

340 WEST SECOND STREET DEVELOPMENT

*340 West Second Street
South Boston, Massachusetts*

APPLICATION FOR SMALL PROJECT REVIEW

submitted to the

Boston Redevelopment Authority



340 WEST SECOND STREET - View from West on W 2nd Street

Timothy Burke Architecture, Inc.

Shamus Holdings, LLC
1018 Beacon Street
Brookline, MA 02446

August 1, 2013

Peter Meade, Director
Boston Redevelopment Authority
Boston City Hall, 9th Floor
Boston, MA 02201

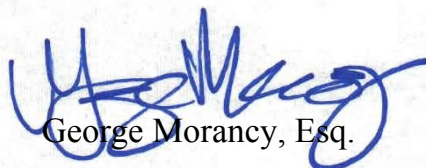
Dear Mr. Meade:

It is my pleasure to submit this application for Application for Small Project Review, pursuant to Article 80, Section 80E of the Boston Zoning Code, for the 340 West Second Street mixed-use project.

The proposed project would consist of 29 new residential units, primarily market-rate, with an affordable commitment to be determined in accordance with the Mayor's executive order on inclusionary development, and 1,000± square feet of ground-floor office or retail space.

The applicant is Shamus Holdings, LLC, Richard Glanz and Stephen Ross, principals. On behalf of the applicants and the development team, I wish to thank the BRA for its guidance and assistance in this matter. We look forward to continuing that relationship with the BRA as we move towards final approval of this project.

Very truly yours,


George Morancy, Esq.

340 WEST SECOND STREET DEVELOPMENT

South Boston, Massachusetts

APPLICATION TO THE BOSTON REDEVELOPMENT AUTHORITY Pursuant to Article 80E of the Boston Zoning Code

submitted by

SHAMUS HOLDINGS, LLC
1018 Beacon Street, Suite 400
Boston, MA 02446

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I. PROJECT SUMMARY

1. *Project Team*

Developer and Applicant:

Shamus Holdings, LLC
Richard Glanz, Manager
1018 Beacon Street, Suite 400
Brookline, MA 02446
Tel: 617-277-8450, ext.12; Fax: 617-277-7661
Email: richard.glanz@glanzproperties.com

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Adams & Morancy, P.C.
416 West Broadway
South Boston, MA 02127
Tel: 617-269-5800; Fax: 617-269-5923
Email: gmorancy@admorlaw.com

Architecture:

Timothy Burke, AIA LEED AP
Timothy Burke Architecture, Inc.
142 Berkeley Street
Boston, MA 02116
Tel: 617-266-1332
Fax: 617-266-1116
Email: tba.burke@verizon.net

Consultant:

Joseph Rull
Rull Fish Consulting
248 River Street
Norwell, MA 02061
Tel: 617-686-4034
Email: joerull76@gmail.com

Surveyor:

George Collins, P.L.S.
Boston Survey, Inc.
4 Shipway Place, #C4
Charlestown, MA 02129
Tel: 617-242-1313
Fax: 617-242-1616
gcollins@bostonsurveyinc.com

Environmental Consultant:

TBD

Geotechnical Engineer:

TBD

Construction Management:

Glanz Properties, Inc.
1018 Beacon Street, Suite 400
Brookline, MA 02446

1.2 Project Summary

The Proposed Project consists of the development of a 13,000± square-foot site, currently a vacant lot, situated at 340 West Second Street in South Boston, by construction of a new four-story building, containing 29 residential units, including affordable units as determined by the City of Boston's Inclusionary Development Policy, with 1,000 square feet of ground-floor commercial space, served by 43 accessory off-street residential parking spaces located within the building's ground-level garage, which will be accessed via a separate entrance and egress at the rear of the building.

All vehicular traffic will enter and exit the building's garage from Dresser Street (a one-way street bounding the northern portion of site), thus allowing two existing curb cuts located at the front of the property on West Second Street to be removed and replaced with curbside public parking. The proposed project would create both market-rate and affordable¹ housing units, as well as ground-level commercial/office space to enliven the streetscape, in an attractive new building sympathetic in scale to the neighborhood in general and to its West Second Street location in particular. The immediate neighborhood is a transition area between traditional residential South Boston and the predominantly commercial West First Street corridor. The proposed building has been designed to be a respectful neighbor, scaled to fit into the neighborhood, planned to minimize traffic impacts on West Second Street, and programmed to add appropriate residential and commercial uses and amenities to the St. Vincent neighborhood.

In developing the building and site plans, great care was given to respecting the as-built conditions of the neighborhood and the BRA's and community's planning goals for the area. The proposed building has been designed and scaled to compliment the surrounding neighborhood, planned to minimize traffic impacts on West Second Street, and programmed to contain functional and design features appropriate to the St. Vincent neighborhood.

1.3 Community Benefits

The Proposed Project will offer many public benefits to South Boston neighborhood and the City of Boston, including:



- *attractive new residential construction upon a currently underutilized industrial site;*
- *the creation of 29 new residential units, including a number of affordable units as to be determined in accordance with the Mayor's Executive Order on Inclusionary Development;*
- *a commitment to negotiated public improvements, including sitting areas and/or street trees and public planting areas along West Second Street to complement the new building and site and appropriately enliven the streetscape;*
- *generation of well over one hundred thousand dollars in revenue annually to the City of Boston in the form of real property tax payments;*
- *the expected creation of more than 100 construction jobs over the length of the proposed project, as well as several permanent positions which will be necessary for building management and upkeep, as well as 1,000 square feet of new commercial office space;*
- *replacement of an aesthetically unappealing vacant lot in the midst of a thriving residential neighborhood with an active and attractive residential development.*

II. DETAILED PROJECT INFORMATION

2.1 *Project Description*

The Project Site includes 13,000± square feet of land area, comprising one parcel situated at 340 West Second Street in South Boston, being City of Boston Assessor's Parcel No. 0601727000. The parcel is currently undeveloped and being used for limited daytime parking for commercial tenants of units owned by the developer in the adjacent Foundry Building.

2.2 *Project Financing and Developer Pro Forma*

Shamus Holdings, LLC, is a Massachusetts limited liability company whose members have extensive experience in the acquisition, investment, development, and management of a diverse portfolio of real estate properties in eastern Massachusetts, including Boston.

The managing members of Shamus Holdings strive to provide the very highest level of real estate development and have hands-on management that oversees all aspects of day-to-day operations throughout their portfolio of residential and commercial properties.

In recent years, the company has successfully developed and managed residential projects in the South End, Beacon Hill, Cambridge, Somerville and throughout the MetroWest region. In addition to the 340 West Second Street Project, members developed a 24-unit residential project in Natick, and similar size projects in Cambridge and on Beacon Hill.

Shamus Holdings, LLC, currently owns the land constituting this project and intends to finance the project construction and development, if approved, using a combination of 70% institutional lender financing and 30% private investor financing.

2.3 Proposed Project Program, Data and Dimensions

Lot Area: 13,000± square feet

Building Height/Stories:

- West Second Street elevation: 45', 4 floors

Number of Residential Units: 29 units

Residential Unit Mix:

Floor Level	One-Bedroom Units	Two-Bedroom Units	Total No. of Bedrooms	Total No. of Units
First				
Second	7	3	13	10
Third	7	3	13	10
Fourth	4	5	14	9
Total	18	11	40	29

5% (or 1 unit) is required to be a Group 2 accessible unit.

Commercial Space: 1,000 square feet on the ground floor

Total of Building Gross Floor Area: 33,488 square feet

Floor Area Ratio: 2.8

Parking Spaces: 43 spaces (24 provided in 12 two-vehicle hydraulic parking stackers) situated in a ground-floor garage

2.4 Urban Design Approach – Context, Massing, Material & Other Design Issues

The project site is located at 340 West Second Street within South Boston's Saint Vincent neighborhood, a residential neighborhood which on its northern periphery (which is the location of the Proposed Project) constitutes a transition zone between a long-established residential area and an also long-established commercial/industrial zone abutting the rearward orientation of the South Boston Convention Center site. At present, the project site is vacant land with a footprint of approximately 13,000± square feet.

The Proposed Project would consist of a new four-story mixed-use building containing 29 dwelling units. There will be 18 one-bedroom and 11 two-bedroom residential units located on floors two through four, with 1,000 square feet of first-floor commercial space. The parking garage, situated at grade to the rear of the first floor commercial space will provide sheltered off-street parking for 43 motor vehicles.

The massing of the building would be a combination of a brick base with a cut-stone band and a brushed aluminum cornice. The stair towers and projecting bays would be treated with a combination of aluminum panel systems and glass, with balconies having metal railing systems. The final elevation studies will be reviewed and approved by the BRA as the design process evolves. Windows will be a combination of operable and fixed sashes, with window openings reflecting both the scale and shape of the existing adjacent buildings. The proposed height is 45 feet. This height is not inconsistent with the neighborhood in general, which contains a mixture of traditional three-story building, as well as taller structures such as the nearby Foundry Building, which is approximately 64 feet tall. The Trolley House Condominium, a 24-unit 2005 rehab of a former trolley garage situated across the street at 335 West Second Street, is also four stories tall, as is the 15-unit 321 West Second Street Condominium, and the 25-unit 360 West Second Street project currently completing construction. All of these developments are similar to the Proposed Project in terms of building height, setbacks, massing, density and design.

The building's West Second Street façade would reflect a pedestrian friendly design strategy, including an inviting and attractive building entry and design elements such as street trees, non-intrusive downspot lighting on the building's exterior surfaces, and human-scale design elements.

Structural materials for the Proposed Project are planned to include a concrete foundation with a combination of steel framing members and wood frame construction being utilized throughout the building.

A significant portion of building's energy consumption would owe to cooling and lighting systems. Orientation-specific, energy efficient glazing systems, including Low-E, would be used to reduce heat gain and increase light transmission. Other energy conservation measures being evaluated include the introduction of new energy-efficient lighting, heat-recovery units and efficient mechanical systems.

The large windows would account for a maximum amount of interior daylight and would incorporate operating sashes to provide natural ventilation within all units. Passive solar gain would be achieved through these glazed areas.

The HVAC and lighting systems would be energy efficient and regulated by individual unit owners. All appliances and other electrical equipment would be "Energy Star" certified, where possible.

Water consumption would be minimized through several water conservation measures, such as water-saving plumbing fixtures throughout the building. Recycling space is planned to be programmed for the building. Bins for the various categories of recyclable materials would be

provided and collected for deposit into holding areas for pickup by recyclers. A convenient area for bicycle storage on the first floor will encourage bicycle usage by building residents.

2.5 Traffic, Parking and Access

The Proposed Project would provide 43 on-site parking spaces in a grade-level parking garage. The garage would be accessed solely via Dresser Street, with one garage entrance and one garage exit situated at the rear of the building.

Dresser Street is a one-way street with no on-street parking. Therefore, no existing public on-street parking spaces would be eliminated; rather, two to three public on-street parking spaces will be returned to the community when two existing curb cuts on West Second Street are closed.

All loading and unloading activity will be directed to the lading bay in the garage, where direct elevator access to all floors will be provided.

A key component of this development is its location to public transportation. There are several bus routes within walking distance, and the MBTA’s Broadway Red Line station is located approximately one-half mile away.

2.6 Anticipated Permits and Approvals

Agency Name	Permit or Action
Massachusetts Department of Environmental Protection, Division of Water Pollution Control	Sewer Connection Permit
Boston Redevelopment Authority	<ul style="list-style-type: none"> • Article 80 Small Project Review • Affordable Housing Agreement
Boston Water and Sewer Commission	<ul style="list-style-type: none"> • Local Sewer and Water Tie-in and Site Plan Approval
Boston Public Safety Commission, Committee on Licenses	<ul style="list-style-type: none"> • Parking Garage Related Permits
Boston Inspectional Services Department	<ul style="list-style-type: none"> • Zoning Board of Appeal Approval • Building Permits • Construction Permits • Certificate of Occupancy

III. BOSTON ZONING CODE DATA

3.1 Zoning District

340 West Second Street (the “Site”) is situated within an MFR (“Multi-family Residential/Local Service”) subdistrict of the Saint Vincent Neighborhood District, Article 57, Map 4E, of the Boston Zoning Code (the “Zoning Code”).

The applicable zoning requirements, and anticipated as-built zoning characteristics of the Proposed Project, as follows:

Dimensional Requirements of Article 57, Table C:

Minimum Lot Area (1 or 2 Units): 2,000 square feet
Lot Area for Each Additional Dwelling Units: 1,000 square feet
Total minimum lot area required for project: 26,000 square feet
Minimum Lot Width: 40 feet
Minimum Lot Frontage: 40 feet
Maximum Floor Area Ratio: 1.0
Maximum Building Height (stories): 3
Maximum Building Height (feet): 35
Usable Open Space Per Dwelling Unit: 200 square feet
Minimum Front Yard Setback: 5 feet
Minimum Side Yard Setback: 5 feet
Minimum Rear Yard Setback: 30 feet
Maximum Rear Yard Occupancy by Accessory Building: 25%

Projected As-Built Zoning Conditions:

Lot Area: 13,000± square feet
Lot Width: 130 feet
Lot Frontage: 130 feet
Floor Area Ratio: 2.8
Building Height (stories): 4
Building Height (feet): 45
Usable Open Space: 966 square feet
Minimum Front Yard Setback: 0 feet (modal)
Minimum Side Yard Setback: 0 feet
Minimum Rear Yard Setback: 0 feet
Maximum Rear Yard Occupancy by Accessory Building: N/A

Off-Street Parking Requirements of Article 57, Table E:

25 market-rate residential units @ 1.5 spaces per unit = 37.5 spaces
4 affordable residential units @ .7 spaces per unit = 2.8 spaces
1,000 square feet of commercial space @ 2 spaces per 1,000 square feet = 2 spaces

Total required off-street parking: 43 spaces
Total provided off-street parking: 43 spaces, of which 24 are accommodated in 12 hydraulic stackers.

Off-Street Loading Requirements of Article 57, Table F:

Required for 15,001 - 49,000 square feet: 1 bay

3.6 Zoning Violations / Required Relief

The permit application, ERT131446, was refused by the Building Department due to the need for zoning relief in the form of variances for the violations below.

Article 57, Section 8: Any Commercial Use Forbidden (*Note: This citation is erroneous.*)

Article 57, Section 9: Restricted Roof Structure District

Article 57, Section 9: Lot Size for Additional Dwelling Units

Article 57, Section 9: Excessive FAR

Article 57, Section 9: Height Excessive (3 Stories Maximum)

Article 57, Section 9: Height Excessive (45 Feet Maximum)

Article 57, Section 9: Usable Open Space Insufficient

Article 57, Section 9: Front Yard Insufficient

Article 57, Section 9: Side Yard Insufficient

Article 57, Section 9: Rear Yard Insufficient

Article 57, Section 26: Off Street Parking Design (Size and Access Drive/Maneuverability of the Parking Stackers)

True copies of the zoning refusal letter, dated May 7, 2013, and ZBA application, submitted May 30, 2013, are attached hereto as Exhibits 11 and 12.

Building Code Analysis

The building is a mixed use project. The residential component is Use Group R-2 and the parking is Use Group S-2. There is a First Floor accessory use of one office space, Use Group B. The building will be fully sprinkled in conformance with NFPA 13.

As defined by Table 508.4, the fire separation requirement is as follows:

R-2 to M require 1 hour separation

M to S-2 require 1 hour separation

IV. URBAN DESIGN SUBMISSION : PHOTOGRAPHS AND PLANS

Site photos, design drawings, and renderings depicting the Proposed Project are provided as follows:

- Exhibit 1: Assessing Map
- Exhibit 2: Site Plan
- Exhibit 3: Aerial View of Locus
- Exhibit 4: Street View of Locus
- Exhibit 5: Locus View Along West Second Street
- Exhibit 6: View of Trolley House Building Across West Second Street
- Exhibit 7: View Along West Second Street Towards E Street
- Exhibit 8: View Along West Second Street Towards F Street
- Exhibit 9: View of Site From Rear (West First Street)
- Exhibit 10: View Along West Second Street Towards F Street with E Street and Foundry Building in Foreground
- Exhibit 11: Zoning Code Refusal Letter
- Exhibit 12: ZBA Application

Exhibits 11-16: Floor Plans, Elevations and Renderings

- Exhibit 13: First Floor Plan
- Exhibit 14: Second Floor Plan
- Exhibit 15: Third Floor Plan
- Exhibit 16: Fourth Floor Plan
- Exhibit 17: Roof Plan
- Exhibit 18: Elevations

340 West Second Street, South Boston



Property Information

Parcel ID	0601727000
Owner	DY HOLDINGS LLC
Address	340 W SECOND ST
Property Type	0337
Building Value	\$0.00
Land Value	\$261,600.00
Total Value	\$261,600.00
Lot Size	13000 sq ft
Land Use	Commercial Land



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

The City of Boston makes no claims, no representations, and no warranties, expressed or implied, concerning the validity (expressed or implied), the reliability, or the accuracy of the GIS data and GIS data products furnished by the City, including the implied validity of any uses of such data. The use of this data, in any such manner, shall not supercede any federal, state or local laws or regulations.



EXHIBIT "2"

REGISTER OF DEEDS USE ONLY

CERTIFICATION:

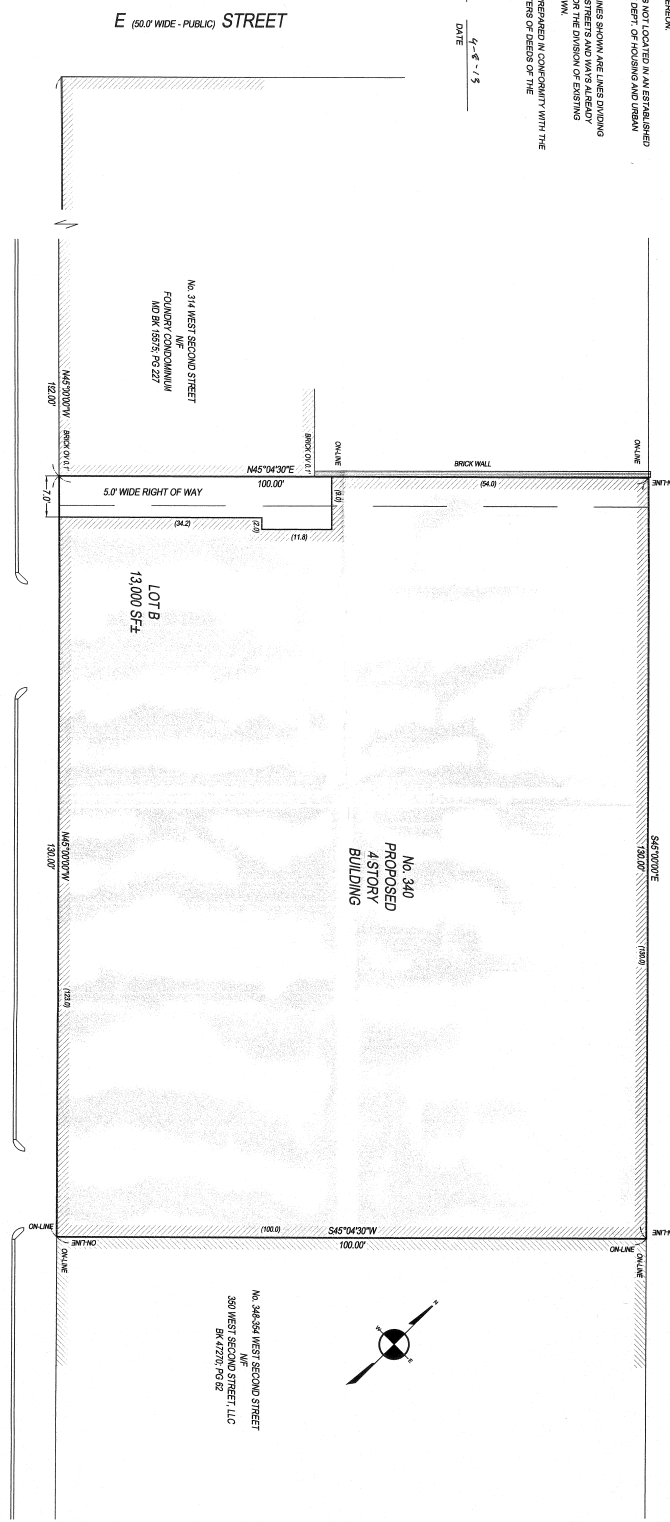
I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE RECORD IN THE REGISTER OF DEEDS FOR MAP NO. 26, 2012 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY IS NOT LOCATED IN A REDEVELOPED AREA AS SHOWN BY THE MAPS OF THE REGISTER OF DEEDS AND DEVELOPMENT.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES DURING EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

GEORGE C. COLLIER, P.L.S. DATE 4-8-13



DRAWN BY:	RAP	CHECKED BY:	GCC
PREPARED:	05/18/06		
PROPOSED BUILDING	05/24/06		
PROPOSED BUILDING #2	04/05/13		

REFERENCES:
 DEED: BOOK 4741, PAGE 88
 PLAN: PLAN IN BOOK 2067, PAGE 235
 L.C.C. 859-B
 L.C.C. 4449-B

SITE PLAN OF LAND SHOWING PROPOSED CONDITIONS AT 340 WEST SECOND STREET SOUTH BOSTON, MA

PREPARED FOR:
 D.V. HOLDINGS LLC
 376 BOYLSTON STREET, SUITE 6
 BOSTON, MA 02116

BOSTON SURVEY, INC.
 UNIT C-4 SHIRMAN'S PLACE
 CHARLESTON, MA 02729
 (877) 262-1519

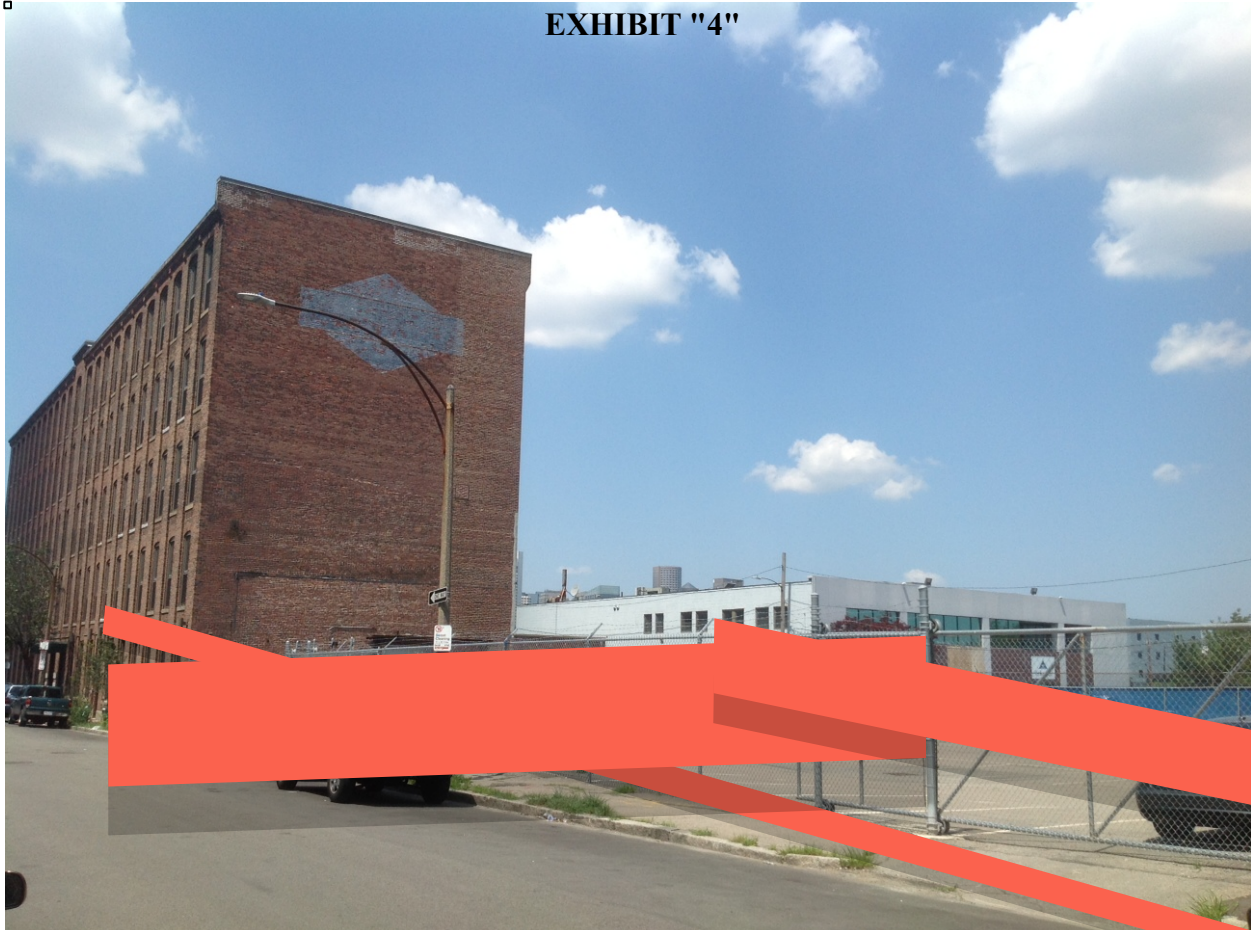
FILE #06-00298 - 05/18/06

EXHIBIT "3"



AERIAL VIEW OF LOCUS

EXHIBIT "4"



STREET VIEW OF LOCUS

EXHIBIT "5"



VIEW OF LOCUS ALONG WEST SECOND STREET, FOUNDRY BUILDING IN BACKGROUND

EXHIBIT "6"



VIEW OF TROLLEY HOUSE BUILDING ACROSS WEST SECOND STREET

EXHIBIT "7"



VIEW DOWN WEST SECOND STREET TOWARDS "E" STREET

EXHIBIT "8"



VIEW UP WEST SECOND STREET TOWARDS "F" STREET

EXHIBIT "9"



VIEW OF REAR OF SITE FROM WEST FIRST STREET

EXHIBIT "10"





Thomas M. Menino
Mayor

**Boston Inspectional Services Department
Planning and Zoning Division**

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

ZONING CODE REFUSAL

Gary P. Moccia
Inspector of Buildings

TIMOTHY BURKE
142 BERKELEY STREET
BOSTON, MA 02116

May 07, 2013

Location: 340 W SECOND ST SOUTH BOSTON / SOUTH BOSTON, MA 02127
Ward: 06
Zoning District: St Vincent, ND
Zoning Subdistrict: Art.57; Rest Parking Dist.
Appl. # : ERT236651
Date Filed: April 18, 2013
Purpose: Construct a new four story building with 29 residential units on the upper three floors to include two private roof decks and one ground floor commercial space. The building will have ground floor parking for 43 cars.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Art. 57 Sec. 22	Roof Structure Restrictions	Roof structures restricted district
Art. 57 Sec. 09	Dimensional Regulations	Lot size for the additional dwelling units is insufficient
Art. 57 Sec. 09	Dimensional Regulations	Floor area ratio excessive
Art. 57 Sec. 09	Dimensional Regulations	Height excessive (3 stories max.)
Art. 57 Sec. 09	Dimensional Regulations	Height excessive (45 ft high max.)
Art. 57 Sec. 09	Dimensional Regulations	Usable open space insufficient
Art. 57 Sec. 09	Dimensional Regulations	Front yard insufficient
Art. 57 Sec. 09	Dimensional Regulations	Side yard insufficient
Art. 57 Sec. 09	Dimensional Regulations	Rear yard insufficient
Art. 57 Sec. 26	Off-St.Park'g Req'mnts	Off street parking design requirements (size and access drive/maneuverability of the parking stakers)
Art. 80 Sec. 80E-2	Small Proj. Review	Small Project Review Applicability
Article 57, Section 8 * * *	Use: Forbidden	Commercial space for any types of use is forbidden
Notes		PIC approval is required due to the protrusion of the windows' structure onto the public way, before a building permit can be issued

TIMOTHY BURKE
142 BERKELEY STREET
BOSTON, MA 02116

May 07, 2013

Location: 340 W SECOND ST SOUTH BOSTON / SOUTH BOSTON, MA 02127
Ward: 06
Zoning District: St Vincent, ND
Zoning Subdistrict: Art.57; Rest Parking Dist.
Appl. # : **ERT236651**
Date Filed: April 18, 2013
Purpose: Construct a new four story building with 29 residential units on the upper three floors to include two private roof decks and one ground floor commercial space. The building will have ground floor parking for 43 cars.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.



Marc Joseph
(617)961-3233
for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.

This form must be completed and signed by the owner-of-record, their attorney and/or authorized agent. If form is not signed by property owner, please attach a signed letter of authorization designating the authorized agent.

Z736

1,450 sq ft

3

EXHIBIT "12"

(3)



APPEAL
under Boston Zoning Code

Boston, Massachusetts May 30 20 13

To the Board of Appeal in the Inspection Services Department of the City of Boston:

The undersigned, being George Morancy, the attorney and authorized agent of the owner
The Owner(s) or authorized agent

of the lot at 340 West Second Street, Ward 6, South Boston
number street ward district

hereby appeal(s) under St. 1956, c. 665, s. 8, to the Board of Appeal in the Inspectional Services Department of the City of Boston the action taken by Inspectional Services Commissioner as outlined in the attached refusal letter.

DESCRIBE IN DETAIL THE REASON(S) FOR THIS APPEAL

This appeal seek relief from the provisions of Article 57, Sections 8, 9, 22 and 26, as more particularly detailed on the attached zoning refusal letter.

STATE REASONS FOR THIS PROPOSAL

To allow for the petitioner's application to construct a new four-story building with 29 residential units on the upper three floors, to include two private roof decks, and one ground-floor commercial space, with ground-floor garage parking for 43 vehicles.

PROVIDE REASONS WHY BOARD SHOULD GRANT RELIEF

The Board should grant the requested relief because it is reasonable for the site, because there will be no adverse impacts upon the surrounding neighborhood if the requested relief were be granted, because allowance of the appeal will allow for the creation of much-needed new housing appropriate in design and scale to the surrounding neighborhood, and for other reasons to be presented at the hearing.

COMMENTS

Please note that this appeal is subject to Article 80 Small Project Review by the Boston Redevelopment Authority and therefore should not be scheduled to be heard by the ZBA until the conclusion of the BRA's Article 80 review process.

OWNER Shamus Holdings, LLC
AUTHORIZED AGENT George Morancy, Esq.
Adams & Morancy, P.C.
ADDRESS 416 West Broadway, Ste. 3A
South Boston, MA 02127
TELEPHONE 617-269-5800
FAX 617-269-5923
Email: gmorancy@admorlaw.com

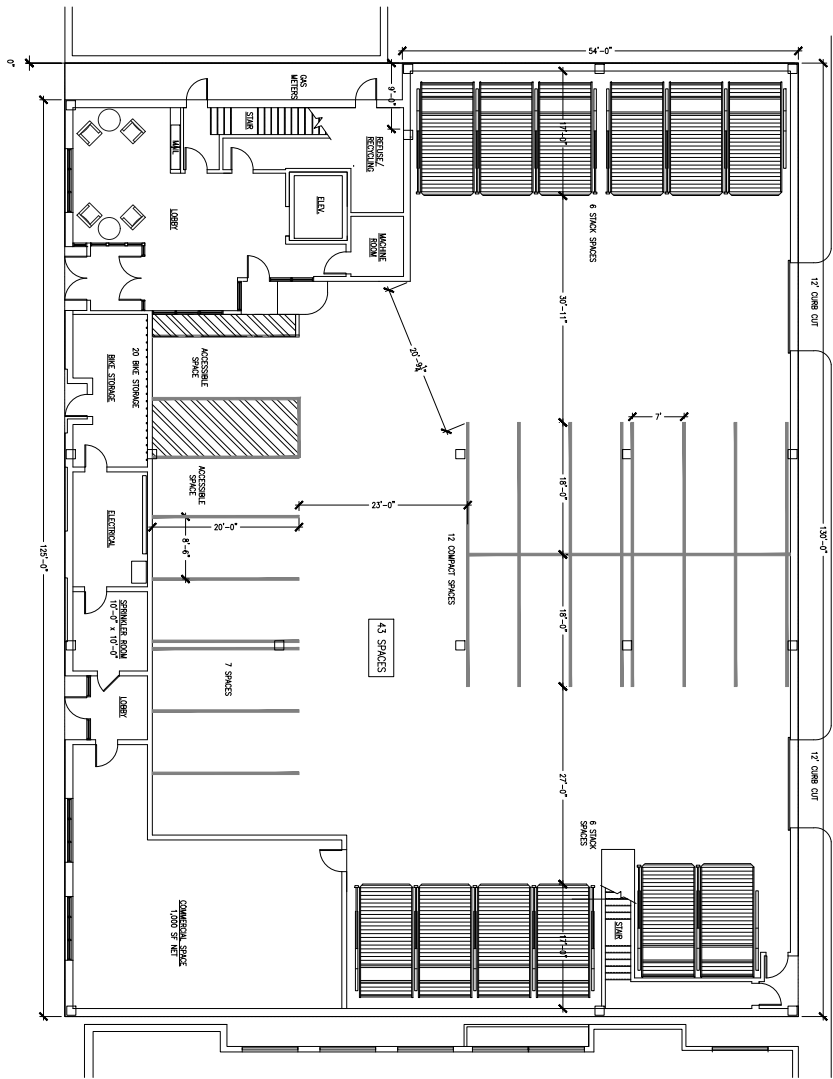


FLOOR LEVEL	AREA	LESS DEDUCT PER ARTICLE 24B	PROJECT GROSS SQUARE FOOTAGE
FIRST	12,702	9,410	3,292
SECOND	11,361	296	11,065
THIRD	11,206	296	10,910
FOURTH	11,206	266	10,940
ROOF	281		281
TOTAL			36,488
F.A.R.			2.8

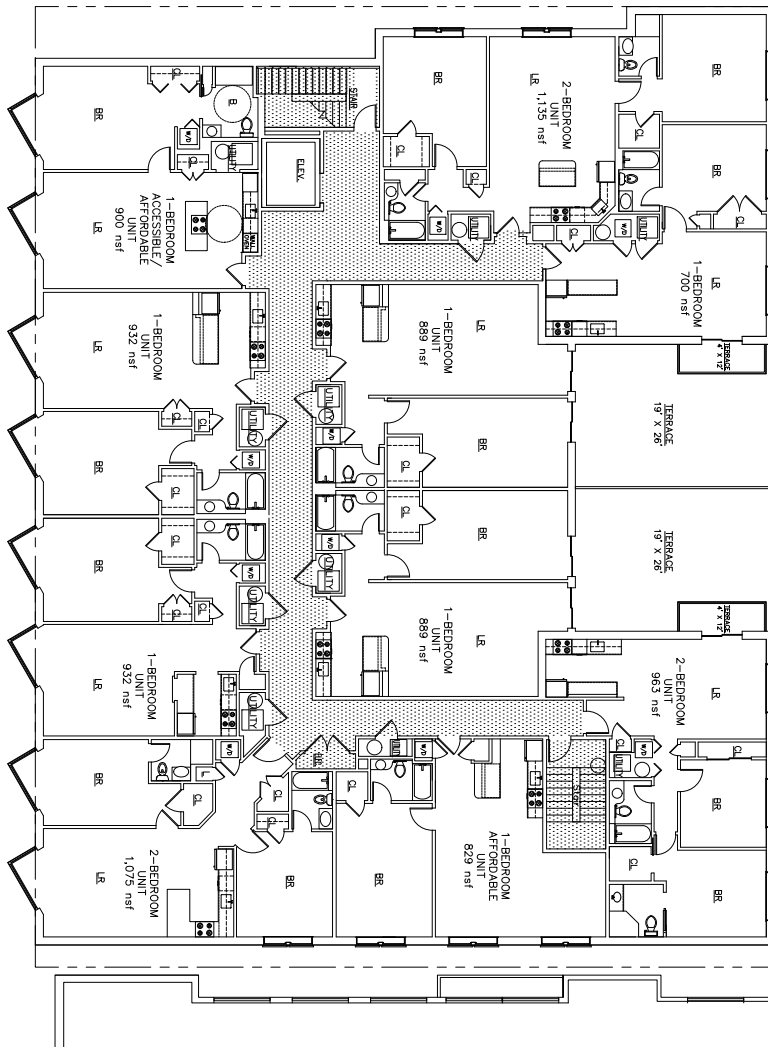
* PARKING, MECHANICAL AND LAUNDRY SPACE DEDUCTION

ZONING REQUIREMENTS - MFR/1S		
EXISTING	REQUIRED	PROPOSED
13,000	2,000 FOR FIRST TWO 2,000 FOR FIRST TWO AND 1,000 FOR EACH AND 333 FOR EACH ADDITIONAL UNIT	13,000
130	40	130
	40	130
	4.0	2.8
	3 STORIES/35'	4 STORIES/45'
	300	300
	5	0
	0	0
	30'	0

- Building Notes:
1. Use Group R-2 with S-2 parking and B accessory commercial space.
 2. Construction Type SB with First Floor Type 2B non-combustible construction.
 3. Building is fully sprinklered.
 4. Unit Mix:
18 One Bedroom units and 11 Two Bedroom Units, total of 29 residential units plus one commercial space.
 5. 5% or One unit is Group 2A accessible per 521 CMR.
 6. Three affordable units are provided.
 7. 43 Parking spaces are provided with 12 of the spaces to be mechanically stocked.



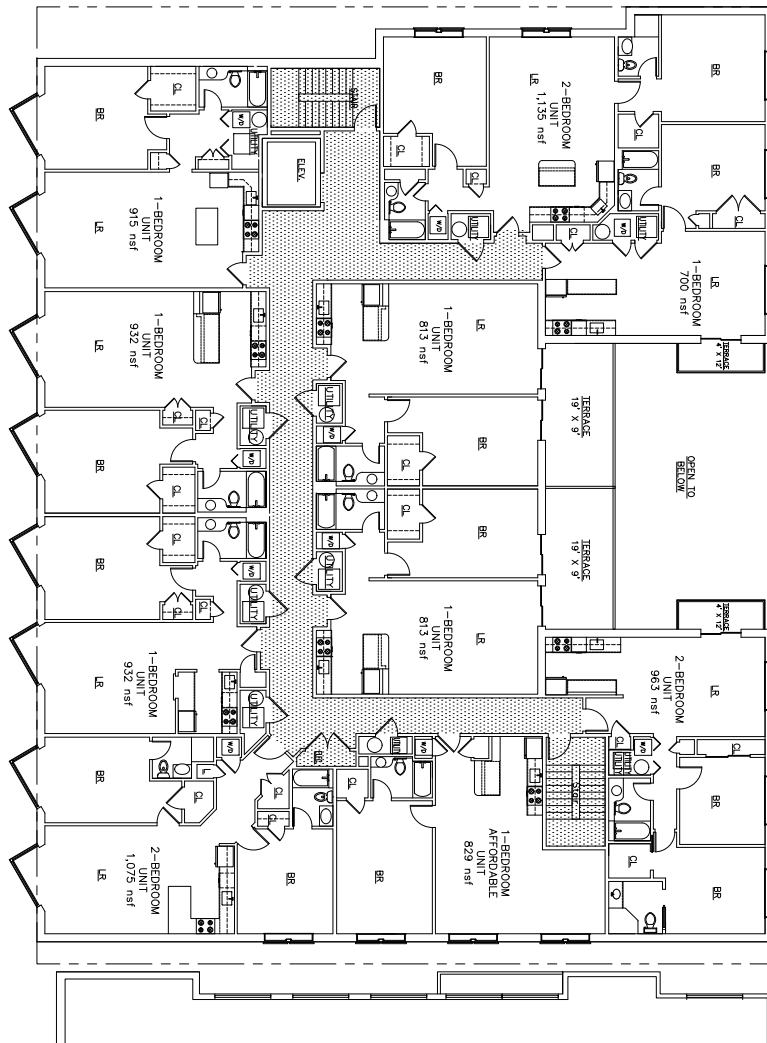
1.0 First Floor Plan
SCALE: 1/8"=1'-0"



1.6 Proposed Second Floor Plan
SCALE: 1/8"=1'-0"

DATE	REV.	BY	CHK.	DATE	REV.	BY	CHK.
3/21/13							

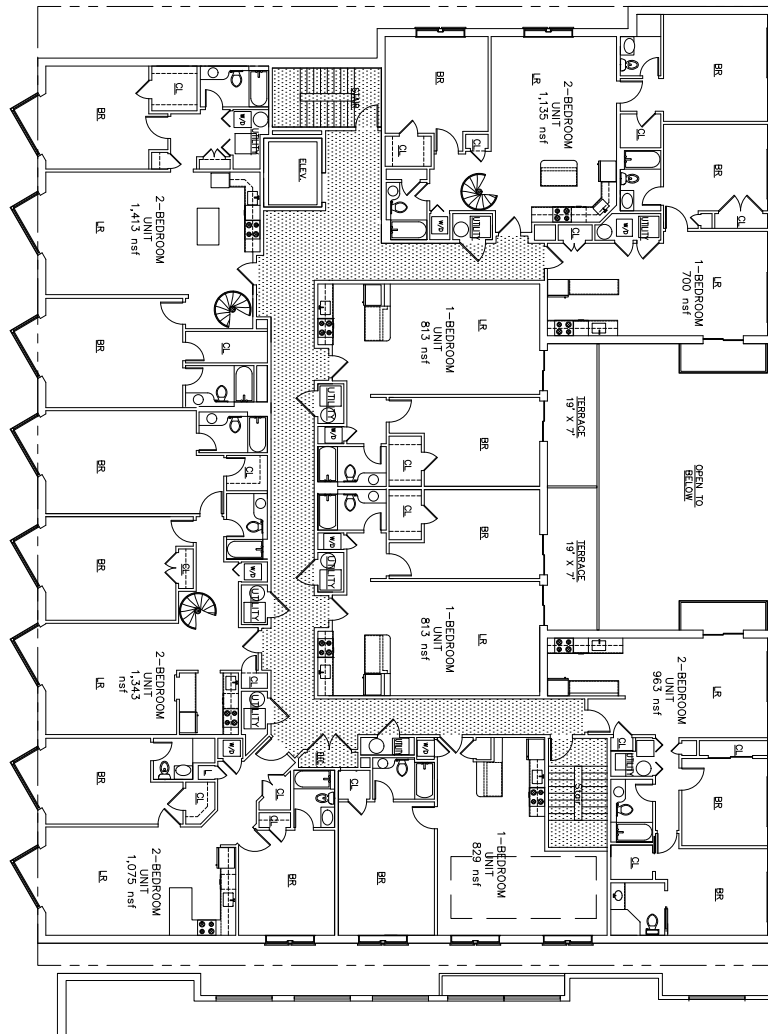




1.6 Proposed Third Floor Plan
SCALE: 1/8"=1'-0"

DATE: 4/12/13	DRG BY: MV
Rev: _____	Date: _____
Rev: _____	Date: _____
Rev: _____	Date: _____
Rev: _____	Date: _____

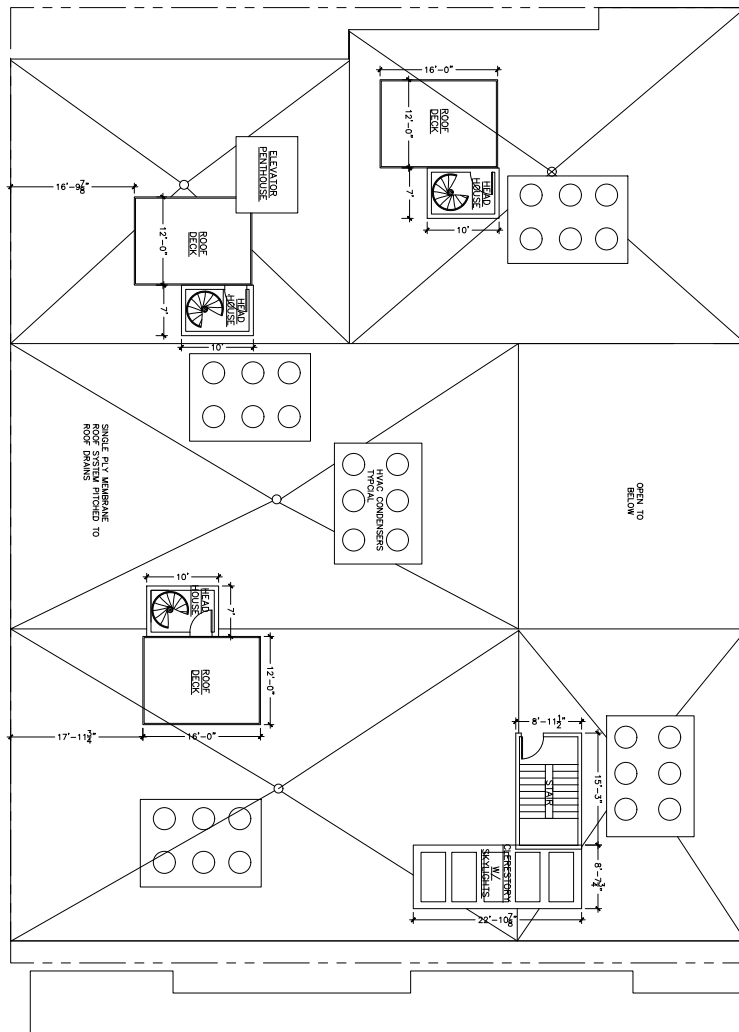




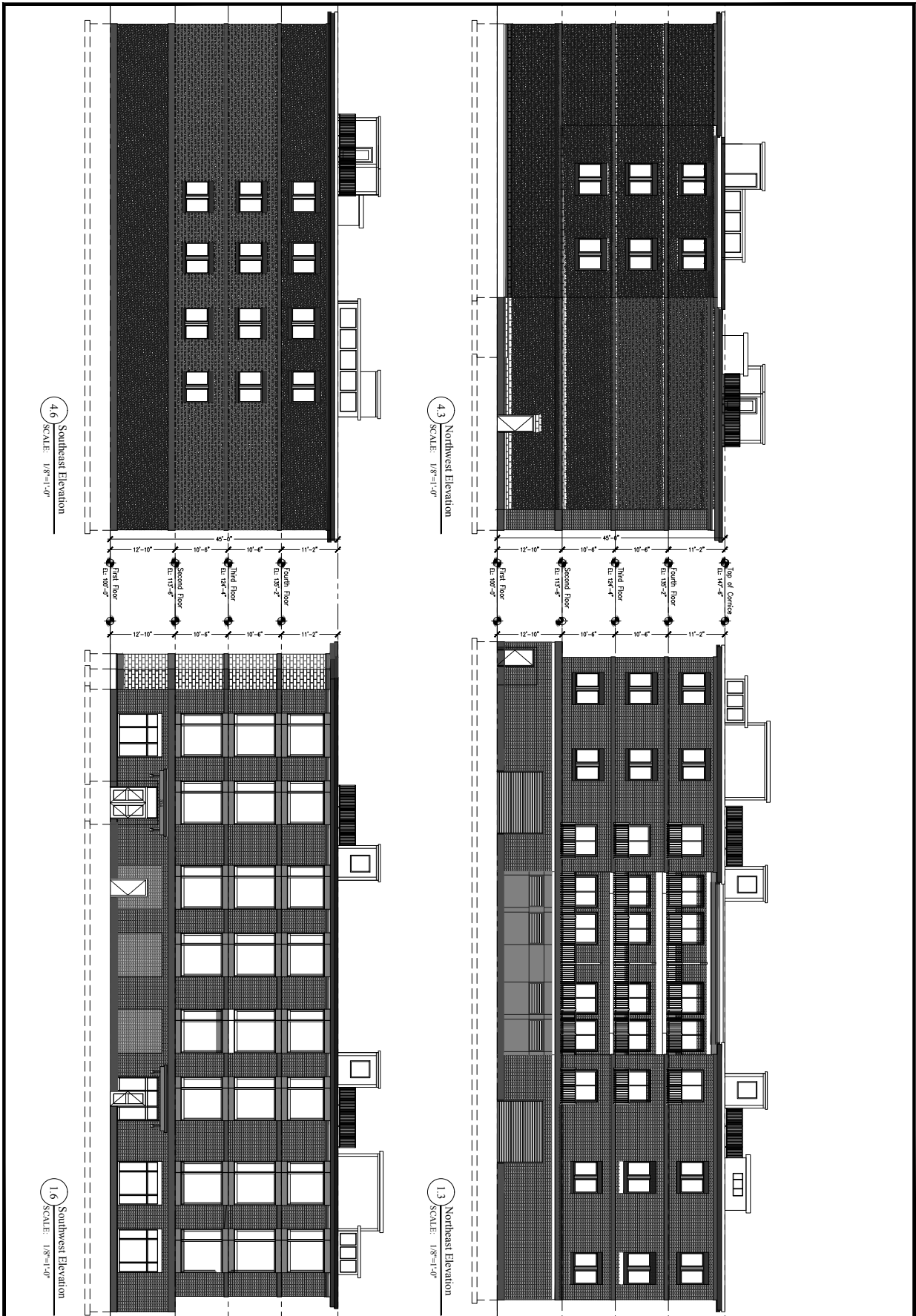
1.6 Proposed Fourth Floor Plan
SCALE: 1/8"=1'-0"

DATE	REV.	BY
4/12/13		mv
Rev. Date	Rev.	Date





1.6 Proposed Roof Plan
SCALE: 1/8"=1'-0"



4.6 Southeast Elevation
SCALE: 1/8"=1'-0"

4.3 Northwest Elevation
SCALE: 1/8"=1'-0"

1.6 Southwest Elevation
SCALE: 1/8"=1'-0"

1.3 Northeast Elevation
SCALE: 1/8"=1'-0"

A-6	340 West Second Street Boston, Massachusetts 02127	Proposed Elevations	DATE: 4/12/13	DRAWN BY: M.C.G.	Timothy Burke ARCHITECTURE, INC. 142 Berkeley Street Boston MA 02116 ph [617] 266 1332 fax [617] 266 1116
			Rev: Date:	Rev: Date:	