

1650 Soldiers Field Road

Brighton, Massachusetts



Application for Article 80 Small Project Review

Boston Redevelopment Authority d/b/a Boston Planning & Development Agency

September 22, 2017

Developer: **FCA Realty LLC**

Architect: **NORR**

Legal Counsel: **McDermott, Quilty & Miller LLP**

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McDERMOTT
QUILTY &
MILLER LLP

28 STATE STREET, SUITE 802
BOSTON, MA 02109

30 ROWES WHARF, SUITE 600
BOSTON, MA 02110

September 22, 2017

VIA HAND DELIVERY

Brian P. Golden, Director
Boston Planning & Development Agency
One City Hall Square, 9th Floor
Boston, Massachusetts 02201
Attn: Lance Campbell, Senior Project Manager

**Re: Article 80 Small Project Review Application
1650 Soldiers Field Road, Brighton, Massachusetts**

Dear Director Golden:

As counsel to FCA Realty LLC, the owner-developer of the above-referenced property (“Proponent”), I am pleased to submit the enclosed application for Article 80 Small Project Review. Situated on 80,279 square feet of land at 1650 Soldiers Field Road in Boston’s Brighton neighborhood (“Premises”), the proposed project contemplates the redevelopment of the Premises into a new single-story building of approximately 27,000 gross square feet to house an automobile dealership sales and service business for Fiat Chrysler Automobiles and its Alfa Romeo and Maserati lines (first such dealership in the City of Boston), including demolition of the existing structure, change of legal use and occupancy and fit out of the new space, with related site improvements (“Project”). The Project replaces the currently vacant and former Martignetti Liquors building and a separate standalone automatic bank teller facility on the Premises, at this existing non-conforming property site in the Allston/Brighton Community Commercial (CC-1) Zoning Subdistrict.

Prior to submitting this application, the Proponent conducted preliminary outreach with nearby and abutting property owners, area residents, local elected and appointed officials and the staff of your agency to seek and integrate neighborhood input into its development program, and at a community meeting before the Brighton Allston Improvement Association (“BAIA”). As a result of the input received, the Proponent has made changes to the original scope, design, parking, landscaping and vehicular and pedestrian access to the Premises, and it is now pleased to submit the enclosed application for Article 80 Small Project Review.

Brian Golden, Director

September 22, 2017

Page 2 of 2

Thank you for your consideration of this application, and I look forward to working with you towards a successful outcome.

Very truly yours,

A handwritten signature in black ink, appearing to read "Joseph P. Hanley". The signature is fluid and cursive, with a large loop at the end of the last name.

Joseph P. Hanley, Partner

cc: Warren O'Reilly, Mayor's Office of Neighborhood Services
District City Councilor Ciommo
State Senator Brownsberger
State Representative Moran

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1.0 EXECUTIVE SUMMARY

1.1 Introduction

This Small Project Review Application (“SPRA”) is being submitted by FCA Realty LLC (the “Proponent”) in accordance with Article 80, Section 80E, of the Boston Zoning Code (the “Code” or “Zoning Code”). The Proponent is excited to propose a new and exciting use at 1650 Soldiers Field Road with the redevelopment of the former Martignetti Liquors premises into an automobile dealership sales and service business, including demolition of the existing structure, change of legal use and occupancy and new construction of approximately 27,000 gross square feet (but less than 50,000) with related site improvements (the “Project”). The Project will change the legal use and occupancy of the premises to include Indoor and Outdoor Sale of New or Used Motor Vehicles, Automotive Parts, Accessories and Supplies (with or without installation) along with a fit out of the space for the same. The Project will therefore replace one commercial use with another commercial use.

The Project site includes approximately 80,279 total square feet of land, with an existing single-story retail structure of approximately 16,483 square feet which formerly housed the Martignetti liquor operations and a separate standalone automatic bank teller facility; and with an Assessing classification of Commercial Property/RET/ WHSL/Service and last recorded legal use and occupancies as Liquor Store and Bank (the “Site”). The Site is located in north Brighton, just north of Leo M Birmingham Parkway and the Massachusetts Turnpike and just south of the Charles River.

The building is fronted by an automobile showroom with approximately twenty foot high ceilings and full height aluminum and glass curtain wall on the north, east and west sides. A Service Drop Off area on the west side of the building is smaller in size and height than the adjacent main building and will be equipped with two glass overhead automobile entrances. The vehicle service bay is located at the rear of the building. The exterior design of the Service drop off and vehicle service bays will be decorative (split-faced/ground-faced) CMU veneer or EIFS.

The main portion of the building facing Soldiers Field Road is approximately 12,700 SF in area and thirty feet tall. The rear portion of the building is a 10,500 SF service department that is approximately twenty-five feet tall. The service drive is 3,000 SF in area and approximately eighteen feet tall. The building will have a flat roof with low parapets.

The Site presently includes approximately 80 parking spaces. The Project will consist of 100 striped parking spaces. This includes 86 spaces reserved for the dealership. There will be two (2) handicap accessible spaces and twelve (12) standard stalls reserved for customers.

The Site offers excellent transit access to downtown Boston: it is within a 1.0 mile walk to the new MBTA Boston Landing Commuter Rail Station and is within short walking distance to several bus routes along Birmingham Parkway and N Beacon Street providing connections and access to other parts of Allston and Brighton as well as downtown Boston.

1.2 Proposed Project

1.2.1 Project Site and Context

The Site is identified in the public records of the City of Boston (the “City”) as 1650 Soldiers Field Road, Ward 22, Boston, Suffolk County, Massachusetts with Parcel No. 2202753000. In particular, according to a review of the public records on file with the City, the Site consists of approximately 80,279 total square feet of land, with an existing single-story retail structure of approximately 16,483 square feet and separate automatic bank teller facility; and with an assessing classification of Commercial Property/RET/WHSL/Service and last recorded legal use and occupancies as Liquor Store and Bank (collectively, the “Existing Conditions at the Premises”). See **Figure 1.2-1** for Project locus and **Figure 1.2-2** for Project aerial.

Based on an initial conversation with the Boston Water & Sewer Commission, it is anticipated that the existing utilities in the adjacent streets have adequate capacity to serve the Project. There is an existing 8” water main, 10” separated sewer main and 15” separated storm drain main, all owned by BWSC, along the south side of Soldiers Field Road. There is also an existing catch basin in Soldiers Field Road, located near the easternmost driveway, that is owned by DCR. The proposed water, sewer, and drain connections will comply with BWSC & DCR requirements.

Please see neighborhood photographs showing further context for the Project (**Figures 1.2-3 and 1.2-4**).

1.2.2 Project Description

The Project consists of the proposed redevelopment of the Site into an automobile dealership sales and service business, including demolition of the existing structure, change of legal use and occupancy and fit out of the space of approximately 27,000 gross square feet on a single story with related site improvements. The Project will change the legal use and occupancy of the premises from Liquor Store and Bank to Indoor and Outdoor Sale of New or Used Motor Vehicles, Automotive Parts, Accessories and Supplies (with or without installation) along with a fit out of the space for the same.

Figure 1.2-1 Project Locus

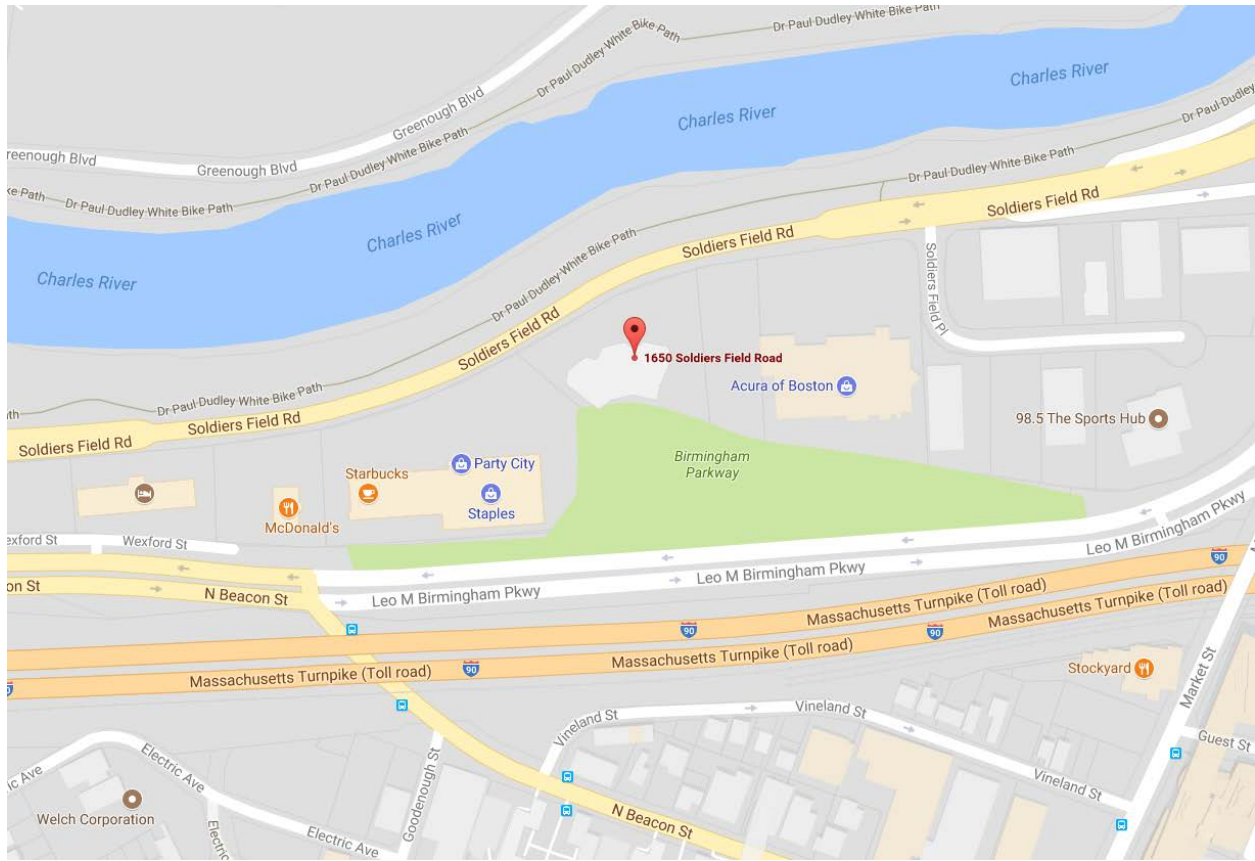


Figure 1.2-2 Project Aerial



Figure 1.2-3 Neighborhood Context – Photographs



Figure 1.2-4 Neighborhood Context - Photographs



2.0 GENERAL INFORMATION

2.1 Proponent Information

2.1.1 Project Proponent

The 1650 Soldiers Field Road SPRA Proponent is FCA Realty LLC, the real estate development company of Fiat Chrysler Automobiles (FCA US LLC) and Maserati North America, Inc., an international automobile company, focused on designing, engineering, manufacturing and selling passenger cars, light commercial vehicles, components and production systems worldwide.

The Proponent and its affiliated entities have vast experience in building, owning and operating car dealerships in Massachusetts specifically and the country generally. FCA US LLC currently has 2,645 dealers located in the United States with 52 authorized dealers in the Commonwealth of Massachusetts. Additionally, Maserati North America, Inc. currently has 111 dealers located in the United States with three (3) authorized dealers in the Commonwealth of Massachusetts.

2.1.2 Development Team

Table 2-1 1650 Soldiers Field Road - Project and Team Information

Project Name	1650 Soldiers Field Road
Project Location	1650 Soldiers Field Road, North Brighton (Boston), MA
Property Owner	FCA Realty LLC
Project Proponent/Developer	FCA Realty LLC 1000 Chrysler Drive, CIMS 485-03-20 Auburn Hills, Michigan 48326-2766 <u>Contact:</u> Sandy Bachor sandy.bachor@fcagroup.com

Architect	<p>Norr One Penn Center 1617 JFK Boulevard, Ste 1600 Philadelphia, PA 19103</p> <p><u>Contact:</u> Kyle Fauth, AIA, NCARB, LEED GA</p>
Environmental Consultant	<p>AECOM 250 Apollo Drive Chelmsford, MA 01824, USA T +1-978-905-2100 aecom.com</p> <p><u>Contact:</u> Nicole Callahan Project Manager, Environment D +1-978-905-2189 M +1-631-806-9411 nicole.callahan@aecom.com</p>
Project Consultant	<p>CBRE Global Corporate Services 2000 Town Center, Suite 500 Southfield, MI 48075</p> <p><u>Contact:</u> Steven R. Smith Senior Project Manager LEED AP PJM-I T 248 936 6855 C 248 980 8158 steve.smith@cbre.com www.cbre.com/steve.smith</p>
Transportation Planner/Engineer	<p>Kittelson & Associates 294 Washington Street, MZ Boston, MA 02108</p> <p><u>Contact:</u> Ellen Donohoe-Moshier, PE, ENV SP Phone: (857) 265-2153 (ext. 2503)</p>

Legal	<p>McDermott, Quilty & Miller LLP 28 State Street Suite 802 Boston, MA 02109 Phone: (617) 946-4600</p> <p><u>Contact:</u> Stephen V. Miller, Esq. SMiller@mqmlp.com</p> <p>Nicholas J. Zozula, Esq. nzozula@mqmlp.com</p>
Civil Engineer	<p>Bohler Engineering 75 Federal Street Suite 620 Boston, MA 02110 Phone: (617) 849-8040</p> <p><u>Contacts:</u> Stephen Martorano, P.E., LEED AP BD+C smartorano@bohlereng.com</p> <p>Daniel Bourque, P.E. dbourque@bohlereng.com</p>
Estimated Construction Commencement	Second Quarter 2018
Estimated Construction Completion	1st Quarter 2019
Approximate Construction Cost	\$4.5 Million
Status of Project Design	Schematic

2.2 Public Benefits

The Project will result in a number of public benefits for the Allston-Brighton community, as well as for the City of Boston. These benefits include:

- ◆ Creating a brand new car dealership serving both the immediate neighborhood and the City of Boston, while creating approximately 20-25 full time and part time employment opportunities as a result, in excess of those supported by the previous uses at the Site;

-
- ◆ Introducing new neighborhood visitors who will provide support to the local community and utilize local businesses;
 - ◆ Improving the existing streetscape by providing an active new use along the highly visible Soldiers Field Road;
 - ◆ Replacing a blighted and non-descript lot with a new and architecturally pleasing building, improving the safety and visual appearance of the area, and improving environmental conditions on the existing site;
 - ◆ Providing for the planting of new street trees, improved sidewalks, and other streetscape amenities to improve and enhance the pedestrian landscape and experience;
 - ◆ Furthering Allston-Brighton’s community planning and zoning objectives;
 - ◆ Creating many temporary new jobs in the construction and building trade industries; and
 - ◆ Providing additional property tax revenue to the City.

2.3 Regulatory Controls and Permits

2.3.1 Zoning District

The Project Site is located within City’s Allston/Brighton Neighborhood Zoning District and within its Community Commercial (CC-1) Subdistrict and Greenbelt Protection Overlay District (GPOD). Map 7A/7B/7C/7D of the Boston Zoning Maps, adopted by the Zoning Commission of the City of Boston on November 6, 1991, effective November 13, 1991, as amended effective June 22, 2017, governs the Project Site and indicates the same. The Project Site is also within a PDA-Permitted Overlay District, which is not applicable to this Project.

2.3.2 Project Uses

The Project will require several Conditional Use Permits and a Variance for the proposed change of legal use and occupancy of the premises to allow for the Indoor and Outdoor Sale of New or Used Motor Vehicles, Automotive Parts, Accessories and Supplies (with or without installation) along with a fit out of the space for the same on the Basement and First Floor Levels (said Uses are Forbidden on the second levels or above); and a Conditional Use Permit for site plan review and approval in the GPOD, both from the Boston Zoning Board of Appeal (ZBA). Please see zoning code refusal letter and appeal, attached as Exhibits in Section 6.0.

As indicated above, the Site and its proposed uses are also subject to review under the GPOD via Article 29 of the Code, requiring the Proponent to submit plans to the City of Boston Parks Commission for review, and approval of a Conditional Use Permit from the ZBA. The GPOD is a

special zoning district designated along Boston's Greenbelt Roadways. A Greenbelt Roadway includes any landscaped roadway or major thoroughfare that is characterized by open space or landscaping along its right-of-way or that is used primarily by noncommercial or pleasure vehicles. Any projects proposed in a GPOD must show that it will result in the minimum interference with significant natural features, provide for proper management and maintenance of those features, and avoid excessive runoff and erosion.

2.3.3 Applicable Dimensional Regulations

The Project will include approximately 27,000 feet of gross floor area on a site that consists of approximately 80,279 square feet of land, for a resulting projected floor area ratio (“FAR”) of approximately 0.31. The CC-1 Zoning Subdistrict establishes a maximum FAR of 1.0. The applicable dimensional regulations under CC-1 Zoning Subdistrict require No Minimum Lot Size, No Additional Lot Area, No Lot Width Minimum and No Side Yard Minimum. The applicable dimensional regulations require a maximum building height of 35 feet, a Front Yard Setback Minimum of seven (7) feet, and a Rear Yard Setback Minimum of 20 feet. The Project will conform to the dimensional regulations of the Code as follows:

Dimensional Regulation	Community Commercial 1 (CC-1) Subdistrict	Proposed Project Conditions	Zoning Relief Required
Minimum Lot Size	NONE	80,279 SF	None
Minimum Lot Area per Dwelling Unit	NONE	N/A	None
Minimum Lot Width	NONE	Approx. 402.3’ ft	None
Minimum Frontage	NONE	Approx. 402.3’ ft	None
Maximum Floor Area Ratio (FAR)	1.0 FAR	0.31 FAR	None
Maximum Building Height	35 ft	< 35 feet (varies)	None
Minimum Usable Open Space per Dwelling Unit	50 SF	N/A	None

Dimensional Regulation	Community Commercial 1 (CC-1) Subdistrict	Proposed Project Conditions	Zoning Relief Required
Minimum Front Yard	7 ft	49.8 ft	None
Minimum Side Yard	None	49 ft	None
Minimum Rear Yard	20 ft	21.1 ft	None
Minimum Number of Parking Spaces	.5 spaces per 1,000 SF Gross Area; 14 spaces required	14 parking spaces; 2 accessible parking spaces; 86 inventory spaces	None

2.3.4 Parking and Loading

The Site presently includes approximately 80 parking spaces. The Project proposes a Zoning Code compliant amount of parking spaces, with 14 customer parking spaces and 86 dealership spaces. Two (2) of the 14 customer spaces are handicap accessible stalls. Ten (10) of the customer parking spaces will be located along the building with five (5) at the front and five (5) on the side, while four (4) additional customer spaces will be located along Soldiers Field Road on the north side of the lot. The Site will be accessed via two (2) curb cuts, which will allow both entering and exiting traffic from the Site. There are currently three (3) existing curb cuts at the Site, therefore the Project will remove one (1) of these curb cuts causing less of a burden and confusion on exiting and entering traffic from Soldiers Field Road.

The Project’s parking supply is also considered appropriate given the proximity of the Site to numerous excellent public transit alternatives offering access to downtown Boston to customers and visitors: it is within a 1.0 mile walk to the new MBTA Boston Landing Commuter Rail Station and is within short walking distance to several bus routes along Birmingham Parkway and N Beacon Street providing connections and access to other parts of Allston and Brighton as well as downtown Boston.

The Project also requires one (1) loading bay per Table K of Article 51 of the Zoning Code as the Project falls within the Off-Street Loading Requirement of a building with a gross floor area between 15,001 and 49,999 square feet. As a result, the Project proposes one loading bay on the side of the building of approximately 14 feet by 40 feet.

2.4 Public Review Process

In support of the required Article 80 Small Project Review process, the Proponent has conducted, and will continue to conduct, community outreach with neighbors and abutters of the Site, including meetings and discussions with the elected representatives and officials from the area, and with the businesses and residents of the adjacent neighborhood. Additionally, the Proponent had an initial Project meeting with the Brighton-Allston Improvement Association on July 6, 2017, which resulted in the Association's support of the Project.

The Proponent has also discussed the Project with representatives of the BPDA on numerous occasions prior to filing this Small Project Review Application in order to identify issues/concerns as well as design requirements related to the Project.

The Proponent will continue to meet with public agencies, neighborhood representatives, local business organizations, abutting property owners, and other interested parties, and will follow the requirements of Article 80 pertaining to the public review process.

3.0 DESIGN COMPONENT

The proposed building and use will significantly enhance the character of the area. The existing building to be demolished was built in the 1960's and is relatively low and sprawling with little more than a serviceable appearance. The proposed building will be designed and built with modern building materials and much greater attention to detail. It is of great importance to both the owner and the design team that the building convey the same quality as the automobiles being sold here.

Discussion of design elements for the proposed new building is provided in the sections below, and is illustrated on the plans, perspectives, and photographs that are included at the end of the Design Component (see **Figures 3-1** through **3-22**).

3.1 Site Context

The 80,279 square foot site is located on the south side of Soldiers Field Road in the Brighton district of Boston MA, between the Beacon Street and Arsenal Street bridges. The south end of the site is bordered by Birmingham Parkway, a park located on Leo M Birmingham Parkway. A wooded area separates the south end of the Site from the park. Directly south of Leo M Birmingham Parkway is the Massachusetts Turnpike, Route 90.

This area is accessed primarily by automobile traffic. The road is wooded to the north, across Soldiers Field Road, adjacent to the Charles River. On the south side of Soldiers Field Road, where the proposed site is located, the existing properties are primarily single story big-box and strip retail businesses. The setbacks, height and massing of the proposed building will match that of these adjacent buildings.

3.2 Building Program

The project's development program includes a 27,000 square foot (SF) Alfa Romeo and Maserati Automobile Dealership. At the north end of the building, fronting Soldiers Field Road, is a 4,400 SF showroom. Adjacent to the showroom are 3,900 SF of reception areas and sales offices. At the rear of the building is a 10,500 SF service department with approximately eighteen auto service bays. A 3,700 SF autoparts storage room with mezzanine above is located between the sales and service areas. This autoparts storage area supplies parts for the services performed on site and is not a separate retail business. There is a 3,000 SF service and reception bay at the west end of the building where cars to be serviced are dropped off.

3.3 Design Concept

The Project's urban design goal is to significantly enhance this section of Soldiers Field Road with a well designed building using high quality, modern building materials. A proposed sidewalk along Soldiers Field Road where there is currently none will help to provide a pedestrian friendly environment.

The building is fronted by an automobile showroom with approximately twenty foot high ceilings. Simple and light colored finishes and a full height aluminum and glass curtain wall on the north, east and west sides will give the space an open and welcoming presence from both inside and out. The design of the showroom is meant to provide a clean background for the high-end automobiles on to be displayed inside and outside of the space.

The supporting reception and office spaces behind will have a strong and open connection to the showroom with space planning and finishes selected to provide a comfortable environment for the clients being served. The Service Drop Off area on the west side of the building is smaller in size and height than the adjacent main building and will be equipped with two overhead automobile entrances and will be directly connected to the sales and reception spaces. The vehicle service bay at the rear of the building will be primarily separated from the showroom, sales and reception areas, but with controlled access from those spaces. The exterior design of the Service drop off and vehicle service bays will be of equal quality to the primary elevations.

3.4 Height and Massing

The massing of the Project has been designed to maintain the scale of the other retail buildings along this section of Soldiers Field Road. The main portion of the building that houses the showroom, sales, reception, support spaces and a parts storage area is approximately 12,700 SF in area and thirty feet tall. The rear portion of the building is a 10,500 SF service department that is approximately twenty-five feet tall. There is a 3,000 SF enclosed service drive attached to the west side of the building that is approximately eighteen feet tall. The building is single story and will have a flat roof.

3.5 Facade Design, Fenestration, and Building Materials

The proposed façade will give the building a modern and welcoming appearance. The front portion of the building will have full height aluminum and glass curtain walls framed by metal panel cladding. The same metal panel cladding will be used at the sides of the building and at the service drive. The rear facades will be of equal quality to the front portions of the building with a decorative masonry or EIFS cladding. The building will be subject to Boston Planning and Development Agency Design Review.

3.6 Exterior Signage and Lighting

The Project will allow for the integration of appropriately scaled signage on the front façade of the building. Any necessary exterior way finding signage will be designed to be compatible with exterior building materials and the graphic identity of the Project. Exterior lighting, where used, will be primarily indirect LED lighting to illuminate building entrances, ground surfaces, and pedestrian pathways.

3.7 Site Design

3.7.1 Open Space and Landscaped Areas

The building is located on the site to allow for required parking and circulation and to match the existing setbacks from Soldiers Field Road similar to the adjacent properties. A landscape buffer with trees at either side of both entrances is proposed along Soldiers Field road between site parking and the proposed new pedestrian sidewalk. Several landscape islands with trees are proposed within the vehicular circulation of the site.

3.7.2 Pedestrian Circulation

Approximately five foot wide sidewalks are proposed along Soldiers Field Road. Currently there is a poorly defined macadam area along the front of the property. Customer parking on site will be located adjacent to the building with walkways leading to entrances.

3.7.3 Parking and Vehicular Circulation

Thirty foot wide, two-directional entrances are proposed at the east and west ends of the site. Fourteen customer/visitor parking spaces, including two accessible spaces are provided at the front (north) end of the lot. There are also eighty-six inventory spaces provided at the north, east, and west sides of the lot.

3.8 Sustainable Design

The exterior envelope of the building will be designed to meet or exceed energy code requirements. Building mechanical systems will be selected and designed for maximum efficiency. LED lighting will be used wherever appropriate and will be selected over other lighting types wherever possible.

3.9 Design Submission and Project Drawings

Figures 3-1 through **3-21** more fully illustrate the design and include the following figures and photographs:

- Figure 3.1 Site Photograph Key Plan
- Figure 3.2 Site Photographs
- Figure 3.3 Site Photographs
- Figure 3.4 Site Photographs
- Figure 3.5 Site Photographs
- Figure 3.6 Site Photographs
- Figure 3.7 Site Photographs
- Figure 3.8 Site Photographs
- Figure 3.9 Plot Plan
- Figure 3.10 Site Plan
- Figure 3.11 Proposed Ground Floor Plan
- Figure 3.12 Proposed Mezzanine Floor Plan
- Figure 3.13 Proposed North-South Section
- Figure 3.14 Proposed East-West Section
- Figure 3.15 Conceptual Perspective Looking West on Soldiers Field Road
- Figure 3.16 Conceptual Perspective Looking East on Soldiers Field Road
- Figure 3.17 Conceptual Perspective at Soldiers Field Road Looking to Charles River
- Figure 3.18 Proposed North Elevation
- Figure 3.19 Proposed East Elevation
- Figure 3.20 Proposed South Elevation
- Figure 3.21 Proposed West Elevation

Figure 3.1 Site Photograph Key Plan



Figure 3.2 Site Photographs - 1



Figure 3.3 Site Photographs - 2



Figure 3.4 Site Photographs - 3



Figure 3.5 Site Photographs - 4



Figure 3.6 Site Photographs - 5



Figure 3.7 Site Photographs - 6



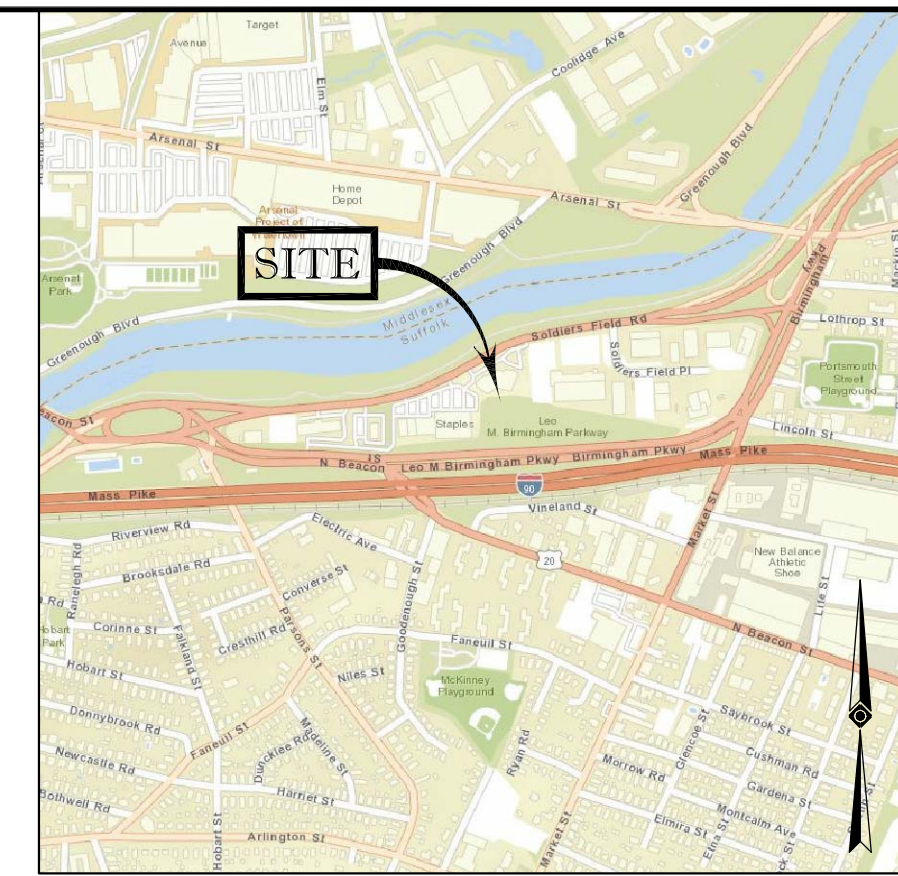
Figure 3.8 Site Photographs - 7



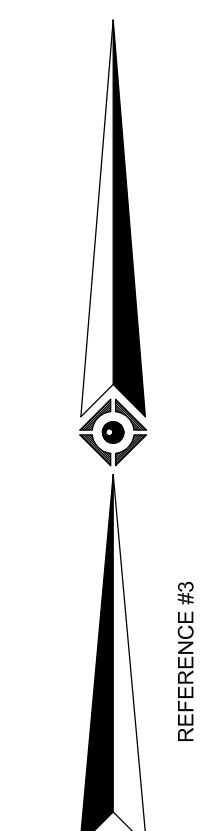
Figure 3.9 Plot Plan

SOLDIERS FIELD ROAD
(PUBLIC - VARIABLE WIDTH)
(ASPHALT PAVEMENT)

SOLDIERS FIELD ROAD
(PUBLIC - VARIABLE WIDTH)
(ASPHALT PAVEMENT)

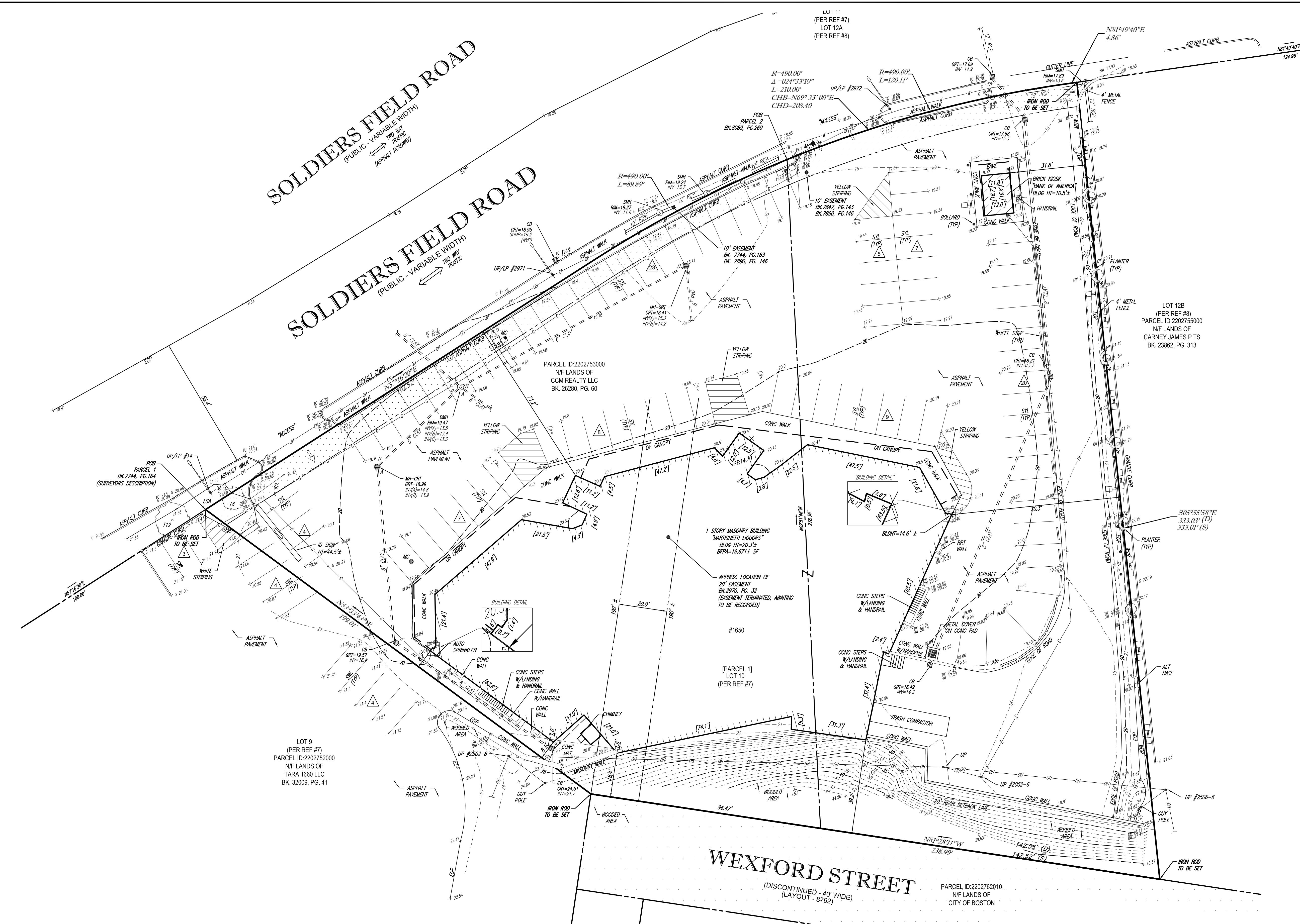


LOCUS MAP
© 2013 ESRI WORLD STREET MAPS



LEGEND

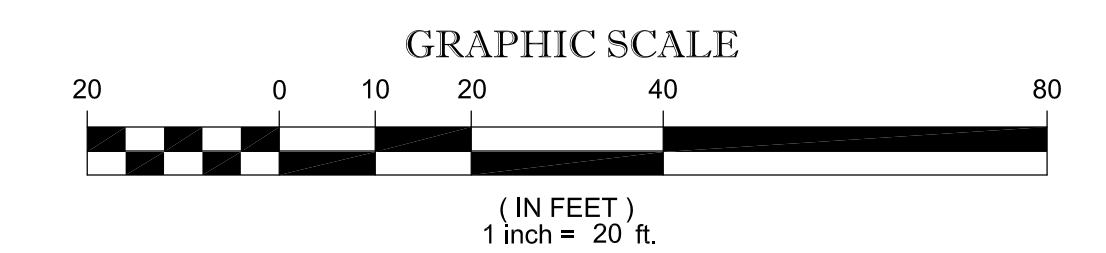
	UTILITY POLE
	GAS VALVE
	OVERHEAD WIRES
	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
	SOLID WHITE LINE
	SOLID YELLOW LINE
	AREA LIGHT
	PAINTED ARROWS
	TREE & TRUNK SIZE
	UNKNOWN MANHOLE
	CATCH BASIN OR INLET
	UTILITY POLE/LIGHT POLE
	GUIDE RAIL
	PARKING SPACE COUNT
	METAL COVER
	BOLLARD
	HYDRANT
	NONE TANGENT
	BUILDING DIMENSION
	FEE HOOK
	DEED DIMENSION
	SURVEYED DIMENSION
	NO VISIBLE PIPE



WEXFORD STREET
(DISCONTINUED - 40' WIDE)
(LAYOUT - 8762)

PARCEL ID: 2202762010
N/F LANDS OF
CITY OF BOSTON

PARCEL ID: 2202762003
N/F LANDS OF
COMMONWEALTH OF MASSACHUSETTS



SEE SHEET 1 OF 2 FOR BOUNDARY, NOTES, & REFERENCES

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	06/08/17	BOUNDARY AND TOPOGRAPHY PLAN			
FIELD BOOK NO.	17-05MA	BOHLER ENGINEERING MA, LLC			
FIELD BOOK PG.	93	1650 SOLDIERS FIELD ROAD PARCEL ID: 2202753000, 2202754000 CITY OF BOSTON (BRIGHTON DISTRICT), SUFFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS			
FIELD CREW	B.S.B.	CONTROL POINT ASSOCIATES, INC.			
DRAWN	PRIMA	352 TURNPIKE ROAD SOUTH BOKROUGHI, MA 01772 508.948.3000 - 508.948.3003 FAX			
REVIEWED	J.M.R.	DATE	06/24/17	SCALE	1"=20'
APPROVED	G.L.H.	FILE NO.	03-160287-01	DWG. NO.	2 OF 2

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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. (148R-344720)

Figure 3.10 Site Plan



LAND USE / ZONING INFORMATION & NOTES

- OWNER/APPLICANT:
FCA REALTY, LLC
1000 CHRYSLER DRIVE
AUBURN HILLS, MI 48326
- PARCEL:
PARCEL ID: 2202753000
1650 SOLDIERS FIELD ROAD
CITY OF BOSTON (BRIGHTON DISTRICT)
SUFFOLK COUNTY, MA

ZONING ANALYSIS TABLE			
ZONING DISTRICT	ALLSTON/BRIGHTON NEIGHBORHOOD ZONING DISTRICT COMMUNITY COMMERCIAL (CC-1) SUBDISTRICT PLANNED DEVELOPMENT AREA GREENBELT PROTECTION OVERLAY DISTRICT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	NONE	80,275 SF	80,275 SF
MAX. BUILDING COVERAGE	N/A	19,671 SF	24,643 SF
MIN. FRONT SETBACK	7'	73.8'	49.8'
MIN. SIDE SETBACK	NONE	70.3'	49.0'
MIN. REAR SETBACK	20'	18.4'	21.1'
MAX. BUILDING HEIGHT	35'	<35'	<35'
IMPERVIOUS COVERAGE	N/A	73,032 SF	70,130 SF
PARKING SPACES	14	94	14
INVENTORY SPACES	N/A	N/A	86
PARKING CRITERIA	8.5' x 20' STALLS 0.5 SPACES/1,000 SF GROSS AREA 0.5 SPACES/1,000 SF x 27,400 SF = 14 SPACES REQUIRED		
ACCESSIBLE PARKING SPACES	0	4	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE-8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 1 TO 25 = 1 ACCESSIBLE SPACE VAN ACCESSIBLE SPACES= 1 / 6 SPACES		

N/A - NOT APPLICABLE
N/S - NOT SPECIFIED
(V) - VARIANCE REQUESTED

BOHLER ENGINEERING

1500 WASHINGTON STREET, SUITE 200, BOSTON, MA 02110
 (617) 849-8040
www.bohlerengineering.com

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REVISIONS

REV	DATE	COMMENT	BY
1			
2			
3			
4			
5			
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7			
8			
9			
10			
11			
12			
13			
14			
15			

PRELIMINARY

PROJECT No.: M171011
 DRAWN BY: ADB
 CHECKED BY: SPM
 DATE: 08/22/17
 SCALE: AS NOTED
 CAD I.D.: M171011.SSD

SITE DEVELOPMENT PLANS FOR FCA REALTY LLC

LOCATION OF SITE
 1650 SOLDIERS FIELD RD
 CITY OF BOSTON (BRIGHTON)
 SUFFOLK COUNTY
 MASSACHUSETTS

BOHLER ENGINEERING

75 FEDERAL STREET
 SUITE #620
 BOSTON, MA 02110
 Phone: (617) 849-8040
www.BohlerEngineering.com

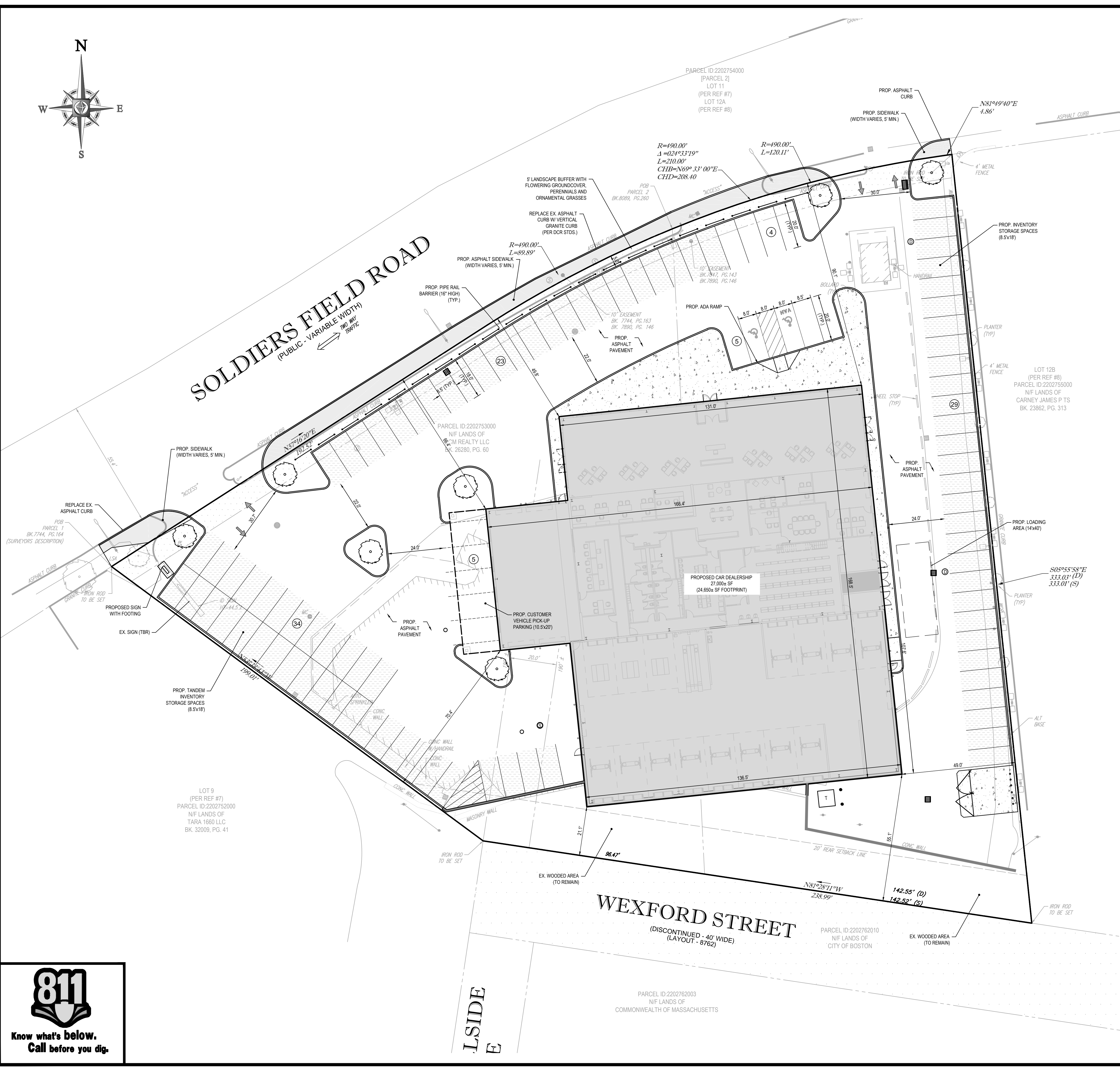
S.P. MARTORANO

PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 45942

SHEET TITLE:
SITE PLAN

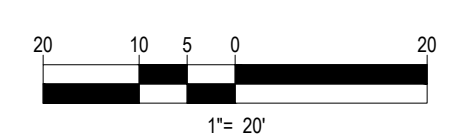
SHEET NUMBER:
4
 OF 14

REV 0 - 8/22/17



REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



P:\171011\Drawings\Plan_Sets\REV\M171011_SSD.dwg, 04/28/2014, 4:26:00 PM, sptanahy, Xerox/101_1.cpl, User/04_11

811
 Know what's below.
 Call before you dig.

Figure 3.11 Proposed Ground Floor Plan

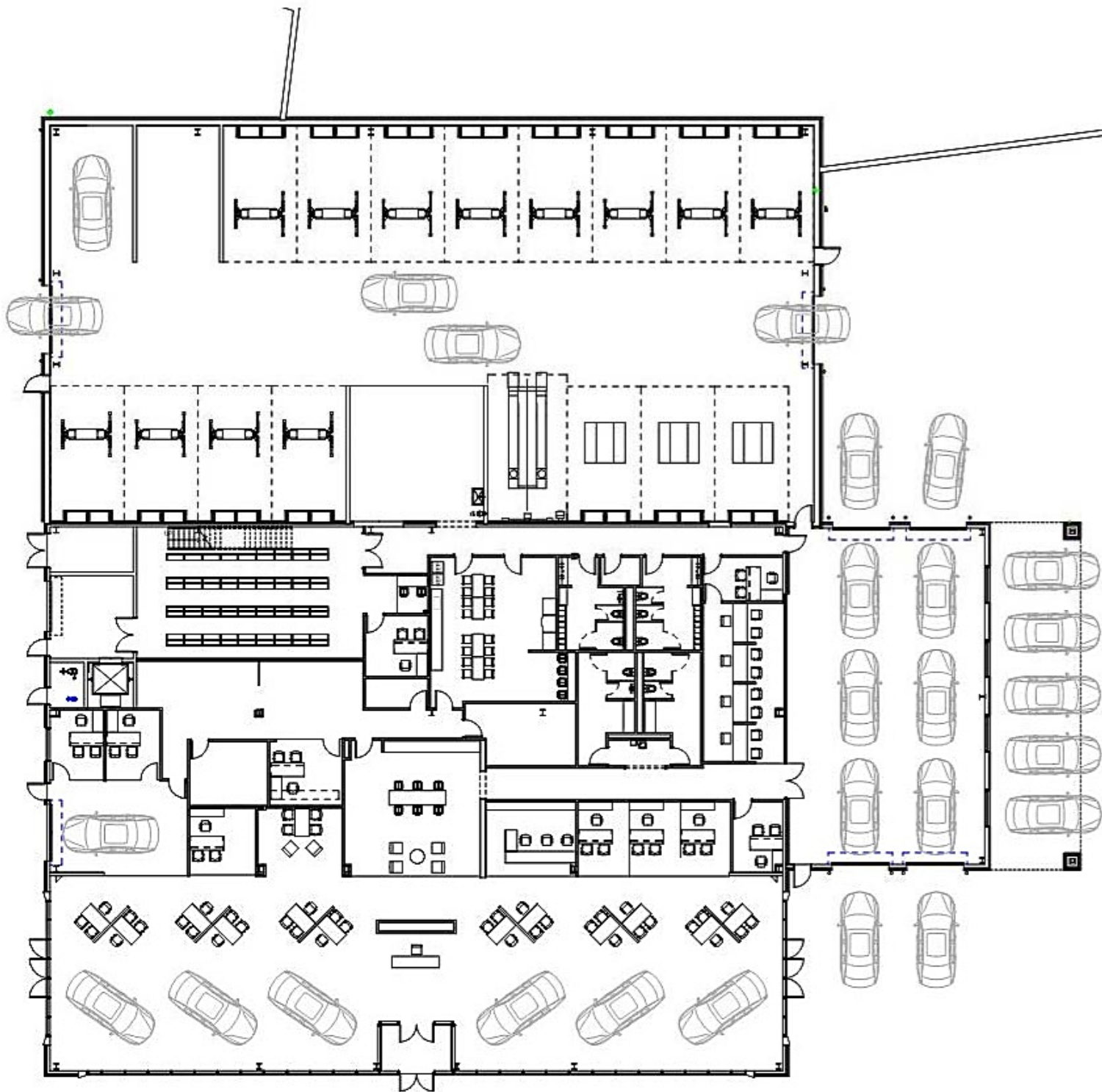


Figure 3.12 Proposed Mezzanine Floor Plan

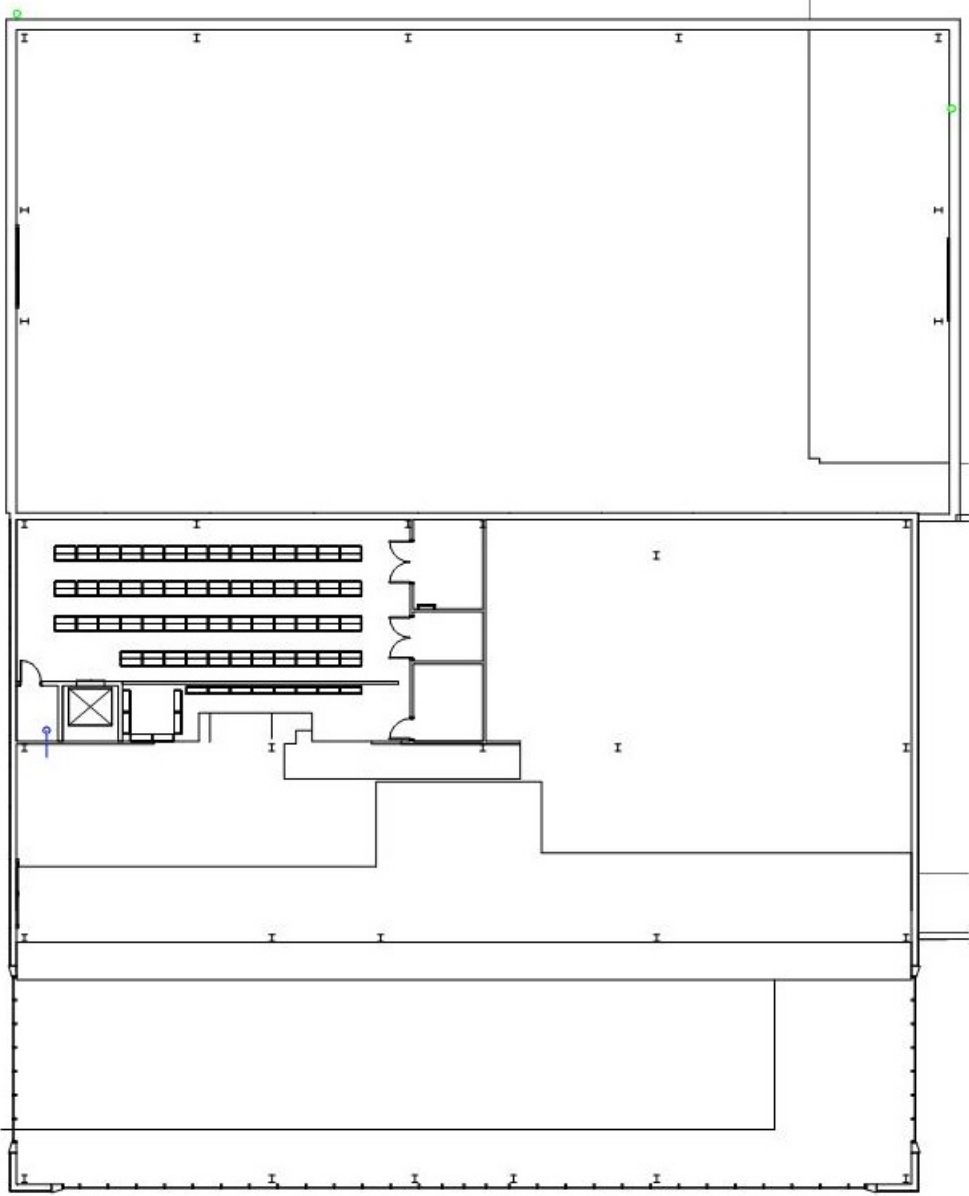


Figure 3.13 Proposed North-South Section



Figure 3.14 Proposed East-West Section

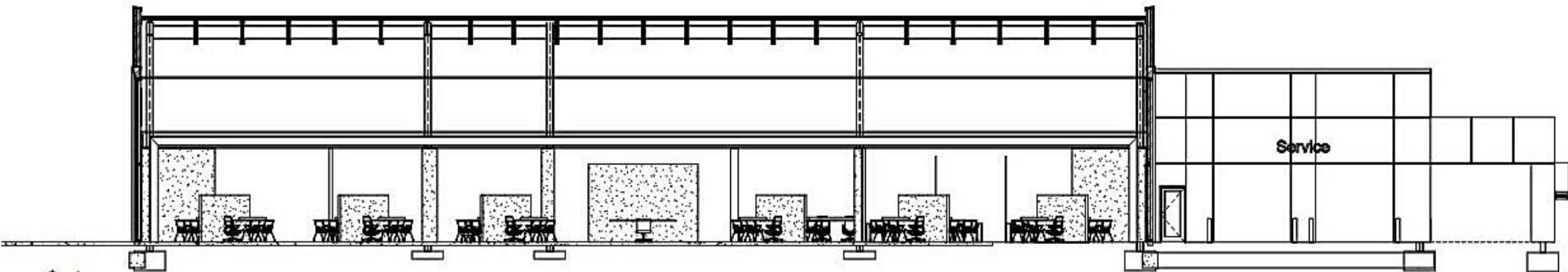


Figure 3.15 Conceptual Perspective Looking West on Soldiers Field Road



Figure 3.16 Conceptual Perspective Looking East on Soldiers Field Road



Figure 3.17 Conceptual Perspective at Charles River Looking to Soldiers Field Road



Figure 3.18 Proposed North Elevation

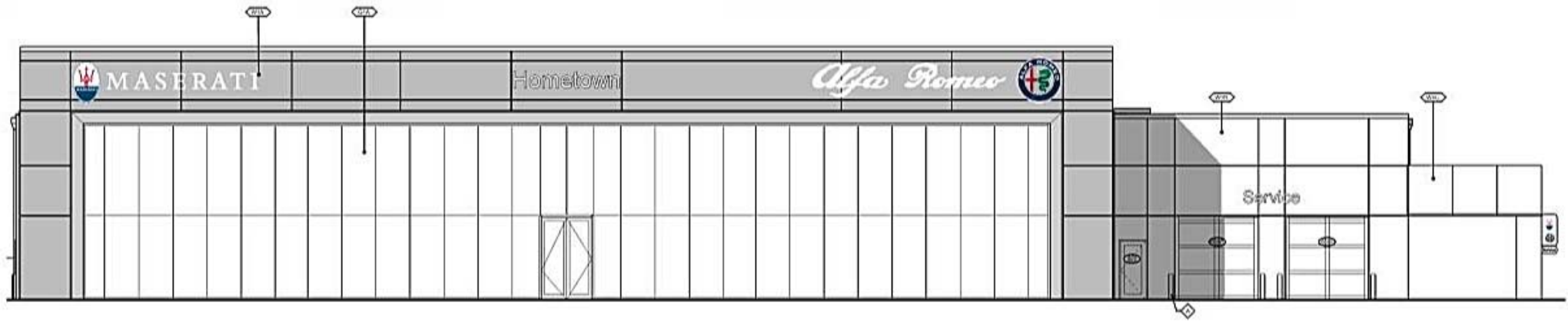


Figure 3.19 Proposed East Elevation

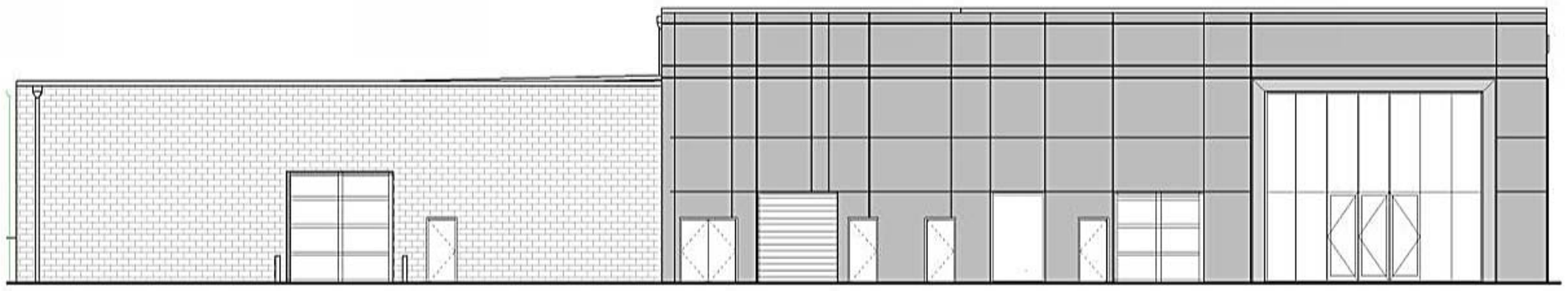


Figure 3.20 Proposed South Elevation

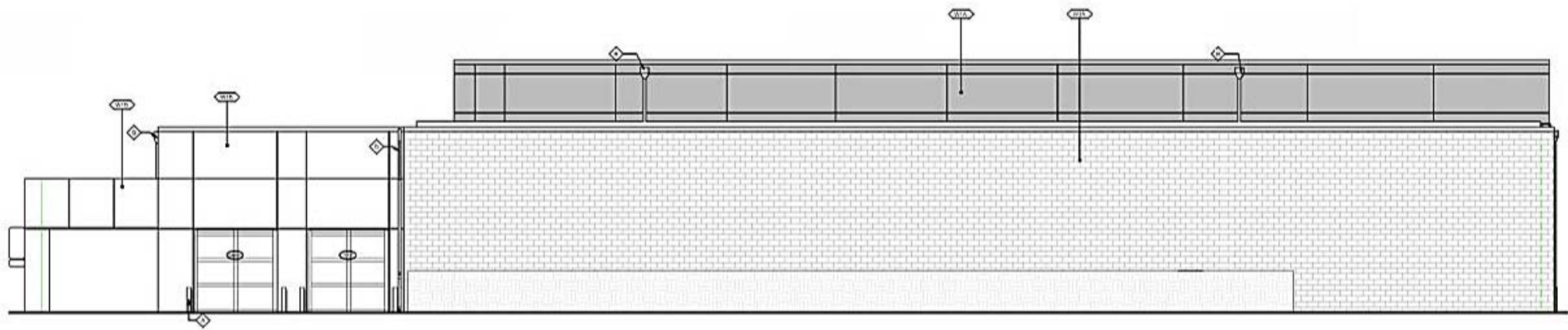
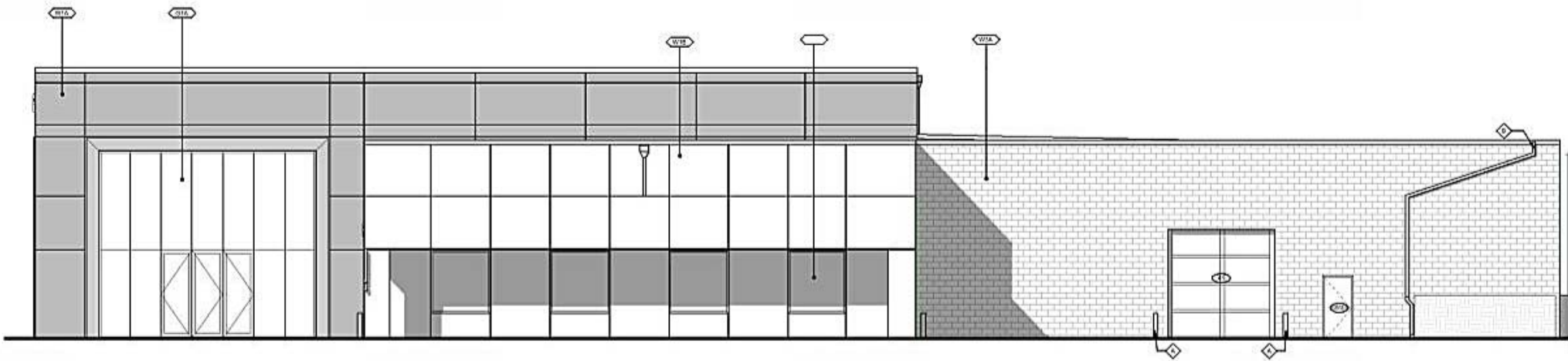


Figure 3.21 Proposed West Elevation



4.0 TRANSPORTATION, PARKING AND VEHICULAR / PEDESTRIAN ACCESS

4.1 Introduction

This section provides a summary of anticipated transportation conditions at the Project Site and a preliminary trip generation estimate to be anticipated with the Project. The proposed Project includes construction of an Alfa Romero/Maserati dealership located at 1650 Soldiers Field Road in Brighton. This site was formerly the Martignetti Liquors store parcel. The proposed Project will total 27,000 SF (7,000 SF net-new) and will be supported by 14 customer/visitor parking spaces.

Adjacent to the site, the number of curb cuts will be reduced from three to two curb cuts which will improve the pedestrian realm. Sidewalks adjacent to the site will also be rebuilt to current applicable standards. As a result, the Project will improve both vehicular and pedestrian accommodations and circulation as further detailed below.

4.2 Site Operations & Parking

The Project is located at 1650 Soldiers Field Road. Soldiers Field Road is considered a Department of Conservation and Recreation (DCR) parkway. Adjacent to the Site, Soldiers Field Road provides two lanes in each direction with a sidewalk adjacent to the Site. On the other side of Soldiers Field Road a separated multi-use pathway, known as the Dr. Paul Dudley White Bike Path, runs parallel to the roadway along the Charles River.

The Site currently has three (3) driveways on Soldiers Field Road. With the Site redevelopment, the two easternmost driveways will be consolidated resulting in a new total of two (2) driveways. The driveways will both operate with two-way traffic allowing vehicles to enter and exit the Site. The planned driveway consolidation, in addition to the planned sidewalk reconstruction adjacent to the property, will improve the pedestrian realm making it safer.

The Site will provide 100 striped surface spaces. This includes 86 spaces reserved for the dealership, two (2) accessible spaces and 12 customer spaces.

The Proponent is currently investigating opportunities to promote alternative transportation for on-site employees. These measures include providing on-site bicycle storage and lockers.

4.3 Public Transportation

The Site is within close walking distance of the Massachusetts Bay Transportation Authority's (MBTA) Route 64 bus. This route serves Oak Square and University Park or Kendall/MIT in Cambridge via North Beacon Street. The Site is also approximately 1.2 miles from Boston Landing Station on the MBTA's Framingham/Worcester Line commuter rail line connecting to South Station.

4.4 Trip Generation

Weekday and Saturday trip generation were estimated using the *Trip Generation, 9th Edition*, published by the Institute of Transportation Engineers (ITE). ITE does not provide any trip rates for a liquor store so the general retail code was used to estimate the site's former traffic.

The following Land Use Code (LUC) were used:

- LUC 841 - Automobile Sales (proposed use)
- LUC 820 – Shopping Center (previous use)

The estimated daily and peak hour trip generation for the former use and the proposed dealership are shown in **Table 4-1**. All trips were assumed to be automobile trips. No credits for employee transit, bicycle or walking commuting patterns were applied.

Table 4-1: Trip Generation Summary (Vehicles)		
Time	Vehicle Trips	
	Former Liquor Store (19,671 SF)	Proposed Dealership (27,000 SF)
Weekday Daily	840	872
Saturday Daily	982	802
AM Peak Hour		
In	12	39
Out	7	13
Total AM Trips	19	52
PM Peak Hour		
In	35	28
Out	38	42
Total PM Peak	73	70
Saturday Peak Hour		
In	49	54
Out	46	54
Total Saturday Peak	95	108

Note: Proposed dealership numbers assume a standard dealership. Due to the high-end nature of the proposed dealership, resulting trips may be less.

Using ITE rates, the site is anticipated to generate approximately 52 vehicle trips (39 entering and 13 exiting) during the morning peak hour. During the evening peak hour, the site will generate approximately 70 trips (28 entering and 42 exiting). On a Saturday, the site will generate approximately 108 vehicle trips (54 entering and 54 exiting) during the peak hour. According to the Proponent, the high-end nature of the dealership will generate less traffic compared to a standard dealership.

4.5 Deliveries

On-site vehicle deliveries (up to a WB-67 tractor trailer) will be accommodated on the property Site without impact on Soldiers Field Road. Typical deliveries will include service parts in the morning (typically 6:00 AM) and other small deliveries including mail throughout the day. Trash pick-up is anticipated to occur once or twice a week. Periodically there will be vehicle deliveries to the Site. These are estimated to be one (1) vehicle delivery each week as Alfa Romeo and Maserati vehicles generally have lower sales volumes compared to other dealerships.

4.6 Summary

The proposed development of the Alfa Romeo & Maserati dealership will reduce the number of curb cuts, will not increase traffic volumes compared to the previous use and will result in improvements to both vehicular and pedestrian accommodations.

5.0 PROJECT CERTIFICATION

This SPRA form has been circulated to the Boston Planning and Development Agency as required by Article 80E of the Boston Zoning Code.

Andrea J. Bachor
Signature of Proponent

Construction Manager
FCA Realty LLC

9/20/17
Date

Stephen V. Miller
Signature of Proponent's
Representative

Stephen V. Miller, Esq.
McDermott, Quilty & Miller, LLP

9/20/17
Date

6.0 EXHIBITS



CITY OF BOSTON

THE ENVIRONMENT DEPARTMENT

Boston City Hall, Room 709 • Boston, MA 02201 • 617/635-3850 • FAX: 617/635-3435

September 16, 2017

Dean Mello
75 Sylvan Street
Danvers MA, 01923

NOTICE OF DETERMINATION

Re: Application #18.314D2253
Review of proposed demolition of the existing single story retail building located at 1650 Soldiers Field Road, Brighton.

Dear Mr. Mello:

The Boston Landmarks Commission staff have determined that the **the existing single story retail building located at 1650 Soldiers Field Road, Brighton** is not significant under the Criteria for determining significance in Section 85-5.3 (a-e) of the Demolition Delay Ordinance (Article 85, Chapter 665 of the Acts of 1956 as amended). No further review by the Boston Landmarks Commission under Article 85 is required. If you have any questions regarding this decision, please contact me at 617-635-3850.

Please provide a copy of this determination to Inspectional Services Department when applying for a demolition permit. Thank you for your cooperation in this matter.

Sincerely,

Todd Satter
Staff Architect
Boston Landmarks Commission

cc: Commissioner of Inspectional Services
Mayor's Office of Neighborhood Services

This form must be completed and signed by the owner-of-record, their attorney and/or authorized agent. If form is not signed by property owner, please attach a signed letter of authorization designating the authorized agent.



APPEAL
under Boston Zoning Code

BOA 759639

Boston, Massachusetts September 21, 2017

To the Board of Appeal in the Inspection Services Department of the City of Boston:
the Authorized Agent for the Owner

The undersigned, being
The Owner(s) or authorized agent

of the lot at
number street ward district

1650 Soldiers Field Road 22 Allston/Brighton-CC-1
hereby appeal(s) under St. 1956, c. 665, s. 8, to the Board of Appeal in the Inspectional Services Department of the City of Boston the action taken by Inspectional Services Commissioner as outlined in the attached refusal letter.

DESCRIBE IN DETAIL THE REASON(S) FOR THIS APPEAL

This appeal seeks permission to demolish an existing one-story commercial structure on the property and replace it with a new one-story building to accommodate the Appellant's proposed automobile dealership sales and service business, including a change of legal use and occupancy and new construction of approximately 27,000 gross square feet with related site improvements, as per plans.

STATE REASONS FOR THIS PROPOSAL

Allowance of the within appeal will enable the Appellant to revitalize an under-utilized property site by removing an existing, outdated single story commercial building and replacing it with a new, appropriately-designed and modern automobile dealership sales and service building, including ample on-site parking, and related improvements in open space, landscaping, and pedestrian/vehicular access and design.

PROVIDE REASONS WHY BOARD SHOULD GRANT RELIEF

Appellant submits that the Board should grant the requested relief, as the proposed project is not detrimental to the surrounding community. Rather, the project will activate an under-utilized lot with a new commercial use in conformity with the other commercial uses on this section of Soldiers Field Road and with the applicable Community Commercial Subdistrict. The project is also consistent with the required findings for the requested relief under Article

COMMENTS 6-3 and Article 7-3 of the City of Boston Zoning Code.

For these and other reasons more precisely enumerated at the public hearing before the Board, the Appellant respectfully requests the allowance of the within appeal.

OWNER FCA Realty LLC *[Signature]*

AUTHORIZED AGENT Stephen V. Miller, Esq.

ADDRESS McDermott, Quilty & Miller LLP
28 State Street, Suite 802
Boston, Massachusetts 02109

TELEPHONE (617) 946-4600

FAX (617) 946-4624



Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh
Mayor

ZONING CODE REFUSAL

Sean Lydon
Inspector of Buildings

ANTHONY VIRGILIO
172 SALEM ST
BOSTON, MA 02113

September 15, 2017

Location: 1650 SOLDIERS FIELD RD BRIGHTON, MA 02135
Ward: 22
Zoning District: Allston/Brighton Neighborhood
Zoning Subdistrict: CC-1
Appl. # : ERT745437
Date Filed: August 21, 2017
Purpose: ERECT A NEW ONE STORY BUILDING TO INCLUDE INDOOR AND OUTDOOR SALE OF NEW AND USED MOTOR VEHICLES, AUTOMOTIVE PARTS, ACCESSORIES AND SUPPLIES (WITH OR WITHOUT INSTALLATION) ALONG WITH A FIT OUT OF THE SPACE FOR THE SAME

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Art. 29, Section 4 **	Greenbelt Protection Overlay District	GPOD APPLICABILITY
Article 51, Section 16	Use Regulations	Indoor sale of new and used motor vehicles is a conditional use
Article 51, Section 16	Use Regulations	Sales of motor vehicles parts, accessories and supplies is a conditional use
Article 51, Section 16	Use Regulations	Repair of motor vehicles is a forbidden use
Article 51, Section 16 * **	Use: Forbidden	Parking lot for vehicles awaiting sale is conditional
Article 51, Section 16 **	Use Regulations	Outdoor sale of new and used motor vehicles is a conditional use
Notes		Art.80E-Sec4 SMALL PROJECT REVIEW APPLICABILITY

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.

Marc Joseph
(617)961-3233
for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.



City of Boston
Inspectional Services
617-635-5300

Date: 9/21/2017 3:16 PM
Cashier: 144996 Batch: 39048
Office: ISD Tran #: 88

Receipt #: 01648728
Permit # BOA759639
Comments:

71043 BOA759639 \$900.00
Payment Total: \$900.00

Transaction Total: \$900.00
Check Tendered: \$900.00

Checks presented:

MODERNOTT OUILTY & MILLER LLP CITY OF BOSTON ACCOUNT 100 STATE ST., 15TH FLOOR BOSTON, MA 02109 617-462-4600		Citizens Bank 6-7017/2110	15873 9/19/2017
PAY TO THE ORDER OF	City of Boston	\$ 900.00	DOLLARS
Nine Hundred and 00/100			
City of Boston			
MEMO Zoning Code Appeal/FCA Realty--1650 Soldiers Fg			

Thank you for your payment.
Have a Nice Day!

www.cityofboston.gov/isd/