

120 West Fourth Street

Article 80E – Small Project Review Application



Owner and Developer:
33 A Street Development, LLC
120 West Fourth Street
Boston, MA 02127

July 10, 2015

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PROJECT TEAM

Owner and Developer:

33 A Street Development, LLC
120 West Fourth Street
Boston, MA 02127
Tel.: 617-269-2222
Email: michael@indresano.com

Legal Counsel

Marc LaCasse
LaCasse Law, LLC
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Boston, MA 02116
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Architect

Dartagnan Brown, RA
Embarc Studio LLC
60 K Street
Boston, MA 02127
Tel.: 617-766-8330

Survey and Civil Engineer

Greater Boston Surveying and Engineering
19 Fredith Road
Weymouth, MA 02189

July 10, 2015

Mr. Raul Duverge
Project Manager
Boston Redevelopment Authority
City Hall
9th Floor
Boston, MA 02201

RE: **Application for Article 80E, Small Project Review**
120 West Fourth Street [a/k/a/ 33 A Street]
South Boston, MA 02127

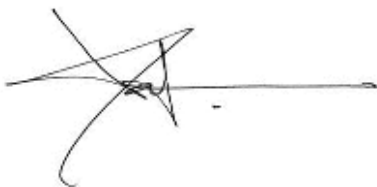
Dear Mr. Duverge:

On behalf of the Owner and Developer, 33 A Street Development, LLC, we are submitting this application for the redevelopment of 120 West Fourth Street (formal address of "33 A Street") to the Boston Redevelopment Authority for Small Project Review as defined in Section 80-E-5, Procedures for Small Project Review.

Included with this letter is the Small Project Review submission which includes at a minimum, the team members, the Zoning Analysis and the proposed plans and elevations of the project.

The new building will continue to be the home of Michael Indresano Photography and will include both below grade parking and ground level enclosed parking providing space for a total of 30 cars, street level retail space, two floors of photographic studio space, and three floors of residential rental apartments including one unit for Michael Indresano and his family.

Sincerely,



Dartagnan Brown | Architect

Principal

PROJECT DESCRIPTION

1.0 Site Information

The Project site includes approximately 8,330 square feet and is located at the intersection of West Fourth Street and A Street in South Boston. The site is currently occupied by a one story brick building which covers approximately one-half of the site. As part of the redevelopment of the site, the existing building will be demolished.

1.1 Project Cost and Financing

The estimated development costs total \$8,250,000 and will be funded with 30% equity and 70% conventional financing.

1.2 Proposed Project

As the land owner and the sole tenant of 120 West Fourth Street for the last 15 years, Michael Indresano Photography is excited at the prospect of expanding its current operations and calling this address home for him and his family.

The project will involve demolition of the existing building and construction of a new building that will provide indoor parking for both residents and clients of the photography studio at the basement and ground floor levels, 2 floors of photography studio space and 9 generously sized rental apartments including one which will be Michael and his family's home on the top floor. This floor has been set back from the face of the building along A Street and West Fourth Street disengaging itself from the building mass below in a much greater way than even 36 A Street does with its black metal top floor and the soon to be constructed second phase of the Allele Condominium does.

Parking is provided at a ratio of 1.0 space for each residential unit, thus 9, and an additional 21 spaces are provided for the photography studio clients and employees. The Zoning Code does not require that any parking be provided for this commercial business use. After business hours, some portion of the parking spaces assigned to the Indresano studio will be available as guest parking solely for the residential occupants within the building.

In addition to parking, the ground floor will contain a retail space of approximately 760SF, building support spaces and a lobby. The front door to the lobby will be located along West Fourth Street and will serve as the entry for both residents and clients of the photography studio. In order to enliven the street experience along the building, the corner of West Fourth and A Street will feature a retail space. In order to conceal the parking at grade behind the façade of the building, inset panels featuring photographic work by Michael Indresano will be inset into the masonry wall.

The building will feature materials on its façade along A Street and West Fourth Street that include masonry, metal panel and glazed curtain wall. These premium materials will give the building a permanence and stature at this prominent corner in South Boston.

1.3 Traffic and Parking Analysis

The proposed project will include a total of 30 parking spaces, 9 of which will be for the residential uses within the building representing a 1.0 ratio. Although no parking is required per the Zoning Code for the commercial office use, 21 parking spaces will be provided. All parking will be accessed from West Fourth Street in the approximate location of an existing curb cut.

The site is located within close proximity to both the Broadway Red Line T station (650 feet) and numerous bus routes along Dorchester Avenue and West Broadway which are within 250 feet of the site.

BUILDING STATISTICS AND ZONING ANALYSIS

120 West 4th Street is located at the corner of A Street and West 4th Street. The site lies within the South Boston Zoning District and the M-1 Zoning Sub-District and contains approximately 8,330 square feet of space. Multi-Family Housing is a Conditional Use in this sub-district.

Gross Floor Area and Uses of Proposed Development (measured for FAR calculation)

Basement	600 GFA	Stairs and Passenger Elevator Shaft
First Floor	1,990 GFA	Retail Space, Stairs, Building Entry
Second Floor	7,280 GFA	Office and Studio Space
Third Floor	7,280 GFA	Office and Studio Space
Fourth Floor	7,280 GFA	Residential (3-3 BR Units and 1-2BR)
Fifth Floor	7,280 GFA	Residential (4-3 Bedroom Units)
Sixth Floor	5,146 GFA	Residential / Studio (1-4 Bedroom Unit + Studio)
Total	36,856 GFA	

	ALLOWABLE / REQ'D.	PROPOSED	ZONING REFERENCE
Minimum Lot Size	5,000 SF	+/- 8,330 SF	Article 13, Table B (H-1-50) District
Min. Lot Area per Additional Dwell. Unit.	1,000 per additional D.U.	+/- 833 SF	Article 13, Table B (H-1-50) District
Minimum Lot Width	50'-0"	64.38'	Article 13, Table B (H-1-50) District
Floor Area Ratio	1.0	4.42	Table B (M-1 District)
Building Height	2 ½ Stories, 35'-0"	6 Stories, 69'-8"	Table B (M-1 District)
Usable Open Space per Dwelling Unit.	400 SF per D.U. = 3,600	600 SF	Article 13, Table B (H-1-50) District
Front Yard Setback (West 4 th)	20'-0"	0.083'	Article 13, Table B
Side Yard Setback (A Street and abutting property to the East)	13' + 1/20 parallel wall = 13.3'	0.33 on A Street .25' on Abutting Property	Article 13, Table B, Section 19-4.
Rear Yard Setback	10+L/20; 20' max= 6.45'	Varies, .167' and 1.5'	Article 13, Table B; Section 20.4
Parapet Setback	Not Applicable		
Parking	Residential Use = 1.0 per D.U., thus 9 required. Office Use: None required due to restricted parking district.	30, 9 for residential use and 21 for Office Use during Business Hours. 10 of the 30 are Compact.	Article 23.1
Design of Off-Street Parking	8'-6" x 20'-0" = Full 7'-6" x 18'-0" = Compact	50% Compact allowed and 33% proposed.	Article 23.1



**Boston Inspectional Services Department
Planning and Zoning Division**

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh
Mayor

ZONING CODE REFUSAL

Gary P. Moccia
Inspector of Buildings

JONATHAN PARKES
19 SALCOMBE STREET
BOSTON, MA 02125


March 13, 2015
APR 07 2015 AB

Location: 120 W FOURTH ST SOUTH BOSTON, MA 02127
Ward: 06
Zoning District: South Boston
Zoning Subdistrict: M-1
Appl. # : ERT449075
Date Filed: February 23, 2015
Purpose: Demo Existing building and New Construction, 20 interior parking spaces, 2 commercial floors to be used as offices / photography studios, and 9 residential dwelling units.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Art. 03 Sec. 3-1	Restricted Parking District	Restricted parking district.
Art. 08 Sec.07	Use: Conditional	Multi family dwelling unit is a conditional
Art. 14 Sec. 14-2	Additional Lot Area Required	Add'l lot area is required for the other dwelling units
Art. 15 Sec. 01	Floor Area Ratio excessive	Floor area ratio is excessive
Art. 17 Sec. 01	Usable open Space Insufficient	Usable open space is insufficient
Art. 18 Sec. 01	Front Yard Insufficient	Front yard req. is insufficient (W fourth St side)
Art. 18 Sec. 01	Front Yard Insufficient	Front yard is insufficient (A Street side)
Art. 19 Sec. 01	Side yard insufficient	Side yard requirement is insufficient
Art. 20 Sec. 01	Rear Yard Insufficient	Rear yard requirement is insufficient
Article 16, Section 1	Building Height Excessive	Maximum building height is excessive

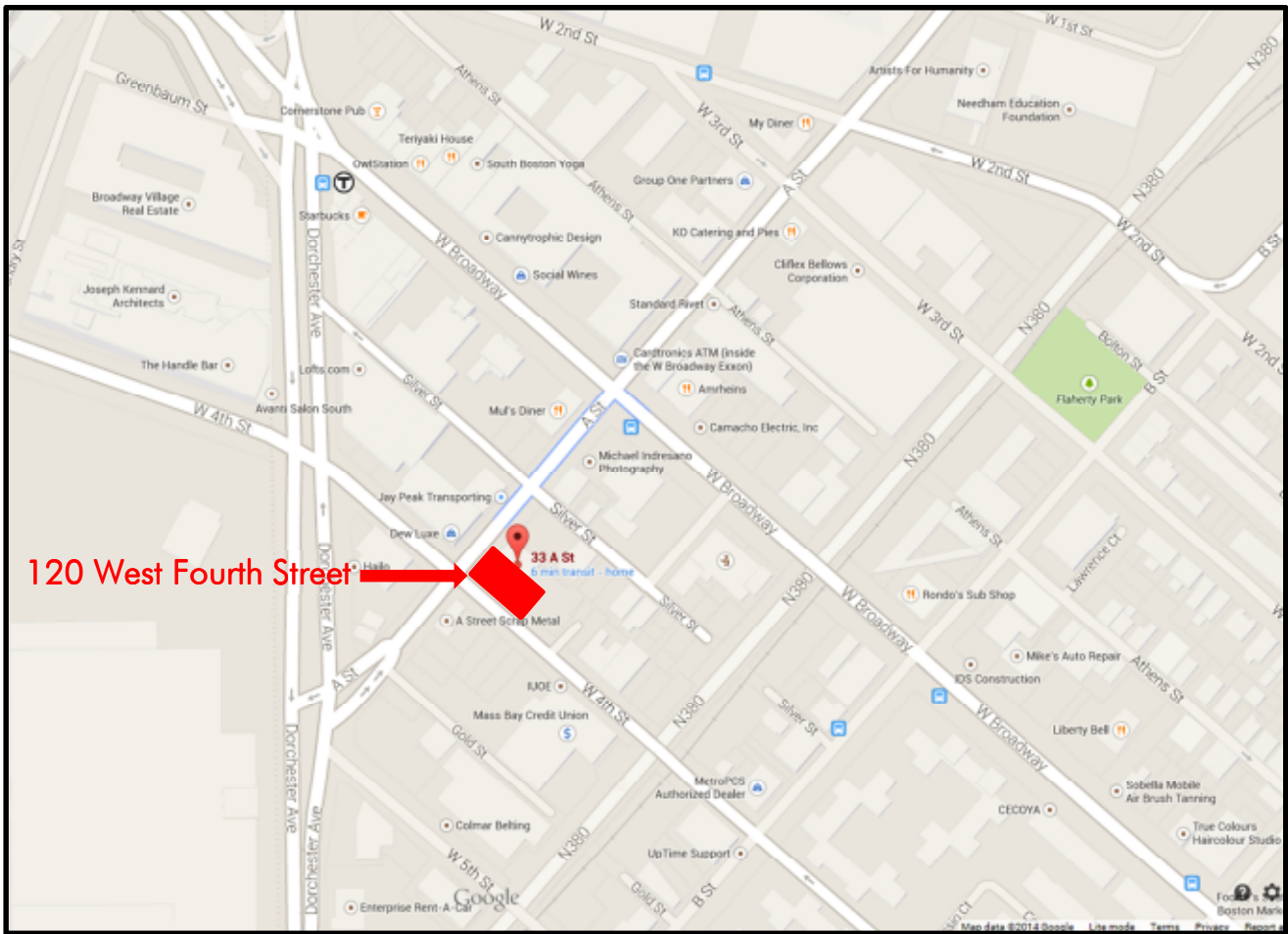
THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.



Marc Joseph
(617)961-3233
for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.

LOCUS MAP



SITE PHOTOGRAPHS



View towards 120 West Fourth Street



View looking down A Street towards the site

SITE PHOTOGRAPHS



View looking down West Fourth Street towards the site



ARCHITECTURAL DRAWINGS

120 WEST FOURTH STREET

SOUTH BOSTON, MA

JULY 10, 2015

ISSUED FOR CONSTRUCTION

ARCHITECT
EMBARC
ARCHITECTURAL
319 A STREET, SUITE 58
BOSTON, MA 02219
617.406.6000
www.embarcstudio.com

OWNER
33 A STREET DEVELOPMENT LLC

PROJECT TEAM

ABBREVIATIONS

- A.F.F. ABOVE FINISHED FLOOR
- ACT ACOUSTICAL CEILING TILE
- AGA AMERICANS W/ DISABILITIES ACT
- APPROX APPROXIMATE
- ARCH ARCHITECTURAL
- AV AUDIO VISUAL
- BLDG BUILDING
- BUILD BUILDING
- B.O. BOTTOM OF
- CAB CABINET
- C.H. CEILING HEIGHT
- CLR CLEAR
- CL CHIMNEY
- COL COLUMN
- CONT CONTINUOUS
- CMU CONCRETE MASONRY UNIT
- C.J. CONTROL JOINT
- DTL DETAIL
- DM DIAMETER
- DM DIMENSION
- DN DOWN
- DWG DRAWING
- EXIST EXISTING
- ELEV ELEVATION
- ELEC ELECTRICAL
- EQ EQUAL
- FD FLOOR DRAIN
- F.O. FACE OF
- F.O.C. FACE OF CONCRETE
- F.O.F. FACE OF FINISH
- F.O.S. FACE OF STUD
- GFIC GROUND FAULT INTERCEPTOR CIRCUIT
- GSMA GALVANIZED SHEET METAL
- GWB GYPSUM WALL BOARD
- H OR HVAC HEATING, VENTILATING, AND AIR CONDITIONING
- H.B. HOSE BIB
- HM HOLLOW METAL
- M.M. MARMALAM
- M.O. MASONRY OPENING
- MECH MECHANICAL
- MEP MECHANICAL ELECTRICAL PLUMBING
- MH MARMALAM
- MISC MISCELLANEOUS
- MTL METAL
- N.I.C. NOT IN CONTRACT
- NO NUMBER
- N.T.S. NOT TO SCALE
- OV OVER
- O.C. ON CENTER
- O.D. OUTSIDE DIAMETER
- OPEN OPENING
- OPP OPPOSITE
- P.G. PAINT GRADE
- PTWD PLYWOOD
- PTD PAINTED
- R.D. ROOF DRAIN
- REQD REQUIRED
- R.O. ROUGH OPENING
- SCHED SCHEDULE
- S.G. STAIN GRADE
- SM SMLAR
- S.S.D. SEE JARGON DRAWINGS
- SQ SQUARE
- SPEC SPECIFICATION
- S.S.D. SEE STRUCTURAL DRAWINGS
- STL STAINLESS STEEL
- STL STEEL
- STOR STORAGE
- STR STRUCTURE
- SYM SYMMETRICAL
- T TEMPERED
- T&G TONGUE AND GROOVE
- TRK TRACK
- T.O. TOP OF
- T.S. TUBULAR STEEL
- TRP TYPICAL
- U.N. UNLESS OTHERWISE NOTED
- V.I.F. VERIFY IN FIELD
- W WITH
- W/O WITHOUT
- WD WOOD
- WTR WATERPROOFING MEMBRANE

SYMBOLS

- REFERENCE NUMBER
BUILDING SECTION
DRAWING SHEET
- REFERENCE NUMBER
DETAIL
DRAWING SHEET
- REFERENCE NUMBER
DRAWING
DRAWING SHEET
- REFERENCE NUMBER
INTERIOR ELEVATION
DRAWING SHEET
- REFERENCE NUMBER
EXTERIOR ELEVATION
DRAWING SHEET
- NORTH ARROW
- WINDOW TAG
- DOOR TAG
- WALL TYPE TAG
- APPLIANCE TAG
- REVISION TAG
- CENTER LINE

RENDERING



VICINITY MAP



SHEET INDEX

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- A001 ARCHITECTURAL INFORMATION
- A101 GROUND LEVEL PLAN
- A102 COMMERCIAL LEVEL PLANS
- A103 RESIDENTIAL LEVEL PLANS
- A104 PENTHOUSE + ROOF PLANS
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS

PROJECT DATA + ZONING REVIEW

5,146 GFA	RES./STUDIO	6
7,280 GFA	RESIDENTIAL	5
7,280 GFA	RESIDENTIAL	4
7,280 GFA	OFFICE / STUDIO	3
7,280 GFA	OFFICE / STUDIO	2
1,990 GFA	PARKING / LOBBY	1
600 GFA	PARKING	0

120 WEST 4TH STREET IS LOCATED AT THE CORNER OF A STREET AND WEST 4TH STREET. THE SITE LIES WITHIN THE SOUTH BOSTON ZONING DISTRICT AND THE M-1 ZONING SUB-DISTRICT AND CONTAINS APPROXIMATELY 8,330 SQUARE FEET OF SPACE. MULTIFAMILY HOUSING IS A CONDITIONAL USE IN THIS SUB-DISTRICT.

THE GROSS FLOOR AREA OF THE PROJECT IS 34,856 SF. MULTIFAMILY HOUSING IS A CONDITIONAL USE IN THIS M-1 ZONING DISTRICT.

DIMENSIONAL REQUIREMENTS	ALLOWABLE/REQUIRED	PROPOSED	ZONING REFERENCE
MINIMUM LOT SIZE	5,000 SF	8,330 +/- SF	ARTICLE 13, TABLE B (M-1-50 DISTRICT)
MIN. LOT AREA PER ADDITIONAL DU	1,000 SF PER ADDL DU	833 +/- SF	ARTICLE 13, TABLE B (M-1-50 DISTRICT)
MINIMUM LOT WIDTH	50'-0"	64.30'	ARTICLE 13, TABLE B (M-1-50 DISTRICT)
FLOOR AREA RATIO	1.0	4.42	TABLE B (M-1 DISTRICT)
BUILDING HEIGHT	2 1/2 STORIES, 20'-0"	6 STORIES, 69'-0"	TABLE B (M-1 DISTRICT)
USABLE OPEN SPACE PER DU	400 SF PER DU = 3,600 SF	600 SF	ARTICLE 13, TABLE B (M-1-50 DISTRICT)
FRONT YARD SETBACK (ON 4TH ST)	20'-0"	0.00'	ARTICLE 13, TABLE B
SIDE YARD SETBACK (A STREET AND ABUTTING PROPERTY TO THE EAST)	14' + 1/20 PARALLEL WALL = 13'-3"	0.33 on W Street 25' on Abutting Property	ARTICLE 13, TABLE B, SECTION 19.4
REAR YARD SETBACK	14' + LOS, 20' MAX = 16.45'	Varies, 1.67 to 1.5'	ARTICLE 13, TABLE B, SECTION 20.4
PARAPET SETBACK	NOT APPLICABLE		
PARKING	RESIDENTIAL USE: 9 PER DU = 4 REQD OFFICE USE: NONE REQUIRED DUE TO RESTRICTED PARKING DISTRICT	30 - 9 for residential use and 21 for Office Use during Business Hours, 10 if 50 are compact	ARTICLE 23-1
DESIGN OF OFF STREET PARKING	8'6" x 20'-0" = FULL 7'6" x 18'-0" = COMPACT	50% COMPACT ALLOWABLE 50% PROPOSED	ARTICLE 23-1

REQUIRED VARIANCES:

LOT AREA FOR ADDITIONAL DWELLING UNITS	ARTICLE 14, SECTION 2
FLOOR AREA RATIO	ARTICLE 15, SECTION 1
BUILDING HEIGHT	ARTICLE 16, SECTION 1
USABLE OPEN SPACE	ARTICLE 17, SECTION 1
FRONT YARD SETBACK	ARTICLE 18, SECTION 1
SIDE YARD SETBACK	ARTICLE 19, SECTION 1
REAR YARD SETBACK	ARTICLE 20, SECTION 1

AVERAGE GRADE: 18.12

120 WEST FOURTH STREET
 SOUTH BOSTON, MA
ISSUED FOR CONSTRUCTION
 JULY 10, 2015

REVISIONS

NO.	DATE	DESCRIPTION

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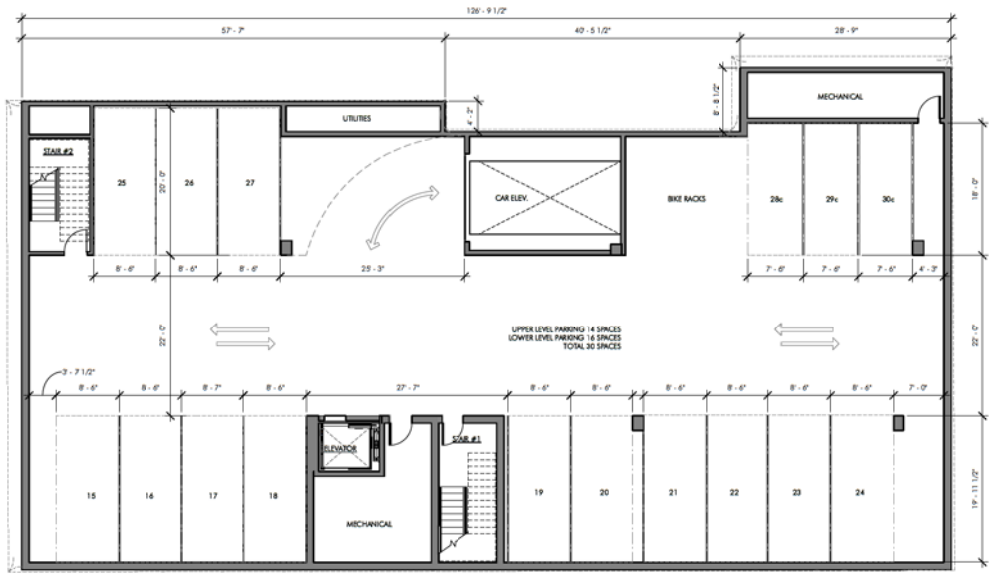
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ARCHITECTURAL INFORMATION

DRAWING NUMBER

A001

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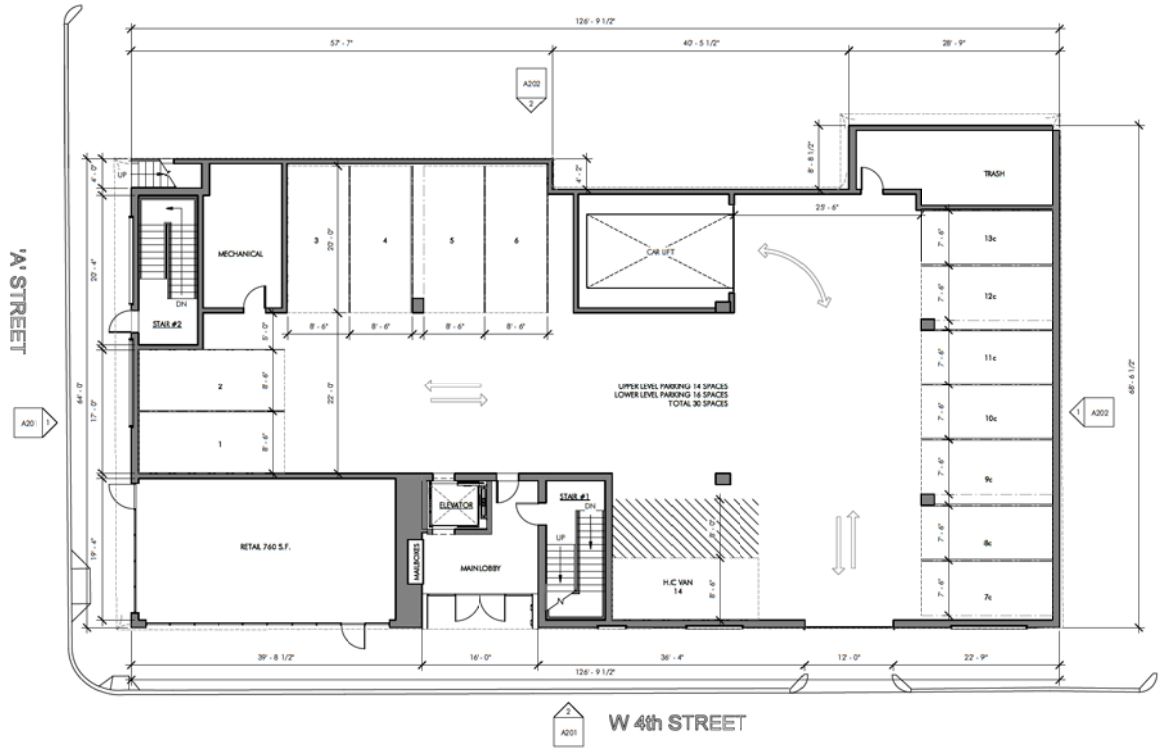
120 WEST FOURTH STREET
 SOUTH BOSTON, MA
ISSUED FOR CONSTRUCTION
 JULY 10, 2015

REVISION

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 DATE: 08/15/2015
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 DRAWN BY: Author
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DRAWING TITLE
LOWER LEVEL PLAN

DRAWING NUMBER
A100



120 WEST FOURTH STREET
 SOUTH BOSTON, MA
ISSUED FOR CONSTRUCTION
 JULY 10, 2015

REVISION

NO.	DESCRIPTION

DRAWING INFORMATION

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DRAWING NUMBER

A101

REVISION

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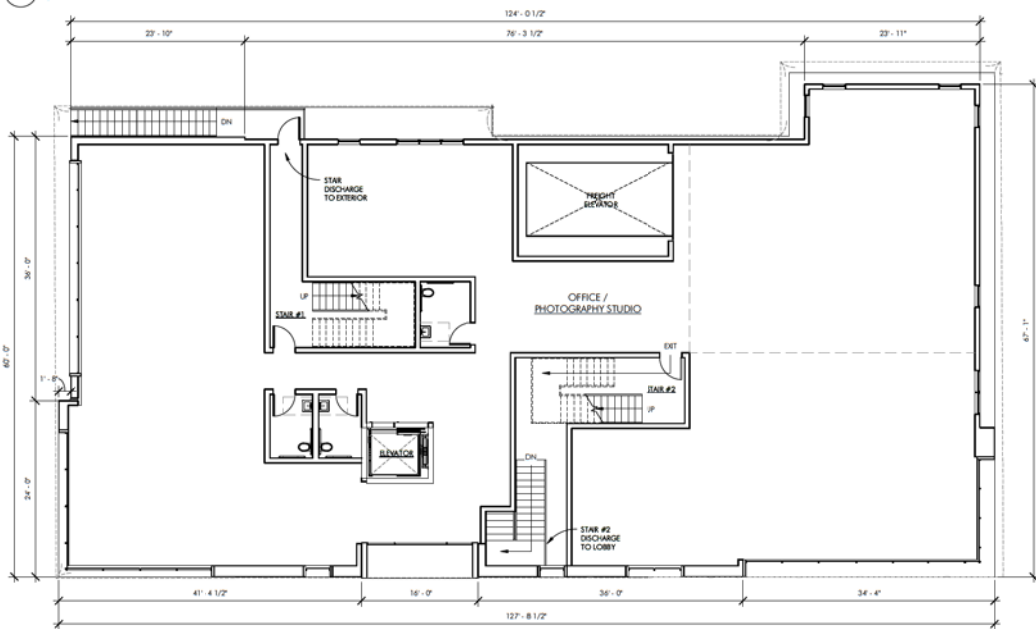
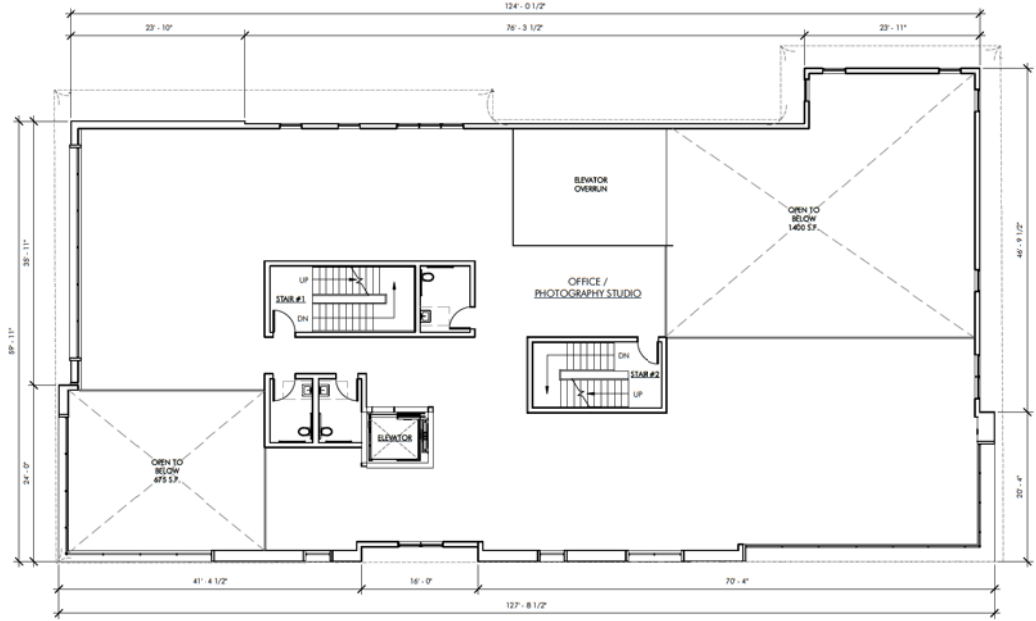
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**COMMERCIAL
 LEVEL PLANS**

DRAWING NUMBER

A102

ISSUED FOR CONSTRUCTION



REVISION

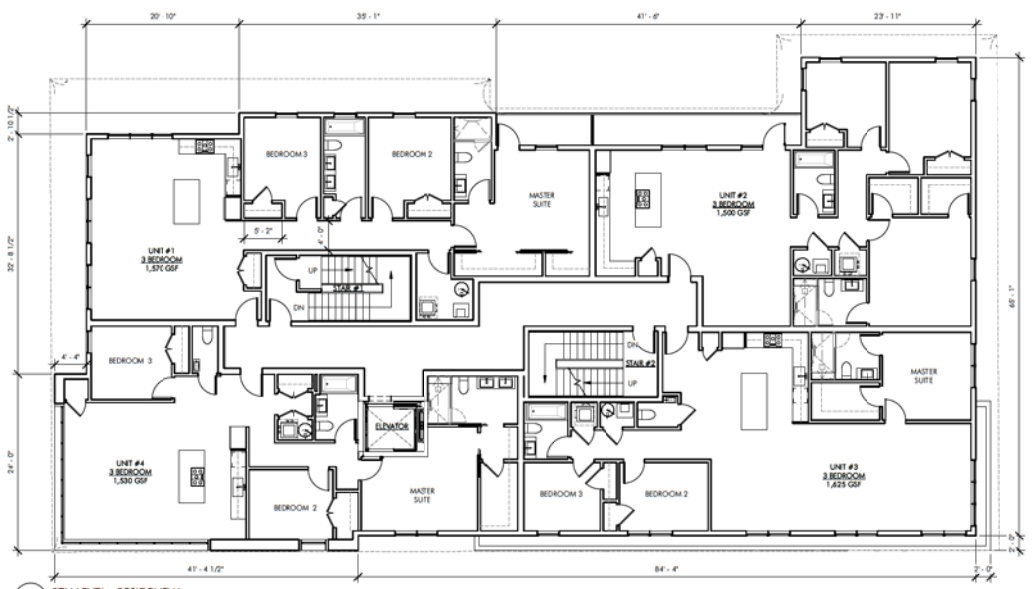
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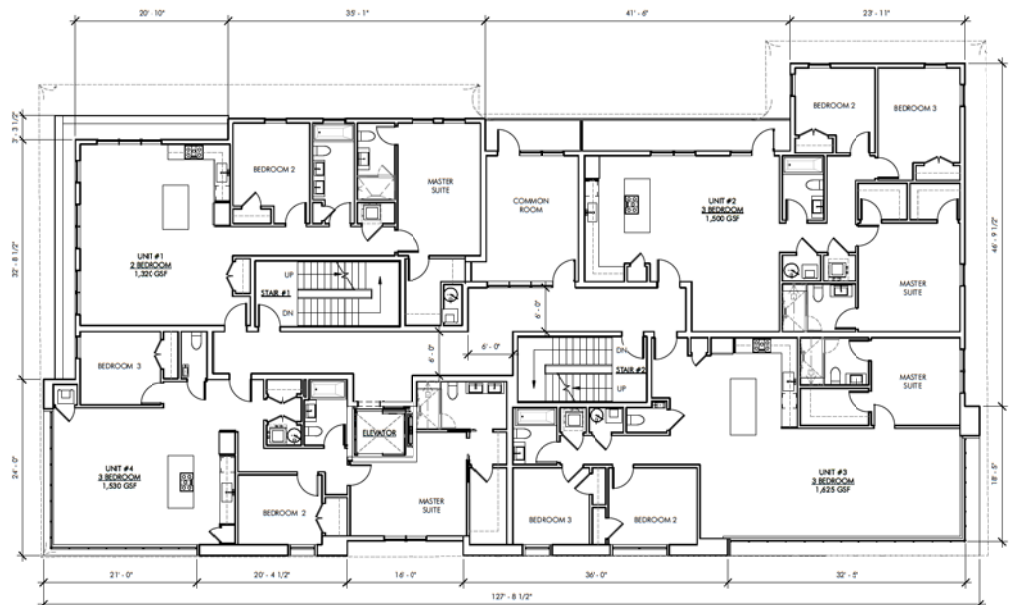
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RESIDENTIAL LEVEL PLANS

DRAWING NUMBER

A103



2 5TH LEVEL - RESIDENTIAL
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1 4TH LEVEL - RESIDENTIAL
1/8" = 1'-0"

REVISION

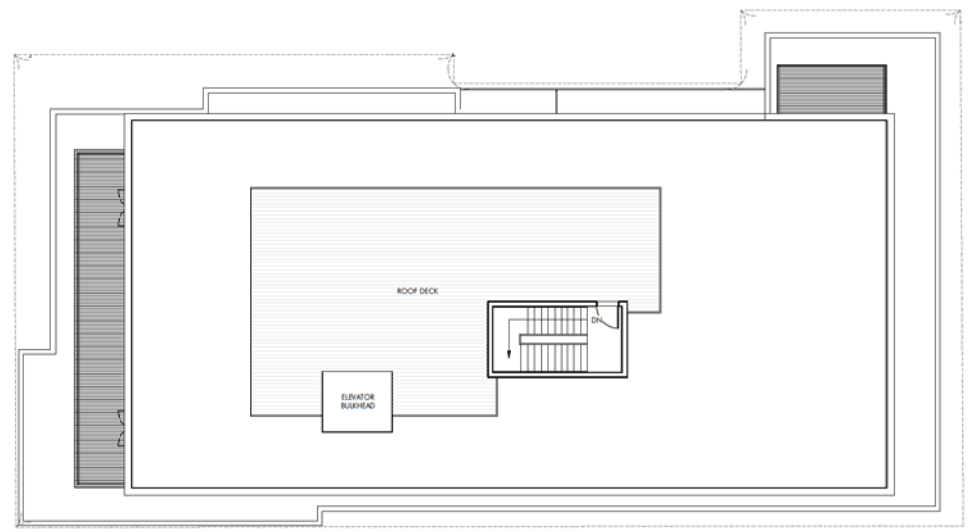
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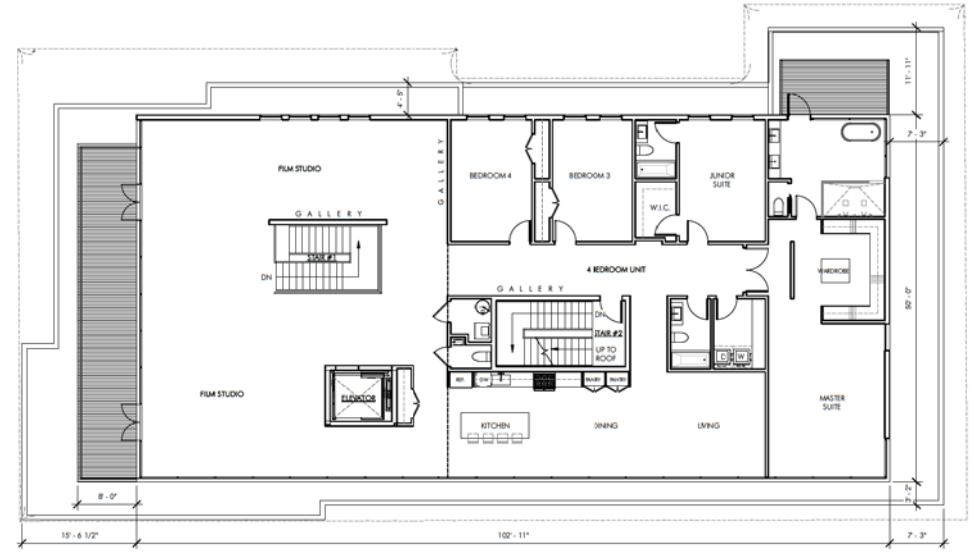
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**PENTHOUSE +
 ROOF LEVEL
 PLANS**

DRAWING NUMBER

A104



2 ROOF LEVEL
 1/8" = 1'-0"



1 6TH LEVEL - PENTHOUSE
 1/8" = 1'-0"

REVISION

NO.	DESCRIPTION

DRAWING INFORMATION

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EXTERIOR ELEVATIONS

DRAWING NUMBER

A201



1 A STREET ELEVATION
1/8" = 1'-0"



2 W 4TH STREET ELEVATION
1/8" = 1'-0"

REVISION

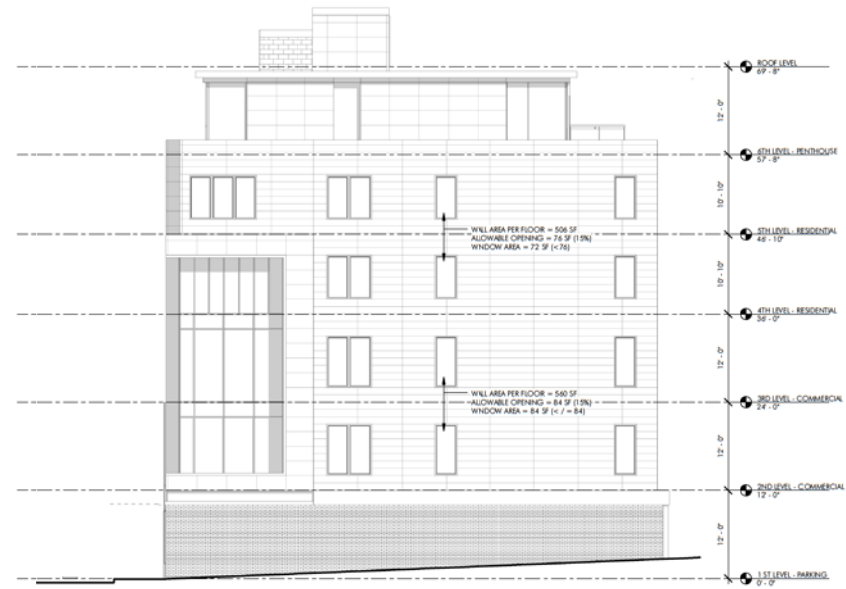
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DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER

A202



1 SIDE ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
ROSLINDEN, MA 02127
D: 617.766.8330 F: 617.766.8331
www.embarcstudio.com

OWNER
33 A STREET DEVELOPMENT LLC

120 WEST FOURTH STREET
SOUTH BOSTON, MA
ISSUED FOR CONSTRUCTION
JULY 10, 2015

REVISION

DRAWING INFORMATION
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 DATE: 08/15/2015
 PROJECT #: 120
 DRAWN BY: Author
 SCALE:

DRAWING TITLE
EXTERIOR RENDERING

DRAWING NUMBER

A203

EMBARC ARCHITECTURE LLC

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