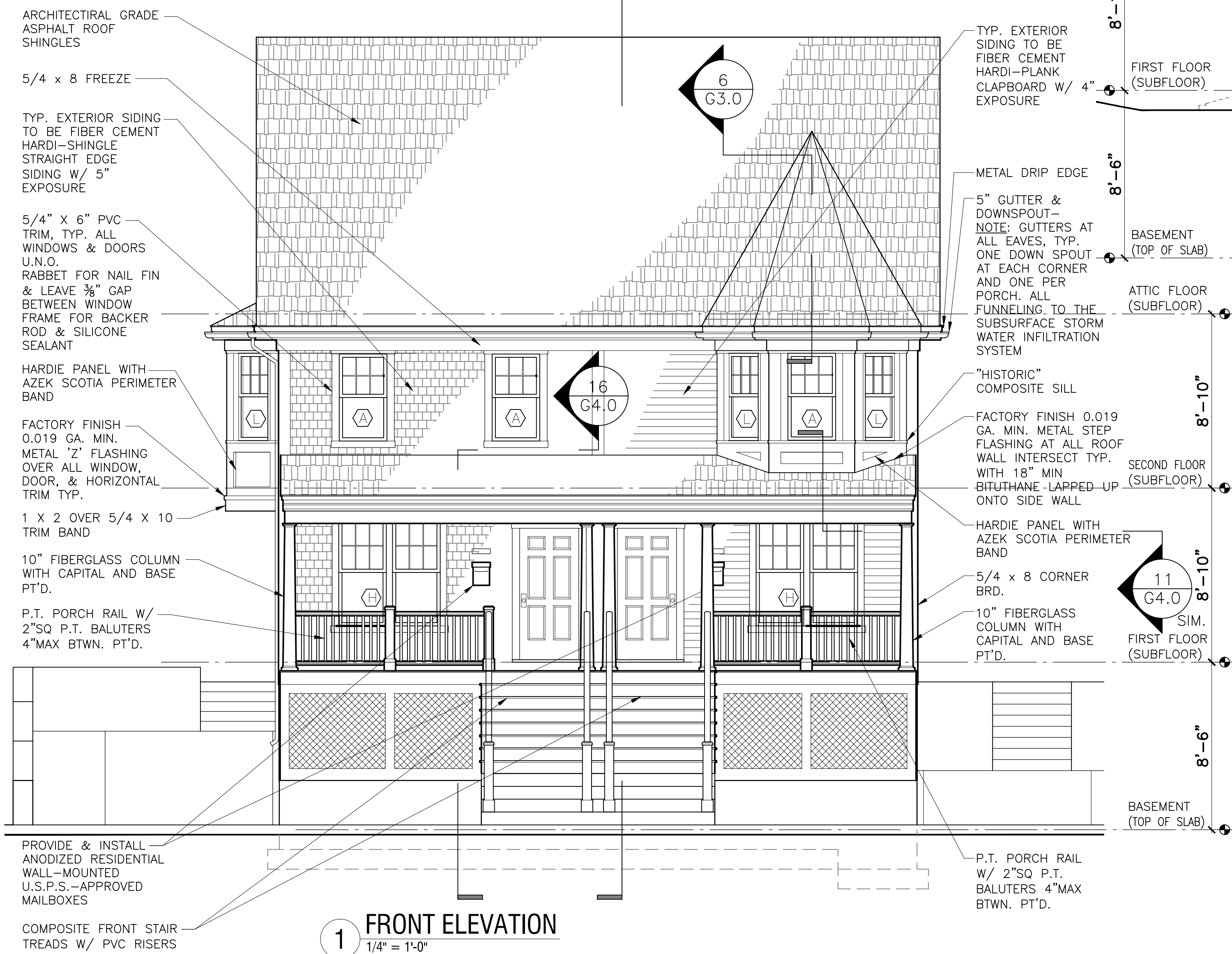
**Front &
Left Side
Elevations**

Job Ref:	
Scale:	(1/4"=1'-0" use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

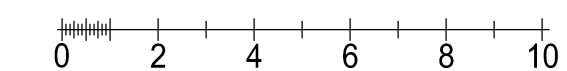
A-2.0



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



Garrison Trotter II
Homes
94,96 Waumbeck Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

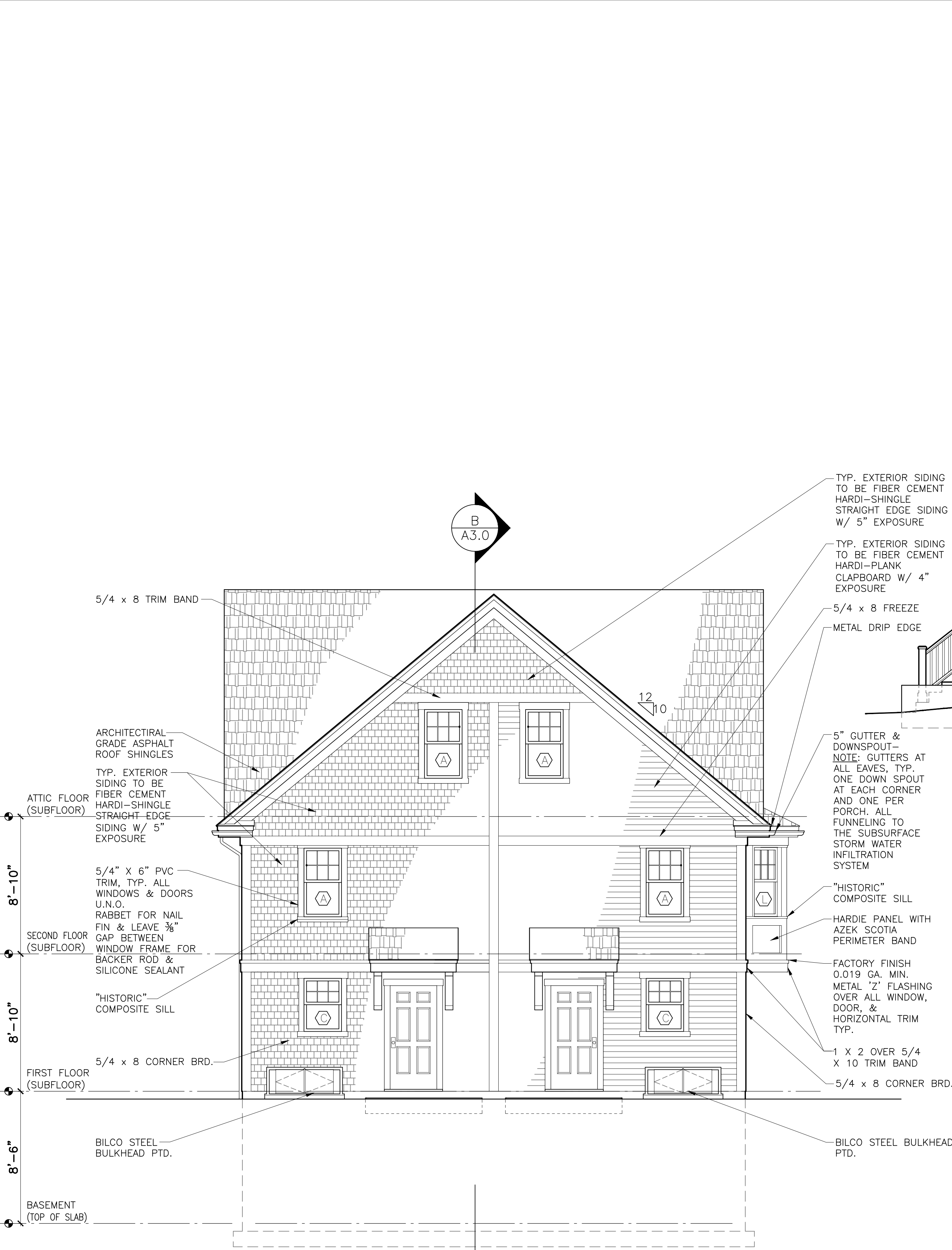
**Rear &
Right Side
Elevations**

Job Ref: _____
Scale: (1/4" = 1'-0")
Drawn By: _____
Date: Oct 14, 2016
Revisions:

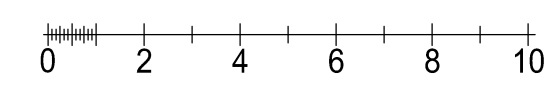
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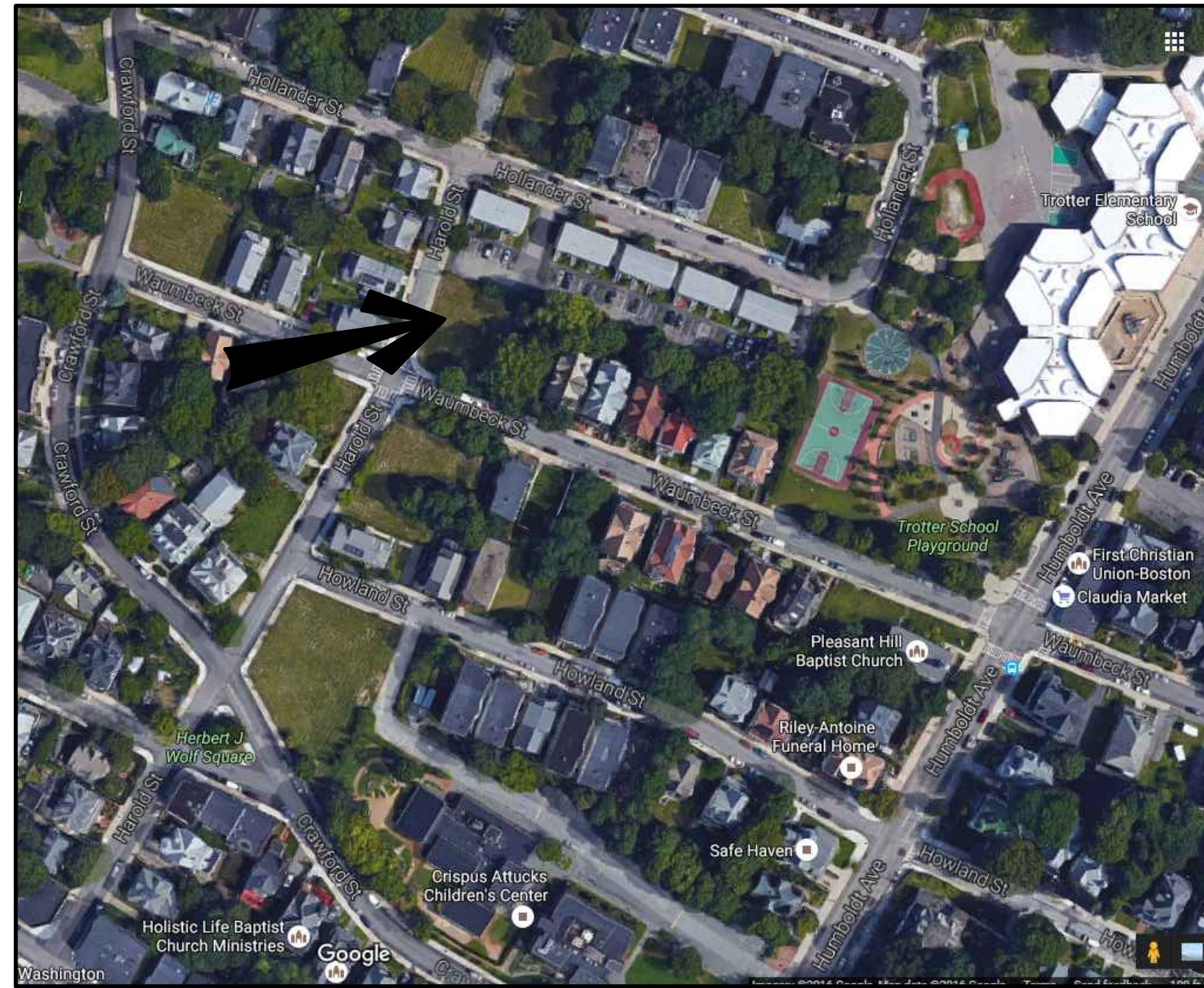


3 RIGHT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"





Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 97 & 95 Waumbeck Street, Roxbury, MA

Garrison Trotter II
 Homes
 97 & 95 Waumbeck Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

Cover & Index

- C1 95 Waumbeck St.-Utility Plans & Details
- C1 97 Waumbeck St.-Utility Plans & Details
- L1 Site Improvements Plan

- A-1.0 Basement 1st & Floor Plans
- A-1.1 2nd Floor & Attic Plans
- A-1.2 Roof Framing Plan
- A2.0 Front & Left Elevations
- A-2.1 Rear & Right Elevations
- A-3.0 Stair/Building Sections

- S-1.0 Foundation Plan
- S-1.1 1st & 2nd Floor Framing Plans
- S-1.2 Attic & Roof Framing Plans

- AE-1.0 Basement Electric Layout Plan,
Schedules, Notes, & Symbols
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans

- G-1.0 Symbols, Abbreviations, Systems, &
General Notes
- G-2.0 Wall Types & Schedules
- G-3.0 Typical Wall Section & Details
- G-4.0 Details
- G-5.0 Structural General Notes

Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

ZONING ANALYSIS					
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED	PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
97 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000		95 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	
USE: ONE-FAMILY SEMI-ATTACHED DWELLING (ALLOWED)		NONE	USE: ONE-FAMILY SEMI-ATTACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 604 SQFT	GROSS FLOOR AREA: 1208 SQFT	NONE	BUILDING FOOTPRINT: 604 SQFT	GROSS FLOOR AREA: 1208 SQFT	NONE
LOT FRONTAGE: 25'-0" (REQUIRED)	27'-9" (PROPOSED)	NONE	LOT FRONTAGE: 25'-0" (REQUIRED)	31'-0" (PROPOSED)	NONE
LOT WIDTH: 25'-0" (REQUIRED)	27'-9" MIN. (PROPOSED)	NONE	LOT WIDTH: 25'-0" (REQUIRED)	27'-4" MIN. (PROPOSED)	NONE
LOT SIZE: 2000 SQFT (REQUIRED)	2982 SQFT (PROPOSED)	NONE	LOT SIZE: 2000 SQFT (REQUIRED)	3174 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.41 +/- (PROPOSED)	NONE	FLOOR AREA RATIO: .8 (REQUIRED)	.38 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE	HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE	OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE	FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE	SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	EXCEEDS (PROPOSED)	NONE	REAR YARD SETBACK: 30' (REQUIRED)	EXCEEDS (PROPOSED)	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE	OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	PROJECT ADDRESS:
97 WAUMBECK ROXBURY, MA	95 WAUMBECK ROXBURY, MA	91 WAUMBECK ROXBURY, MA
93 WAUMBECK ROXBURY, MA	91 WAUMBECK ROXBURY, MA	
STREET: WAUMBECK STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
87 WAUMBECK STREET	10'-9"(11')	56'-10"
85 WAUMBECK STREET	11'-0"(11')	40'-9"
83 WAUMBECK STREET	10'-6"(11')	39'-8"
81 WAUMBECK STREET	10'-5"(10')	40'-9"
79 WAUMBECK STREET	12'-2"(12')	40'-0"
77 WAUMBECK STREET	10'-9"(11')	41'-1"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	11'-0"	
MODAL SETBACK	11'-0"	
PROPOSED MINIMUM SETBACK	11'-0"	

Index

Job Ref:
 Scale:
 (11x17 - use graphic scale)
 Drawn By:
 Date: Oct 14, 2016
 Revisions:

Permit Set

95 WAUMBECK STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- CEMENT CONCRETE SIDEWALK
- SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- SPOTGRADE
- PROPOSED CONTOUR LINE
- GRADE TO DRAIN
- LEACHING BASIN
- WATER GATE
- CLEAN OUT
- ROOF DRAIN
- TRENCH DRAIN



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tel. 508.473.4114

DeVellis Zrein Inc.

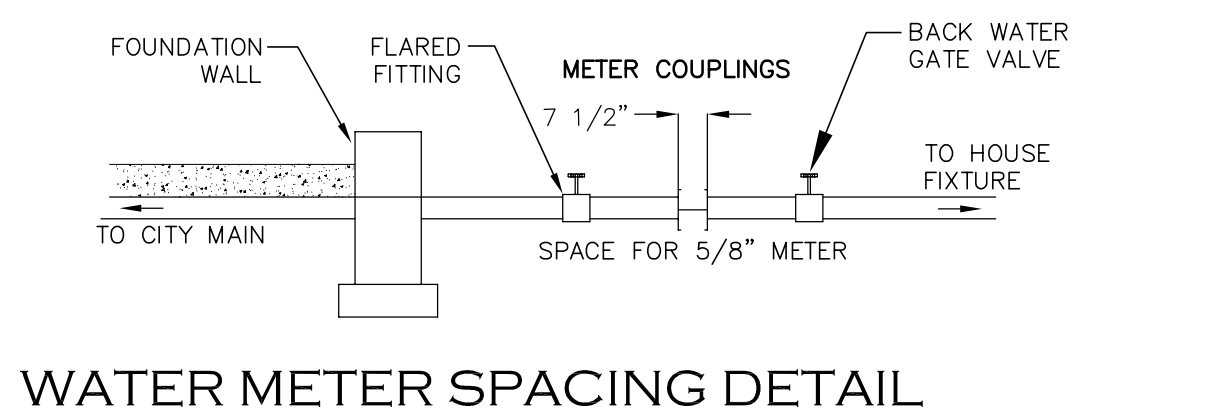
UTILITY PLAN AND DETAILS

SITE PLAN # 16405

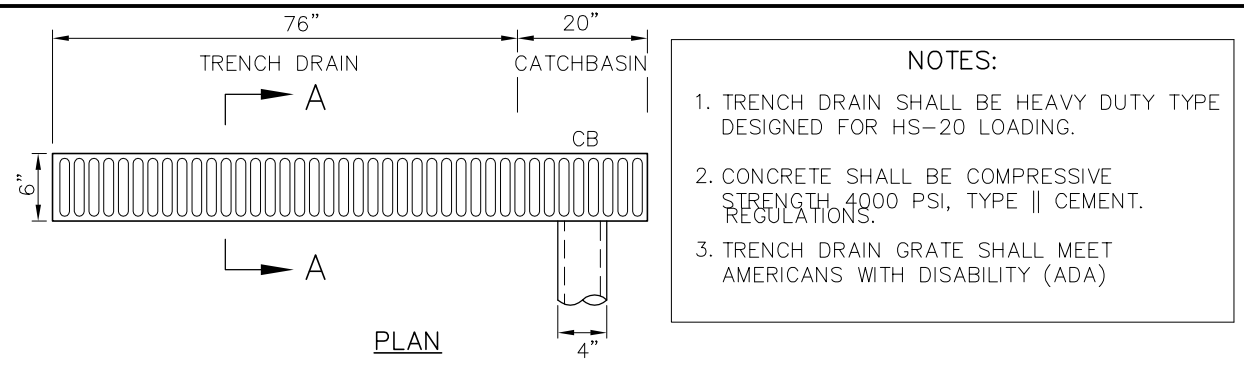
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JOB: 2G15-262
FILE: 2G15-262-GU
DRAWN: IAZ
CHECKED:
DATE: 08.16.16

C-1

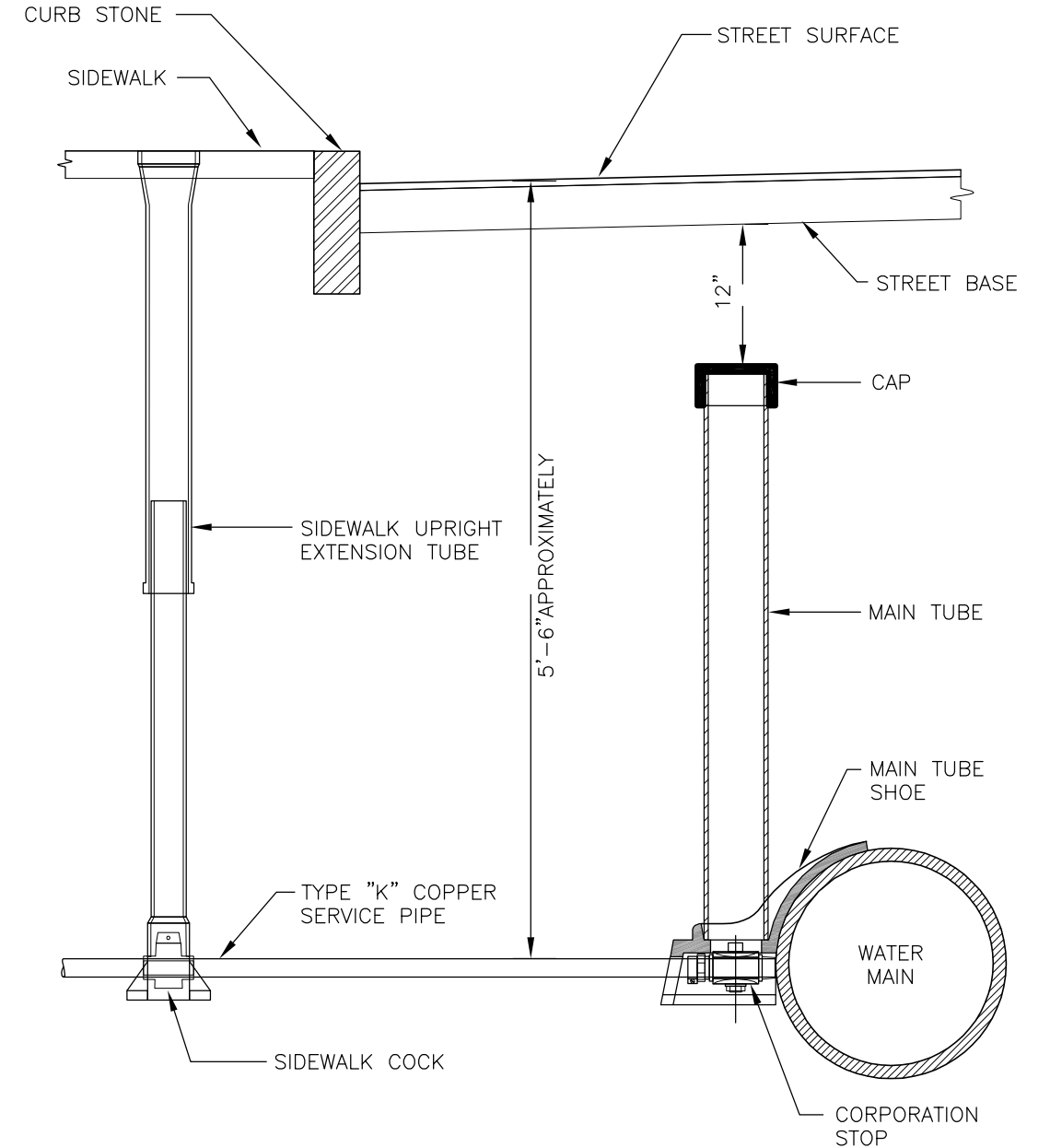
- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 - ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



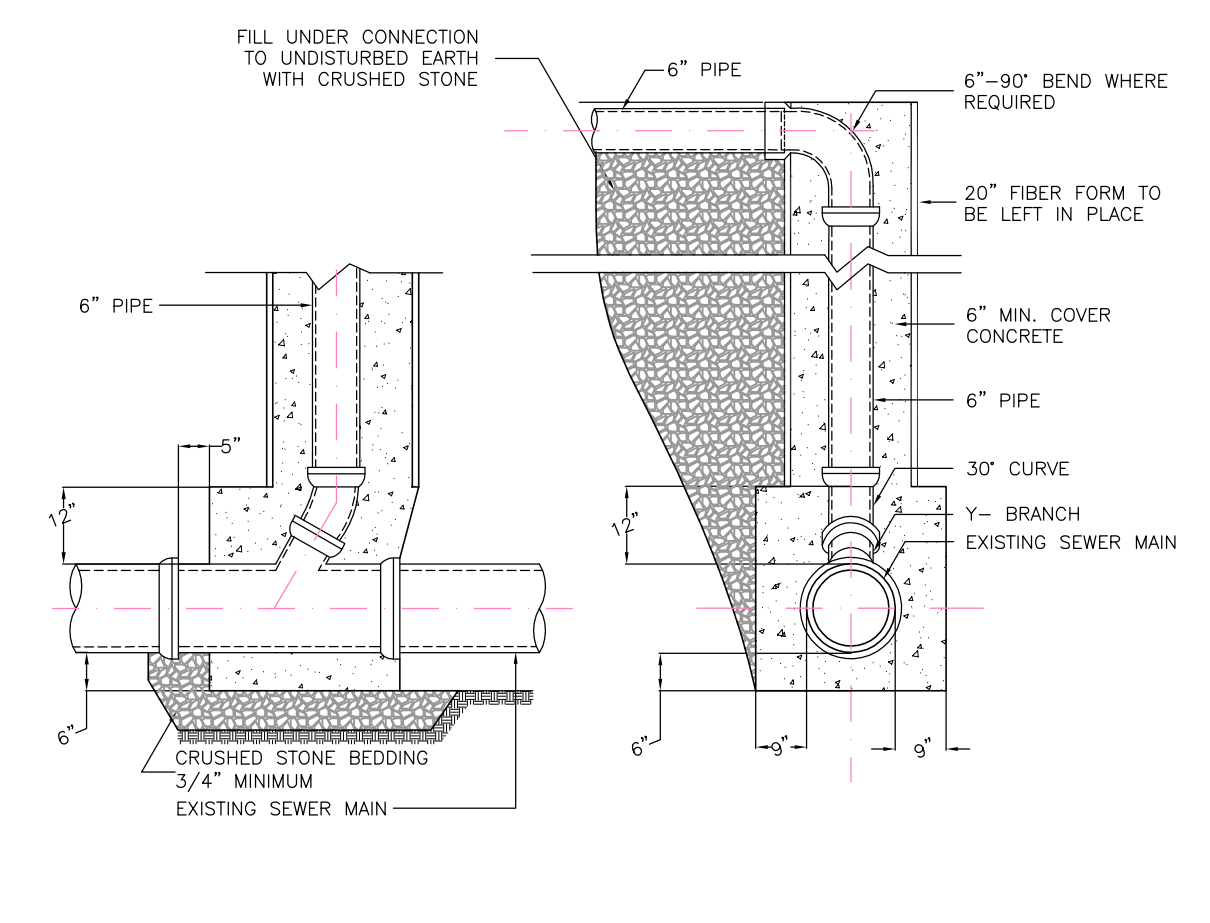
WATER METER SPACING DETAIL



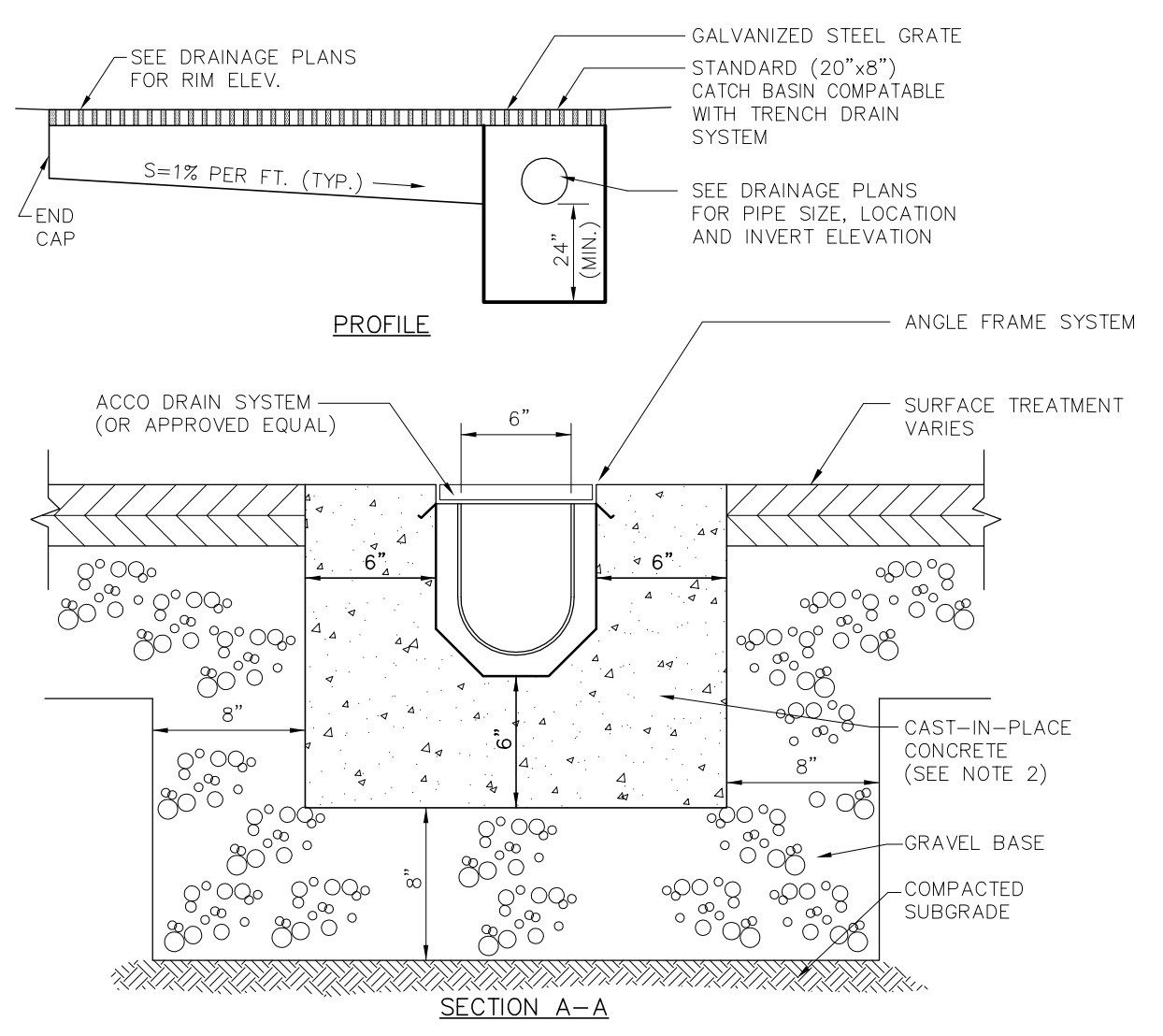
TRENCH DRAIN



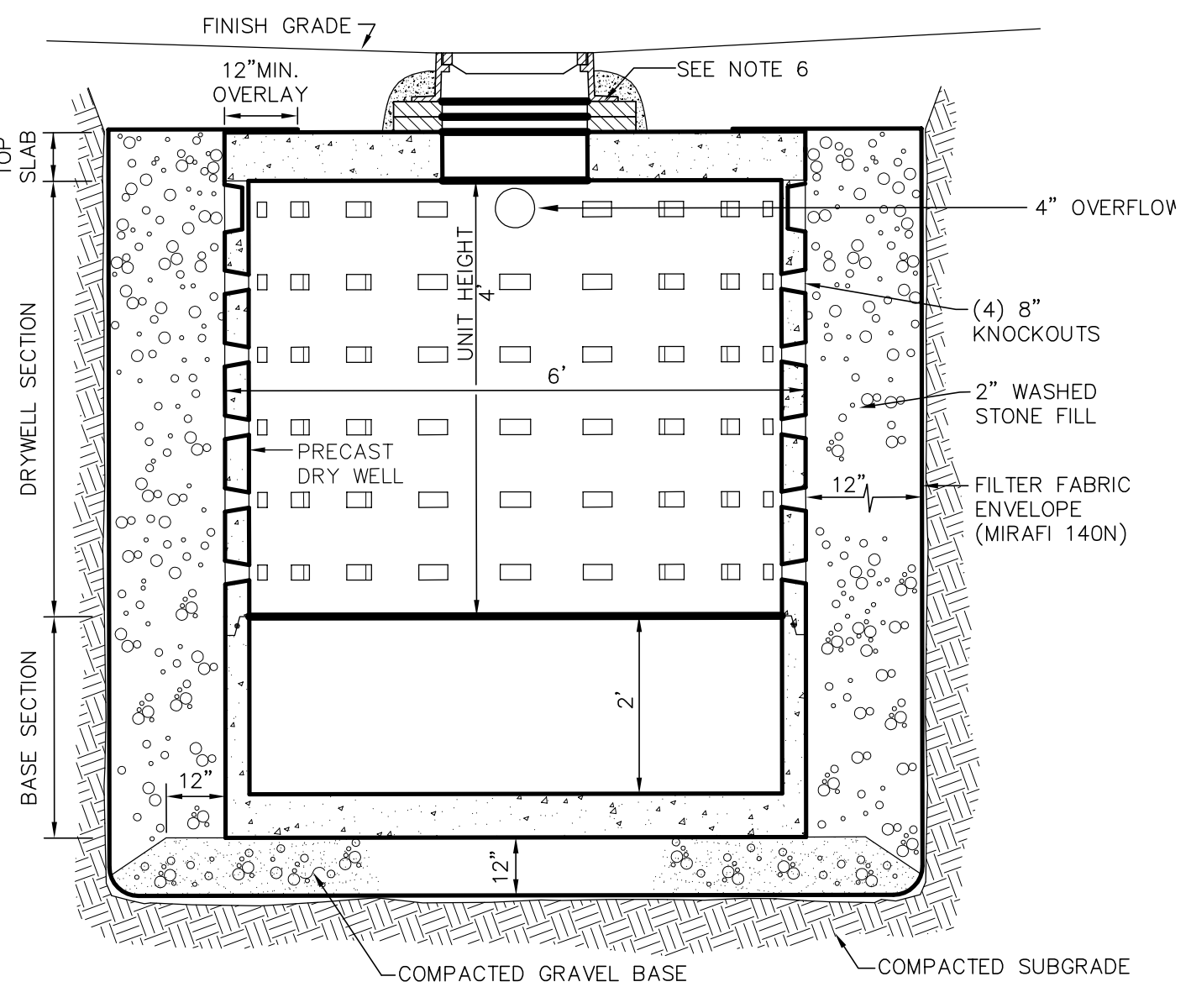
1" WATER CONNECTION DETAIL



SEWER CONNECTION



TRENCH DRAIN



LEACHING BASIN

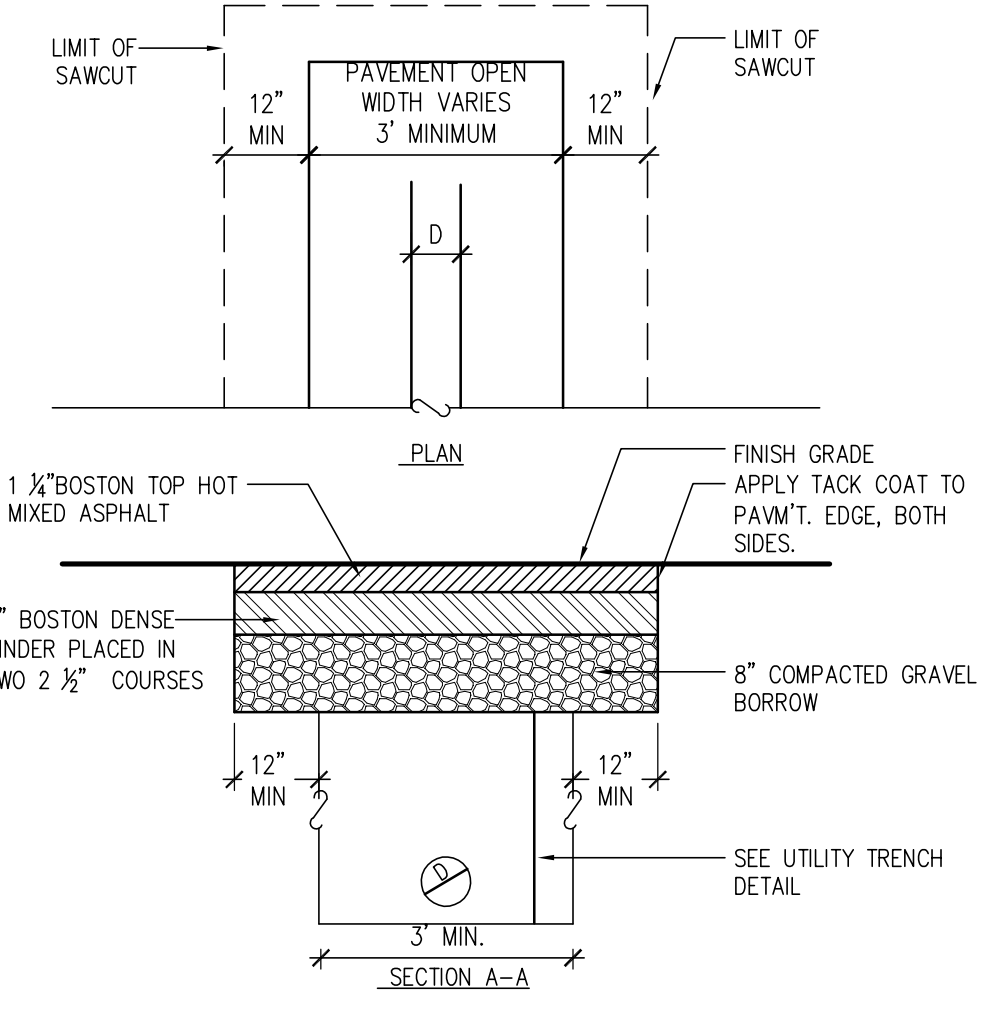
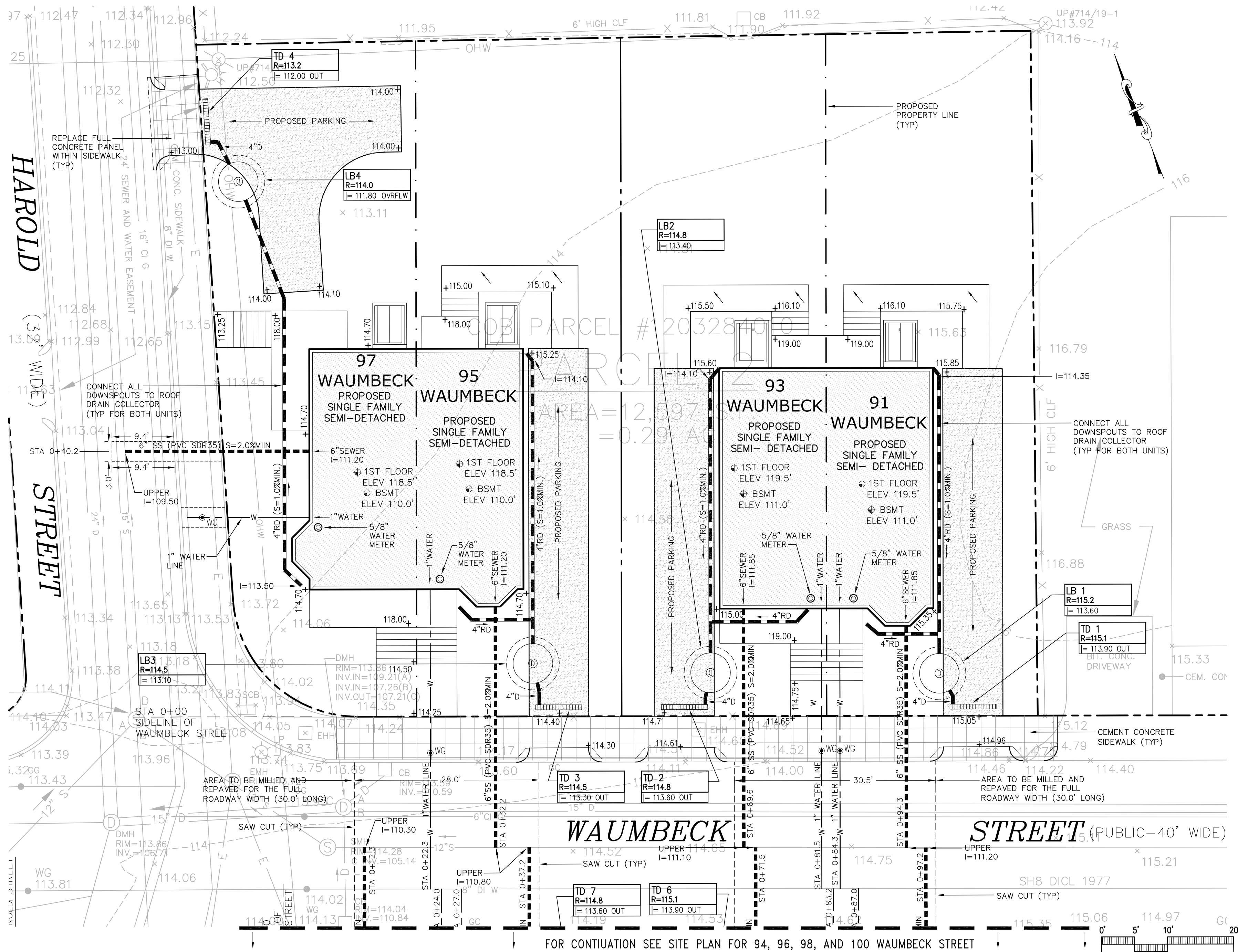
INFILTRATION CALCULATIONS
93 WAUMBECK STREET

STORAGE VOLUME REQUIRED
1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
IMPERVIOUS SURFACE = 1,215 S.F.
REQUIRED STORAGE =
(1/12) FEET X 1,215 = 101.2 C.F.
PROVIDE LEACHING BASIN 6'-DIA/5' DEEP
W/12" STONE ALL AROUND
STORAGE PROVIDED = 113.0 C.F. > 101.2 C.F.

LAND USE CODE: "A" RESIDENTIAL
2 BEDROOMS (220 GPD)

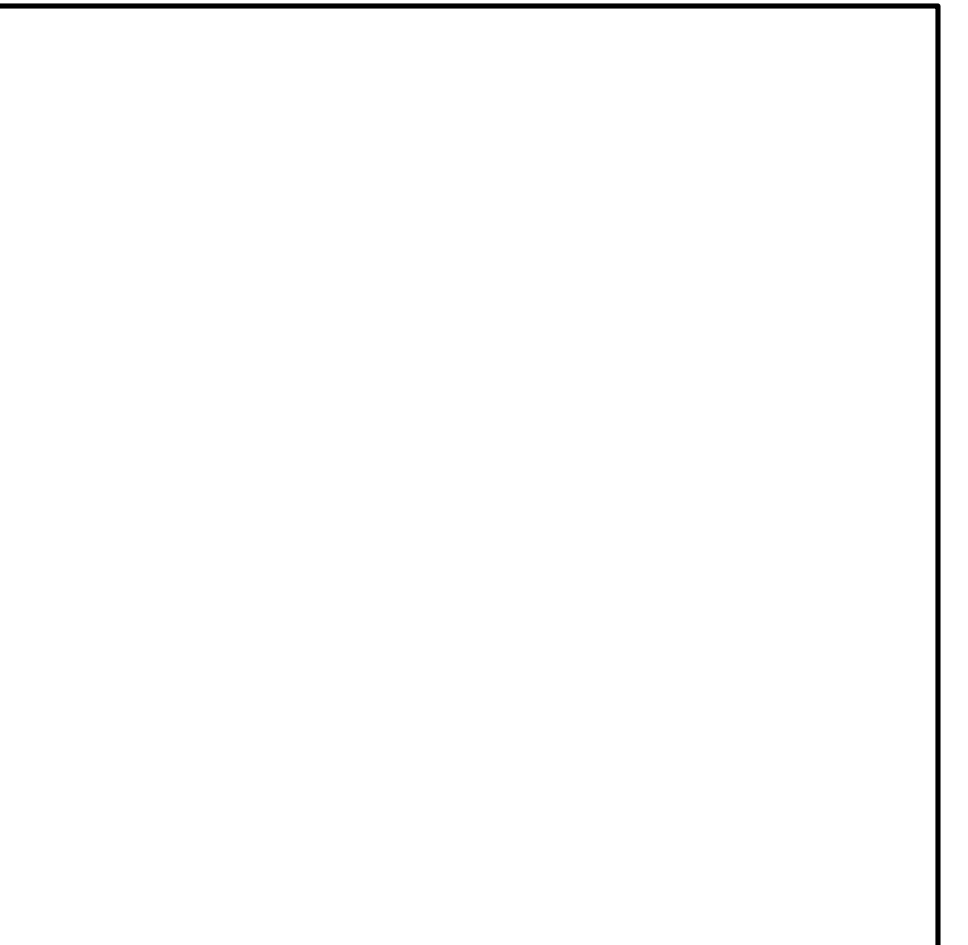
BWSC INSPECTIONS:

(1) RECHARGE SYSTEM	BWSC INSPECTOR	DATE
(2) 6" SEWER LINE	BWSC INSPECTOR	DATE
(3) 1" WATER LINE	BWSC INSPECTOR	DATE
(4) TRENCH DRAIN	BWSC INSPECTOR	DATE
(5) DYE TEST	BWSC INSPECTOR	DATE

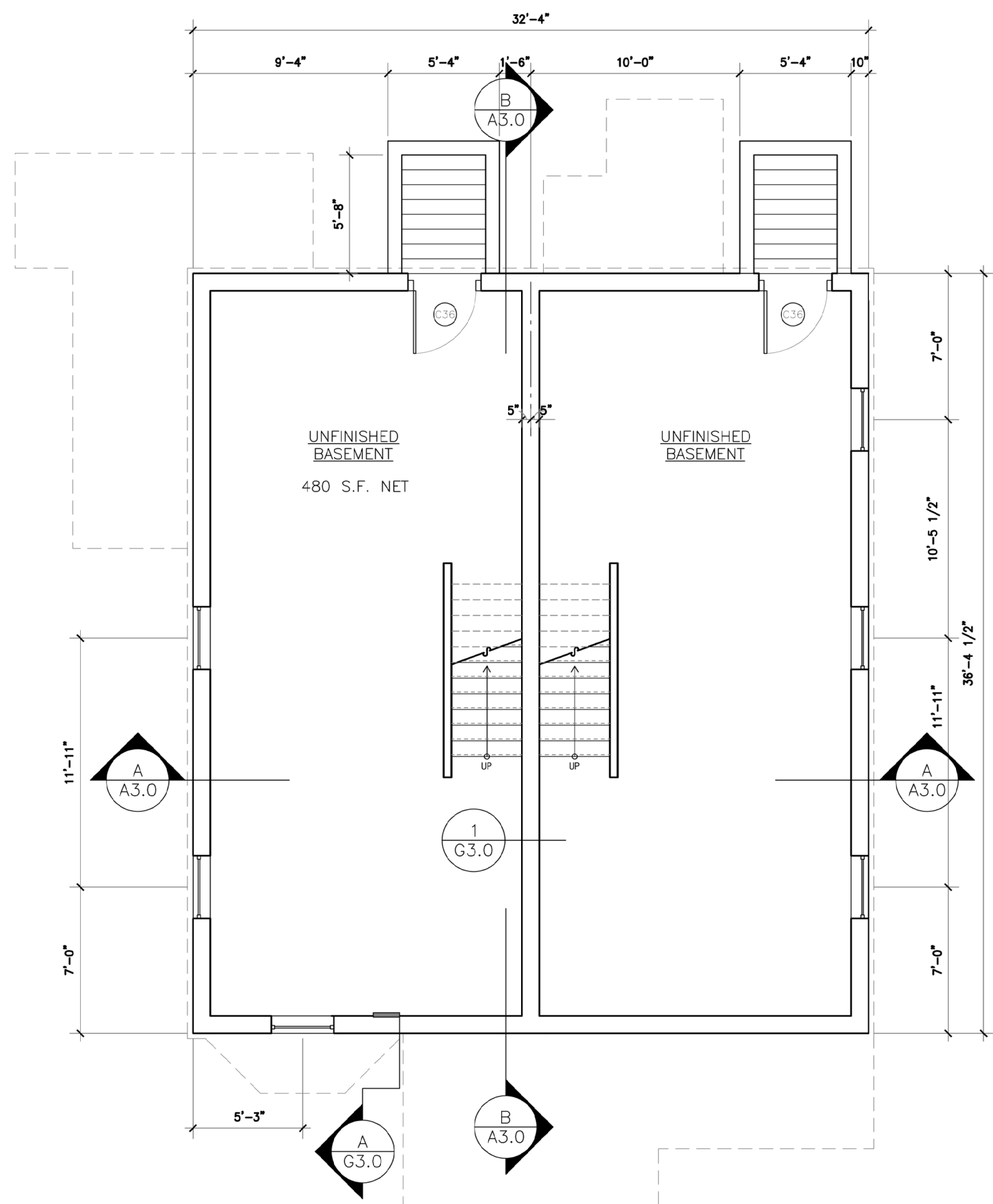


UTILITY PATCH

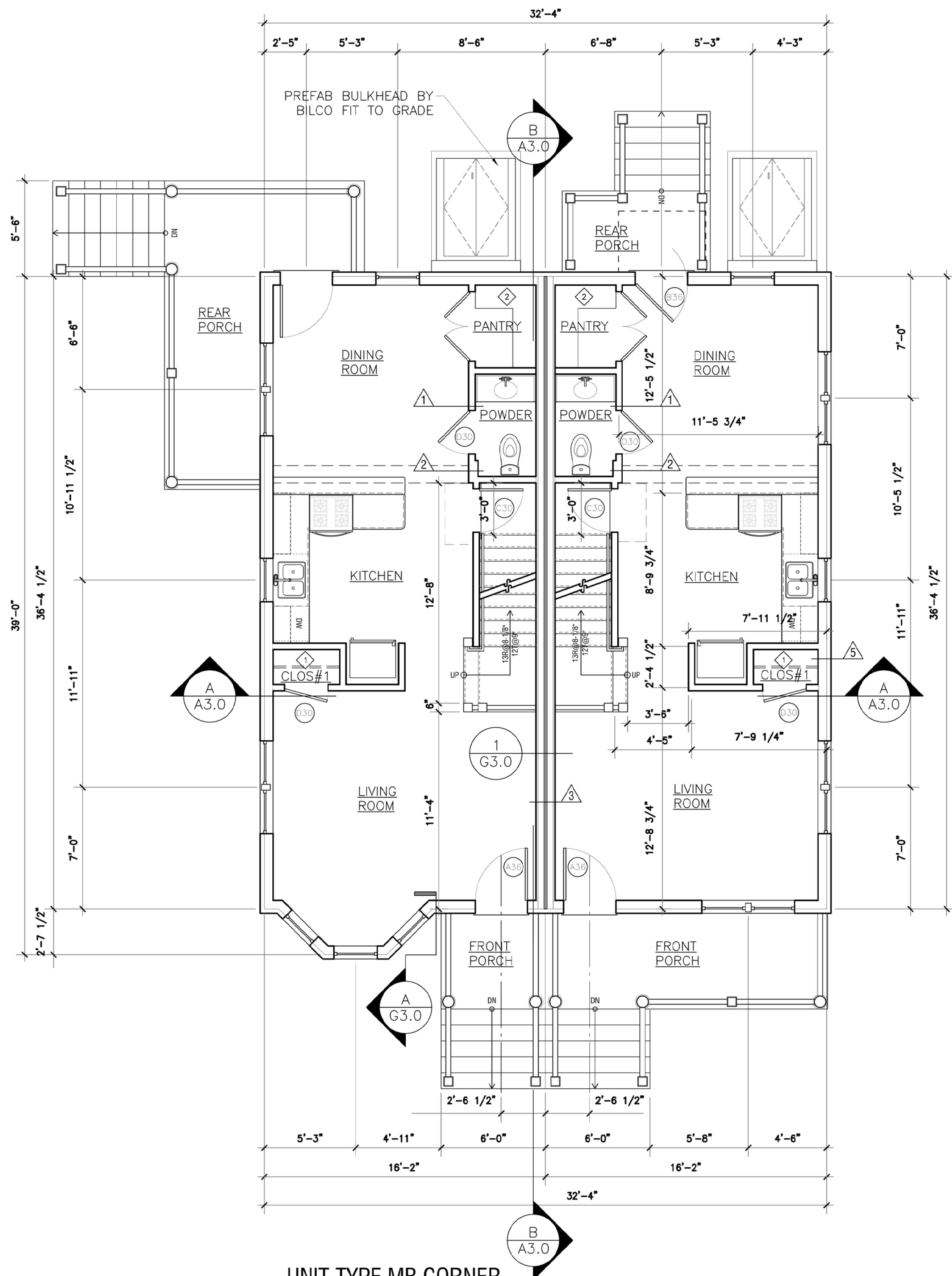
FOR BOSTON WATER SEWER USE ONLY



FOR CONTINUATION SEE SITE PLAN FOR 94, 96, 98, AND 100 WAUMBECK STREET



UNIT TYPE MB CORNER
 BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



UNIT TYPE MB CORNER
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Garrison Trotter II
 Homes
 95,97 Waumbek Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

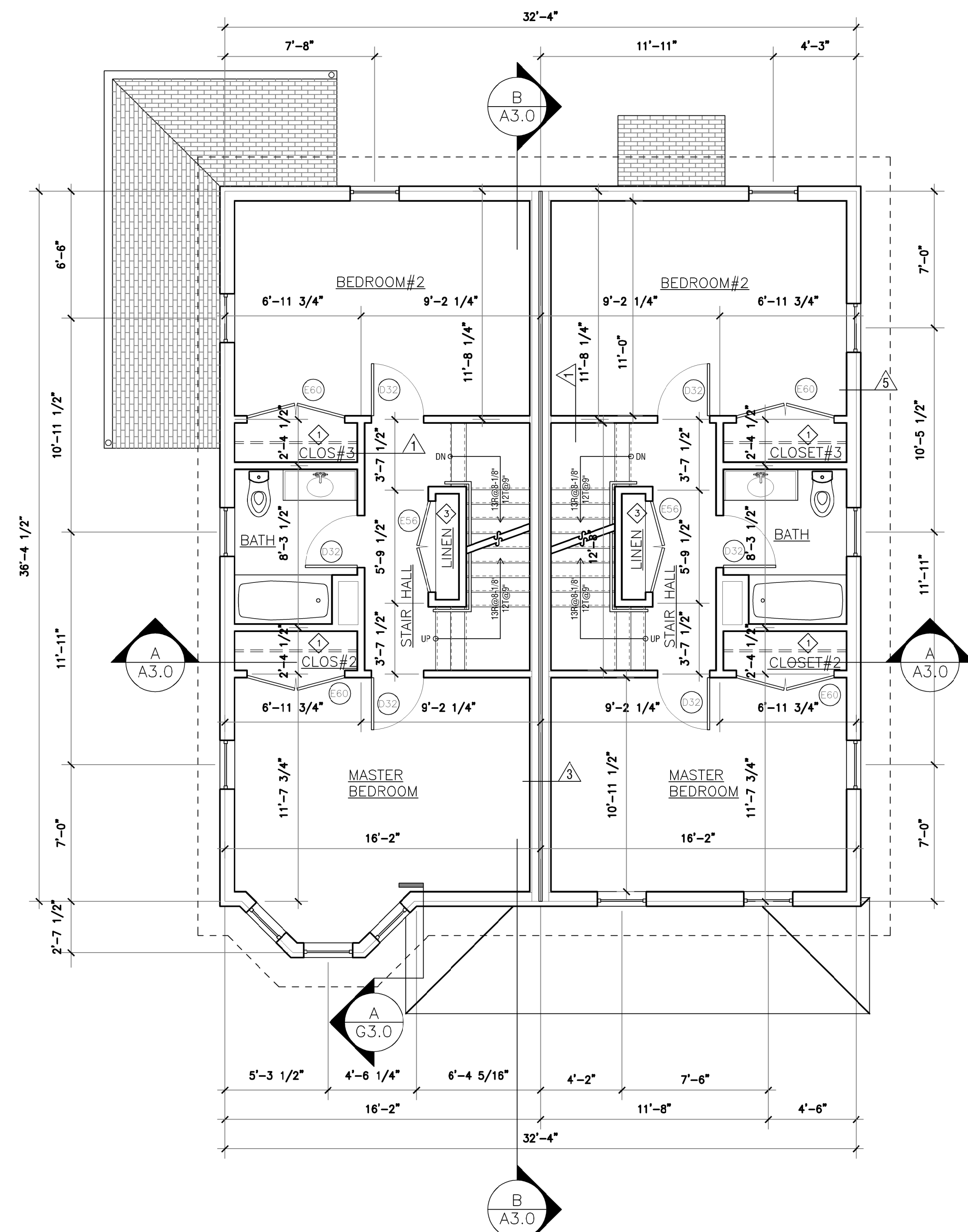
Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

**Basement &
 First Floor
 Plans:**

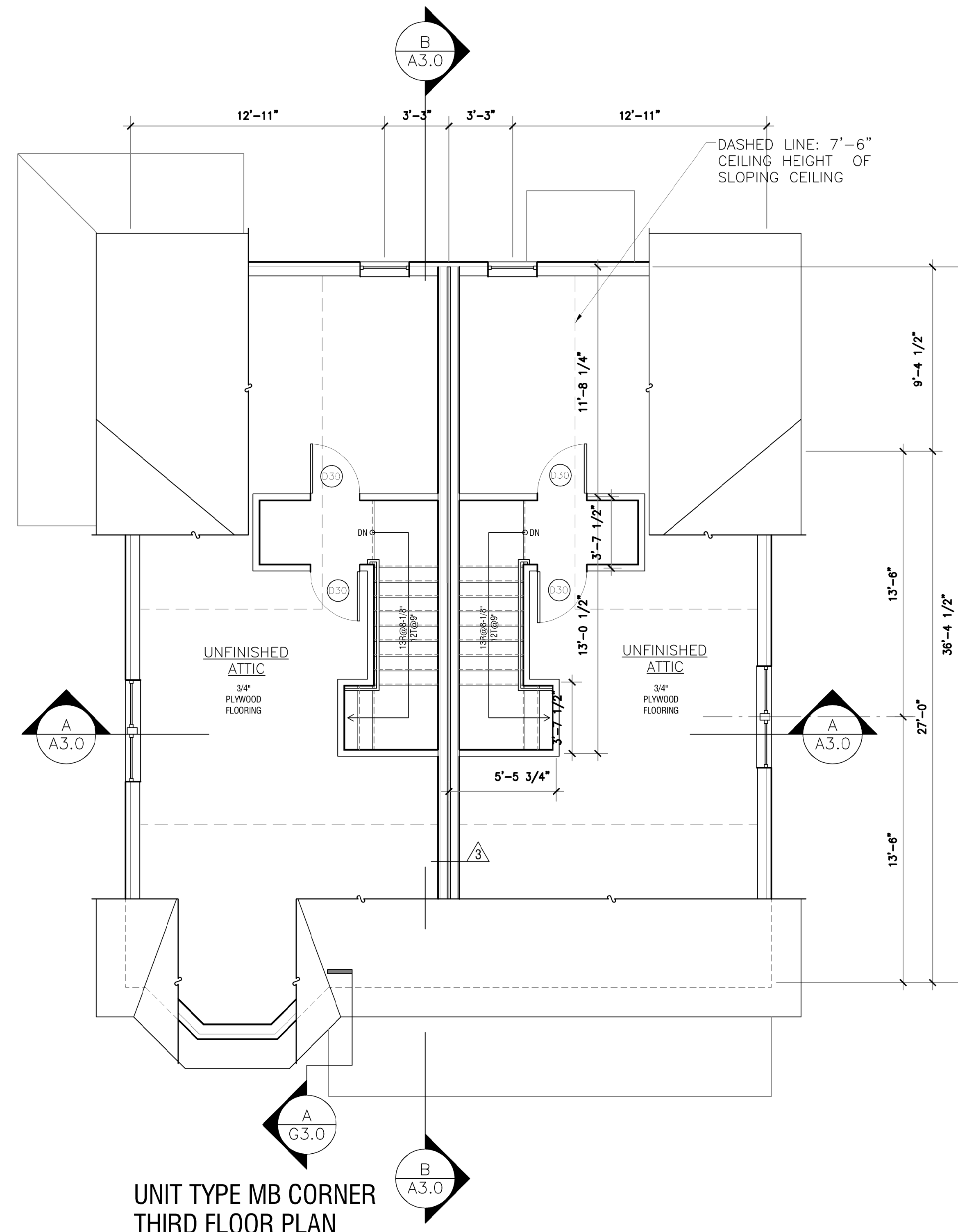
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Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-1.0



**UNIT TYPE MB CORNER
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**UNIT TYPE MB CORNER
THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"

Garrison Trotter II
Homes
95,97 Waumbeck Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Second &
Third Floor
Plans:**

Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-1.1

Garrison Trotter II
Homes
95.97 Waumbek Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

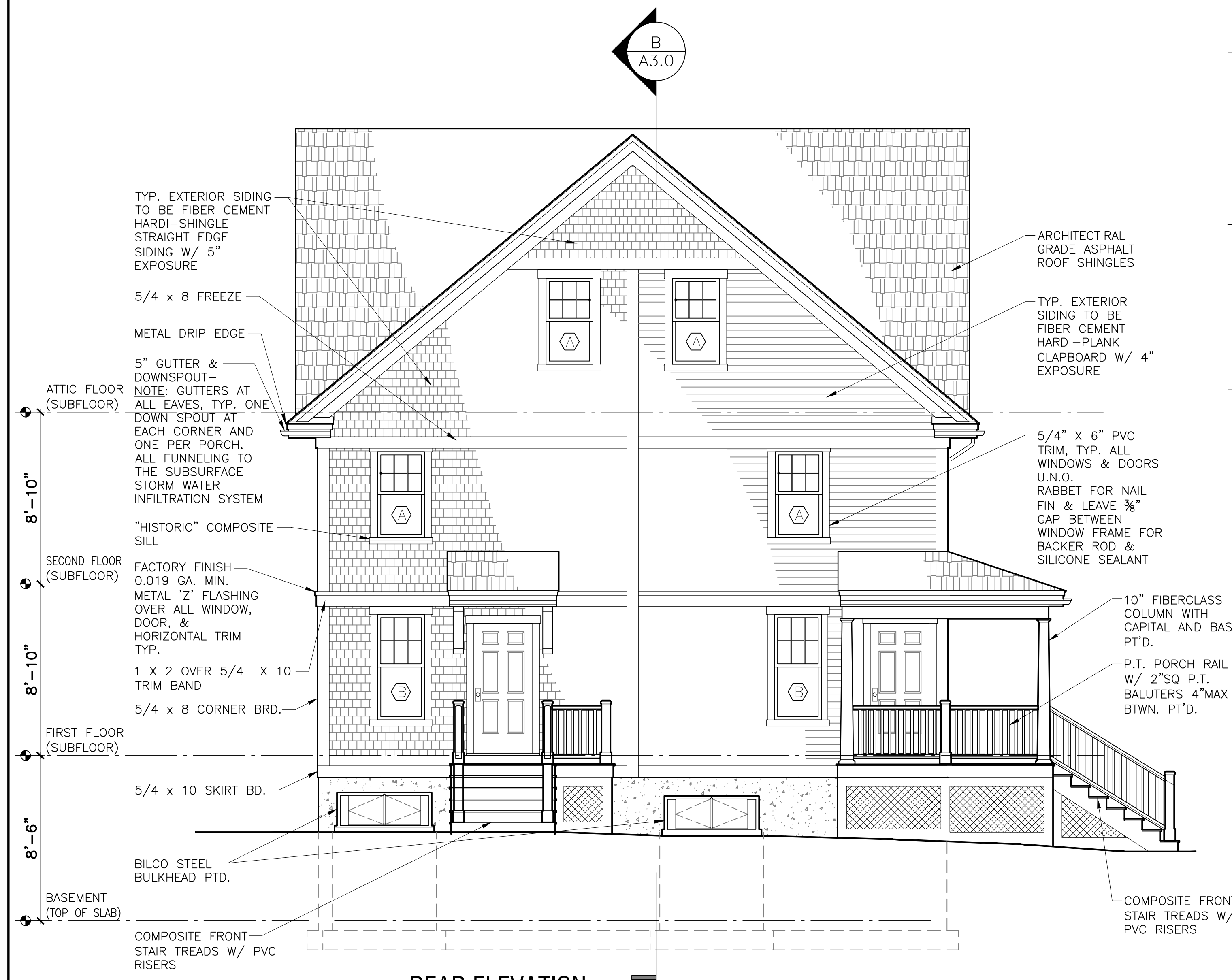
**Rear &
Left Side
Elevations**

Job Ref: _____
Scale: (11x17 - use graphic scale)
Drawn By: _____
Date: Oct 14, 2016
Revisions:

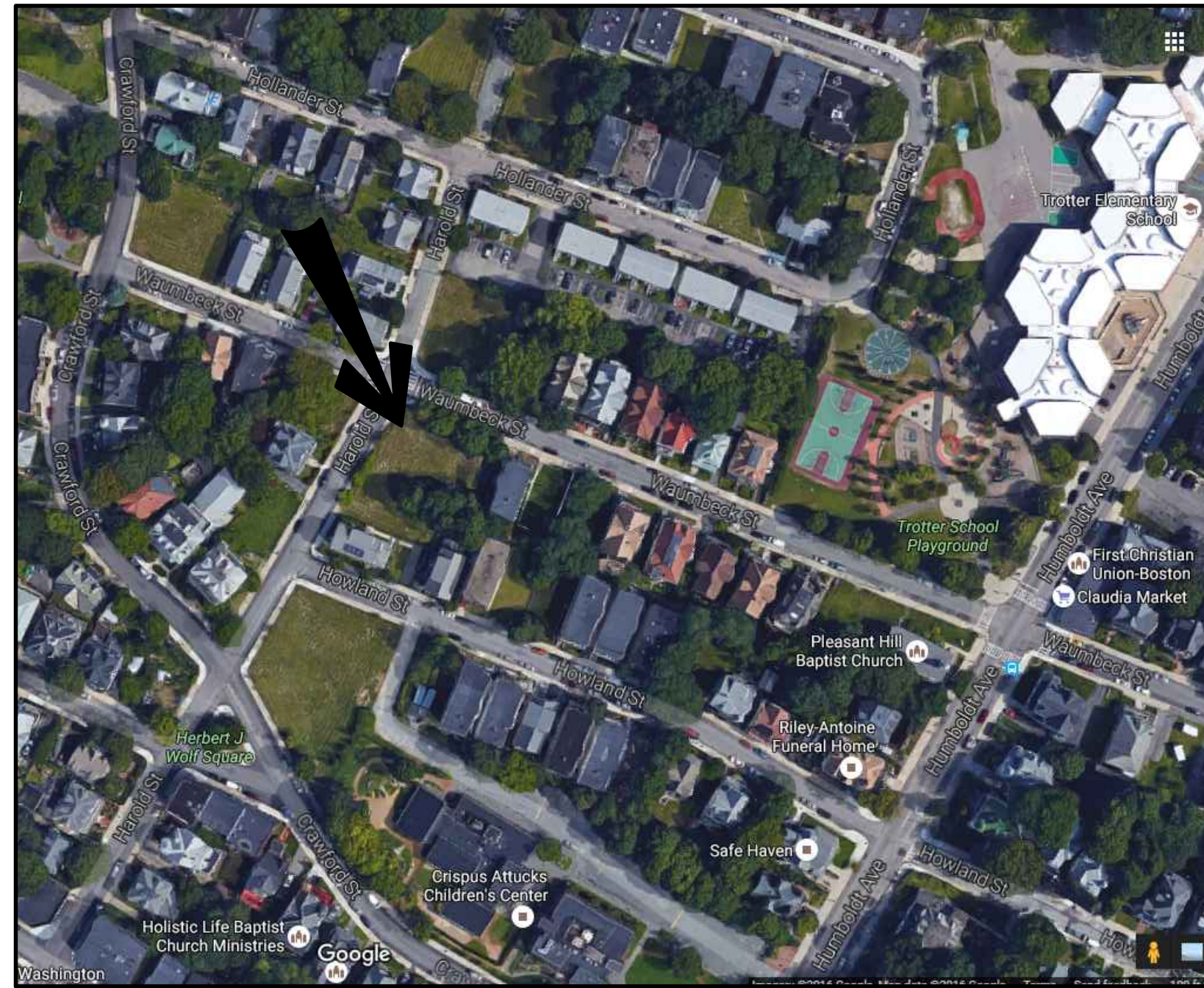
A-2.1



3 LEFT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"



Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 100 & 98 Waumbeck Street, Roxbury, MA

Garrison Trotter II
 Homes
 100 & 98 Waumbeck Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

Cover & Index

- C1 98 Waumbeck St.-Utility Plans & Details**
- C1 100 Waumbeck St.-Utility Plans & Details**
- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Attic Plans**
- A-1.2 Roof Framing Plan**
- A2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
- S-1.2 Attic & Roof Framing Plans**

- AE-1.0 Basement Electric Layout Plan,
 Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

- G-1.0 Symbols, Abbreviations, Systems, &
 General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

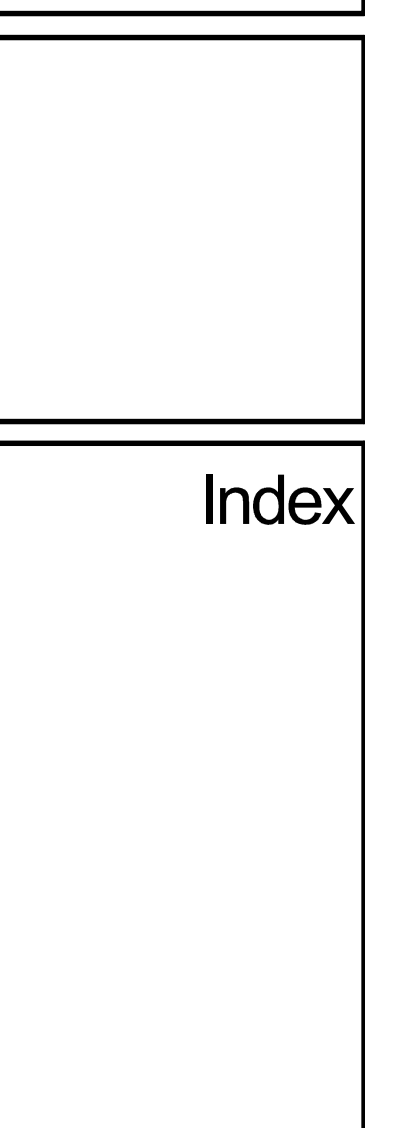
Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

ZONING ANALYSIS					
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED	PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
100 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000		98 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	
USE: ONE-FAMILY SEMI-DETACHED DWELLING (ALLOWED)		NONE	USE: ONE-FAMILY SEMI-DETACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 604 SQFT	GROSS FLOOR AREA: 1208 SQFT	NONE	BUILDING FOOTPRINT: 604 SQFT	GROSS FLOOR AREA: 1208 SQFT	NONE
LOT FRONTAGE: 25'-0" (REQUIRED)	25'-2" (PROPOSED)	NONE	LOT FRONTAGE: 25'-0" (REQUIRED)	30'-0" (PROPOSED)	NONE
LOT WIDTH: 25'-0" (REQUIRED)	25'-2" MIN. (PROPOSED)	NONE	LOT WIDTH: 25'-0" (REQUIRED)	30'-0" MIN. (PROPOSED)	NONE
LOT SIZE: 2000 SQFT (REQUIRED)	2708 SQFT (PROPOSED)	NONE	LOT SIZE: 2000 SQFT (REQUIRED)	2550 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.45 +/- (PROPOSED)	NONE	FLOOR AREA RATIO: .8 (REQUIRED)	.47 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE	HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE	OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE	FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE	SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE	REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE	OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	PROJECT ADDRESS:
100 WAUMBECK ROXBURY, MA	98 WAUMBECK ROXBURY, MA	94 WAUMBECK ROXBURY, MA
96 WAUMBECK ROXBURY, MA		
STREET: WAUMBECK STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
92 WAUMBECK STREET	10'-3"(10')	79'-8"
84 WAUMBECK STREET	9'-6"(10')	46'-3"
82-80 WAUMBECK STREET	6'-4"(6')	52'-8"
78-76 WAUMBECK STREET	11'-0"(11')	46'-10"
74-72 WAUMBECK STREET	11'-7"(12')	51'-6"
68 WAUMBECK STREET	6'-5"(6')	46'-10"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	10'-0"	
MODAL SETBACK	10'-0"	
PROPOSED MINIMUM SETBACK	10'-0"	



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Sept 28, 2016
Revisions:	

Permit Set

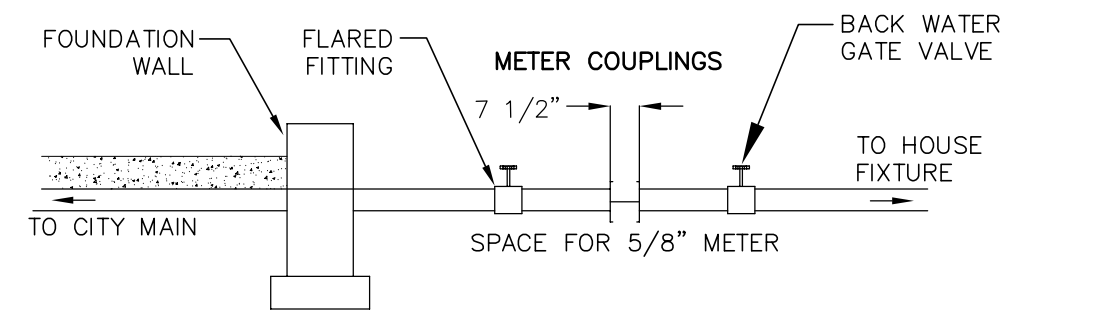
98 WAUMBECK STREET

ROXBURY, MA

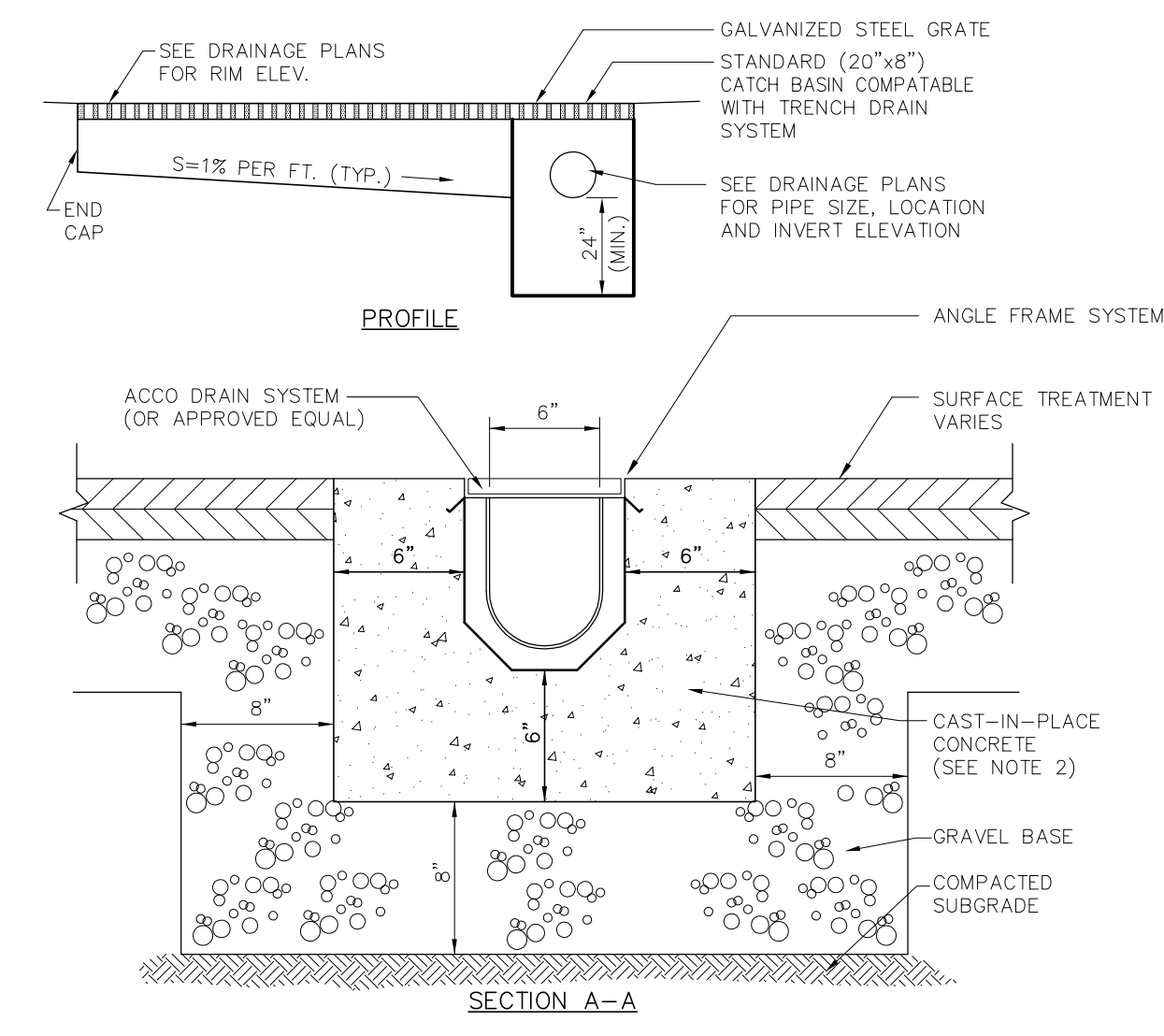
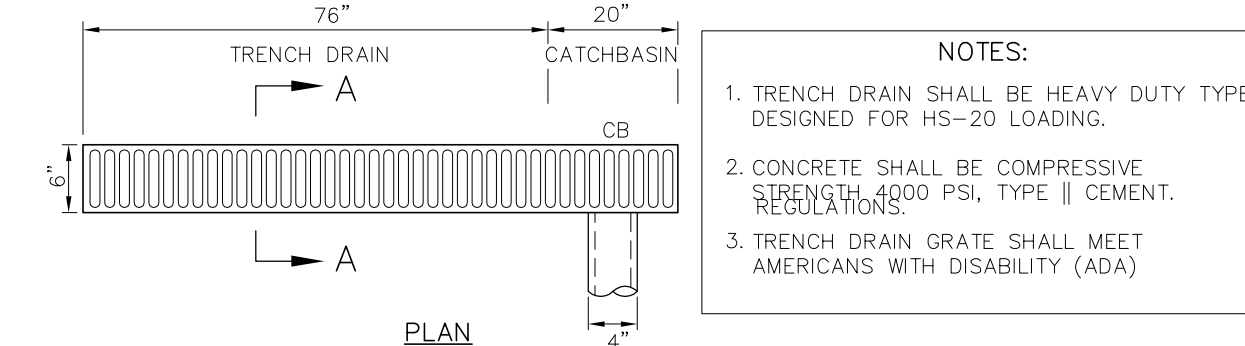
GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▤ CEMENT CONCRETE SIDEWALK
- SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- +100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB @ LEACHING BASIN
- WG @ WATER GATE
- @ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN

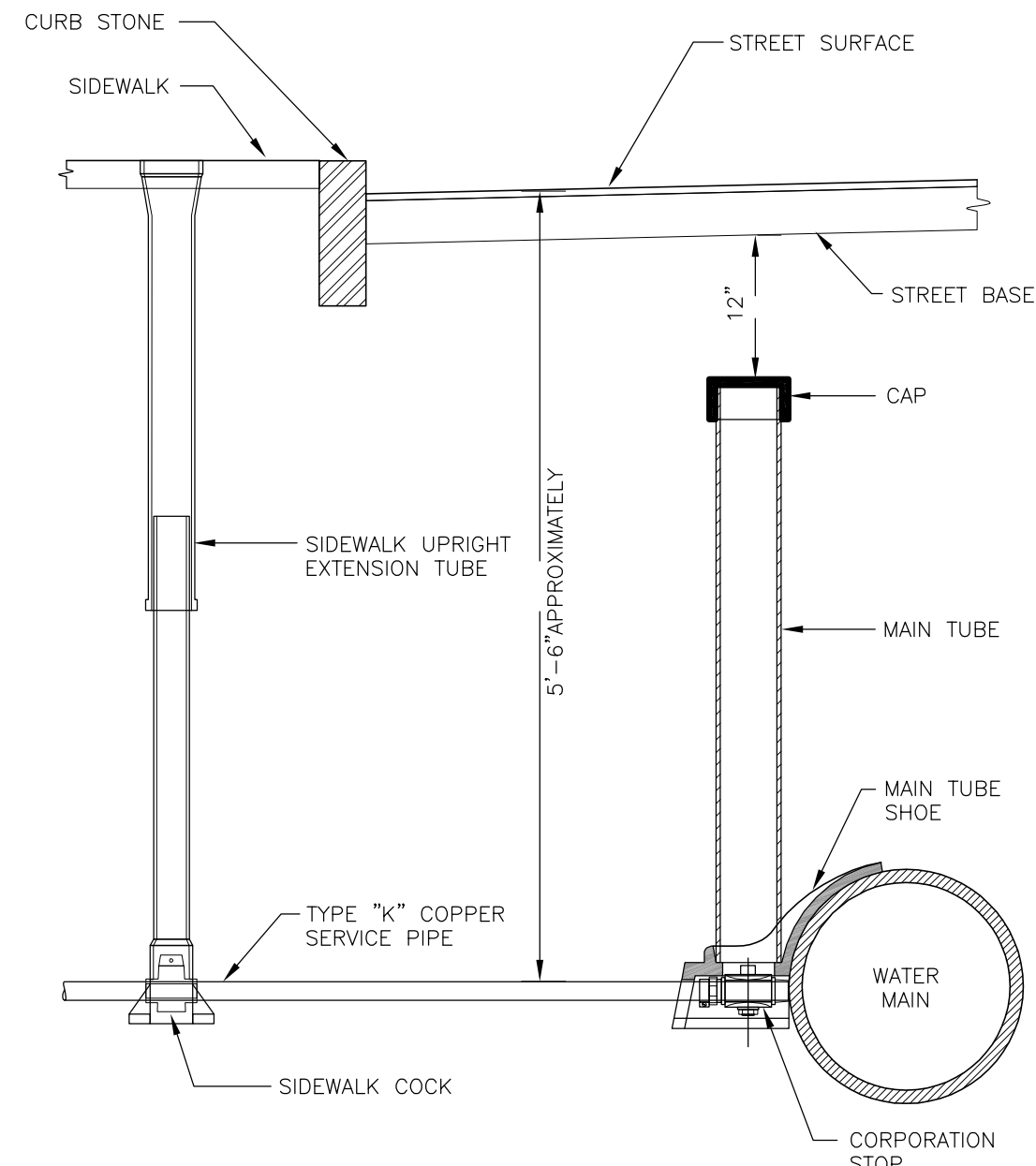
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



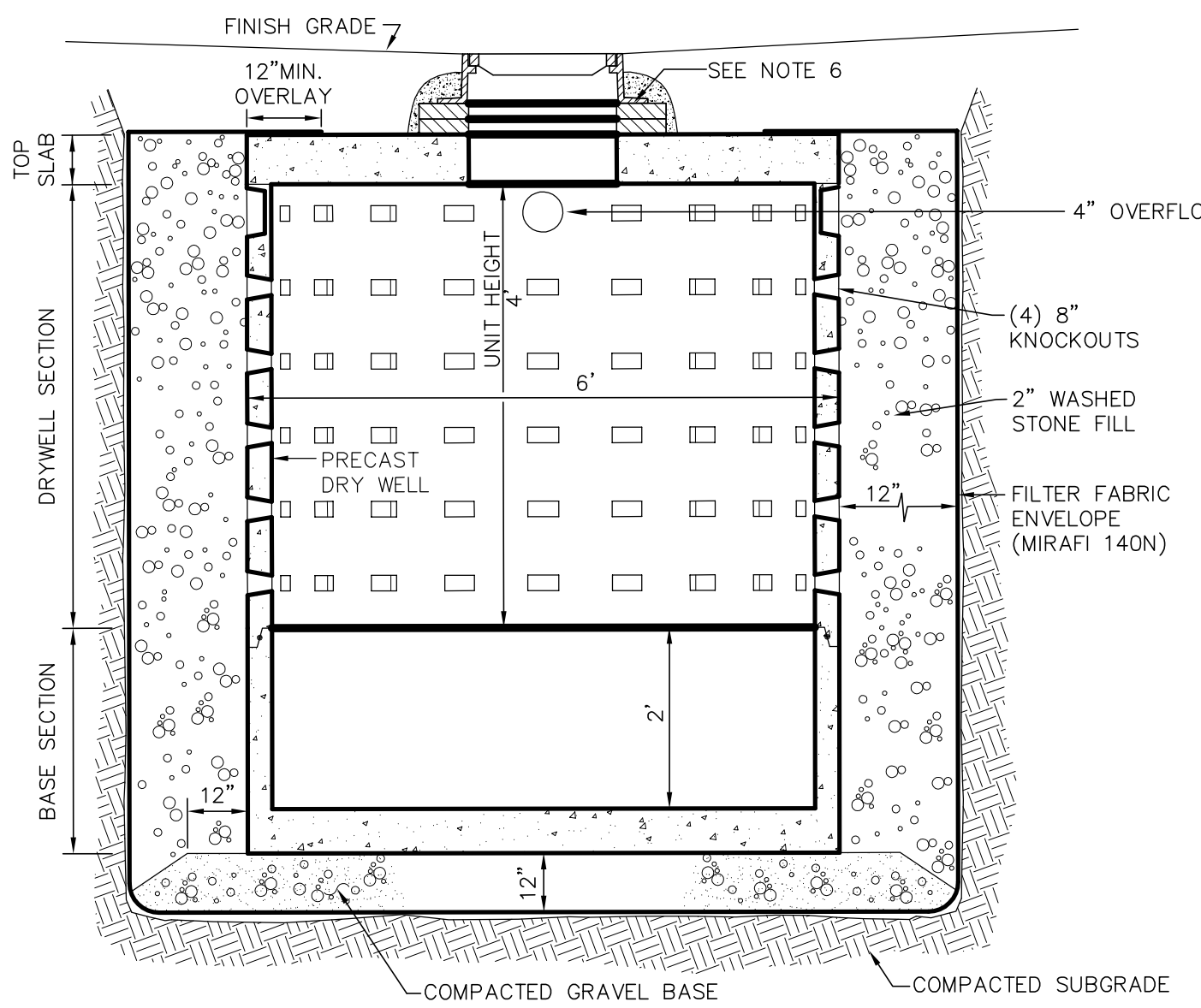
WATER METER SPACING DETAIL



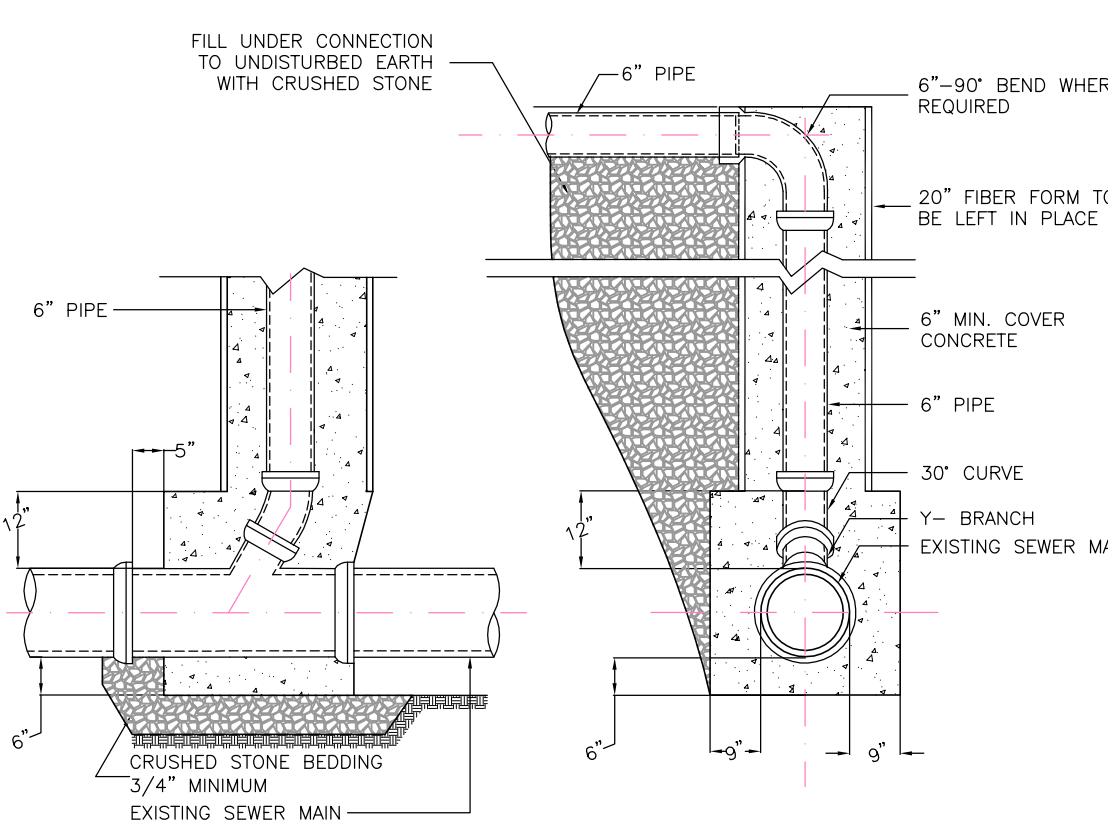
TRENCH DRAIN



1" WATER CONNECTION DETAIL



LEACHING BASIN



SEWER CONNECTION

INFILTRATION CALCULATIONS 98 WAUMBECK STREET

STORAGE VOLUME REQUIRED
1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
IMPERVIOUS SURFACE = 1,021 S.F.

REQUIRED STORAGE =
(1/12) FEET X 1,021 = 85.1 C.F.

PROVIDE LEACHING BASIN 6'-DIA/4' DEEP
W/12" STONE ALL AROUND

STORAGE PROVIDED = 113.0 C.F. > 85.1 C.F.

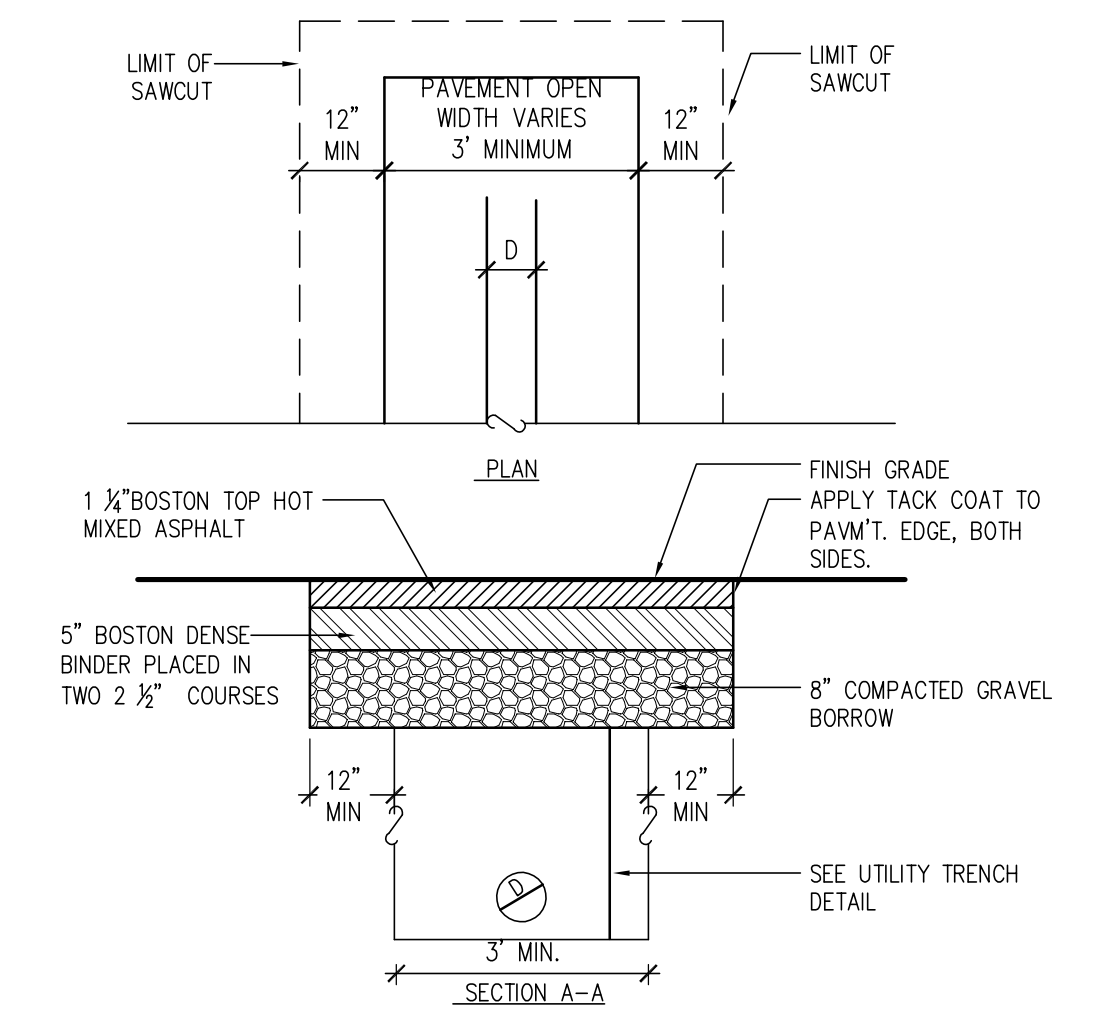
LAND USE CODE: "A" RESIDENTIAL
2 BEDROOMS (220 GPD)

BWSC INSPECTIONS:

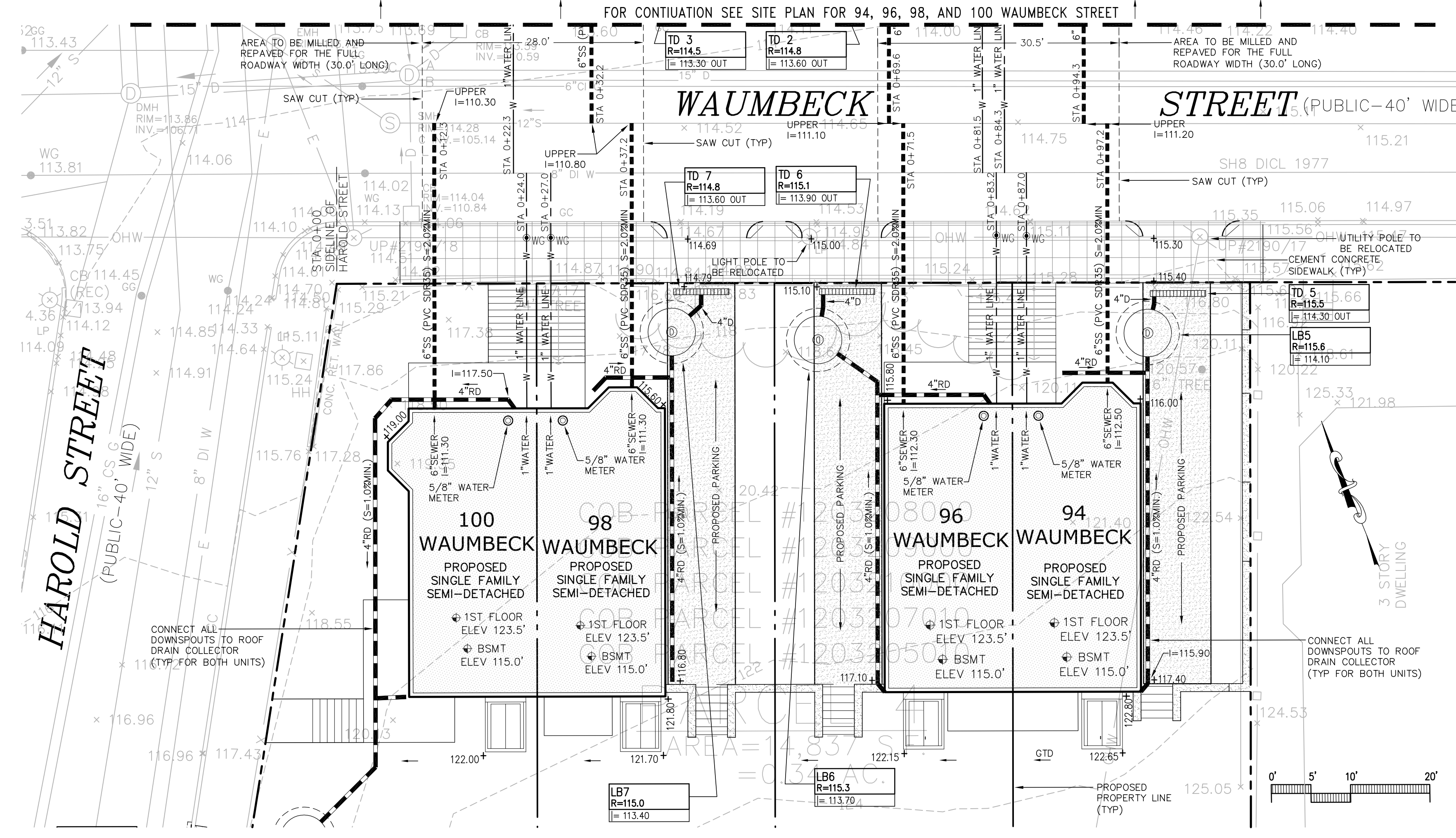
(1) RECHARGE SYSTEM	BWSC INSPECTOR	DATE
(2) 6" SEWER LINE	BWSC INSPECTOR	DATE
(3) 1" WATER LINE	BWSC INSPECTOR	DATE
(4) TRENCH DRAIN	BWSC INSPECTOR	DATE
(5) DYE TEST	BWSC INSPECTOR	DATE

1. Ward/Parcel: 12/3208-3209
2. Property Location: 98 WAUMBECK STREET
3. Neighborhood: Roxbury
4. Site Zip: 02119
5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
7. Owner Telephone No.: 617.445.5100
8. Type of Premise: Residential Development
9. New Account:

FOR BOSTON WATER SEWER USE ONLY



UTILITY PATCH



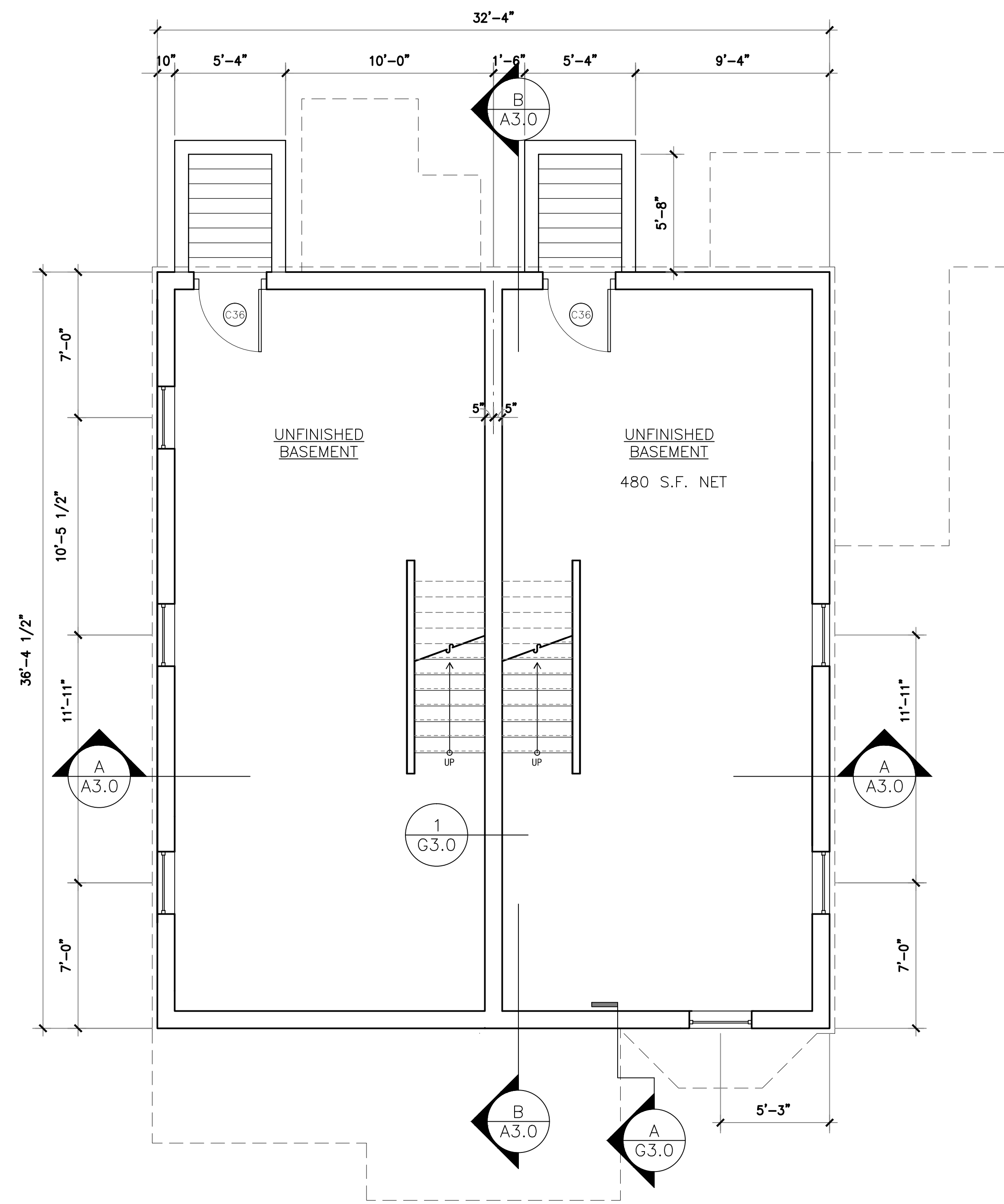
DZI Land Planning, Civil Engineering, Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein Inc.

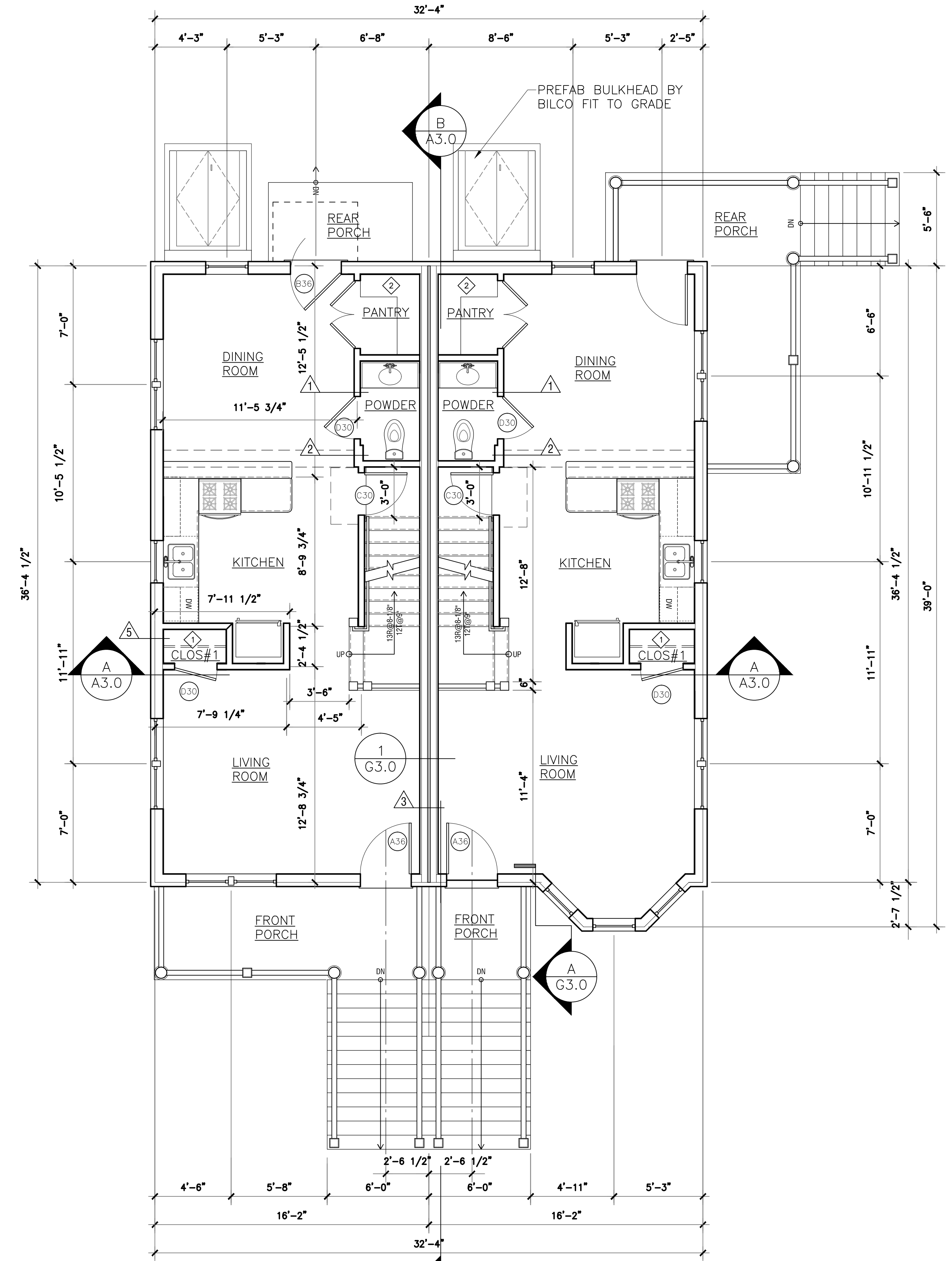
UTILITY PLAN AND DETAILS SITE PLAN # 16408

SCALE: 1" = 10'
JOB: 2G15-262
FILE: 2G15-262-GU
DRAWN: IAZ
CHECKED:
DATE: 08.16.16

C-1



UNIT TYPE MB CORNER
 BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



UNIT TYPE MB CORNER
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Garrison Trotter II
 Homes
 98,100 Waumbek Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

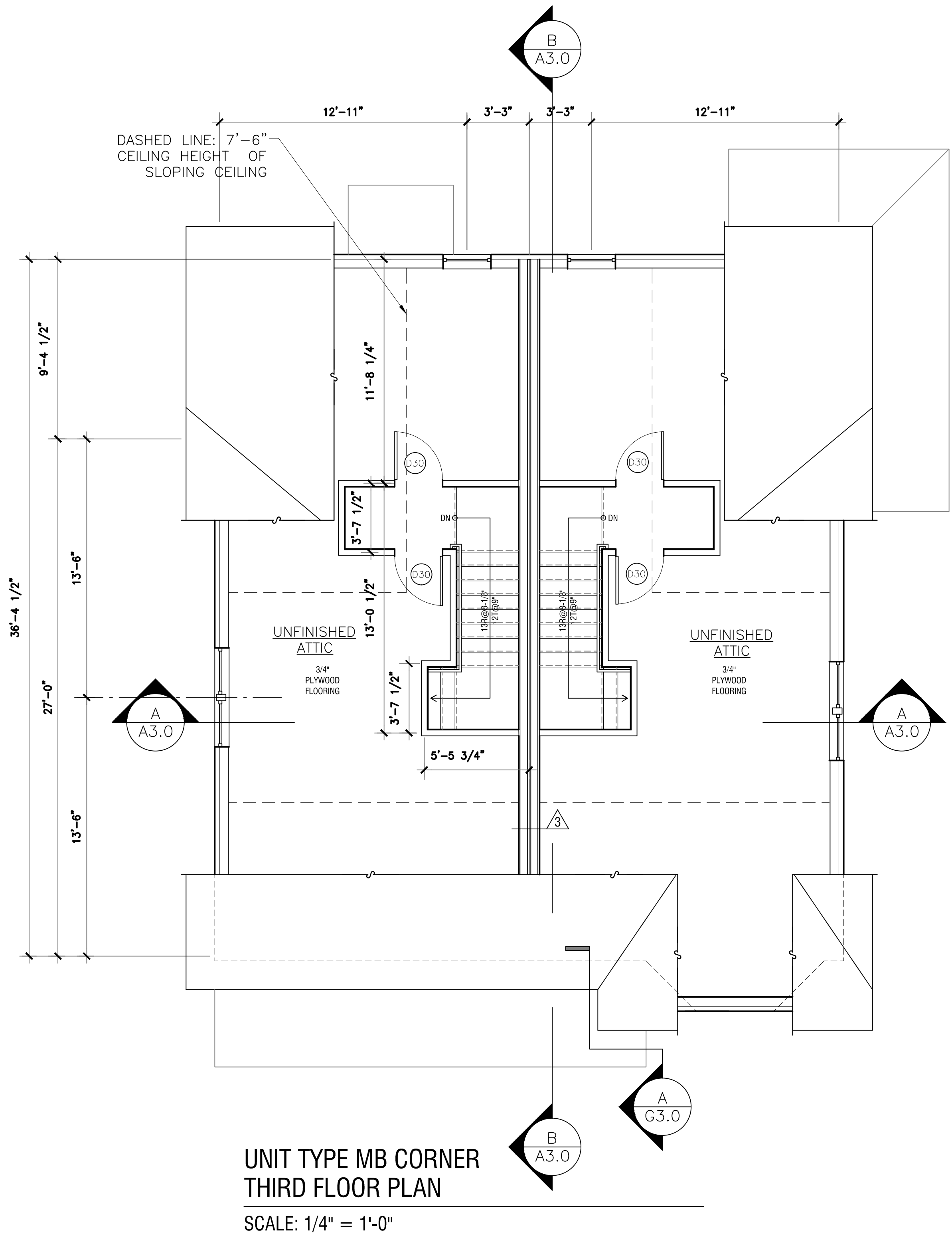
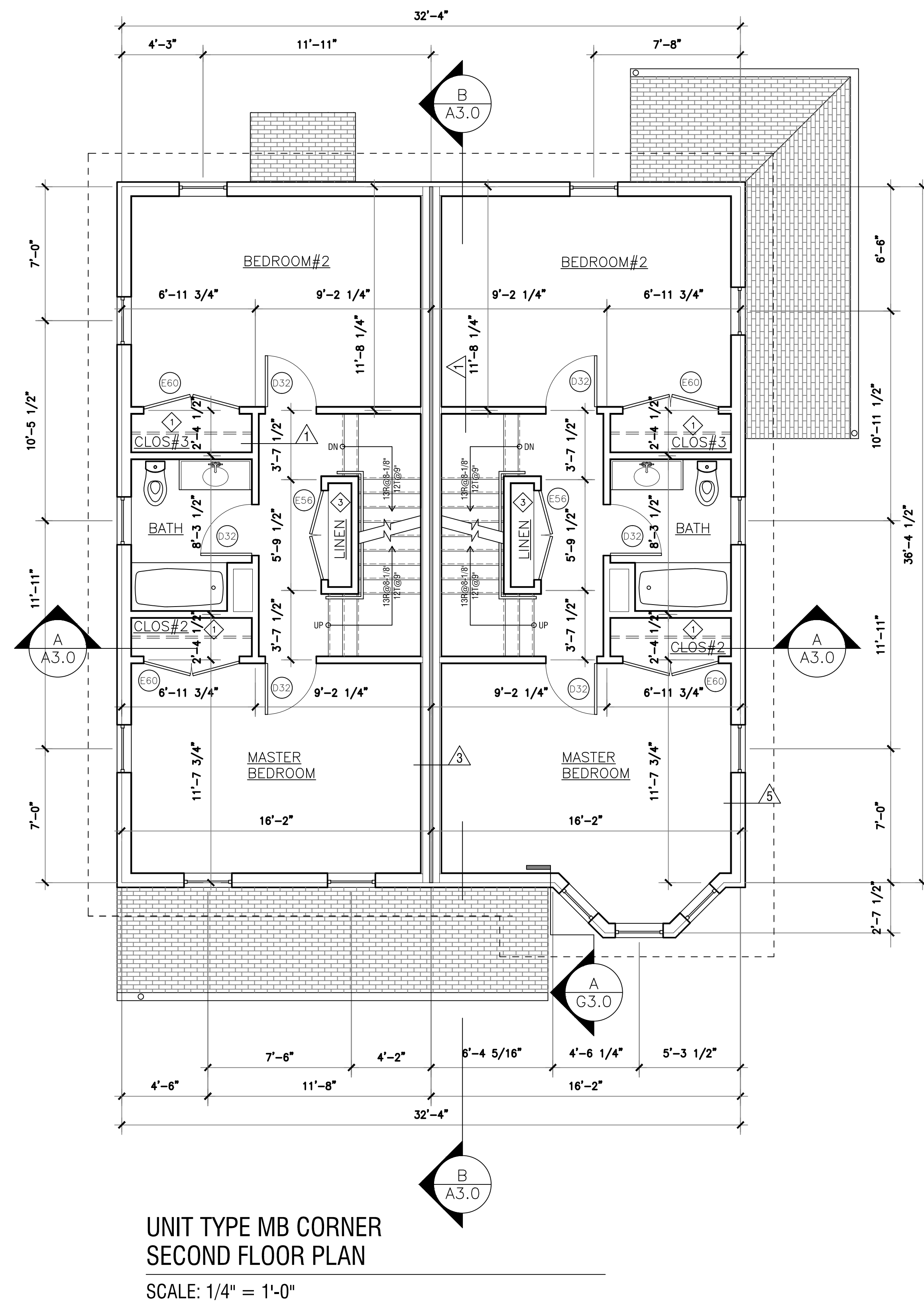
**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

**Basement &
 First Floor
 Plans:**

Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-1.0

Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	-
Date:	Oct 14, 2016
Revisions:	-
-	-
-	-
-	-
-	-
-	-



Garrison Trotter II
Homes
98,100 Waumbuck Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

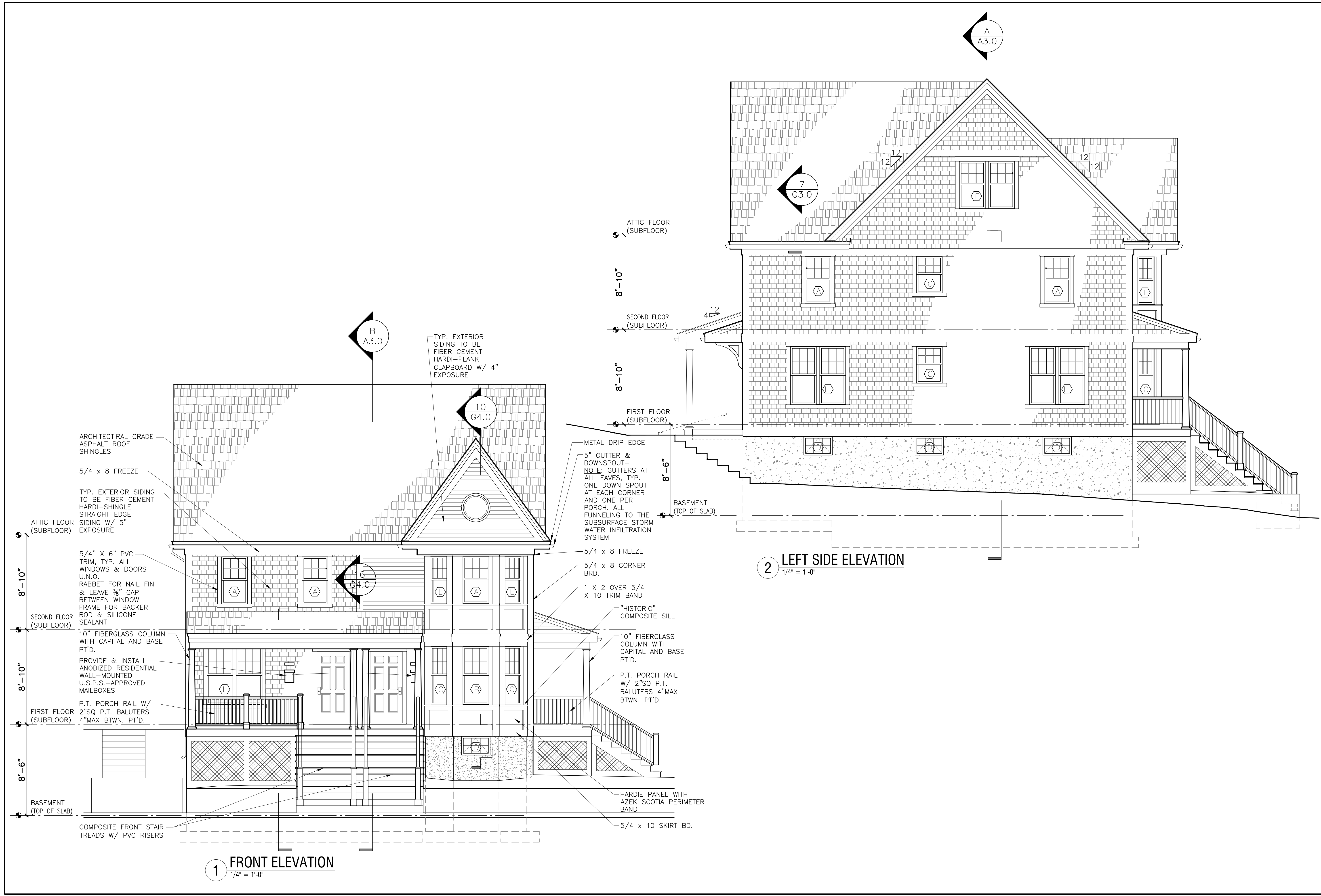
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Front &
Left Side
Elevations**

Job Ref: -
Scale: (11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

A-2.0



Garrison Trotter II
Homes
98,100 Waumbek Street
Roxbury, MA

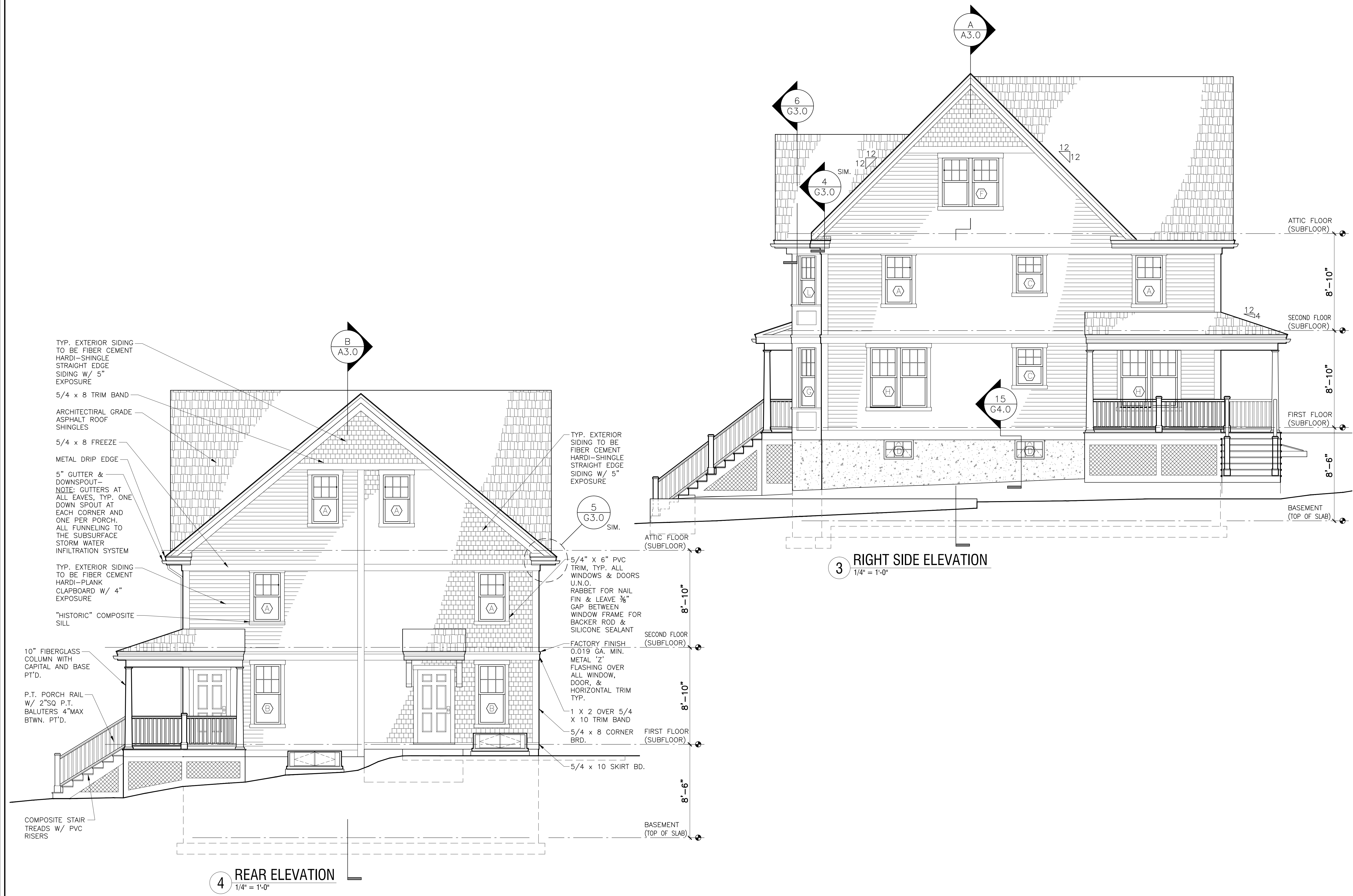
Neighborhood
Homes Initiative
(NHI)

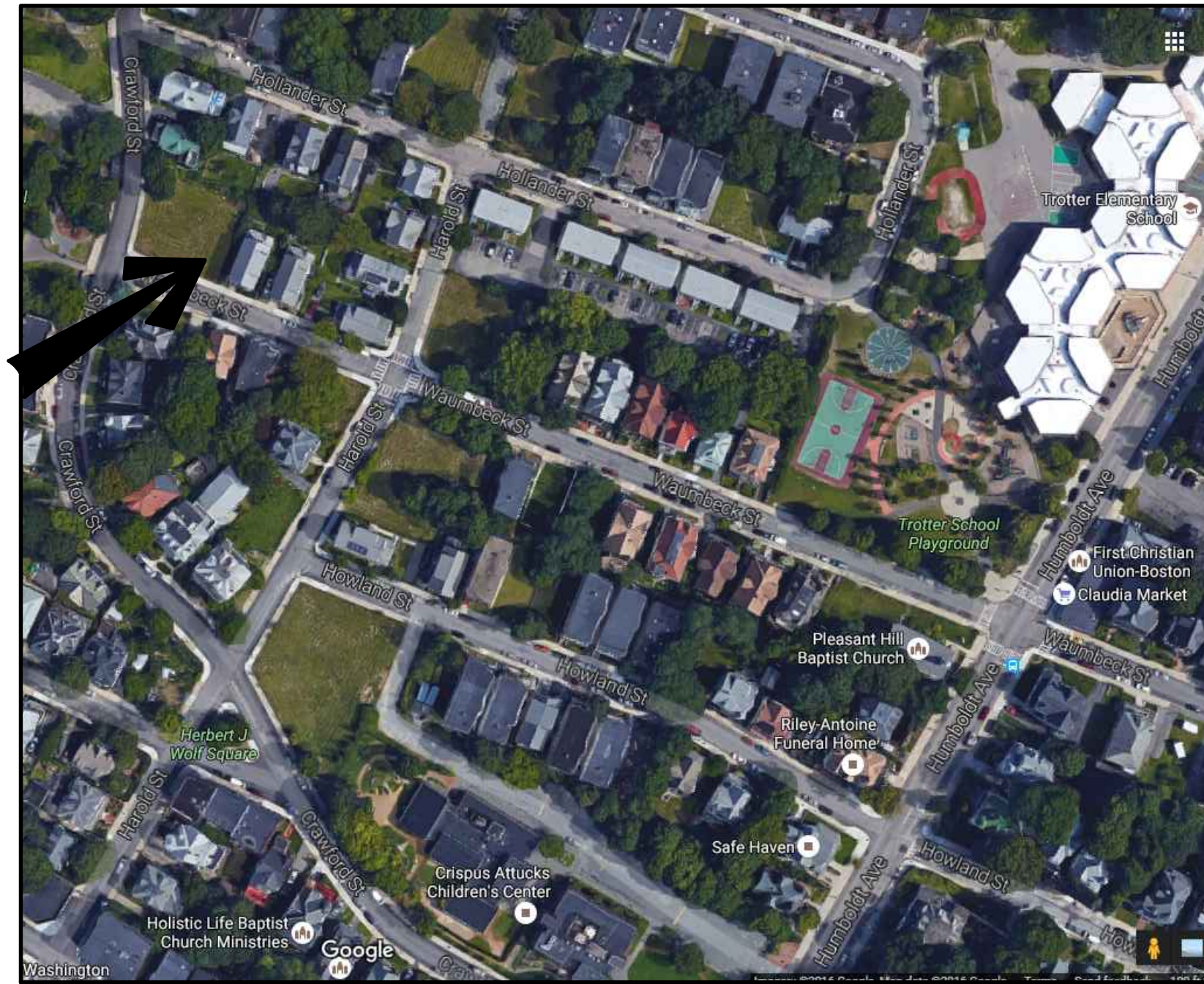
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
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103 TERRACE STREET
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**Rear &
Right Side
Elevations**

Job Ref: -
Scale: (11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:





Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 109 Waumbek Street, Roxbury, MA

Cover & Index

- C1 Utility Plans & Details**
- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Roof Plans**
- A2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
- S-1.2 Attic & Roof Framing Plans**

- AE-1.0 Basement Electric Layout Plan, Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

- G-1.0 Symbols, Abbreviations, Systems, & General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

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 66 Park Street
 Andover, MA 01810
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ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

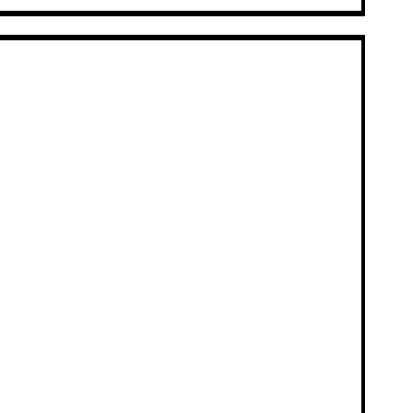
ZONING ANALYSIS		
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
109 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	
USE:	ONE-FAMILY DETACHED DWELLING (ALLOWED)	NONE
BUILDING FOOTPRINT:	786 SQFT	GROSS FLOOR AREA: 1572 SQFT
LOT FRONTAGE:	45'-0" (REQUIRED)	49'-7" (PROPOSED)
LOT WIDTH:	45'-0" (REQUIRED)	49'-7" MIN. (PROPOSED)
LOT SIZE:	4000 SQFT (REQUIRED)	4803 SQFT (PROPOSED)
FLOOR AREA RATIO:	.8 (REQUIRED)	.33 +/- (PROPOSED)
HEIGHT:	THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)
OPEN SPACE:	650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)
FRONT YARD SETBACK:	20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)
SIDE YARD SETBACK:	10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)
REAR YARD SETBACK:	30' (REQUIRED)	EXCEEDS (PROPOSED)
OFF STREET PARKING:	1 (REQUIRED)	1 (PROPOSED)

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	
113 WAUMBECK ROXBURY, MA	109 WAUMBECK ROXBURY, MA	
STREET:	WAUMBECK STREET	
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
105 WAUMBECK STREET	7'-0"(7')	45'-0"
101 WAUMBECK STREET	7'-0"(7')	45'-0"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0"	
PROPOSED SETBACK	7'-0"	

Garrison Trotter II
 Homes
 109 Waumbek Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

ELTON+HAMPTON ARCHITECTS
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071



Index

Job Ref:
 Scale:
 (11x17 - use graphic scale)
 Drawn By:
 Date: Oct 14, 2016
 Revisions:

Permit Set

109 WAUMBECK STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▨ CEMENT CONCRETE SIDEWALK
- · - · - SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- W --- WATER LINE
- G --- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- +100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB ⊙ LEACHING BASIN
- WG ● WATER GATE
- ⊙ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN



DZI Land Planning, Civil Engineering, Landscape Architecture
 Po Box 307
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DeVellis Zrein Inc.

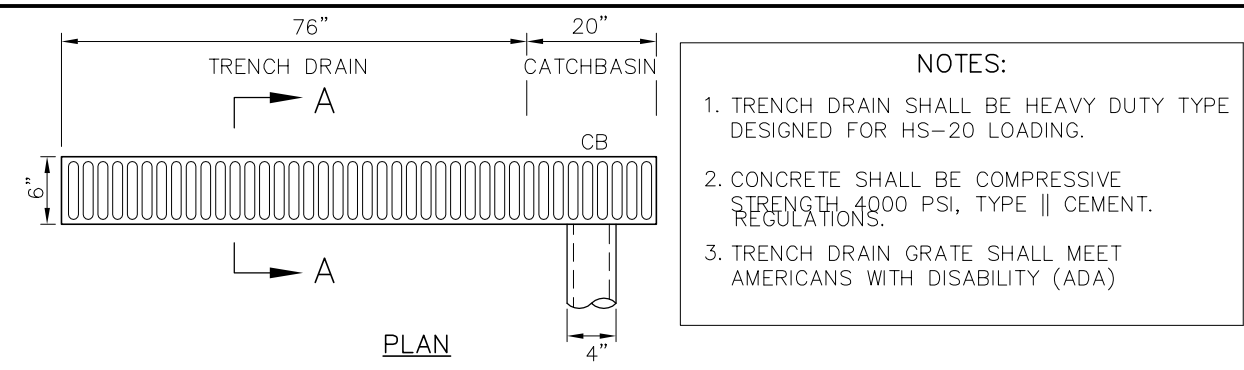
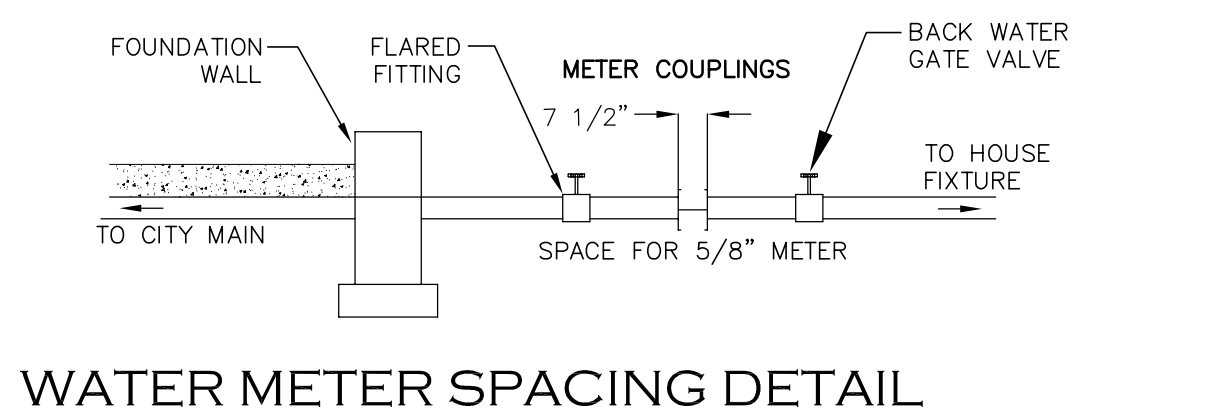
UTILITY PLAN AND DETAILS

SITE PLAN # 16401

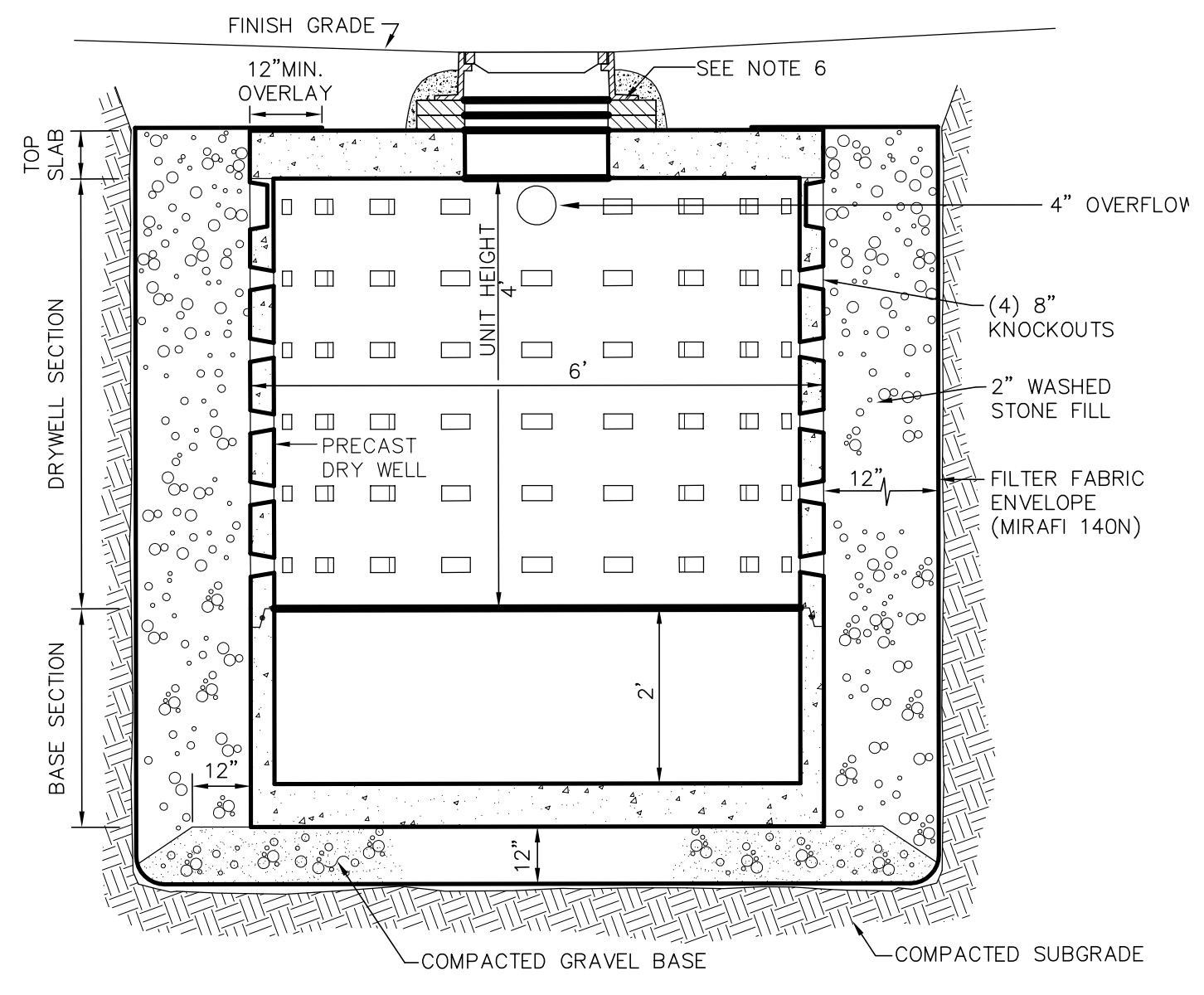
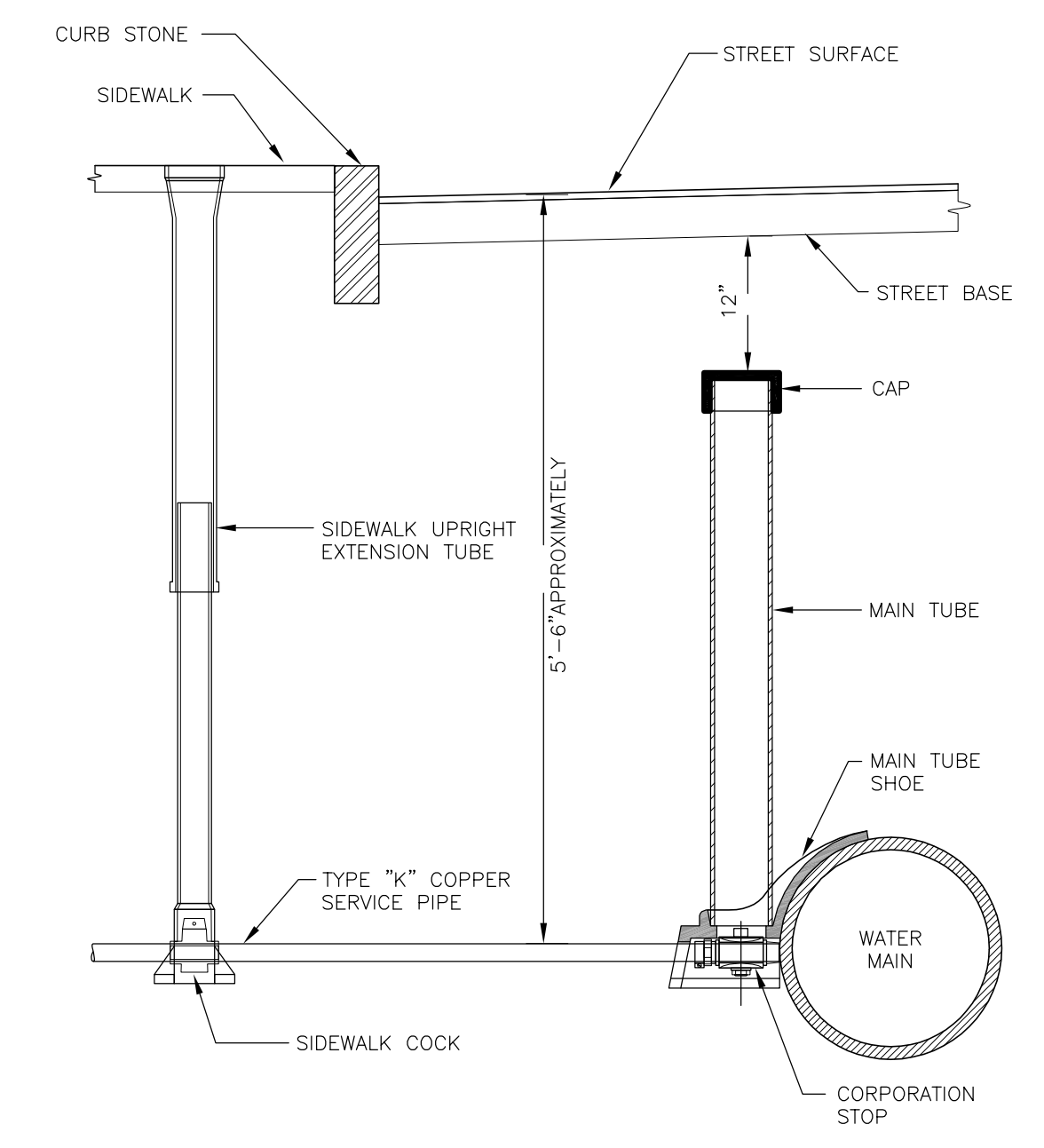
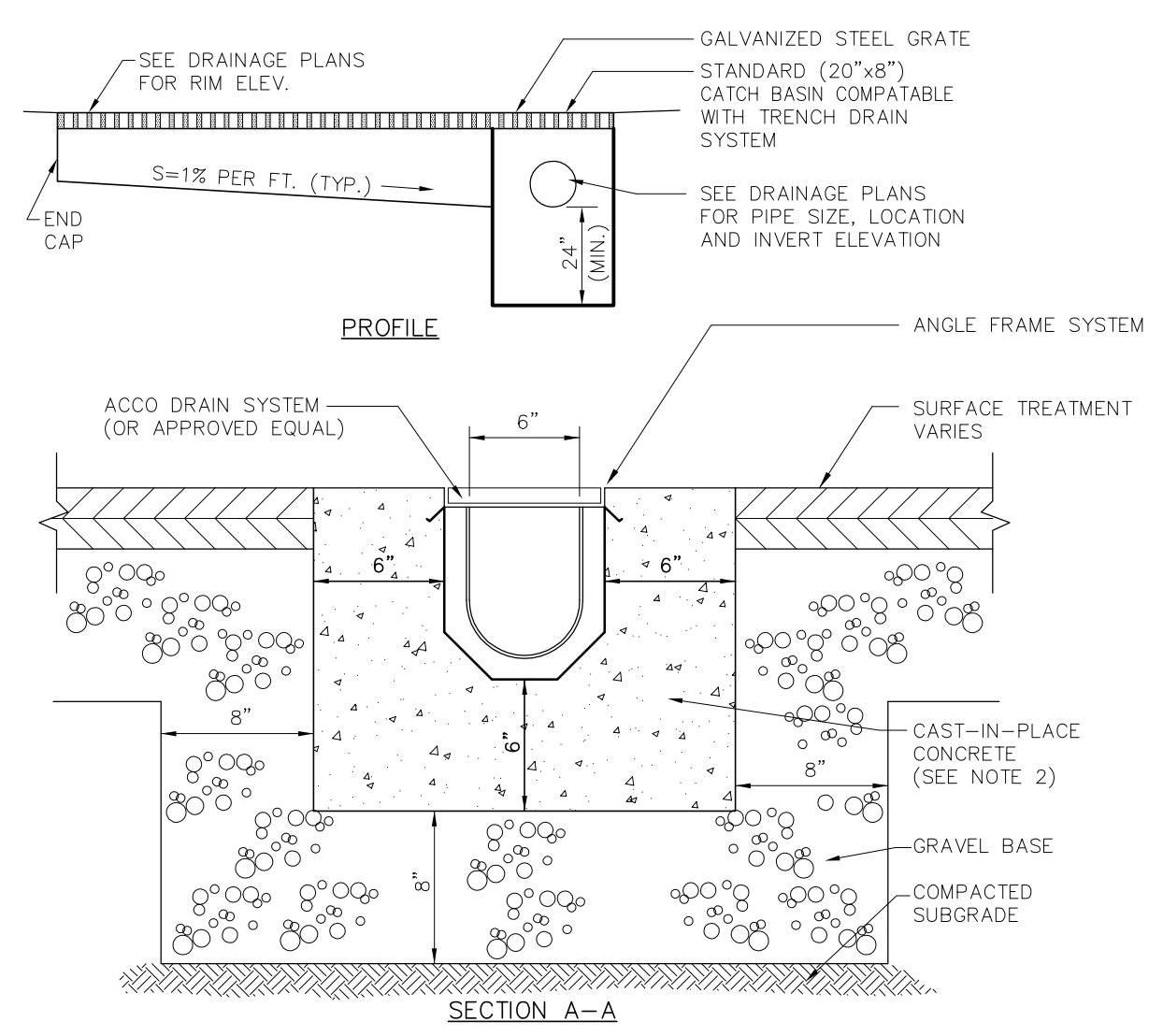
SCALE: 1" = 10'
 JOB: 2G15-262
 FILE: 2G15-262-GU
 DRAWN: IAZ
 CHECKED:
 DATE: 08.16.16

C-1

- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



- NOTES:
1. TRENCH DRAIN SHALL BE HEAVY DUTY TYPE DESIGNED FOR HS-20 LOADING.
 2. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 3. TRENCH DRAIN GRATE SHALL MEET AMERICANS WITH DISABILITY (ADA)



LEACHING BASIN

INFILTRATION CALCULATIONS
113 WAUMBECK STREET

STORAGE VOLUME REQUIRED

1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
 IMPERVIOUS SURFACE = 1,285 S.F.

REQUIRED STORAGE =
 (1/12) FEET X 1,285 = 107.0 C.F.

PROVIDE LEACHING BASIN 6'-DIA/4' DEEP
 W/12" STONE ALL AROUND

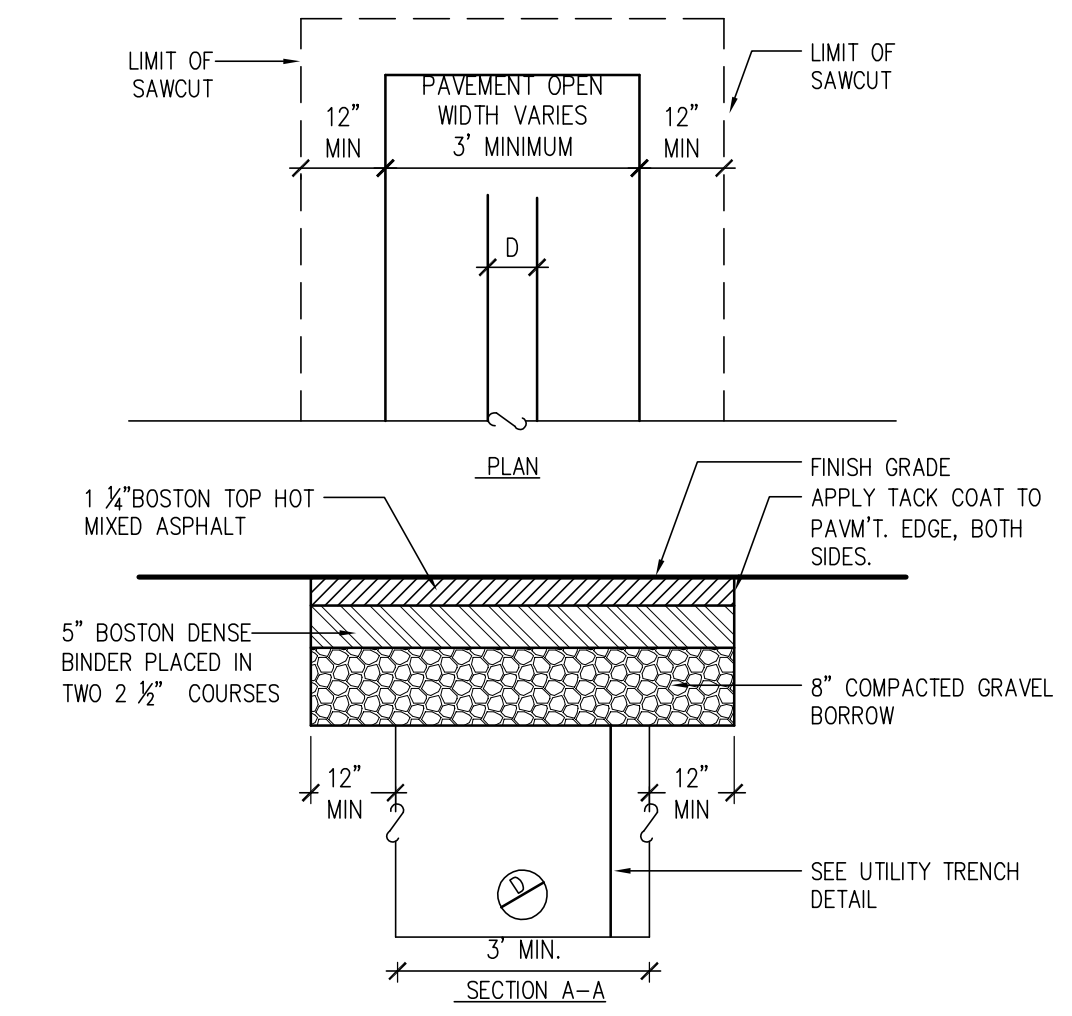
STORAGE PROVIDED = 113.0 C.F. > 107.0 C.F.

BWSC INSPECTIONS:

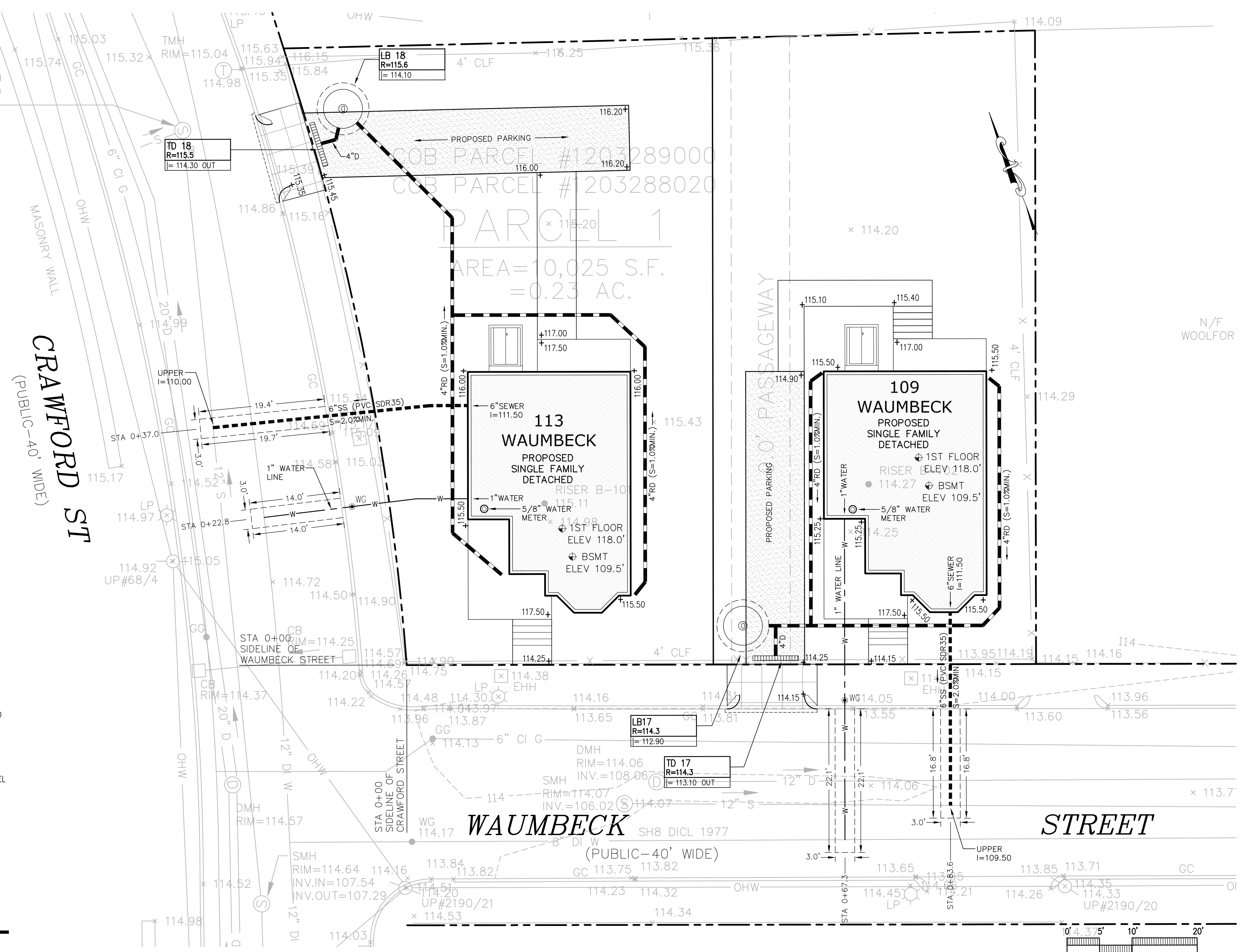
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(1) RECHARGE SYSTEM		
(2) 6" SEWER LINE		
(3) 1" WATER LINE		
(4) TRENCH DRAIN		
(5) DYE TEST		

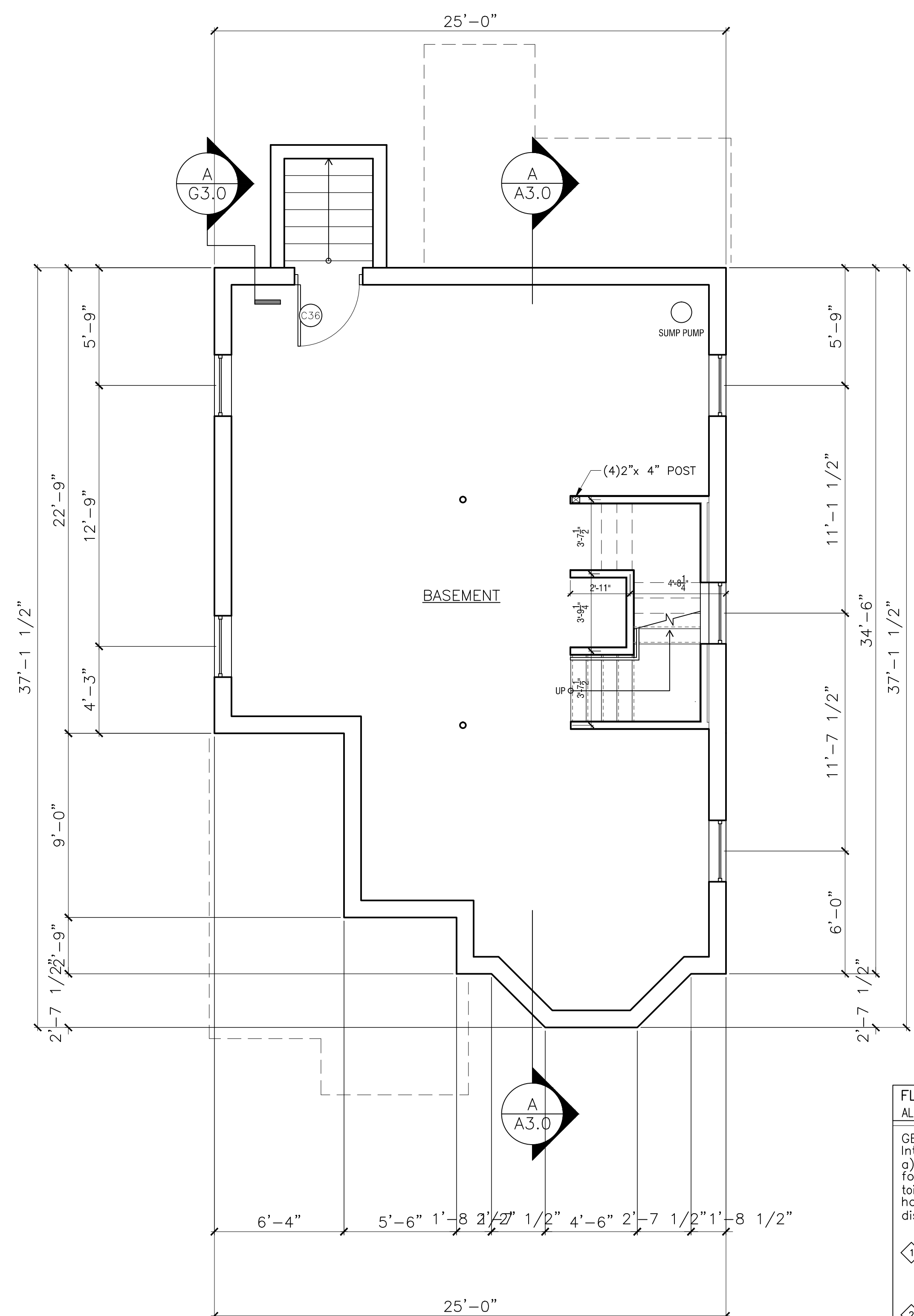
1. Ward/Parcel: 12/3288-3289
2. Property Location: 109 WAUMBECK STREET
3. Neighborhood: Roxbury
4. Site Zip: 02119
5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
7. Owner Telephone No.: 617.445.5100
8. Type of Premise: Residential Development
9. New Account:

FOR BOSTON WATER SEWER USE ONLY



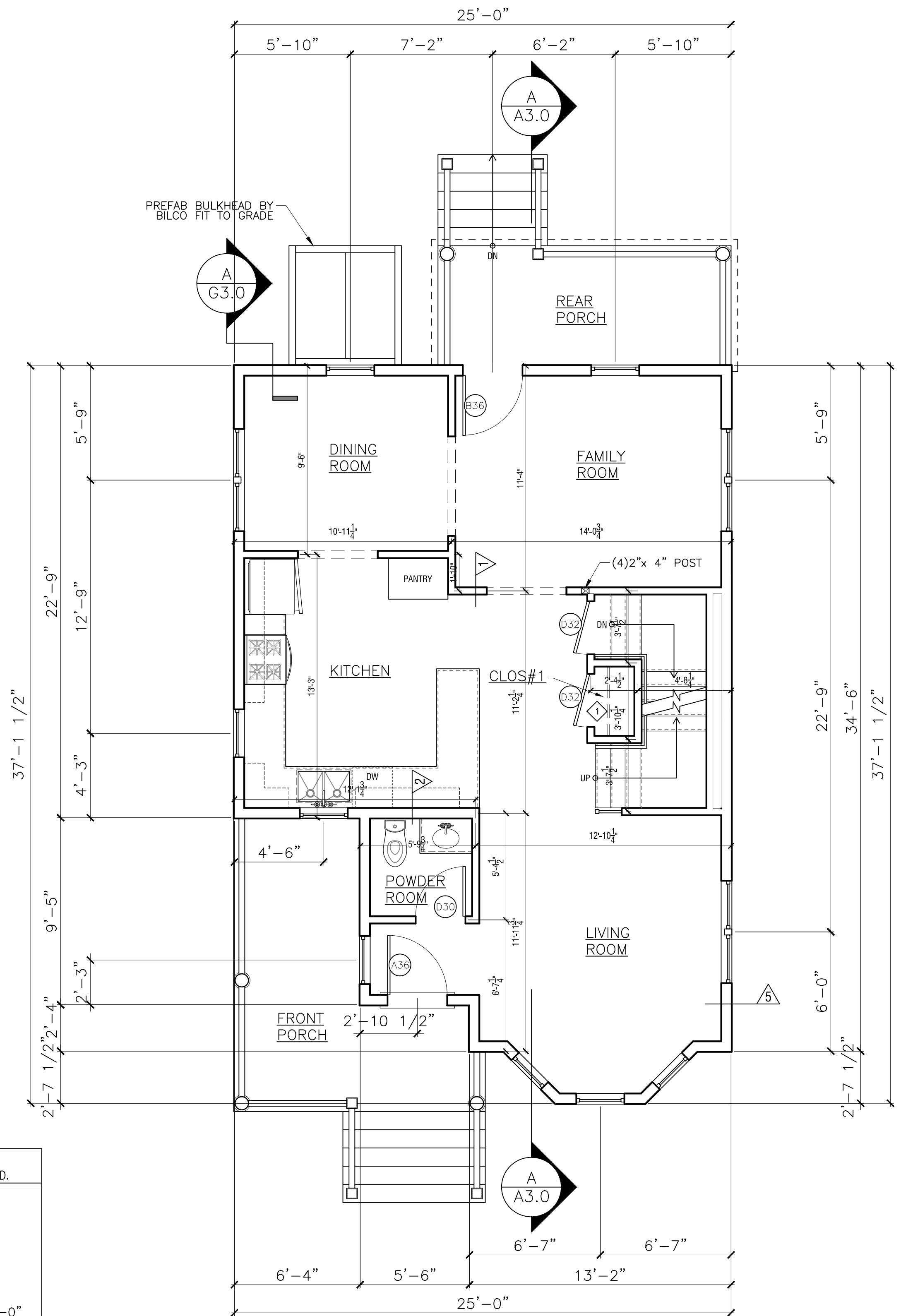
UTILITY PATCH





**UNIT TYPE A2
BASEMENT PLAN**

SCALE: 1/4" = 1'-0"



**UNIT TYPE A2
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- g) Provide solid wood blocking in walls for future grab bars in all bath tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- ① Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ② Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor.
 - ③ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
 - ④ 16" MDF shelf over laundry
 - ⑤ Provide aluminum transition strip between flooring materials
 - ⑥ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ⑦ Bituthane roof underlay at eaves, valleys, and dormer side walls

Garrison Trotter II
Homes
109 Waumbuck Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

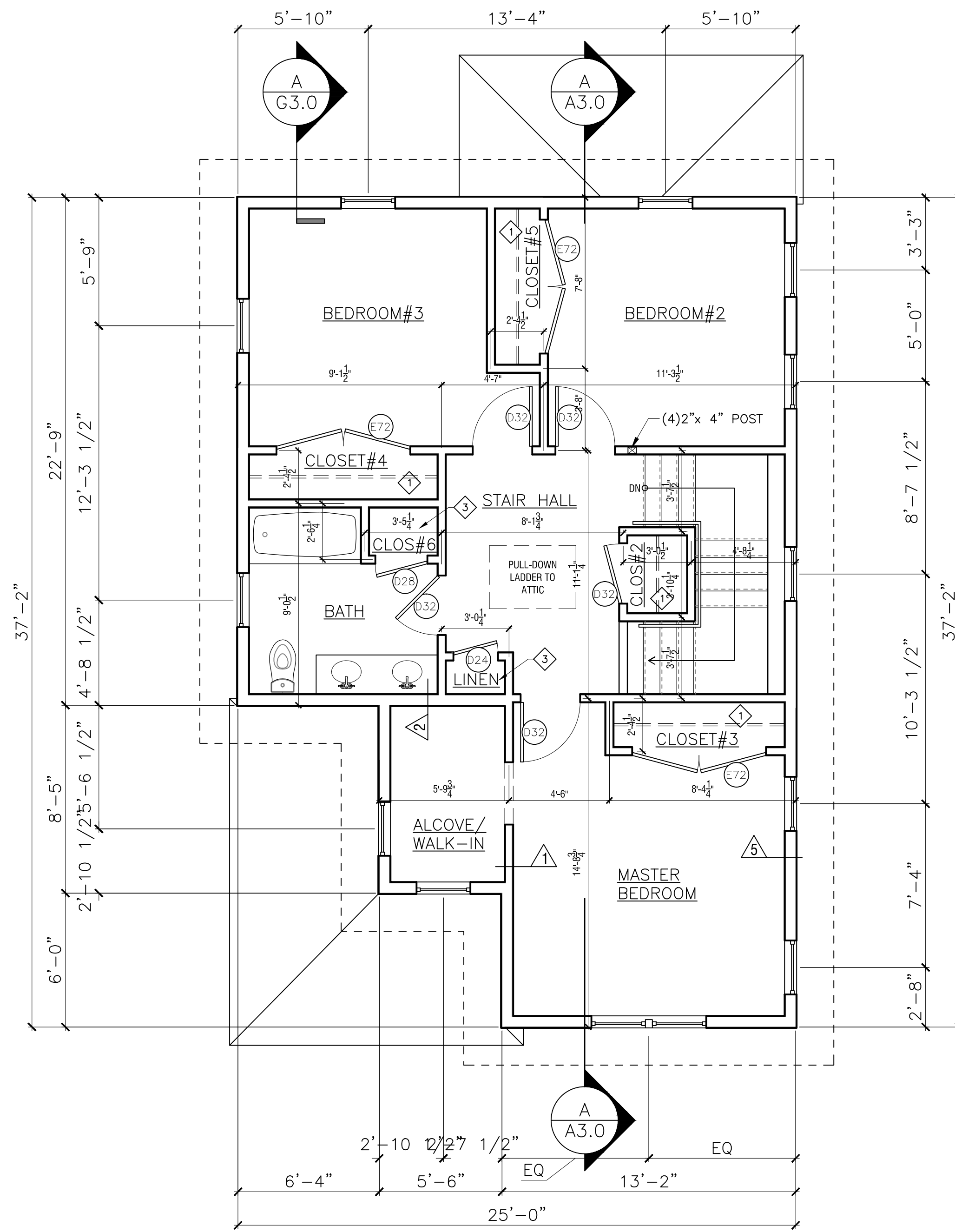
**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Basement &
First Floor
Plans:**

Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

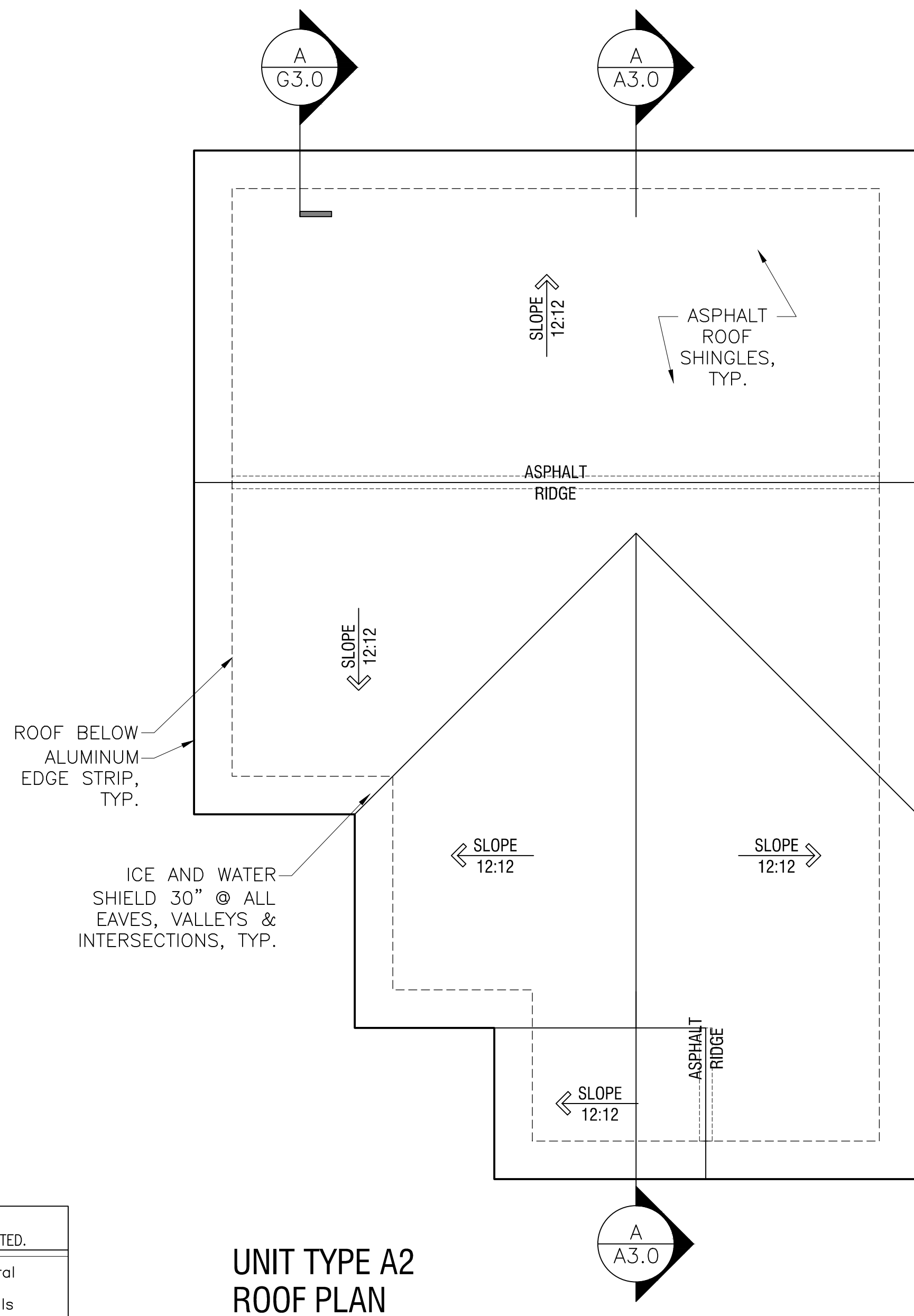
A-1.0

Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	



**UNIT TYPE A2
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- a) Provide solid wood blocking in walls for future grab bars in all bath tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- ① Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ② Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
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 - ④ 16" MDF shelf over laundry
 - ⑤ Provide aluminum transition strip between flooring materials
 - ⑥ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ⑦ Bituthane roof underlay at eaves, valleys, and dormer side walls



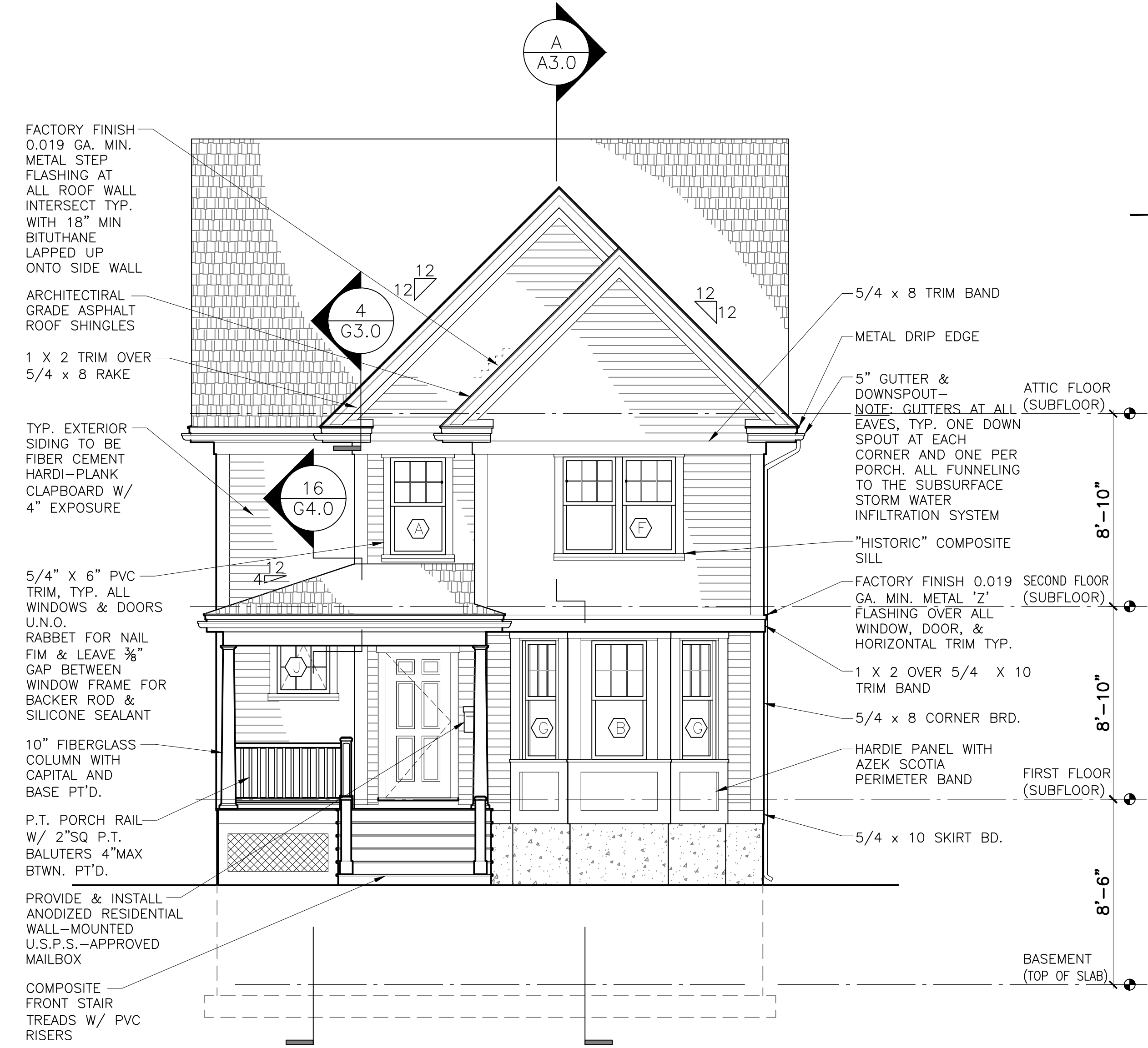
**UNIT TYPE A2
ROOF PLAN**
SCALE: 1/4" = 1'-0"

Front &
Right Side
Elevations

Job Ref:	
Scale:	(1/4"=1'-0" - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

- FACTORY FINISH 0.019 GA. MIN. METAL STEP FLASHING AT ALL ROOF WALL INTERSECT TYP. WITH 18" MIN BITUTHANE LAPPED UP ONTO SIDE WALL
- ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES
- 1 X 2 TRIM OVER 5/4 X 8 RAKE
- TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-PLANK CLAPBOARD W/ 4" EXPOSURE
- 5/4" X 6" PVC TRIM, TYP. ALL WINDOWS & DOORS U.N.O. RABBET FOR NAIL FIM & LEAVE 3/8" GAP BETWEEN WINDOW FRAME FOR BACKER ROD & SILICONE SEALANT
- 10" FIBERGLASS COLUMN WITH CAPITAL AND BASE PT'D.
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- PROVIDE & INSTALL ANODIZED RESIDENTIAL WALL-MOUNTED U.S.P.S.-APPROVED MAILBOX
- COMPOSITE FRONT STAIR TREADS W/ PVC RISERS
- 5/4 X 8 TRIM BAND
- METAL DRIP EDGE
- 5" GUTTER & DOWNSPOUT- NOTE: GUTTERS AT ALL EAVES, TYP. ONE DOWN SPOUT AT EACH CORNER AND ONE PER PORCH. ALL FUNNELING TO THE SUBSURFACE STORM WATER INFILTRATION SYSTEM
- "HISTORIC" COMPOSITE SILL
- FACTORY FINISH 0.019 GA. MIN. METAL "Z" FLASHING OVER ALL WINDOW, DOOR, & HORIZONTAL TRIM TYP.
- 1 X 2 OVER 5/4 X 10 TRIM BAND
- 5/4 X 8 CORNER BRD.
- HARDIE PANEL WITH AZEK SCOTIA PERIMETER BAND
- 5/4 X 10 SKIRT BD.

Garrison Trotter II
Homes
109 Waumbeck Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

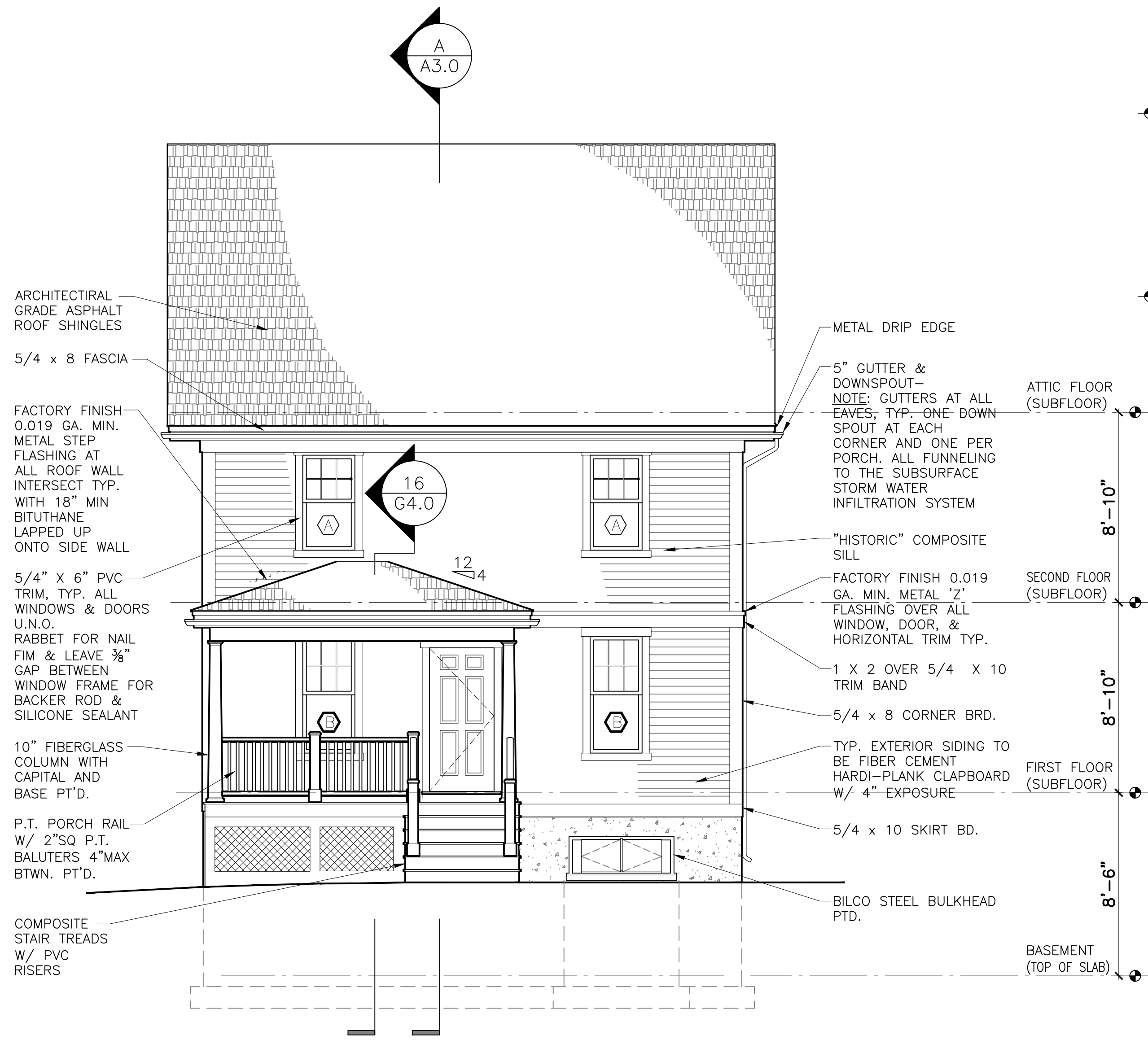
Rear &
Left Side
Elevations

Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-2.1



3 LEFT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

- ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES
- 5/4 x 8 FASCIA
- FACTORY FINISH 0.019 GA. MIN. METAL STEP FLASHING AT ALL ROOF WALL INTERSECT TYP. WITH 18" MIN BITUTHANE LAPPED UP ONTO SIDE WALL
- 5/4" X 6" PVC TRIM, TYP. ALL WINDOWS & DOORS U.N.O. RABBET FOR NAIL FIN & LEAVE 3/8" GAP BETWEEN WINDOW FRAME FOR BACKER ROD & SILICONE SEALANT
- 10" FIBERGLASS COLUMN WITH CAPITAL AND BASE PT'D.
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- COMPOSITE STAIR TREADS W/ PVC RISERS
- METAL DRIP EDGE
- 5" GUTTER & DOWNSPOUT - NOTE: GUTTERS AT ALL EAVES; TYP. ONE DOWN SPOUT AT EACH CORNER AND ONE PER PORCH. ALL FUNNELING TO THE SUBSURFACE STORM WATER INFILTRATION SYSTEM
- "HISTORIC" COMPOSITE SILL
- FACTORY FINISH 0.019 GA. MIN. METAL "Z" FLASHING OVER ALL WINDOW, DOOR, & HORIZONTAL TRIM TYP.
- 1 X 2 OVER 5/4 X 10 TRIM BAND
- 5/4 x 8 CORNER BRD.
- TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-PLANK CLAPBOARD W/ 4" EXPOSURE
- 5/4 x 10 SKIRT BD.
- BILCO STEEL BULKHEAD PT'D.



Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 113 Waumbeck Street, Roxbury, MA

Cover & Index

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- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Roof Plans**
- A2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
- S-1.2 Attic & Roof Framing Plans**

- AE-1.0 Basement Electric Layout Plan, Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

- G-1.0 Symbols, Abbreviations, Systems, & General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

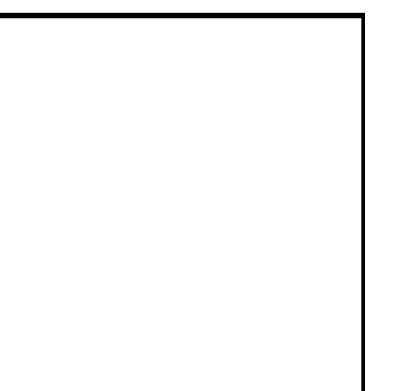
ZONING ANALYSIS		
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
113 WAUMBECK ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	
USE:	ONE-FAMILY DETACHED DWELLING (ALLOWED)	NONE
BUILDING FOOTPRINT:	786 SQFT	GROSS FLOOR AREA: 1572 SQFT
LOT FRONTAGE:	45'-0" (REQUIRED)	47'-2" (PROPOSED)
LOT WIDTH:	45'-0" (REQUIRED)	47'-2" MIN. (PROPOSED)
LOT SIZE:	4000 SQFT (REQUIRED)	5220 SQFT (PROPOSED)
FLOOR AREA RATIO:	.8 (REQUIRED)	.3 +/- (PROPOSED)
HEIGHT:	THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)
OPEN SPACE:	650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)
FRONT YARD SETBACK:	20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)
SIDE YARD SETBACK:	10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)
REAR YARD SETBACK:	30' (REQUIRED)	EXCEEDS (PROPOSED)
OFF STREET PARKING:	1 (REQUIRED)	1 (PROPOSED)

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	
113 WAUMBECK ROXBURY, MA	109 WAUMBECK ROXBURY, MA	
STREET:	WAUMBECK STREET	
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
105 WAUMBECK STREET	7'-0"(7')	45'-0"
101 WAUMBECK STREET	7'-0"(7')	45'-0"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0"	
PROPOSED SETBACK	7'-0"	

Garrison Trotter II
 Homes
 113 Waumbeck Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

ELTON+HAMPTON ARCHITECTS
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071



Index

Job Ref: _____
 Scale: (11x17 - use graphic scale)
 Drawn By: _____
 Date: Oct 14, 2016
 Revisions:

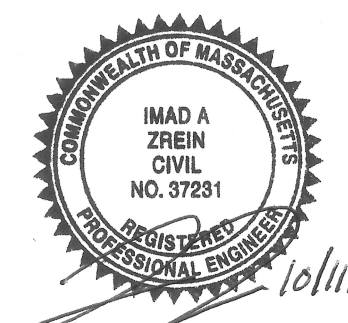
Permit Set

113 WAUMBECK STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▨ CEMENT CONCRETE SIDEWALK
- - - SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- W --- WATER LINE
- G --- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- +100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB ⊙ LEACHING BASIN
- WG ● WATER GATE
- ⊙ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN



DZI Land Planning, Civil Engineering,
Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein Inc.

10.06.16 PER BWSO COMMENTS

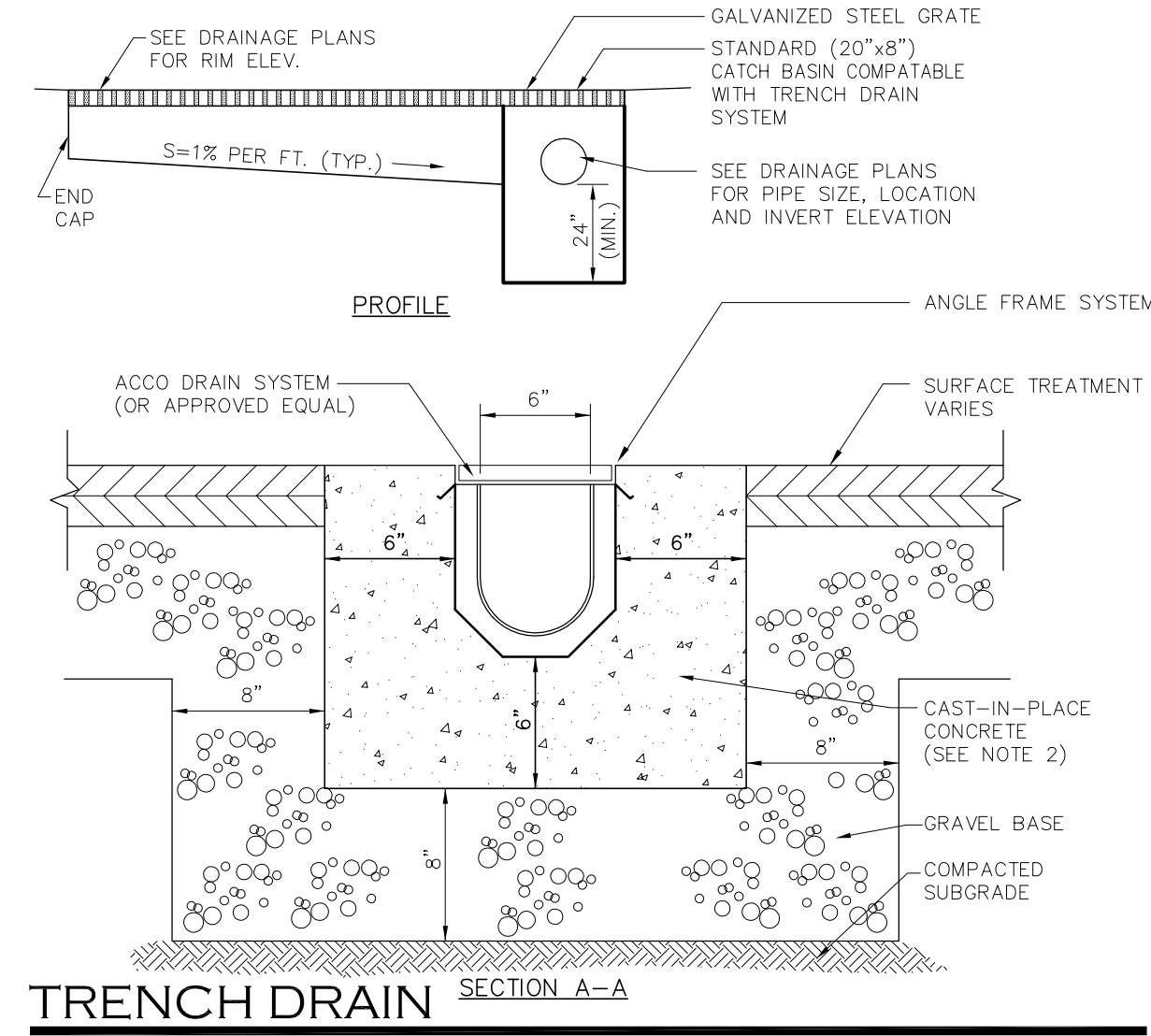
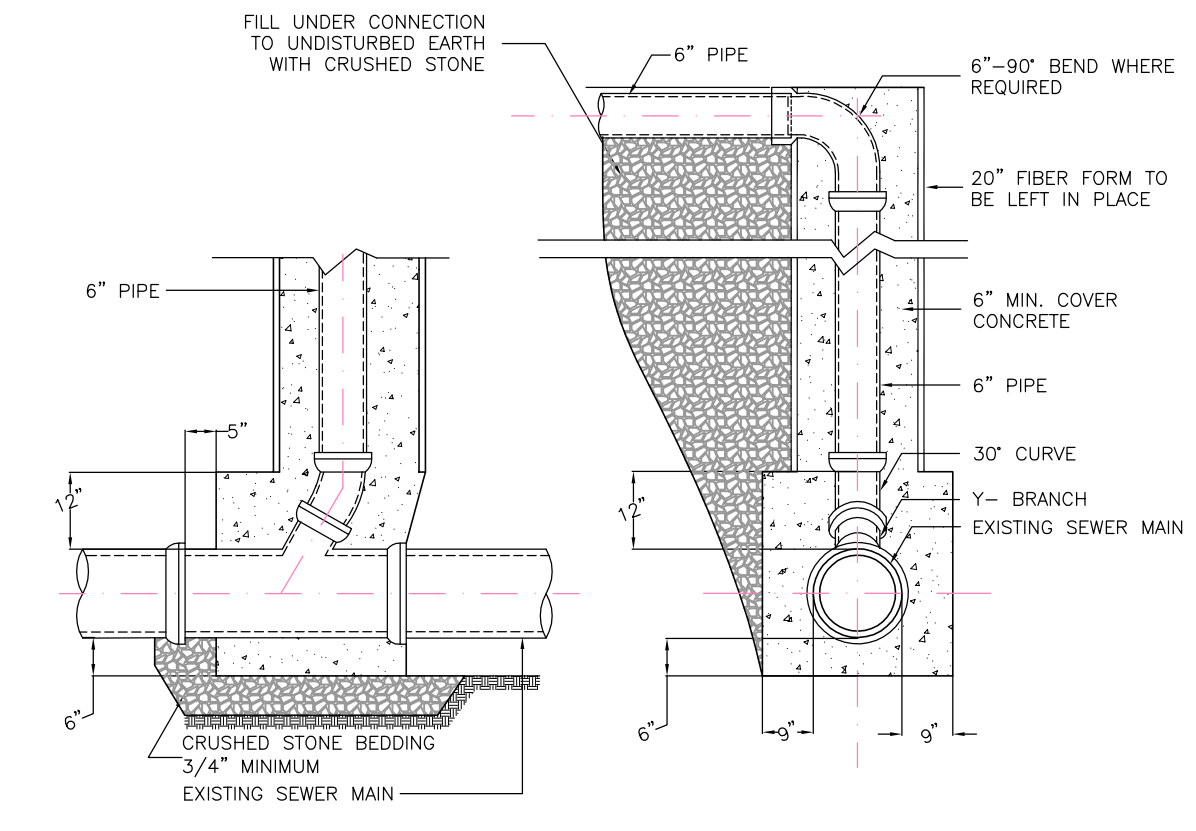
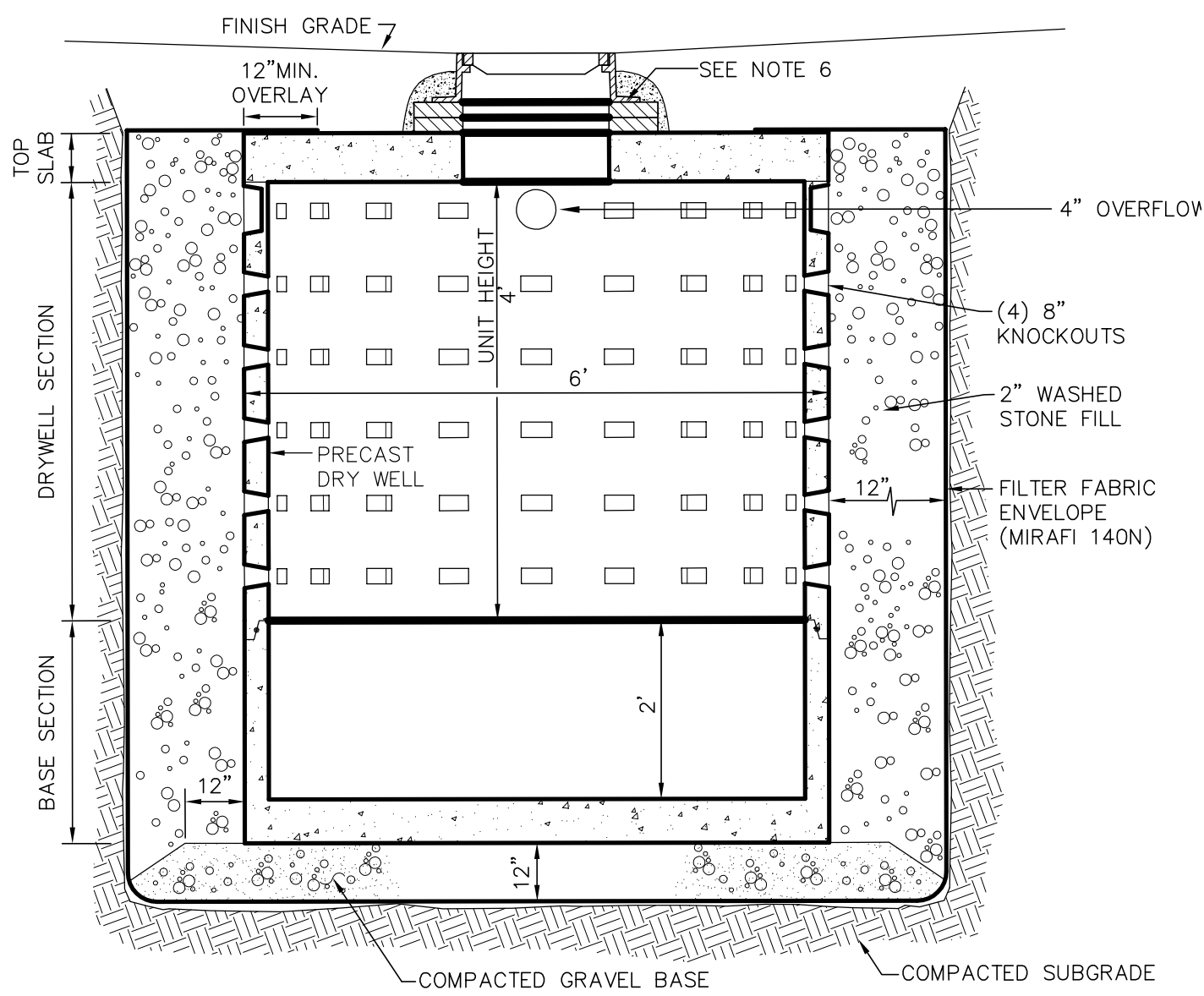
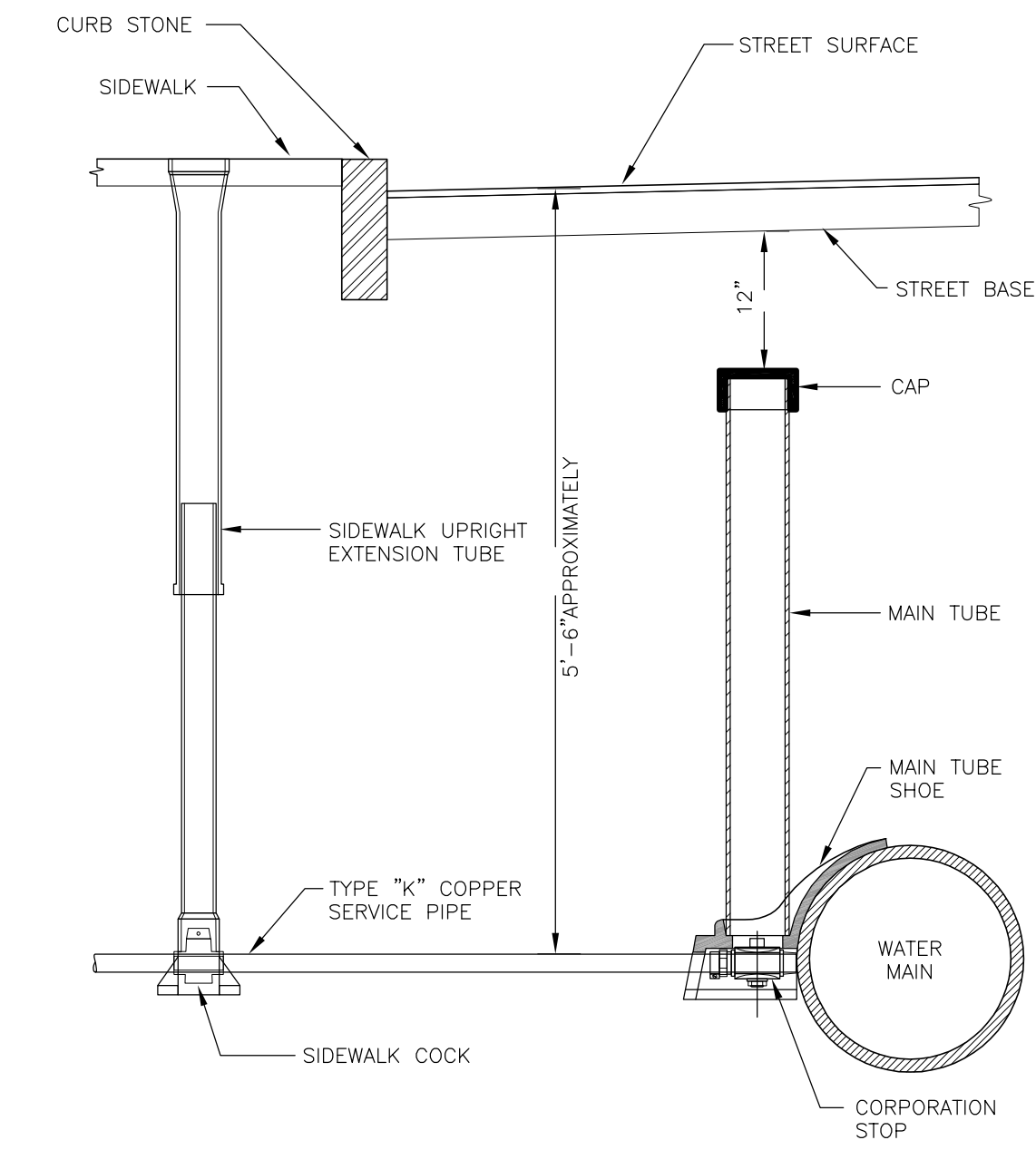
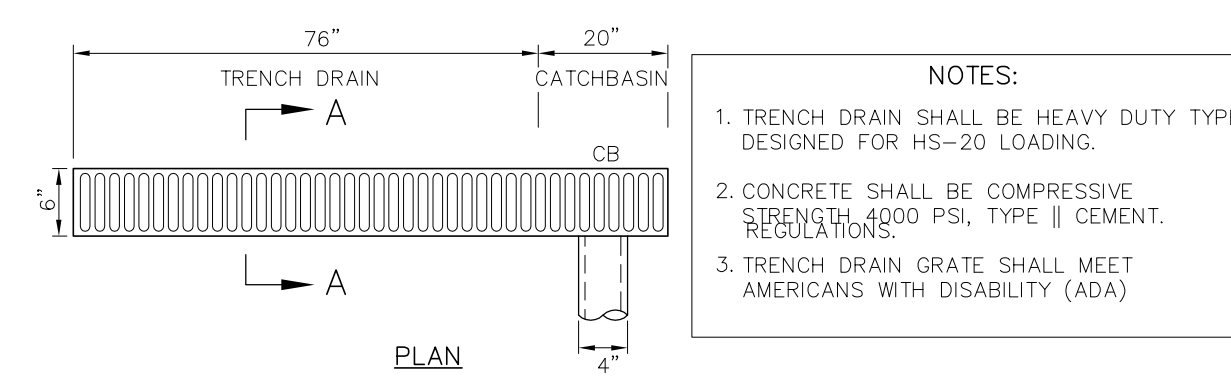
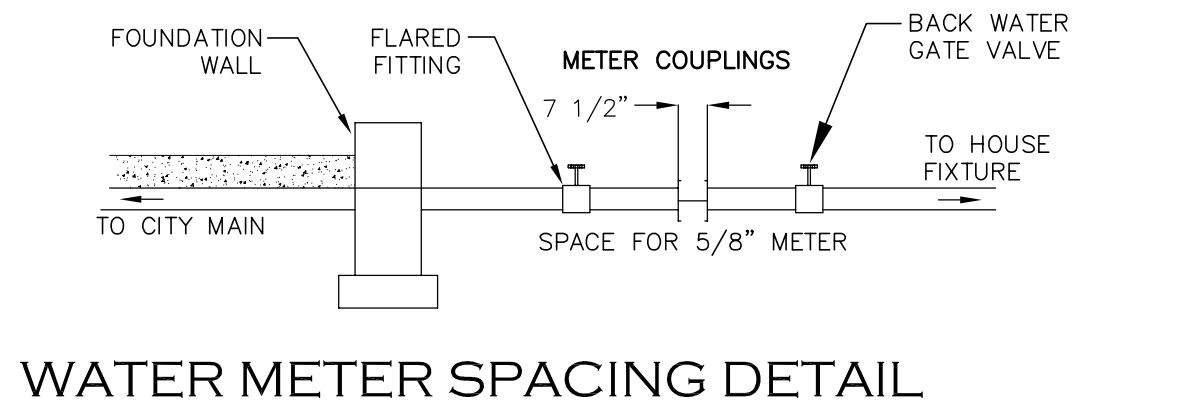
UTILITY PLAN AND DETAILS

SITE PLAN # 16411

SCALE: 1" = 10'
JOB: 2G15-262
FILE: 2G15-262-GU
DRAWN: IAZ
CHECKED:
DATE: 08.16.16

C-1

- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
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 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



LEACHING BASIN

BWSC INSPECTIONS:

	BWSC INSPECTOR	DATE
(1) RECHARGE SYSTEM		
(2) 6" SEWER LINE		
(3) 1" WATER LINE		
(4) TRENCH DRAIN		
(5) DYE TEST		

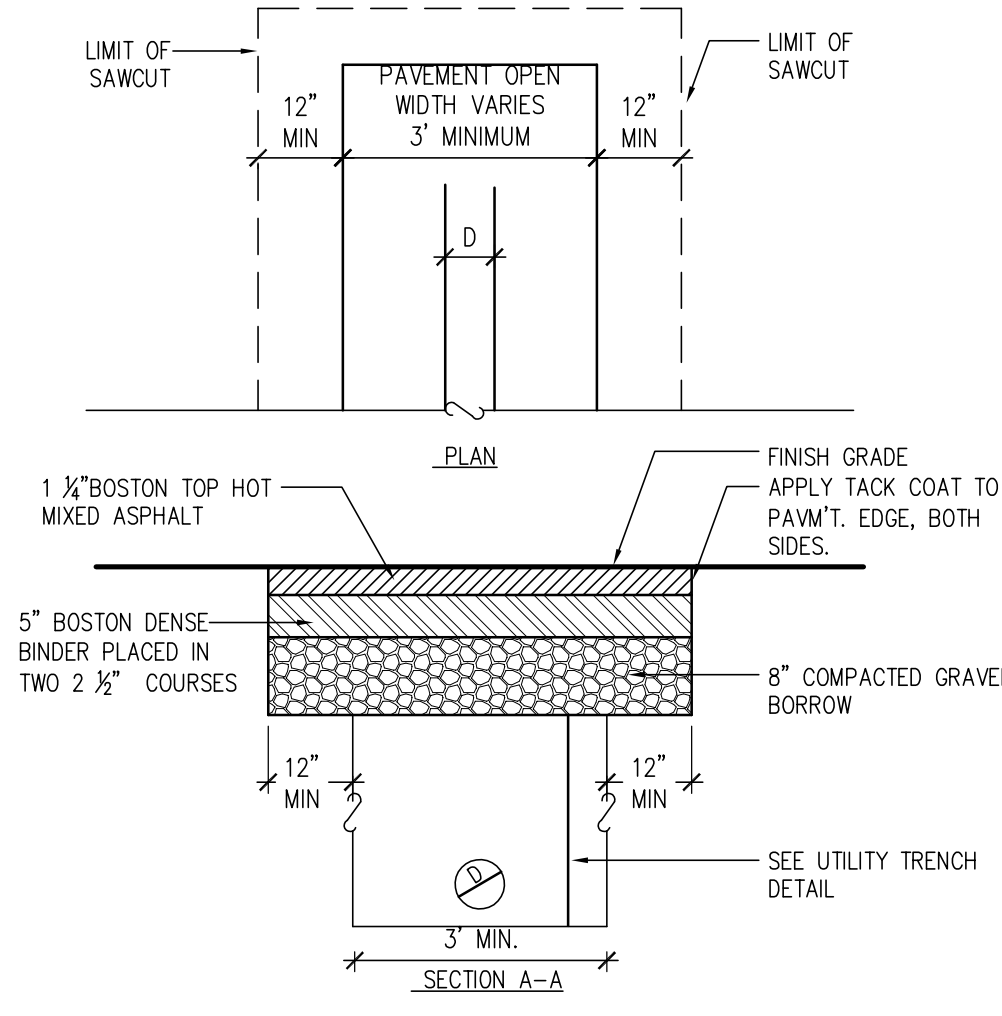
INFILTRATION CALCULATIONS

113 WAUMBECK STREET

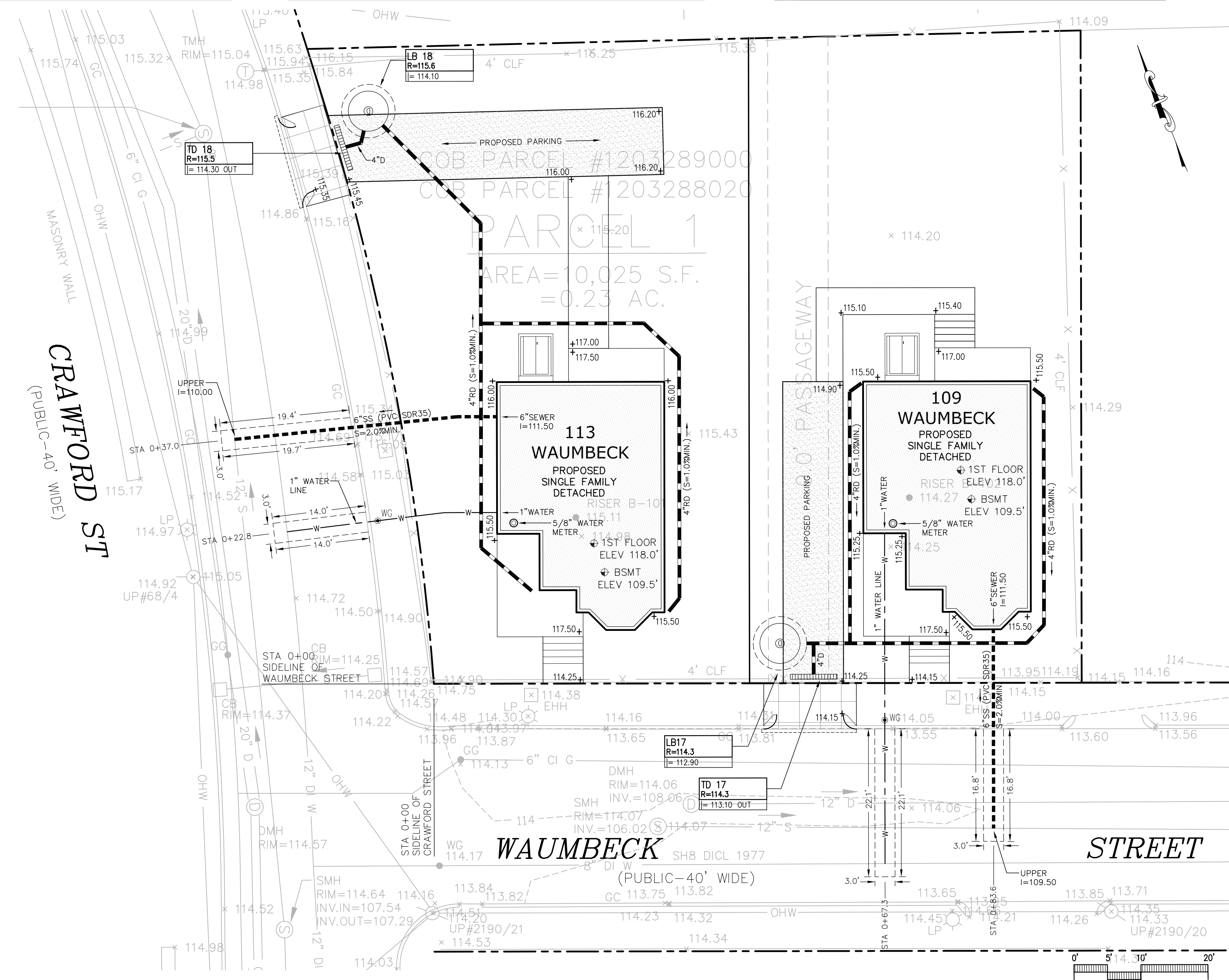
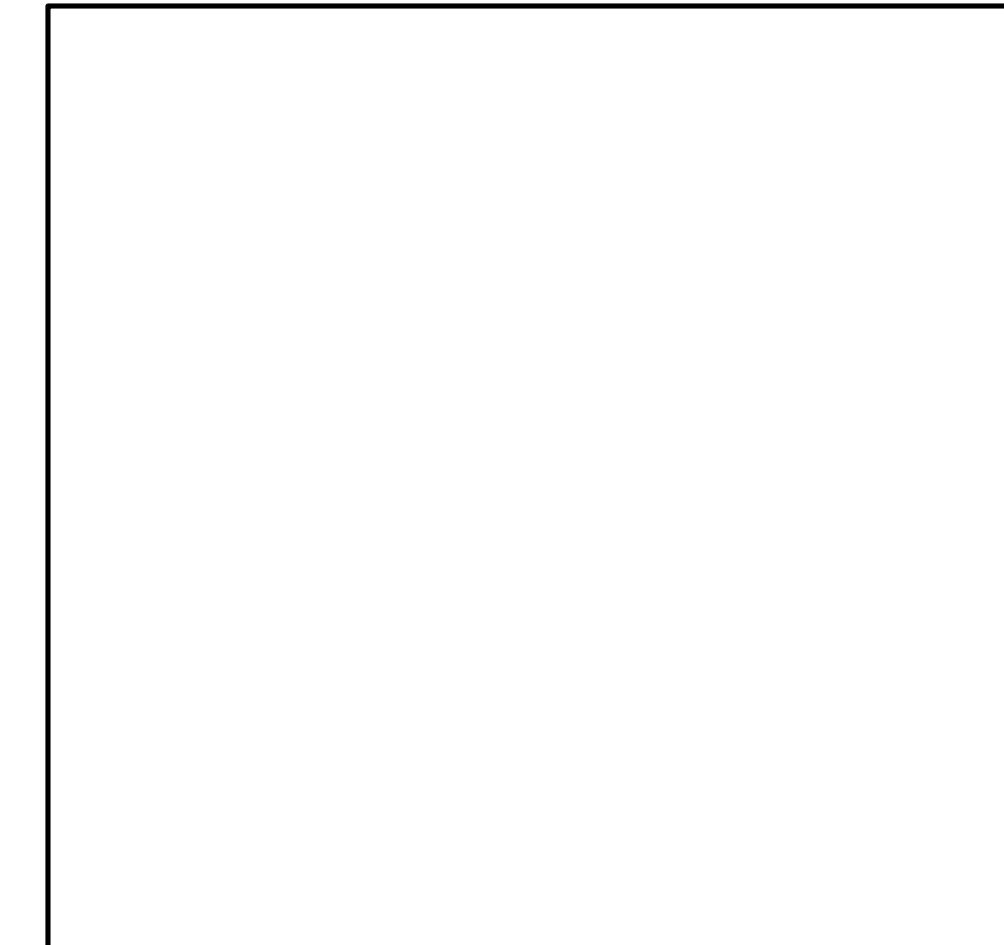
STORAGE VOLUME REQUIRED
1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
IMPERVIOUS SURFACE = 1,285 S.F.
REQUIRED STORAGE =
(1/12) FEET X 1,285 = 107.0 C.F.
PROVIDE LEACHING BASIN 6'-DIA/4' DEEP
W/12" STONE ALL AROUND
STORAGE PROVIDED = 113.0 C.F. > 107.0 C.F.

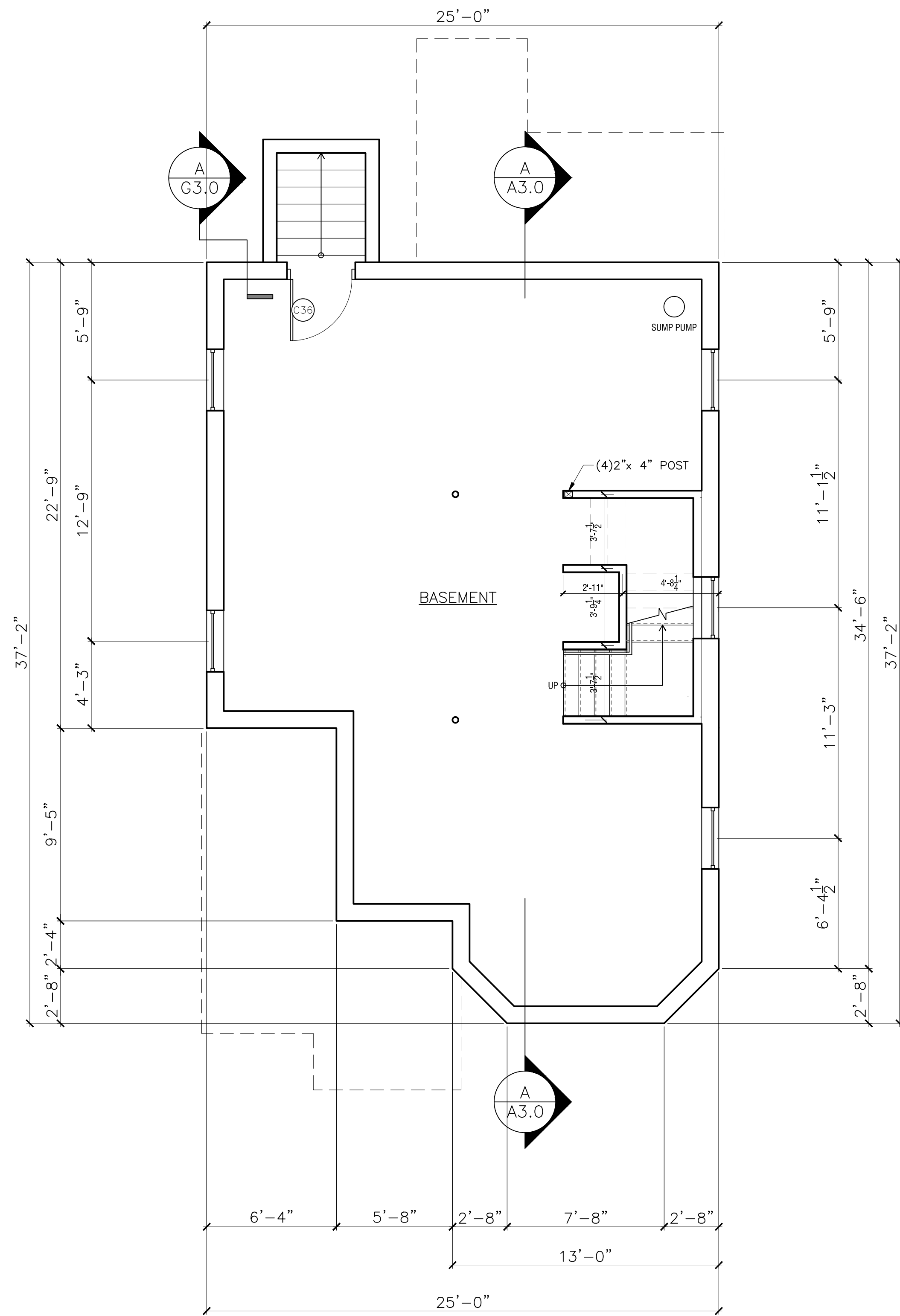
LAND USE CODE: "A" RESIDENTIAL
3 BEDROOMS (330 GPD)

1. Ward/Parcel: 12/3288-3289
2. Property Location: 113 WAUMBECK STREET
3. Neighborhood: Roxbury
4. Site Zip: 02119
5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
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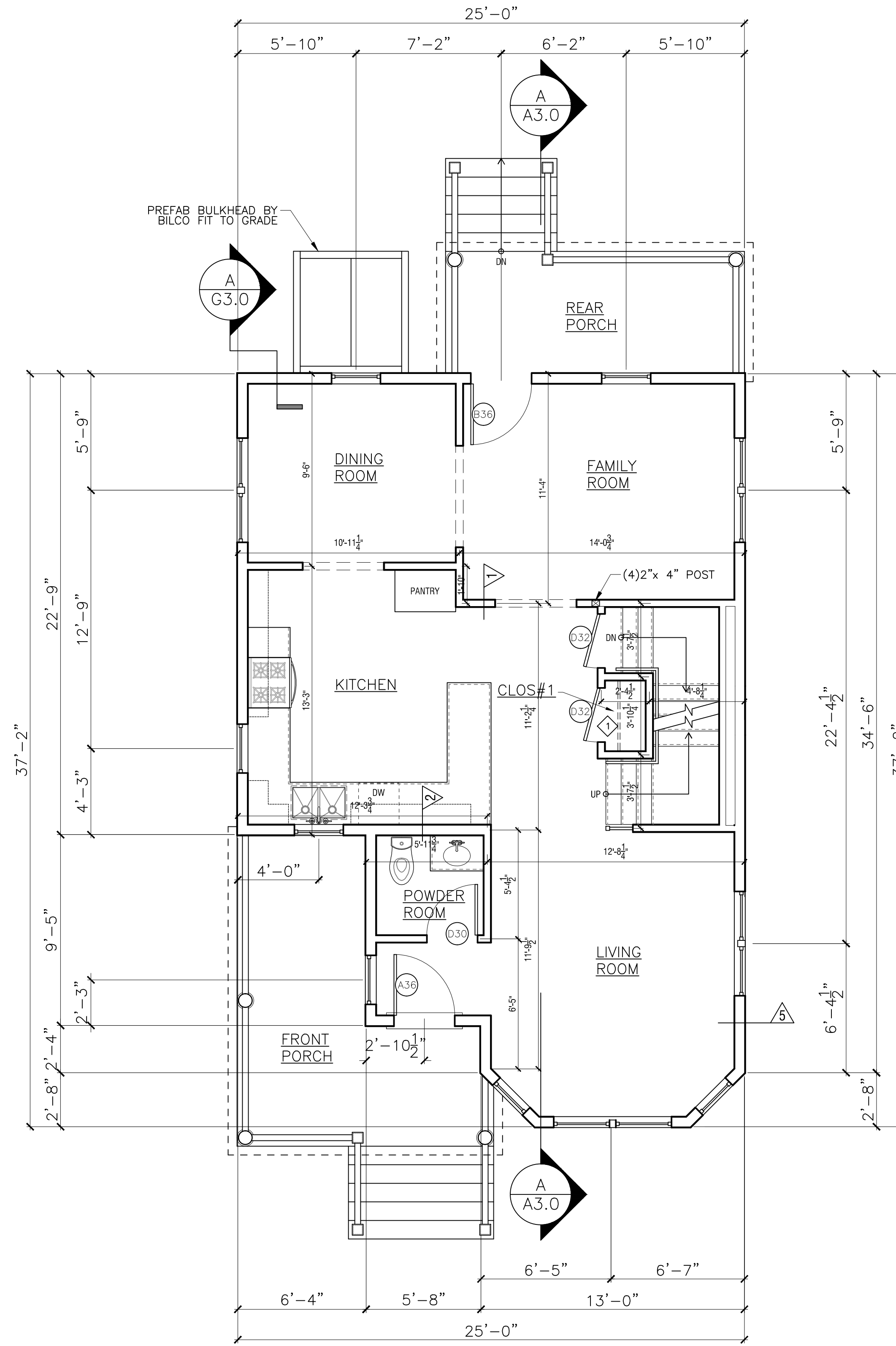
FOR BOSTON WATER SEWER USE ONLY





**UNIT TYPE A2
BASEMENT PLAN**

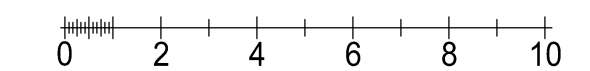
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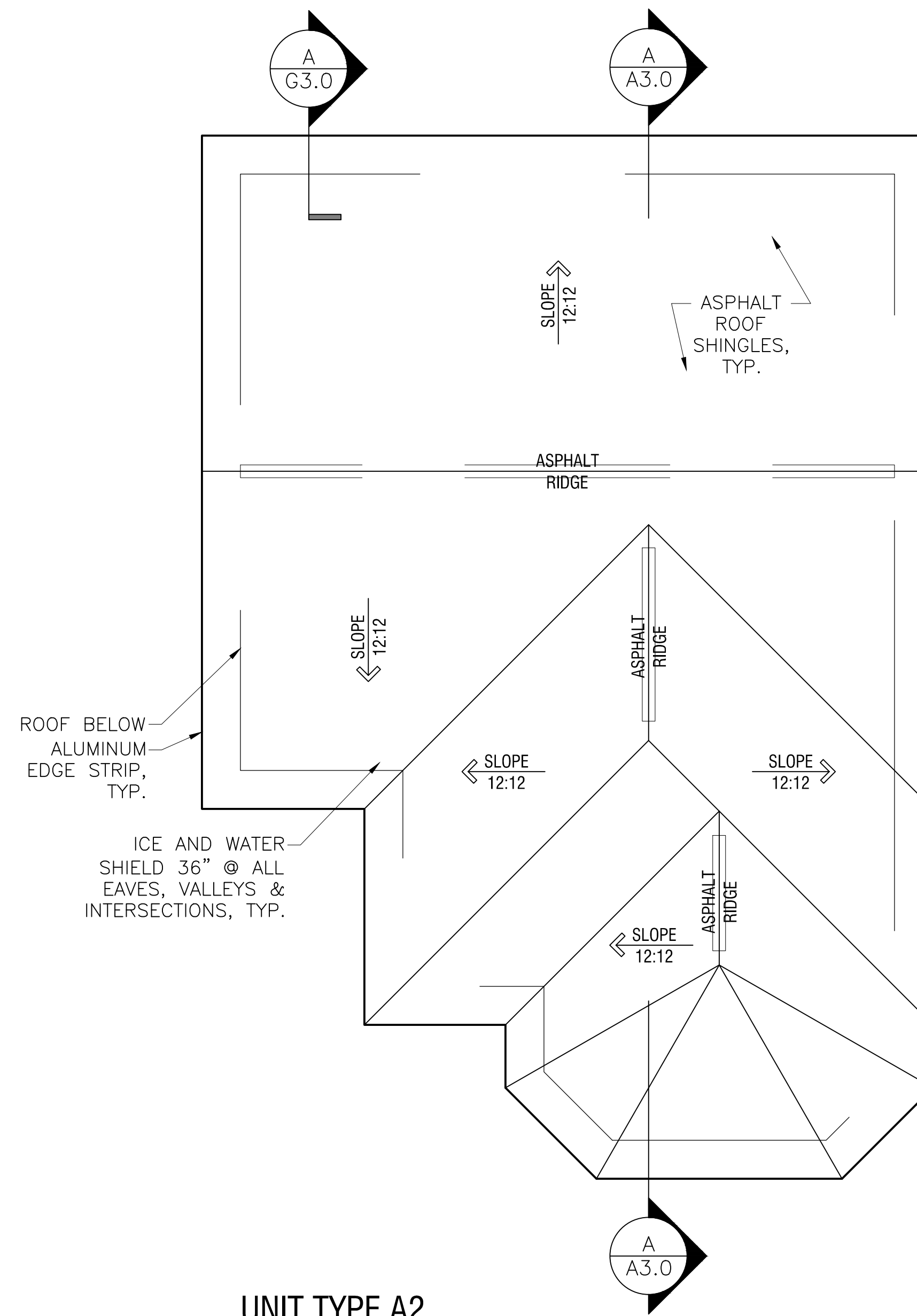
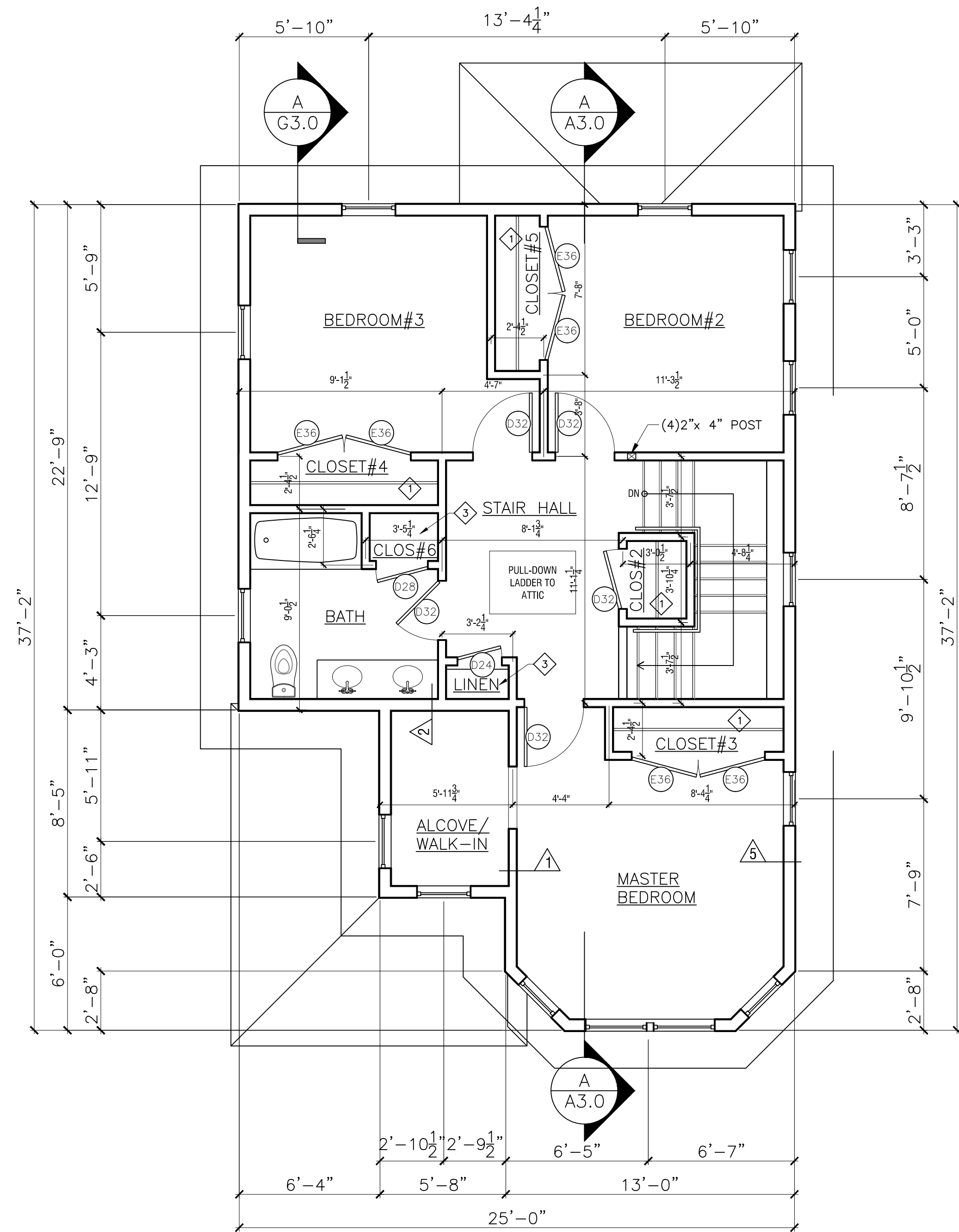


**UNIT TYPE A2
FIRST FLOOR PLAN**

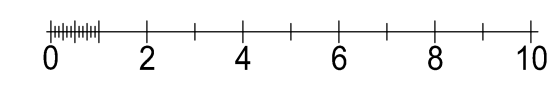
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- 1) Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
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 - 5) Provide aluminum transition strip between flooring materials
 - 6) Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
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 - 4) 16" MDF shelf over laundry
 - 5) Provide aluminum transition strip between flooring materials
 - 6) Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - 7) Bituthone roof underlay at eaves, valleys, and dormer side walls



Garrison Trotter II
Homes
113 Waumbek Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Second
Floor &
Roof
Plans:**

Job Ref:	-
Scale:	(1/4" = 1'-0" use graphic scale)
Drawn By:	-
Date:	Oct 14, 2016
Revisions:	-

A-1.1

Garrison Trotter II
Homes
113 Waumbeck Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

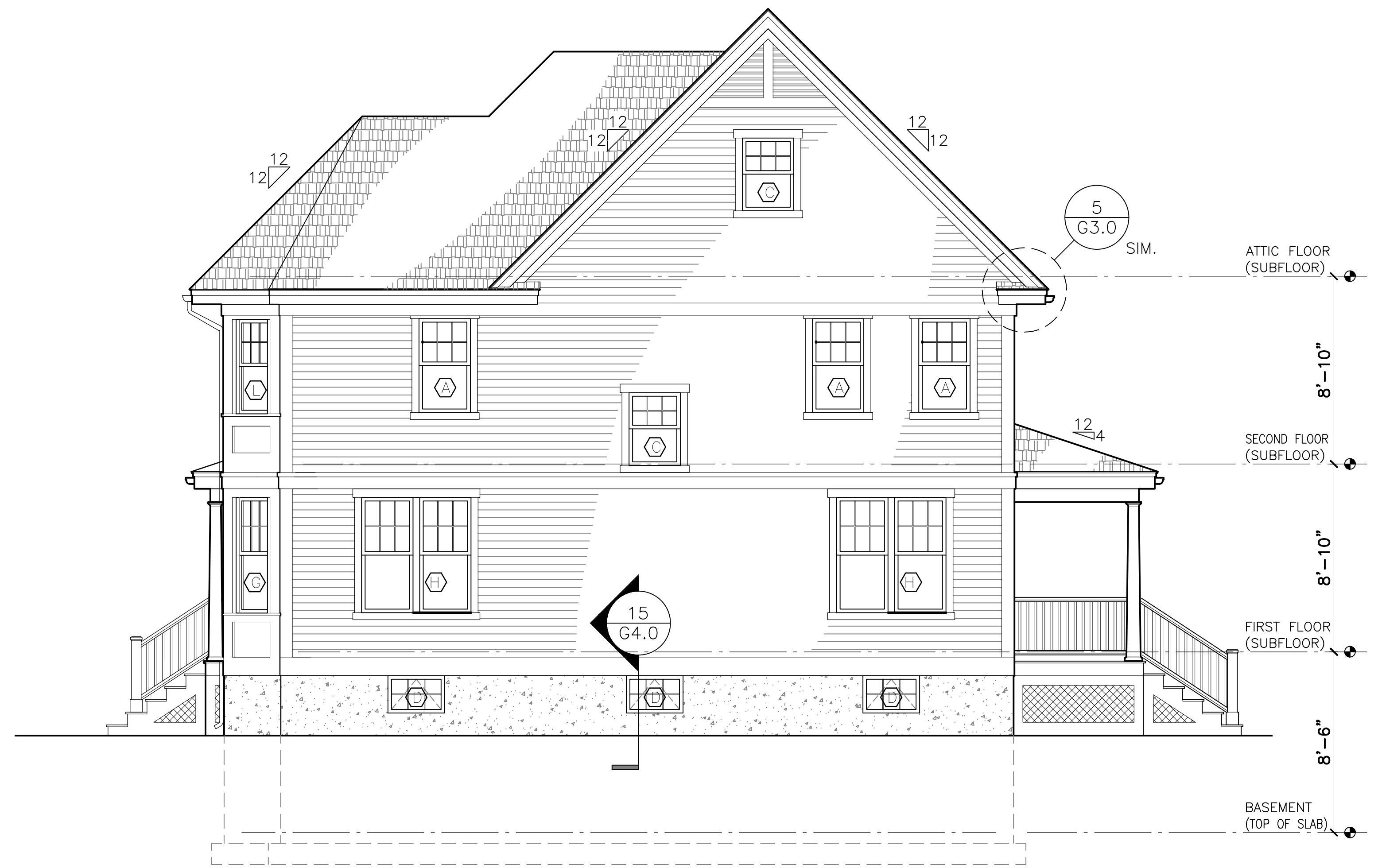
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

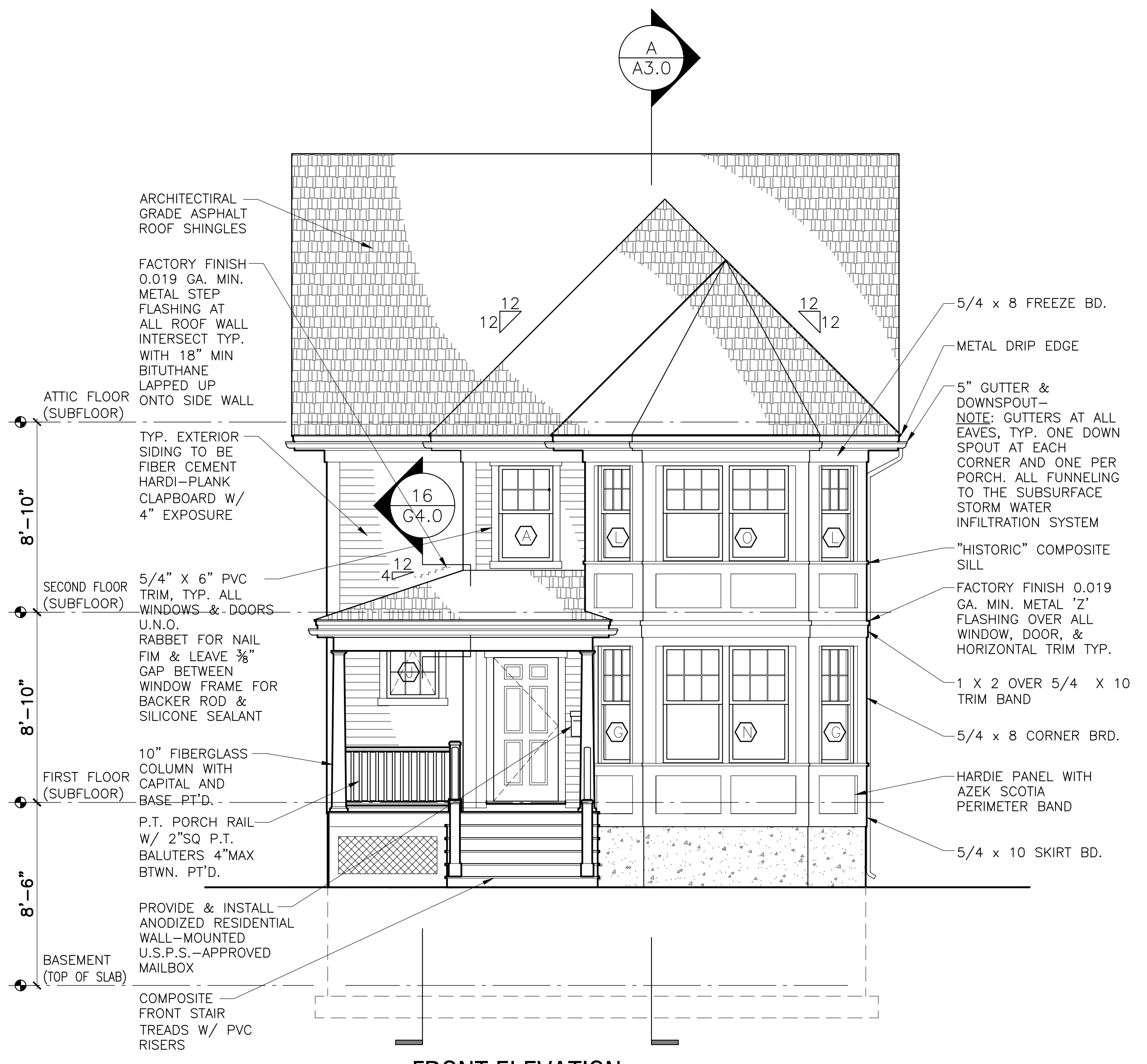
**Front &
Right Side
Elevations**

Job Ref:	
Scale:	(1/4"=1'-0" - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

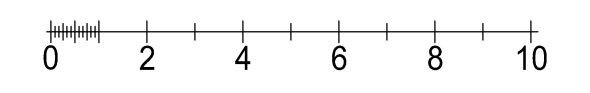
A-2.0



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



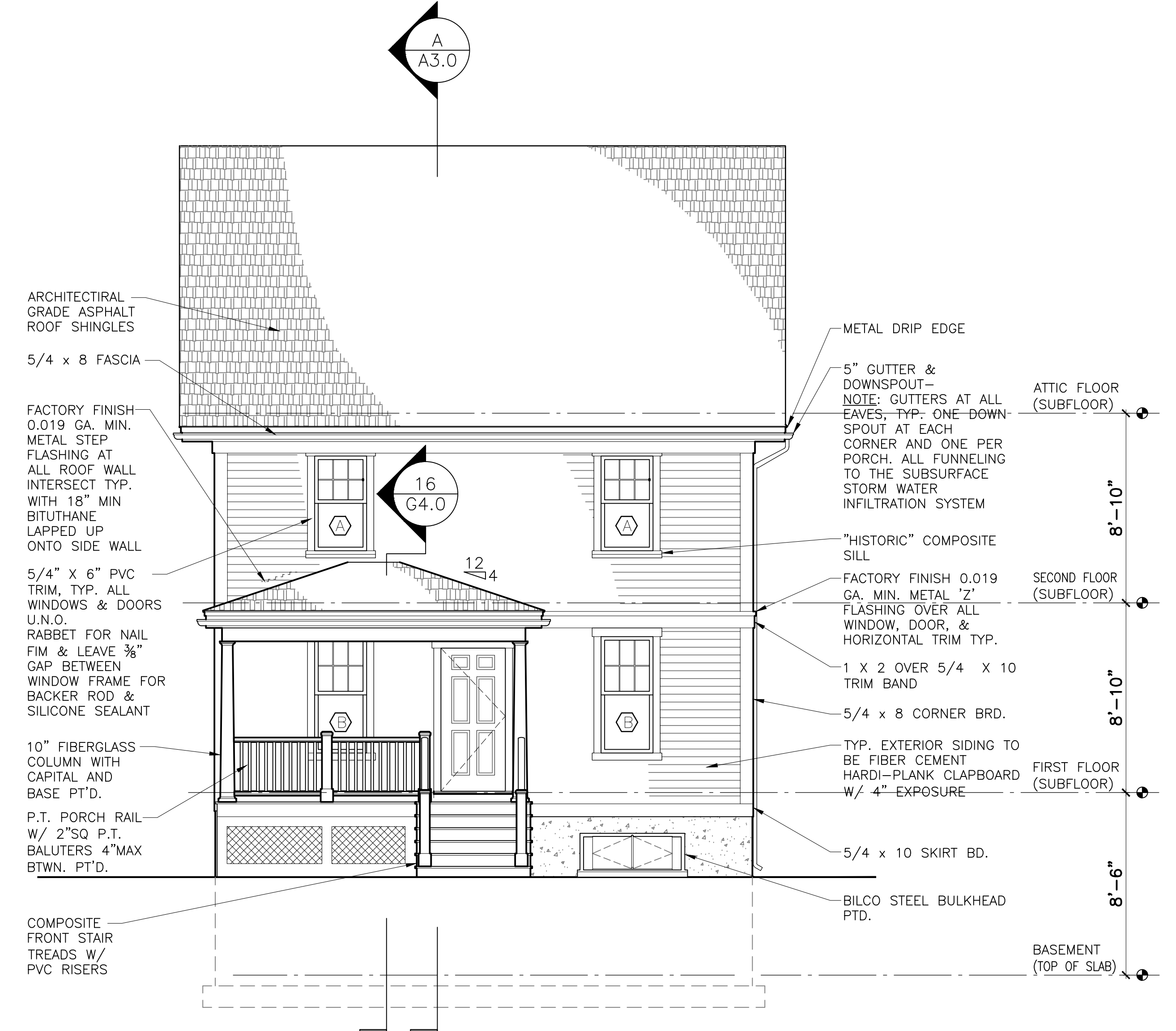
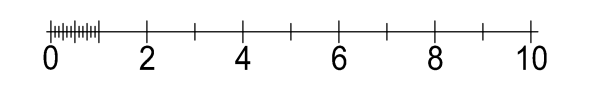
1 FRONT ELEVATION
1/4" = 1'-0"



Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	-
Date:	Oct 14, 2016
Revisions:	-

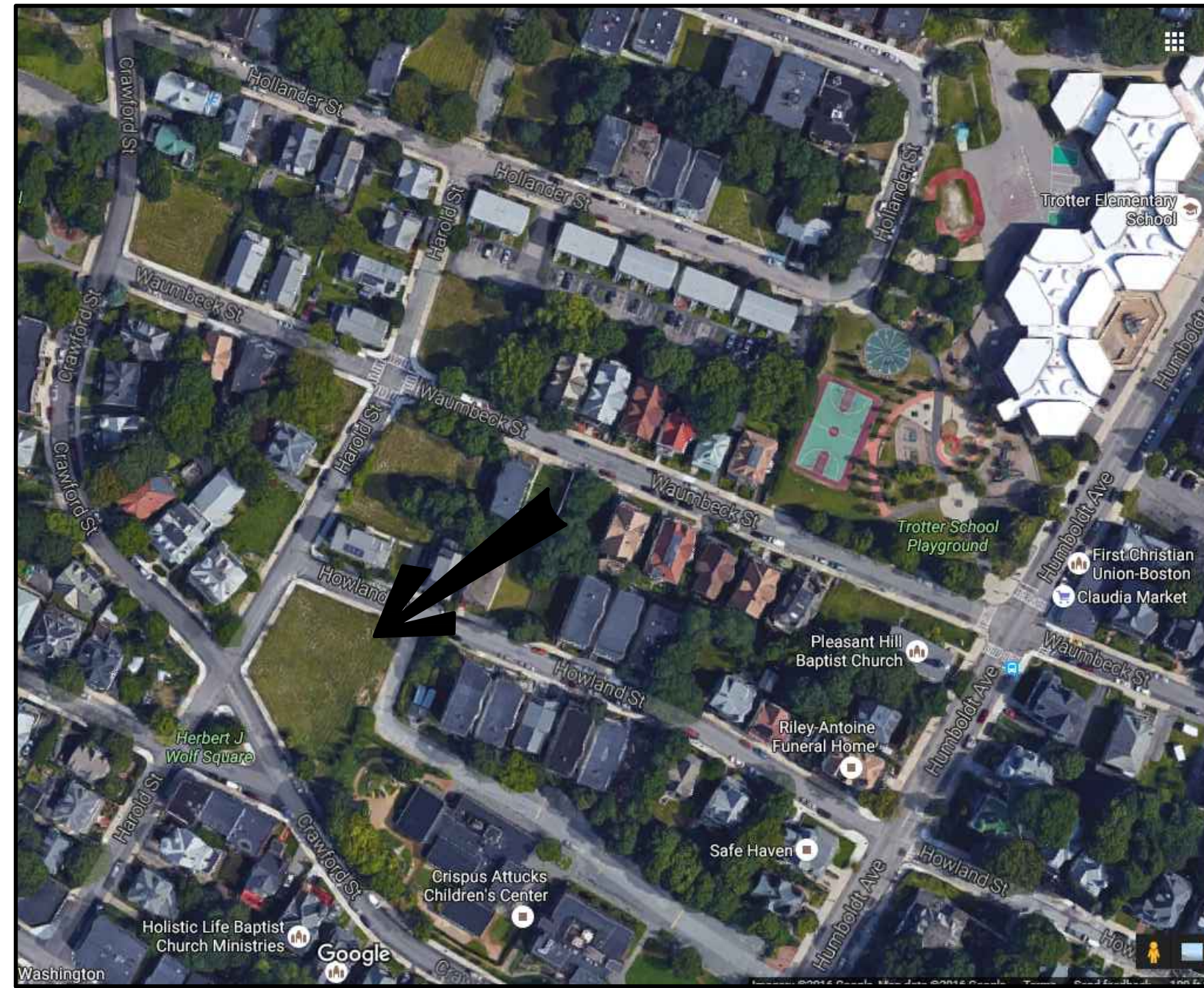


3 LEFT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

- ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES
- 5/4" x 8" FASCIA
- FACTORY FINISH 0.019 GA. MIN. METAL STEP FLASHING AT ALL ROOF WALL INTERSECT TYP. WITH 18" MIN BITUTHANE LAPPED UP ONTO SIDE WALL
- 5/4" x 6" PVC TRIM, TYP. ALL WINDOWS & DOORS U.N.O. RABBET FOR NAIL FIM & LEAVE 3/8" GAP BETWEEN WINDOW FRAME FOR BACKER ROD & SILICONE SEALANT
- 10" FIBERGLASS COLUMN WITH CAPITAL AND BASE PT'D.
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- COMPOSITE FRONT STAIR TREADS W/ PVC RISERS
- METAL DRIP EDGE
- 5" GUTTER & DOWNSPOUT - NOISE: GUTTERS AT ALL EAVES, TYP. ONE DOWNSPOUT AT EACH CORNER AND ONE PER PORCH. ALL FUNNELING TO THE SUBSURFACE STORM WATER INFILTRATION SYSTEM
- "HISTORIC" COMPOSITE SILL
- FACTORY FINISH 0.019 GA. MIN. METAL "Z" FLASHING OVER ALL WINDOW, DOOR, & HORIZONTAL TRIM TYP.
- 1 X 2 OVER 5/4 X 10 TRIM BAND
- 5/4 X 8 CORNER BRD.
- TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-PLANK CLAPBOARD W/ 4" EXPOSURE
- 5/4 X 10 SKIRT BD.
- BILCO STEEL BULKHEAD PT'D.



Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 126 Howland Street, Roxbury, MA

Cover & Index

- C1 Utility Plans & Details**
- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Roof Plans**
- A2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
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- AE-1.0 Basement Electric Layout Plan, Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

- G-1.0 Symbols, Abbreviations, Systems, & General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

ZONING ANALYSIS		
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
126 HOWLAND ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	
USE: ONE-FAMILY DETACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 786 SQFT	GROSS FLOOR AREA: 1572 SQFT	NONE
LOT FRONTAGE: 45'-0" (REQUIRED)	45'-0" (PROPOSED)	NONE
LOT WIDTH: 45'-0" (REQUIRED)	45'-0" MIN. (PROPOSED)	NONE
LOT SIZE: 4000 SQFT (REQUIRED)	4195 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.37 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	
184 HAROLD ROXBURY, MA	186 & 188 HAROLD ROXBURY, MA	
PROJECT ADDRESS: 126 HOWLAND STREET, ROXBURY, MA		
STREET: HAROLD STREET/CRAWFORD STREET/HOWLAND STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
180 HAROLD STREET	7'-2"(7')	45'
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0" (10' ON HOWLAND)	
PROPOSED SETBACK	7'-0" (10' ON HOWLAND)	

Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

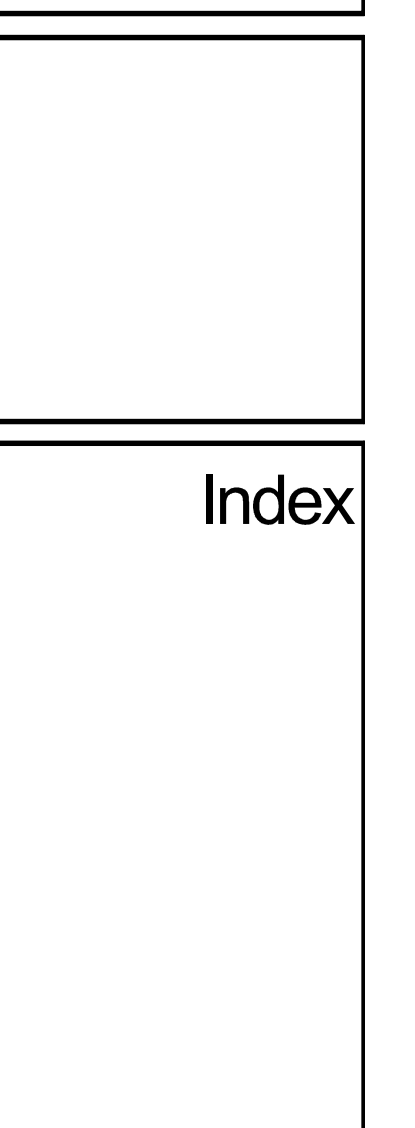
ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

Garrison Trotter II
 Homes
 126 Howland Street
 Roxbury, MA

 Neighborhood
 Homes Initiative
 (NHI)

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

 **ELTON+HAMPTON ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

Permit Set

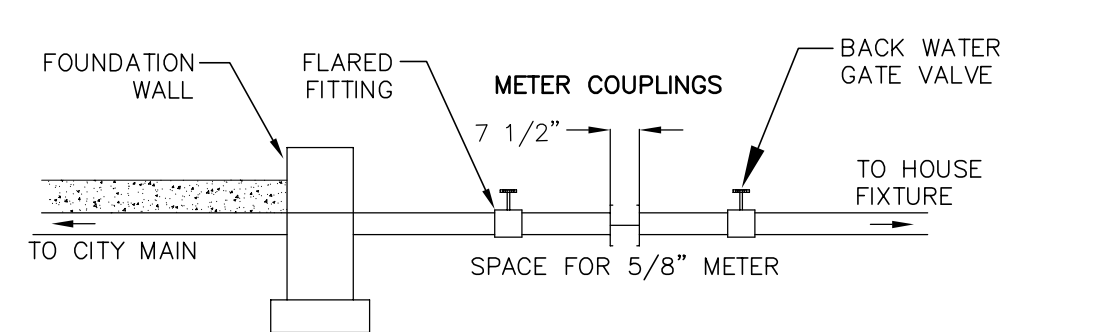
126 HOWLAND STREET

ROXBURY, MA

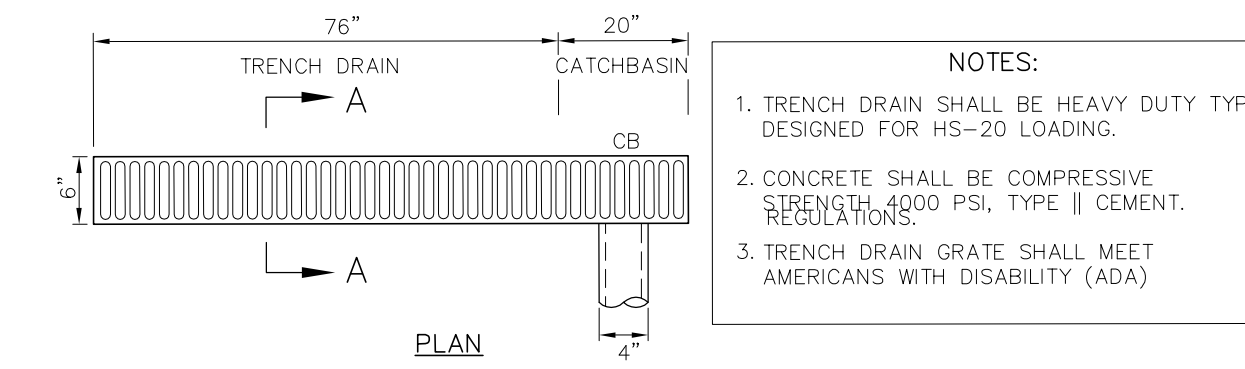
GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▤ CEMENT CONCRETE SIDEWALK
- · - · - SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- W --- WATER LINE
- G --- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- + 100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB @ LEACHING BASIN
- WG @ WATER GATE
- @ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN

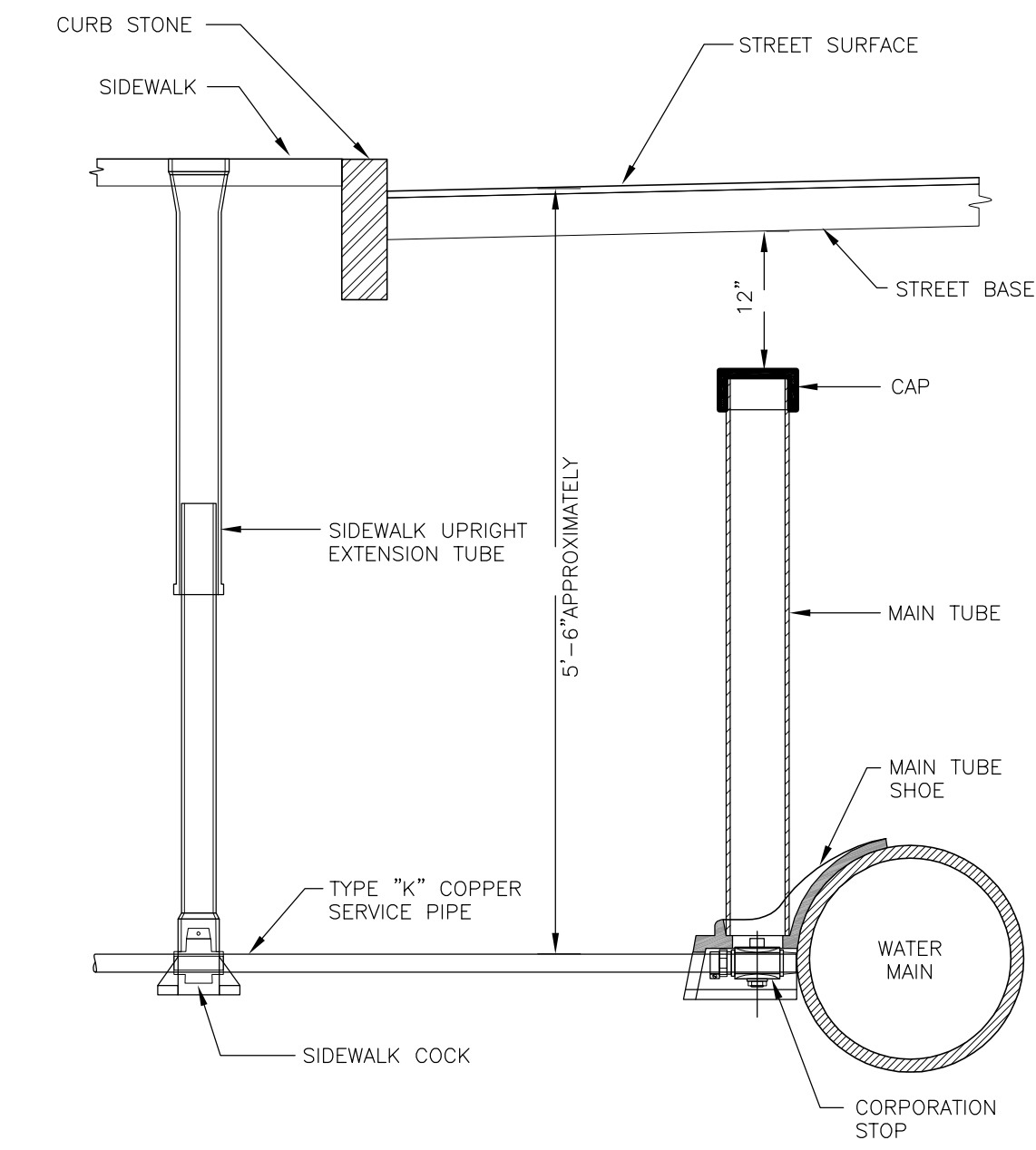
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



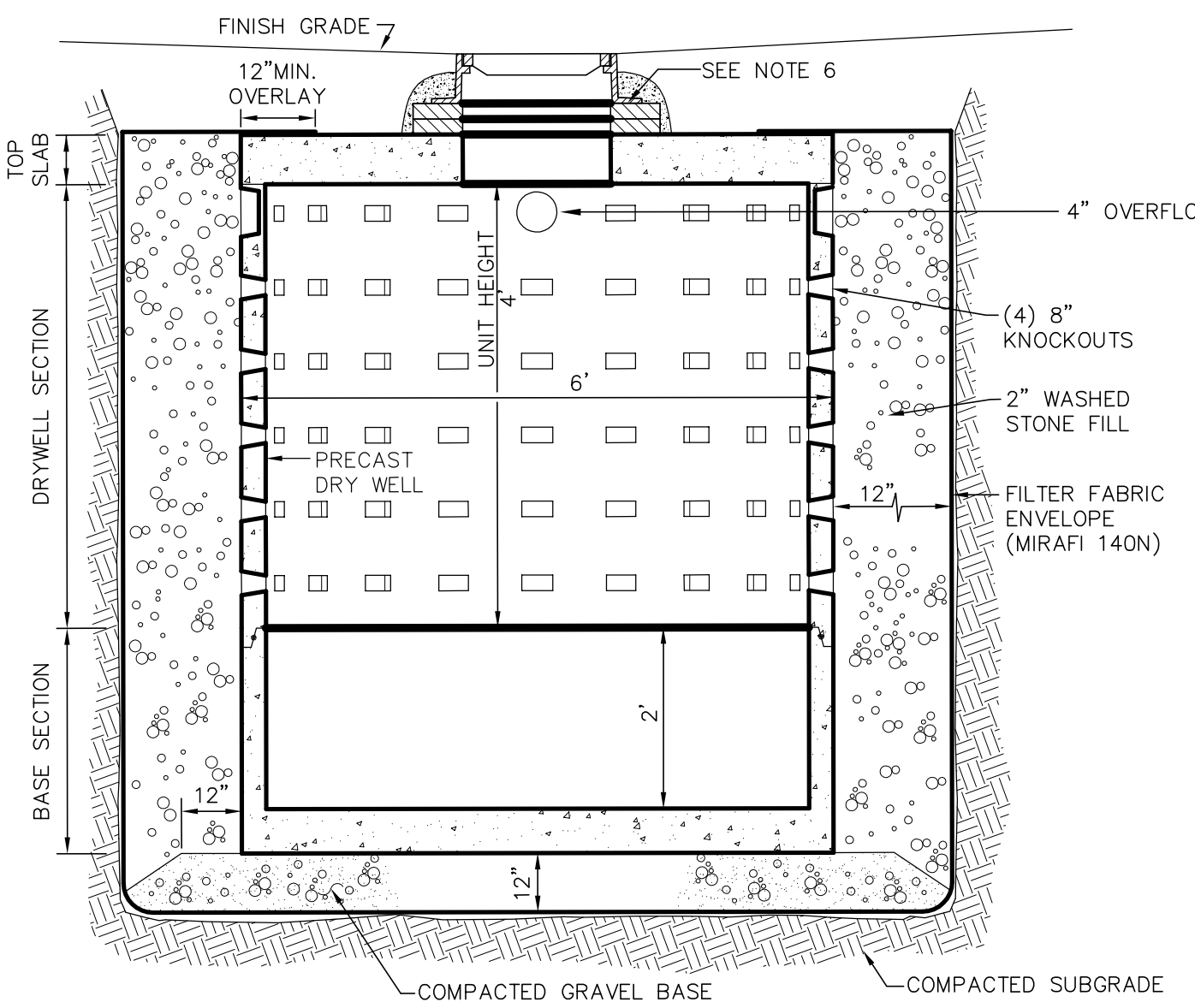
WATER METER SPACING DETAIL



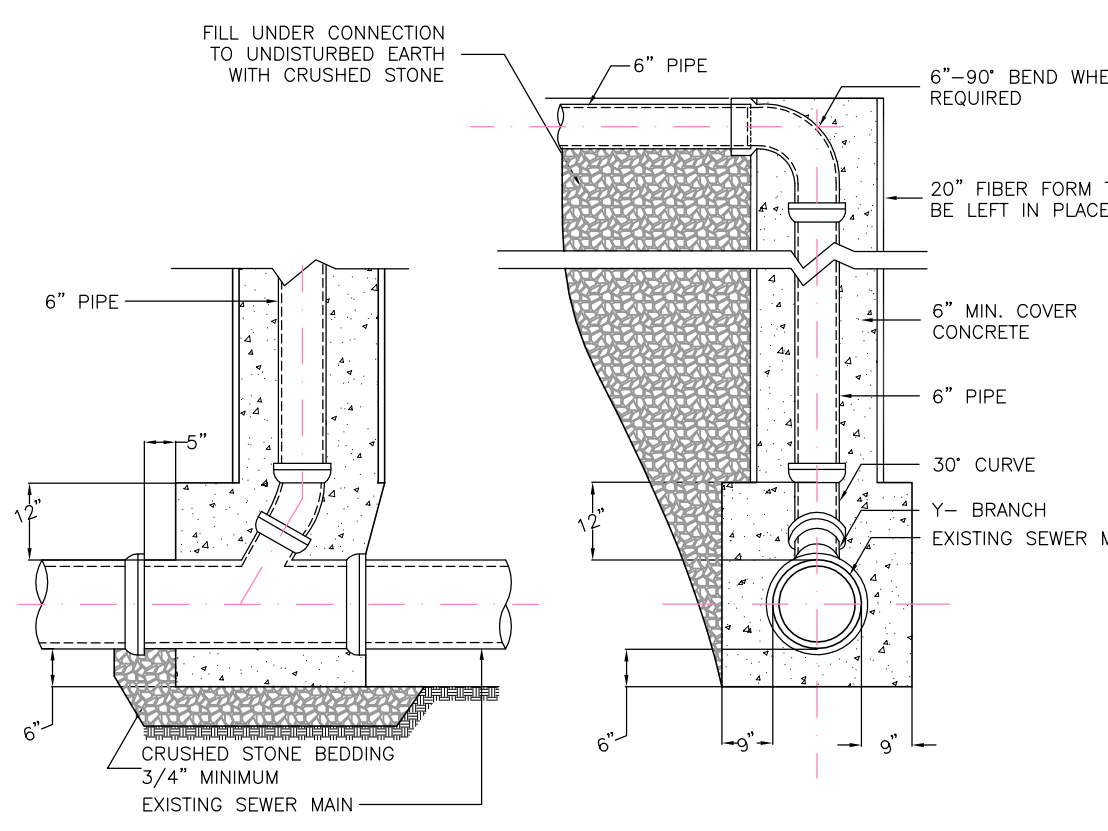
TRENCH DRAIN



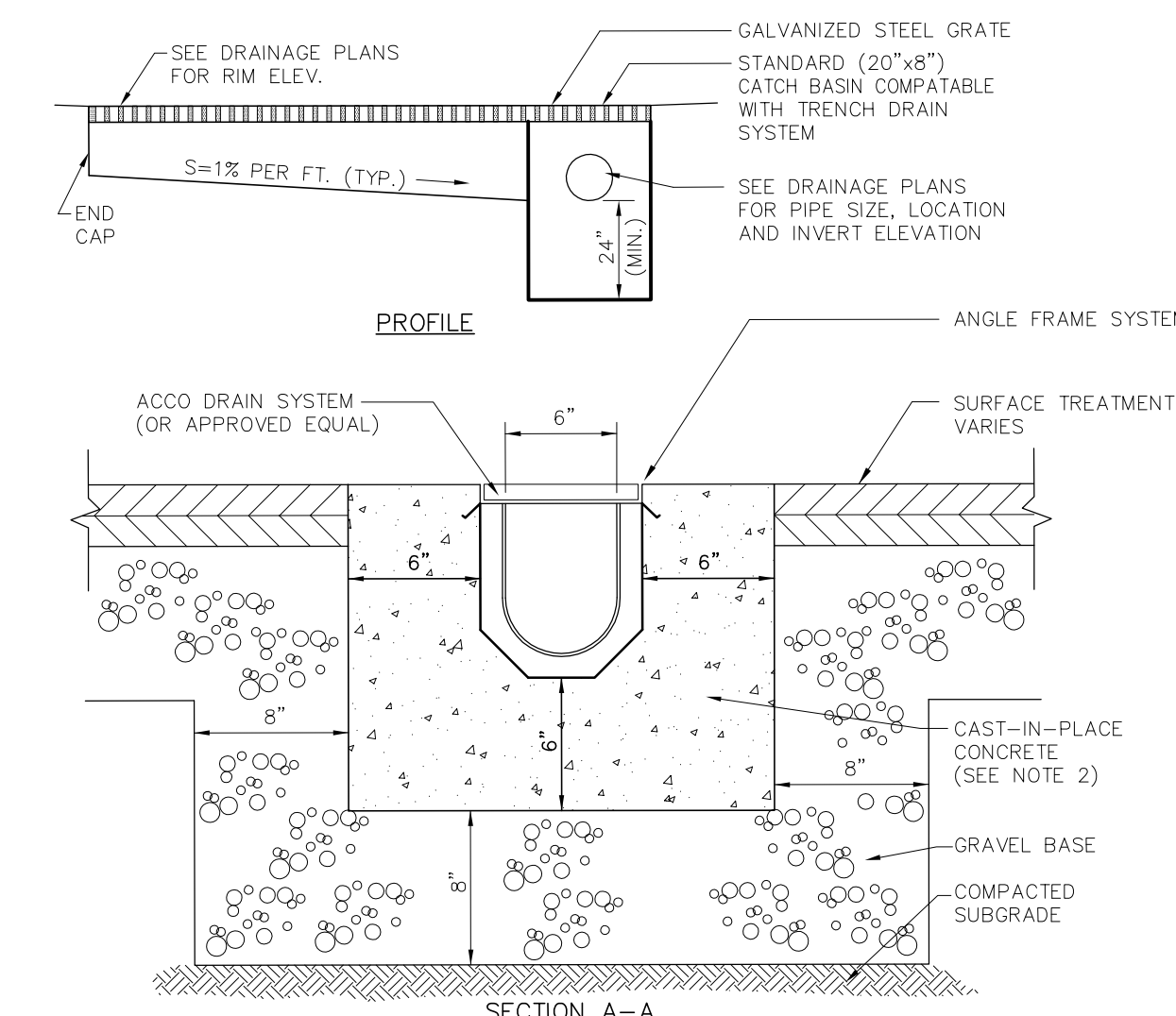
1" WATER CONNECTION DETAIL



LEACHING BASIN



SEWER CONNECTION



TRENCH DRAIN

INFILTRATION CALCULATIONS
126 HOWLAND STREET

STORAGE VOLUME REQUIRED
 1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
 IMPERVIOUS SURFACE = 1,208 S.F.

REQUIRED STORAGE =
 (1/12) FEET X 1,208 = 100.7 C.F.

PROVIDE A LEACHING BASIN 6'-DIA/4' DEEP
 W/12" STONE ALL AROUND

STORAGE PROVIDED = 113.0 C.F. > 100.7 C.F.

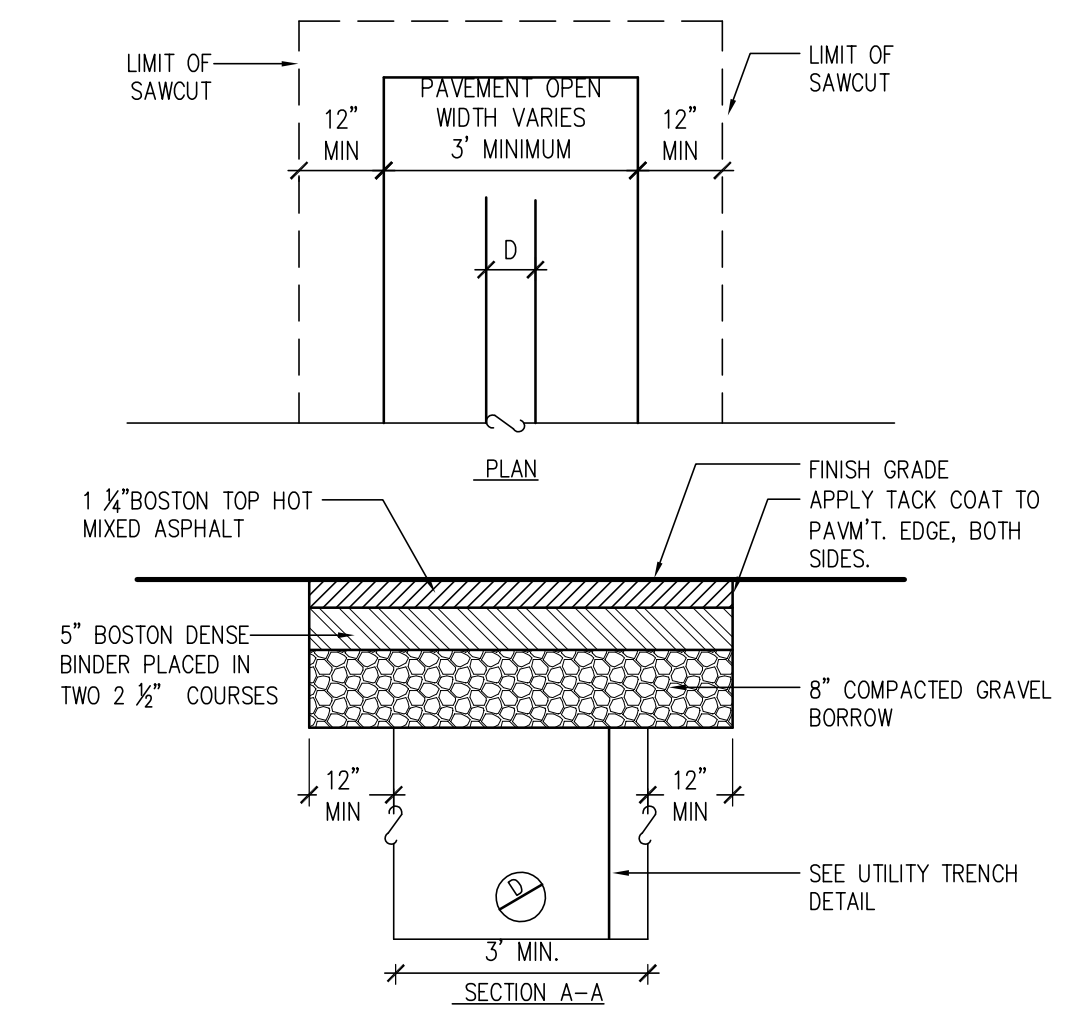
LAND USE CODE: "A" RESIDENTIAL
 3 BEDROOMS (330 GPD)

BWSC INSPECTIONS:

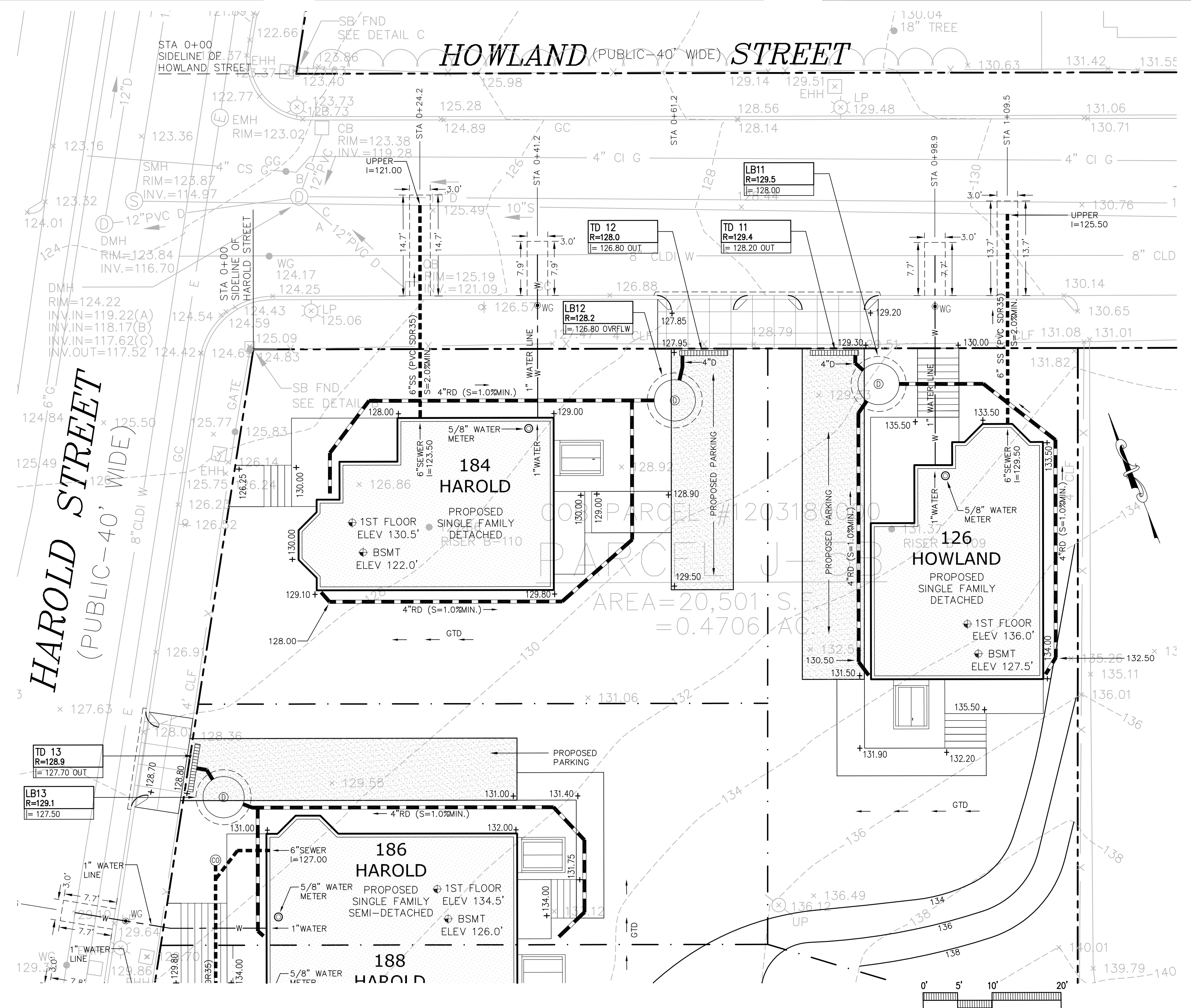
(1) RECHARGE SYSTEM	BWSC INSPECTOR	DATE
(2) 6" SEWER LINE	BWSC INSPECTOR	DATE
(3) 1" WATER LINE	BWSC INSPECTOR	DATE
(4) TRENCH DRAIN	BWSC INSPECTOR	DATE
(5) DYE TEST	BWSC INSPECTOR	DATE

1. Ward/Parcel: 12/3180
2. Property Location 126 HOWLAND STREET
3. Neighborhood Roxbury
4. Site Zip 02119
5. Owner Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address 95 Humboldt Avenue, Dorchester, MA 02121
7. Owner Telephone No. 617.445.5100
8. Type of Premise Residential Development
9. New Account:

FOR BOSTON WATER SEWER USE ONLY



UTILITY PATCH



DZI Land Planning, Civil Engineering, Landscape Architecture
 Po Box 307
 Foxborough, MA
 www.develliszrein.com
 tel. 508.473.4114

DeVellis Zrein Inc.

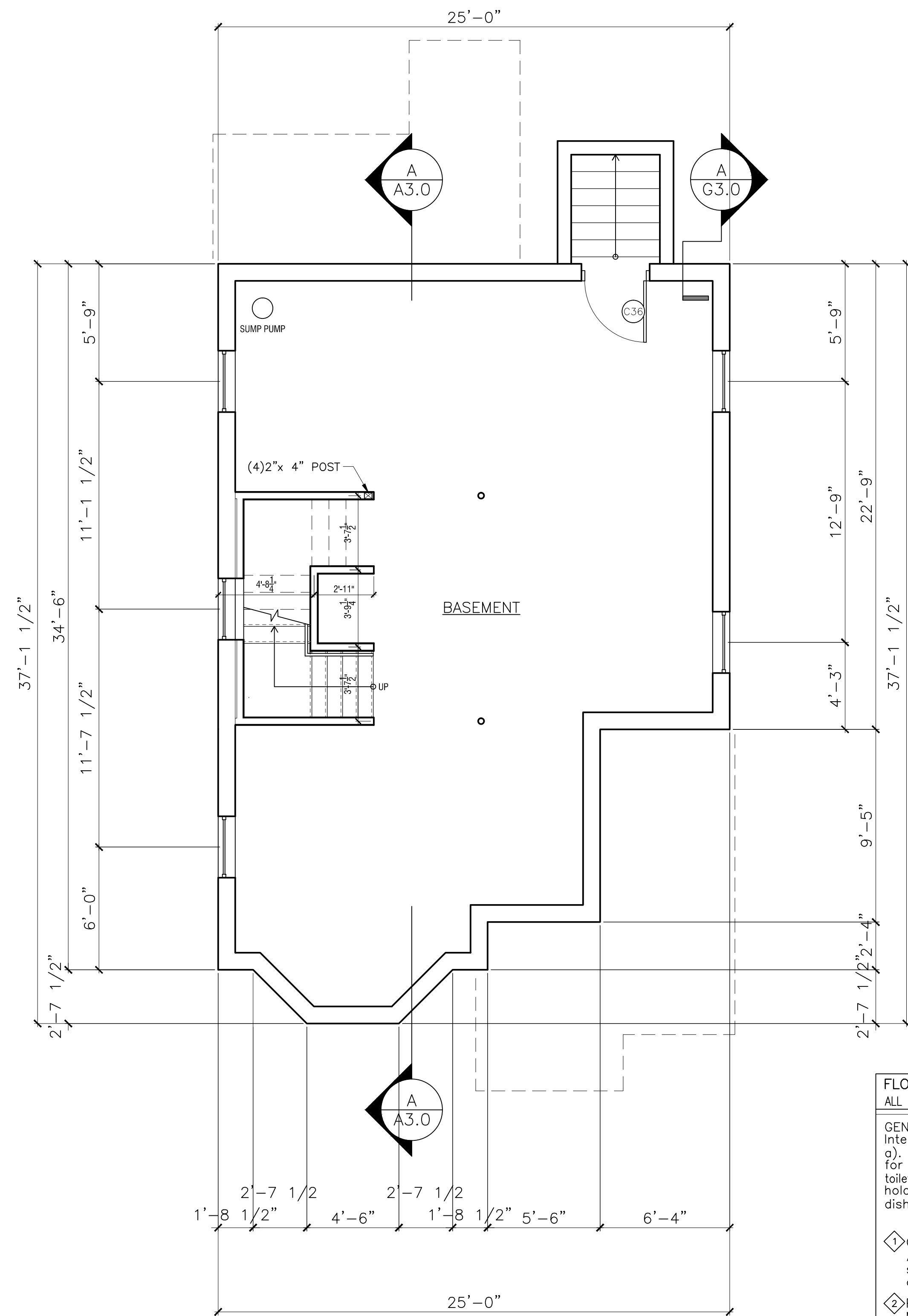
10.06.16 PER BSWC COMMENTS

UTILITY PLAN AND DETAILS

SITE PLAN # 16415

SCALE: 1" = 10'
 JOB: 2G15-262
 FILE: 2G15-262-GU
 DRAWN: IAZ
 CHECKED:
 DATE: 08.16.16

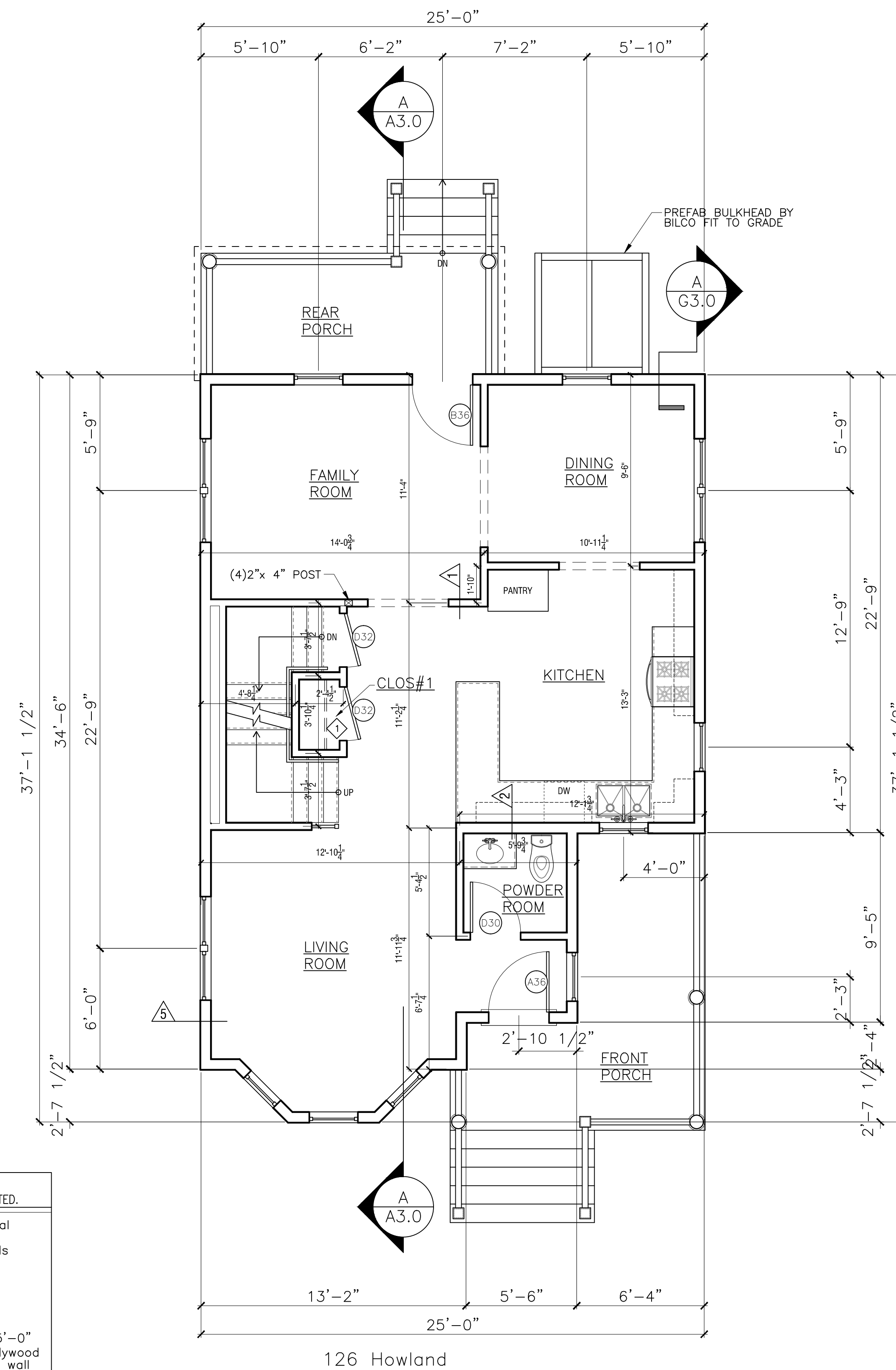
C-1



**UNIT TYPE A2
BASEMENT PLAN**

SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- 1) Provide solid wood blocking in walls for future grab bars in all both tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- 2) Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
- 3) Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
- 4) Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
- 5) 16" MDF shelf over laundry
- 6) Provide aluminum transition strip between flooring materials
- 7) Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
- 8) Bituthane roof underlay at eaves, valleys, and dormer side walls



**UNIT TYPE A2
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

Garrison Trotter II
Homes
126 Howland Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

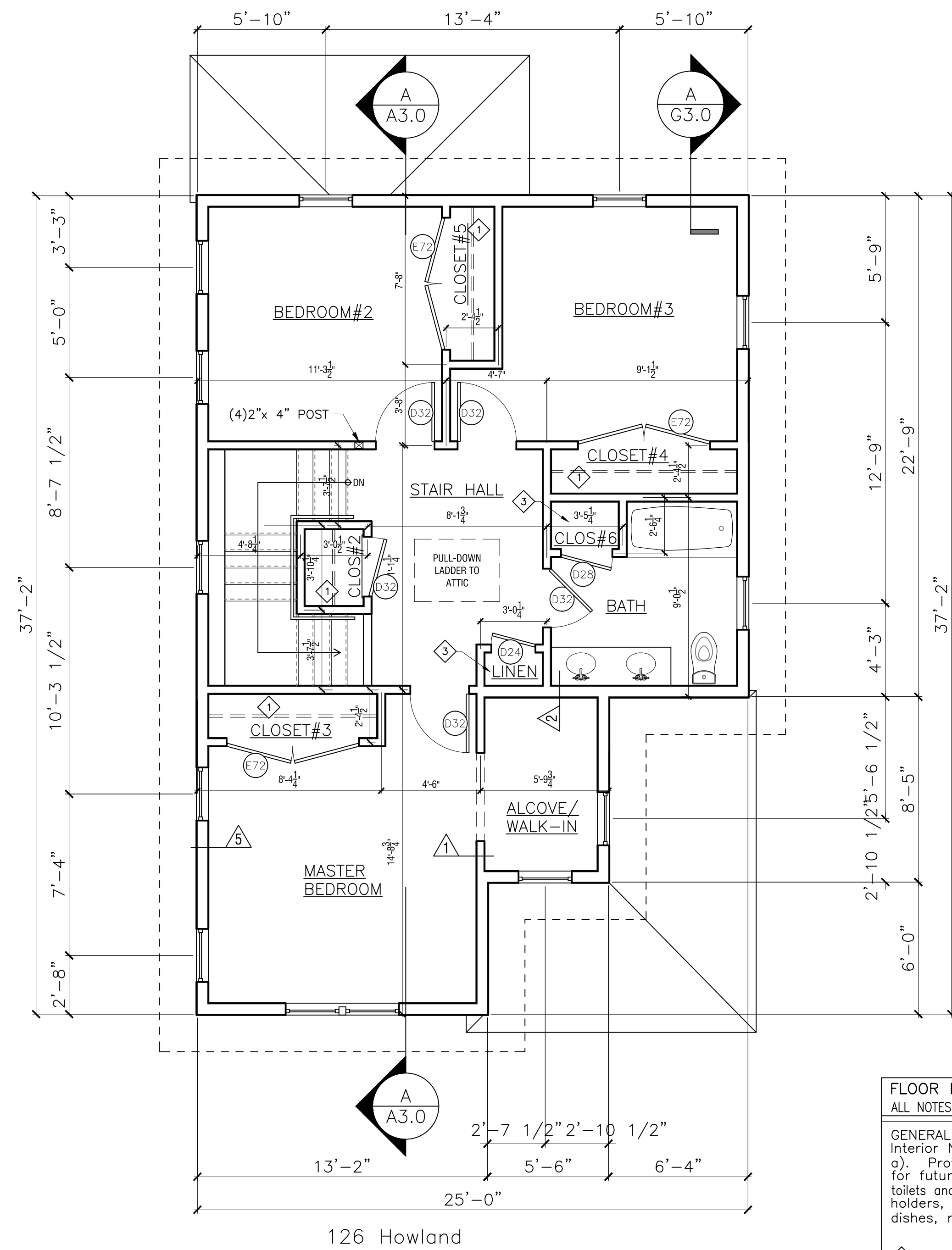
**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Basement &
First Floor
Plans:**

Job Ref:	-
Scale:	(1/4" = 1'-0" - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

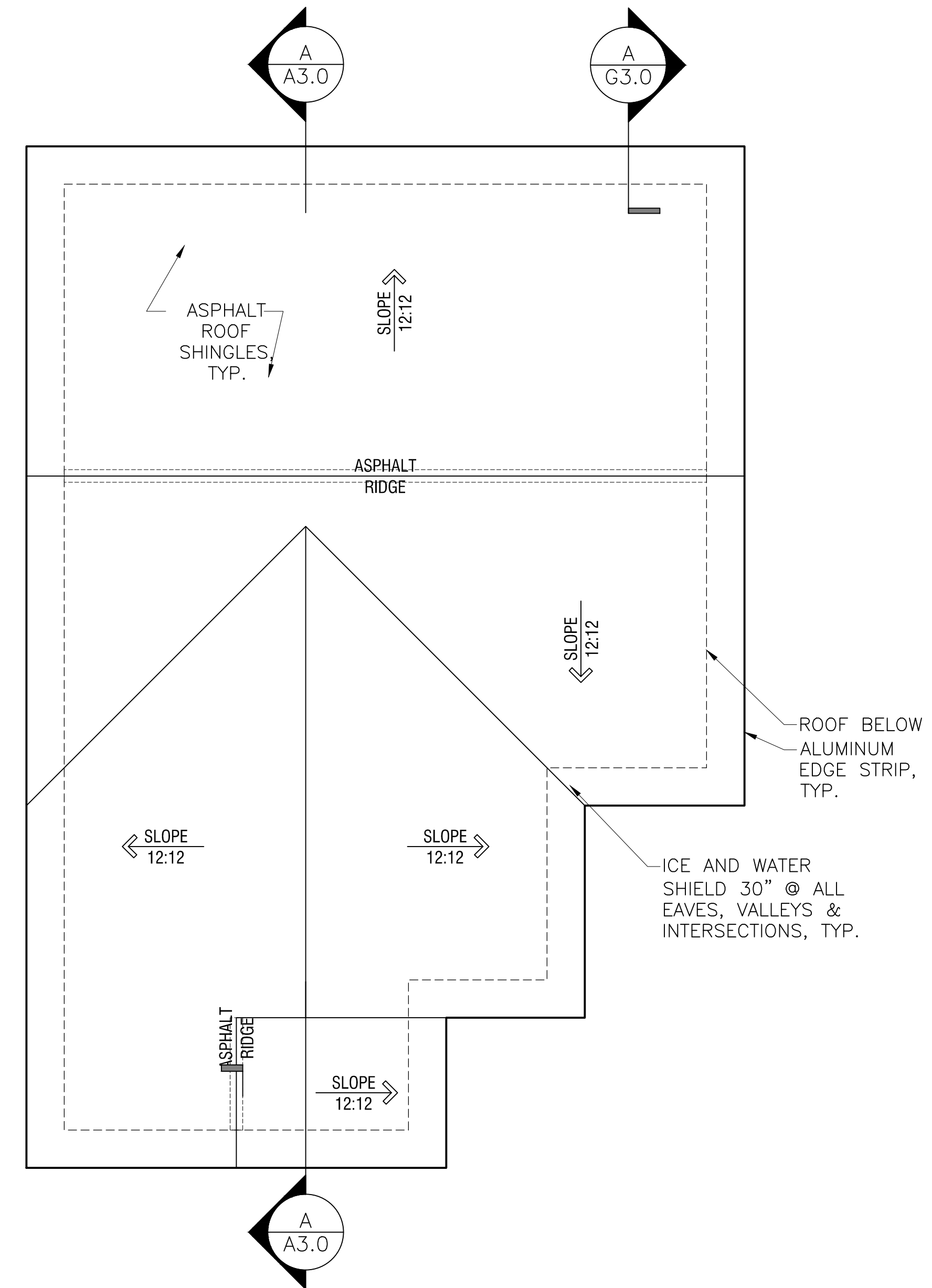
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Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	



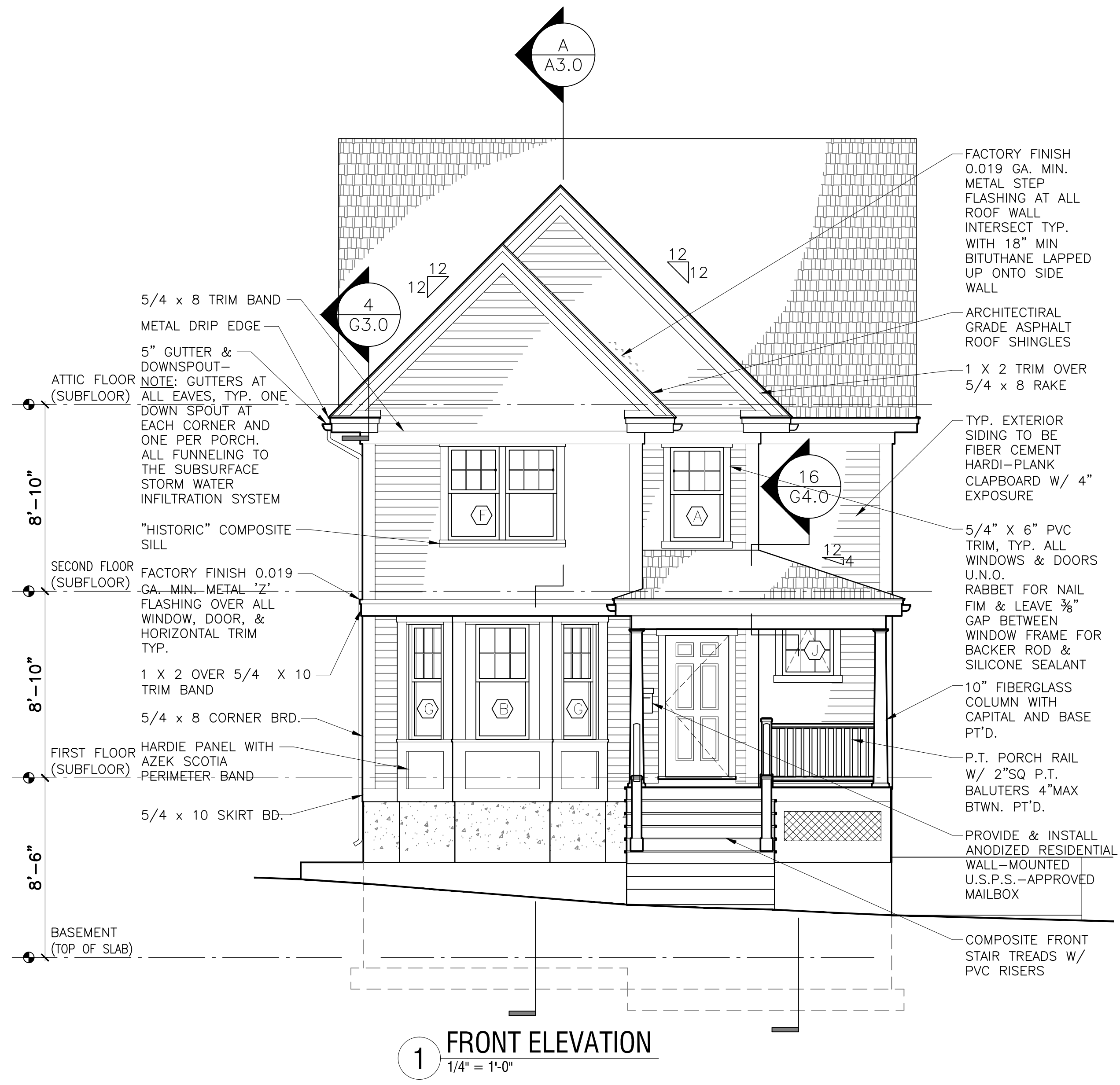
**UNIT TYPE A2
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
g) Provide solid wood blocking in walls for future grab bars in all bath tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- ◇ Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ◇ Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
 - ◇ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
 - ◇ 16" MDF shelf over laundry
 - ◇ Provide aluminum transition strip between flooring materials
 - ◇ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ◇ Bituthane roof underlay at eaves, valleys, and dormer side walls



**UNIT TYPE A2
ROOF PLAN**
SCALE: 1/4" = 1'-0"

Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	-
Date:	Oct 14, 2016
Revisions:	-



1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
1/4" = 1'-0"

Garrison Trotter II
Homes
126 Howland Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

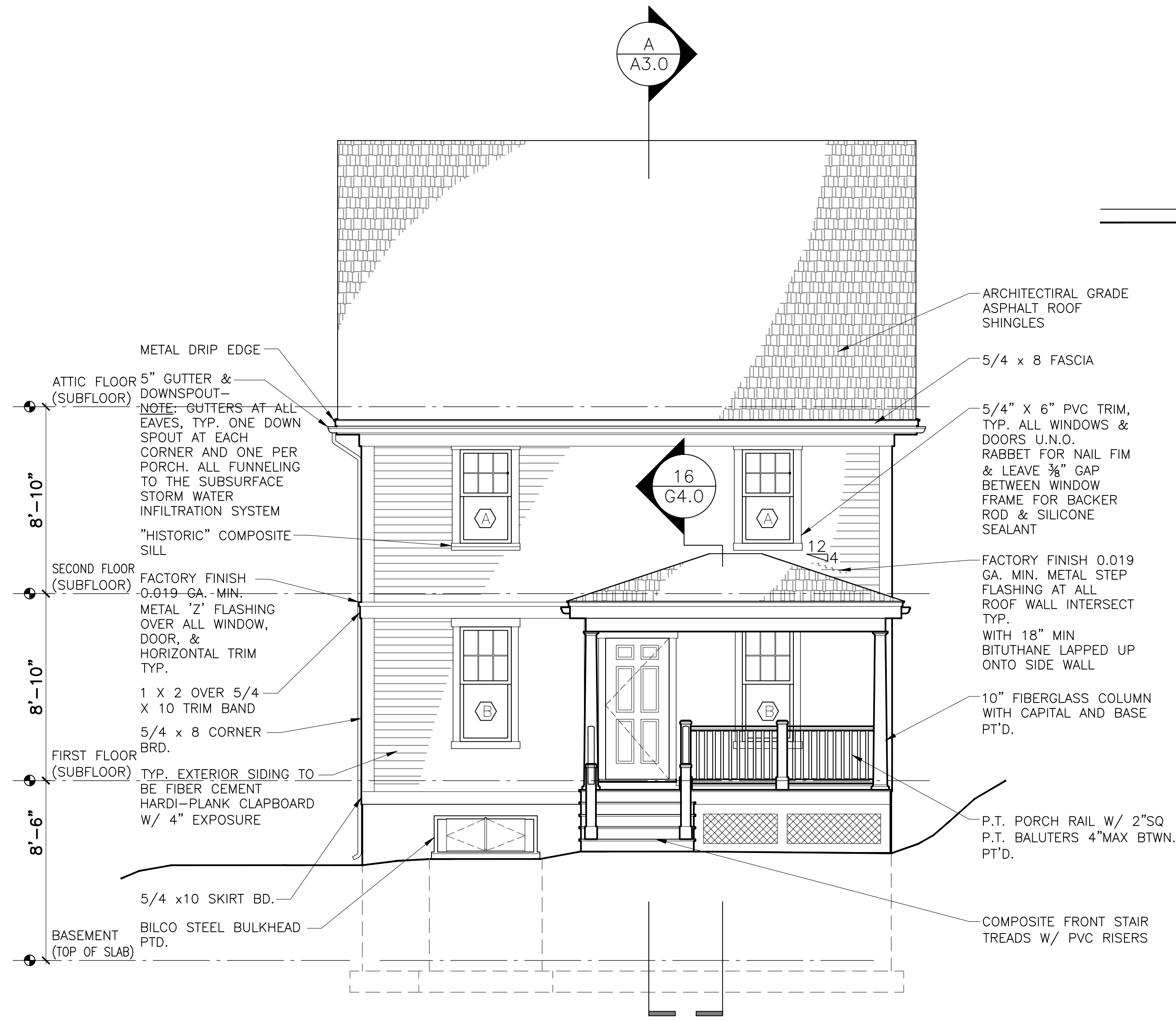
Rear &
Right Side
Elevations

Job Ref:	-
Scale:	(1/4"=1'-0" - use graphic scale)
Drawn By:	-
Date:	Oct 14, 2016
Revisions:	-

A-2.1

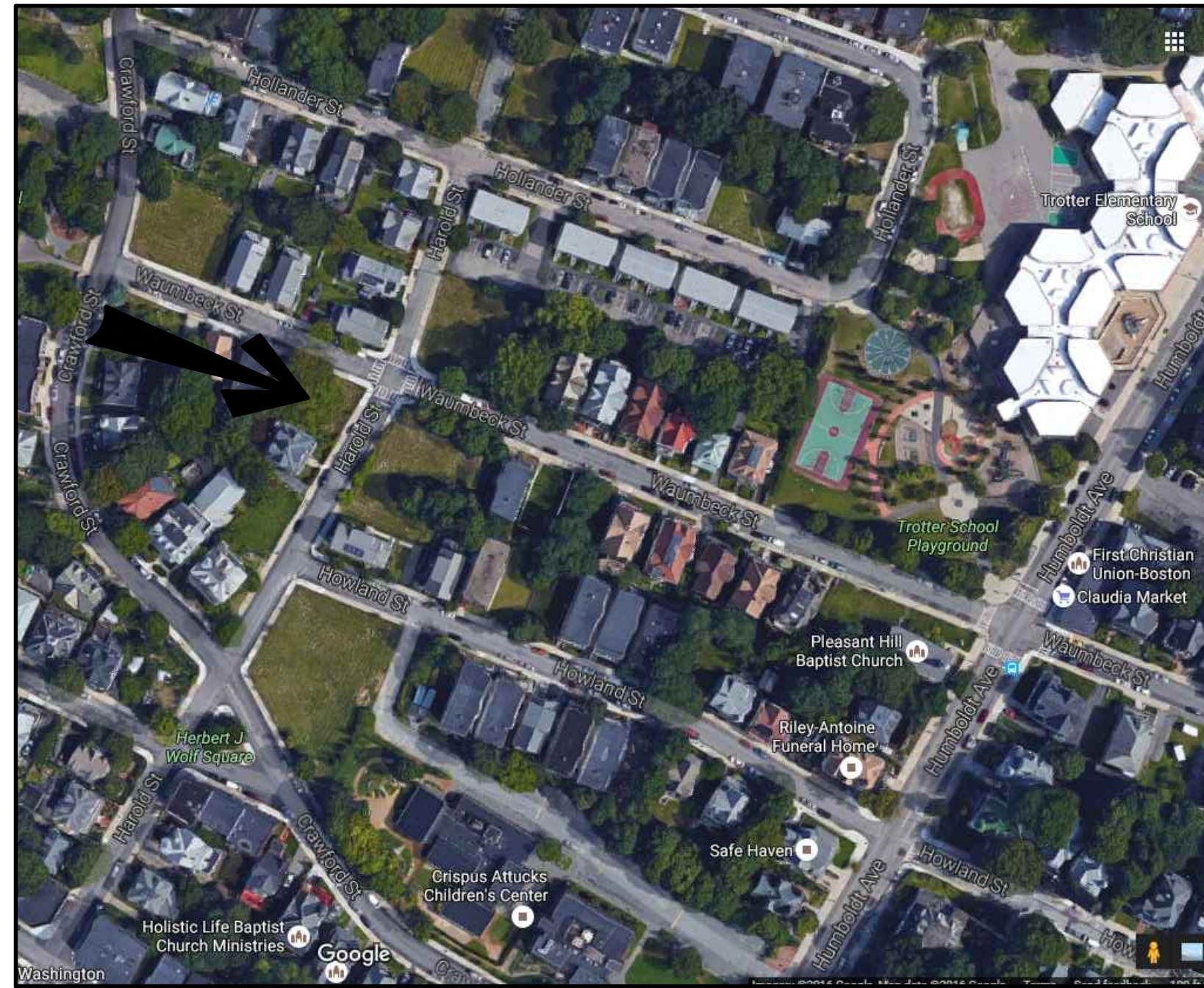


3 RIGHT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

- METAL DRIP EDGE
- ATTIC FLOOR (SUBFLOOR) 5" GUTTER & DOWNSPOUT - NOTE: GUTTERS AT ALL EAVES, TYP. ONE DOWN SPOUT AT EACH CORNER AND ONE PER PORCH. ALL FUNNELING TO THE SUBSURFACE INFILTRATION SYSTEM
- "HISTORIC" COMPOSITE SILL
- SECOND FLOOR (SUBFLOOR) FACTORY FINISH 0.019 GA. MIN. METAL "Z" FLASHING OVER ALL WINDOW, DOOR, & HORIZONTAL TRIM TYP.
- 1 X 2 OVER 5/4 X 10 TRIM BAND
- 5/4 X 8 CORNER BRD.
- FIRST FLOOR (SUBFLOOR) TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-PLANK CLAPBOARD W/ 4" EXPOSURE
- 5/4 X 10 SKIRT BD.
- BASEMENT (TOP OF SLAB) BILCO STEEL BULKHEAD PT'D.
- ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES
- 5/4 X 8 FASCIA
- 5/4" X 6" PVC TRIM, TYP. ALL WINDOWS & DOORS U.N.O. RABBET FOR NAIL FIN & LEAVE 3/8" GAP BETWEEN WINDOW FRAME FOR BACKER ROD & SILICONE SEALANT
- FACTORY FINISH 0.019 GA. MIN. METAL STEP FLASHING AT ALL ROOF WALL INTERSECT TYP. WITH 18" MIN BITUTHANE LAPPED UP ONTO SIDE WALL
- 10" FIBERGLASS COLUMN WITH CAPITAL AND BASE PT'D.
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- COMPOSITE FRONT STAIR TREADS W/ PVC RISERS



Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 171-173 Harold Street, Roxbury, MA

Garrison Trotter II
 Homes
 171-173 Harold Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

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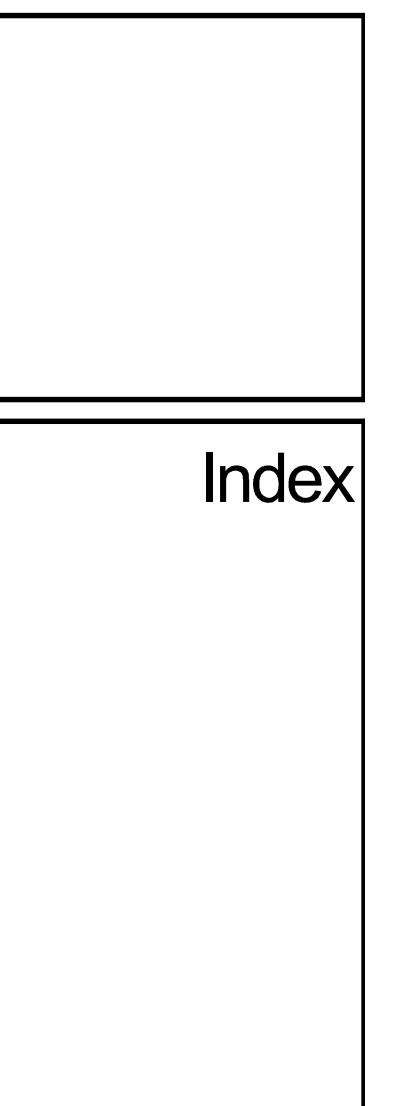
ZONING ANALYSIS		
PROJECT ADDRESS: 171-173 HAROLD ROXBURY, MA	ZONING DISTRICT: ROXBURY NEIGHBORHOOD 3F-4000	VARIANCE REQUESTED
USE: TWO-FAMILY STACKED DWELLING	(ALLOWED PER ARTICLE 50 TABLE B FOOTNOTE 3.)	NONE
BUILDING FOOTPRINT: 1309 SQFT	GROSS FLOOR AREA: 2618 SQFT	NONE
LOT FRONTAGE: 45'-0" (REQUIRED)	70'-0" (PROPOSED)	NONE
LOT WIDTH: 45'-0" (REQUIRED)	60'-0" MIN. (PROPOSED)	NONE
LOT SIZE: 4000 SQFT (REQUIRED)	6370 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.41 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	EXCEEDS (PROPOSED)	NONE
OFF STREET PARKING: 2 (REQUIRED)	2 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS: 171-173 HAROLD ROXBURY, MA		
STREET: HAROLD STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
177 HAROLD STREET	16'-10"(17')	59'-0"
165 HAROLD STREET	6'-6"(7')	41'-0"
163 HAROLD STREET	7'-3"(7')	50'-9"
161 HAROLD STREET	5'-7"(6')	55'-0"
151 HAROLD STREET	6'-7"(7')	51'-0"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0"	
PROPOSED SETBACK	7'-0"	

Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

Permit Set

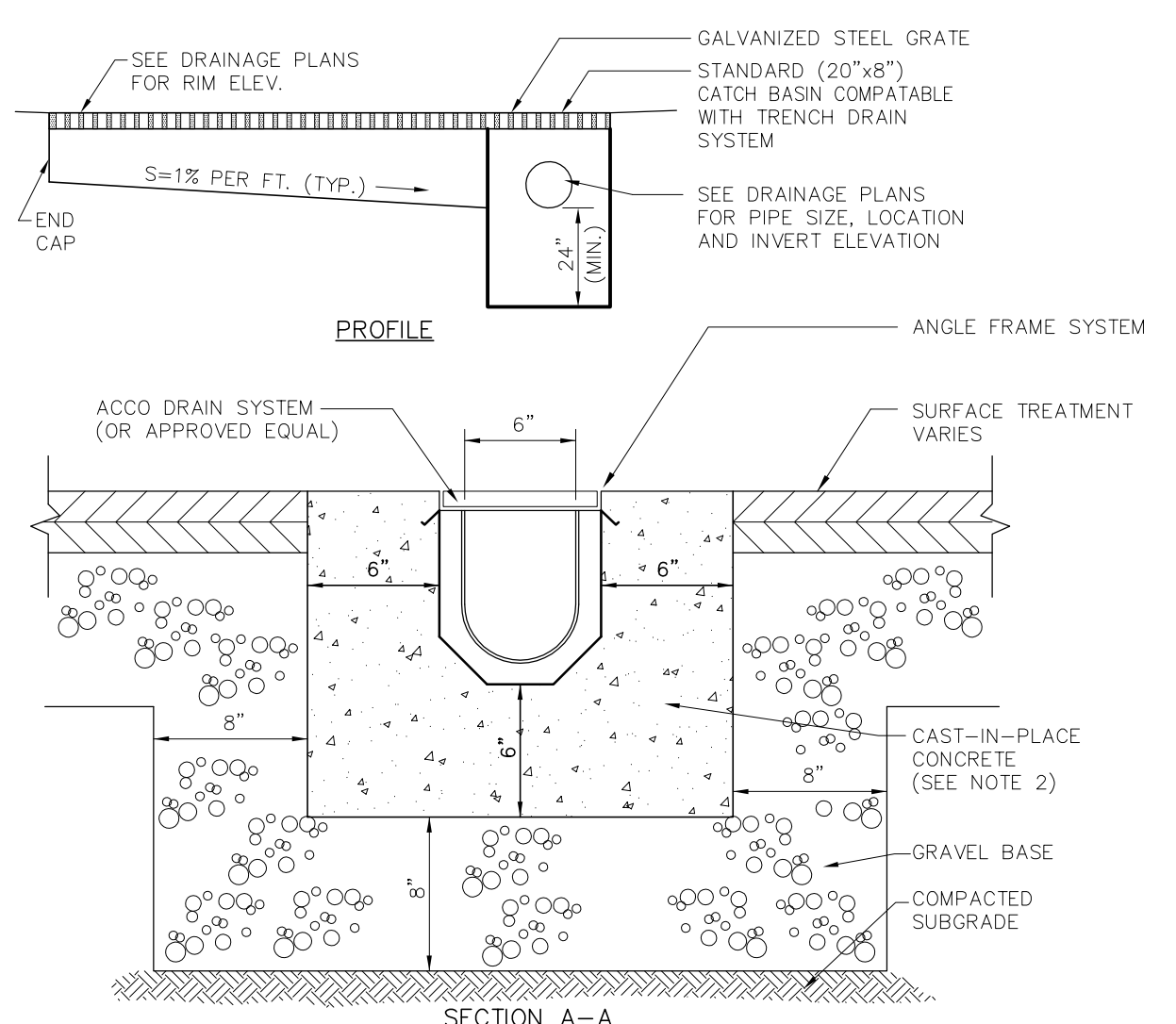
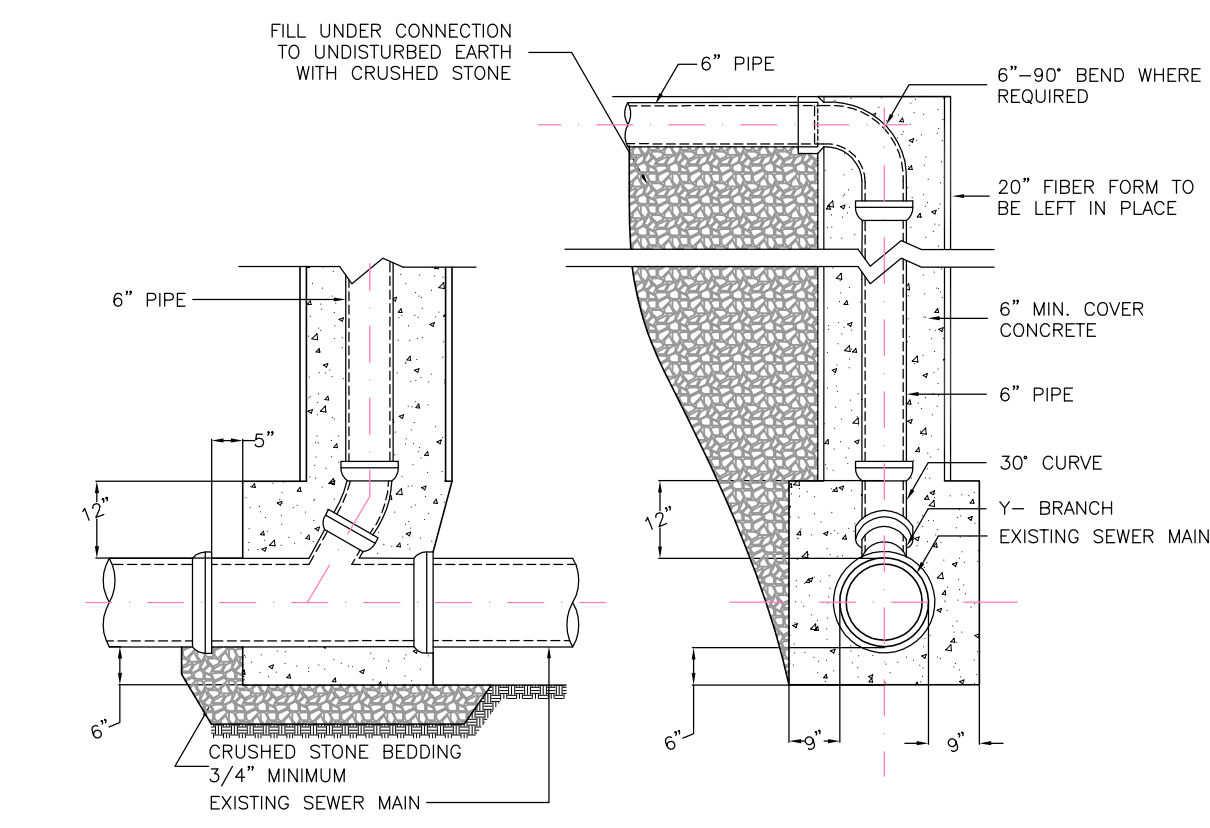
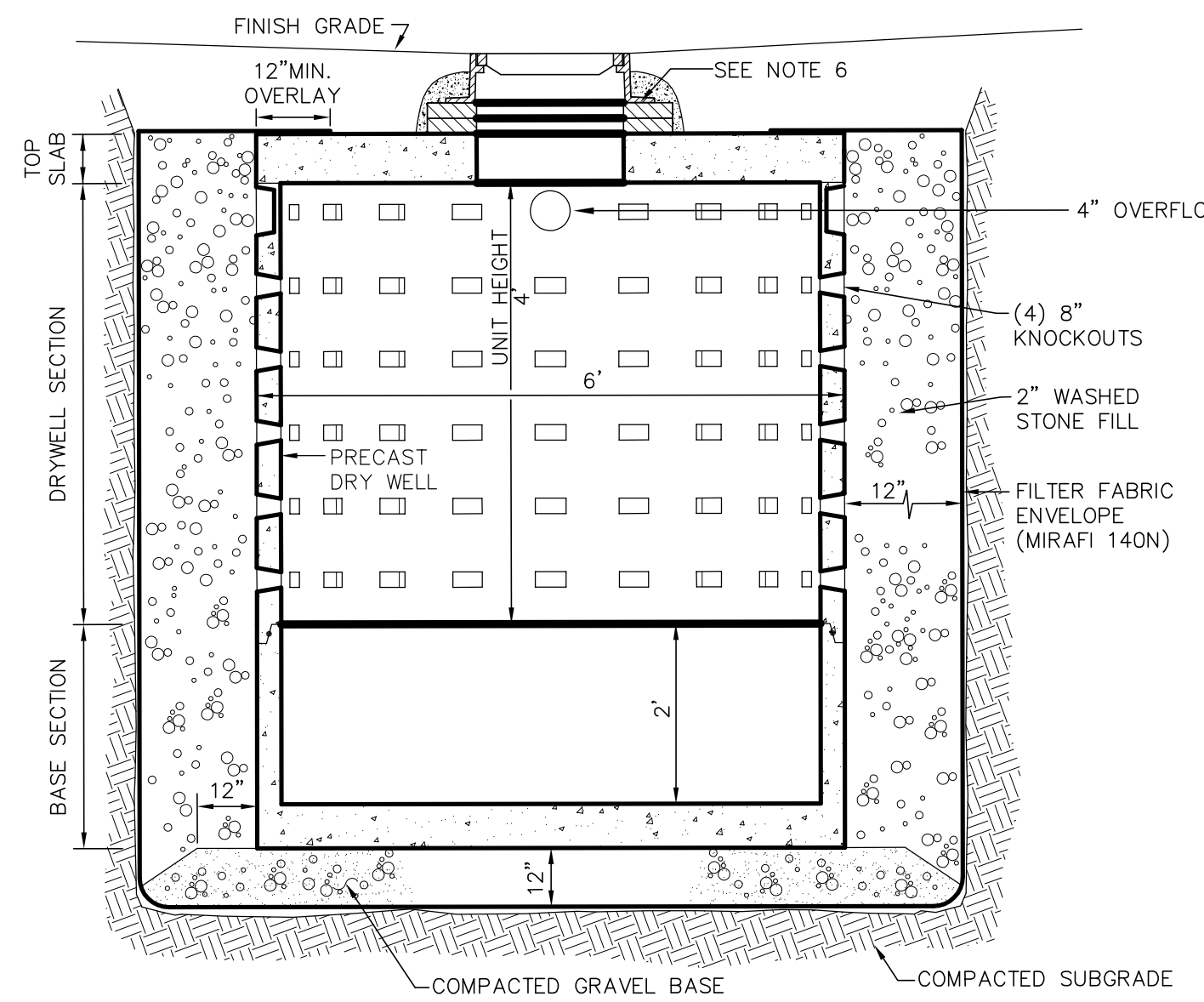
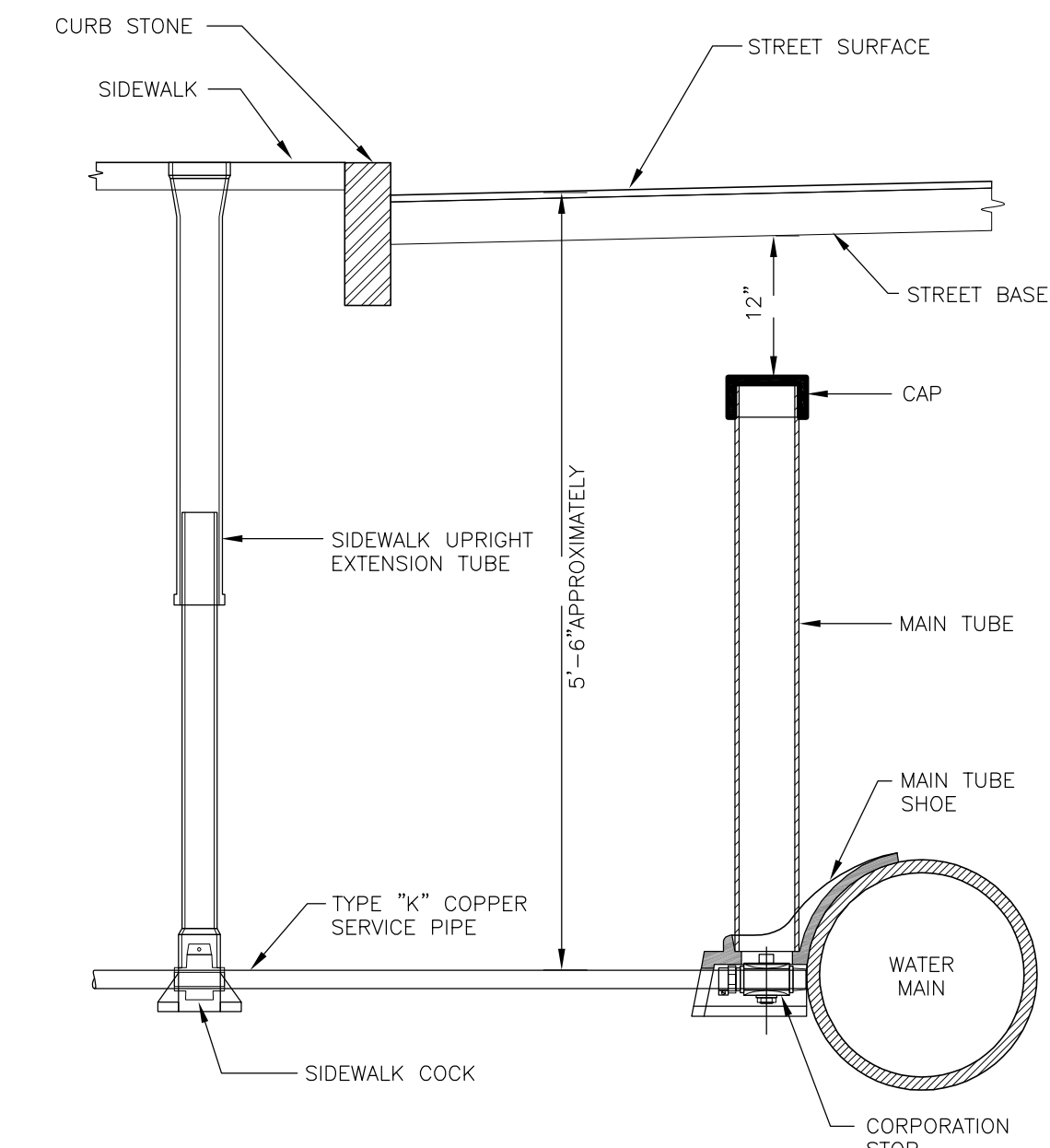
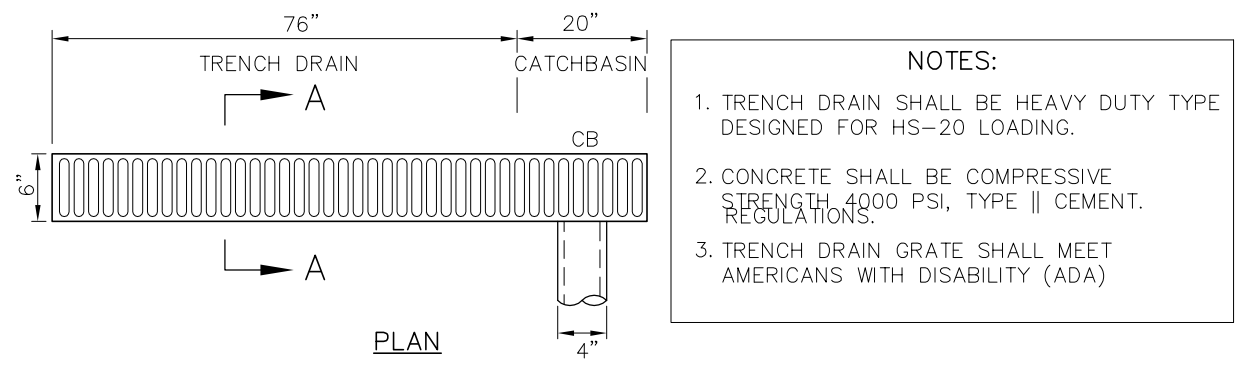
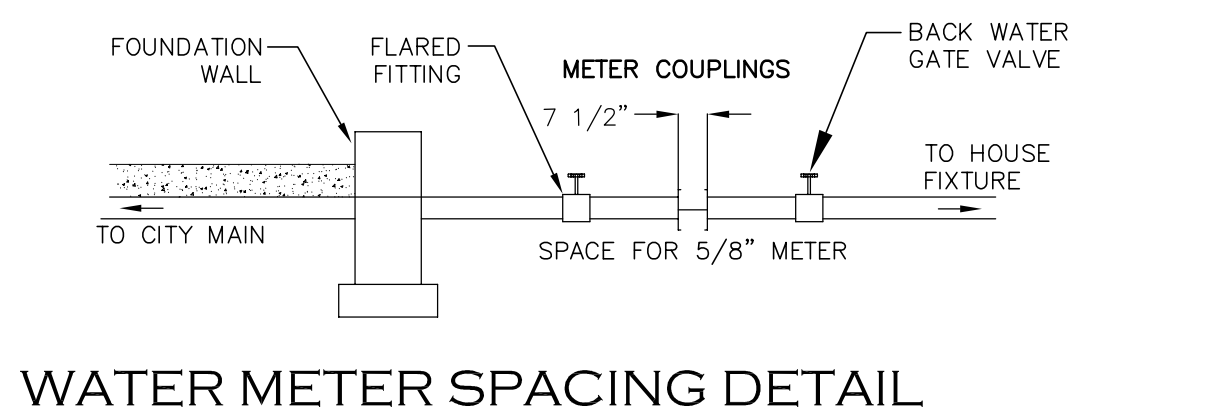
171-173 HAROLD STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- CEMENT CONCRETE SIDEWALK
- SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- SPOTGRADE
- PROPOSED CONTOUR LINE
- GRADE TO DRAIN
- LEACHING BASIN
- WATER GATE
- CLEAN OUT
- ROOF DRAIN
- TRENCH DRAIN

- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 - ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



LEACHING BASIN

INFILTRATION CALCULATIONS
174-176 HAROLD STREET

STORAGE VOLUME REQUIRED

1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
IMPERVIOUS SURFACE = 2,017 S.F.

REQUIRED STORAGE =
(1/12) FEET X 2,017 = 168.1 C.F.

PROVIDE 2--LEACHING BASIN 6'-DIA/4' DEEP
W/12" STONE ALL AROUND

STORAGE PROVIDED = 226.0 C.F. > 168.1 C.F.

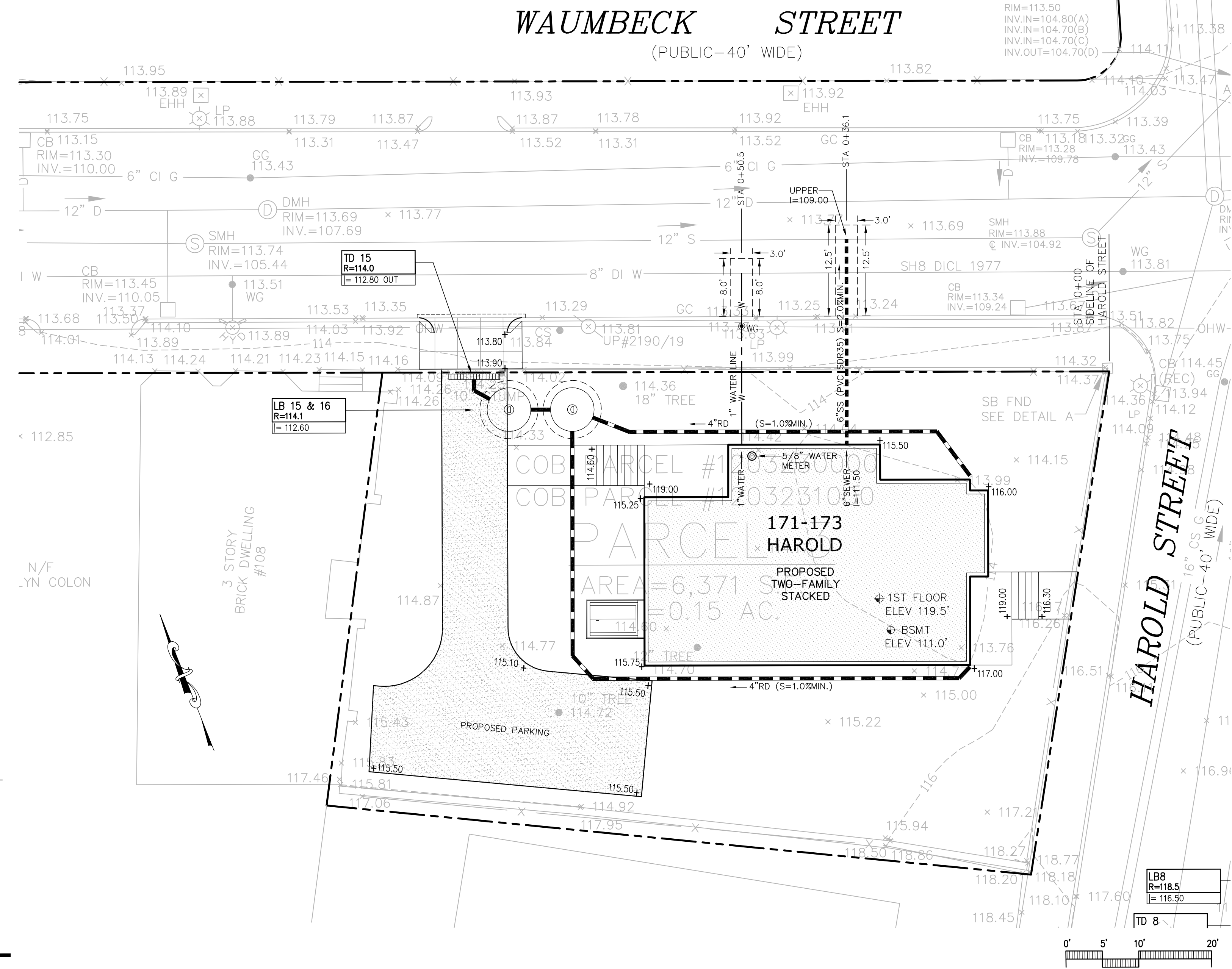
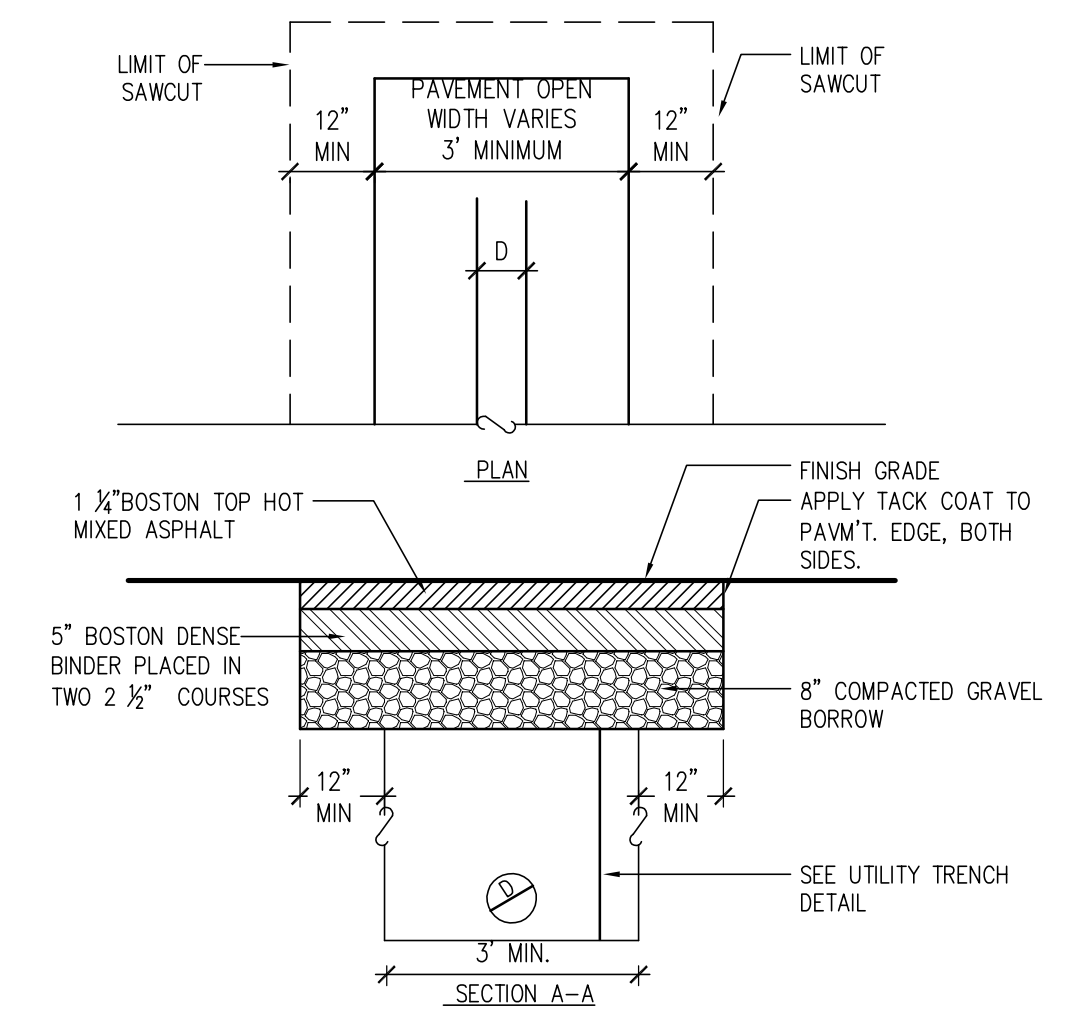
LAND USE CODE: "A" RESIDENTIAL
2-2 BEDROOMS (440 GPD)

BWSC INSPECTIONS:

(1) RECHARGE SYSTEM	BWSC INSPECTOR	DATE
(2) 6" SEWER LINE	BWSC INSPECTOR	DATE
(3) 1" WATER LINE	BWSC INSPECTOR	DATE
(4) TRENCH DRAIN	BWSC INSPECTOR	DATE
(5) DYE TEST	BWSC INSPECTOR	DATE

- Ward/Parcel: 12/3230-3231
- Property Location: 171-173 HAROLD STREET
- Neighborhood: Roxbury
- Site Zip: 02119
- Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
- Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
- Owner Telephone No.: 617.445.5100
- Type of Premise: Residential Development
- New Account:

FOR BOSTON WATER SEWER USE ONLY



DZI Land Planning, Civil Engineering, Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein Inc.

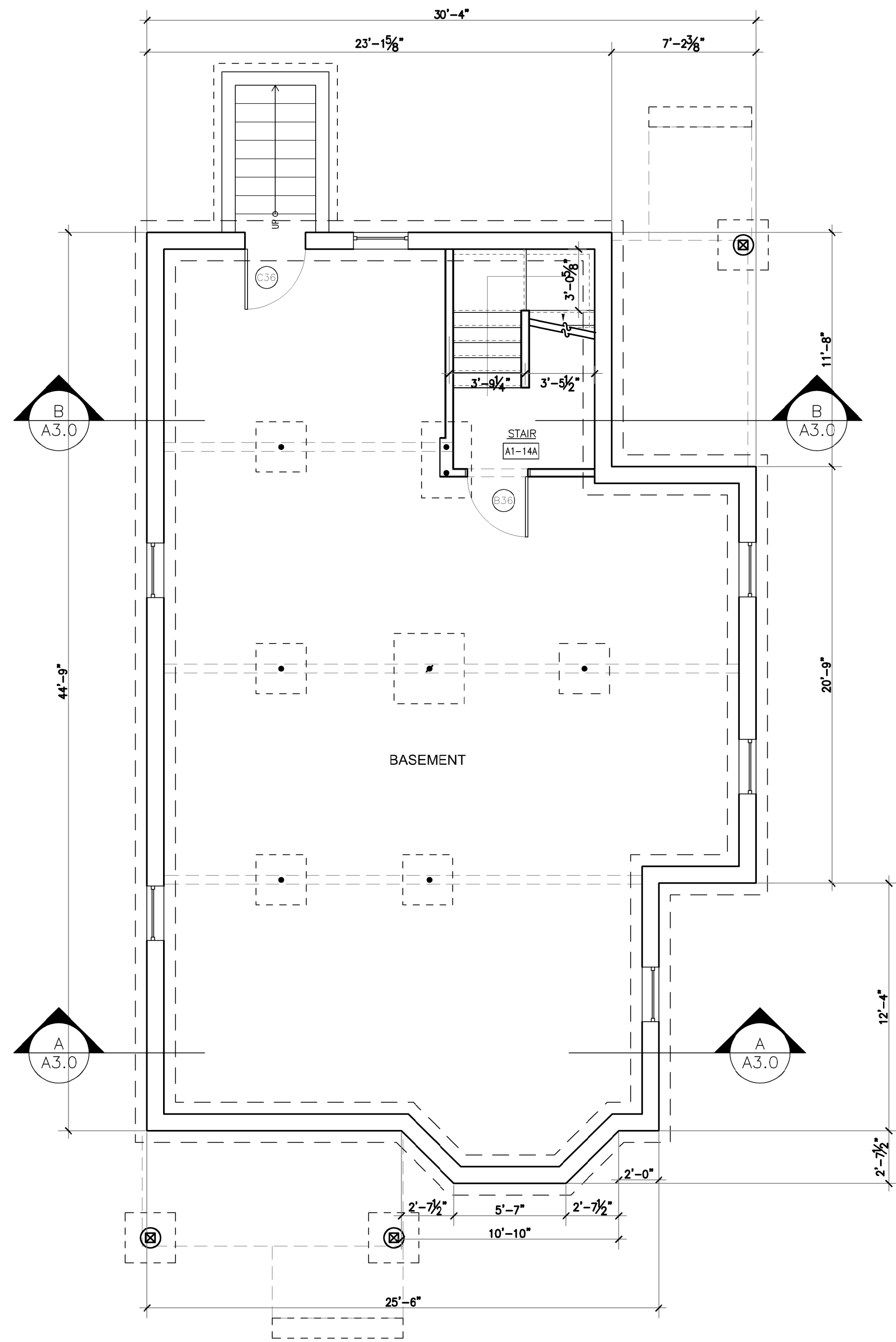
10.06.16 PER BSWC COMMENTS

UTILITY PLAN AND DETAILS

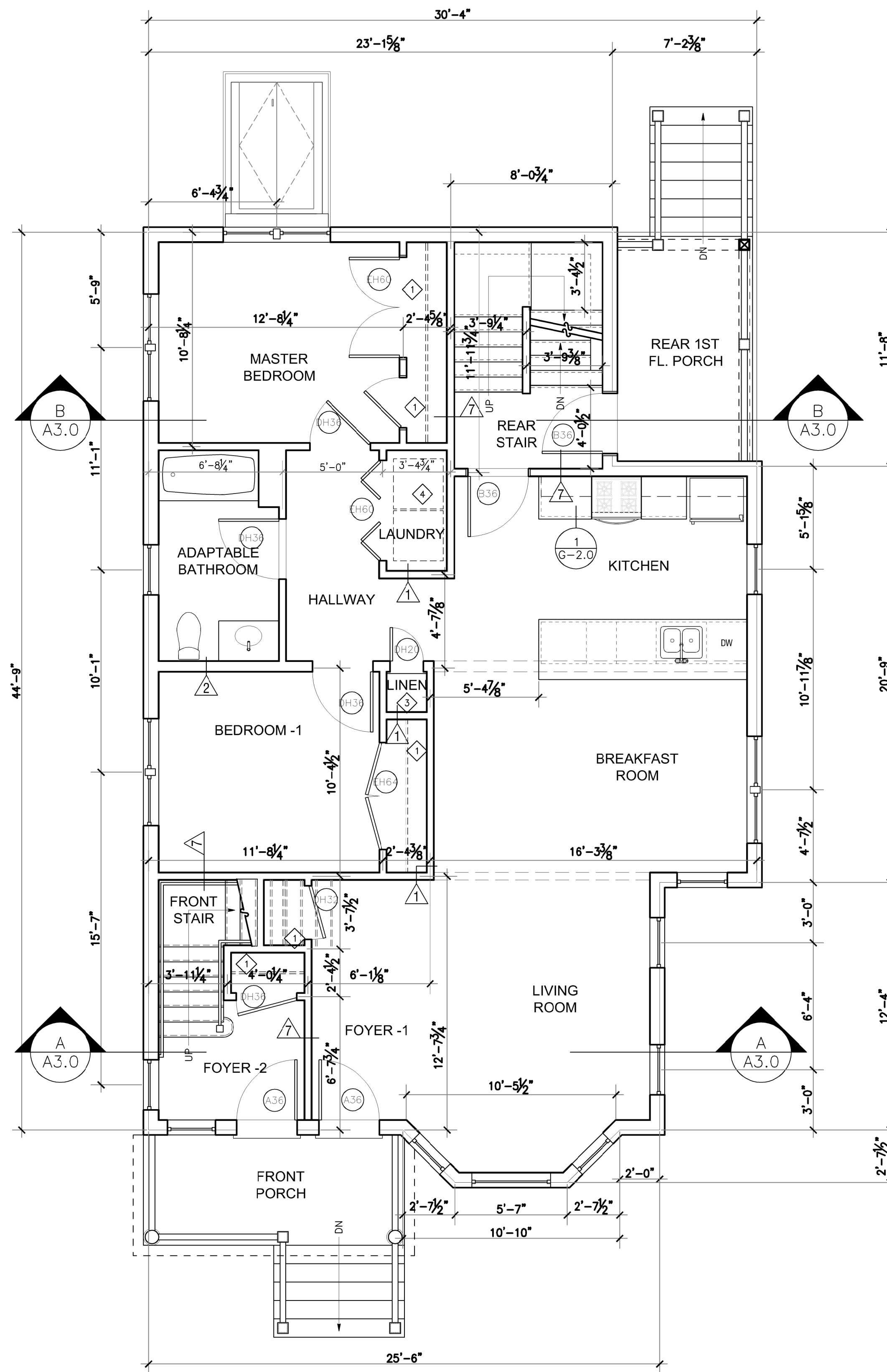
SITE PLAN # 16399

SCALE:	1" = 10'
JOB:	2G1S-262
FILE:	2G1S-262-GU
DRAWN:	IAZ
CHECKED:	
DATE:	08.16.16

C-1

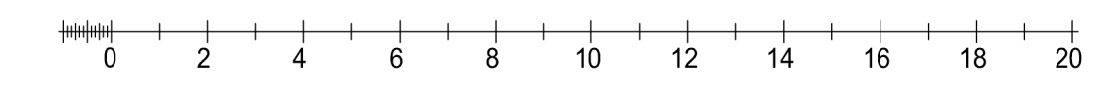


UNIT TYPE B2
 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



UNIT TYPE B2
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
 ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- a) Provide solid wood blocking in walls for future grab bars in all both tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- 1 Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - 2 Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
 - 3 Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
 - 4 16" MDF shelf over laundry
 - 5 Provide aluminum transition strip between flooring materials
 - 6 Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - 7 Bituthane roof underlay at eaves, valleys, and dormer side walls



Garrison Trotter II
 Homes
 Unit Type-B2
 171-173 Harold Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

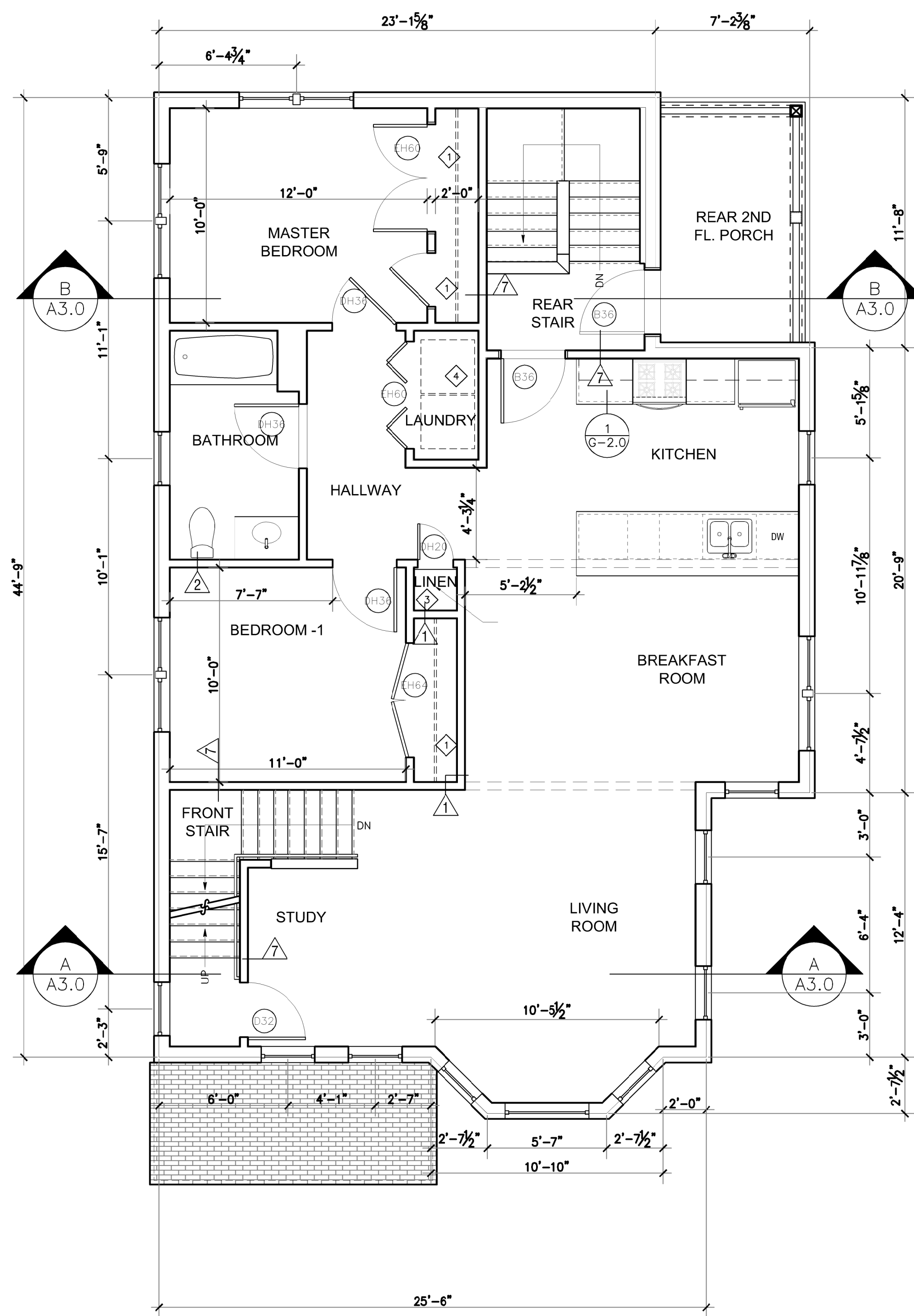
Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

**Basement
 & 1st Floor
 Plans**

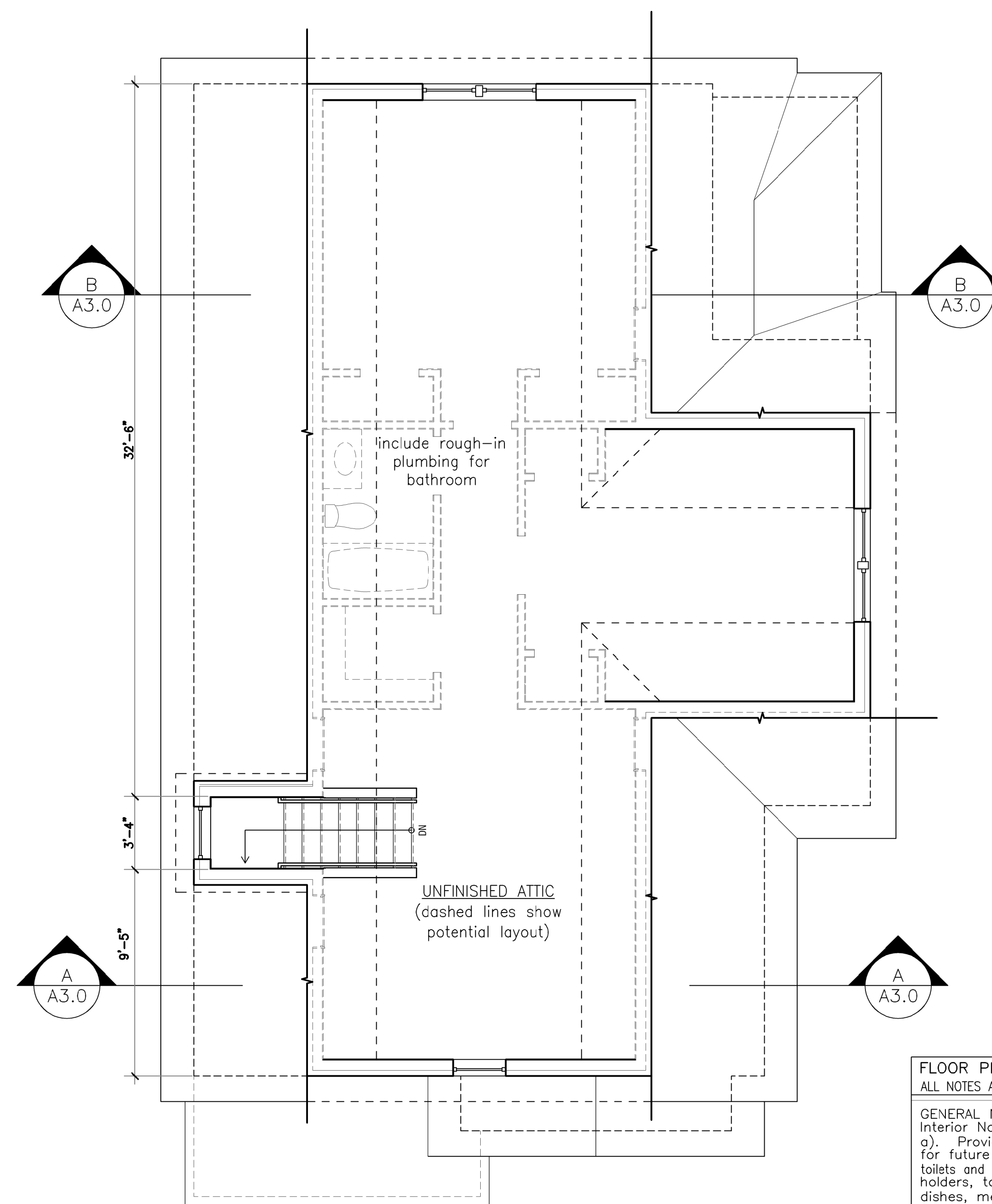
Job Ref:	FrBills-NMain
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	
#	--

A-1.0



UNIT TYPE B2
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



UNIT TYPE B2
THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.

GENERAL NOTES: See G-2.0 for General Interior Notes.

a). Provide solid wood blocking in walls for future grab bars in all bath tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).

◊ Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.

◊ Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor.

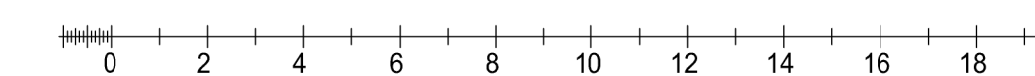
◊ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.

◊ 16" MDF shelf over laundry

◊ Provide aluminum transition strip between flooring materials

◊ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain

◊ Bituthane roof underlay at eaves, valleys, and dormer side walls



Garrison Trotter II
Homes
Unit Type-B2
171-173 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

2nd Floor &
Attic Plans

Job Ref: FrBills-NMain

Scale: (11x17 - use graphic scale)

Drawn By:

Date: Oct 14, 2016

Revisions:

NO.	DESCRIPTION

Garrison Trotter II
Homes
Unit Type-B2
171-173 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

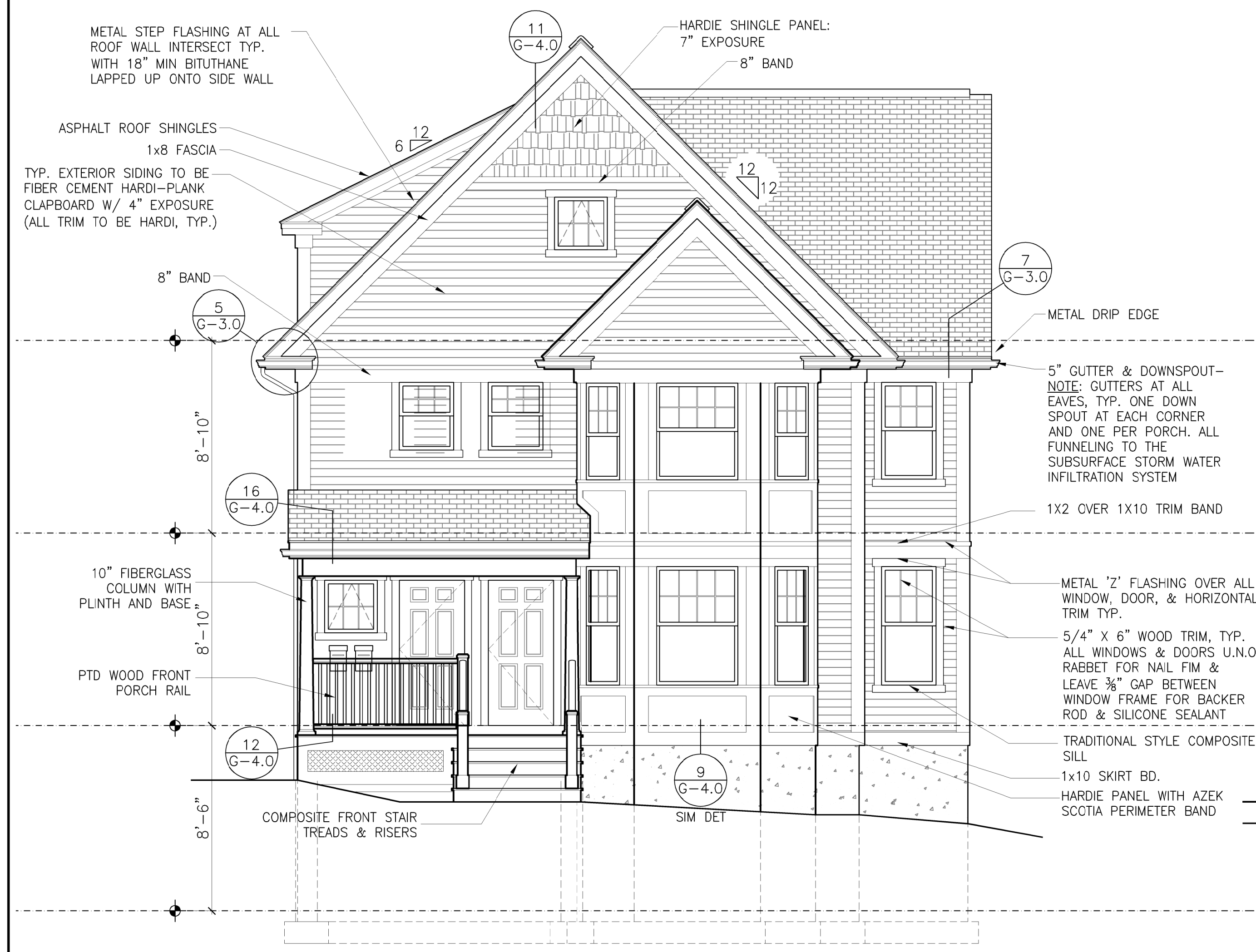
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Front &
Right
Elevations**

Job Ref: FrBills-NMain
Scale: (11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

A-2.0



1 EXTERIOR ELEVATION - FRONT
1/4" = 1'-0"



2 EXTERIOR ELEVATION - RIGHT
1/4" = 1'-0"

Garrison Trotter II
Homes
Unit Type-B2
171-173 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

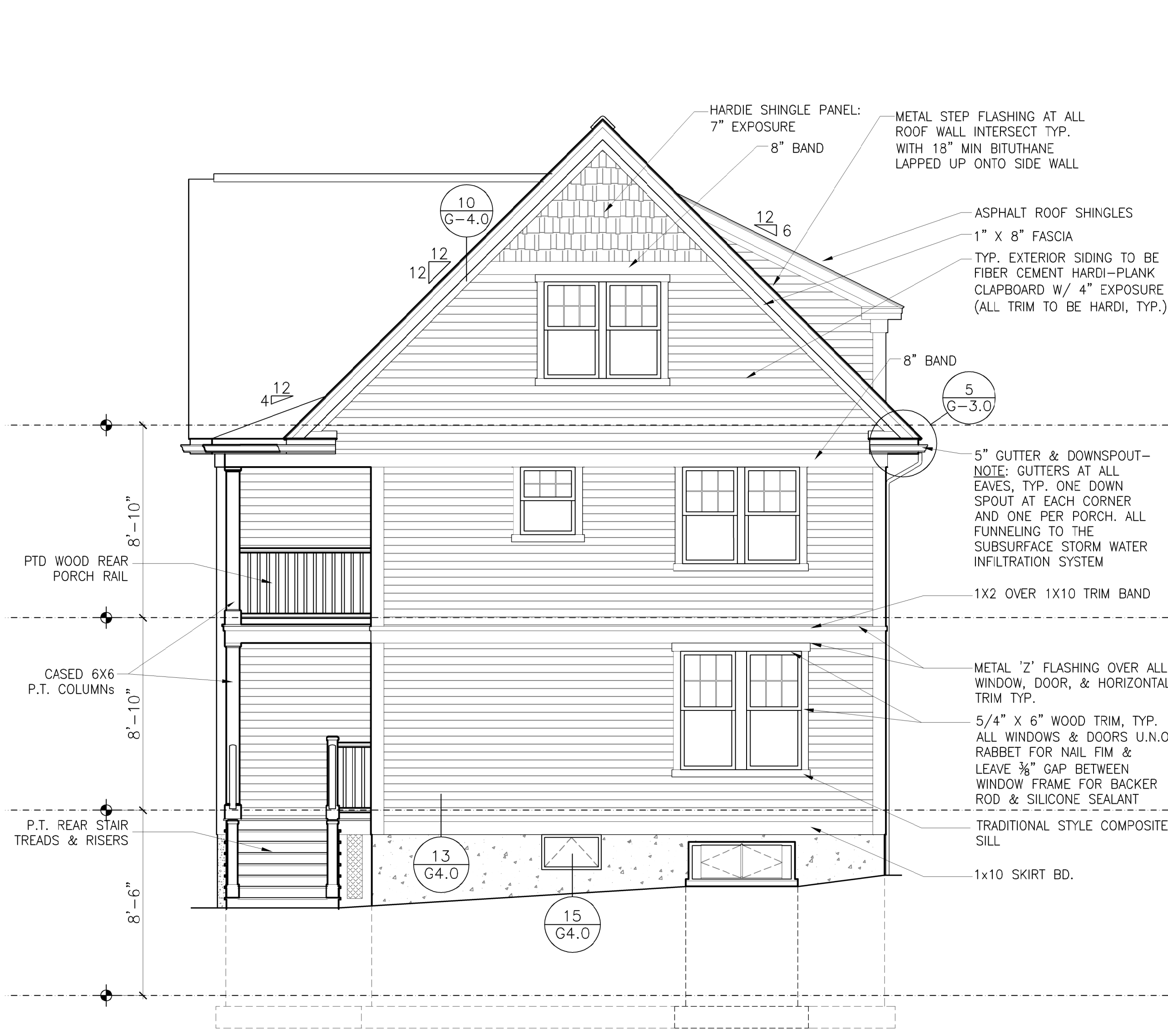
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

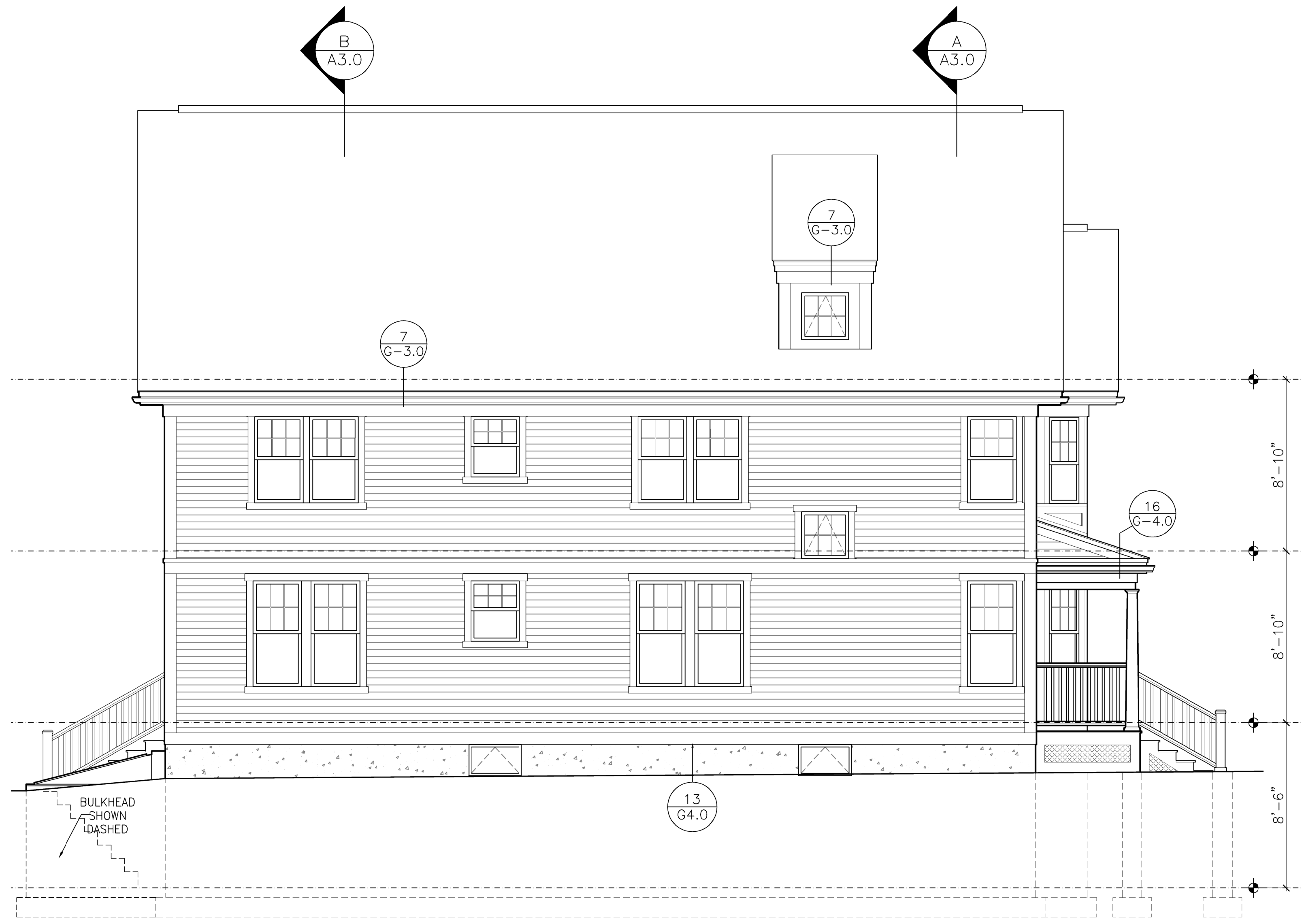
**Rear & Left
Elevations**

Job Ref:	FrBills-NMain
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

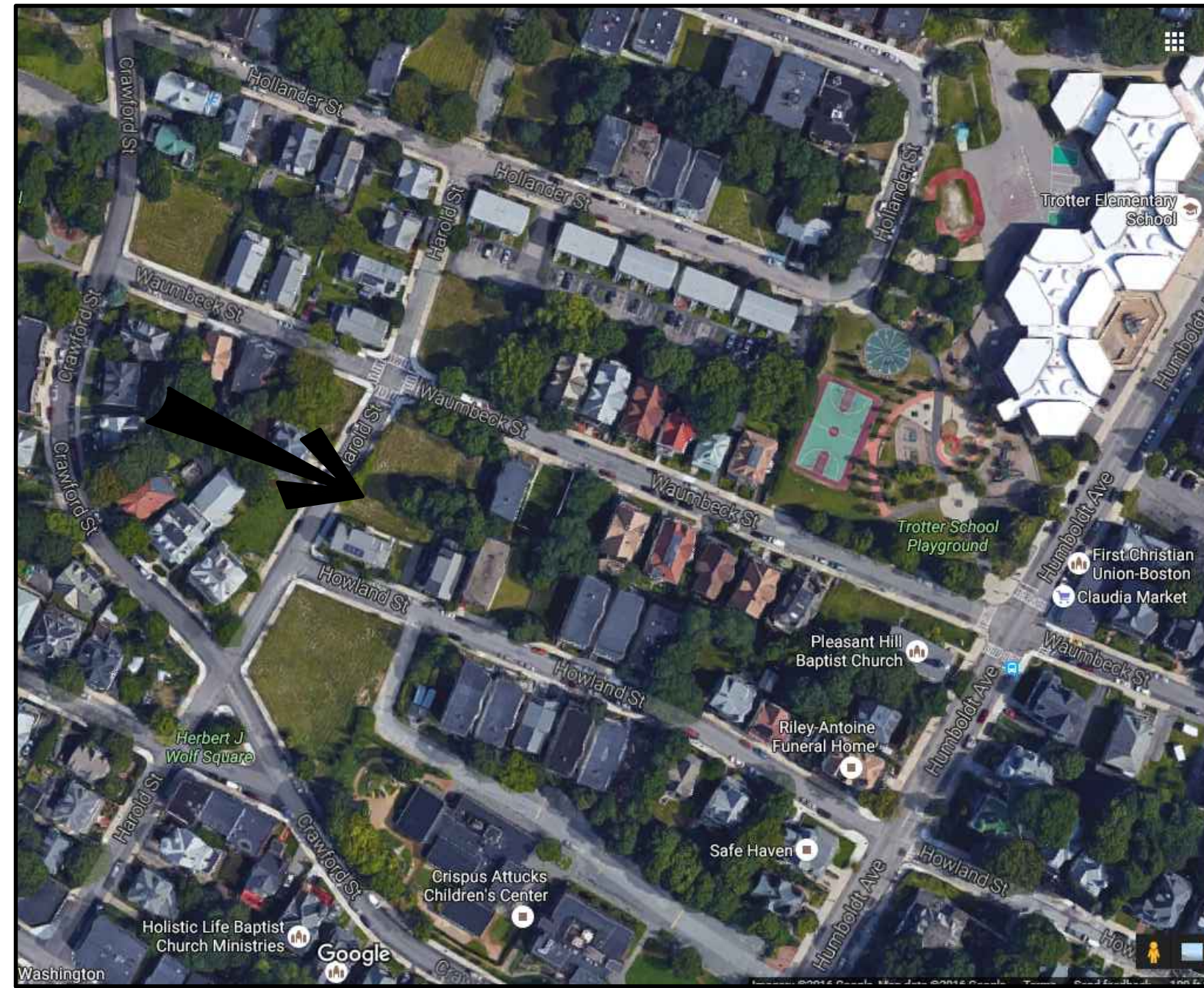
A-2.1



3 EXTERIOR ELEVATION - REAR
1/4" = 1'-0"



4 EXTERIOR ELEVATION - LEFT
1/4" = 1'-0"




Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 174-176 Harold Street, Roxbury, MA

Garrison Trotter II
 Homes
 174-176 Harold Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

 **ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

Cover & Index

- C1 Utility Plans & Details**
- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Attic Plans**
- A-1.2 Roof Framing Plan**
- A-2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
- S-1.2 Attic & Roof Framing Plans**

- AE-1.0 Basement Electric Layout Plan, Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

- G-1.0 Symbols, Abbreviations, Systems, & General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

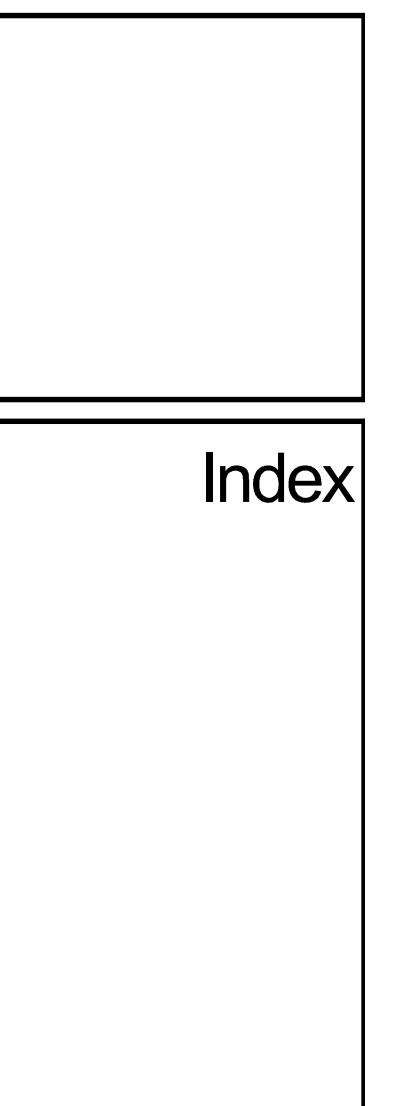
ZONING ANALYSIS		
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
174-176 HAROLD ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	
USE: TWO-FAMILY STACKED DWELLING	(ALLOWED PER ARTICLE 50 TABLE B FOOTNOTE 3.)	NONE
BUILDING FOOTPRINT: 1396 SQFT	GROSS FLOOR AREA: 2792 SQFT	NONE
LOT FRONTAGE: 45'-0" (REQUIRED)	46'-0" (PROPOSED)	NONE
LOT WIDTH: 45'-0" (REQUIRED)	45'-6" MIN. (PROPOSED)	NONE
LOT SIZE: 4000 SQFT (REQUIRED)	4391 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.64 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/43.5' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE
REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:		
174-176 HAROLD ROXBURY, MA		
STREET: HAROLD STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
180 HAROLD STREET	7'-2"(7')	45'-6"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0"	
PROPOSED SETBACK	7'-0"	

Civil Engineer:
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Land Surveyor:
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ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

Permit Set

174-176 HAROLD STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▨ CEMENT CONCRETE SIDEWALK
- - - SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- +100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB ⊙ LEACHING BASIN
- WG ⊙ WATER GATE
- ⊙ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN



DZI Land Planning, Civil Engineering, Landscape Architecture
 Po Box 307
 Foxborough, MA
 www.develliszrein.com
 tel. 508.473.4114

DeVellis Zrein Inc.

10.06.16 PER BWS COMMENT

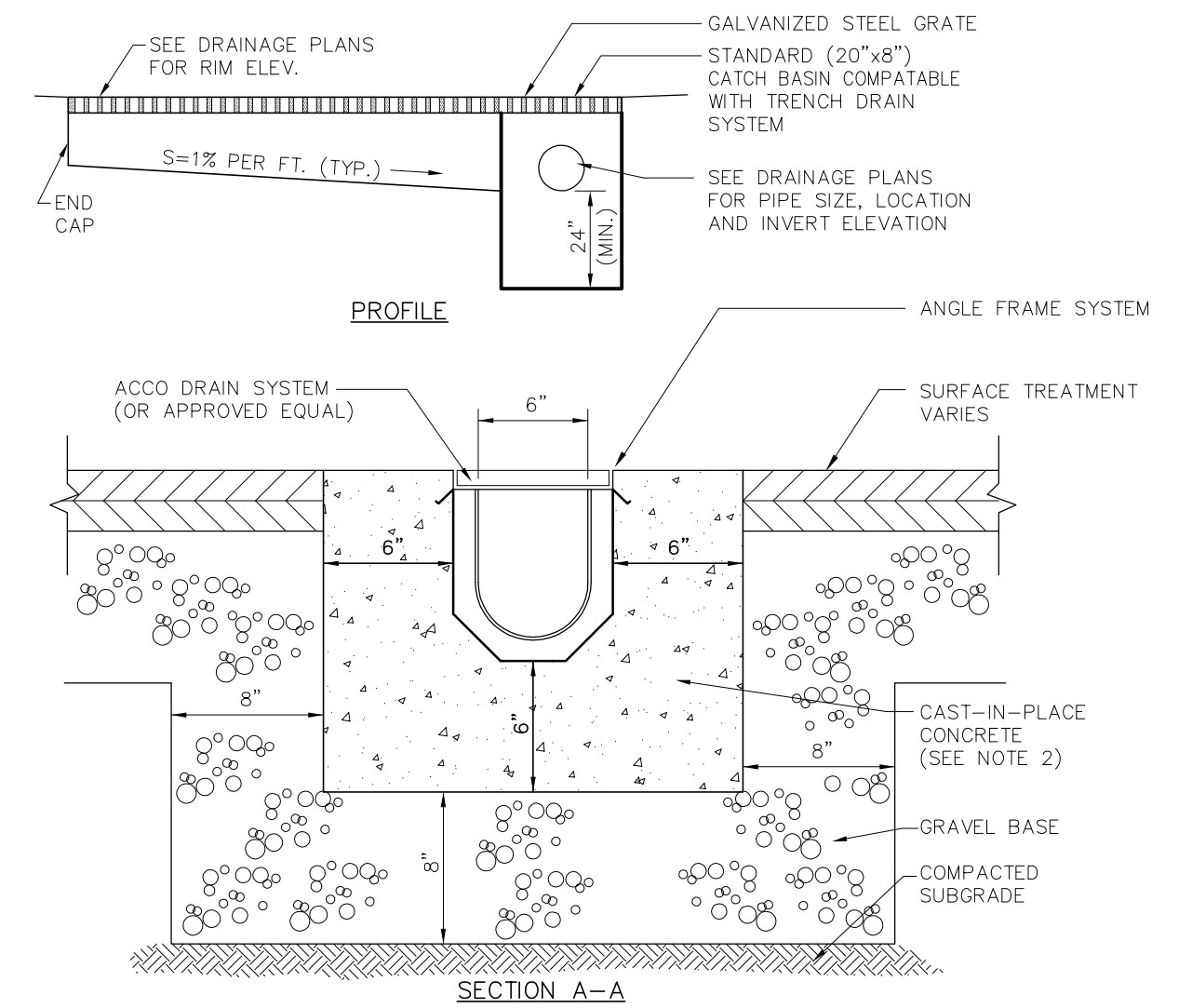
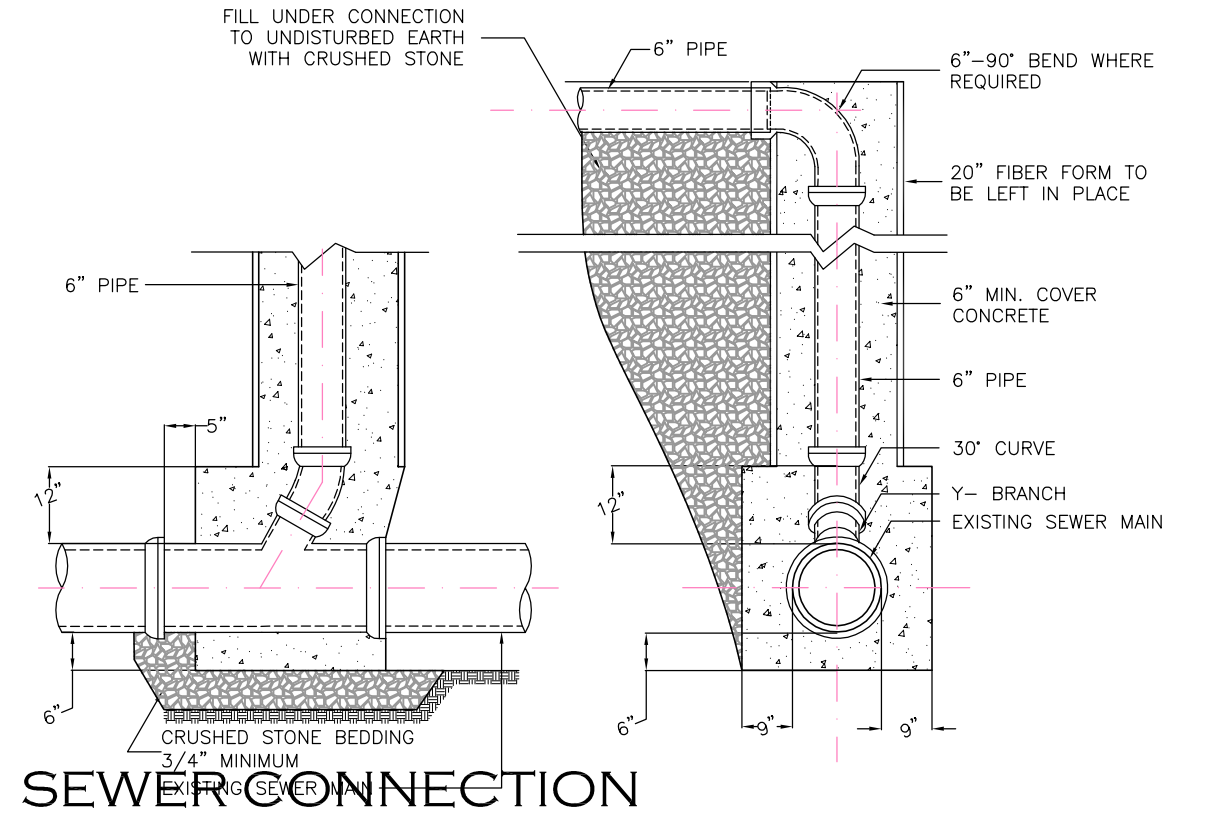
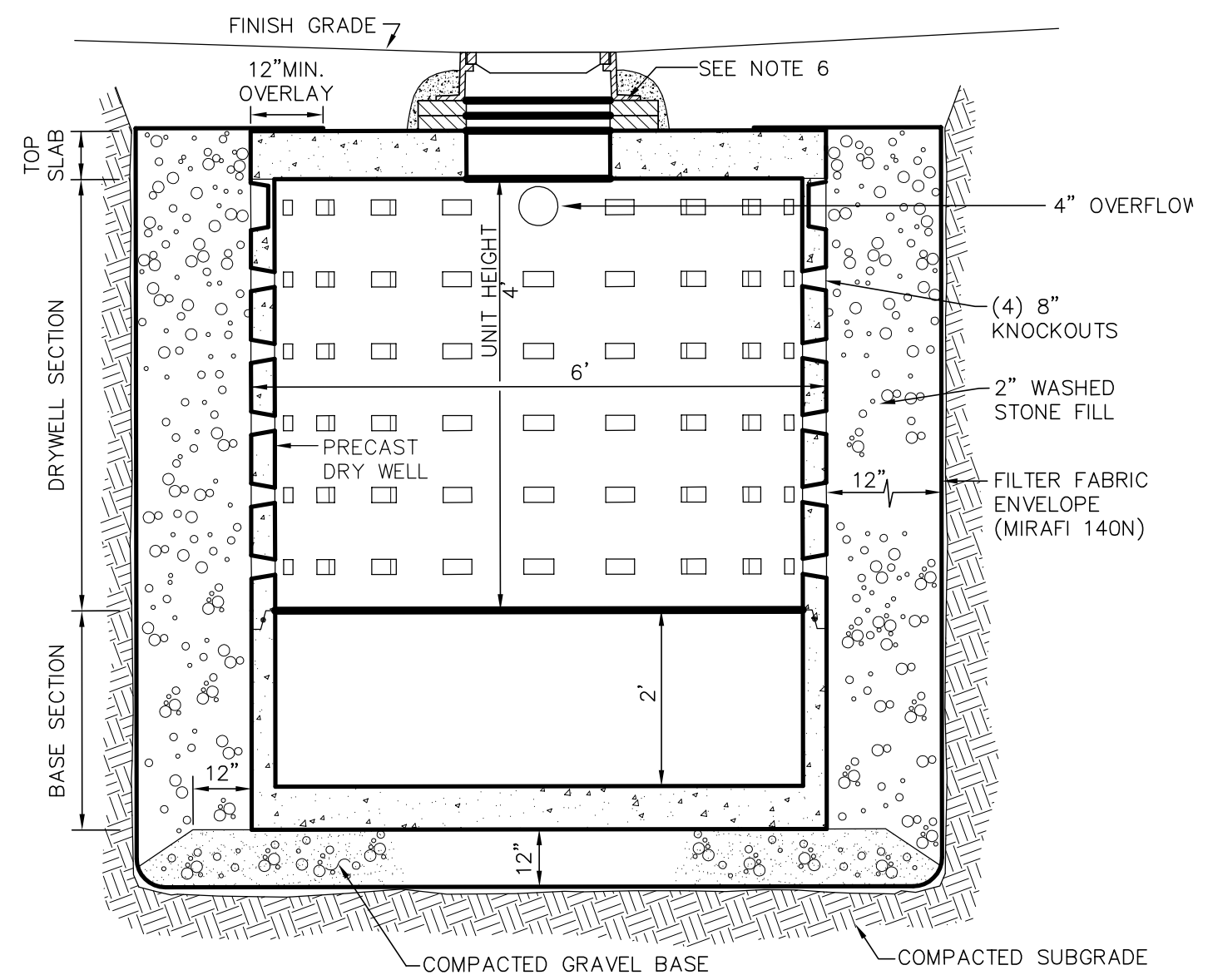
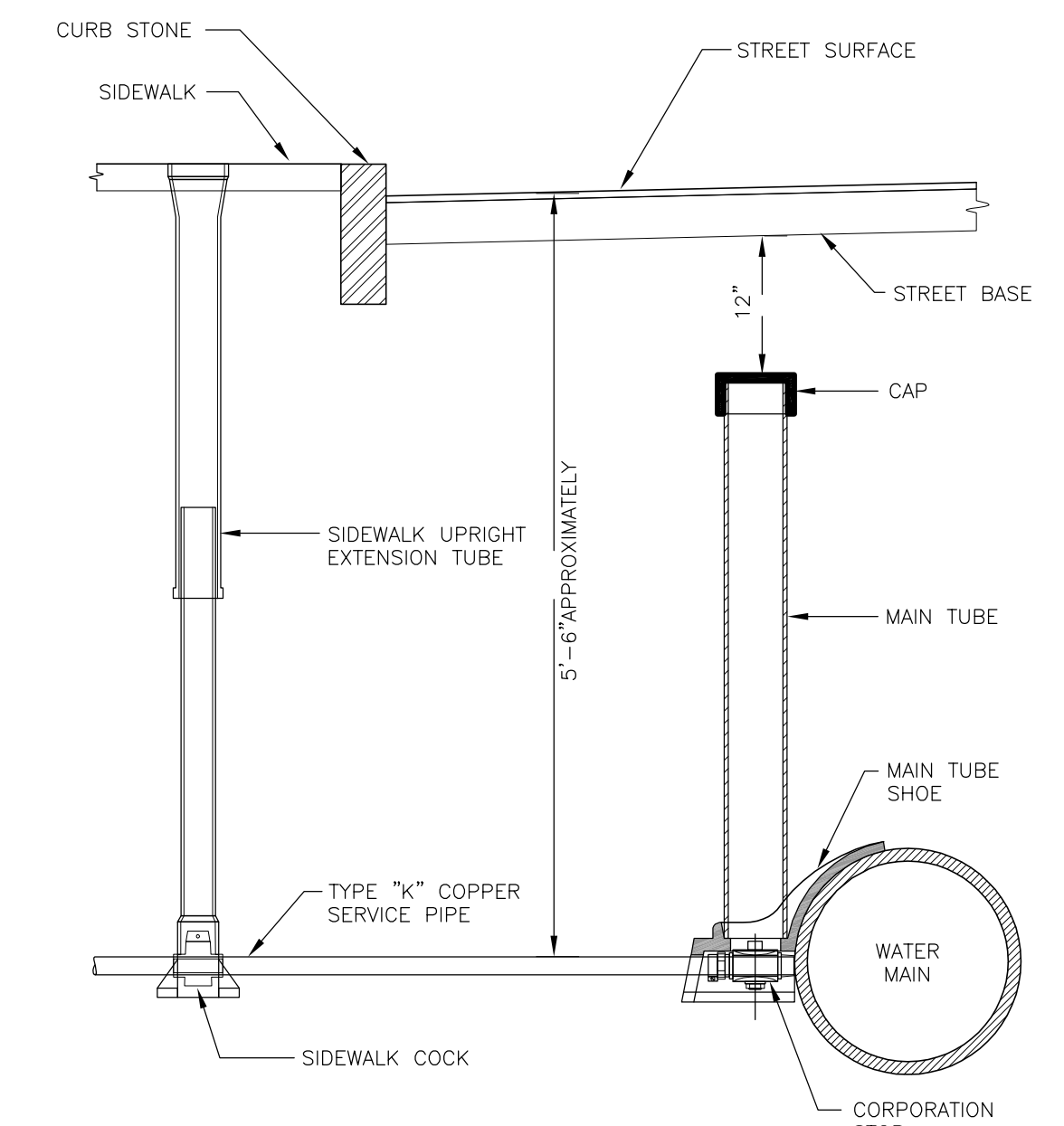
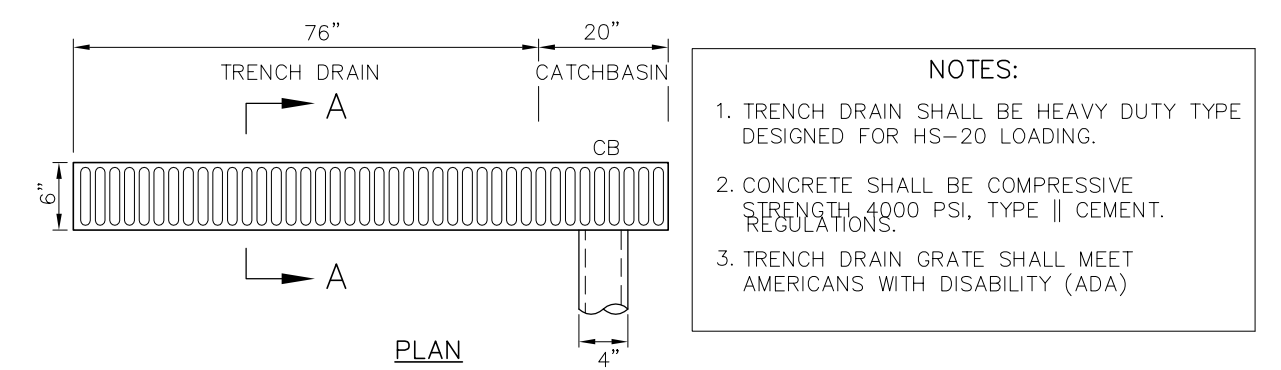
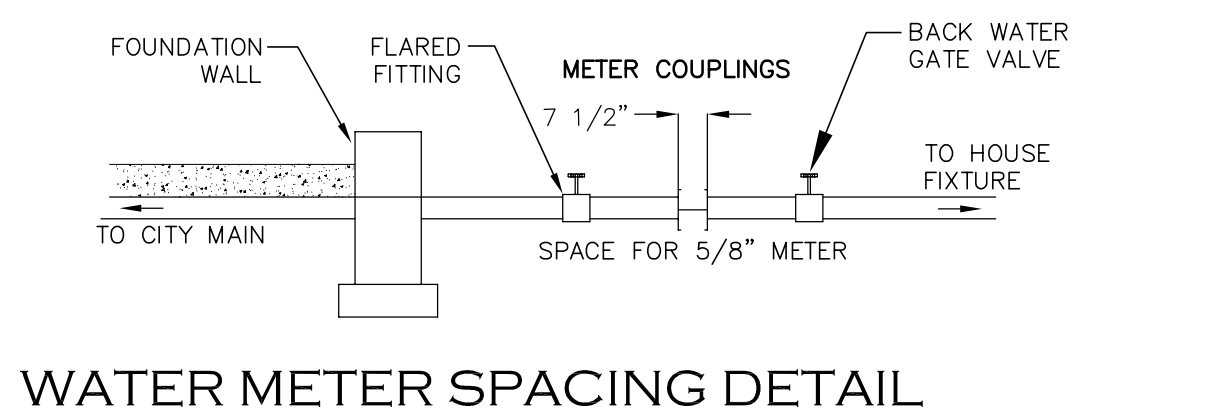
UTILITY PLAN AND DETAILS

SITE PLAN # 16400

SCALE: 1" = 10'
 JOB: 2G15-262
 FILE: 2G15-262-GU
 DRAWN: IAZ
 CHECKED:
 DATE: 08.16.16

C-1

- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



LEACHING BASIN

INFILTRATION CALCULATIONS

174-176 HAROLD STREET

STORAGE VOLUME REQUIRED
 1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
 IMPERVIOUS SURFACE = 2,017 S.F.
 REQUIRED STORAGE =
 (1/12) FEET X 2,017 = 168.1 C.F.
 PROVIDE 2-LEACHING BASIN 6'-DIA/4' DEEP
 W/12" STONE ALL AROUND
 STORAGE PROVIDED = 226.0 C.F. > 168.1 C.F.

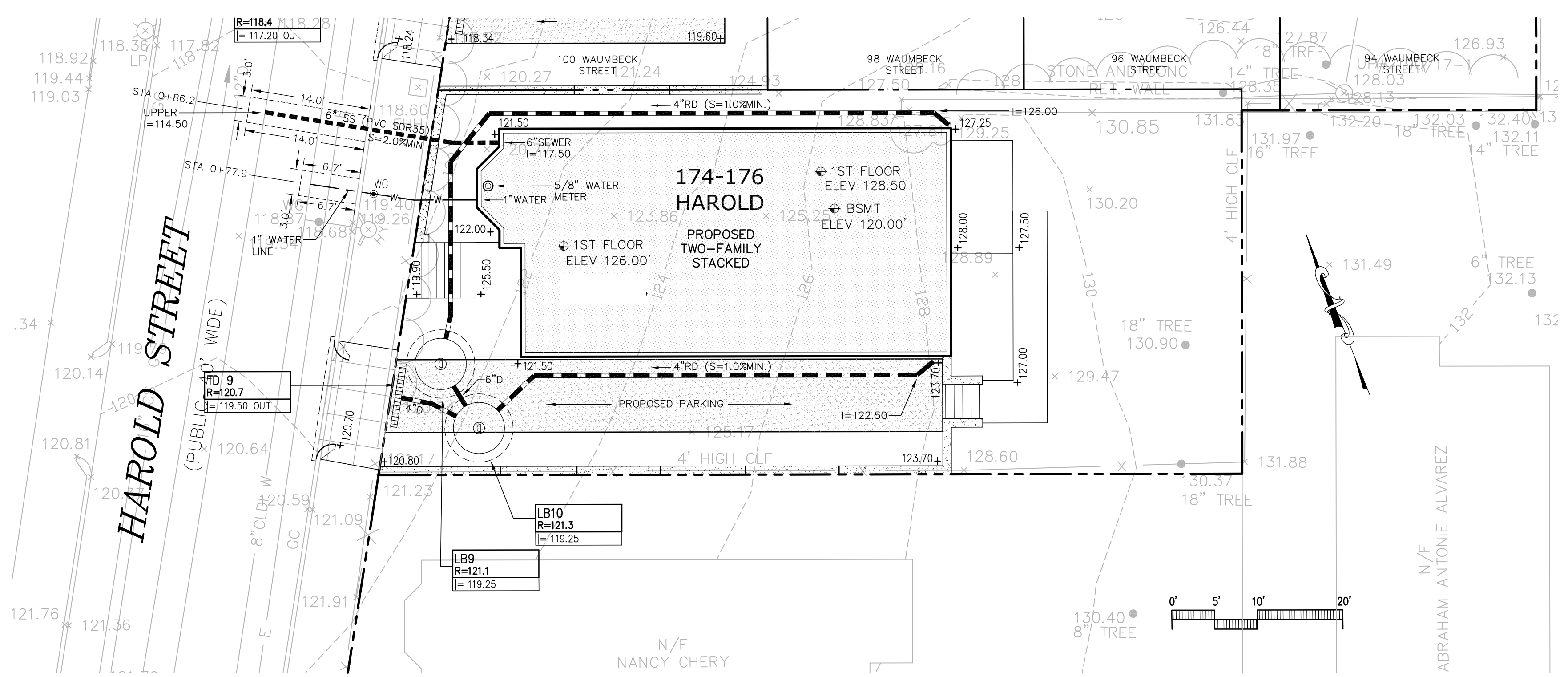
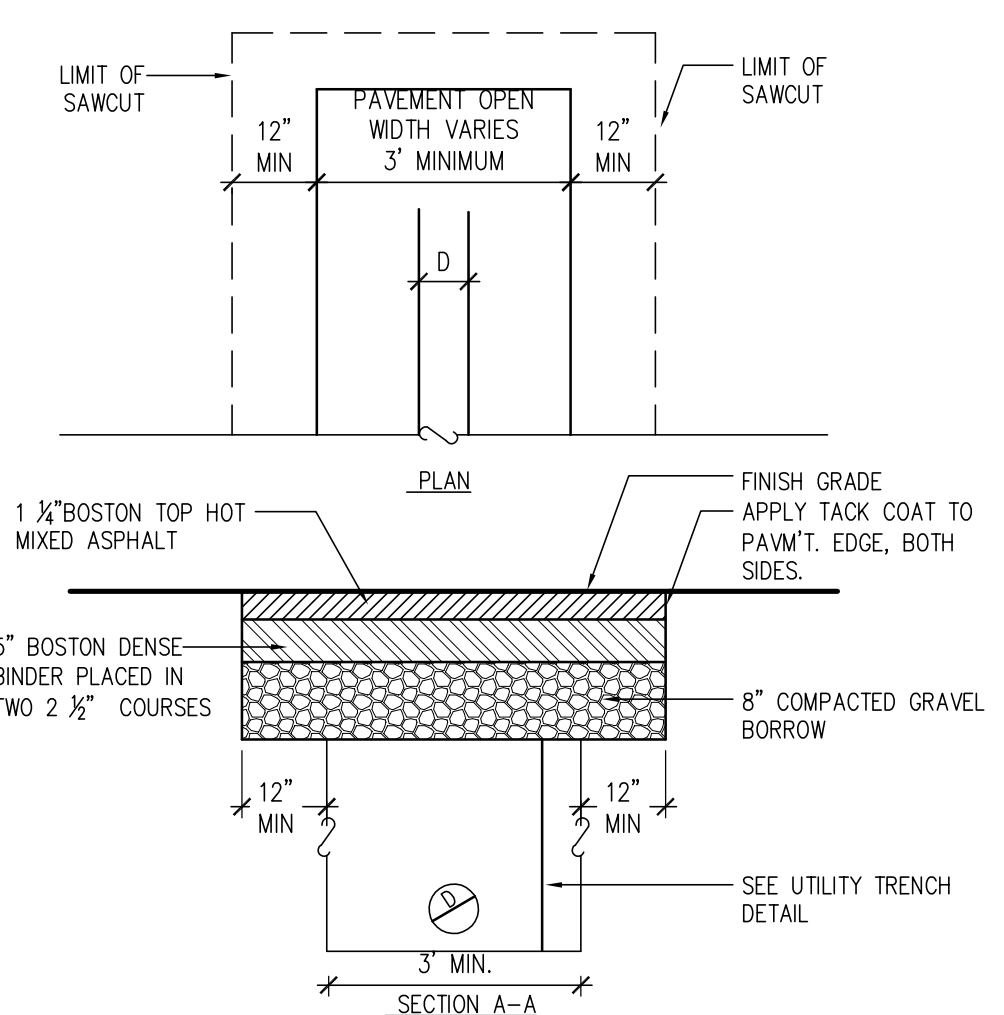
LAND USE CODE: "A" RESIDENTIAL
 2-2 BEDROOMS (440 GPD)

BWSC INSPECTIONS:

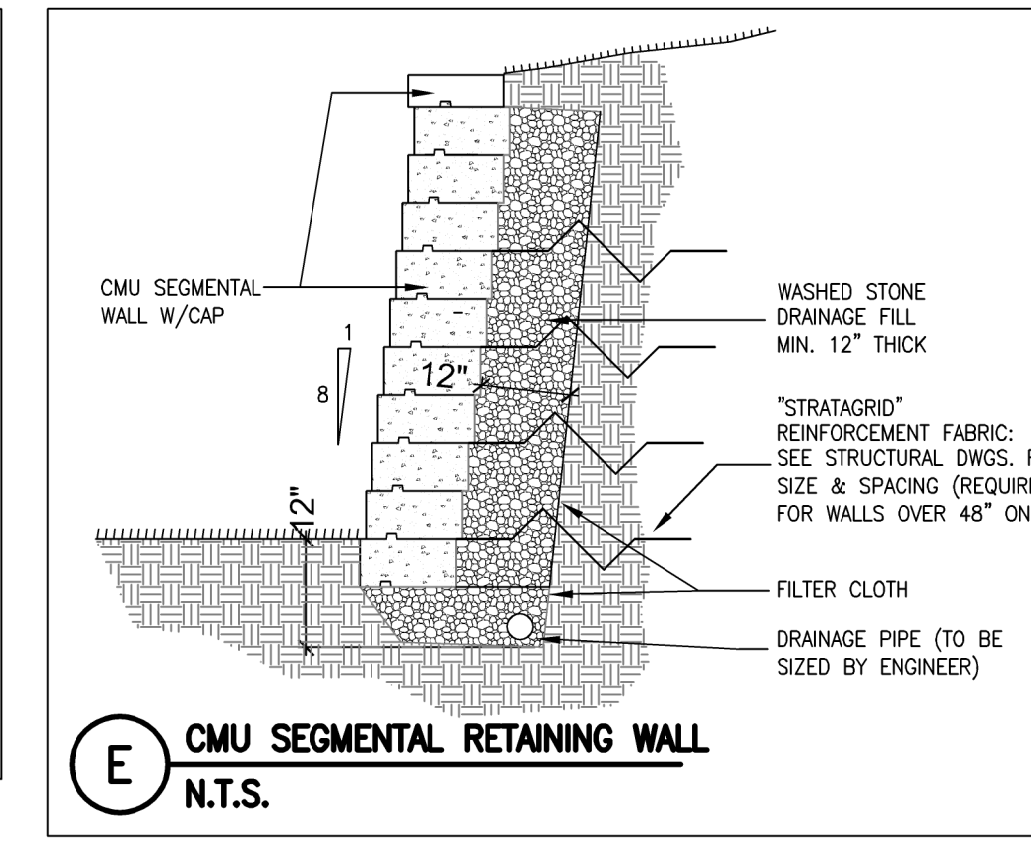
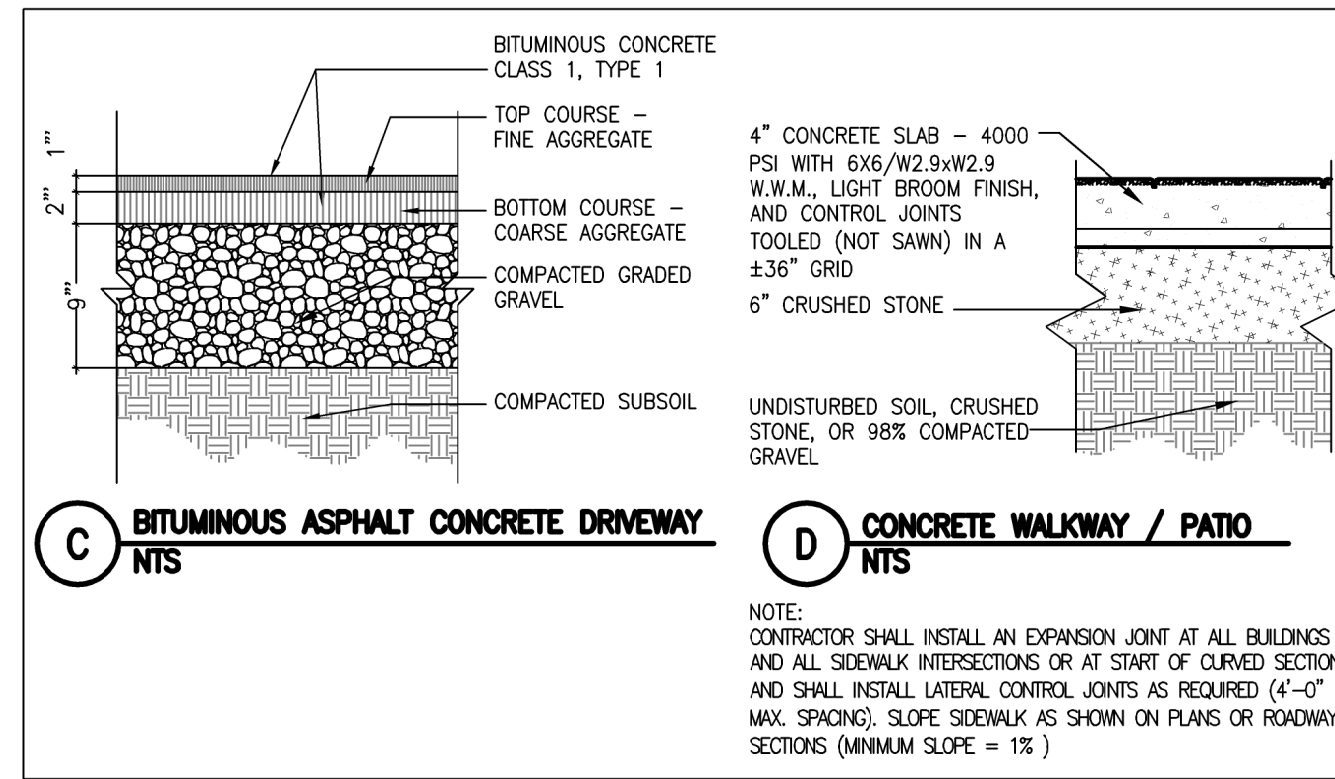
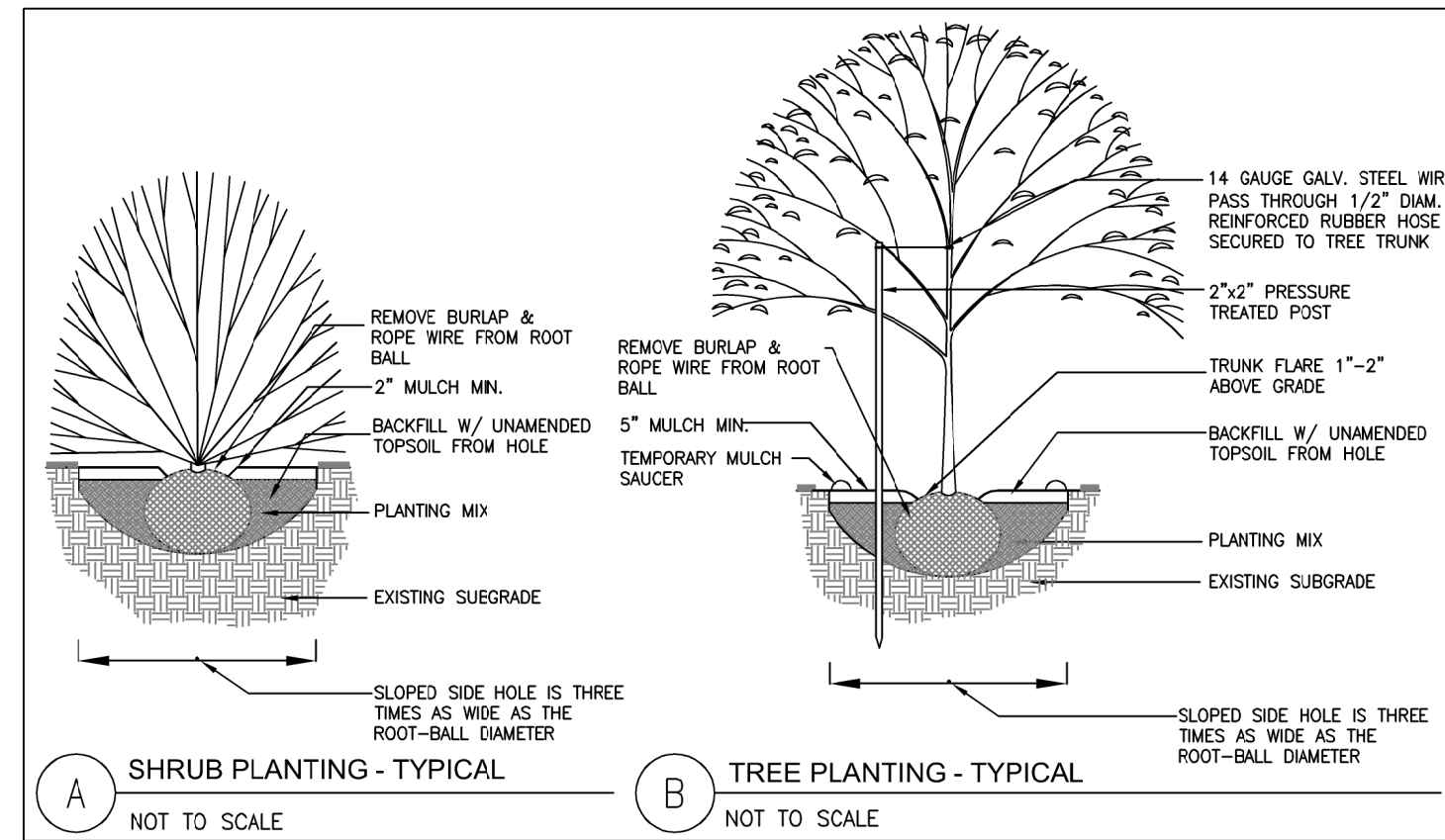
(1) RECHARGE SYSTEM	BWSC INSPECTOR	DATE
(2) 6" SEWER LINE	BWSC INSPECTOR	DATE
(3) 1" WATER LINE	BWSC INSPECTOR	DATE
(4) TRENCH DRAIN	BWSC INSPECTOR	DATE
(5) DYE TEST	BWSC INSPECTOR	DATE

1. Ward/Parcel: 12/3207
2. Property Location: 174-176 HAROLD STREET
3. Neighborhood: Roxbury
4. Site Zip: 02119
5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
7. Owner Telephone No.: 617.445.5100
8. Type of Premise: Residential Development
9. New Account:

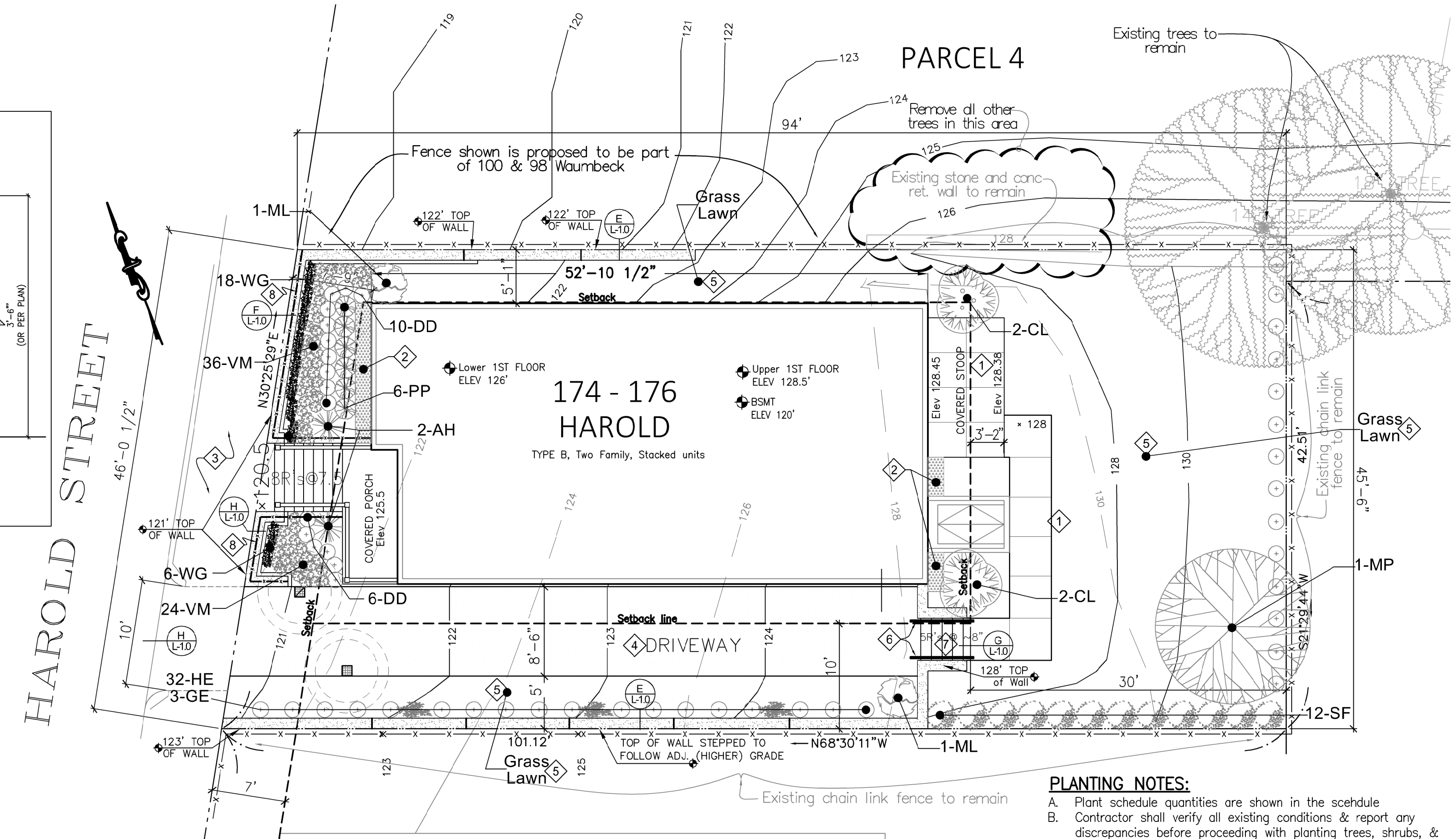
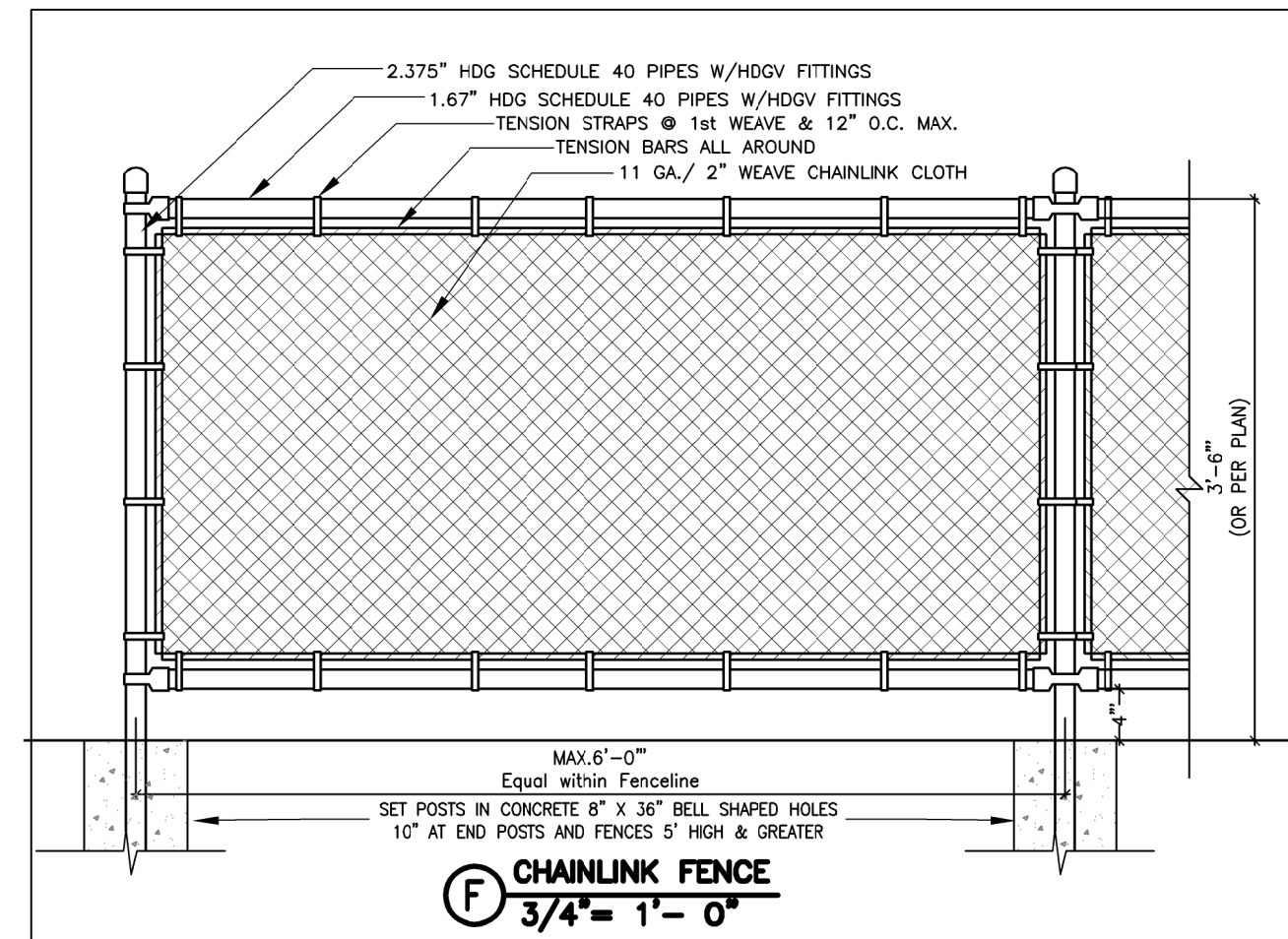
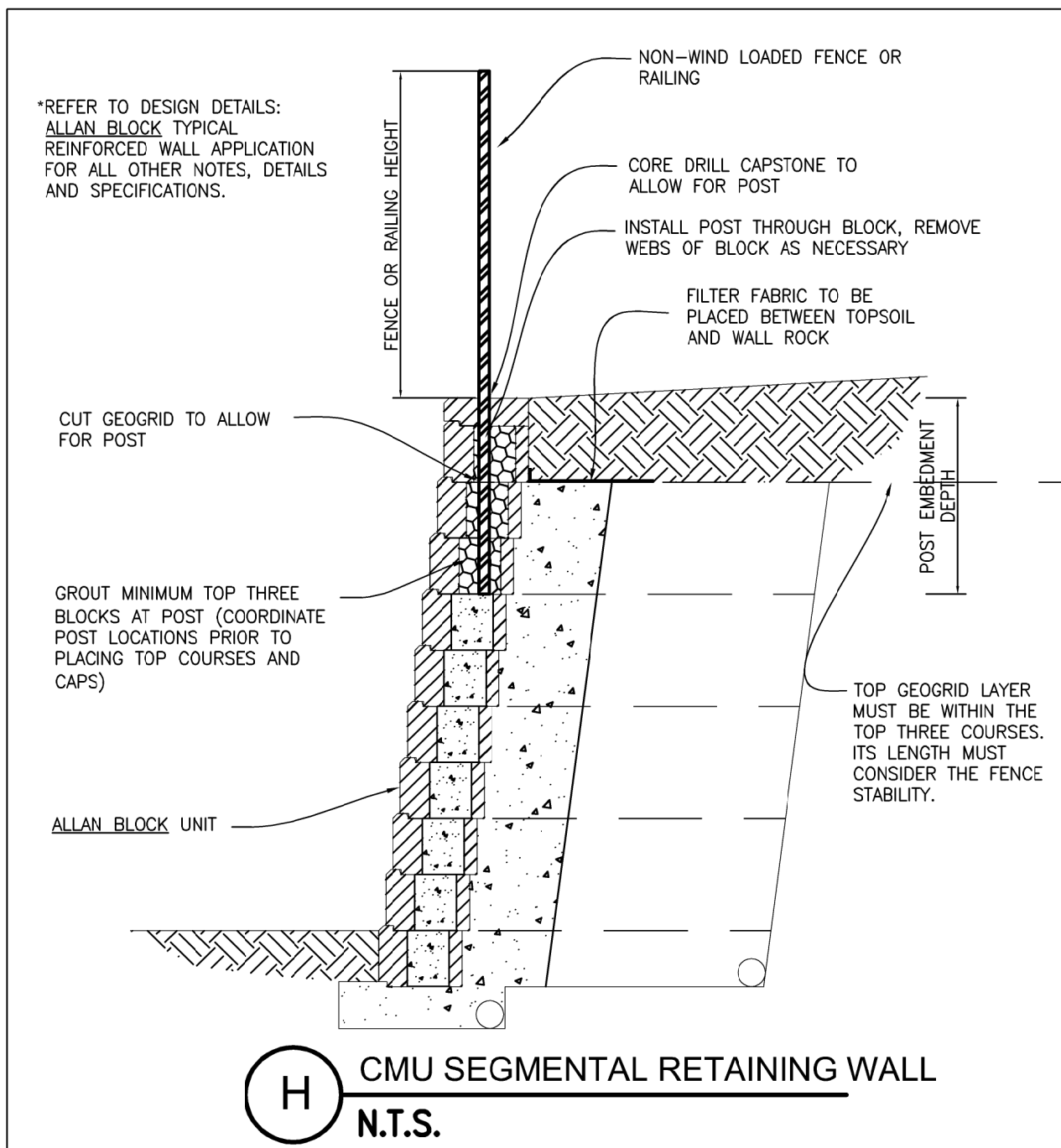
FOR BOSTON WATER SEWER USE ONLY



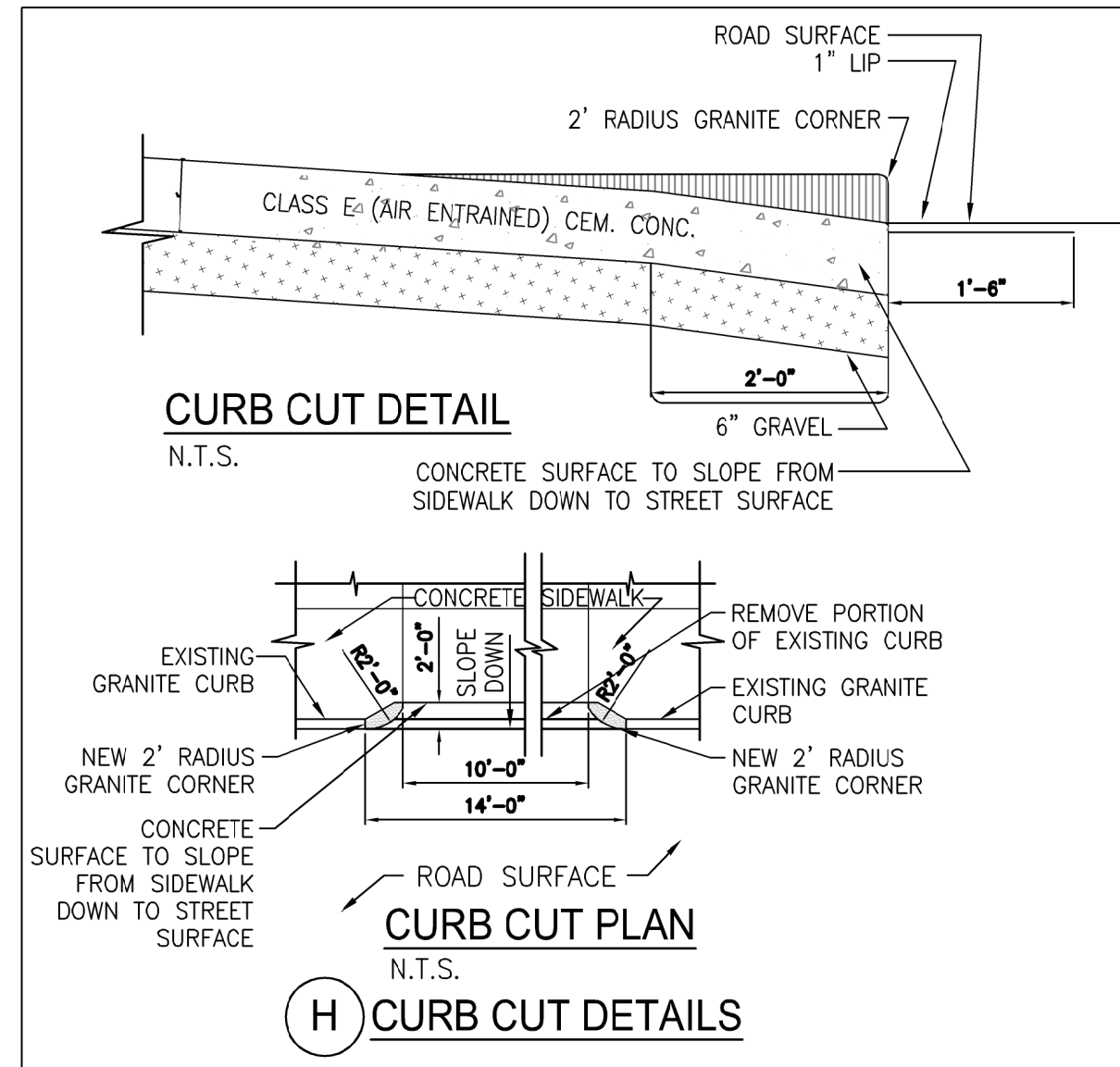
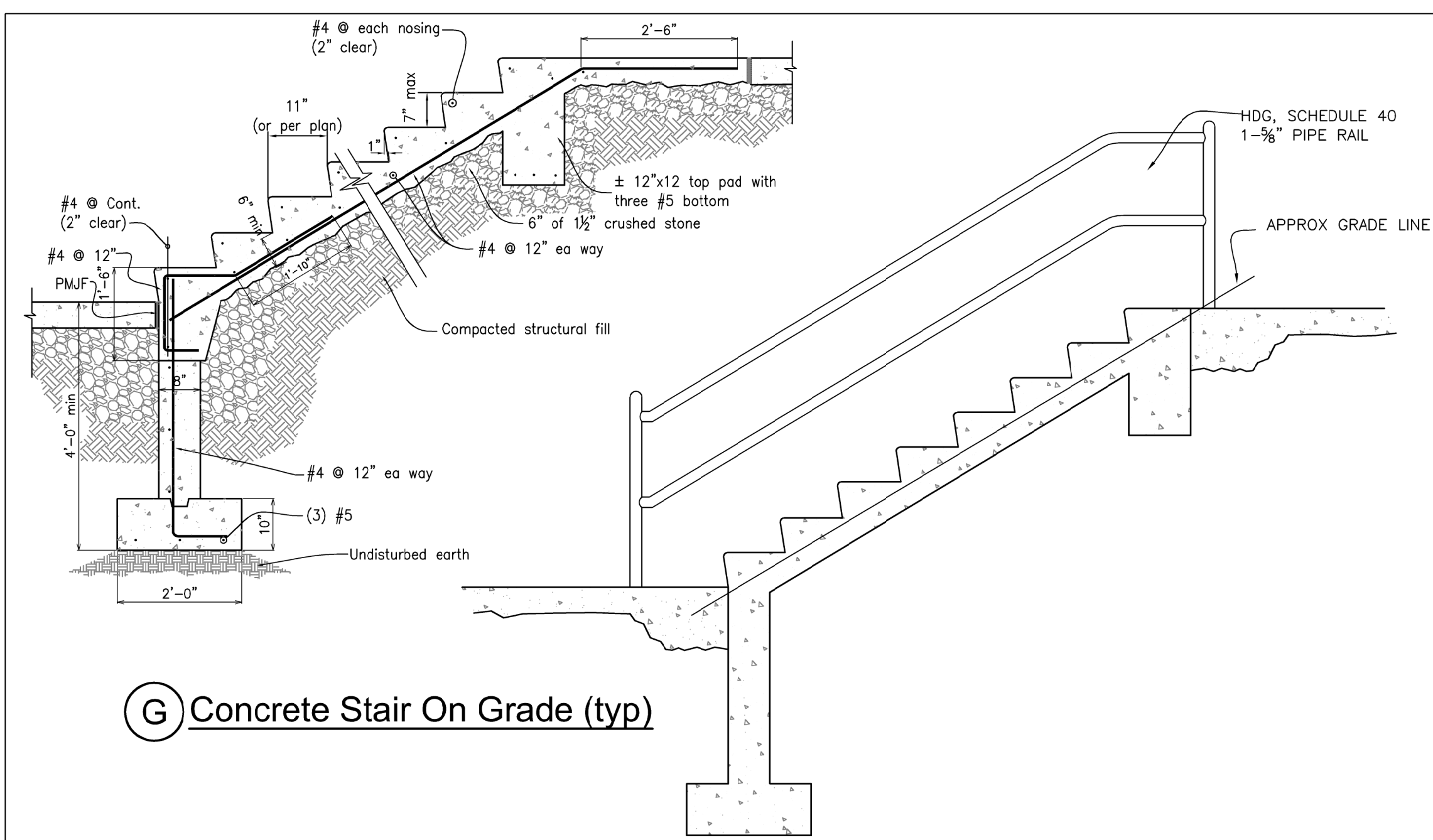
UTILITY PATCH



- SITE GENERAL NOTES**
- 4000 psi concrete walkways & patios with tooled controlled joints
 - 18" x 6" deep pea stone bed with non-woven Mirafi type landscape fabric & commercial grade plastic edging
 - Replace sidewalk cuts in-kind per City of Boston requirements as shown on C-1
 - Bituminous asphalt driveway
 - Hydro-Seed lawn mix over minimum 6" of loam
 - 1-5/8" HDGV, sched 40 pipe rail at 36" & 18" hgt.
 - Cast-in-place concrete stairs
 - 48" medium commercial grade, black vinyl coated, chain link fence



- PLANTING NOTES:**
- Plant schedule quantities are shown in the schedule
 - Contractor shall verify all existing conditions & report any discrepancies before proceeding with planting trees, shrubs, & vines.
 - Contractor shall notify resident engineer/ architect in writing if any existing utilities interfere in any way with proposed planting design.
 - Extreme care shall be taken to prevent damage to any existing trees. protect trees to remain with temp. construction fence at drip line. when roots interfere with installation, contractor shall bring it to the attention of the architect before proceeding.
 - All planting beds & tree bases to be overlaid with mulch.



PLANTING SCHEDULE:

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING/COMMENTS
TREES					
ER	1	Cercis Canadensis	Eastern Redbud	2-2.5" CAL	B&B
SHRUBS					
SF	10	Forsythia x intermedia	"Sunrise" Forsythia	18-24"	40" O.C.
CL	4	Syringa vulgaris	Common Lilac	3 gal	as shown
ML	2	Kalmia Latifolia	Mountain Laurel	3 gal	as shown
GE	3	Euonymus japonicus 'Aureo-marginatus'	Golden Euonymus	18-24"	as shown
AH	2	Ilex Opaca Female	American Holly	4" - 5"	as shown
PP	10	Potentilla 'Pink Beauty'	Shrubby Cinquefoil	3 GAL	as shown
PERENNIALS, GRASSES & GROUNDCOVERS					
DD	16	Hemerocallis 'Stella de Oro'	Dwarf Daylily	1 GAL	16" O.C.
HE	32	Hosta sieboldiana 'Elegans'	Hosta	1 GAL	36" O.C.
VM	60	Vinca Minor	Periwinkle	4" pot	12" O.C.
WG	24	Aubrieta	Whitewell Gem	6"	12" O.C.

Garrison Trotter II
Homes
Unit Type-B
174-176 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

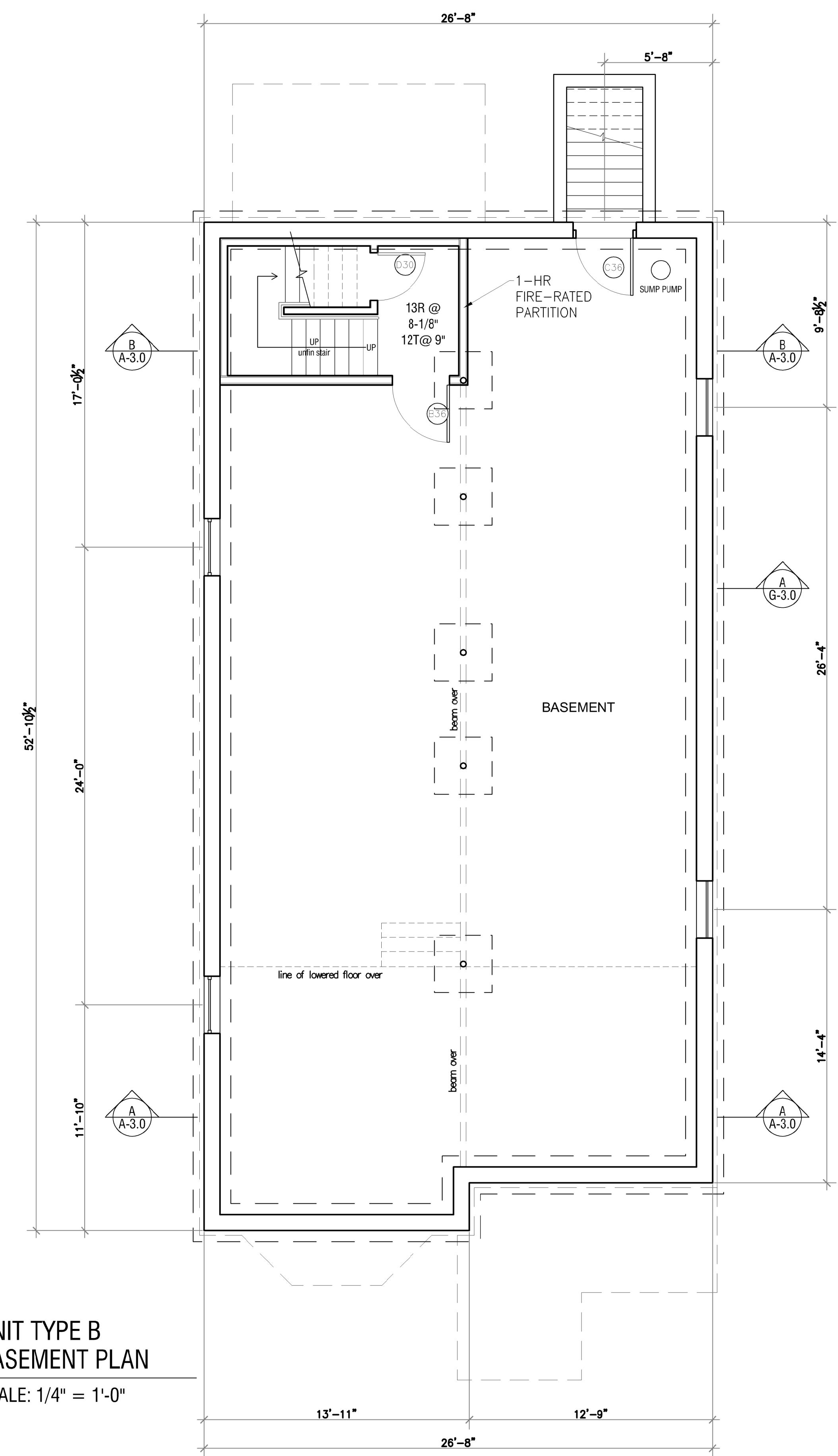
**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

Site
Improvements
Plan

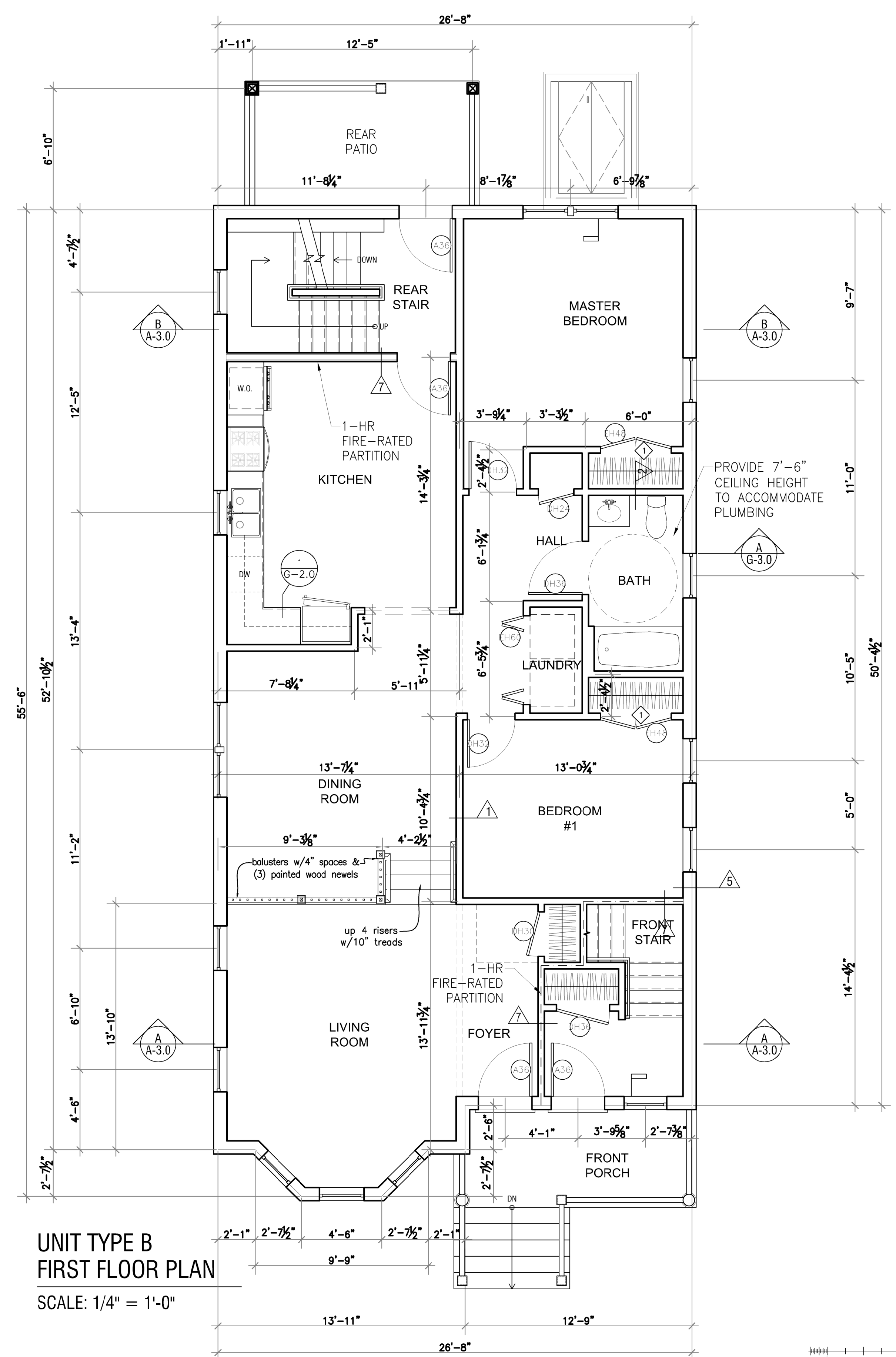
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(11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

L-1.0

UNIT TYPE B
BASEMENT PLAN
SCALE: 1/4" = 1'-0"



UNIT TYPE B
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES:** See G-2.0 for General Interior Notes.
- 1) Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - 2) Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor.
 - 3) Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
 - 4) 16" MDF shelf over laundry.
 - 5) Provide aluminum transition strip between flooring materials.
 - 6) Aluminum Storm Door: LARSON Classic Elegance, Mid-View, Model 346-82 with "SCREEN AWAY" retractable screen, two closers, & safety chain.
 - 7) Bituthane roof underlay at eaves, valleys, and dormer side walls.
- PROVIDE 7'-6" CEILING HEIGHT TO ACCOMMODATE PLUMBING

Garrison Trotter II
Homes
Unit Type-B
174-176 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

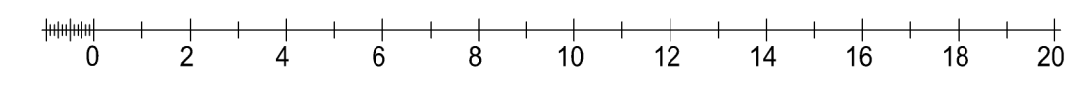
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
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Basement
&
1st Floor
Plans

Job Ref: GT-II
Scale: (11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

A-1.0



FLOOR PLAN NOTES
 ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.

GENERAL NOTES: See G-2.0 for General Interior Notes.

- 1) Provide solid wood blocking in walls for future grab bars in all bath tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
- 1) Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
- 2) Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
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- 4) 16" MDF shelf over laundry
- 5) Provide aluminum transition strip between flooring materials
- 6) Aluminum Storm Door: 'LAPSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
- 7) Bituthane roof underlay at eaves, valleys, and dormer side walls

Garrison Trotter II Homes
 Unit Type-B
 174-176 Harold Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

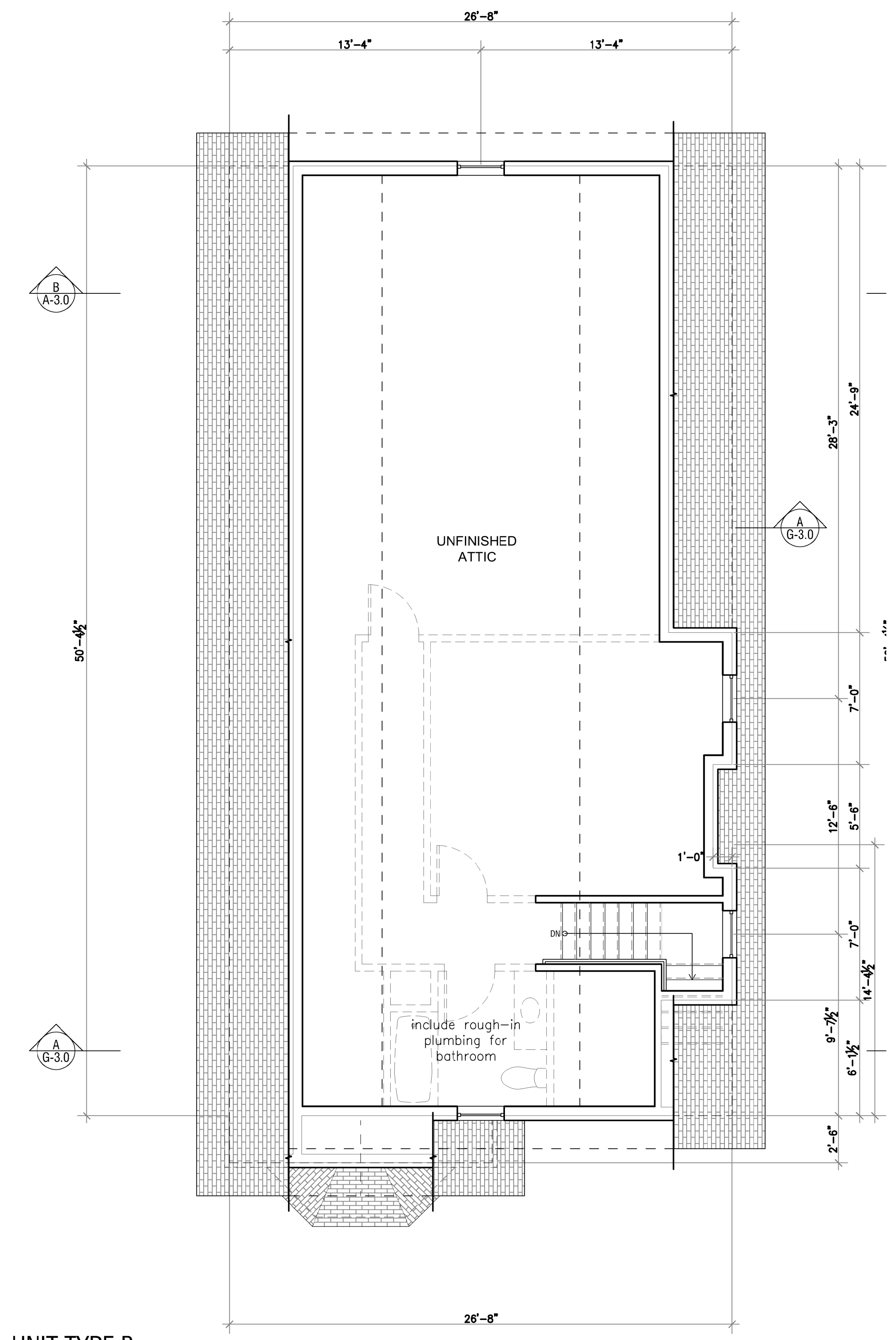
Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

ELTON+HAMPTON ARCHITECTS
 103 TERRACE STREET
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 TEL: (617) 708-1071

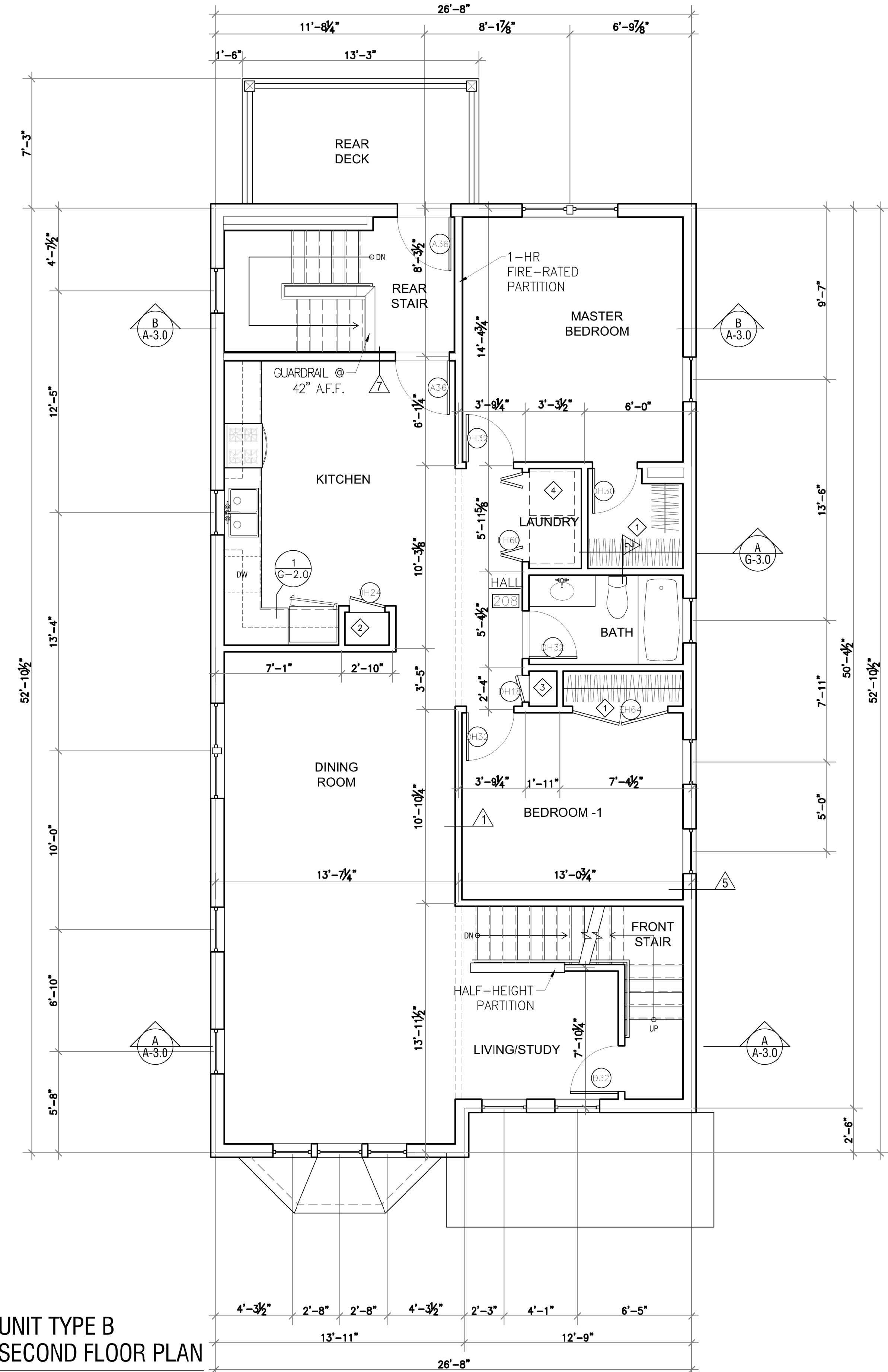
2nd Floor & Attic Plans

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 Drawn By:
 Date: Oct 14, 2016
 Revisions:

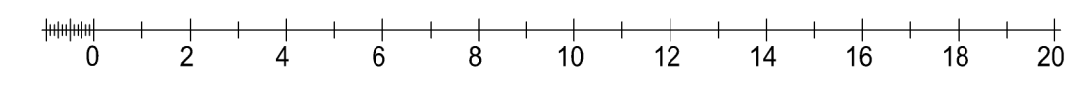
A-1.1



**UNIT TYPE B
 ATTIC FLOOR PLAN**
 SCALE: 1/4" = 1'-0"



**UNIT TYPE B
 SECOND FLOOR PLAN**
 SCALE: 1/4" = 1'-0"



Garrison Trotter II
Homes
Unit Type-B
174-176 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

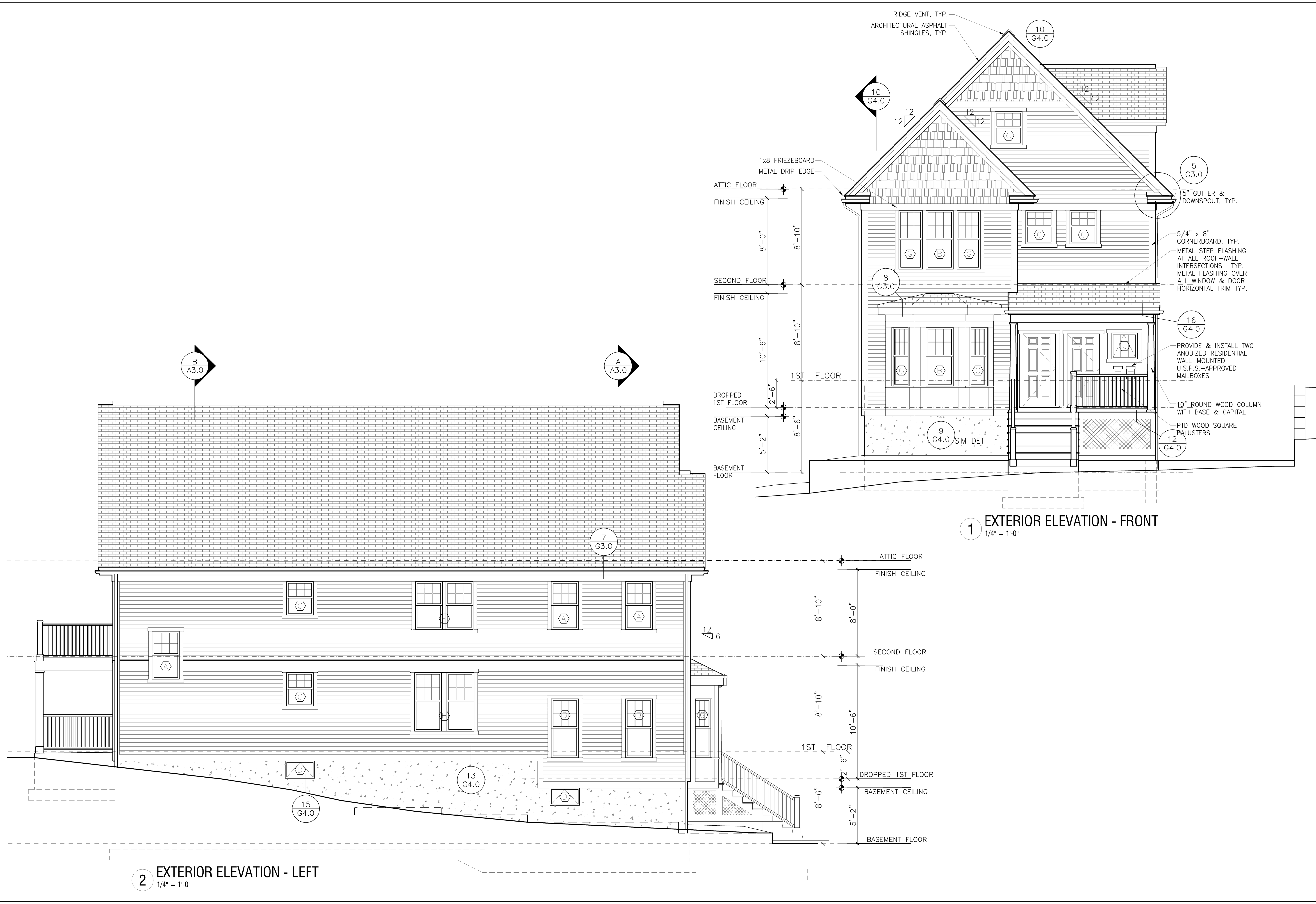
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

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HAMPTON
ARCHITECTS**
103 TERRACE STREET
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Front & Left
Elevations

Job Ref: GT-II
Scale: (11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

A-2.0



Garrison Trotter II
Homes
Unit Type-B
174-176 Harold Street
Roxbury, MA
Neighborhood
Homes Initiative
(NHI)

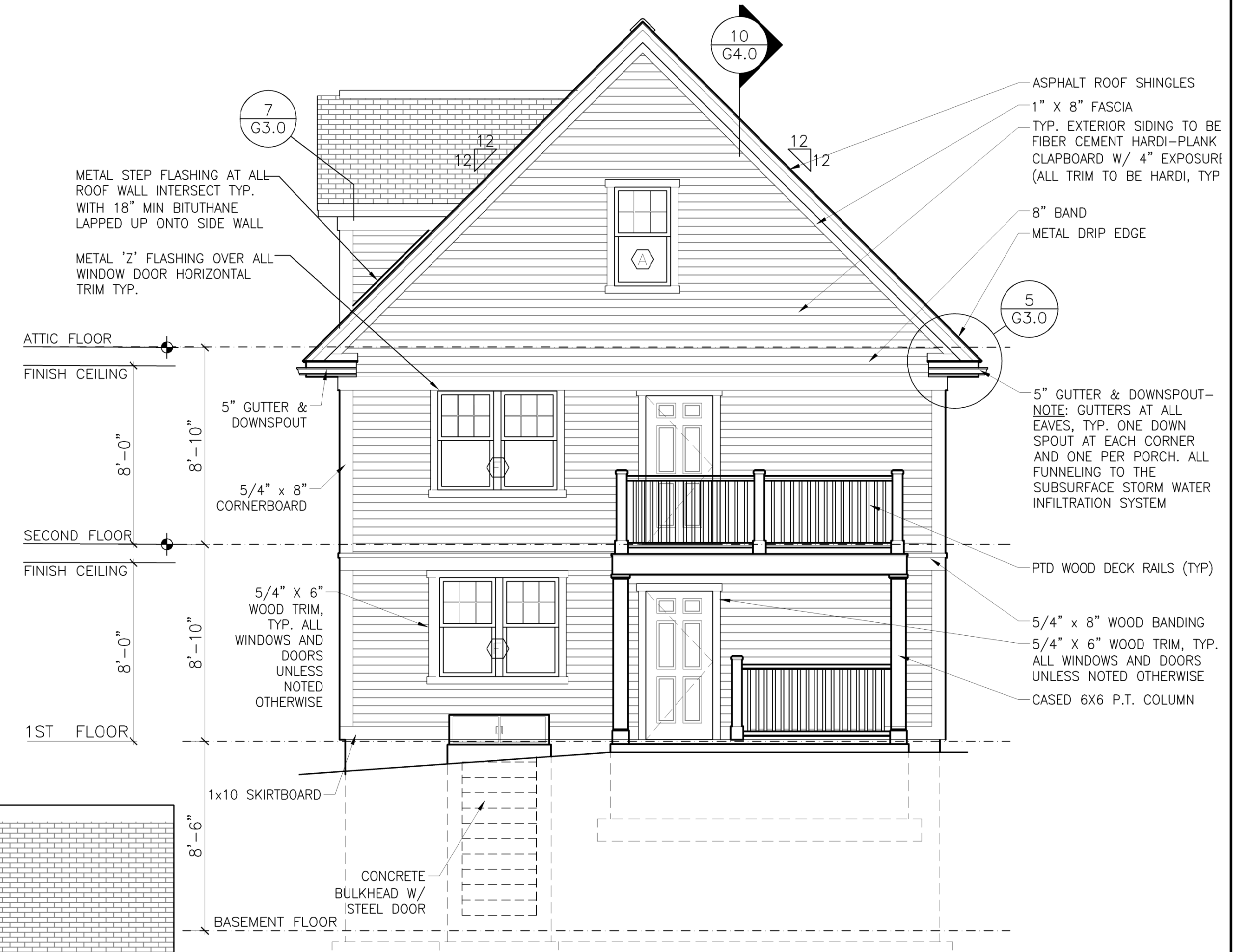
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

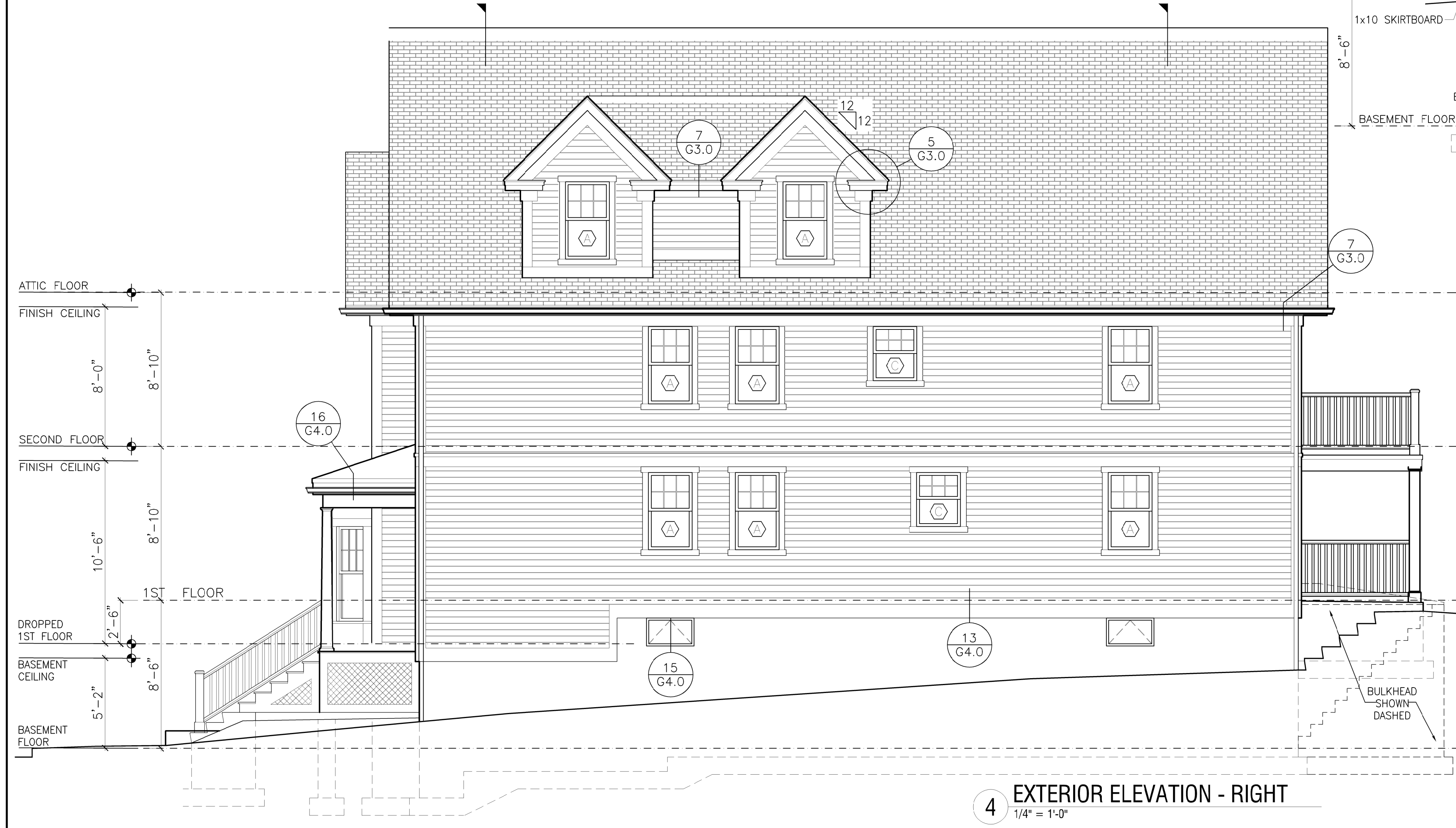
Rear & Right
Elevations

Job Ref: GT-II
Scale: (11x17 - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

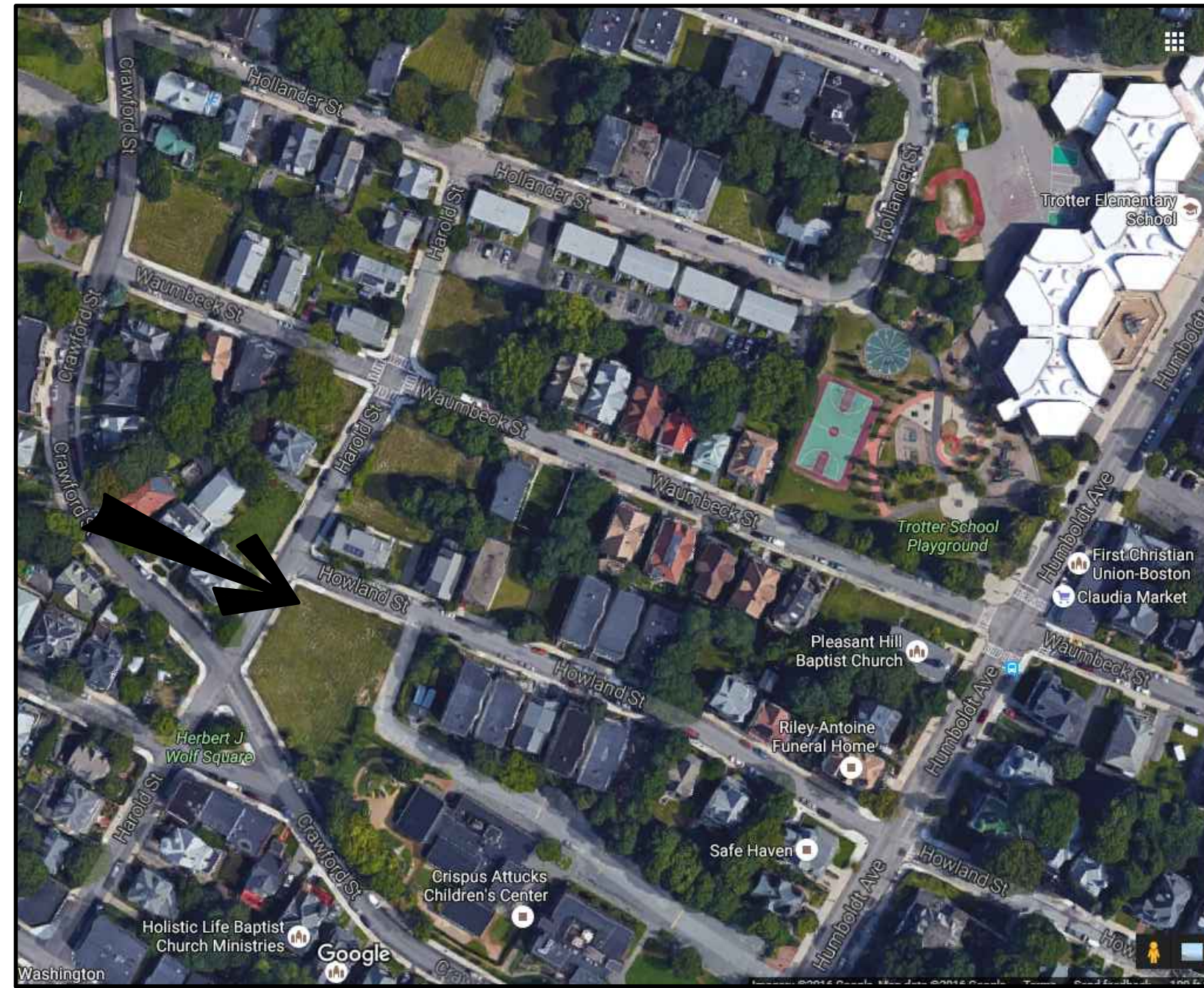
A-2.1



3 EXTERIOR ELEVATION - REAR
1/4" = 1'-0"



4 EXTERIOR ELEVATION - RIGHT
1/4" = 1'-0"



Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 184 Harold Street, Roxbury, MA

Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071

ZONING ANALYSIS		
PROJECT ADDRESS: 184 HAROLD ROXBURY, MA	ZONING DISTRICT: ROXBURY NEIGHBORHOOD 3F-4000	VARIANCE REQUESTED
USE: ONE-FAMILY DETACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 786 SQFT	GROSS FLOOR AREA: 1572 SQFT	NONE
LOT FRONTAGE: 45'-0" (REQUIRED)	52'-1" (PROPOSED)	NONE
LOT WIDTH: 45'-0" (REQUIRED)	51'-6" MIN. (PROPOSED)	NONE
LOT SIZE: 4000 SQFT (REQUIRED)	4050 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.39 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20' MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED) SEE NOTE ON SITE PLAN	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS: 184 HAROLD ROXBURY, MA	PROJECT ADDRESS: 186 HAROLD ROXBURY, MA	
PROJECT ADDRESS: 188 HAROLD/ CRAWFORD ROXBURY, MA		
STREET: HAROLD STREET/ CRAWFORD STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
180 HAROLD STREET	7'-2"(7')	45'-6"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0"	
PROPOSED SETBACK	7'-0"	

Cover & Index

- C1 Utility Plans & Details**
- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Roof Plans**
- A2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
- S-1.2 Attic & Roof Framing Plans**

- AE-1.0 Basement Electric Layout Plan, Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

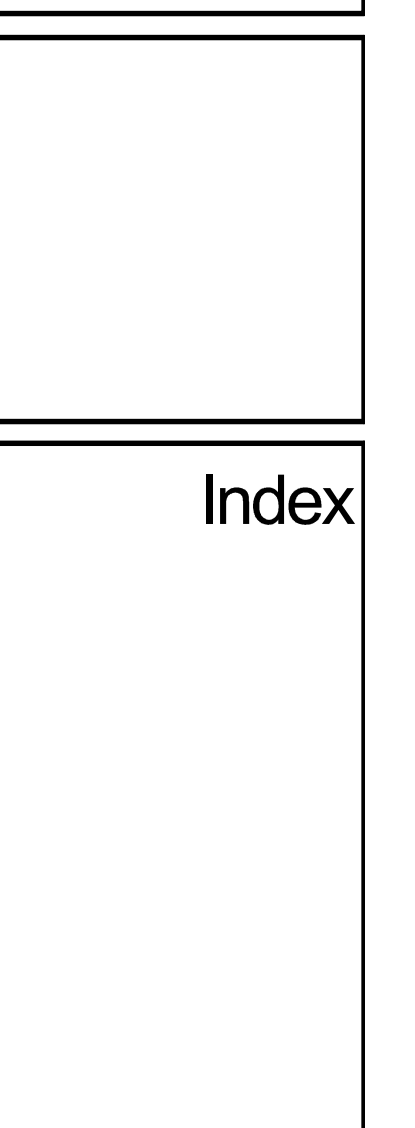
- G-1.0 Symbols, Abbreviations, Systems, & General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

Garrison Trotter II
 Homes
 184 Harold Street
 Roxbury, MA

 Neighborhood
 Homes Initiative
 (NHI)

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

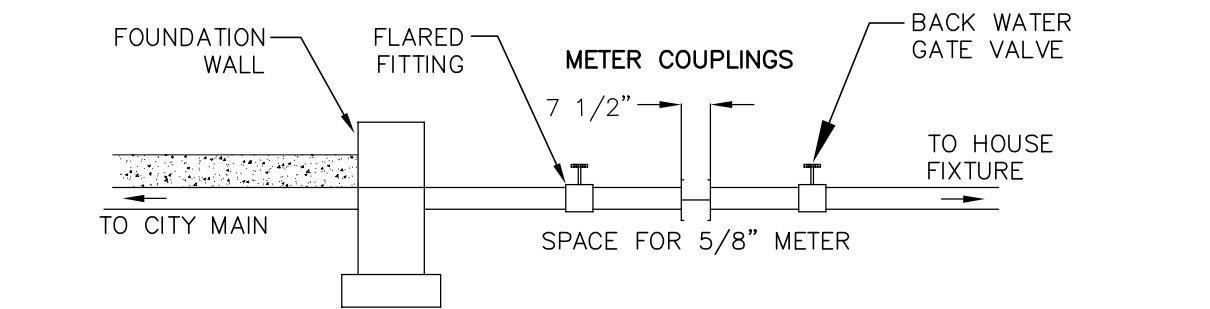
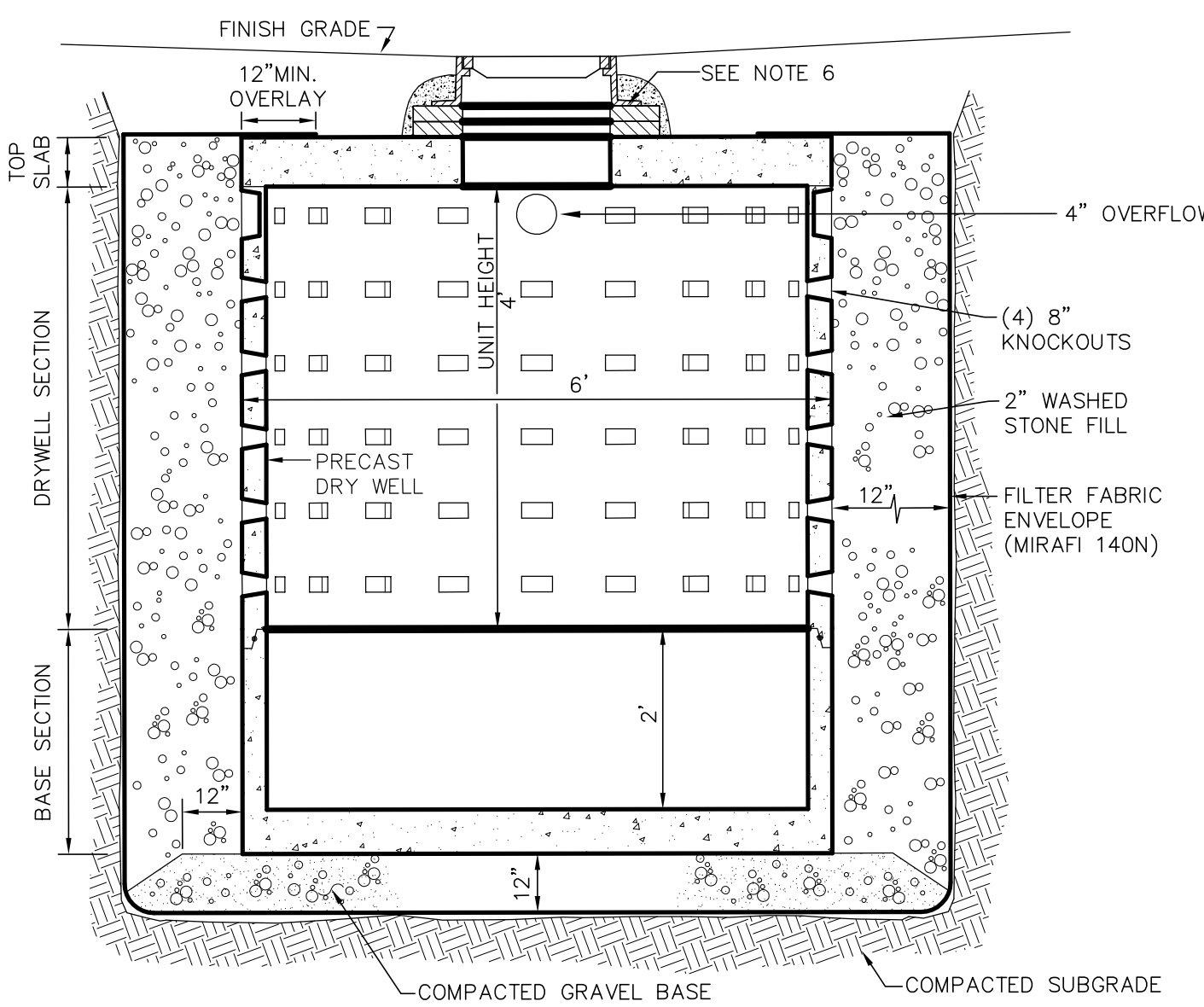
ELTON+HAMPTON ARCHITECTS
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071



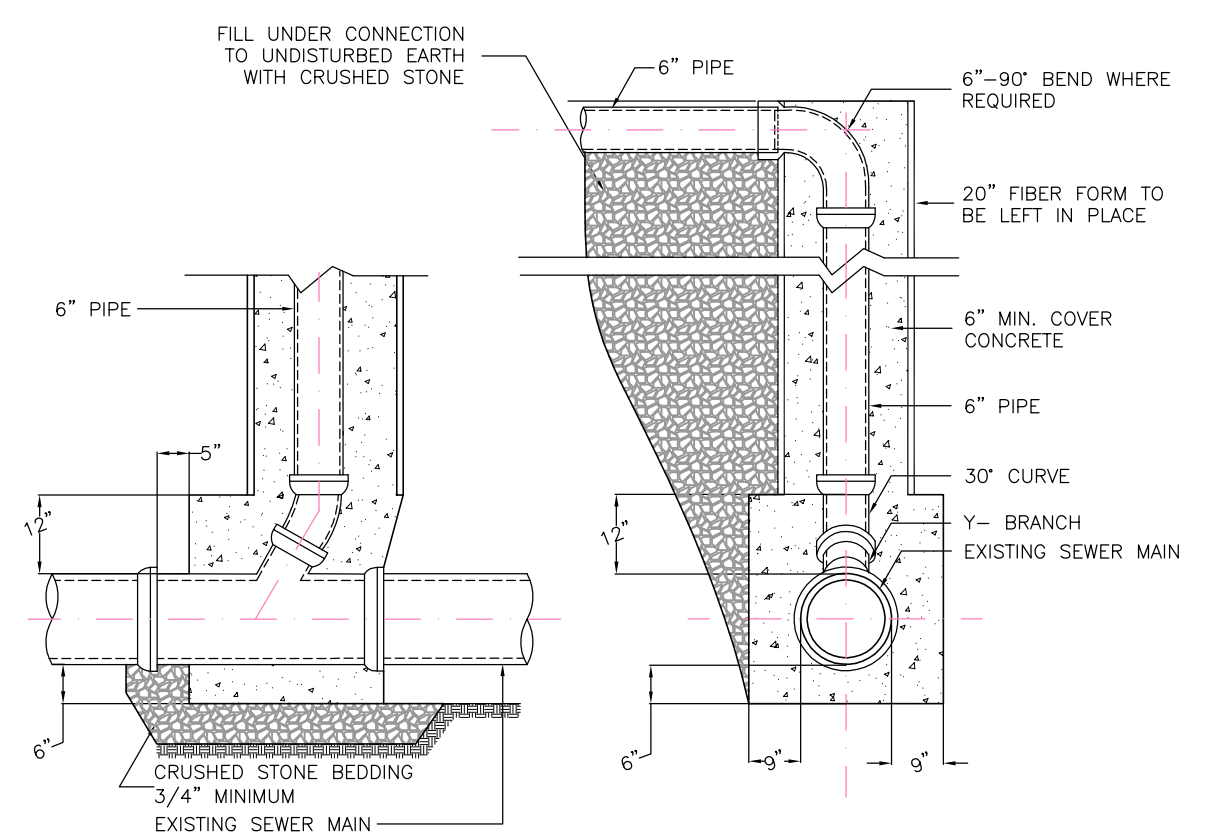
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Revisions:	

Permit Set

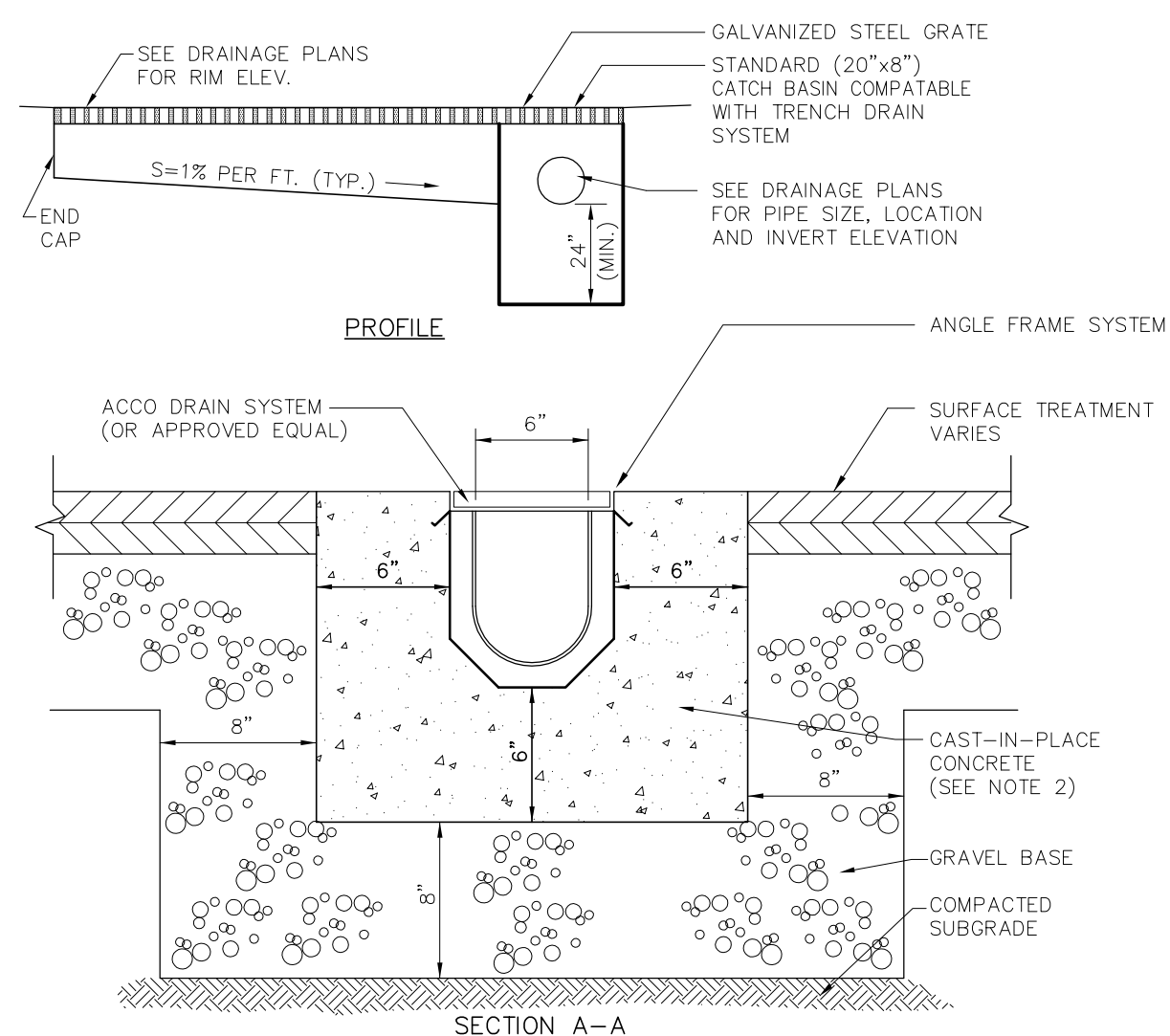
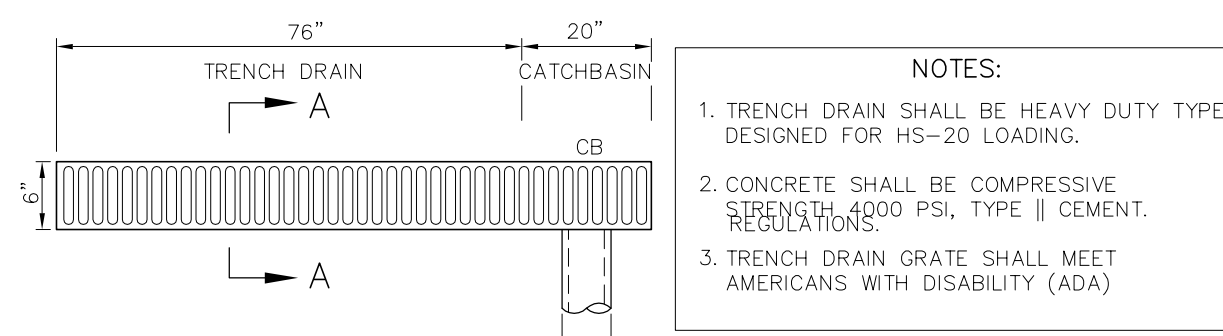
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



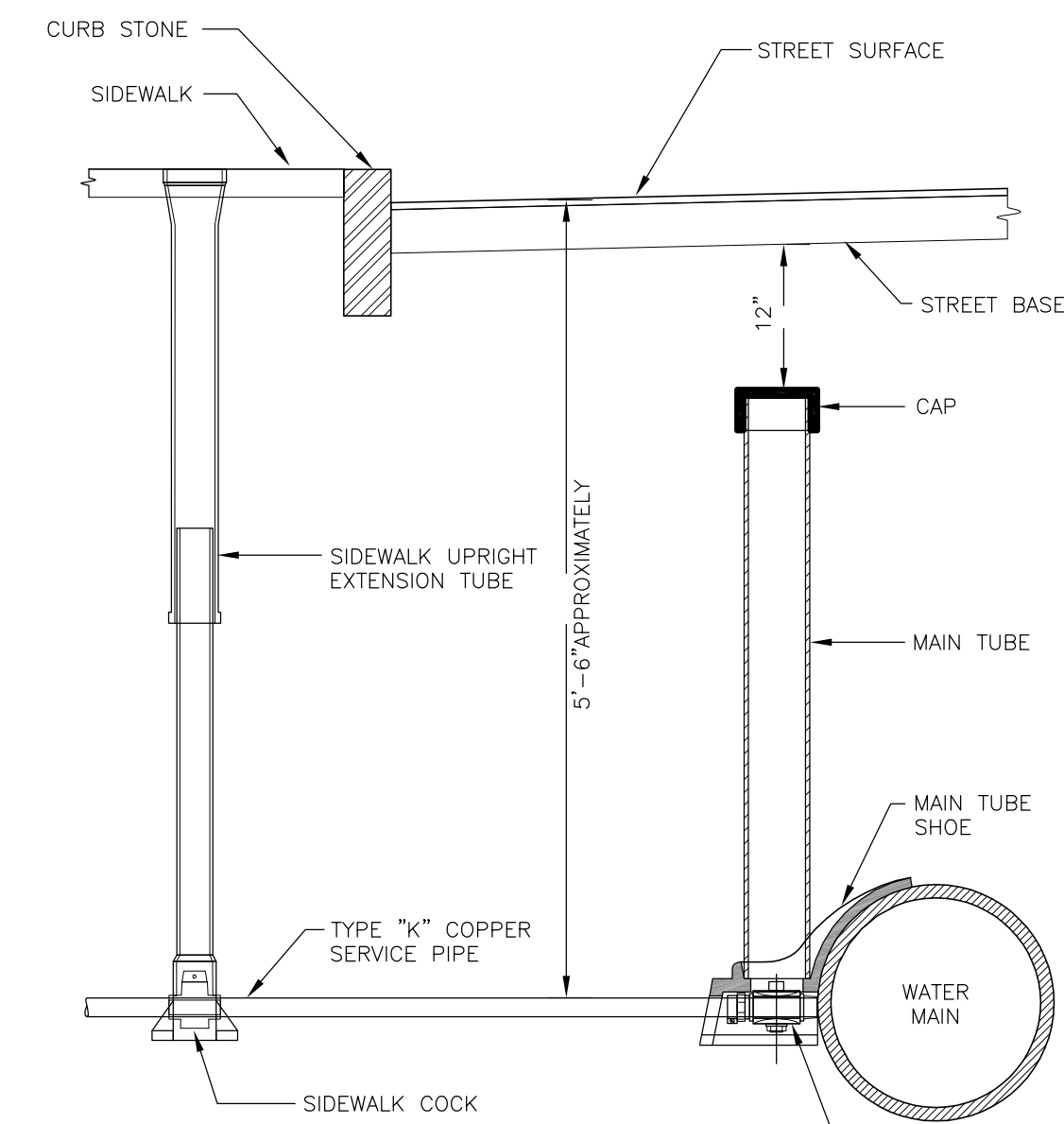
WATER METER SPACING DETAIL



SEWER CONNECTION



TRENCH DRAIN



1" WATER CONNECTION DETAIL

184 HAROLD STREET

ROXBURY, MA

GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▨ CEMENT CONCRETE SIDEWALK
- - - SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- W --- WATER LINE
- G --- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- + 100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB @ LEACHING BASIN
- WG @ WATER GATE
- @ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN

LEACHING BASIN

INFILTRATION CALCULATIONS
184 HAROLD STREET

STORAGE VOLUME REQUIRED

1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
IMPERVIOUS SURFACE = 1,109 S.F.

REQUIRED STORAGE =
(1/12) FEET X 1,109 = 92.4 C.F.

PROVIDE A LEACHING BASIN 6'-DIA/4' DEEP
W/12" STONE ALL AROUND

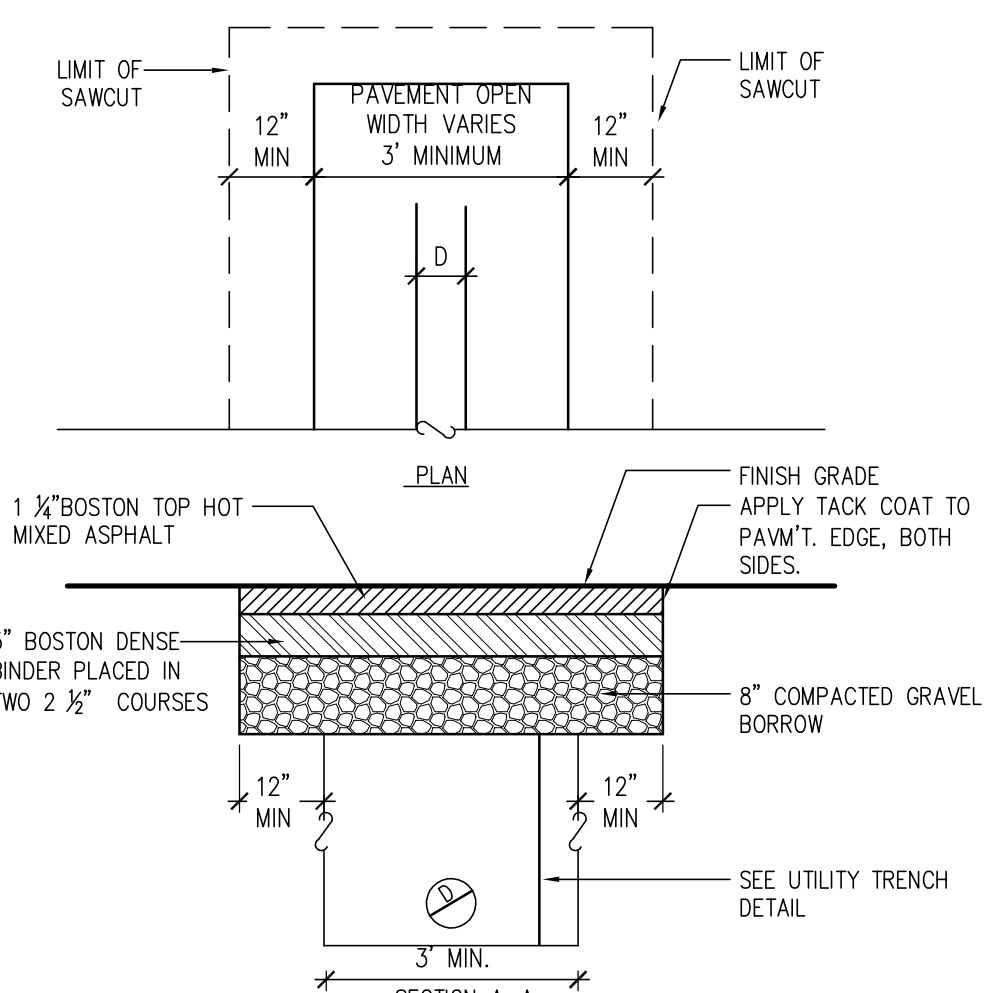
STORAGE PROVIDED = 113.0 C.F. > 92.4 C.F.

LAND USE CODE: "A" RESIDENTIAL
1-3 BEDROOMS (330 GPD)

BWSC INSPECTIONS:

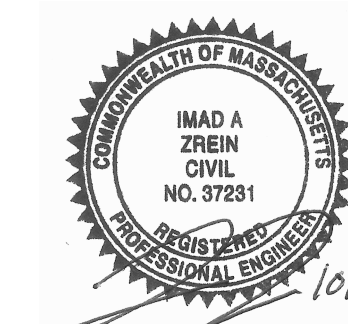
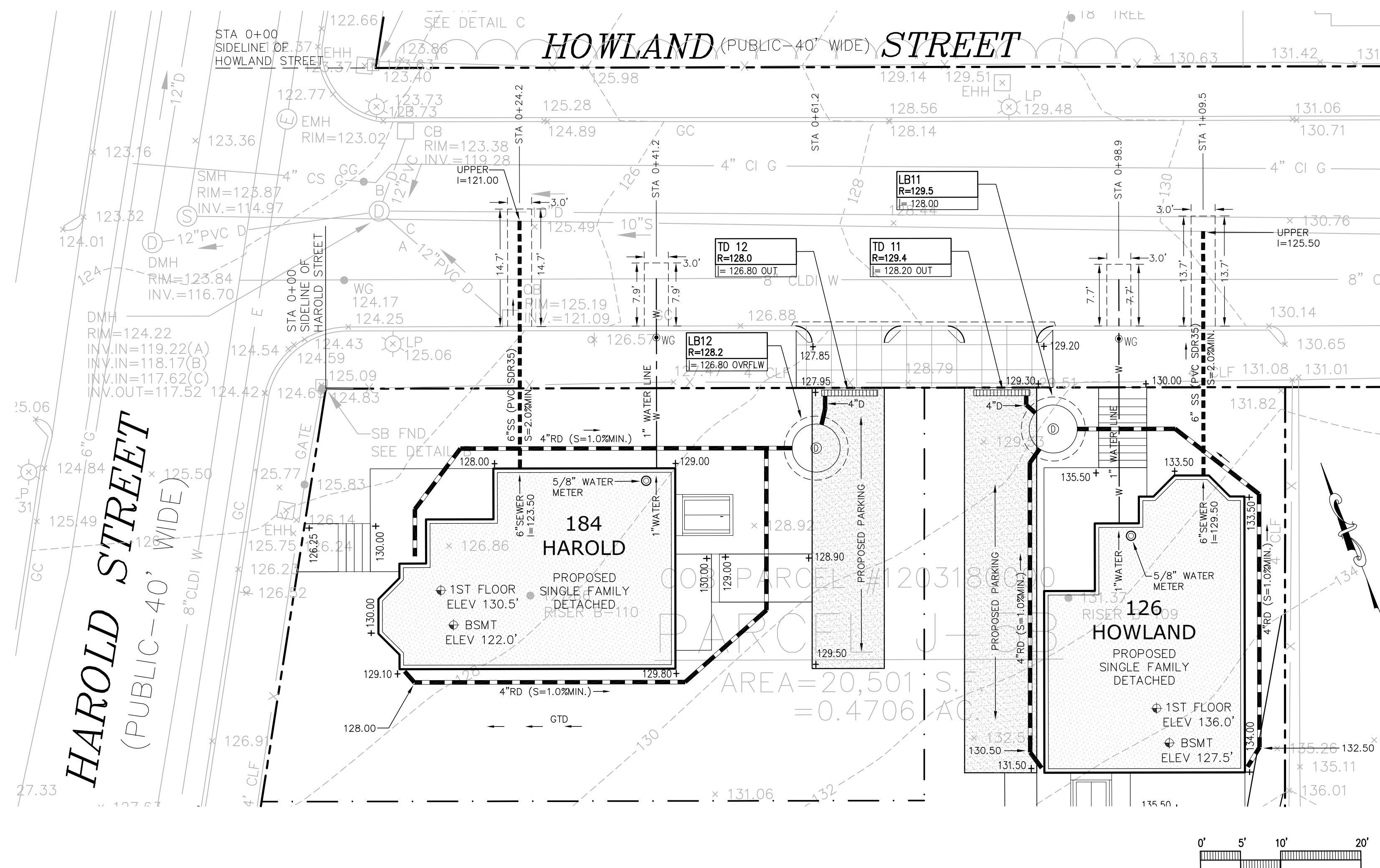
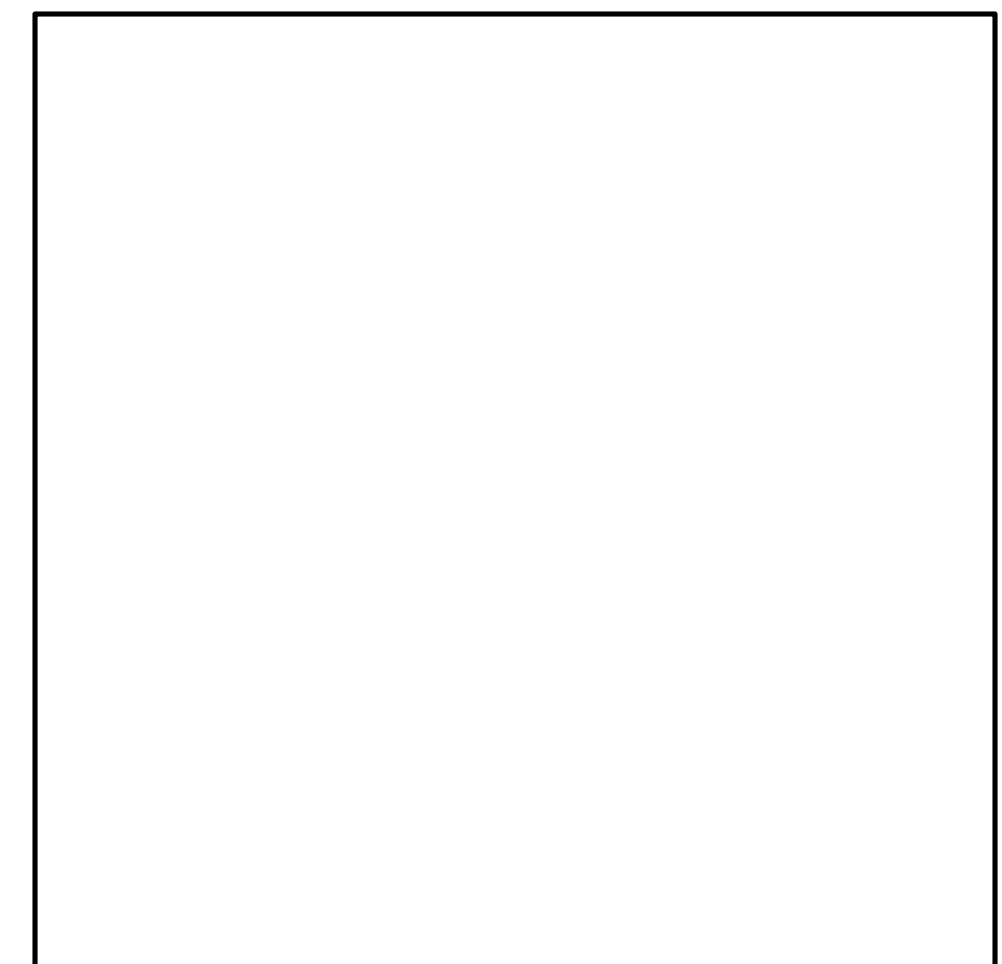
(1) RECHARGE SYSTEM	BWSC INSPECTOR	DATE
(2) 6" SEWER LINE	BWSC INSPECTOR	DATE
(3) 1" WATER LINE	BWSC INSPECTOR	DATE
(4) TRENCH DRAIN	BWSC INSPECTOR	DATE
(5) DYE TEST	BWSC INSPECTOR	DATE

1. Ward/Parcel: 12/3180
2. Property Location: 184 HAROLD STREET
3. Neighborhood: Roxbury
4. Site Zip: 02119
5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
7. Owner Telephone No.: 617.445.5100
8. Type of Premise: Residential Development
9. New Account:



UTILITY PATCH

FOR BOSTON WATER SEWER USE ONLY



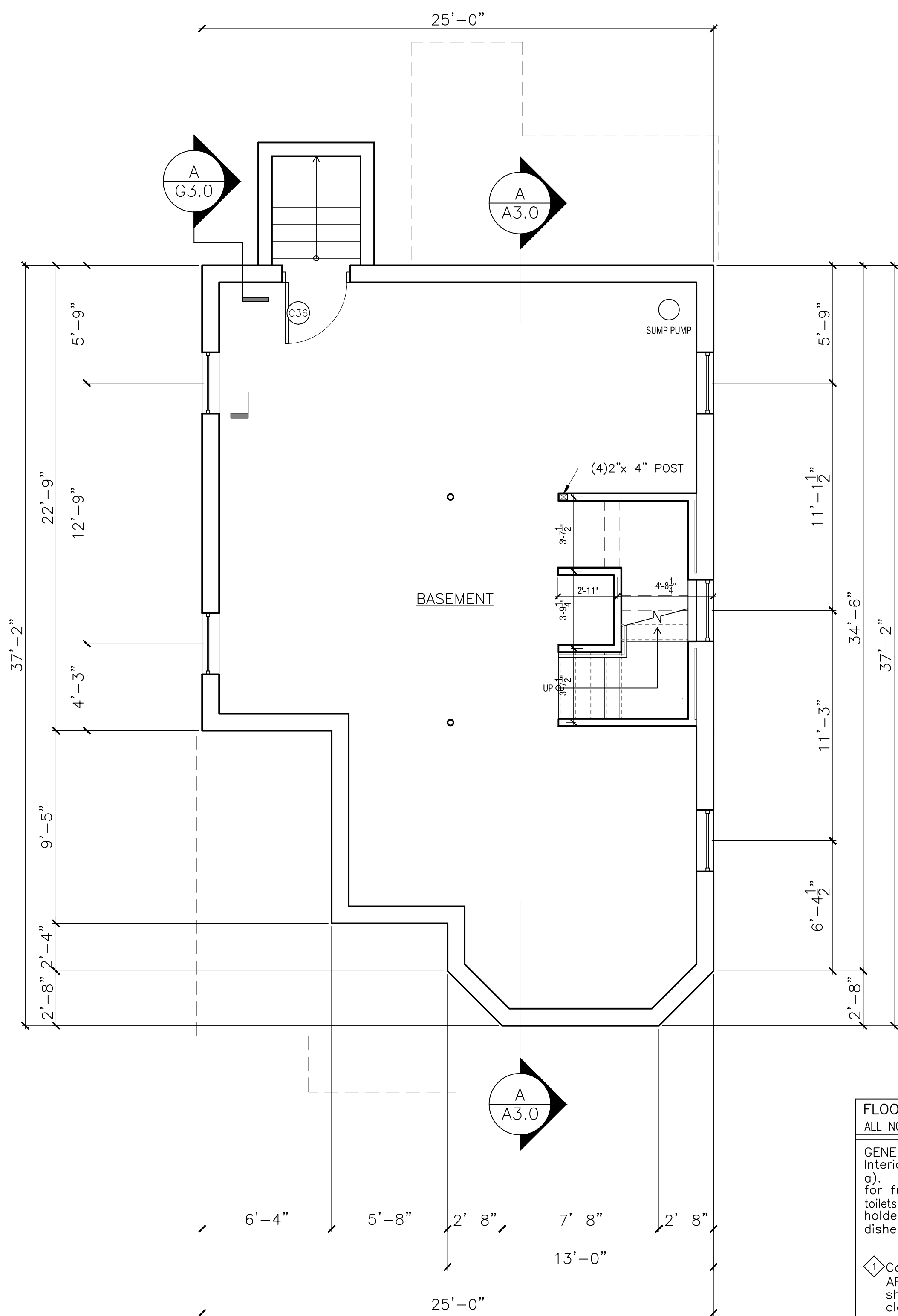
Land Planning, Civil Engineering
Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein
Inc.

10.06.16 PER BWSC COMMENTS

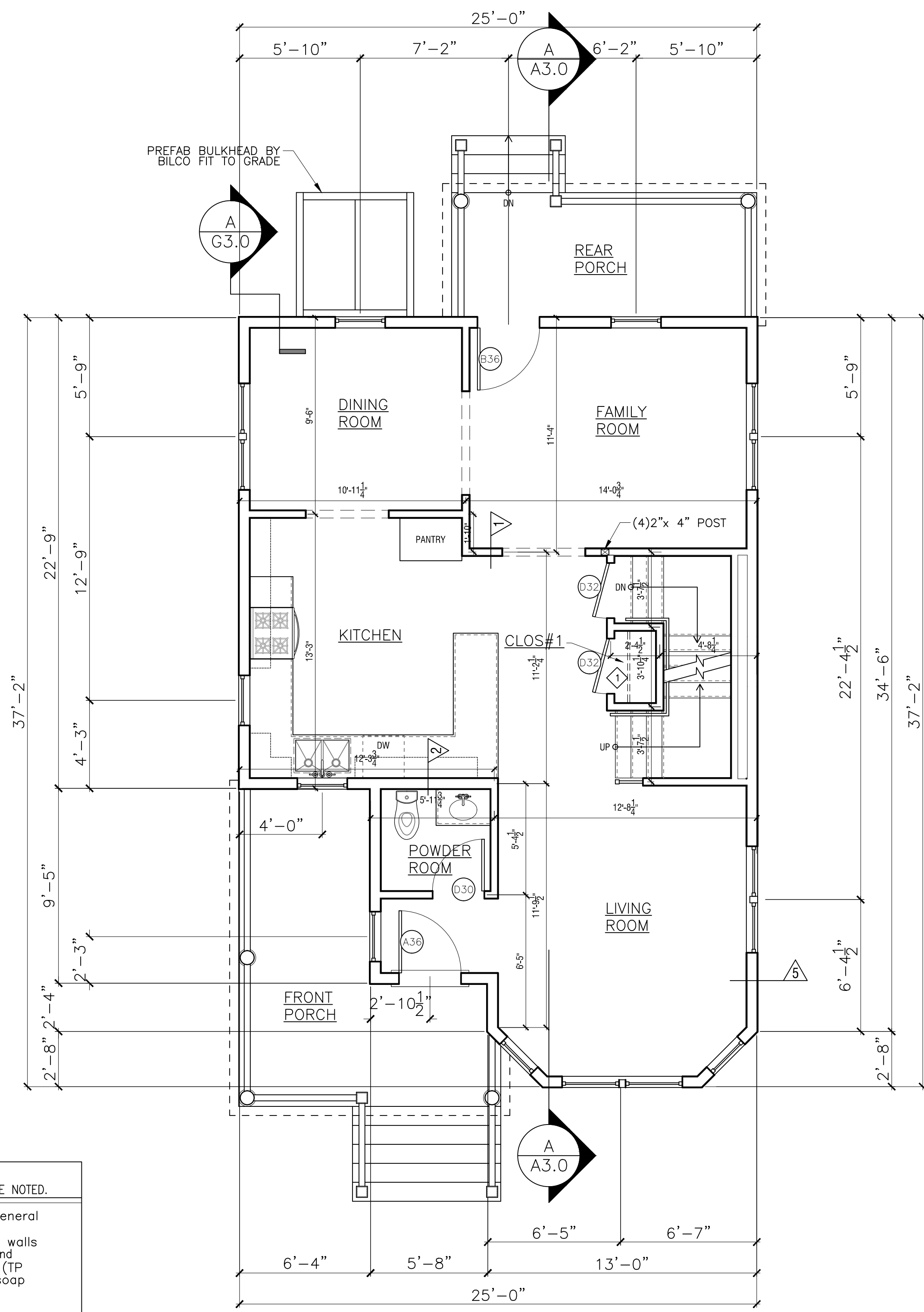
UTILITY PLAN
AND DETAILS
SITE PLAN # 16412

SCALE:	1" = 10'
JOB:	2G15-262
FILE:	2G15-262-GU
DRAWN:	IAZ
CHECKED:	
DATE:	08.16.16



**UNIT TYPE A2
BASEMENT PLAN**

SCALE: 1/4" = 1'-0"



**UNIT TYPE A2
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- a). Provide solid wood blocking in walls for future grab bars in all bath tubs and toilets and all bathroom accessories (TP holders, towel bars, toothbrush & soap dishes, medicine cabinets...).
 - ◇ Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
 - ◇ Pantry closet: provide (3) 3/4" unfinished MDO plywood shelves w/pine edge on painted wall cleats @ 16" deep spaced 18" apart starting 30" above floor
 - ◇ Linen closet: provide (4) 3/4" unfinished MDO plywood shelves w/pine edging @ 16" deep spaced 18" apart.
 - ◇ 16" MDF shelf over laundry
 - ◇ Provide aluminum transition strip between flooring materials
 - ◇ Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - ◇ Bituthone roof underlay at eaves, valleys, and dormer side walls

184 HAROLD

Garrison Trotter II
Homes
184 Harold Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

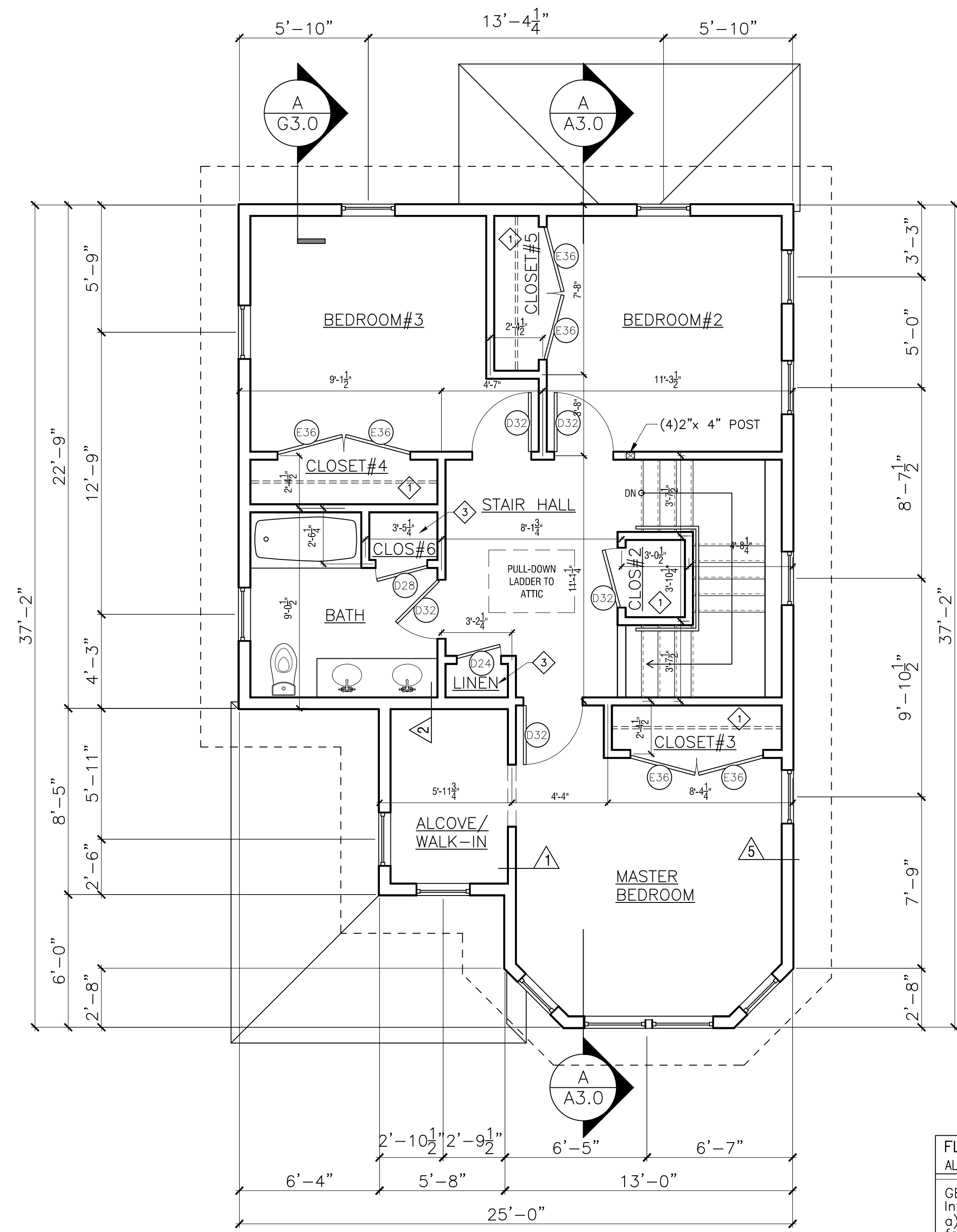
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Basement &
First Floor
Plans:**

Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

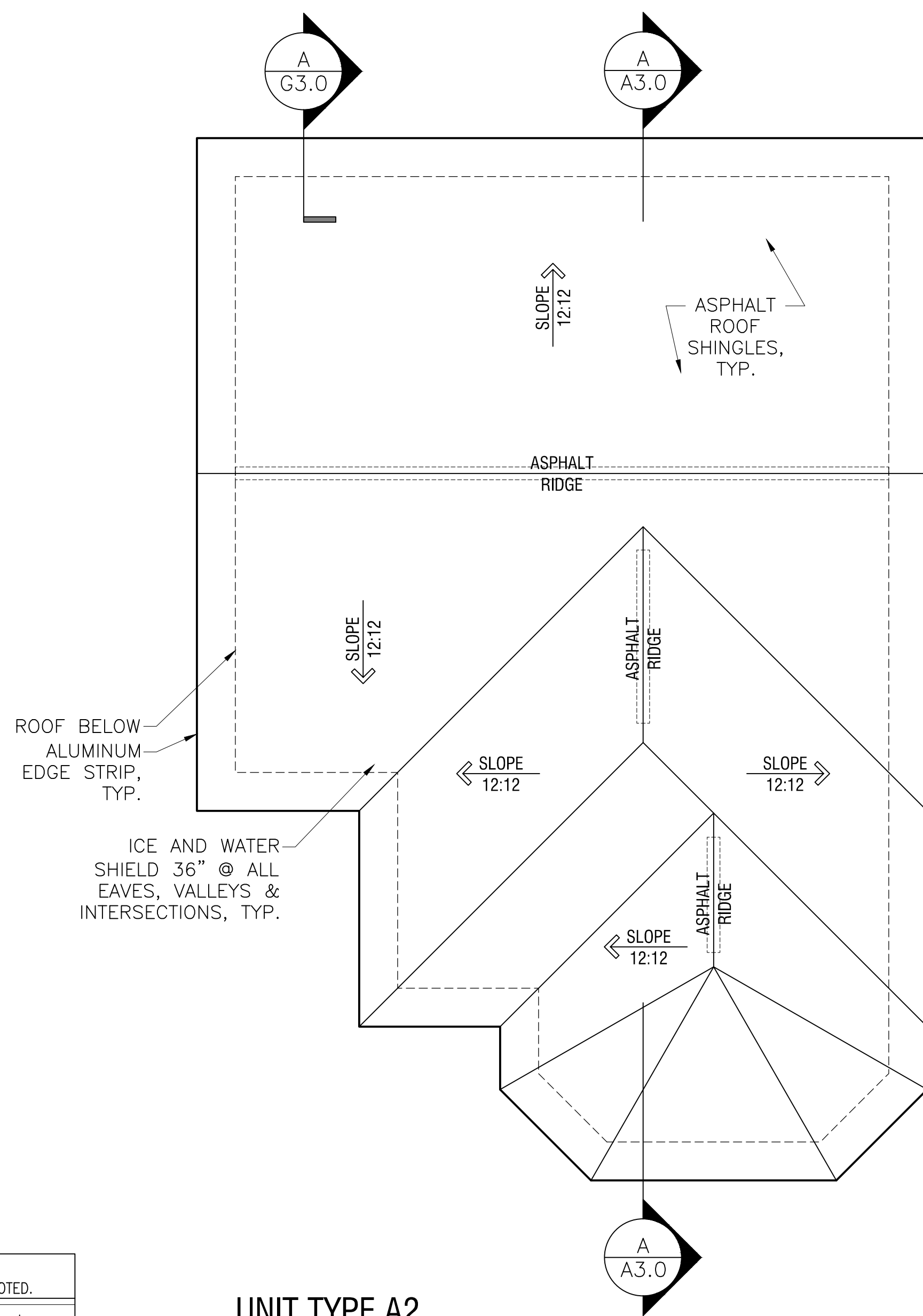
A-1.0



**UNIT TYPE A2
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

184 HAROLD

- FLOOR PLAN NOTES**
ALL NOTES ARE "TYPICAL" UNLESS OTHERWISE NOTED.
- GENERAL NOTES: See G-2.0 for General Interior Notes.
- 1) Coat closet: provide closet pole @ 5'-0" AFF w/ 3/4" x 16" unfinished MDO plywood shelf above w/pine edge on painted wall cleats.
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 - 6) Aluminum Storm Door: 'LARSON' Classic Elegance, Mid-View, Model 346-82 with 'SCREEN AWAY' retractable screen, two closers, & safety chain
 - 7) Bituthane roof underlay at eaves, valleys, and dormer side walls



**UNIT TYPE A2
ROOF PLAN**
SCALE: 1/4" = 1'-0"

Garrison Trotter II
Homes
184 Harold Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

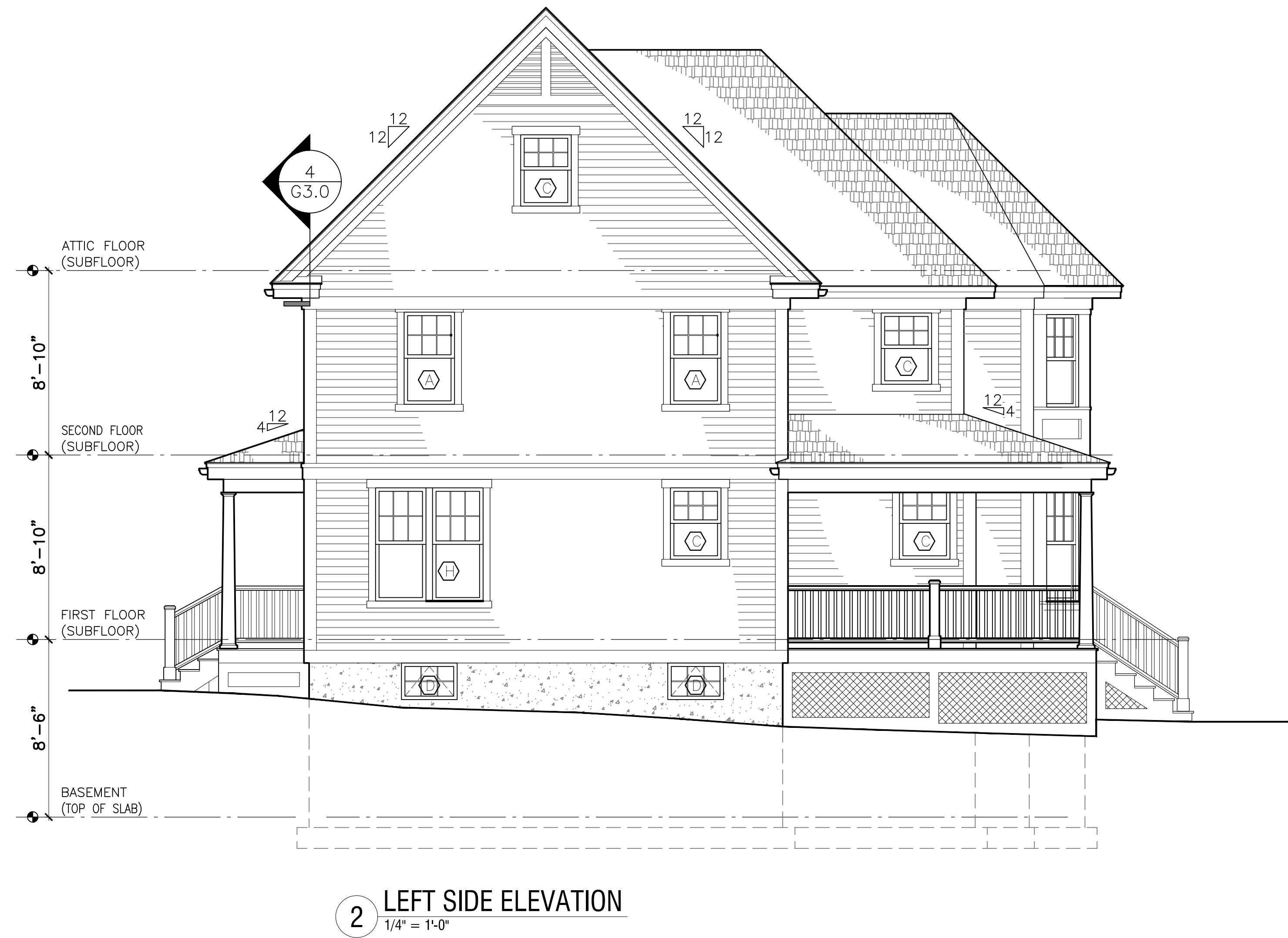
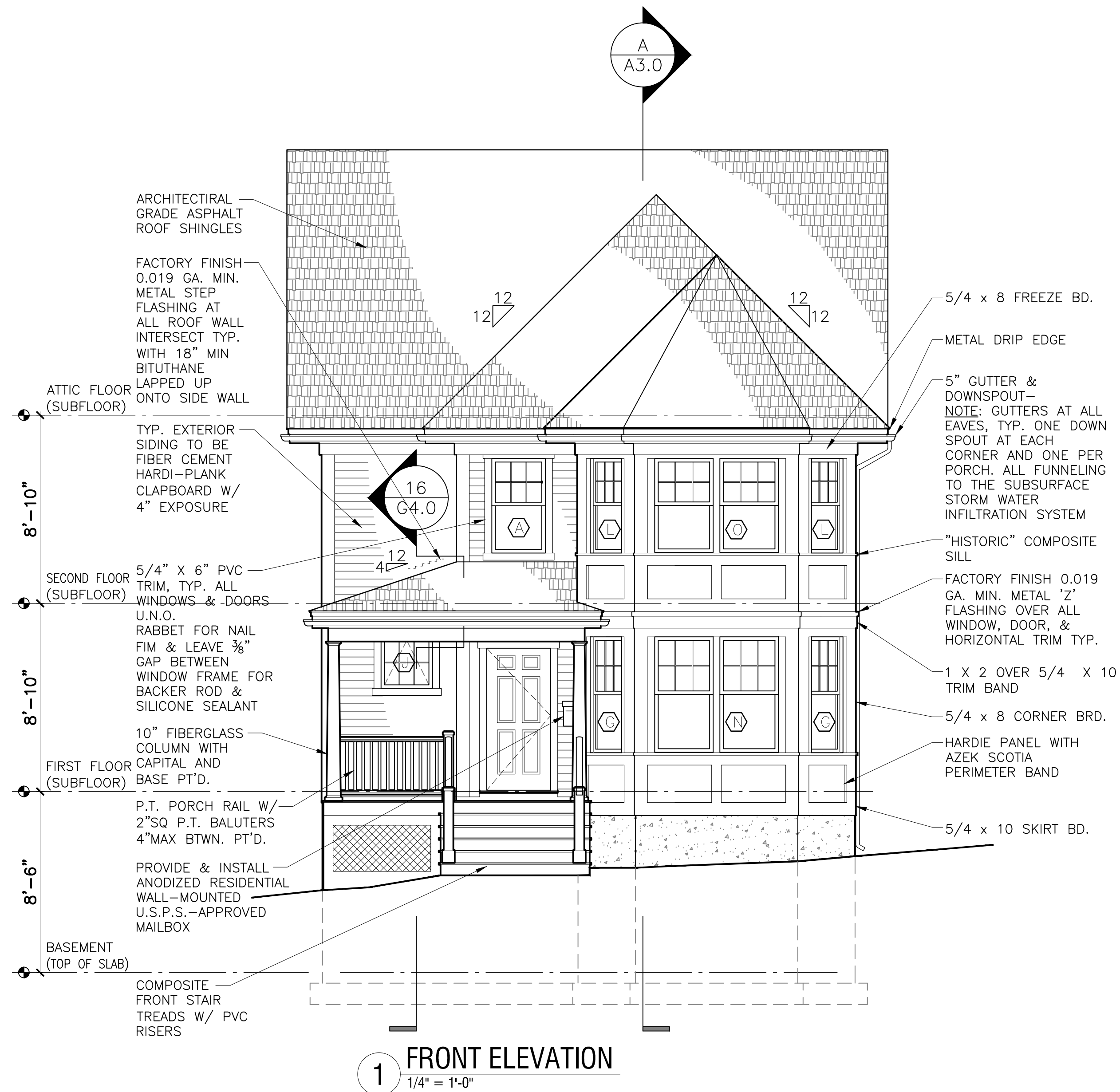
**Second
Floor &
Roof
Plans:**

Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-1.1

Front &
Left Side
Elevations

Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	



Garrison Trotter II
Homes
184 Harold Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

Rear &
Right Side
Elevations

Job Ref:

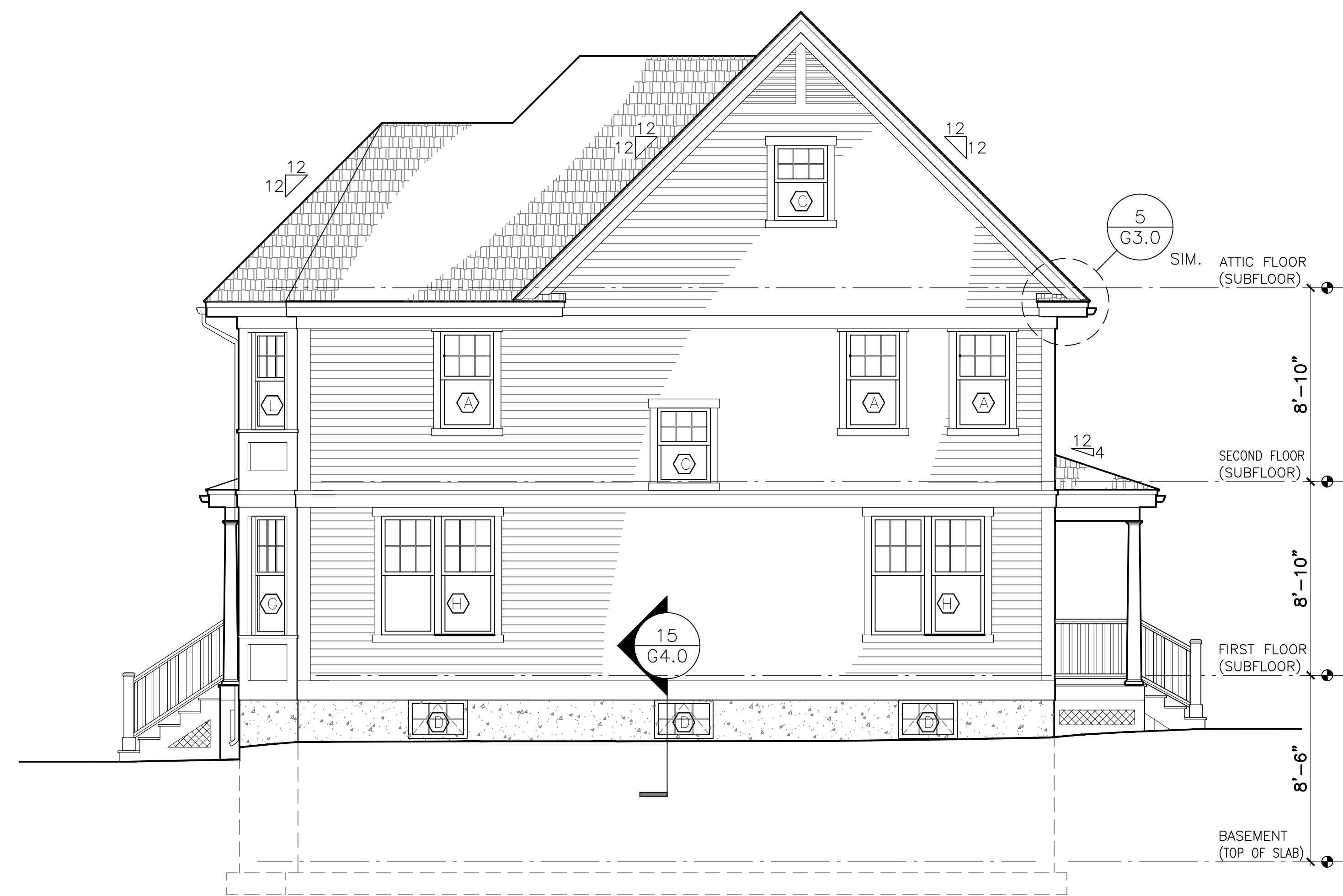
Scale: (1/4" = 1'-0" use graphic scale)

Drawn By:

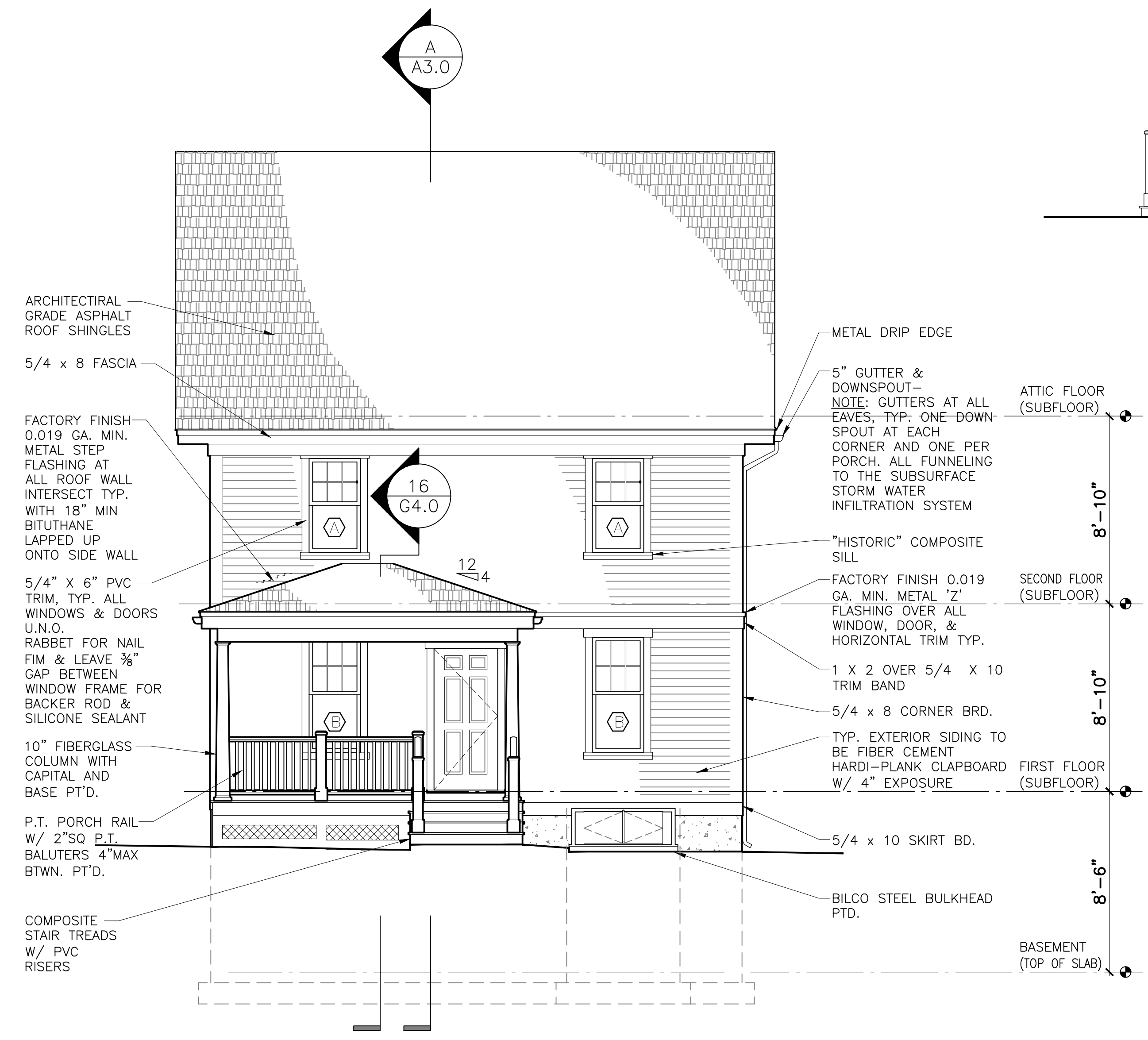
Date: Oct 14, 2016

Revisions:

A-2.1

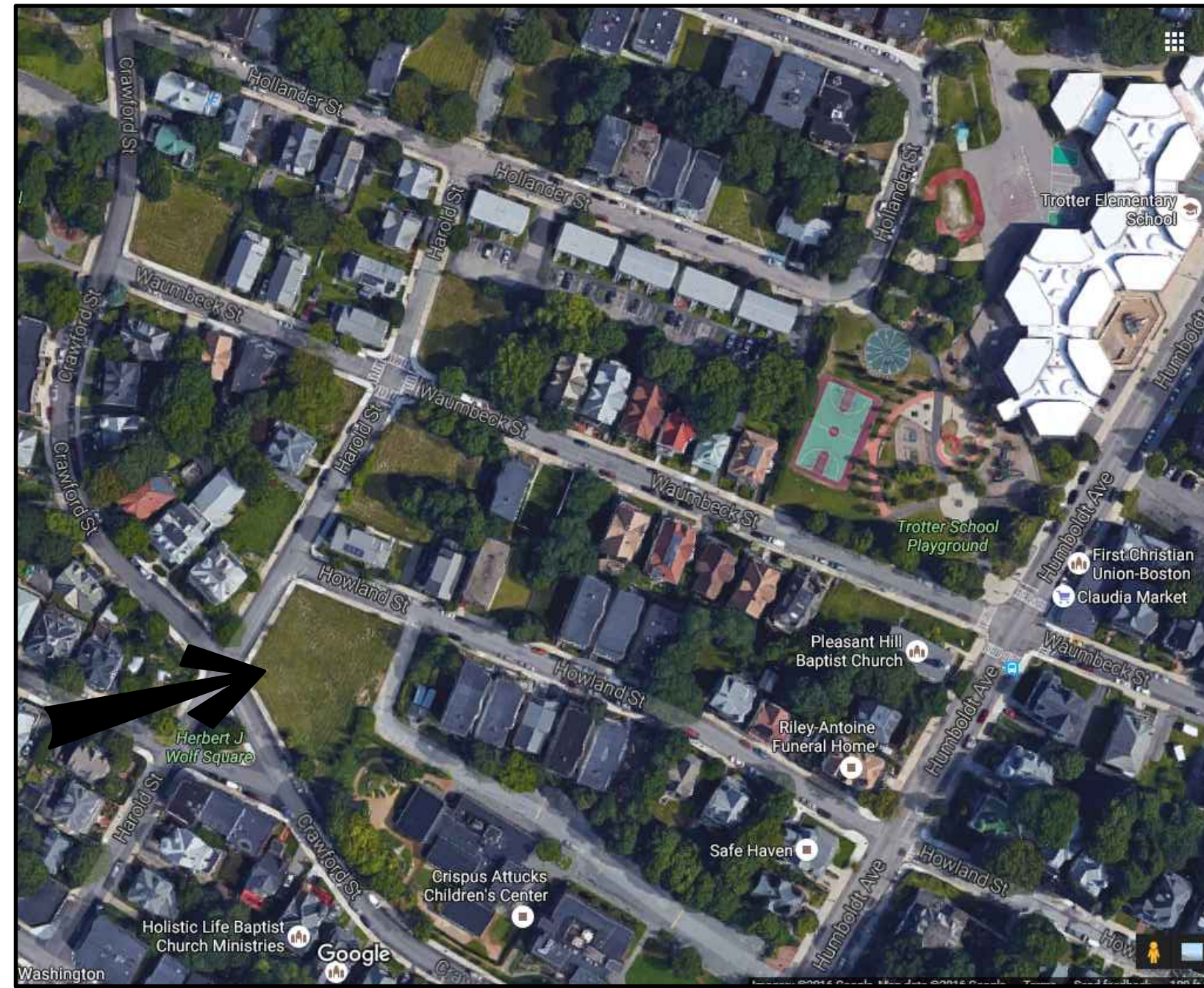


3 RIGHT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

- ARCHITECTURAL GRADE ASPHALT ROOF SHINGLES
- 5/4 x 8 FASCIA
- FACTORY FINISH 0.019 GA. MIN. METAL STEP FLASHING AT ALL ROOF WALL INTERSECT TYP. WITH 18" MIN BITUTHANE LAPPED UP ONTO SIDE WALL
- 5/4" x 6" PVC TRIM, TYP. ALL WINDOWS & DOORS U.N.O.
- RABBET FOR NAIL FIM & LEAVE 3/8" GAP BETWEEN WINDOW FRAME FOR BACKER ROD & SILICONE SEALANT
- 10" FIBERGLASS COLUMN WITH CAPITAL AND BASE PT'D.
- P.T. PORCH RAIL W/ 2" SQ P.T. BALUTERS 4" MAX BTWN. PT'D.
- COMPOSITE STAIR TREADS W/ PVC RISERS
- METAL DRIP EDGE
- 5" GUTTER & DOWNSPOUT - NOTE: GUTTERS AT ALL EAVES, TYP. ONE-DOWN-SPOUT AT EACH CORNER AND ONE PER PORCH. ALL FUNNELING TO THE SUBSURFACE STORM WATER INFILTRATION SYSTEM
- "HISTORIC" COMPOSITE SILL
- FACTORY FINISH 0.019 GA. MIN. METAL "Z" FLASHING OVER ALL WINDOW, DOOR, & HORIZONTAL TRIM TYP.
- 1 X 2 OVER 5/4 X 10 TRIM BAND
- 5/4 x 8 CORNER BRD.
- TYP. EXTERIOR SIDING TO BE FIBER CEMENT HARDI-PLANK CLAPBOARD W/ 4" EXPOSURE
- 5/4 x 10 SKIRT BD.
- BILCO STEEL BULKHEAD PT'D.



Locus Map

Development For:
Windale Developers, Inc.
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

Project:
Neighborhood Homes Initiative (NHI) Garrison Trotter II
 186 & 188 Harold Street, Roxbury, MA

Garrison Trotter II
 Homes
 186 & 188 Harold Street
 Roxbury, MA
 Neighborhood
 Homes Initiative
 (NHI)

Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

Cover & Index

- C1 186 Harold St.-Utility Plans & Details**
- C1 188 Harold St.-Utility Plans & Details**
- L1 Site Improvements Plan**

- A-1.0 Basement 1st & Floor Plans**
- A-1.1 2nd Floor & Attic Plans**
- A-1.2 Roof Framing Plan**
- A2.0 Front & Left Elevations**
- A-2.1 Rear & Right Elevations**
- A-3.0 Stair/Building Sections**

- S-1.0 Foundation Plan**
- S-1.1 1st & 2nd Floor Framing Plans**
- S-1.2 Attic & Roof Framing Plans**

- AE-1.0 Basement Electric Layout Plan, Schedules, Notes, & Symbols**
- AE-1.1 1st, 2nd, & Attic Electric Layout Plans**

- G-1.0 Symbols, Abbreviations, Systems, & General Notes**
- G-2.0 Wall Types & Schedules**
- G-3.0 Typical Wall Section & Details**
- G-4.0 Details**
- G-5.0 Structural General Notes**

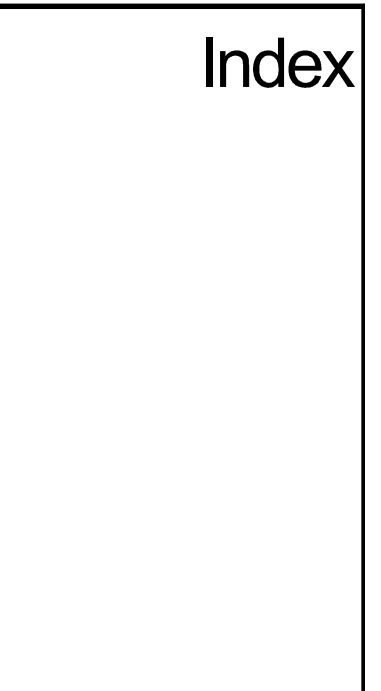
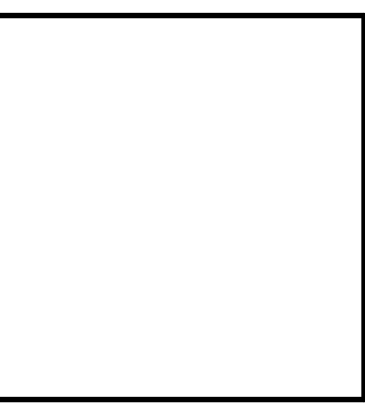
ZONING ANALYSIS					
PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED	PROJECT ADDRESS:	ZONING DISTRICT:	VARIANCE REQUESTED
186 HAROLD ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	NONE	188 HAROLD ROXBURY, MA	ROXBURY NEIGHBORHOOD 3F-4000	NONE
USE: ONE-FAMILY SEMI-DETACHED DWELLING (ALLOWED)		NONE	USE: ONE-FAMILY SEMI-DETACHED DWELLING (ALLOWED)		NONE
BUILDING FOOTPRINT: 604 SQFT	GROSS FLOOR AREA: 1208 SQFT	NONE	BUILDING FOOTPRINT: 604 SQFT	GROSS FLOOR AREA: 1208 SQFT	NONE
LOT FRONTAGE: 25'-0" (REQUIRED)	35'-5" (PROPOSED)	NONE	LOT FRONTAGE: 25'-0" (REQUIRED)	188.2'-0" (PROPOSED)	NONE
LOT WIDTH: 25'-0" (REQUIRED)	35'-0" MIN. (PROPOSED)	NONE	LOT WIDTH: 25'-0" (REQUIRED)	46'-11" MIN. (PROPOSED)	NONE
LOT SIZE: 2000 SQFT (REQUIRED)	2987 SQFT (PROPOSED)	NONE	LOT SIZE: 2000 SQFT (REQUIRED)	9267 SQFT (PROPOSED)	NONE
FLOOR AREA RATIO: .8 (REQUIRED)	.40 +/- (PROPOSED)	NONE	FLOOR AREA RATIO: .8 (REQUIRED)	.13 +/- (PROPOSED)	NONE
HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE	HEIGHT: THREE STORIES/35' (REQ'D)	TWO STORIES/<35' (PROPOSED)	NONE
OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE	OPEN SPACE: 650 SQFT (REQUIRED)	EXCEEDS MIN. (PROPOSED)	NONE
FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE	FRONT YARD SETBACK: 20'/MODAL (REQUIRED)	MODAL USED (PROPOSED)	NONE
SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE	SIDE YARD SETBACK: 10' OR 5'+10' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE	REAR YARD SETBACK: 30' (REQUIRED)	MEETS OR EXCEEDS (PROPOSED)	NONE
OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE	OFF STREET PARKING: 1 (REQUIRED)	1 (PROPOSED)	NONE

MODAL SETBACK DATA		
PROJECT ADDRESS:	PROJECT ADDRESS:	
184 HAROLD ROXBURY, MA	186 HAROLD ROXBURY, MA	
PROJECT ADDRESS: 188 HAROLD/ CRAWFORD ROXBURY, MA		
STREET: HAROLD STREET/ CRAWFORD STREET		
EXISTING BUILDINGS:	FRONT SETBACK	LOT WIDTH
180 HAROLD STREET	7'-2"(7')	45'-6"
DEPTH OF LARGEST AVERAGE LOT WIDTH:	7'-0"	
MODAL SETBACK	7'-0"	
PROPOSED SETBACK	7'-0"	

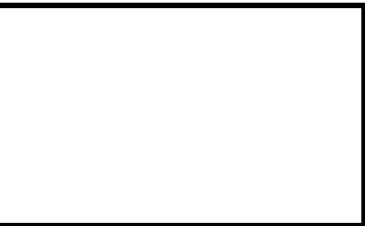
Civil Engineer:
DEVELLIS ZREIN INC.
 PO Box 307
 Foxborough, MA 02035
 (508) 473-4114

Land Surveyor:
MERRIMACK ENGINEERING SERVICES, INC.
 66 Park Street
 Andover, MA 01810
 (978) 475-3555

ELTON+HAMPTON ARCHITECTS
 103 Terrace Street
 Roxbury Crossing, MA 02120
 617.708.1071



Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	



Permit Set

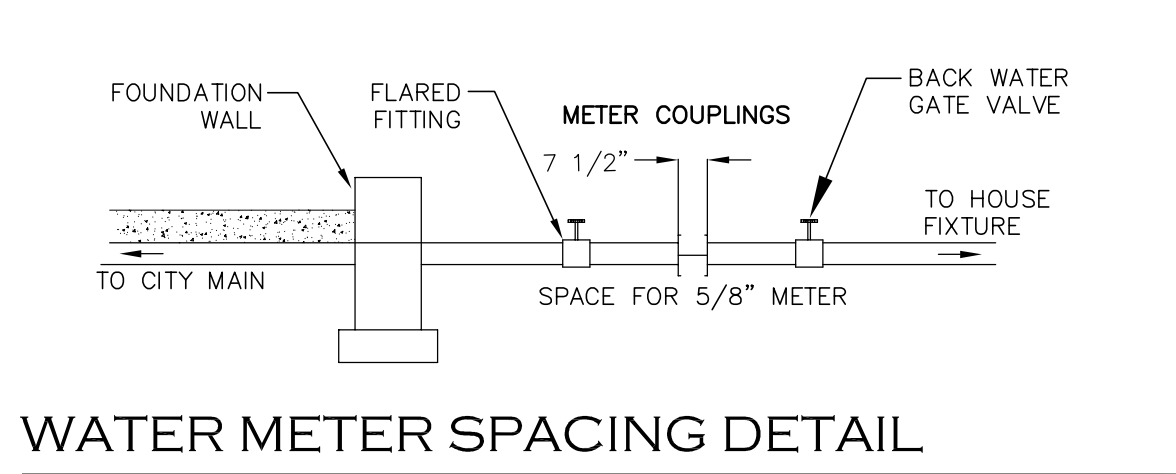
186 HAROLD STREET

ROXBURY, MA

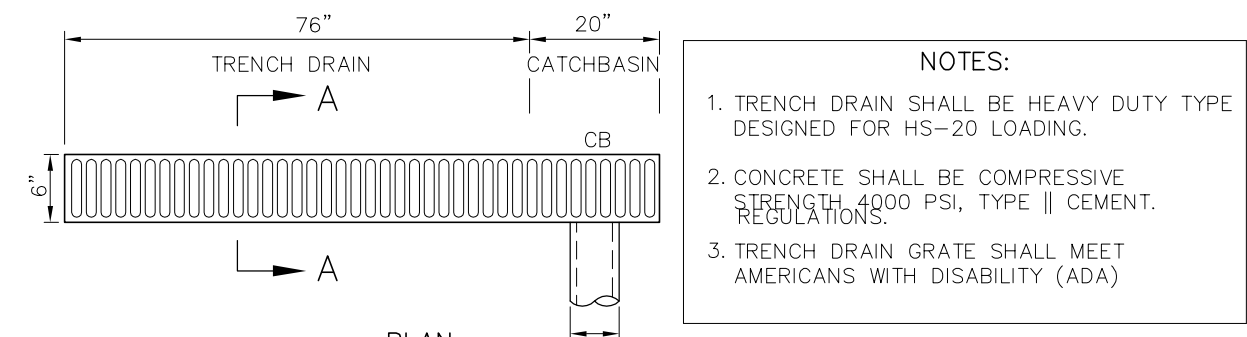
GRADING AND UTILITY LEGEND

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- ▨ CEMENT CONCRETE SIDEWALK
- SAW CUT LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- UG-E/T/FA UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
- +100.50 SPOTGRADE
- 112 PROPOSED CONTOUR LINE
- GTD GRADE TO DRAIN
- LB @ LEACHING BASIN
- WG • WATER GATE
- ⊙ CLEAN OUT
- RD ROOF DRAIN
- TD TRENCH DRAIN

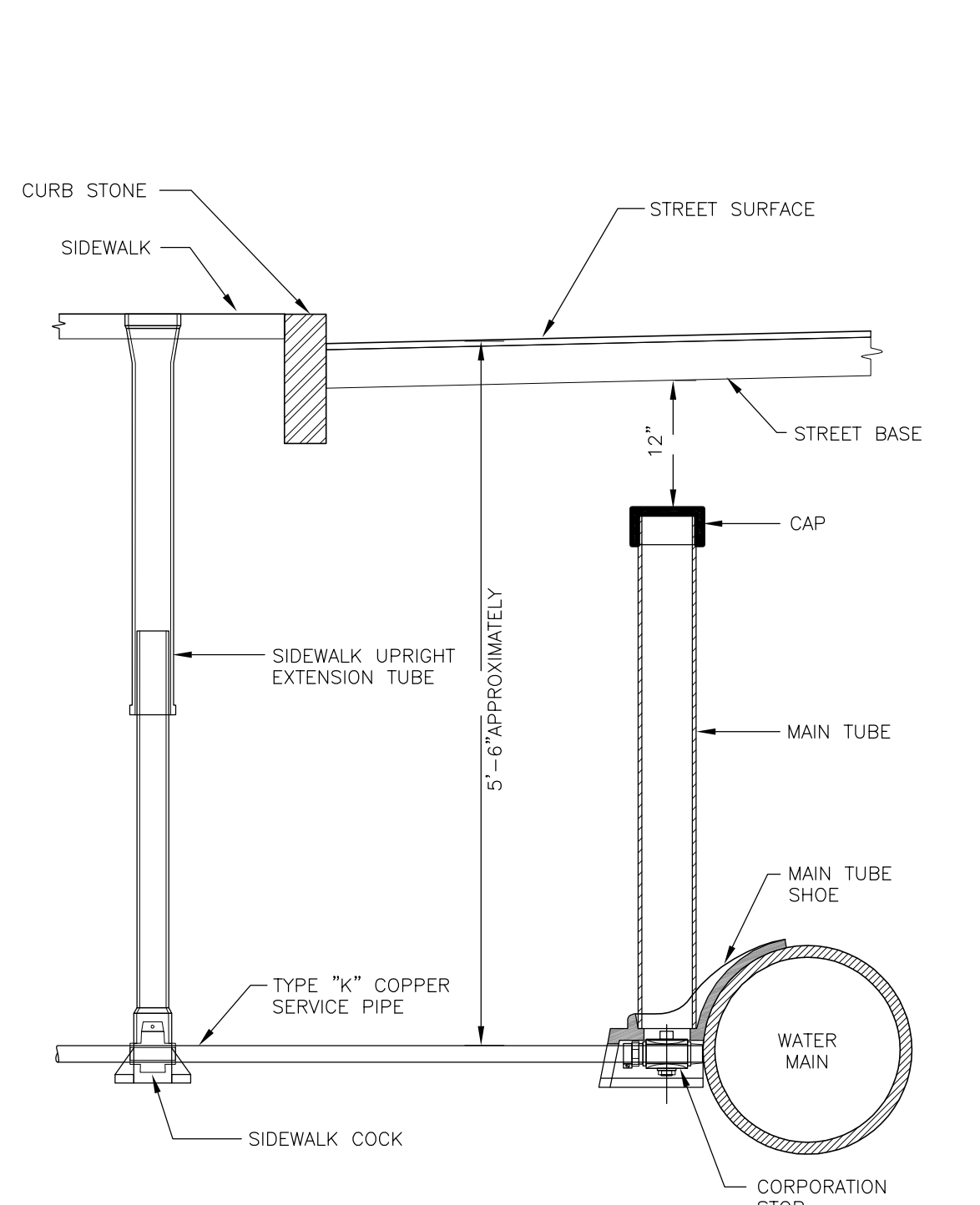
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 8" OUTSIDE DIAMETER.
 2. ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 6. STANDARD MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)



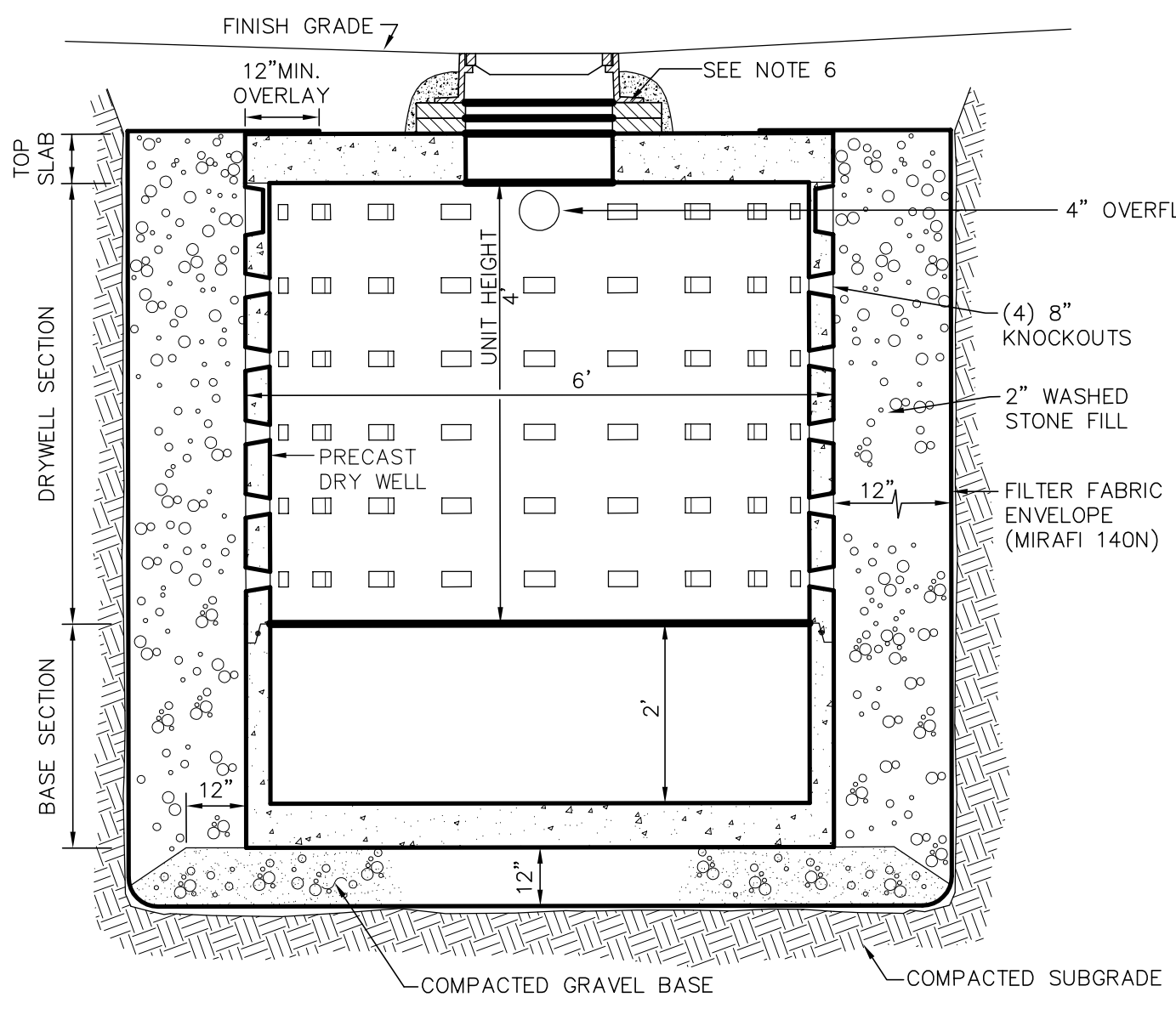
WATER METER SPACING DETAIL



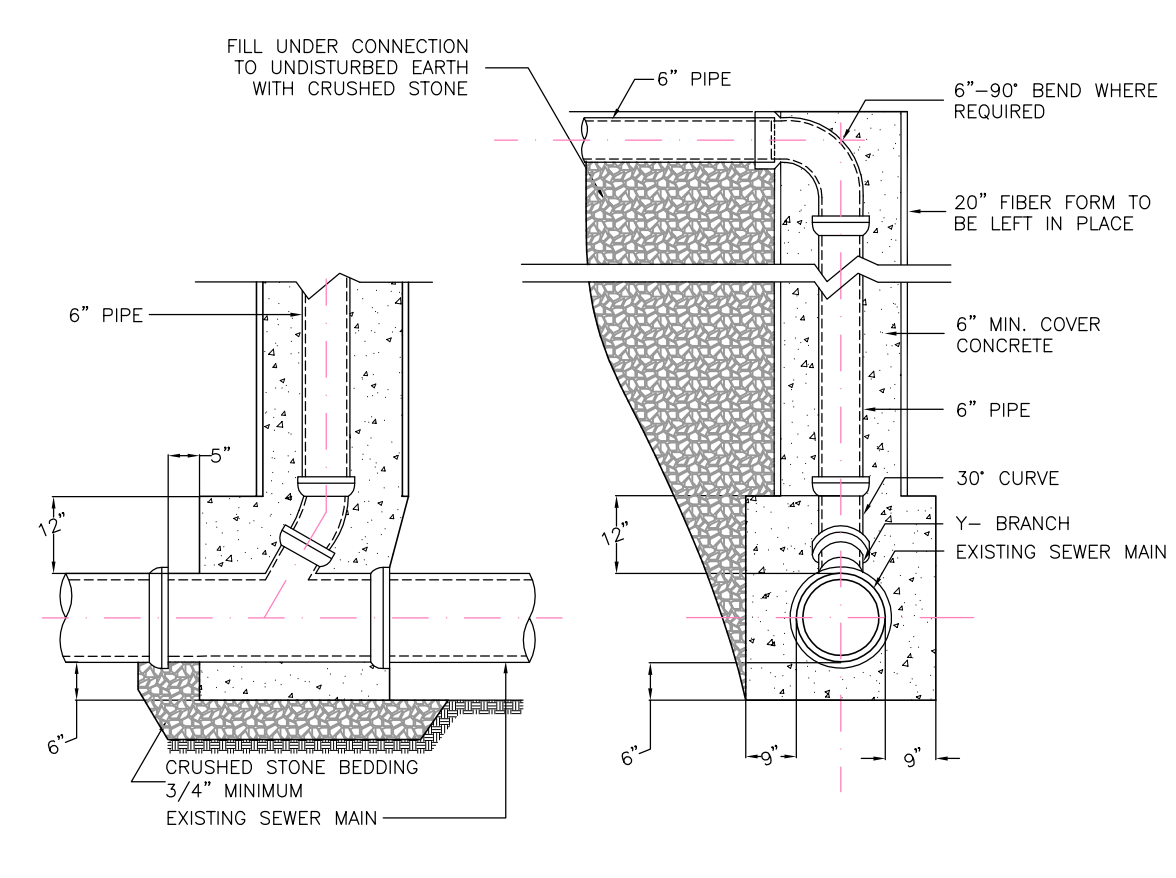
TRENCH DRAIN



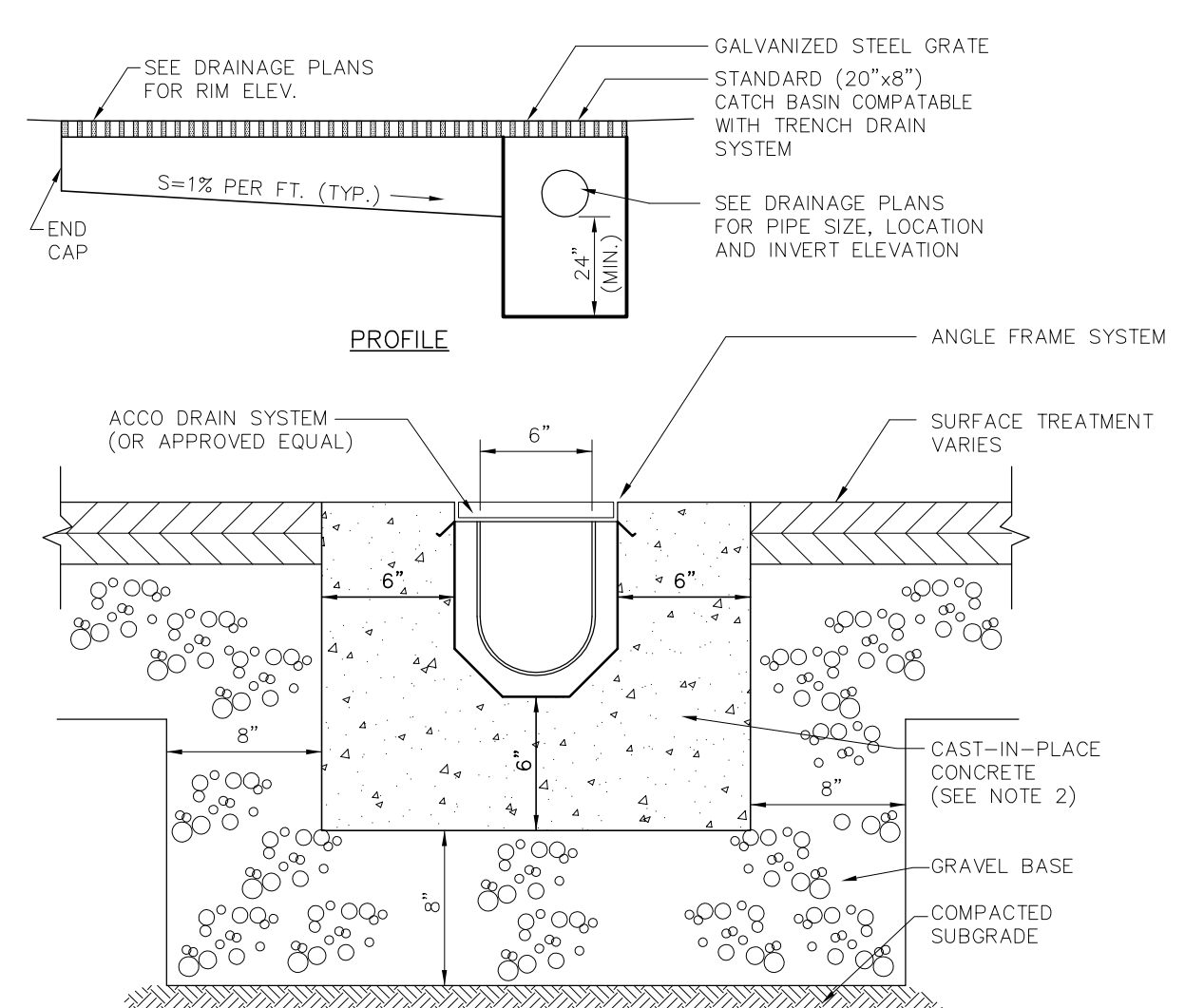
1" WATER CONNECTION DETAIL



LEACHING BASIN



SEWER CONNECTION



SECTION A-A

INFILTRATION CALCULATIONS 186 HAROLD STREET

STORAGE VOLUME REQUIRED

1-INCH OF RAINFALL OVER IMPERVIOUS SURFACES
IMPERVIOUS SURFACE = 1,028 S.F.

REQUIRED STORAGE =
(1/12) FEET X 1,028 = 86.7 C.F.

PROVIDE A LEACHING BASIN 6'-DIA/4" DEEP
W/12" STONE ALL AROUND

STORAGE PROVIDED = 113.0 C.F. > 86.7 C.F.

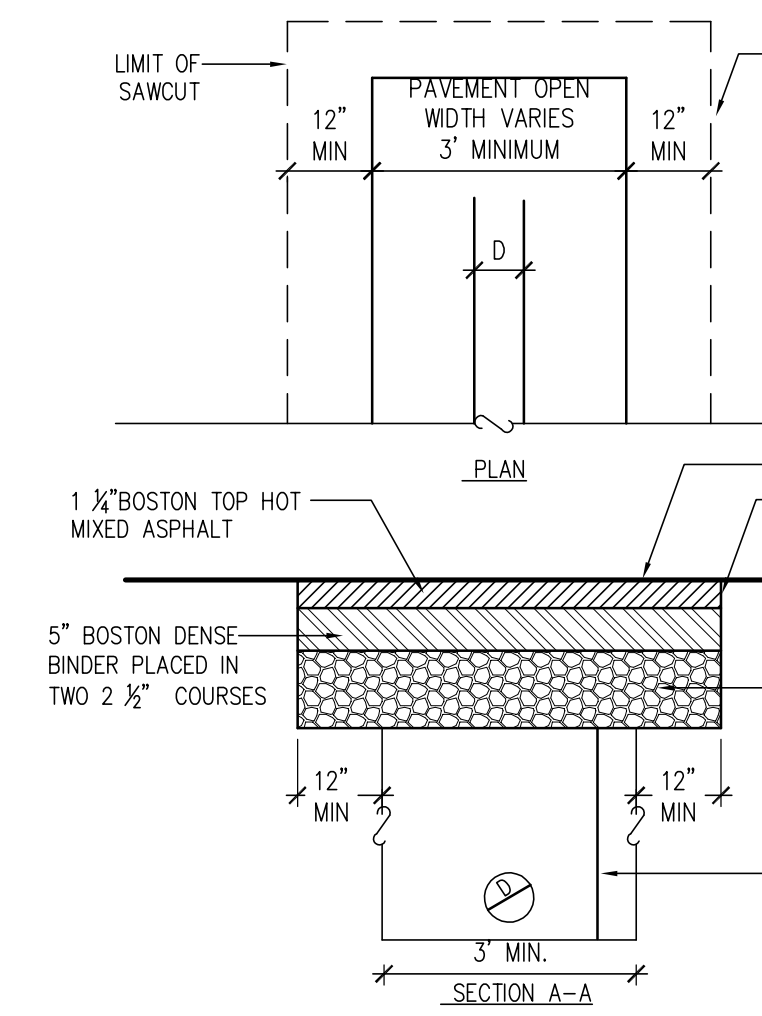
LAND USE CODE: "A" RESIDENTIAL
2 BEDROOMS (220 GPD)

BWSC INSPECTIONS:

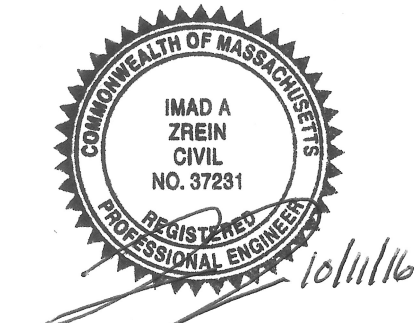
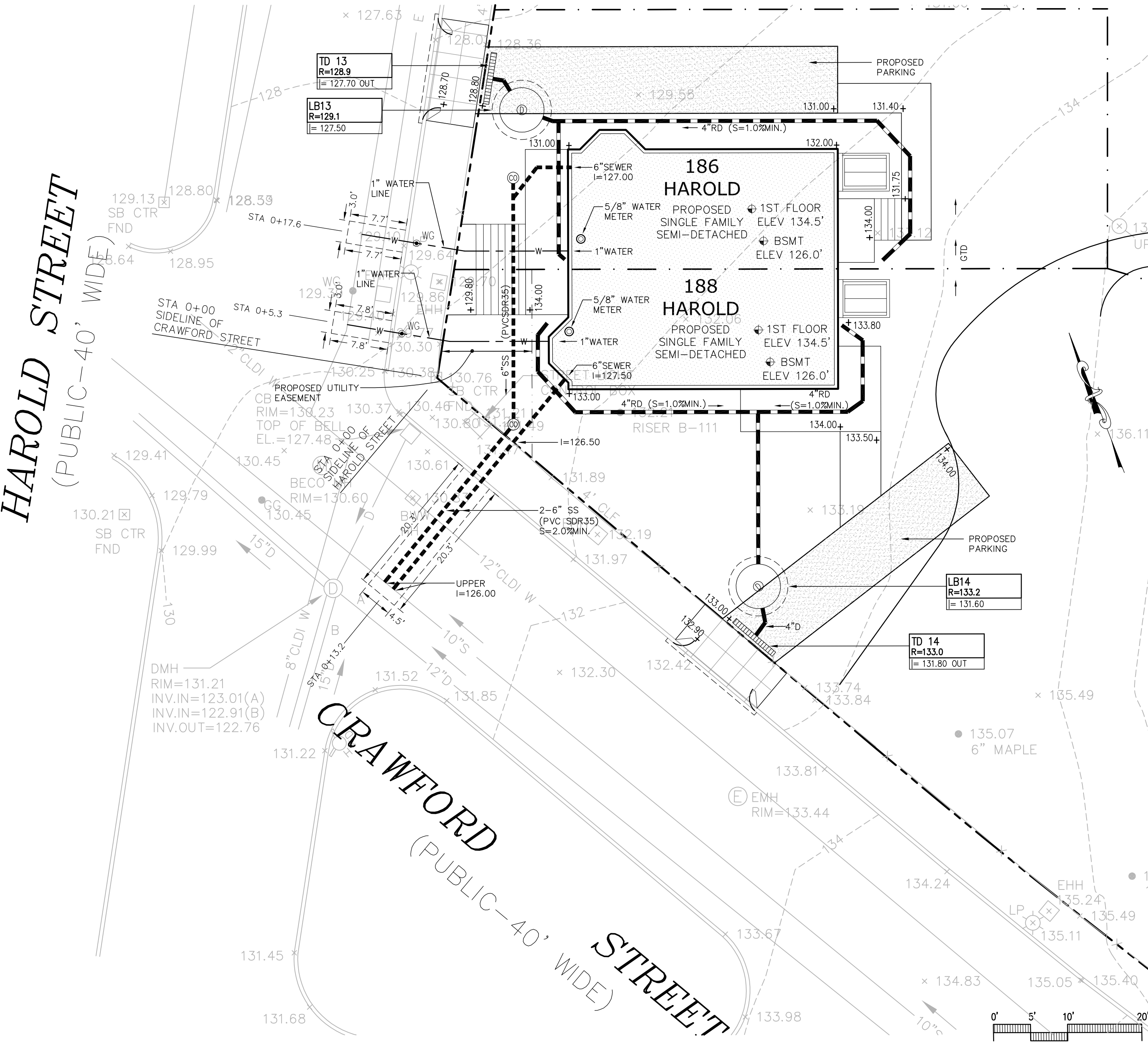
	BWSC INSPECTOR	DATE
(1) RECHARGE SYSTEM		
(2) 6" SEWER LINE		
(3) 1" WATER LINE		
(4) TRENCH DRAIN		
(5) DYE TEST		

1. Ward/Parcel: 12/3180
2. Property Location: 186 HAROLD STREET
3. Neighborhood: Roxbury
4. Site Zip: 02119
5. Owner: Garrison Trotter II c/o Windale Development Corp. c/o George Chin
6. Owner Address: 95 Humboldt Avenue, Dorchester, MA 02121
7. Owner Telephone No.: 617.445.5100
8. Type of Premise: Residential Development
9. New Account:

FOR BOSTON WATER SEWER USE ONLY



UTILITY PATCH



DZI Land Planning, Civil Engineering, Landscape Architecture
 Po Box 307
 Foxborough, MA
 www.develliszrein.com
 tel. 508.473.4114

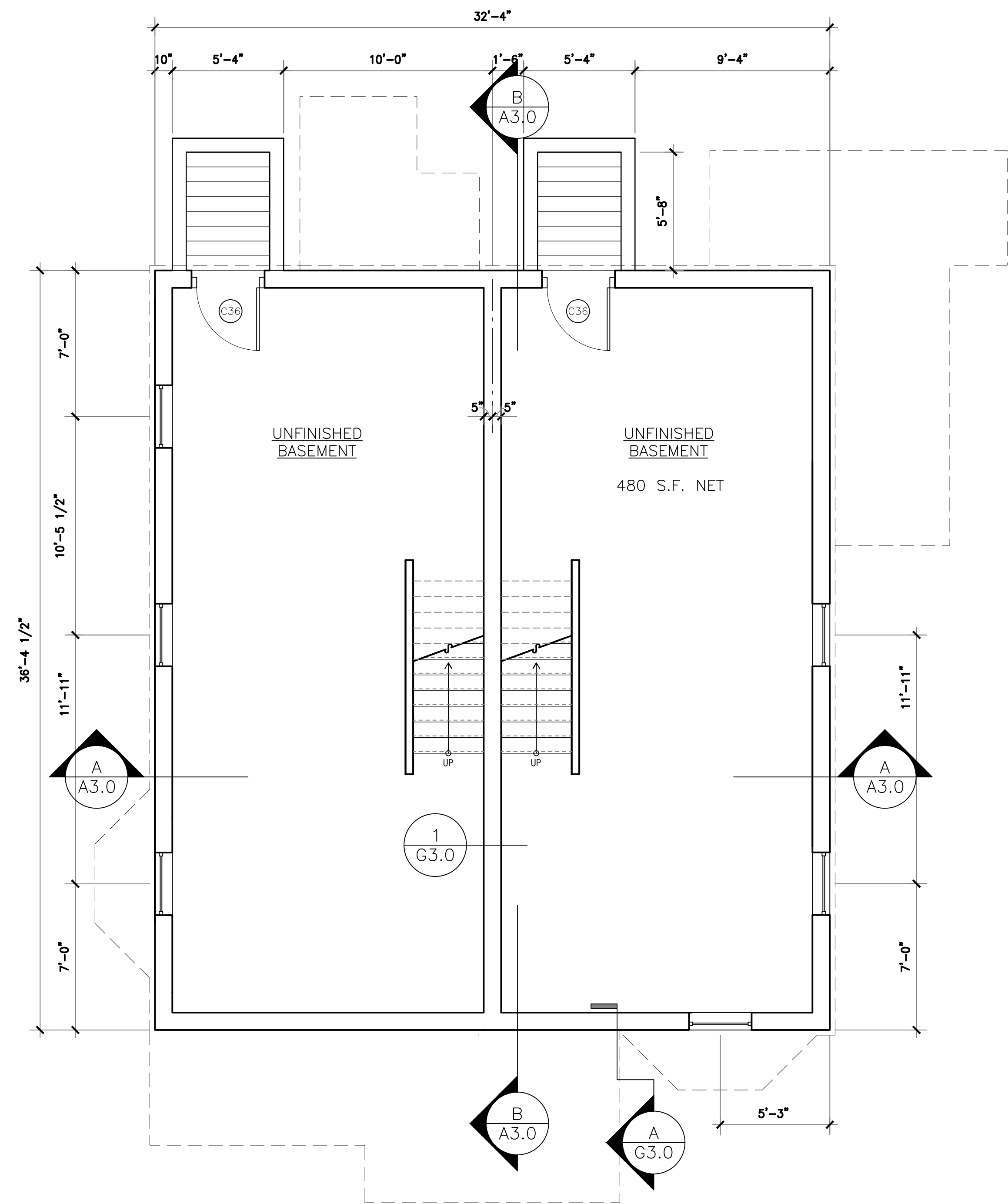
DeVellis Zrein Inc.

10.06.16 PER BSWC COMMENTS

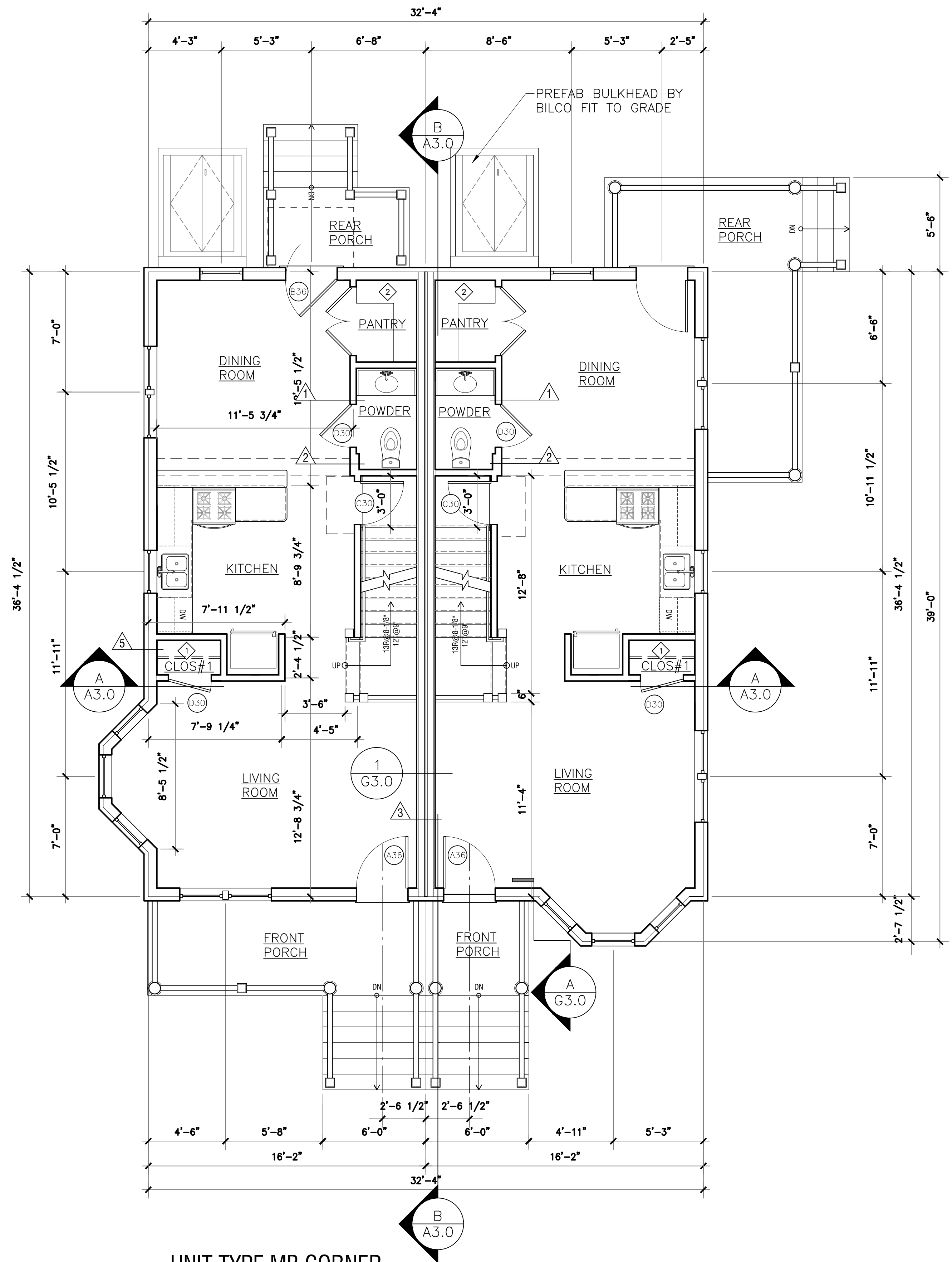
UTILITY PLAN AND DETAILS SITE PLAN # 16413

SCALE:	1" = 10'
JOB:	2G15-262
FILE:	2G15-262-GU
DRAWN:	IAZ
CHECKED:	
DATE:	08.16.16

C-1



UNIT TYPE MB CORNER
 BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



UNIT TYPE MB CORNER
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Garrison Trotter II
 Homes
 186,188 Harold Street
 Roxbury, MA

Neighborhood
 Homes Initiative
 (NHI)

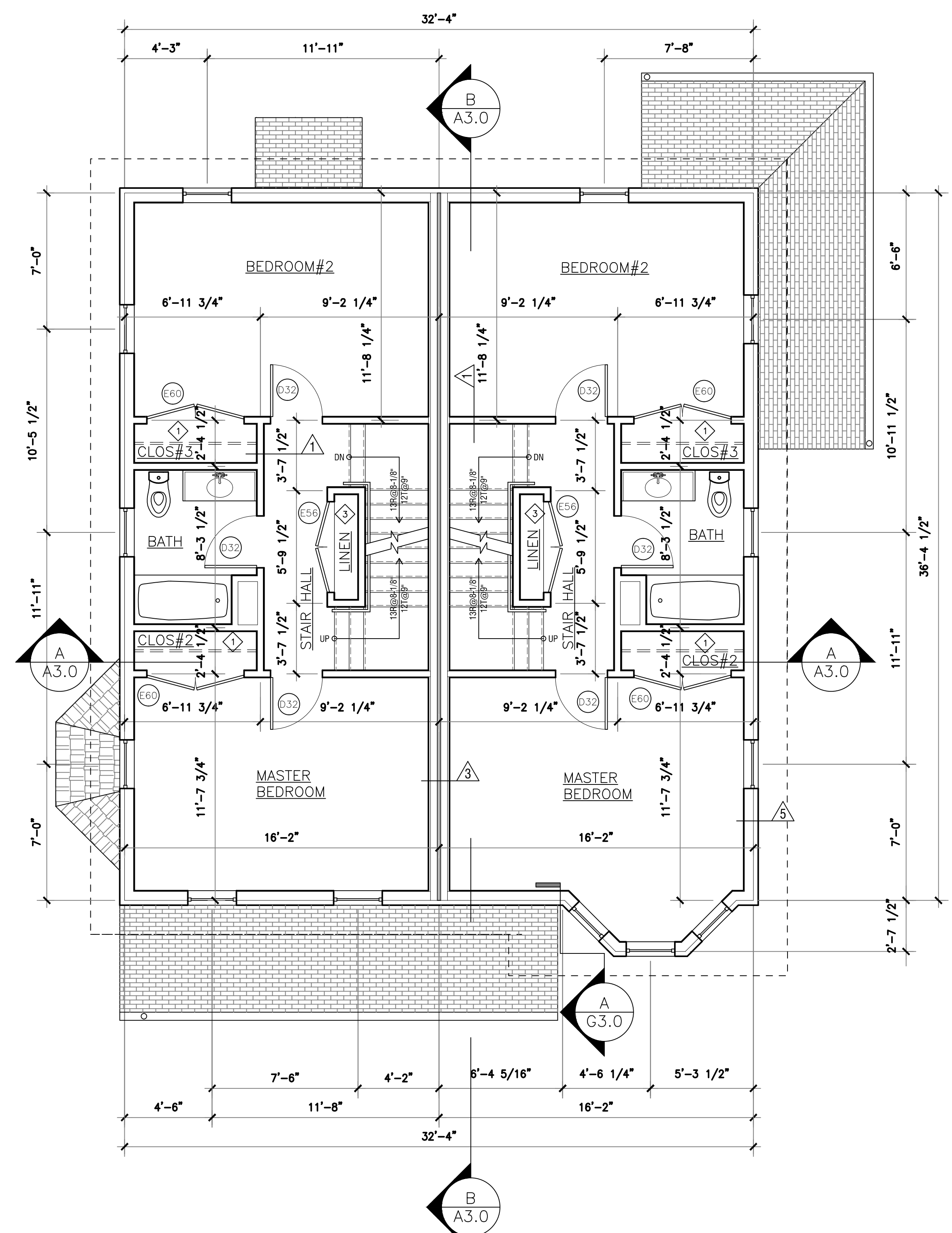
Development For:
**Windale
 Developers, Inc.**
 95 Humboldt Avenue
 Roxbury, Massachusetts 02121

**ELTON+
 HAMPTON
 ARCHITECTS**
 103 TERRACE STREET
 ROXBURY CROSSING, MA, 02120
 TEL: (617) 708-1071

Basement &
 First Floor
 Plans:

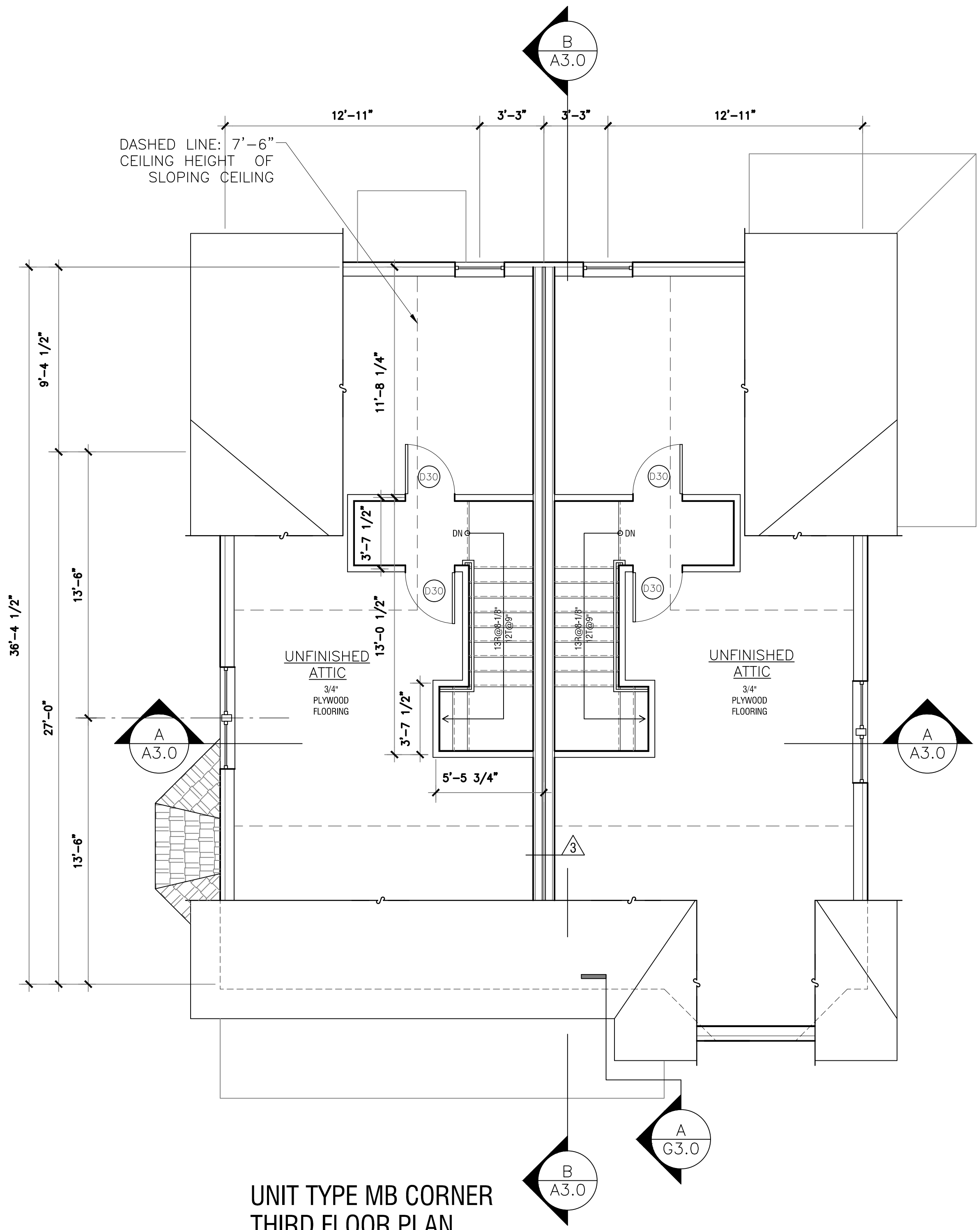
Job Ref:	
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

A-1.0



UNIT TYPE MB CORNER
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



UNIT TYPE MB CORNER
THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

Garrison Trotter II
Homes
186,188 Harold Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

Second &
Third Floor
Plans:

Job Ref:	-
Scale:	(11x17 - use graphic scale)
Drawn By:	
Date:	Oct 14, 2016
Revisions:	

Garrison Trotter II
Homes
186,188 Harold Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

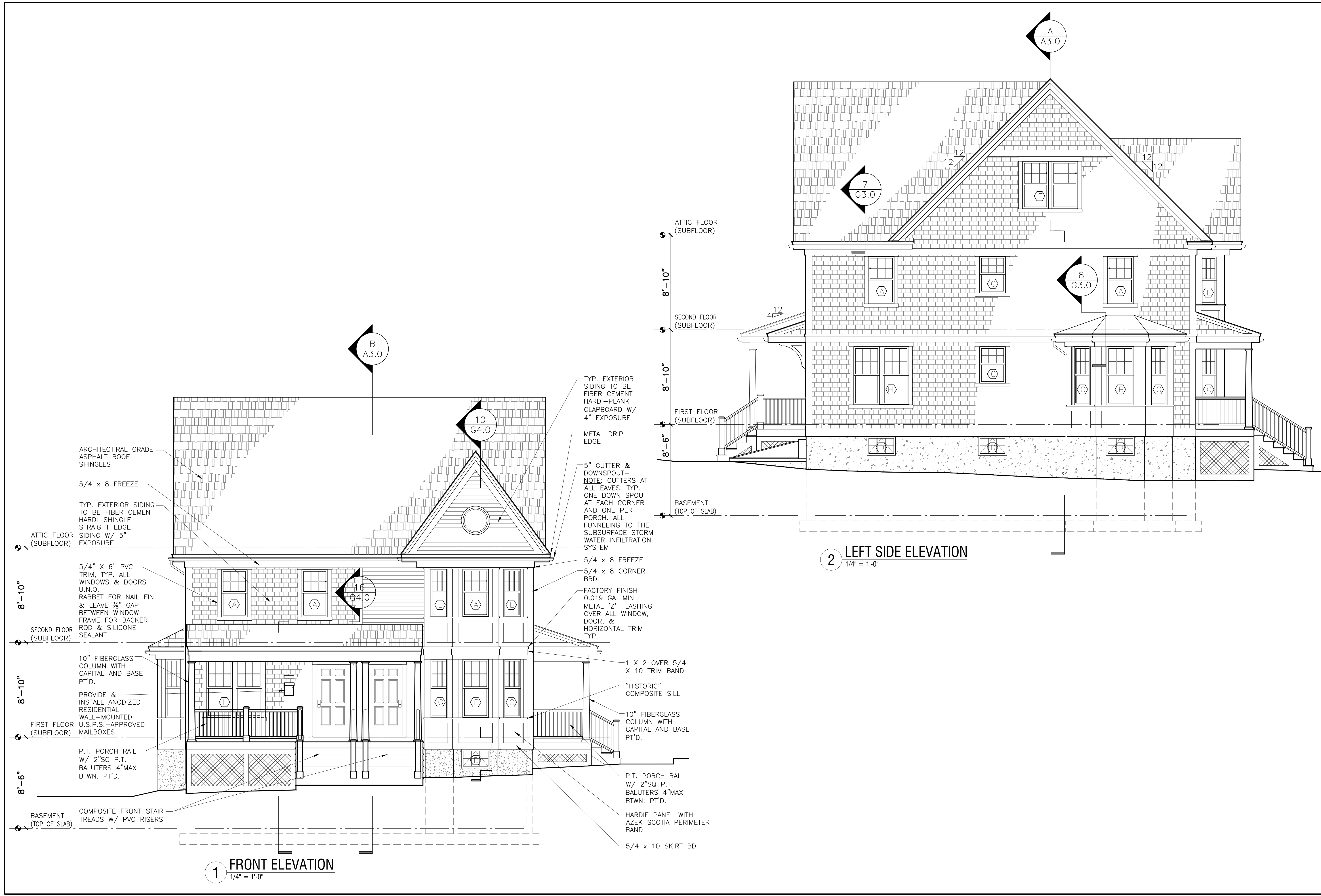
Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Front &
Left Side
Elevations**

Job Ref: -
Scale: (1/4"=1'-0" - use graphic scale)
Drawn By:
Date: Oct 14, 2016
Revisions:

A-2.0



Garrison Trotter II
Homes
186,188 Harold Street
Roxbury, MA

Neighborhood
Homes Initiative
(NHI)

Development For:
**Windale
Developers, Inc.**
95 Humboldt Avenue
Roxbury, Massachusetts 02121

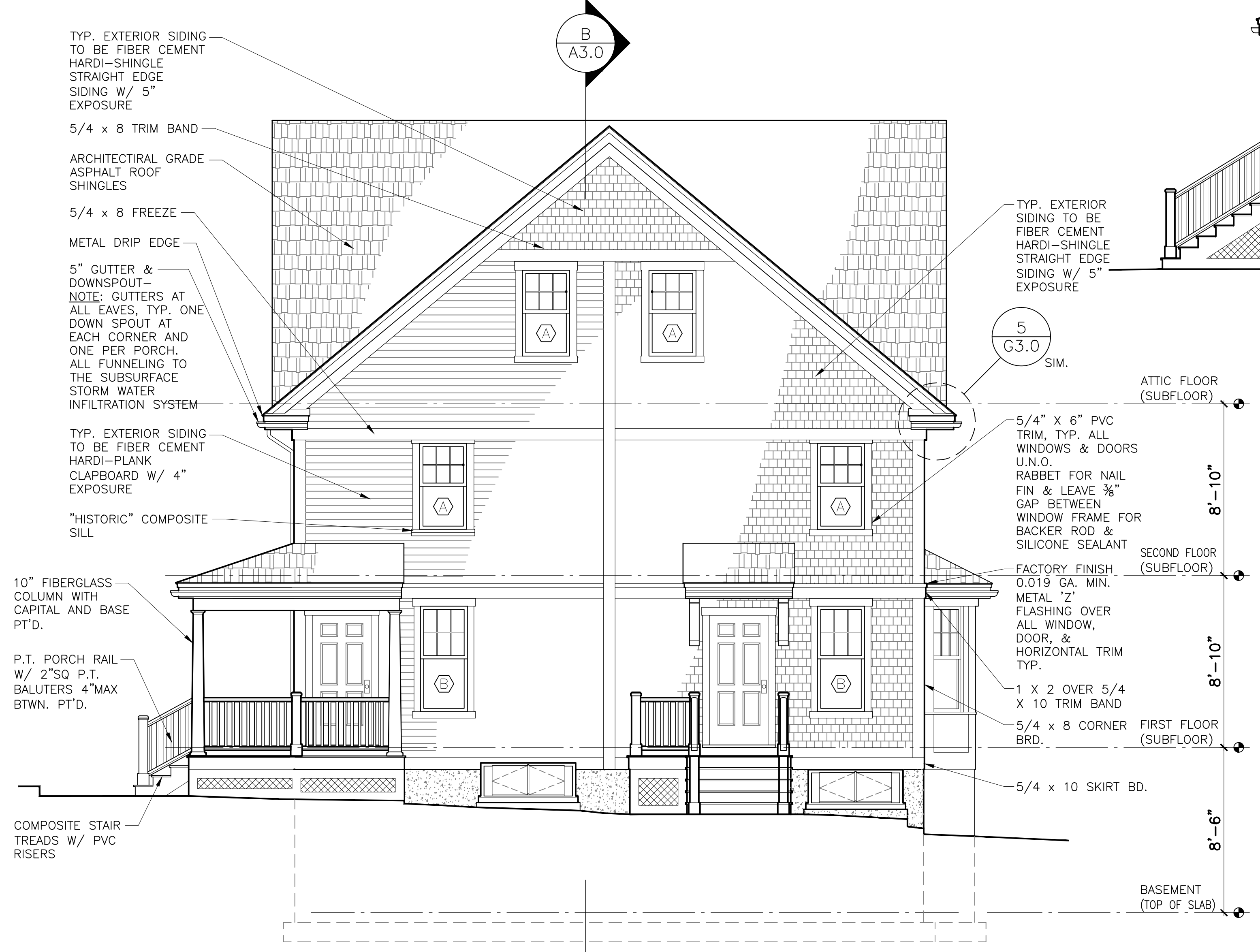
**ELTON+
HAMPTON
ARCHITECTS**
103 TERRACE STREET
ROXBURY CROSSING, MA, 02120
TEL: (617) 708-1071

**Rear &
Right Side
Elevations**

Job Ref: _____
Scale: (11x17 - use graphic scale)
Drawn By: _____
Date: Sept 24, 2016
Revisions:



3 RIGHT SIDE ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"