



March 5, 2019

Brian Golden, Director
Boston Planning and Development Agency
Boston City Hall, 9th Floor
Boston, MA 02201

Dear Director, Golden:

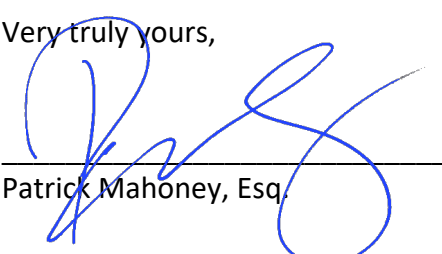
It is my pleasure to submit this application for Small Project Review pursuant to Article 80, Section 80E, of the Boston Zoning Code, for the 142-144 Old Colony Avenue Mixed Use Project in South Boston.

The proposed project is to consist of 19 new residential apartments, primarily market rate, with 3 affordable units in accordance with the City's Inclusionary Development Policy with a fractional amount contributed to the Inclusionary Development Fund. The 19 apartments will be served by 10 on-site garage parking spaces with semi-automated car lift parking system. There would also be 1,116 square feet (SF) of commercial space on the ground floor serving the Old Colony Avenue neighborhood.

The applicant is Adam Burns, principle of Boston Pinnacle Properties, LLC, the present controller of the project site. Architectural services are being provided by Tim Johnson Architect, LLC, of Boston, Massachusetts.

On behalf of the development team, I wish to thank the BPDA for its guidance and assistance to date in this matter. We look forward to continuing to work closely with BPDA staff and other city agencies as we move towards final approval of this project.

Very truly yours,



Patrick Mahoney, Esq.

142-144 OLD COLONY AVENUE

142-144 Old Colony Avenue Mixed Use Project

MIXED-USE PROJECT

~ South Boston~

**APPLICATION TO THE BOSTON PLANNING AND DEVELOPMENT AGENCY
Pursuant to Article 80E of the Boston Zoning Code**

submitted by

Boston Pinnacle Properties, LLC

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I. PROJECT SUMMARY

1.1 Project Team

Developer and Applicant:

Adam Burns
Boston Pinnacle Properties
599 E Broadway
Boston, MA 02127
Tel: 617-564-1167
Email: adam@burnsrealtyboston.com

Legal Counsel:

Patrick Mahoney, Esq.
Boston Zoning Strategies, PLLC
160 Federal Street, 11th Floor
Boston, MA 02110
Tel: 617-500-2323
Fax: 617-987-4994
Email: patrick@bostonzoning.com

Architecture:

Tim Johnson Architect, LLC
190 Old Colony Avenue
Boston, MA 02127
Tel.: 617-464-4363
Email: architecttj@verizon.net

Land Surveyor:

Peter Nolan & Associates, LLC
697 Cambridge Street, Suite 103
Brighton, MA 02135
Tel.: 857-891-7478
Fax: 617-202-5691
Email: pnolan@pnasurveyors.com

1.2 Project Narrative

The proposed project consists of a new six-story 19-unit mixed-use building to be situated at 142-144 Old Colony Avenue in South Boston. The lot size is 3,390± square feet (SF), comprised of one parcel of land, being City of Boston Assessor's Parcels No. 0700323000, and fronts along Old Colony Avenue and W 9th Street. The site is currently occupied by a two-story commercial building. The developer and applicant, Adam Burns, controls the property in the name of Boston Pinnacle Properties.

The ground level will contain 1,116 SF of commercial retail space, two stairwells, a residential foyer, a room for bicycles and storage, a spot for trash bin storage and an elevator. The second through sixth floors would contain the building's 19 residential apartments. The second floor will also contain an 1,061 SF common meeting and library hall with an adjoining toilet and two small decks. The roof would have a common roof deck accessed by an elevator and two stairwells with headhouses. The building will also contain a pit level and at grade garage with spaces for 10 vehicles, with entrance/egress on W 9th Street. At least one space will be occupied by a vehicle owned by the building and will solely for the benefit of the residents of the building as a ride share option. The basement level will also contain an elevator pit.

1.3 Community Benefits

The proposed project will offer many public benefits to the surrounding neighborhood and to the City of Boston, including:

- the creation of 19 new rental apartments in an attractive low-rise building, including 3 affordable units in accordance with the Inclusionary Development Policy;
- generation of thousands of dollars in revenue annually to the City of Boston once the project is completed in the form of new real property tax payments;
- the expected creation of at least 32 construction industry jobs to complete the proposed project;
- the introduction of new residents to the neighborhood who will help support local businesses and drive the need for increased commercial development in the South Boston area.

II. DETAILED PROJECT INFORMATION

2.1 Project Description

The project consists of 3,390± SF of land area, being a single parcel of land situated at 142-144 Old Colony Avenue in South Boston, being City of Boston Assessor's Parcels No. 0700323000, and fronts along Old Colony Avenue and is bordered on the left and right sides by both residential and commercial buildings, and to the rear by W 9th Street, a public way.

2.2 Project Financing and Development Pro Forma

Mr. Burns has successfully developed numerous residential and commercial projects in Boston and has a strong working relationship with several major lenders, a record of proven financial security, a commitment to design excellence an on-time project completion and intends to finance the project using traditional institutional lender financing.

Total Development Cost (soft/hard costs): \$5,693,000.00

Construction Cost (hard cost): \$5,500,000.00

Disclosure of Beneficial Interest in the Project

- Adam Burns: 100%

Number of Construction Jobs: 32

Estimated Constructions Start: 1st quarter 2020

Estimated Construction Completed: 2nd quarter 2021

2.3 Proposed Project Program, Data and Dimensions

Lot Area (in square feet): 3,390± SF

Maximum Building Height/Stories: 6 stories, 60'

Number of Residential Units: 19 units consisting of eleven one-bedroom units and eight two-bedroom units.

Residential Unit Descriptions:

<u>Second Floor</u>		<u>Fifth Floor</u>	
Unit 1:	1 BR - 522 SF	Unit 12:	2 BR - 738 SF
Unit 2:	1 BR - 407 SF	Unit 13:	2 BR - 718 SF
Unit 3:	1 BR - 528 SF	Unit 14:	1 BR - 541 SF
		Unit 15:	1 BR - 626 SF

<u>Third Floor</u>		<u>Sixth Floor</u>	
Unit 4:	2 BR - 738 SF	Unit 16:	2 BR - 738 SF
Unit 5:	2 BR - 718 SF	Unit 17:	2 BR - 718 SF
Unit 6:	1 BR - 540 SF	Unit 18:	1 BR - 541 SF
Unit 7:	1 BR - 627 SF	Unit 19:	1 BR - 626 SF

<u>Fourth Floor</u>	
Unit 8:	2 BR - 738 SF
Unit 9:	2 BR - 718 SF
Unit 10:	1 BR - 540 SF
Unit 11:	1 BR - 627 SF

Commercial Unit Description:

Ground floor: 1,116 SF of commercial space.

Total of Building Gross Square Footage (including garage & storage): 21,557 SF

Floor Area Ratio: 5

Parking Spaces: 10 garage parking spaces in an at-grade and pit-level garage.

2.4 Urban Design Approach - Building Program, Massing and Materials

The proposed project will consist of a new six-story building. The first floor will be commercial space. Below grade and on the first floor, there will be five car-stacking pits that each hold up to 2 cars for a total of 10 parking spaces. Floors two through six will contain 19 residential units. The second floor will contain a common access meeting and library hall. The residential units will consist of eleven one-bedroom units and eight two-bedroom units. The building will fill the lot along Old Colony Avenue to continue and define the street wall.

The building's skin will be a composition of beige Neacera terra-cotta rainscreen grooved panels and Silversmith colored anodized aluminum frames around the tinted glass located in the store front. The materials and rhythm of the façade are similar to and consistent with other buildings along Old Colony Avenue, incorporating traditional South Boston building materials with the form and scale of many of the newer developments along Old Colony Avenue. The materials then transition to a more residential typology in the rear, consistent with the scale of W 9th Street.

Windows will be a combination of operable and fixed sashes. The proposed building height is approximately 60' to the roof of the upper story. The stairway headhouse leading to the roof

deck and elevator shaft head-house will rise above that point but will set back from the front edge of the building so to not be visible from the street.

The materials and architectural massing have been planned and designed to visually interrupt the massing of the building along its elevations, to be more consistent with neighborhood design. Final elevation studies will continue to be reviewed by the BRA as the design process evolves.

2.5 Traffic, Parking and Access

The project’s 10 on-site parking spaces will be accessed via W 9th Street with a proposed curb cut for garage access. The existing curb cut on Old Colony Avenue will be closed and returned to the community. All loading and unloading activity will be confined to the garage where direct elevator access to all floors will be provided.

2.6 Anticipated Permits and Approvals

Agency Name	Permit or Action
Boston Planning & Development Agency	<ul style="list-style-type: none"> • Article 80 Small Project Review • Affordable Housing Agreement • Design Review Approval
Boston Water and Sewer Commission	<ul style="list-style-type: none"> • Local Sewer and Water Tie-in and Site Plan Approval
Boston Public Safety Commission, Committee on Licenses	<ul style="list-style-type: none"> • Parking Garage Related Permits
Boston Inspectional Services Department	<ul style="list-style-type: none"> • Zoning Board of Appeal Approval • Building Permit • Certificate of Occupancy

III. BOSTON ZONING CODE DATA

3.1 Zoning District Requirements

The site is situated within an M-1 (H-1) Restricted Industrial subdistrict of the South Boston Zoning District, Articles 8, 15, 16, 17, 18, 23, 24, and 25 of the Boston Zoning Code. The proposed project is within South Boston Dorchester Avenue Planning Initiative Overlay Subdistrict. The applicable zoning requirements, and anticipated as-built zoning characteristics of the Proposed Project, as follows:

Regulations of Articles 13, 15, 16, 17, 18, 19, and 20

	<u>M-1 (H-1) Subdistrict</u>	
Maximum Floor Area Ratio:	1	
Maximum Building Height:	Stories:	2 1/2
	Feet:	35'
Minimum Lot Size:	5,000 SF	
Minimum Lot Area Per Additional Dwelling Unit:	1,000 SF	
Minimum Usable Open Space Per Dwelling Unit:	400 SF	
Minimum Lot Width:	50'	
Minimum Lot Frontage:	50'	
Minimum Front Yard Setback:	20'	
Minimum Side Yard Setback:	None	
Minimum Rear Yard Setback:	None ¹	

Regulations of Article 8, section 7 (Restricted Industrial subdistrict)

¹ Art. 20-7 Rear Yards of Through Lots. The Front Yard requirements of this Article, and not the Rear Yard requirements, shall apply to that part of a Rear Yard that is also a Street Line. . .

M-1 (H-1)

Multifamily Dwelling:

Conditional Use

Local Retail Use:

Allowed Use on Ground Floor

3.2 Proposed As-Built Zoning Conditions

Lot Area: 3,390± SF – (variance required)

Lot Width: 62.17' -- CONFORMS

Lot Frontage: 62.17' -- CONFORMS

Floor Area Ratio: 5 (variance required)

Maximum Building Height (feet): 60' (variance required)

Maximum Building Height (stories): 6 (variance required)

Usable Open Space: less than 400 SF total -- (variance required)

Front Yard Setback: 5' (variance required)

Side Yard Setbacks: .3' -- CONFORMS

Rear Yard Setback: .3' - Modal -- CONFORMS

Off-Street Parking Requirements of Article 23, Table G:

Residential Parking Requirement: .9 space per unit

Total required off-street residential parking: 17.1 spaces

Total provided off-street residential parking: 10 spaces (variance required)

o Note: Variance required for access drive and maneuverability of off-street parking facility.

Off-Street Loading Requirements of Article 24, section 1:

Gross Area SF 15,000 to 50,000: 1 space required (variance required)

3.3 Zoning Relief Required

Article 25: Flood Hazard District

Article 8, Section 7: Forbidden use - Multi-family use is conditional
Article 15, Section 1: Excessive Floor Area Ratio
Article 16, Section 1: Excessive Building Height (feet)
Article 16, Section 1: Excessive Building Height (stories)
Article 17, Section 1: Insufficient Usable Open Space
Article 18, Section 1: Front Yard Insufficient
Article 23, Section 1: Off Street Parking Insufficient
Article 23, Section 9: Off Street Parking Design
Article 24, Section 1: Off Street Loading Insufficient

3.4 Building Code Analysis

The construction of the building will be Type 1A (non-combustible) on the ground level and type 3B for the second level and above.

The building will be fully sprinkled in conformance with NFPA 13.

The building will be a mixed-use building.

- Residential: R-2
- Ground Floor A-2
- Parking Garage: S-2

As defined by Table 508.4, fire separation requirements are as follows:

- Between 1A and 3B 3-Hour separation
- R-2 requires 1-hour separation
- S-2 requires 1-hour separation

IV. URBAN DESIGN SUBMISSION: PHOTOGRAPHS, MAPS, AND PLANS

- Exhibit 1: Assessor's Map – Parcel View
- Exhibit 2: Assessor's Map – Aerial Photo
- Exhibit 3: Aerial Views – Current
- Exhibits 4 & 5: Views of Site from Old Colony Avenue
- Exhibits 6 & 7: Views of Site from W 9th Street
- Exhibit 8: Architectural Site Plan
- Exhibit 9: Architectural Rendering of Street View: Old Colony Avenue
- Exhibit 10: Architectural Rendering of Street View: W 9th Street
- Exhibit 11: Front Elevation
- Exhibit 12: Rear Elevation
- Exhibit 13: Side Elevation (Right side)
- Exhibit 14: Side Elevation (Left side)
- Exhibit 15: Basement Garage Plan
- Exhibit 16: First Floor Plan
- Exhibit 17: Second Floor Plan
- Exhibit 18: Third Floor Plan
- Exhibit 19: Fourth Floor Plan
- Exhibit 20: Fifth Floor Plan
- Exhibit 21: Sixth Floor Plan
- Exhibit 22: Roof Plan

Assessor's Map- Parcel View

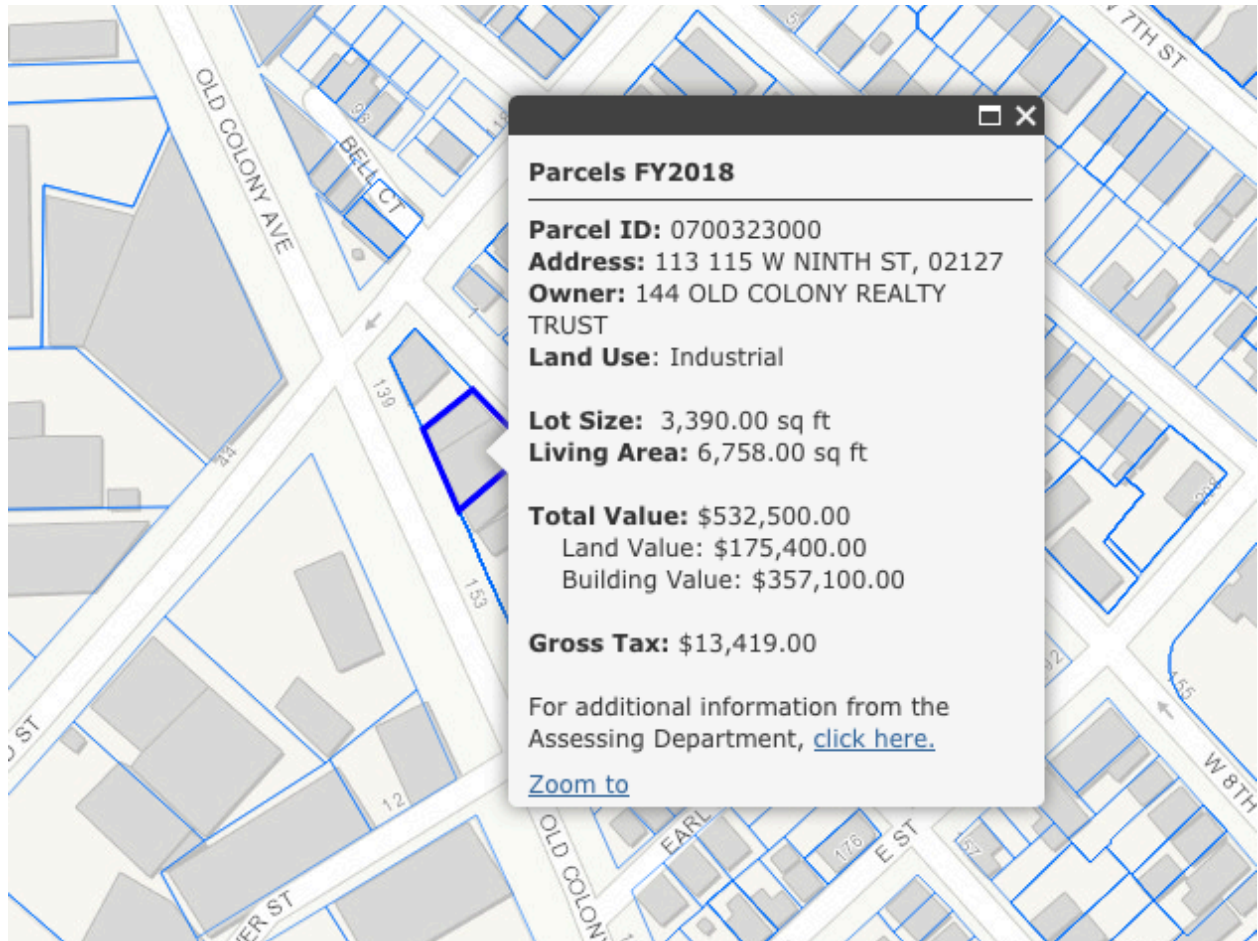


Exhibit "2"

Assessor's Map- Aerial Photo

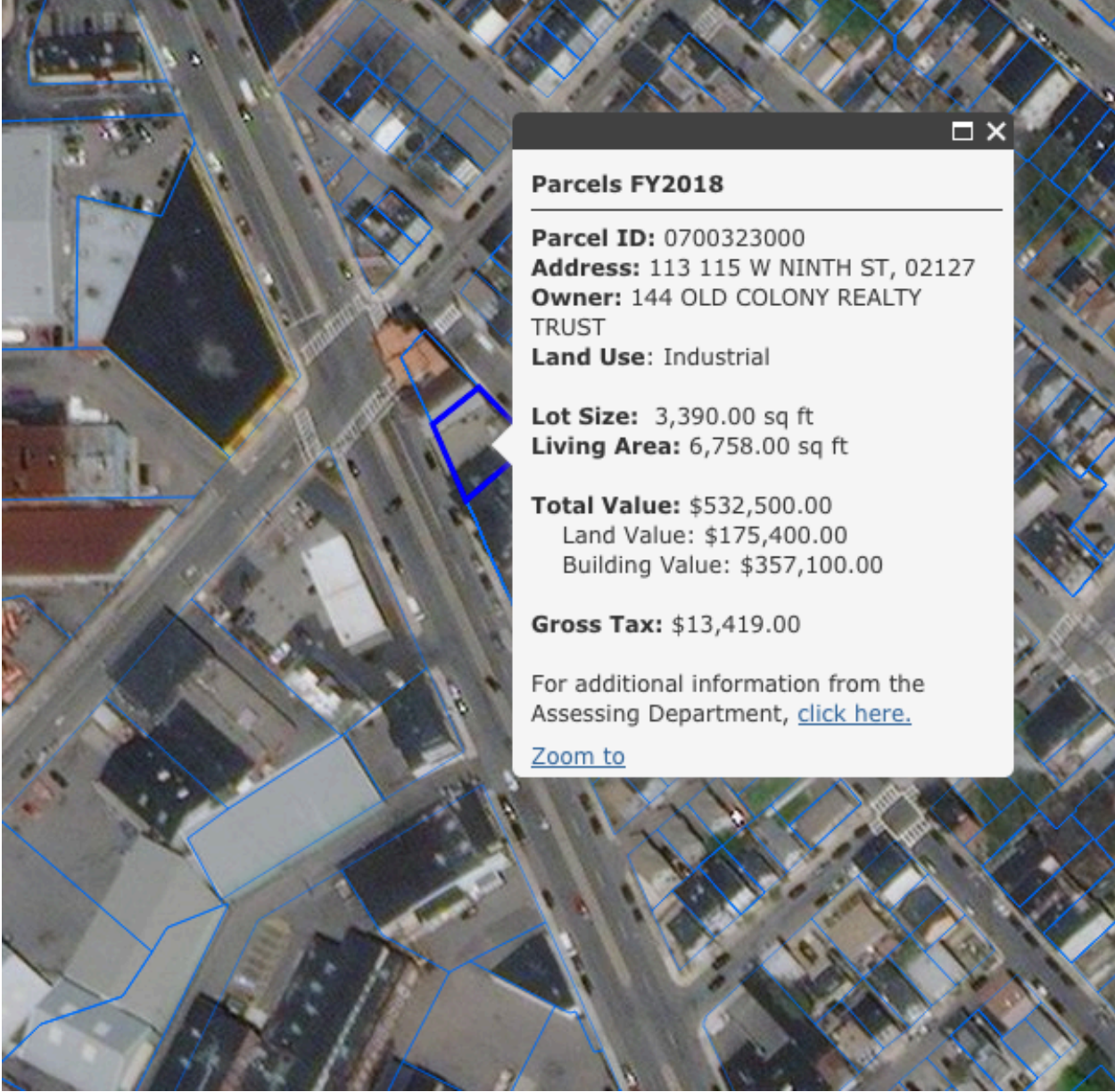


Exhibit "3"

Aerial Views



Exhibit "4" & "5"

Views from Old Colony Avenue





Exhibit "6" & "7"

Views from W 9th Street





12 Old C
Old C

Exhibit "8"

Architectural Site Plan

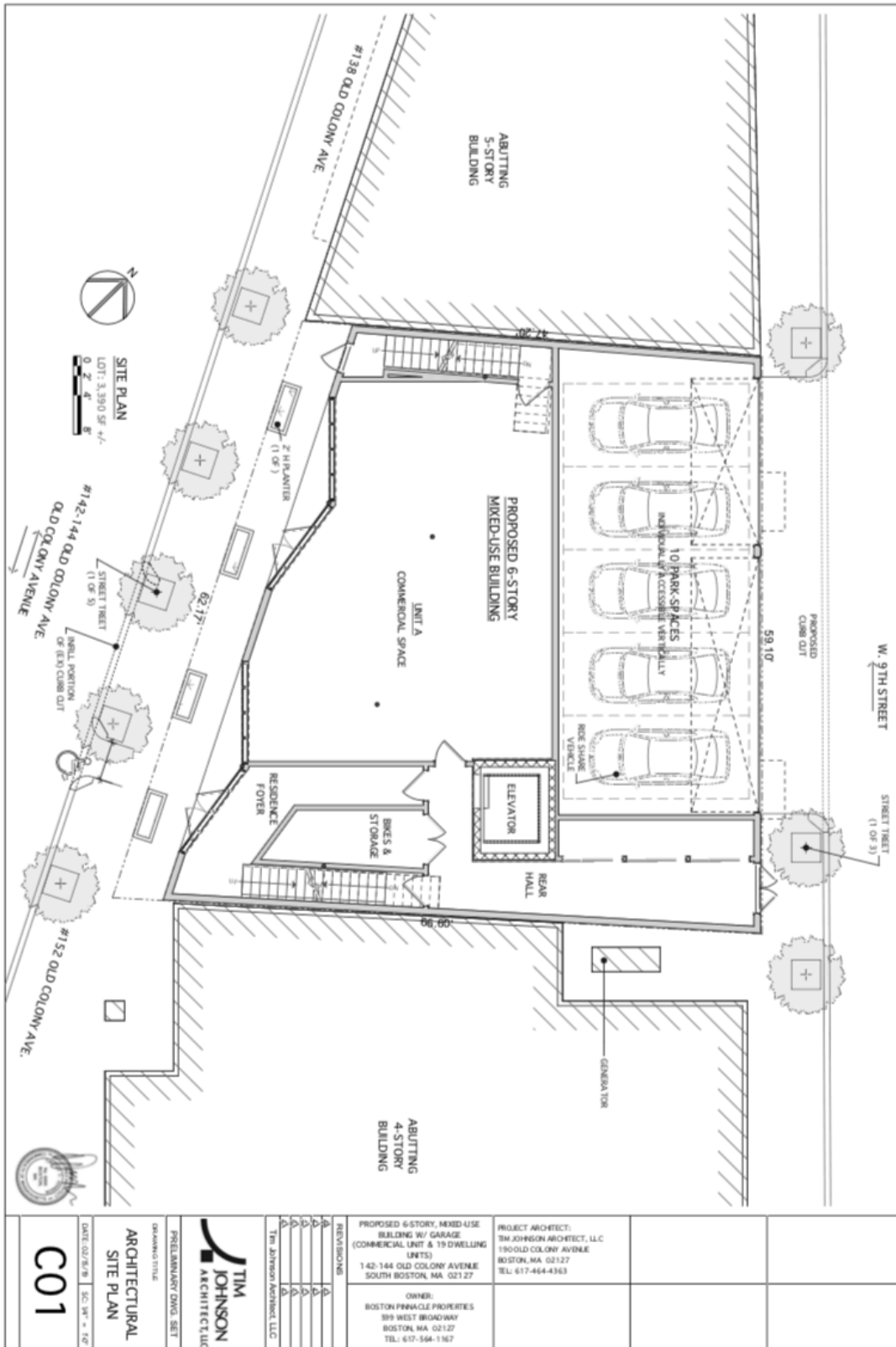


Exhibit "9"

Architectural Rendering of Street View: Old Colony Avenue

STREET VIEW - OLD COLONY AVENUE

<p>V01</p>	<p>DATE: 02/09/18 SC: N.Y.S.</p>	<p>PRELIMINARY DRWG. SET DRAWING TITLE PERSPECTIVE VIEWS</p>	<p>TIM JOHNSON ARCHITECT, LLC</p>	<p>REVISIONS: A B C D E F G H I J K L M N O P Q R S T U V W X Y Z</p>	<p>PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127</p>	<p>OWNER: BOSTON PINNACLE PROPERTIES 309 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1167</p>	<p>PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363</p>		

Exhibit "10"

Architectural Rendering of Street View: West 9th Street



STREET VIEW - W. 9TH STREET



V02	DATE: 02/28/18	SCALE: N.T.S.	<p>TIM JOHNSON ARCHITECT, LLC</p>	REVISIONS:	PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127	PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 150-OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363		
	PRELIMINARY DWG. SET					OWNER: BOSTON PRINCIPLE PROPERTIES 899 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1167		

Exhibit "12"

Rear Elevation

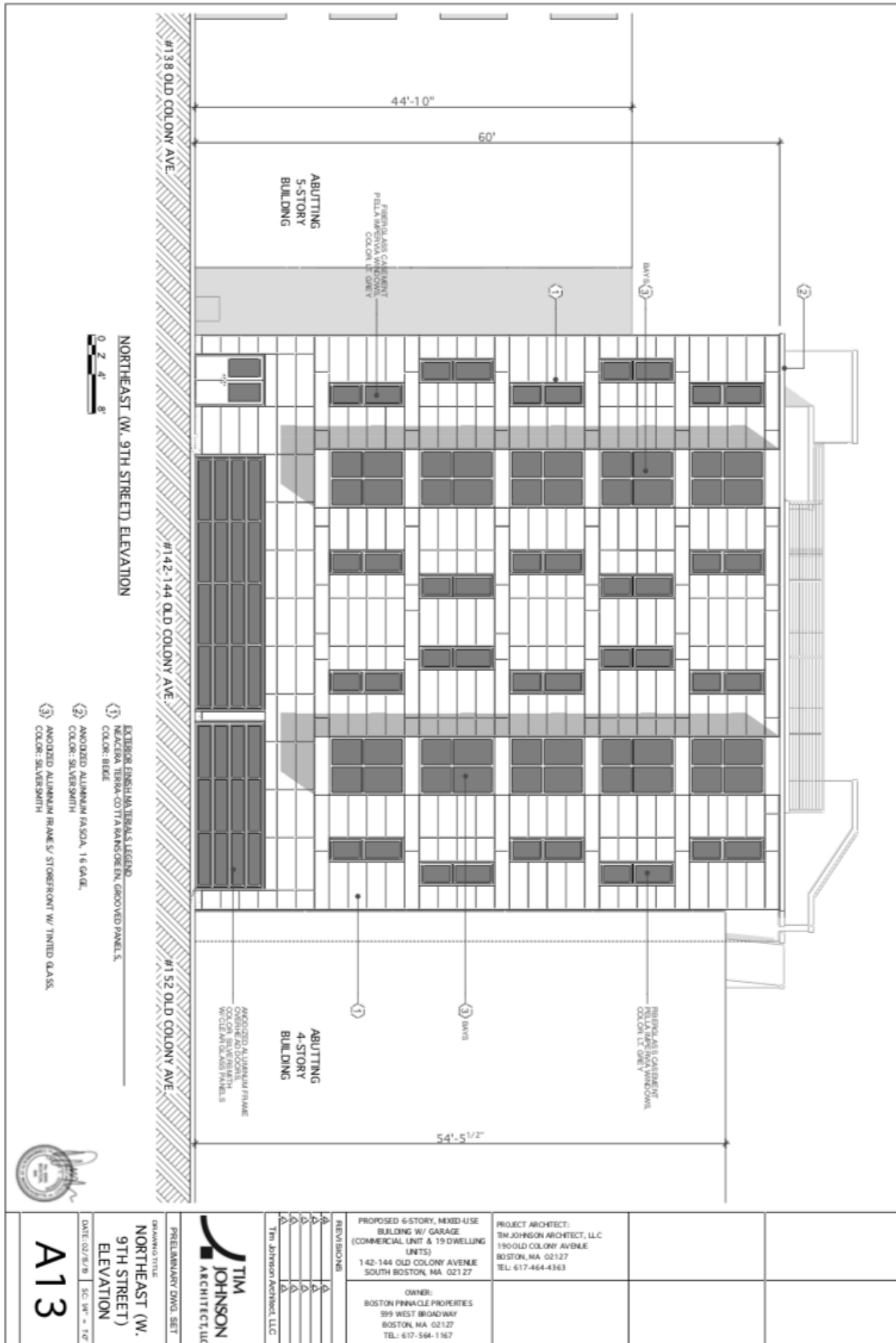
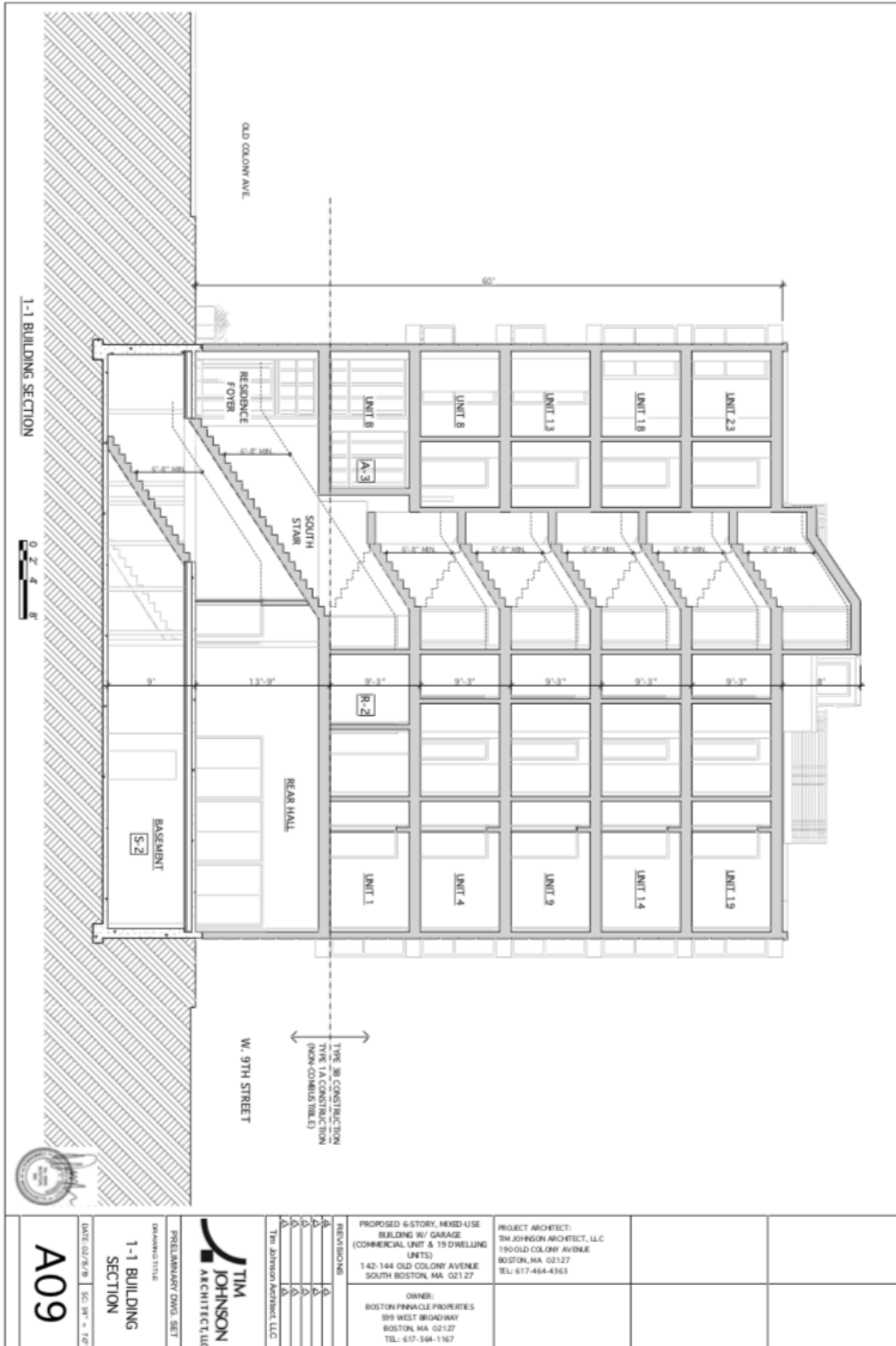


Exhibit "13"

Side Elevation (Right Side)



<p>A09</p>	<p>DATE: 02/15/18 SCALE: 1/8" = 1'-0"</p>	<p>1-1 BUILDING SECTION</p>	<p>PRELIMINARY DWG. SET</p>		<p>PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127</p>	<p>OWNER: BOSTON PINNACLE PROPERTIES 595 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1167</p>	<p>PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363</p>								
											<p>REVISIONS:</p> <table border="1"> <tr><td>1</td><td>Δ</td><td></td></tr> <tr><td>2</td><td>Δ</td><td></td></tr> <tr><td>3</td><td>Δ</td><td></td></tr> <tr><td>4</td><td>Δ</td><td></td></tr> <tr><td>5</td><td>Δ</td><td></td></tr> </table>	1	Δ		2
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Exhibit "14"

Side Elevation (Left side)

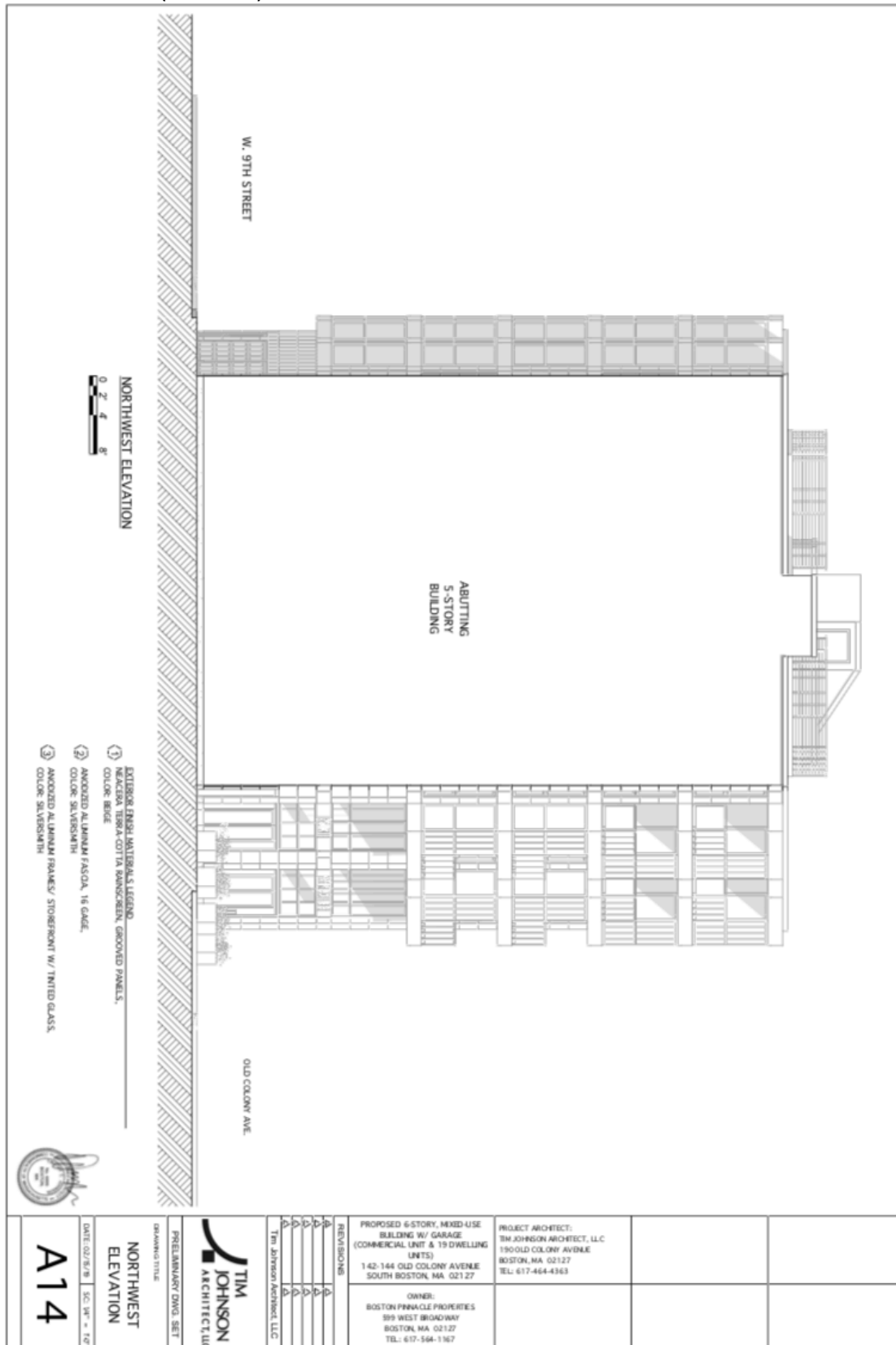
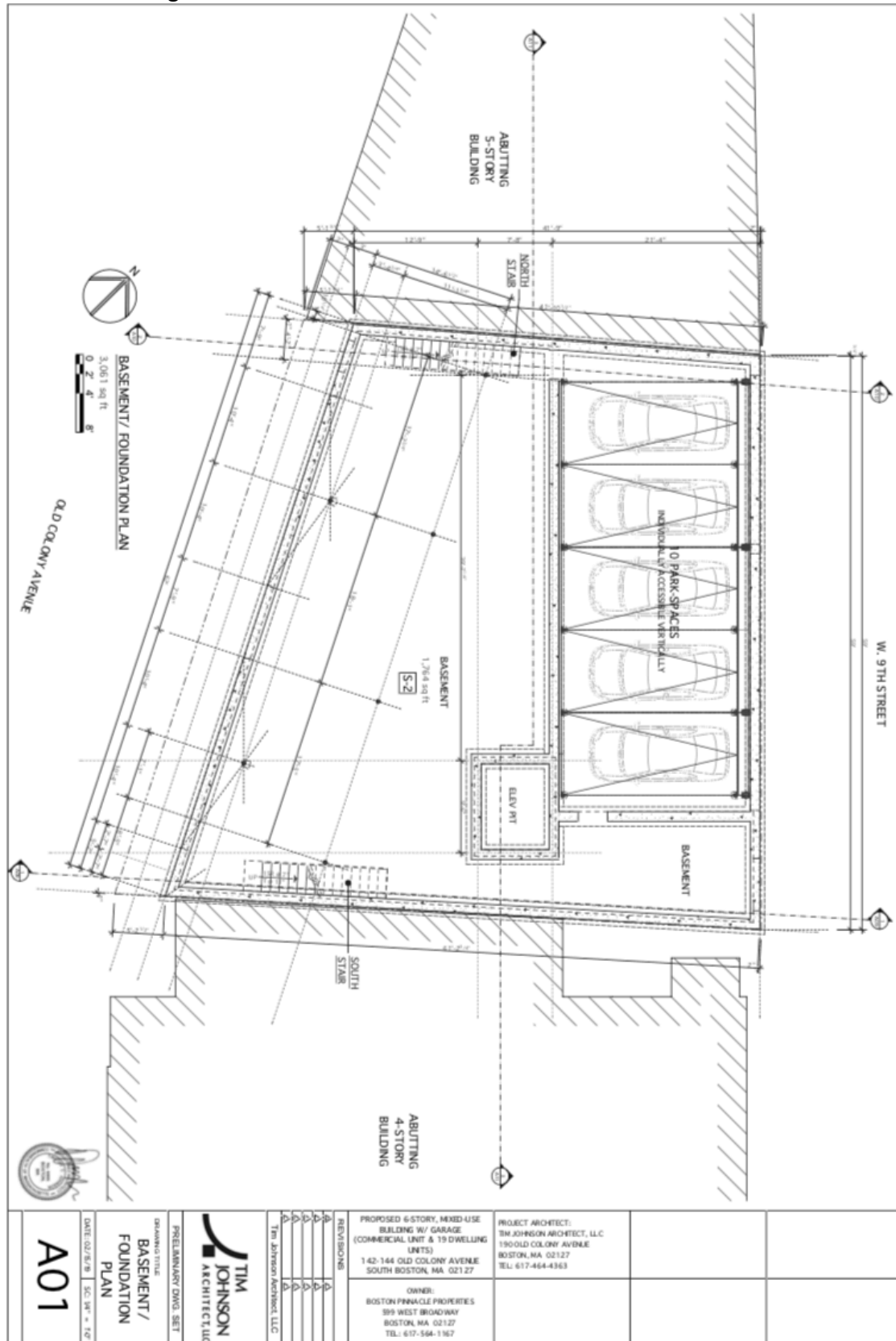


Exhibit "15"

Basement Garage Plan



<p>A01</p>	<p>DATE: 02/07/18 SCALE: 1/8" = 1'-0"</p>	<p>DRAWING TITLE BASEMENT/ FOUNDATION PLAN</p>	<p>PRELIMINARY DWG. SET</p>		<p>T.M. JOHNSON ARCHITECT, LLC</p>	<p>PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA, 02127</p>	<p>PROJECT ARCHITECT: T.M. JOHNSON ARCHITECT, LLC 130 OLD COLONY AVENUE BOSTON, MA, 02127 TEL: 617-464-4363</p>		
						<p>OWNER: BOSTON PINNACLE PROPERTIES 399 WEST BROADWAY BOSTON, MA, 02127 TEL: 617-568-1167</p>			

Exhibit "16"

First Floor Plan

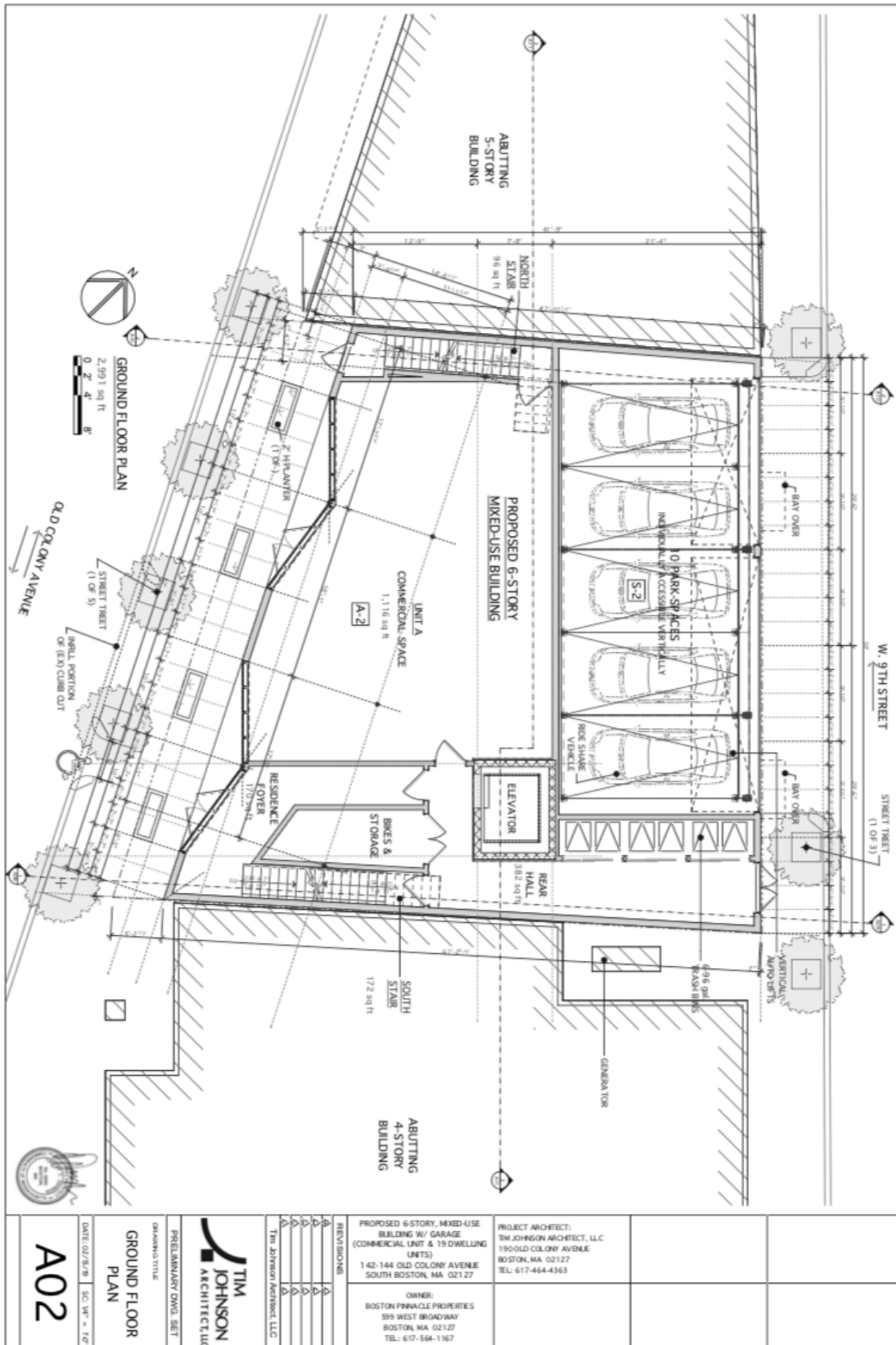
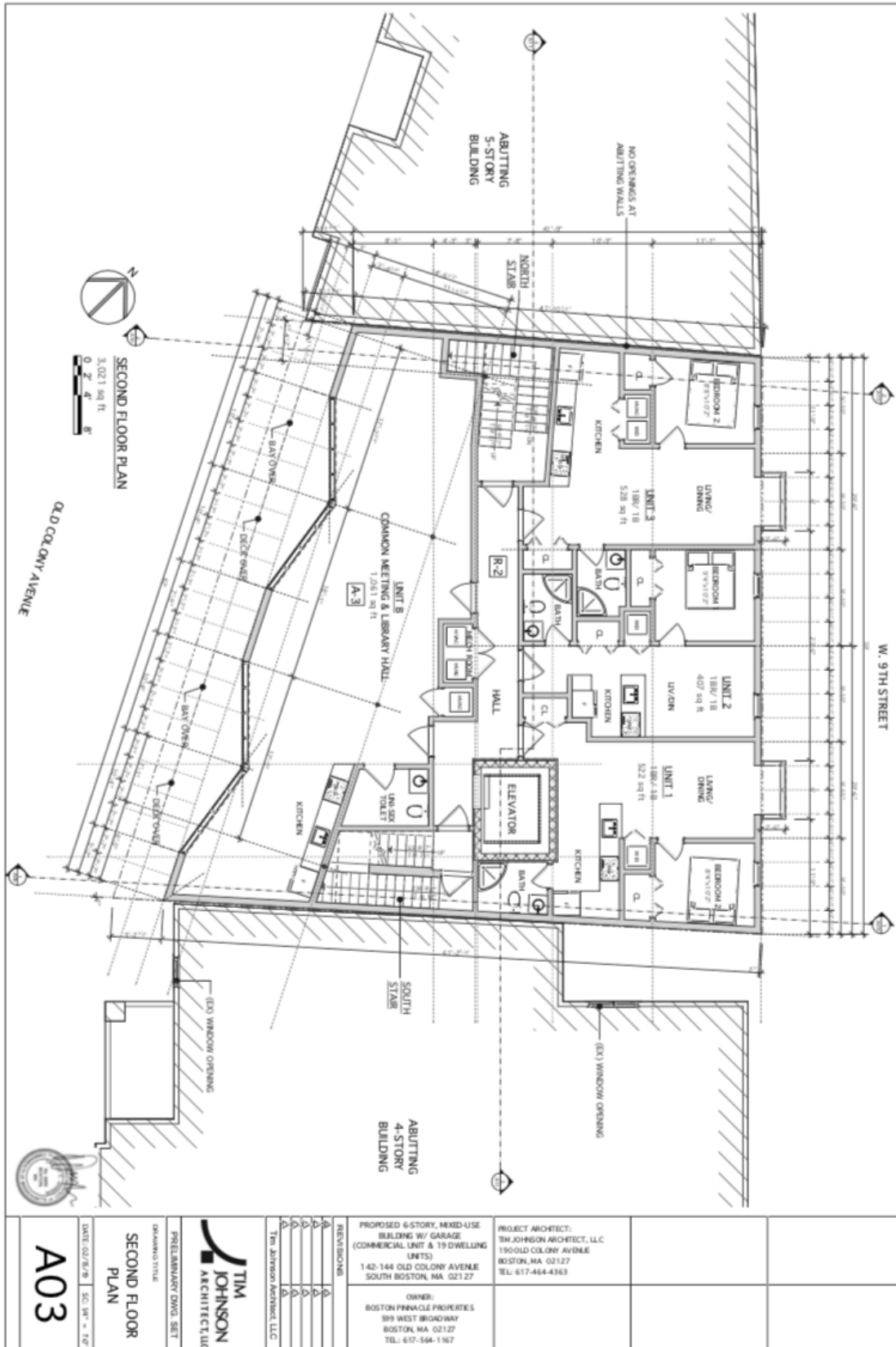


Exhibit "17"

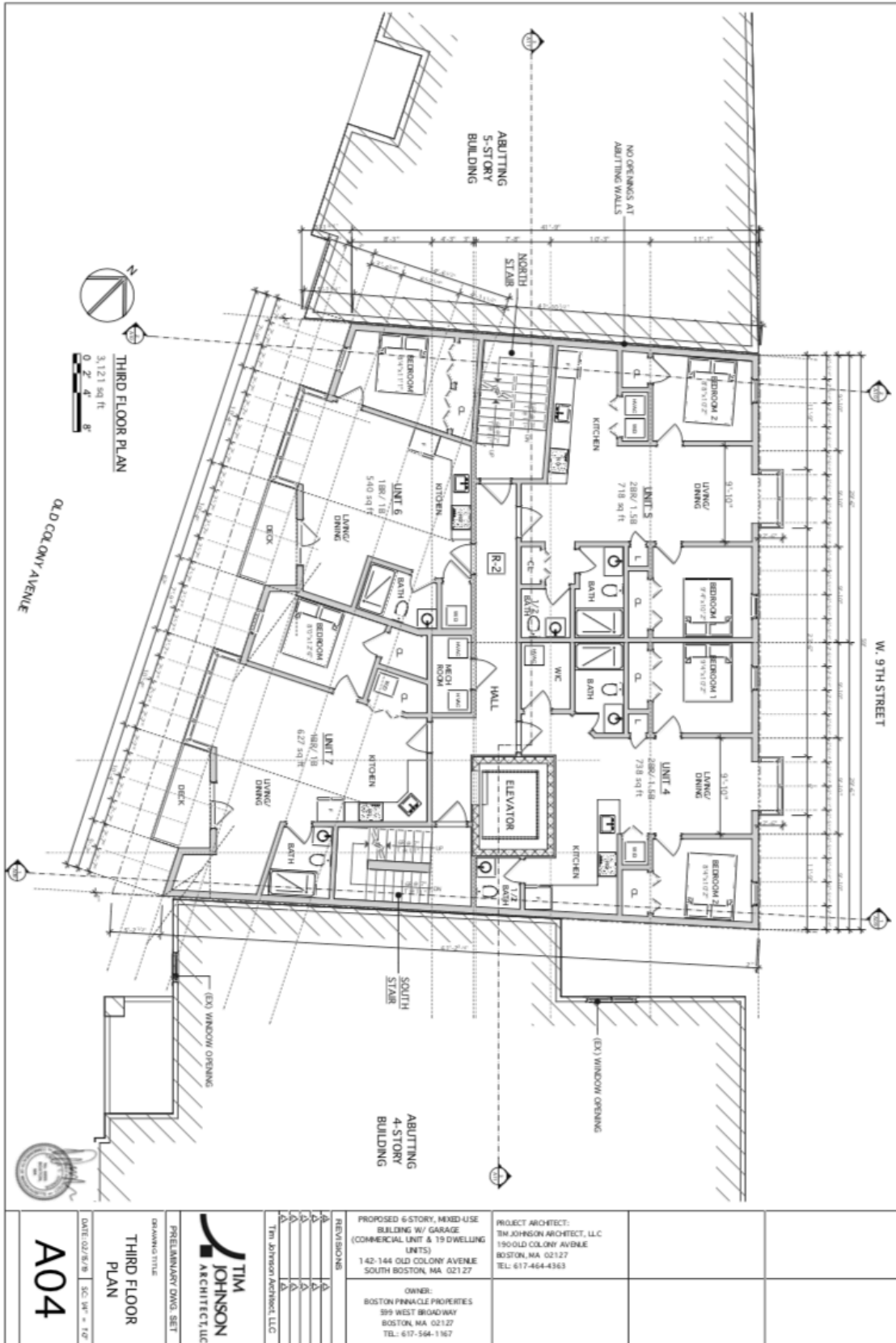
Second Floor Plan



<p>A03</p>	<p>SECOND FLOOR PLAN</p>	<p>DATE: 02/05/18 SCALE: 1/8" = 1'-0"</p>	<p>DRAWING TITLE</p> <p>PRELIMINARY DWG. SET</p> <p>TIM JOHNSON ARCHITECT, LLC</p>	<p>TIM JOHNSON ARCHITECT, LLC</p>	<p>PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS)</p> <p>142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127</p>	<p>PROJECT ARCHITECT:</p> <p>TIM JOHNSON ARCHITECT, LLC</p> <p>150 OLD COLONY AVENUE BOSTON, MA 02127</p> <p>TEL: 617-464-4363</p>		
					<p>OWNER:</p> <p>BOSTON PINNACLE PROPERTIES</p> <p>399 WEST BROADWAY BOSTON, MA 02127</p> <p>TEL: 617-564-1167</p>			

Exhibit "18"

Third Floor Plan



<p>A04</p>	<p>THIRD FLOOR PLAN</p>	<p>TIM JOHNSON ARCHITECT, LLC</p>	<p>PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127</p>	<p>PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363</p>
			<p>OWNER: BOSTON PINNACLE PROPERTIES 59 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1167</p>	

Exhibit "19"

Fourth Floor Plan

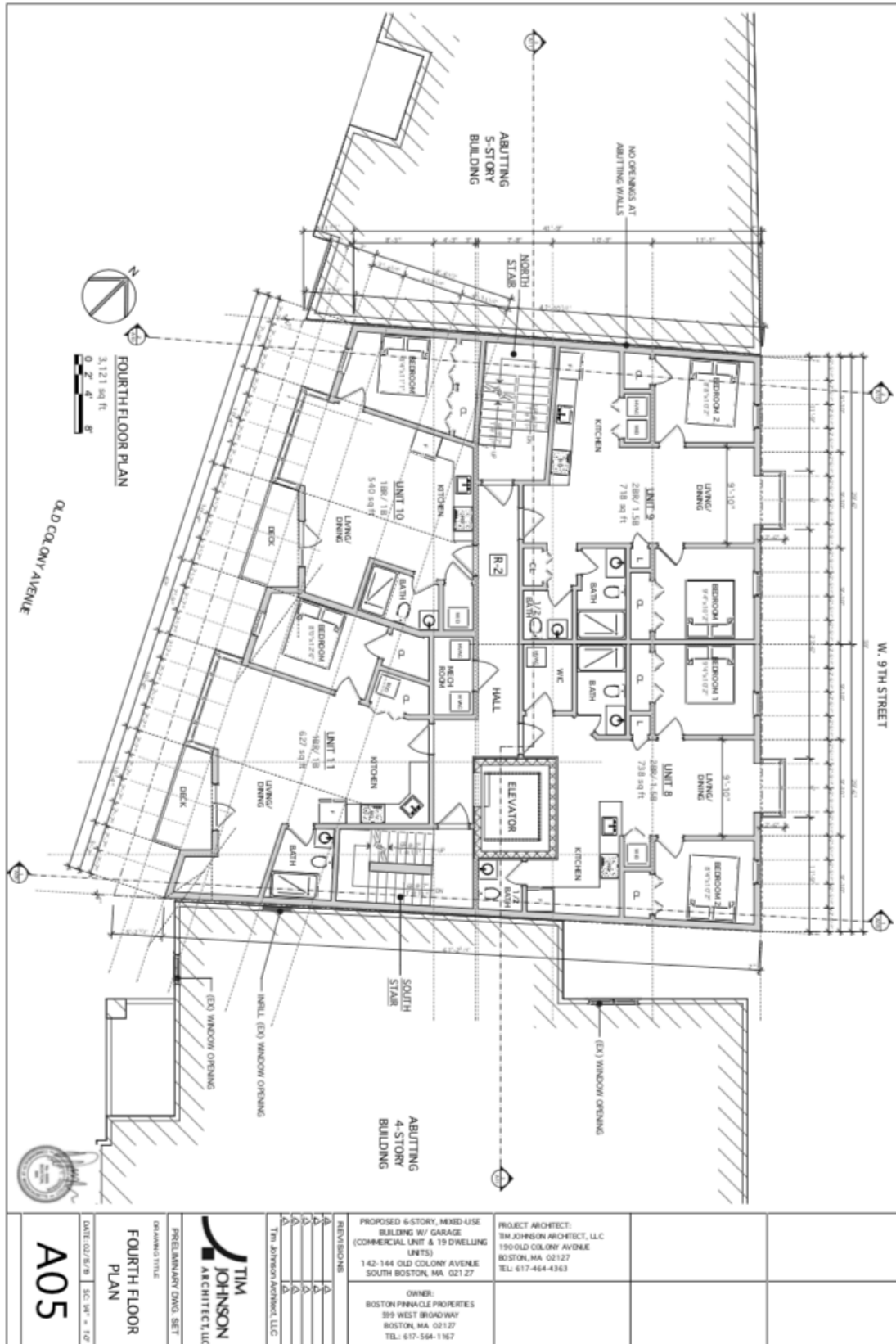


Exhibit "20"

Fifth Floor Plan

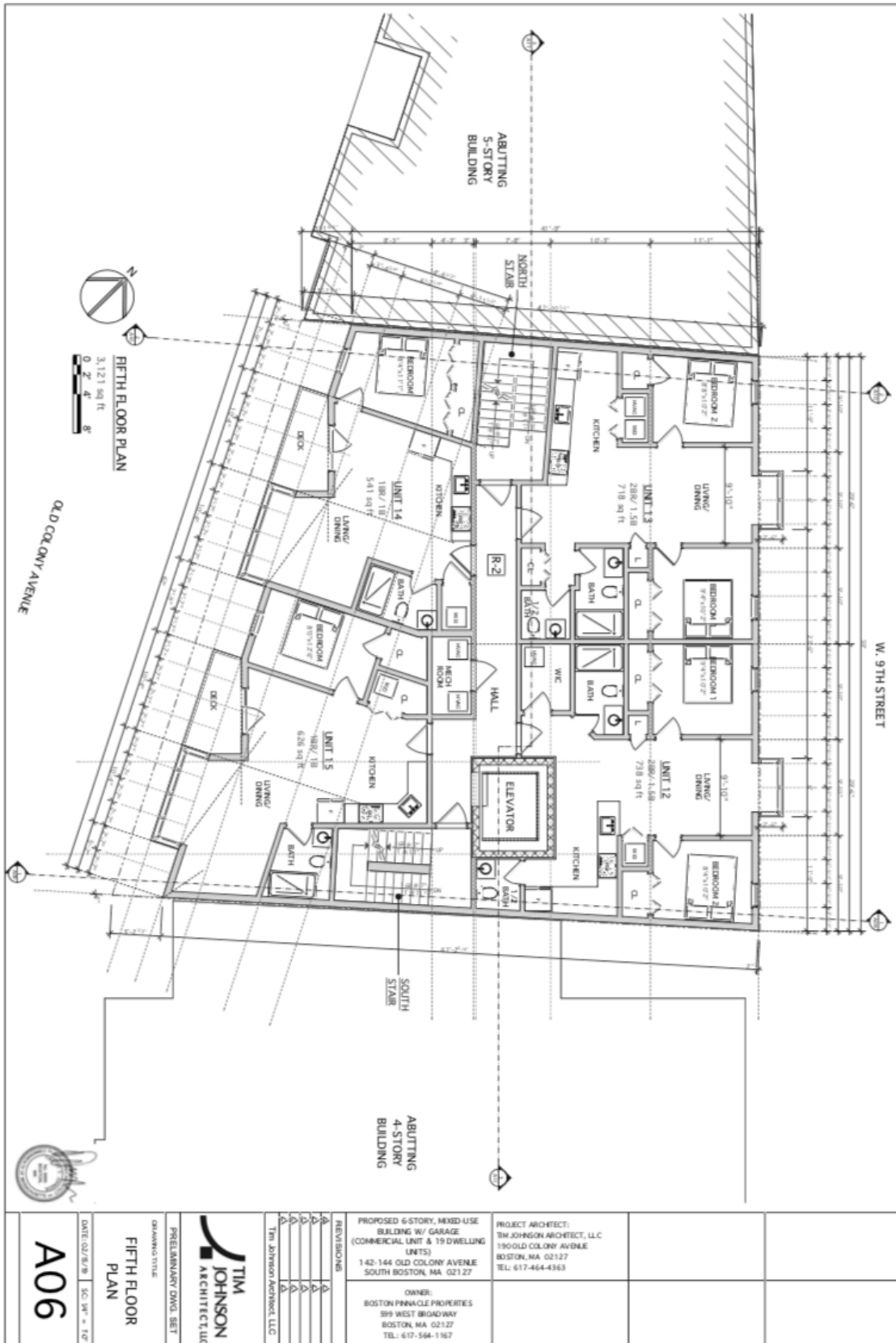
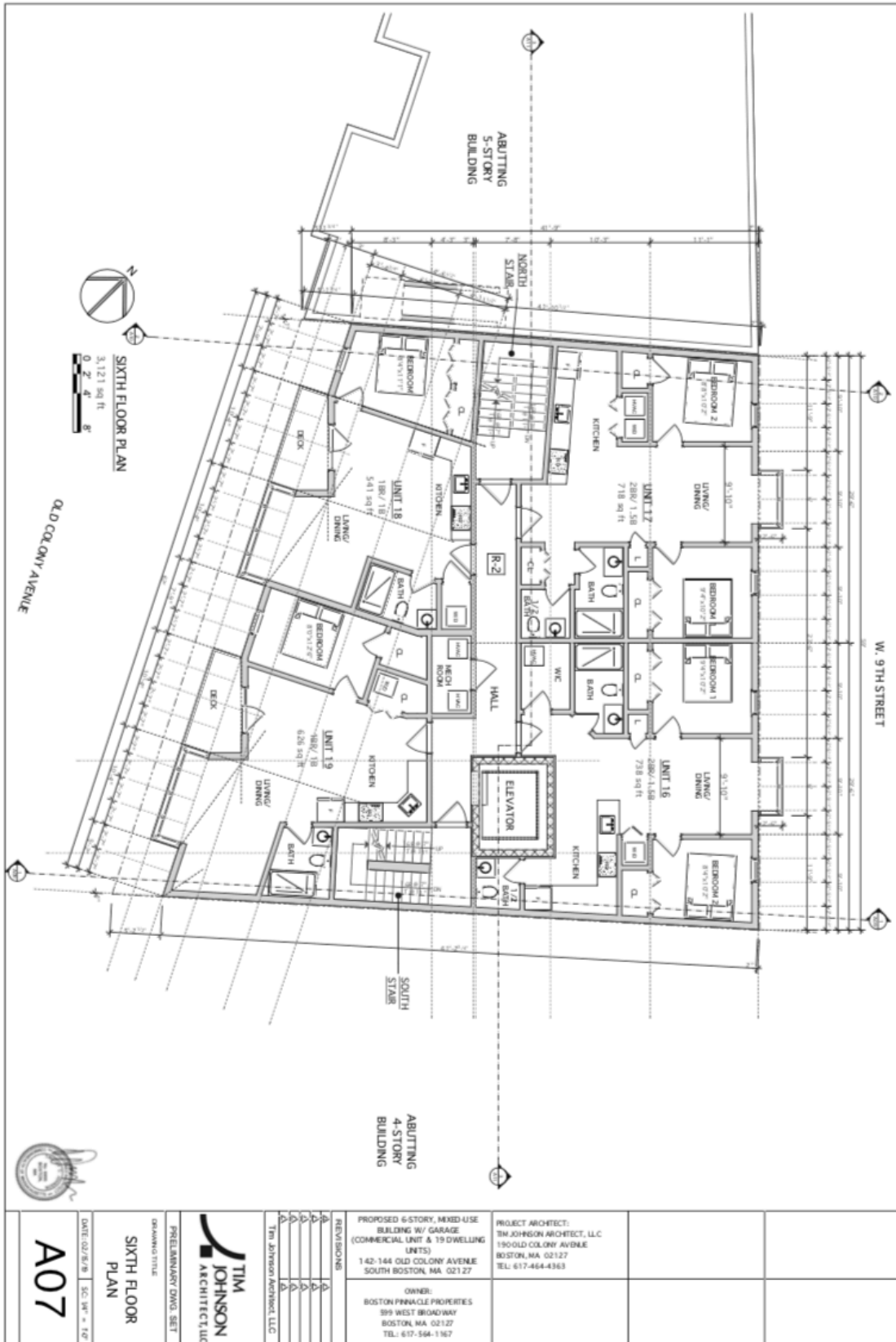


Exhibit "21"

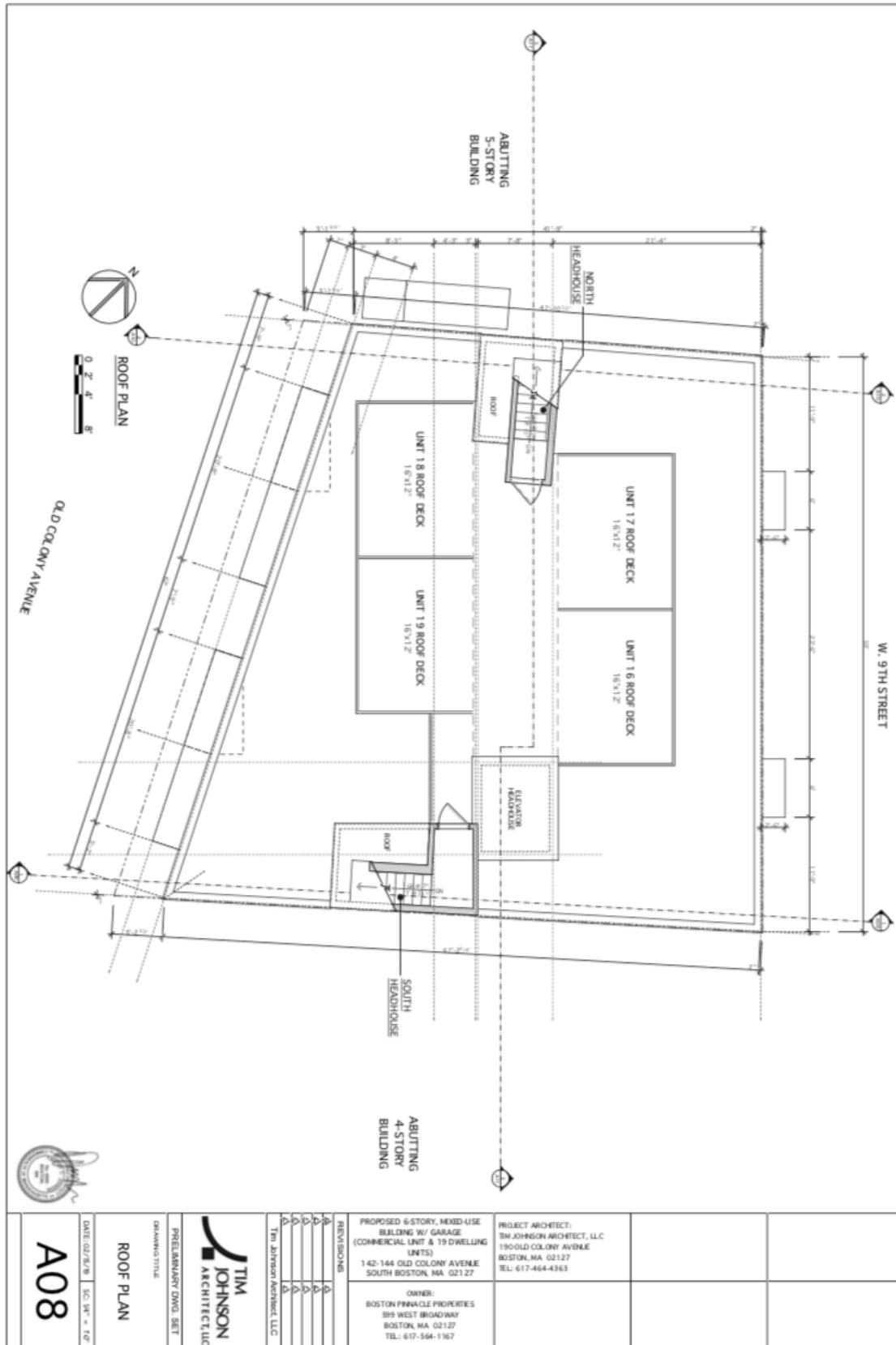
Sixth Floor Plan





 A07	TIM JOHNSON ARCHITECT, LLC PRELIMINARY DWG. SET SIXTH FLOOR PLAN DATE: 02/25/18 SC. 1/8" = 1'-0"	PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127	PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 130 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363
		OWNER: BOSTON PINNACLE PROPERTIES 899 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1167	

Exhibit "22"

Roof Plan



 A08	DATE: 02/07/18 SCALE: 1/8" = 1'-0"	DRAWING TITLE: ROOF PLAN	PRELIMINARY DWG. SET	 TIM JOHNSON ARCHITECT, LLC	REVISIONS: 1 A 2 A 3 A 4 A 5 A	PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT & 19 DWELLING UNITS) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127	PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 150 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363		
						OWNER: BOSTON PRINCIPLE PROPERTIES 399 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1167			

Article 80 | ACCESSIBLTY CHECKLIST

1. Project Information:

If this is a multi-phased or multi-building project, fill out a separate Checklist for each phase/building.

Project Name:	142-144 OLD COLONY AVE. MIXED-USE DEVELOPMENT
Primary Project Address:	142-144 OLD COLONY AVE., SOUTH BOSTON
Total Number of Phases/Buildings:	ONE
Primary Contact (Name / Title / Company / Email / Phone):	ADAM DUANS, OWNER BPP, LLC adam@burnsrealtysteam.com / 585-402-2546
Owner / Developer:	BOSTON PINNACLE PROPERTIES, LLC (BPP, LLC) 599 E. BROADWAY, SOUTH BOSTON
Architect:	190 OLD COLONY AVE. SOUTH BOSTON TIM JOHNSON ARCHITECT, LLC
Civil Engineer:	PETER NOLAN & ASSOC. INC. 697 CAMBRIDGE ST., STE 103, BRIGHTON
Landscape Architect:	NONE
Permitting:	NONE
Construction Management:	SYNERGY CONSTR. GROUP, LLC 599 E. BROADWAY, SOUTH BOSTON

At what stage is the project at time of this questionnaire? Select below:

	PNF / Expanded PNF Submitted	Draft / Final Project Impact Report Submitted	BPDA Board Approved
	BPDA Design Approved	Under Construction	Construction Completed:

Do you anticipate filing for any variances with the Massachusetts Architectural Access Board (MAAB)? **If yes**, identify and explain.

No

2. Building Classification and Description:

This section identifies preliminary construction information about the project including size and uses.

What are the dimensions of the project?

Site Area:	3,390 SF	Building Area:	21,557 GSF
Building Height:	60 FT.	Number of Stories:	6 Flrs.
First Floor Elevation:	100.0'	Is there below grade space:	<input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No

Article 80 | ACCESSIBILITY CHECKLIST

What is the Construction Type? (Select most appropriate type)				
	Wood Frame ✓	Masonry	✓ Steel Frame	Concrete
What are the principal building uses? (IBC definitions are below – select all appropriate that apply)				
	Residential - One - Three Unit	✓ Residential - Multi-unit, Four +	Institutional	Educational
	Business	Mercantile	Factory	Hospitality
	Laboratory / Medical	✓ Storage, Utility and Other	COMMERCIAL AND GARAGE	
List street-level uses of the building:	COMMERCIAL AND GARAGE			
<p>3. Assessment of Existing Infrastructure for Accessibility:</p> <p><i>This section explores the proximity to accessible transit lines and institutions, such as (but not limited to) hospitals, elderly & disabled housing, and general neighborhood resources. Identify how the area surrounding the development is accessible for people with mobility impairments and analyze the existing condition of the accessible routes through sidewalk and pedestrian ramp reports.</i></p>				
Provide a description of the neighborhood where this development is located and its identifying topographical characteristics:	MIX OF LIGHT INDUSTRIAL, LOCAL BUSINESSES & RESIDENTIAL. LOW LYING AREA AT FOOT OF TELEGRAPH HILL / DOR. HEIGHTS			
List the surrounding accessible MBTA transit lines and their proximity to development site: commuter rail / subway stations, bus stops:	SITE MIDWAY BETWEEN BROADWAY + ANORBU RED LINE STATIONS - 15 MIN. WALK. 10 MIN WALK TO BUS 11 @ W. 7TH ST & BUS 10 @ DORCHESTER ST.			
List the surrounding institutions: hospitals, public housing, elderly and disabled housing developments, educational facilities, others:	BOSTON HOUSING AUTHORITY AT CORNER OF OLD COLONY AVE & DORCHESTER ST. THIS SITE ALSO INCLUDES ELEMENTARY SCHOOL & J.M. TIERNEY LEARNING CENTER			
List the surrounding government buildings: libraries, community centers, recreational facilities, and other related facilities:	JOE MOAKLEY PARK MARY ELLEN MCCORMACK COMPUTER CENTER DEVINE RECOVERY CENTER NOTRE DAME EDUCATIONAL CENTER			
<p>4. Surrounding Site Conditions – Existing:</p> <p><i>This section identifies current condition of the sidewalks and pedestrian ramps at the development site.</i></p>				
Is the development site within a historic district? <i>If yes</i> , identify which district:	NO			
Are there sidewalks and pedestrian ramps existing at the development site? <i>If yes</i> , list the existing sidewalk and pedestrian ramp dimensions, slopes, materials, and physical condition at the development site:	NO			

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<p>Are the sidewalks and pedestrian ramps existing-to-remain? If yes, have they been verified as ADA / MAAB compliant (with yellow composite detectable warning surfaces, cast in concrete)? If yes, provide description and photos:</p>	<p>N/A</p>
<p>5. Surrounding Site Conditions – Proposed <i>This section identifies the proposed condition of the walkways and pedestrian ramps around the development site. Sidewalk width contributes to the degree of comfort walking along a street. Narrow sidewalks do not support lively pedestrian activity, and may create dangerous conditions that force people to walk in the street. Wider sidewalks allow people to walk side by side and pass each other comfortably walking alone, walking in pairs, or using a wheelchair.</i></p>	
<p>Are the proposed sidewalks consistent with the Boston Complete Street Guidelines? If yes, choose which Street Type was applied: Downtown Commercial, Downtown Mixed-use, Neighborhood Main, Connector, Residential, Industrial, Shared Street, Parkway, or Boulevard.</p>	<p>NEIGHBORHOOD CONNECTOR AT OLD COLONY AVE NEIGHBORHOOD RESIDENTIAL AT W. 9TH ST.</p>
<p>What are the total dimensions and slopes of the proposed sidewalks? List the widths of the proposed zones: Frontage, Pedestrian and Furnishing Zone:</p>	<p>FRONTAGE ZONE AT OLD COLONY AVE. 12'8" WIDE, 2% SLOPE AT W. 9TH ST. 7'0" WIDE, 2% SLOPE PEDESTRIAN ZONE.</p>
<p>List the proposed materials for each Zone. Will the proposed materials be on private property or will the proposed materials be on the City of Boston pedestrian right-of-way?</p>	<p>AT OLD COLONY AVE, ZONE TO BB PUBLIC / PRIVATE W/ CONG. PAVINGS & PLANTERS. AT W. 9TH ST., ZONE TO BB PUBLIC W/ CONCRETE SURFACE & STREET TREES.</p>
<p>Will sidewalk cafes or other furnishings be programmed for the pedestrian right-of-way? If yes, what are the proposed dimensions of the sidewalk café or furnishings and what will the remaining right-of-way clearance be?</p>	<p>N/A</p>
<p>If the pedestrian right-of-way is on private property, will the proponent seek a pedestrian easement with the Public Improvement Commission (PIC)?</p>	<p>N/A</p>

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<p>Will any portion of the Project be going through the PIC? <i>If yes</i>, identify PIC actions and provide details.</p>	<p>YES, BAY WINDOWS ENCRONCH ON PUBLIC WAY AT W. 9TH ST. BAYS TO CONFORM W/ PIC GUIDE LINE: 10' CLEARANCE & 4 1/2 MAX. SIDEWALK ENCRONCHMENT.</p>
<p>6. Accessible Parking: See Massachusetts Architectural Access Board Rules and Regulations 521 CMR Section 23.00 regarding accessible parking requirement counts and the Massachusetts Office of Disability - Disabled Parking Regulations.</p>	
<p>What is the total number of parking spaces provided at the development site? Will these be in a parking lot or garage?</p>	<p>10 PARKING SPACES / GARAGE</p>
<p>What is the total number of accessible spaces provided at the development site? How many of these are "Van Accessible" spaces with an 8 foot access aisle?</p>	<p>NONE</p>
<p>Will any on-street accessible parking spaces be required? <i>If yes</i>, has the proponent contacted the Commission for Persons with Disabilities regarding this need?</p>	<p>NO</p>
<p>Where is the accessible visitor parking located?</p>	<p>ON-STREET PROVIDED BY CITY</p>
<p>Has a drop-off area been identified? <i>If yes</i>, will it be accessible?</p>	<p>NO</p>
<p>7. Circulation and Accessible Routes: <i>The primary objective in designing smooth and continuous paths of travel is to create universal access to entryways and common spaces, which accommodates persons of all abilities and allows for visitability with neighbors.</i></p>	
<p>Describe accessibility at each entryway: Example: Flush Condition, Stairs, Ramp, Lift or Elevator:</p>	<p>FLUSH CONDITION AT EACH ENTRY TO ACCESSIBLE ROUTE TO ELEVATOR.</p>
<p>Are the accessible entrances and standard entrance integrated? <i>If yes</i>, describe. <i>If no</i>, what is the reason?</p>	<p>YES. ACCESSIBLE ROUTE FROM ALL ENTRANCES TO ELEVATOR.</p>

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<p>If project is subject to Large Project Review/Institutional Master Plan, describe the accessible routes way-finding / signage package.</p>	<p>N/A</p>
<p>8. Accessible Units (Group 2) and Guestrooms: (If applicable) <i>In order to facilitate access to housing and hospitality, this section addresses the number of accessible units that are proposed for the development site that remove barriers to housing and hotel rooms.</i></p>	
<p>What is the total number of proposed housing units or hotel rooms for the development?</p>	<p>19 UNITS - ALL GROUP 2 UNITS</p>
<p>If a residential development, how many units are for sale? How many are for rent? What is the breakdown of market value units vs. IDP (Inclusionary Development Policy) units?</p>	<p>19 RENTAL UNITS, OF WHICH, 3 TO BE AFFORDABLE UNITS.</p>
<p>If a residential development, how many accessible Group 2 units are being proposed?</p>	<p>NONE</p>
<p>If a residential development, how many accessible Group 2 units will also be IDP units? If none, describe reason.</p>	<p>NONE</p>
<p>If a hospitality development, how many accessible units will feature a wheel-in shower? Will accessible equipment be provided as well? If yes, provide amount and location of equipment.</p>	<p>N/A</p>
<p>Do standard units have architectural barriers that would prevent entry or use of common space for persons with mobility impairments? Example: stairs / thresholds at entry, step to balcony, others. If yes, provide reason.</p>	<p>No</p>
<p>Are there interior elevators, ramps or lifts located in the development for access around architectural barriers and/or to separate floors? If yes, describe:</p>	<p>YES. COMMERCIAL ELEVATOR TO SERVICE ALL FLOORS.</p>

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9. Community Impact:

Accessibility and inclusion extend past required compliance with building codes. Providing an overall scheme that allows full and equal participation of persons with disabilities makes the development an asset to the surrounding community.

<p>Is this project providing any funding or improvements to the surrounding neighborhood? Examples: adding extra street trees, building or refurbishing a local park, or supporting other community-based initiatives?</p>	<p><i>NO</i></p>
<p>What inclusion elements does this development provide for persons with disabilities in common social and open spaces? Example: Indoor seating and TVs in common rooms; outdoor seating and barbeque grills in yard. Will all of these spaces and features provide accessibility?</p>	<p><i>COMMON MEETING ROOM AT SECOND FLOOR ACCESSIBLE VIA ELEVATOR.</i></p>
<p>Are any restrooms planned in common public spaces? If yes, will any be single-stall, ADA compliant and designated as "Family"/"Companion" restrooms? If no, explain why not.</p>	<p><i>YES. COMMON MEETING ROOM TO PROVIDE SINGLE-STALL ADA COMPLIANT TOILET & KITCHEN PER SEC. 32.00 52A CMR</i></p>
<p>Has the proponent reviewed the proposed plan with the City of Boston Disability Commissioner or with their Architectural Access staff? If yes, did they approve? If no, what were their comments?</p>	<p><i>NOT TO DATE.</i></p>
<p>Has the proponent presented the proposed plan to the Disability Advisory Board at one of their monthly meetings? Did the Advisory Board vote to support this project? If no, what recommendations did the Advisory Board give to make this project more accessible?</p>	<p><i>NOT TO DATE.</i></p>

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10. Attachments

Include a list of all documents you are submitting with this Checklist. This may include drawings, diagrams, photos, or any other material that describes the accessible and inclusive elements of this project.

Provide a diagram of the accessible routes to and from the accessible parking lot/garage and drop-off areas to the development entry locations, including route distances.

Provide a diagram of the accessible route connections through the site, including distances.

Provide a diagram the accessible route to any roof decks or outdoor courtyard space? (if applicable)

Provide a plan and diagram of the accessible Group 2 units, including locations and route from accessible entry.

Provide any additional drawings, diagrams, photos, or any other material that describes the inclusive and accessible elements of this project.

- A02 - GROUND FLOOR PLAN | BOTH W/ REV. DATE 3-21-19.
- A03 - SECOND FLOOR PLAN
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-

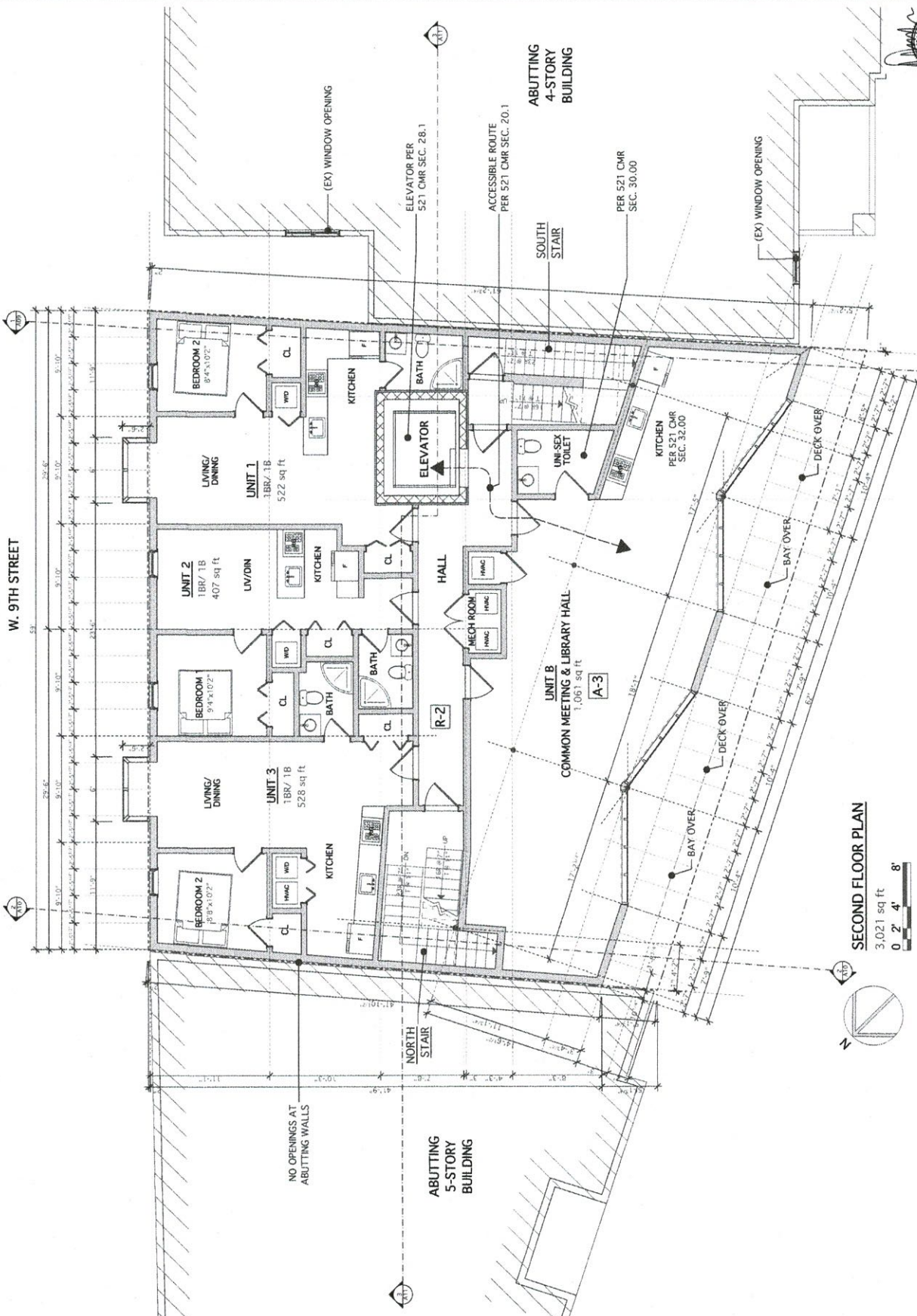
This completes the Article 80 Accessibility Checklist required for your project. Prior to and during the review process, Commission staff are able to provide technical assistance and design review, in order to help achieve ideal accessibility and to ensure that all buildings, sidewalks, parks, and open spaces are usable and welcoming to Boston's diverse residents and visitors, including those with physical, sensory, and other disabilities.

For questions or comments about this checklist, or for more information on best practices for improving accessibility and inclusion, visit www.boston.gov/disability, or our office:

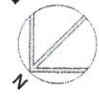
The Mayor's Commission for Persons with Disabilities
1 City Hall Square, Room 967,
Boston MA 02201.

Architectural Access staff can be reached at:

accessibility@boston.gov | patricia.mendez@boston.gov | sarah.leung@boston.gov | 617-635-3682



SECOND FLOOR PLAN
 3,021 sq ft
 0' 2' 4' 8'



REVISIONS

Δ	02/27/19	
Δ	02/27/19	
Δ	02/27/19	
Δ	02/27/19	
Δ	02/27/19	
Δ	02/27/19	

TIM JOHNSON ARCHITECT, LLC
 PRELIMINARY DWG. SET
 DRAWING TITLE
SECOND FLOOR PLAN
 DATE: 02/15/19 SC: 1/4" = 1'-0"

A03

PROPOSED 6-STORY, MIXED-USE BUILDING W/ GARAGE (COMMERCIAL UNIT @ 1ST DWELLING UNIT) 142-144 OLD COLONY AVENUE SOUTH BOSTON, MA 02127
 OWNER: BOSTON PM/A&E PROPERTIES 599 WEST BROADWAY BOSTON, MA 02127 TEL: 617-564-1187
 PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363

ABUTTING 4-STORY BUILDING
 ACCESSIBLE ROUTE PER 521 CMR SEC. 20.1
 SOUTH STAIR
 PER 521 CMR SEC. 30.00
 PER 521 CMR SEC. 32.00
 (EX) WINDOW OPENING
 (EX) WINDOW OPENING
 ELEVATOR PER 521 CMR SEC. 28.1

W. 9TH STREET

OLD COLONY AVENUE