



# 40 FISHER AVENUE

Boston (Mission Hill), Massachusetts

## Small Project Review Application

*Submitted Pursuant to Article 80 of the Boston Zoning Code*

*Submitted to:*

Boston Redevelopment Authority  
One City Hall Square  
Boston, Massachusetts 02201

*Prepared by:*

Hresko Associates Inc.  
110 Broad Street  
Boston, Massachusetts 02110

*Submitted by:*

*Proponent:*

36-40 Fisher Avenue LLC

*Developer:*

Savage Properties  
1607 Tremont Street, Suite 1,  
Boston, MA 02120



21 April, 2015

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April 21, 2015

Hon. Brian P. Golden, Executive Director  
Boston Redevelopment Authority  
Boston City Hall, 9<sup>th</sup> Floor Boston, MA 02201  
Attn: Raul Duverge, Project Manager

Re: 40 Fisher Avenue, Mission Hill  
Small Project Review Application

Dear Mr. Golden:

Savage Properties, LLC (Developer) is pleased on behalf of 36-40 Fisher Avenue, LLC (Proponent) to submit the Small Project Review Application (SPRA), in accordance with Article 80C of the Boston Zoning Code, for a proposed residential project at 40 Fisher Avenue, Mission Hill, having street frontage, with at 28' topographical difference, on both Fisher Avenue and Wensley Street, located between the intersections of Parker and Bucknam Streets in the Mission Hill neighborhood of Boston (the "Project Site"). The SPRA is necessitated because more than fourteen (14) residential units are being proposed.

The residential proposal is for fifteen (15) new residential units for rent, with a unit mix of two (2) one-bedroom units, six (6) two-bedroom units, and seven (7) three-bedroom units, ten (10) garage parking spaces, at the rear of the building, parking accommodations for eighteen (18) bikes and with a total floor area of approximately 22,039 +/- gross square feet in a six-story, wood framed building ("Proposed Project").

The Project Site incorporates multiple abutting parcels for a total lot size of 8,273 SF of vacant land. The Proposed Project will introduce a street wall along Fisher Avenue and Wensley Street to enliven both streets. The new residences will provide for much needed housing in Mission Hill. The Site is convenient to the Roxbury Crossing and Jackson Square Orange Line and Heath Street Green Line MBTA stations and nearby bus services.

Over the past year, The Proponent has initiated outreach to City agencies including the Boston Redevelopment Authority, the Mayor's Office of Neighborhood Services, Back of the Hill CDC, Mission Hill Neighborhood Housing Services ("MHNHS"), Community Alliance of Mission Hill ("CAMH"), Mission Hill Main Streets ("MHMS"), Tobin Community Center, as well as to neighborhood representatives, abutters, and other interested parties. The Proponent and its representatives presented preliminary design sketches for the Proposed Project at regularly scheduled monthly board meetings of the Back of the Hill CDC on November 4, 2014, and December 2, 2014, regularly scheduled board meeting of MHNHS on January 5, 2015 and March 2, 2015 as well as at the CAMPH on January 21, 2015.

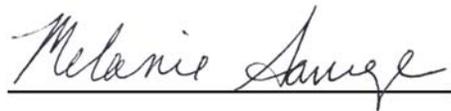
The Proposed project will be seeking zoning relief from the Board of Appeals. After initial review of the project, Inspectional Services Department has issued a letter stating the following violations: floor area ratio (Article 59, Section 8), front and rear yard insufficient (Article 59, Section 8), application of Dim's Regulation (Article 59-38.1 Conformity with Existing Building Alignment), off street parking insufficient (Article 59, Section 37), use – multifamily dwelling forbidden (Article 59, Section 7), use regulations – accessory parking forbidden (Article 59, Section 7), building height excessive (Article 59, Section 8), usable open space insufficient (Article 59, Section 8). An application to the Board of Appeals will be filed concurrently.

On behalf of the entire project team, we look forward to working with you and your staff on this Project, which will be a significant addition to Mission Hill, the Back of the Hill neighborhood corridor, and the City of Boston.

Sincerely,

Savage Properties, LLC

36-40 Fisher Avenue, LLC



Melanie Savage, Manager

Jason Savage, Manager

Enclosure: 40 Fisher Avenue, Mission Hill, Small Project Review Application

cc: Heather Campisano, BRA  
Philip Hresko, Hresko & Associates  
Bud Shadrawy, Shadrawy & Rabinovitz Attorneys at Law

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### 1.0 EXECUTIVE SUMMARY

#### 1.1 Introduction

This Small Project Review Application (“SPRA”) is being submitted to the Boston Redevelopment Authority in accordance with Article 80 of the Boston Zoning Code (“the Code”) by 36-40 Fisher Avenue, LLC (the “Proponent”) for a proposed residential project at 40 Fisher Avenue that has frontage on both Fisher Avenue and Wensley Street in the Mission Hill neighborhood of Boston (the “Project Site”). The Project Site incorporates multiple abutting parcels for a total lot size of 8,273 SF, consisting of a fenced in, vacant land lot.

The proposed multi-family project consists of fifteen (15) new residential units of approximately 22,039 gross square feet of total floor area, (including residential/stairs/circulation/fitness room), proposed in a six level, steel and wood-framed podium building. The units consist of two (2) One-Bedroom, six (6) Two-Bedroom & seven (7) Three-Bedroom units. There will be ten (10) covered garage parking spaces, and a Fitness Room for the use of the tenants. Two (2) of fifteen (15) residential units will be affordable units of housing at 70% AML, (a One-Bedroom and a Three-Bedroom unit).

The Proposed Project will infill a vacant site with direct frontage on Fisher Avenue and Wensley Street. The new residences will provide for much needed housing in Mission Hill. The site is convenient to bus services and to both the Orange Line (Roxbury Crossing and Jackson Square) and Green Line (Heath Street) MBTA stations.

The Proponent has commenced the SPRA under Article 80 of the Code, necessitated because more than fourteen (14) multi-family residential units are being proposed and the project is less than 50,000 gross square feet in size within a Boston neighborhood. The Proponent has also initiated outreach to City agencies including the Boston Redevelopment Authority, and the Mayor’s Office of Neighborhood Services, as well as to abutters, neighborhood representatives, including the Back of the Hill Community CDC, Mission Hill Neighborhood Housing Services (“MHNHS”), Community Alliance of Mission Hill (“CAMH”), and Mission Hill Main Streets (“MHMS”), Elected Officials, including Boston City Councilor - Josh Zakim of District 8, and State Representative - Jeffrey Sanchez, as well as other interested parties with respect to the Project. The Proponent and its representatives presented preliminary design sketches for the proposed project at a regularly scheduled board meeting of MHNHS on January 5, 2015, March 2 2015, as well as CAMH on January 21, 2015, and BOTHCDC on November 4 2014, and on December 2 2014.

This SPRA presents details about the Proposed Project, and provides an analysis of transportation, environmental protection, infrastructure, and other components of the Project in order to inform City agencies and neighborhood residents of the Project’s potential impacts as well as mitigation measures to address impacts. Construction is expected to commence in the third quarter of 2015.

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### 1.2 Proposed Project

#### 1.2.1 Project Site and Context

The Proposed Project consists of three (3) abutting and vacant parcels that will be consolidated to one parcel with a total size of 8,273+/- square feet, with frontage on both Fisher Avenue and Wensley Street. The site is fully fenced-in, and there is a 28'+/- grade difference on the site from Fisher Avenue, down to Wensley Street. The Proponent recently built a three level foundation on the Project Site, from Wensley Street up to Fisher Avenue, that was intended and permitted to support two (2) multi-family buildings. This Proposed Project intends to use this existing foundation for one apartment building with an elevator that will have improved tenant accessibility and also street alignment and massing on both Fisher Avenue and Wensley Street. The site is located in a Three Family Residential Subdistrict ("3F 2000") of the Mission Hill Neighborhood District, as per Boston Zoning Code Article 59, Mission Hill, Table E. See **Figure 1.2-1** for project locus, **Figure 1.2-2** for project aerial, **Figure 1.2-3** for Assessor's Map, **Figure 1.2-4** for Existing Condition Plan, and **Figure 1.2-5**, for picture of Existing Foundation.

The site is conveniently located close to the MBTA Green ILine Heath Street Station and the MBTA Orange Line Roxbury Crossing and Jackson Square Stations, which provides for easy access to downtown Boston.

Please see neighborhood photographs showing the context for the proposed project (**Figures 2.1 through 3.3**)

#### 1.2.2 Project History

- Historically there were three (3) lots, Lot 26, Lot 27 and Lot 28, (a.k.a. 36, 38 & 40 Fisher Avenue), as shown on C-1.0 Record Condition Plan of Land. Nothing was ever built on this virgin land.
- In 2009 the 3 Lots were consolidate in to two Lots in order to get two (2) Building Permits one for #36 and one for #40 Fisher Avenue.
- Building permits for two (2) three-family buildings were issued on July 24, 2009.
- Construction started on, date: Spring 2012
- The retaining wall collapsed, date: Summer 2012
- PIC approval Soil Nails for retaining earth along Fisher Avenue, (see Temporary Earth Support System Plans), date: October 23, 2012
- New foundation and retaining wall completed, date: Fall 2014
- Floor and steel framing installed for the Lower Garden and Garden Level.
- Utilities tied on Wensley Street as per approved plan by BWSC, (see Site Plan#08-244).

See Figure 1.2-6 Building Permit for #36, Figure 1.2-7 Building Permit for #40.

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Figure 1.2-1 Project Locus (USGS Topographic Map) - 40 Fisher Avenue



Figure 1.2-2 Project Aerial - 40 Fisher Avenue, Boston, MA



Three (3) parcels to be combined into one parcel, 40 Fisher Avenue, Mission Hill.

**Figure 1.2-3 Assessor's Map**

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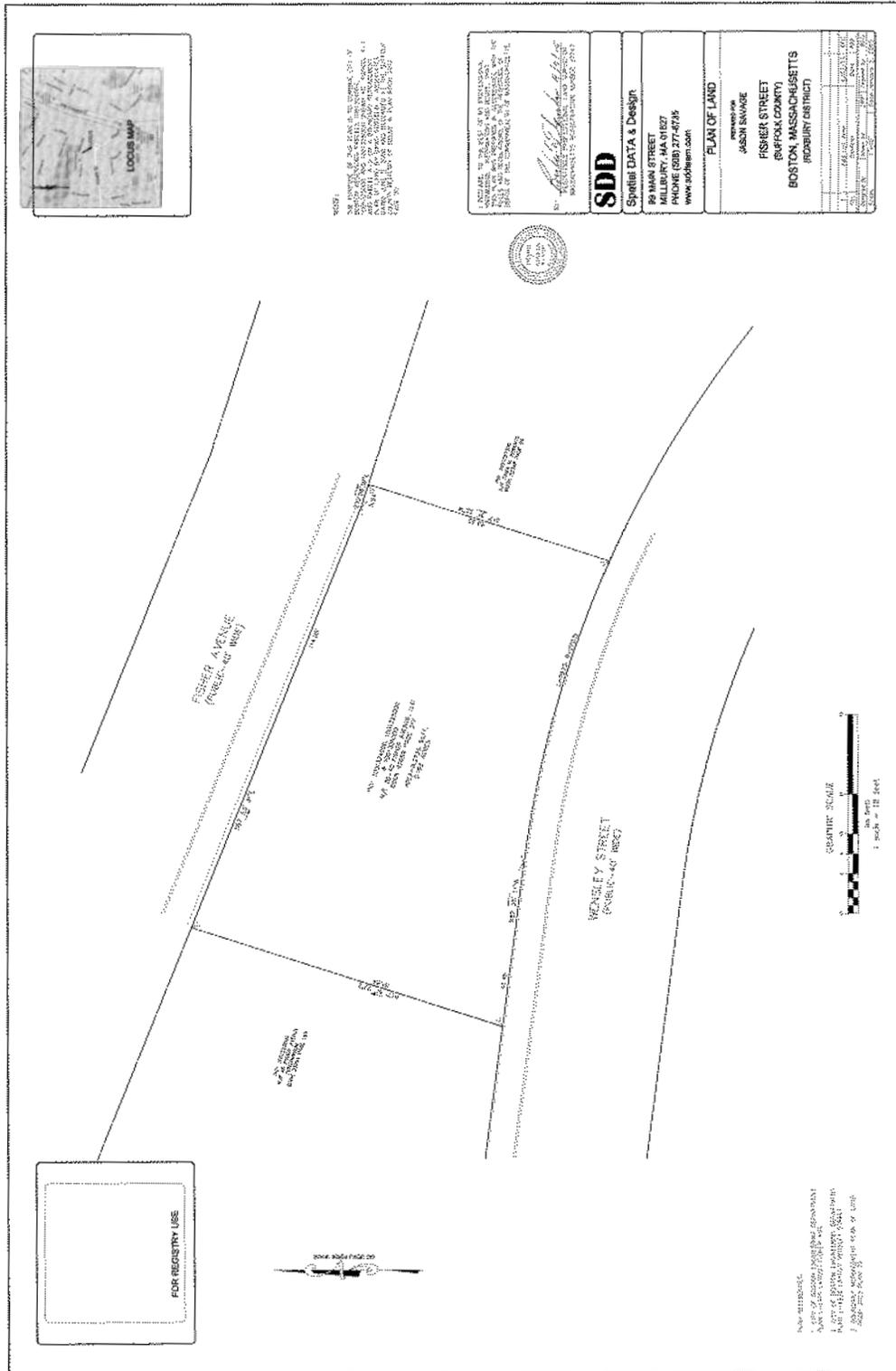


Figure 1.2-4 Existing Conditions Plan - Plan of Land



Figure 1.2-5 Existing Foundation, Recently Built

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CITY OF BOSTON Fee \$ 3400 -

INSPECTORIAL SERVICES DEPARTMENT

BUILDING and STRUCTURES DIVISION



No. 2017 July 29 2009 19

the Commission

Regulation of Construction Hours Section 354c. No erection, demolition, alteration, or repair of any building and excavation in regard thereto, except between the hours of seven a.m. and six p.m., on weekdays or except in the interest of public safety or welfare, upon the issuance of and pursuant to a permit from the building commissioner, which permit may be renewed for one or more periods of not exceeding one week each. CITY ORD. 1984

THIS CERTIFIES THAT

to erect, enlarge, alter, substantiall

LLC has permission of building or structure located at

36 Fisher Avenue

Ward 10

All work under this permit shall, in every respect, conform to the terms of the applicable provisions of the State Building Code, Boston Zoning Code, other Statute, Ordinance, Bylaw or Regulation in the City of Boston. This permit shall expire six (6) months after issuance.

conform to the terms of the applicable provisions of the State Building Code, Boston Zoning Code, other Statute, Ordinance, Bylaw or Regulation in the City of Boston. This permit shall expire six (6) months after issuance.

Any person who shall violate any of the provisions of the State Building Code shall be liable for each violation. Every day during which any work which would require the issuance of any Statute, Ordinance, Bylaw or Regulation.

Any person who shall violate any of the provisions of the State Building Code shall be liable for each violation. Every day during which any work which would require the issuance of any Statute, Ordinance, Bylaw or Regulation.

The granting of this permit does not constitute a separate offense.

The granting of this permit does not constitute a separate offense.

WORK DESCRIPTION

Erect Three Family Garage Under

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES

Figure 1.2-6 Building Permit #36 Fisher Avenue

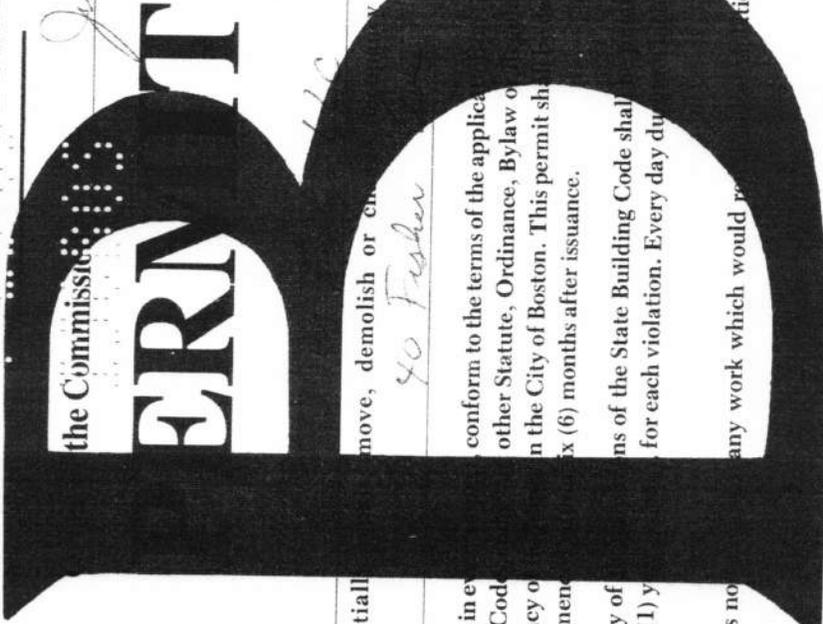


**CITY OF BOSTON**  
INSPECTORAL SERVICES DEPARTMENT  
**BUILDING and STRUCTURES DIVISION**

Fee \$ 3400

No. 2018

July 24 2009 19



the Commission

Regulation of Construction Hours  
Section 354c. No erection, demolition, alteration, or repair of any building and excavation in regard thereto, except between the hours of seven a.m. and six p.m., on weekdays or except in the interest of public safety or welfare, upon the issuance of and pursuant to a permit from the building commissioner, which permit may be renewed for one or more periods of not exceeding one week each.  
CITY ORD. 1984

**THIS CERTIFIES THAT**

to erect, enlarge, alter, substantiall

move, demolish or change the use of building or structure located at

40 Fisher

Ward 10

All work under this permit shall, in every respect, conform to the terms of the applicable State Building Code, Boston Zoning Code, Ordinance, Bylaw or other Statute, Ordinance, Bylaw or Regulation in the City of Boston. This permit shall expire six (6) months after issuance.

this office and to the provisions of the Statute, Ordinance, Bylaw or Regulation relating to the Construction, Alteration, Demolition, or Repair of Buildings, abandoned and invalid unless work

Any person who shall violate any of the provisions of this permit shall be liable to imprisonment for not more than one (1) year or constitute a separate offense.

by a fine not exceeding \$1,000 or by imprisonment for not more than one (1) month or a portion of a violation continues shall

The granting of this permit does not constitute an approval of any Statute, Ordinance, Bylaw or Regulation.

of any Statute, Ordinance, Bylaw or Regulation.

**WORK DESCRIPTION**

Grand Three Family w/ Garage Under

**THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES**

21

Figure 1.2-7 Building Permit #40 Fisher Avenue

**Figures 2.1 Neighborhood Context Photographs**



1. View of site from Fisher Avenue looking east.



2. View of site from Fisher Avenue looking west.

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**Figures 2.2 Neighborhood Context Photographs**



3. View of site from Wensley Street looking east.



3. View of site from Wensley Street looking west.

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**Figures 3.1 Existing Neighborhood Buildings**



1, 2 View of existing buildings on Wensley Street.

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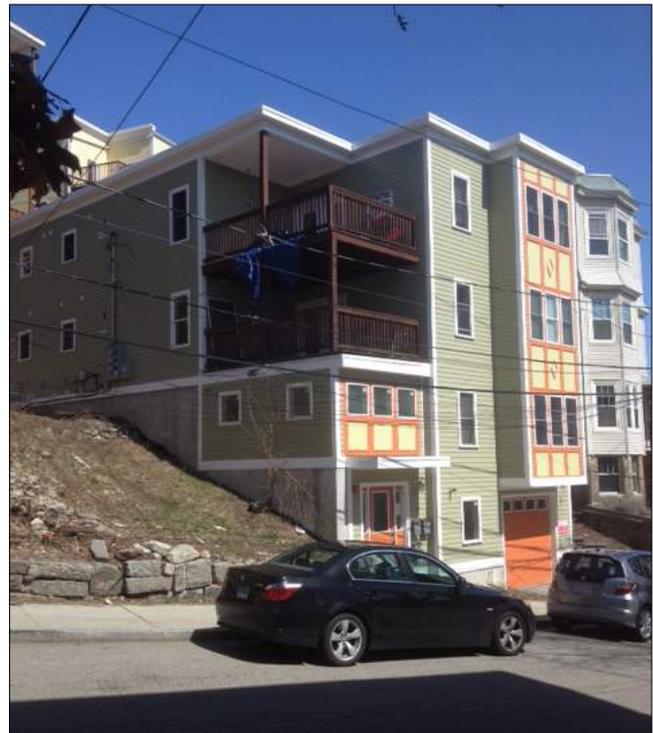
**Figures 3.2 Existing Neighborhood Buildings**



1. Existing Building - 55 Wensley Street.



2. Existing Building - 15 Wensley Street.



3. Existing Building - 17 Wensley Street.

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**Figures 3.3 Existing Neighborhood Buildings**



1, 2 View of existing buildings on Fisher Avenue.

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### **1.2.3 Project Description**

The Proposed Project will have the appearance of a three story residential project on Fisher Avenue (six levels from Wensley Street). The breakdown of space includes approximately 21,134 +/-GSF of residential space, (including stairs/circulation), for fifteen (15) residential units, a Fitness Room of 905+/-GSF and a Storage space of 575+/-GSF. The preliminary breakdown is two (2) one-bedroom units, six (6) two-bedroom units, and seven (7) three-bedroom units. Of the fifteen (15) residential units, there will be two (2) affordable units, a one-bedroom unit and a three-bedroom unit, both at 70% AMI. The lower level garage, accessed from Wensley Street, will have Ten (10) covered parking spaces, representing a ratio of 0.7 spaces per unit, which is within Boston Transportation Department guidelines of 0.5 spaces per unit for a residential location convenient to public transportation.

### **1.2.4 Project Data / Approximate Dimensions**

**Table 1-1, Table 1-2, Table 1-3**

**1.2.4 Project Data / Approximate Dimensions**

Based on the current schematic documents, we anticipate the following program:

<b>Table 1-1: Approximate Dimensions</b>	
Lot Area (square feet)	8,273 SF
Total Gross Floor Area/ Residential & Stairs/Circulation: Fitness Room:	21,284 +/- GSF 755 +/- GSF
Total:	22,039 +/- GSF
Building Height on Fisher Avenue Building Height on Wensley Street	31 +/- ft. 52' +/- ft.*
Floor Area Ratio (FAR)	2.6
Parking Spaces	10 covered (regular and tandem as per plans)

\* Wensley Street Height Calculation: a. 52' +/- ft. from elevation, (LG Level), 90'-4" to 140' ft. (3rd Floor).  
b. 60' +/- ft. from elevation 79'-5" ,(Lobby entrance) , to 140' ft. (3rd Floor).

<b>Table 1-2: Approximate Square Footage by Floor</b>		
<b>Floor</b>	<b>Use</b>	<b>Gross Square Feet / Units</b>
Garage Level	Garage / Trash-Recycling / Bike Storage / Mechanical/ Private Storage Units/ Lower Lobby (Wensley St.)	Total 3,633 +/- SF  261 +/- SF
Lower Garden Level	Residential / Storage / Fitness Room/Unit Storage Area	2 Units / 2,841 +/- SF Fitness Room / +/- 755 SF Unit Storage Area/ +/-575 SF
Garden Level	Residential/Stairs/ Circulation	4 - Units / +/- 4,880 SF
First Floor	Residential/Stairs/ Circulation	4 - Units / +/- 5,144 SF
Second Floor	Residential/Stairs/ Circulation	3 - Units / +/- 4,478SF
Third Floor	Residential/Stairs/ Circulation/Headhouse	2 - Units / +/- 3,680 SF
<b>Approximate Total 15 Units (includes 2 Affordable Units at 70% AMI) Gross Square Footage (Residential/Stairs/Circulation &amp; Fitness Room): 22,039 +/- GSF</b>		

<b>Table 1-3: Residential Units Summary</b>							
<b>Unit/ Floor</b>	<b>Apartment Approximate SF</b>	<b>1 Br</b>	<b>2 Br</b>	<b>3 Br</b>	<b>Total Units</b>	<b>Affordable Units at 70% AMI</b>	<b>Market Units</b>
Lower Garden Level					2		1
LG03	1290			3Br		1	
LG04	730	1Br					
Garden Level					4		3
G01	1110		2Br				
G02	1180		2Br				
G03	1250			3Br			
G04	780	1Br				1	
First Floor					4		4
101	1220		2Br				
102	1115		2Br				
103	960		2Br				
104	1035		2Br				
Second Floor					3		3
201	1350			3Br			
202	1385			3Br			
203	1200			3Br			
Third Floor					2		2
301	1584			3Br			
302	1644			3Br			
<b>Total</b>	<b>17833</b>	<b>2</b>	<b>6</b>	<b>7</b>	<b>15</b>	<b>2</b>	<b>13</b>

### 1.3 Summary of Project Impacts and Proposed Mitigation

#### 1.3.1 Design Component

**Section 3.0** of this SPRA presents the proposed urban design drawings and the major elements of the Project design.

#### 1.3.2 Historic Resources

The Project Site is located on both Fisher Avenue and Wensley Streets, where many of the wood-frame triple decker style buildings were built 1895 and 1910 and 1985- to-date. The Project Site is located across from McLaughlin Park. It is not expected that there will be any potential impacts to these locations due to the project's small scale.

#### 1.3.3 Wind Impacts

The proposed project building height will be within alignment of the abutted buildings on Fisher Avenue. Due to the presence of similar height buildings adjacent on both sides, it is not expected that pedestrian level winds will be impacted by the Proposed Project.

#### 1.3.4 Shadow Impacts

Because the Project Site was a vacant lot there will be new shadows but due to the proposed building's similar height to surrounding buildings, no significant impact is expected, (see figures 3.11 Shadow Study).

#### 1.3.5 Air Quality Impacts

As additional automobile trips from the fifteen (15) residential units are not expected to lead to a diminution of level of service at nearby intersections, and because the garage will not require ventilation, no air quality analyses were performed.

#### 1.3.6 Noise Impacts

The Proposed Project is not expected to create a noise nuisance condition.

#### 1.3.7 Flood Hazard Zone/Wetlands

There is no portion of the Project Site within the 100-year flood elevation as neither indicated on the Flood Insurance Rate Map, nor is there wetland resource areas regulated by the Massachusetts Wetlands Protection Act on or within 100 feet of the Project Site.

#### 1.3.8 Stormwater Management and Water Quality

The Proposed Project is not expected to affect the water quality of nearby water bodies. The Project Site has already addressed Stormwater Management, with site work done as per stamped plans approved by Boston Water and Sewer Commission ("BWSC").

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### **1.3.9 Groundwater and Geotechnical Impacts**

Substantial Geotechnical investigations were conducted and approved by The City of Boston Public Improvement Commission (PIC), when constructing the recently built foundation at the Project Site that will be used for the Proposed Project.

### **1.3.10 Solid and Hazardous Waste Materials**

The Project Site has never been built on. There are no solid and hazardous waste materials to be removed from the Project Site, and the foundation for the Project has been built.

### **1.3.11 Construction Impacts Analysis**

Construction methodologies that ensure public safety on the Project Site will be employed. Construction management and scheduling will aim to minimize impacts on the surrounding environment. This will include plans for construction workers commuting and parking, routing plans for trucking and deliveries, and control of dust generation, which will be minimal for most of the site work has been completed.

The number of workers required for construction of the Project will vary during the construction period. It is anticipated that all construction workers will arrive and depart prior to peak traffic periods.

Erosion and sediment control measures had been implemented during the construction of the existing foundation at the site for the Proposed Project. Drain systems approved by BWSC have already been installed at the Project Site.

### **1.3.12 Transportation, Parking, and Vehicular/Pedestrian Access**

Due to the Project's development program and close proximity to transit service (e.g., MBTA Green Line and Orange Line, as well as bus service), the Proposed Project is not expected to generate a large number of daily or peak hour vehicular trips. Intersection operations will not worsen compared to No-Build Conditions, indicating that the Proposed Project will not impact existing traffic operations.

The Project Site will also improve the pedestrian environment on both Fisher Avenue and Wensley Street with attractive landscaping and exterior lighting within the Project Site.

### **1.3.13 Infrastructure**

The Project Site already has water and sewer connection to the sewer line on Wensley Street, that have the capacity for the project, as per approved plans by BWSC, (please see Site Plan #08-244). The civil engineer of the Project has confirmed there is enough capacity for the other utilities to service the building, including electric, gas, phone and cable, which will be connected on Wensley Street.

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**2.0 GENERAL INFORMATION**

**2.1 Proponent Information**

***2.1.1 Project Proponent***

The Proponent, 36-40 Fisher Avenue, LLC, is focused on creating exceptionally designed residential-use places through the preservation and reuse of historic properties or through the construction of new context sensitive buildings. Jason Savage, owner of Savage Properties and manager of 36-40 Fisher Avenue, LLC has been a resident, business owner , and real estate developer of the Mission Hill neighborhood for fifteen (15) years. In 2013, Mr. Savage was half principal of a project BRA approved project located at 1480-1486 Tremont Street that is currently under construction, which includes the development of a 66 residential units with approximately 6,200 +/- square feet of ground floor commercial storefront space, and 60 enclosed parking garage spaces. Mr. Savage has restored a number of the neighborhood's historic structures, and has constructed several new infill projects, as well. In June 2014, Jason and Melanie Savage of Savage Properties were awarded the Mission Hill Main Streets Historical Preservation Award. Mr. Savage is committed to implementing the principle of New Urbanism, which promotes the creation of walkable, human scaled places that enhance local economies, improve public health, and build stronger communities. The Proponent holds title to the project and will be the entity that enters into the Article 80 agreements with the BRA.

***2.1.2 Development Team***

***Table 2-1***

## 40 FISHER AVENUE MISSION HILL SPRA

<b>Table 2-1 Project and Team Information</b>	
<b>Project Location</b>	<b>40 Fisher Avenue, Mission Hill (Boston), MA</b>
Project Proponent / Owner	36-40 Fisher Avenue, LLC 1607 Tremont Street #1 Boston, MA 02120 Phone: (617) 697-8998 Contact: Jason Savage
Development Company & Management	Savage Properties, LLC 1607 Tremont Street, #1 Boston, MA 02120 (617) 713-4444 Contact: Melanie Savage
Architect	Hresko Associates, Inc. 110 Broad Street Boston, MA 02110 (617) 350-7667 Contact: Philip Hresko
Legal	Shadrawy & Rabinovitz Attorneys at Law 31 State Street Suite 5 Boston, MA 02109 Phone: (617) 523-3333 Contact: Bud Shadrawy
Civil Engineer:	Civil Engineering Consultants 8 Oak Street Peabody, MA 02196 Phone: (978) 979-5190 Contact: Ken Bouffard
Structural Engineer	Roome & Guarracino, LLC 48 Grove Street Somerville, MA 02144 Phone: (617) 628-1700 Contact: Carmine Guarracino
Geotechnical Engineer	Geotechnical Consultants, Inc. 201 Boston Post Road West Marlborough, MA 01752 Phone: (508) 229-0900 Contact: Dick Pizzi

<b>Table 2-1 Project and Team Information</b>	
Mechanical Engineer	Panitsas Engineering Associates, Inc. Boston, MA Phone: (617)-501-8336 Contact: John Panitsas
Fire Protection/Sprinklers	Covenant Fire Protection, Inc. 155-M New Boston Street Suite 131 Woburn, MA 01801 Phone: (855) 517-7621 Contact: Jason Kahan
Estimated Construction Commencement:	Third Quarter 2015
Estimated Construction Completion:	Second Quarter 2016
Approximate Construction Cost	\$ 3.5 Million
Status of Project Design	Schematic

## 2.2 Public Benefits

The Proposed Project will result in a number public benefits for the Mission Hill Community, as well as for the City of Boston. These benefits include:

- ◆ Creating much-needed residential rental housing;
  - ◆ Providing two (2) affordable units (at 70% AMI), (a one-bedroom unit & a three-bedroom unit)
  - ◆ Improving the existing streetscape by infilling a vacant site on two (2) city streets;
  - ◆ Developing a project that is consistent with Mission Hill’s Community planning and zoning objectives;
  - ◆ Providing additional property tax revenue to the city;
  - ◆ Creating construction-related employment opportunities. An estimated number of about sixty (60) construction jobs would be created over the duration of the project;
  - ◆ Addressing/understanding community concerns about occupancy impact concerns through written/enforced commitments with the Mission Hill Community.
-

### 2.3 Regulatory Controls and Permits

#### 2.3.1 Zoning District

The Proposed Project at 40 Fisher Avenue is located within the Three Family Residential Tremont Street Subdistrict (“3F 2000”) of the Mission Hill Neighborhood District, Article 59 of the Boston Zoning Code as outlined on Zoning District Map 6D “Mission Hill Neighborhood District”, effective March 15, 2006. Multi-family residential use is an allowed use in the 3F 2000 Subdistrict. Accessory parking is an allowed use in an open lot or garage structure at the basement and first story levels in the 3F 2000 Subdistrict.

The proposed building has been designed to have an FAR of 2.6 (22,039 GSF / 8,273 SF) with the exception of the street wall setback.

The Proposed Project proposes a total of ten (10) parking spaces, allocated for the residential users occupants of the project. The BTM has established parking space guidelines throughout the City to ensure that the proper parking capacity is provided with new projects. BTM’s maximum parking ratio guidelines for this area of the City is 0.50 – 1.0 parking spaces per residential unit. The Proposed Project falls within these limits, although it does not conform to the existing zoning requirement of 1 space per residential unit in accordance with Table J of the Code. The Garage Level plan shows a layout of the ten (10) parking spaces accessed from Wensley Street.

Based on the foregoing, the Proposed Project will require Zoning Relief from the Board of Appeal for the following violations:

Please see **Table 2.3.1**

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**Table 2.3.1**

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 59, Section 38	Application of Dim's Regulation	Conformity with Existing Building Alignment
Article 59, Section 37	Off-Street Parking Regulation	Off-Street Parking Insufficient
Article 59, Section 7	Use Regulations	Use Multifamily Dwelling Forbidden
Article 59, Section 7	Use Regulations	Use Accessory Parking Forbidden
Article 59, Section 8	Dimensional Regulations	Lot Area for Additional Dwelling Units Insufficient
Article 59, Section 8	Dimensional Regulations	Building Height Excessive
Article 59, Section 8	Dimensional Regulations	Building Height (# of Stories) Excessive
Article 59, Section 8	Dimensional Regulations	Floor Area Ratio Excessive
Article 59, Section 8	Dimensional Regulations	Usable Open Space Insufficient
Article 59, Section 8	Dimensional Regulations	Front Yard Insufficient
Article 59, Section 8	Dimensional Regulations	Rear Yard Insufficient

Please see Zoning Code Refusal Letter.

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Martin J. Walsh  
Mayor

## Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

### ZONING CODE REFUSAL

Gary P. Moccia  
Inspector of Buildings

PHILIP HRESKO  
110 BROAD STREET  
BOSTON, MA 02110

April 13, 2015

**Location:** 40 FISHER AV MISSION HILL, MA 02120  
**Ward:** 10  
**Zoning District:** Mission Hill N.D  
**Zoning Subdistrict:** 3F - 2000  
**Appl. # :** ERT441083  
**Date Filed:** January 13, 2015  
**Purpose:** Combine parcels 1001324000 (3061sf) 1001325000 (2619sf) 1001326000 (2519sf) into a new parcel (8199sf). Erect a new multilevel, Apartment Building for Fifteen (15) Units. There will be a resident Parking Garage built under.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 59 Section 38	Application of Dim's Regs	Conformity with Existing Building Alignment
Article 59, Section 37	Off-Street Parking Req's	Off-Street Parking Insufficient
Article 59, Section 7	Use Regulations	Use : Multifamily Dwelling : Forbidden
Article 59, Section 7	Use Regulations	Use : Accessory Parking : Forbidden
Article 59, Section 8	Dimensional Regulations	Lot Area for Additional Dwelling Units Insufficient
Article 59, Section 8	Dimensional Regulations	Building Height Excessive
Article 59, Section 8	Dimensional Regulations	Building Height ( # of Stories ) Excessive
Article 59, Section 8	Dimensional Regulations	Floor Area Ratio Excessive
Article 59, Section 8	Dimensional Regulations	Usable Open Space Insufficient
Article 59, Section 8	Dimensional Regulations	Front Yard Insufficient
Article 59, Section 8	Dimensional Regulations	Rear Yard Insufficient

  
\_\_\_\_\_  
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110 BROAD STREET  
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THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.



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Thomas White  
(617)961-3275  
for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.

## 40 FISHER AVENUE MISSION HILL SPRA

**Table 2.3.2: Boston Zoning Code Chart: 40 Fisher Avenue, Mission Hill**

Category	Code Requirement	Proposed Project Uses & Dimensions
Dimensional Regulations, Article 59 - Table E	3F2000	Residential - 15 dwelling units, located on: Lower Garden, Garden, 1st Floor, 2nd Floor, & 3rd Floor Levels
	Parking Allowed on Garage Level	Accessory Parking - 10 spaces
Floor Area Ratio (FAR)Maximum	1.0	2.6
Maximum Building Height	35 ft.	31+/- ft. Fisher Avenue 52'+/- ft. Wensley Street *****
Minimum Lot Size	2,000 SF	8,273 SF
Minimum Lot Area per Dwelling Unit *	1,000 SF	552 SF
Minimum Usable Open Space per Dwelling Unit	•400 SF/dwelling unit (25% of lot area in excess)	238 SF/dwelling unit **
Minimum Lot Width	35 ft	114.06 ft
Minimum Lot Frontage	35 ft	114.06 ft
Minimum Front Yard (Fisher Avenue)	5 ft ***	7.0 ft 10.0 ft 9.0 ft 5.1 ft
Minimum Side Yard (West)	5 ft	11.8 ft 11.6 ft 7.3 ft 7.8 ft 6.9 ft
Minimum Side Yard (East)	5 ft	8.2 ft 10.5 ft 10.7 ft 12.7 ft 21.8 ft
Minimum Rear Yard (Wensley Street)	5 ft.****	8.9 ft 5.5 ft 2.3 ft 1.7 ft 3.5 ft

\* Based upon number of Max Dwelling Units allowed per 3F200 subdistrict.

\*\* While not allowed in this zoning district if it were an MFR or NS subdistrict, usable open space requirement may be met by unclosed porches or by suitable designed and accessible space balconies. Proposed Project Usable Open Space 122SF/dwelling unit on ground+116SF/dwelling unit on decks.

\*\*\* Section.59-38-1.Conformity with Existing Building Alignment.

\*\*\*\* Same as Front Yard- Section 59-38.9 Rear Yards of Through Lots.

\*\*\*\*\* Wensley Street Height Calculation: a. 52' +/- ft. from elevation, (LG Level), 90'-4" to 140' ft. (3rd Floor).

b. 60' +/- ft. from elevation 79'-5" ,(Lobby entrance ), to 140' ft. (3rd Floor).

**2.3.2 Anticipated Permits and Approvals**

The public approvals expected to be required for the Proposed Project are listed in **Table 2-3**.

The Proposed Project is subject to requirements of, and the filing of a SPRA under Article 80 of the Code, necessitated because more than fourteen (14) multi-family units are being proposed and the project is less than 50,000 gross square feet in size within a Boston neighborhood

<b>Table 2-3 Anticipated Permits &amp; Approvals</b>	
<b>AGENCY NAME</b>	<b>PERMITS AND APPROVALS</b>
<b>LOCAL</b>	
Boston Redevelopment Authority	Article 80 Small Project Review Certificate of Compliance
Boston Zoning Board of Appeals	Variances, Exceptions
Boston Fire Department	Approval of Fire Safety Equipment
Boston Department of Public Works Public Improvements Commissions	Permits for Street Occupancy and Opening Permit (if Necessary); Sidewalk Improvements
Boston Department of Inspectional Services	Fire Safety Review Building Permit(s) Certificate(s) of Occupancy
Boston Water and Sewer Commission	See approved Site Plan #08-244

\* This is a preliminary list based on project information currently available. It is possible that not all of these permits or actions will be required, or that additional permits may be needed.

**2.4 Legal Information**

**2.4.1 Legal Judgments or Actions Pending Concerning the Proposed Project**

The Project Proponent is not aware of any legal judgments or other actions pending which involve the Proposed Project.

**2.4.2 History of Tax Arrears on Property Owned in Boston by the Applicant**

The Proponent has no additional property in Boston on which real estate tax payments are in arrears.

**2.4.3 Evidence of Site Control Over the Project Area**

The Project Site is owned by 36-40 Fisher Avenue, LLC as documented in the Suffolk County Registry of Deeds, Book 42659, Page 217.

**2.4.4 Nature and Extent of Any and All Public Easements**

The Project Site is not subject to any public easements.

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### 2.5 Public Review Process

The Proponent has been meeting with various neighborhood groups. The community has expressed great interest in the project and has overall given helpful feedback on the program and preliminary design. A listing of individuals and groups we have engaged include:

#### **Elected Officials**

Office of City Councilor Josh Zakim  
Office of State Representative Jeffrey Sanchez

#### **City Agencies**

Mayor's Office of Neighborhood Services  
Boston Parks and Recreation  
Boston Water and Sewer Commission  
Tobin Community Center  
Mission Hill Main Streets (MHMS)

#### **Community Organizations**

Mission Hill Neighborhood Housing Services (MHNHS)  
Community Alliance of Mission Hill (CAMH)  
Back of the Hill Community CDC (BOTHCDC)

#### **Abutters**

34 Fisher Avenue  
32 Fisher Avenue  
28 Fisher Avenue  
22 Fisher Avenue #1-2, #3-4  
50 Fisher Avenue  
64 Fisher Avenue  
154 Fisher Avenue  
841 Parker Street, #201,205

The Proponent's development team will continue to outreach and attend meetings with neighborhood, community and business leaders regarding the Proposed Project during the Article 80 review process, including discussions/meetings with city agencies, as may be required by the necessary permits, including:

- Boston Parks and Recreation
  - Boston Environment Department
  - Boston Department of Public Works
  - Mayor's Office of Neighborhood Services
-

### **2.6 Letters Of Support**

There were numerous meetings with Elected Officials, City Agencies, Community Organizations and Abutters. As a result we have received many letters of support. They include City Councilor Josh Zakim , State Representative Jeffrey Sanchez, Mission Hill Main Streets, The Community Alliance of Mission Hill as well as various abutters. We submitted these letters directly to the BRA.

### 3.0 DESIGN COMPONENT

#### 3.1 Introduction

The Proposed Project is a residential development, located at 40 Fisher Avenue in Mission Hill, which comprises of fifteen (15) residential units, covered parking for ten (10) vehicles, eighteen (18) bike racks, and new useable outdoor open spaces that exclusively serve the units. Discussion of design elements for the proposed new building is provided in the sections below, and is illustrated on the plans, perspectives, and photographs that are included in the Design Component (See 3.10-3.11)

#### 3.2 Site Context

The Project's Site has frontage on the south side of Fisher Avenue, across from McLaughlin Park, and also having frontage on the north side on Wensley Street. The Project's Site is between Heath Street Station on the Green Line MBTA to the west, and Roxbury Crossing Station on the Orange Line MBTA to the northeast and the Jackson Square Station on the Orange Line MBTA to the southeast. This neighborhood corridor is characterized by a range of building types at different scales, and a range of architectural styles and materials, primarily residential.

#### 3.3 Building Program

The building program includes two (2) residential lobbies, (entrances are located on Fisher Avenue and Wensley Street), ten (10) space covered parking garage at the garage level from Wensley Street, and fifteen (15) residential units, from the lower garden level through the third floor. At the lower garden level, the building (above the garage level on Wensley Street) also contains a common fitness room for building residents and fifteen (15) private storage closets for each of the apartment units. Building mechanicals are housed at the lower garden level, and the fifteen (15) small condensers, servicing each unit, are appropriately located on various sections of the roof and outside areas that have minimum visibility. The program also includes private outdoor space for many of the residential units, including outdoor patios, terraces, balconies, and roof decks.

#### 3.4 Design Concept

The Proposed Project is a residential building located on a unique site with an interesting and challenging topography, with a 28'0" change of grade from one side to the other. The design is inspired by the Italian hill towns, where the building takes advantage of the existing topography by creating a terraced façade. The proposed building is inserted in a harmonious way in the surrounding environment to create a dialogue with the characteristics of the natural landscape of the area and the existing neighborhood buildings. The intention is to create a building that is appropriately scaled, creating a volume that is balanced between the two sides and contributes positively to the existing visual context of the neighborhood.

#### 3.5 Height and Massing

The Proposed Project is nestled between the adjacent structures with similar height and massing. The 3-story high elevation at Fisher Avenue aligns with the existing buildings and provides a

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continuous pedestrian façade. The façade at Wensley Street is terraced to soften the 6-story mass, creating private outdoor terraces and balconies for the residential units. The building has a lobby on each side creating a strong presence with pedestrian access from (on) both streets.

### **3.6 Façade Design, Fenestration, and Building Materials**

The contemporary treatment of the facades achieves a pleasant and unified design within its context while optimizing durability and minimizing maintenance through a restrained material palette. Ample openings allow for natural light as well as vast views of the park from the Fisher Avenue side and views of the city from the Wensley Street side. The terraced façade at Wensley Street creates private outdoor terraces and balconies for the residential units.

### **3.7 Exterior Signage and Lighting**

Exterior lighting, where used, it is primarily indirect LED lighting to illuminate the building entrances, ground surfaces, and private patio and terrace areas, with particular attention paid to limiting ambient light on site.

### **3.8 Site Design**

#### ***3.8.1 Open Space and Landscaped Areas***

The site is integrating the natural landscape and challenging topography in the build environment. The main entrance to the building is located at the Fisher Avenue level, while the units below open to private patio areas at the Garden level, below the sidewalk. The site is cascading down to Wensley Street level through landscaped steps and walkways. Along Wensley Street, created by the architectural terracing of the building, the units enjoy private, outdoor terraces and roof decks. The landscape incorporates native, adaptive plantings for water efficient landscaping and weather-appropriate material. The stone walls and vegetation come together to give the structure character, with variegated sunlight and free flowing breezes filtering through the trees.

#### ***3.8.2 Pedestrian Circulation***

The Proposed Project has given special care in the location of the tenant bicycle storage rooms. These rooms are strategically located at the front building entrance on Fisher Avenue and at the inside of the garage level off Wensley street, near the elevator entry to the residential units. Tenants who park their car or bicycle in the garage level will have direct access to the elevator. Recycling and trash disposal area is located at the garage level accessed through the elevator or side stairs.

#### ***3.8.3 Parking and Vehicular Circulation***

The building layout optimizes efficiency and car count at the garage level, where vehicles safely enter and exit from Wensley Street. There are a total of ten (10) parking spaces available.

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### 3.9 Sustainable Design

The Proposed Project incorporates sustainable design seeking to reduce negative impacts on the environment, and the health and comfort of building occupants, thereby improving building performance. The basic objectives are to reduce consumption of non-renewable resources, minimize waste, and create healthy, productive environments. This will be accomplished by optimizing site potential; minimizing non-renewable energy consumption; using environmentally preferable products; protecting and conserving water; enhancing indoor environmental quality; and optimizing operational and maintenance practices.

### 3.10 Design Submission and Project Drawings

1. C1-Record Conditions Plan of Land
2. Boundary Retracement Plan of Land
3. Plan of Land- Consolidation Plan
4. Site Plan of Land-Showing Proposed Building
5. Sheet1-Site Plan #08-244
6. Sheet 2- Details
7. Sheet 1-Temporary Earth Support System/Soil Nail Wall & Shoring Plan
8. Sheet 2-Elevation/Typical Section & Details
9. Underground Soil Penetration Easment
10. A - 1.00 Garage Plan
11. A - 1.01 Lower Garden Level Plan
12. A - 1.02 Garden Level Plan
13. A - 1.03 1st Floor Plan
14. A - 1.04 2nd Floor Plan
15. A - 1.05 3rd Floor Plan
16. A - 1.06 Roof Plan
17. A - 2.01 Fisher Avenue Elevation
18. A - 2.02 Wensley Street Elevation
19. A - 2.03 West Elevation
20. A - 2.04 East Elevation
21. A- 3.01 Section 10
22. A- 3.01b Section 11
23. A- 3.02 Section 20
24. Proposed View from Fisher Avenue
25. Proposed View from Wensley Street

\*\*subject to change

### 3.11 Shadow Study

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# 40 Fisher Avenue

## Boston, Massachusetts

### Symbol Legend

	Titles
	Column
	Control Point
	Building Section
	Detail Reference
	Door Numbers
	Exterior Elevation
	Interior Elevation
	Partition Types
	Room / Space
	Window Types
	Detail Reference

### Architect:

HRESKO Associates, Inc.  
Architects • Landscape Architects  
110 Broad Street  
Boston, Massachusetts 02110-3009

617/350-7666 • fax 617/350-6260  
e-Mail Hresko@ArchUSA.com

H•A Project # 25-15

### Developer:

SAVAGE Properties LLC.  
1607 Tremont Street,  
Suite 1 Boston, MA 02120

617.713.4444 office • 617.6978998 cell  
www.SAVAGEPROPERTIES.NET

### Owner:

36-40 Fisher Avenue LLC.



### List of Drawings:

T-1.00 Title Sheet

#### Civil

- C1 Record Conditions Plan of Land (Survey)
- Sheet 1 Boundary Retracement Plan of Land
- 1 Plan of Land - Consolidation Plan
- 1 Site Plan of Land-Showing Proposed Building
- Sheet 1 Site Plan # 08-244
- Sheet 2 Details-Site Plan #08-244
- Sheet 1 Temporary Earth Support System/Soil Nail Wall & Shoring Plan
- Sheet 2 Elevation/Typical Section & Details
- Sheet 1 Underground Soil Penetration Easement

#### Architectural

- A-1.00 Garage Level (Wensley St. Level)
- A-1.01 Lower Garden Level
- A-1.02 Garden Level
- A-1.03 1st Floor Plan (Fisher Av. Level)
- A-1.04 2nd Floor Plan
- A-1.05 3rd Floor Plan
- A-1.06 Roof Plan
- A-2.01 North Elevation (Fisher Avenue)
- A-2.02 South Elevation (Wensley Street)
- A-2.03 East Elevation
- A-2.04 West Elevation
- A-3.01 Building Section 10
- A-3.01b Building Section 11
- A-3.02 Building Section 20
- L-1.02 Landscape Plan
- L-1.03 Planting List

<b>Building Use Group :</b>	R-2, Private Garage	<b>Fire Protection :</b>	Floor/Ceiling Assembly : 1 hr Exit Access Corridor : 1 hr Stairwells : 2 hr Structural Members : 1 hr Shafts : 2 hr
<b>Construction Classification :</b>	2A & 3A	<b>Zoning :</b>	Zone 3F - 2000
<b>Unit Count :</b>	Total: 15	<b>F.A.R. :</b>	1.0
<b>Parking Count :</b>	Total: 10		

### UNIT COUNT

	1BR	2BR	3BR	Total
Lower Garden	1		1	2
Garden Level	1	2	1	4
1st Floor		4		4
2nd Floor			3	3
3rd Floor			2	2
<b>Total</b>	<b>2</b>	<b>6</b>	<b>7</b>	<b>15</b>

Date : 23 December 2014

Revision : 13 March 2015

### General Notes

All work shall be in compliance with State and Local Building Codes.  
General Contractor shall be responsible for obtaining all necessary permits, inspections, and paying all related fees.

Contractor shall lay out all work and be responsible for structure, lines, elevation and measurement.

The Contractor shall thoroughly examine the site, the drawings, and the specifications to ensure his/her knowledge of the conditions and requirements of the work.

The Contractor shall report all deviations in the existing conditions, dimensions, and locations, etc. to the architect.

Storage of materials at the site and protection from the elements is the responsibility of each subcontractor. The builder may reject material not properly stored and protected. Damaged material shall not be installed. In no case may a subcontractor store material which interferes with work of other subcontractors or the Owner.

Do not scale these Drawings for quantities, lengths, size or areas, etc. If dimensions are in question, the Contractor shall be responsible for obtaining clarification before continuing with construction.

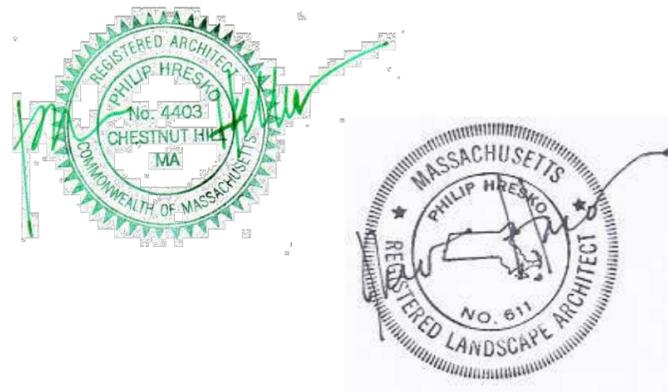
All designs, components, equipment, clearances, sizes and capacities, etc., shall comply with all manufacturers' instructions and recommendations, and shall comply with all applicable federal, state and local codes or ordinances.

Clean up is the responsibility of each subcontractor within a reasonable time and to prevent any hazardous conditions.

It is not intended that these drawings show every cut and/or condition, etc. of the building system, however, the contractor shall furnish a complete product in accordance with the best practice of the trade, to the satisfaction of the Architect, and in strict conformance with all applicable state building code requirements.

All dimensions are to face of stud.

All existing areas disturbed by the new construction are to be patched to match existing and / or new adjacent surfaces.

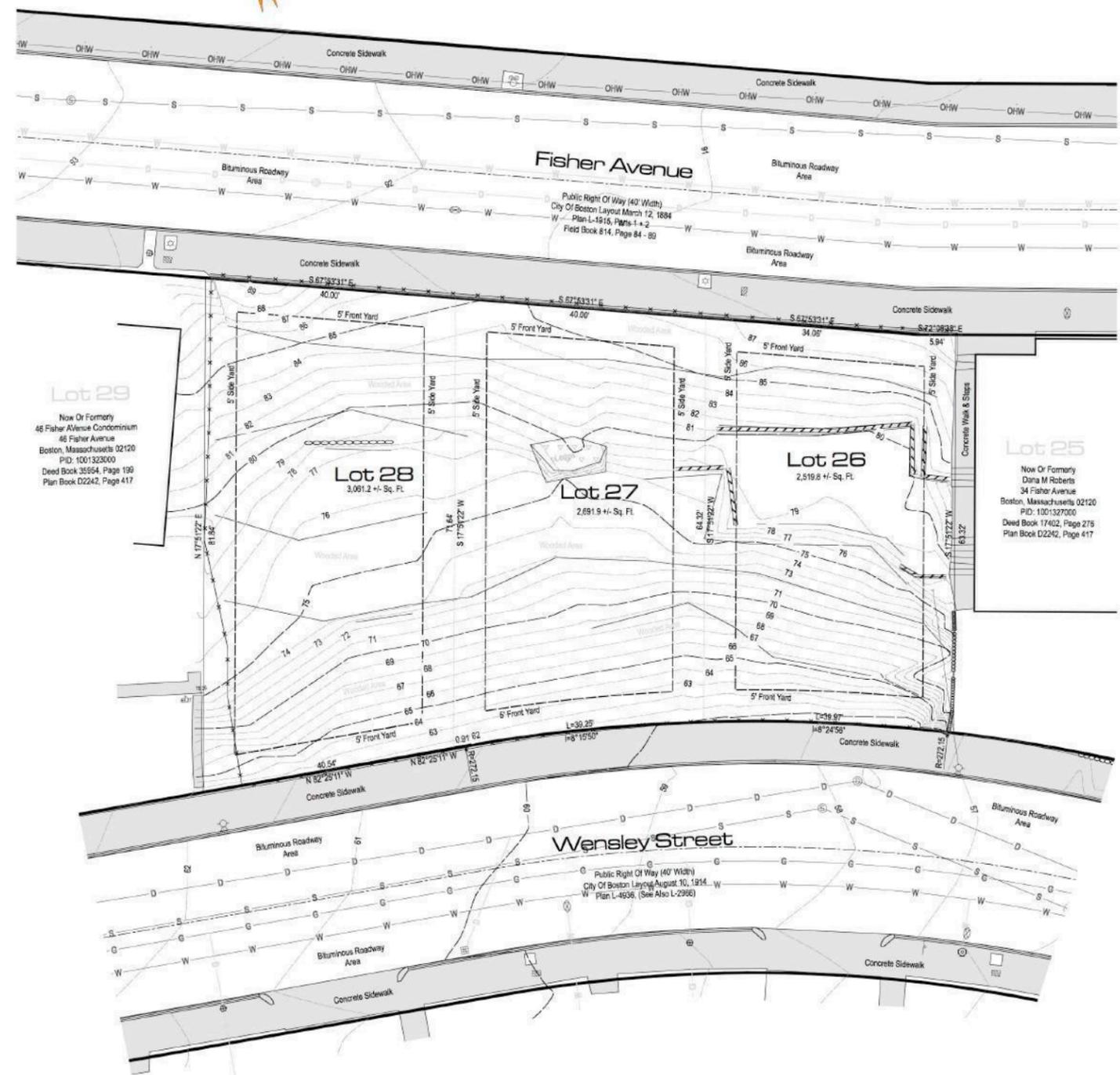




locus & record owner:  
 Jason Savage  
 1607 Tremont Street  
 Boston, Massachusetts 02120  
 Book 17402, Page 274



locus map  
 NOT TO SCALE



legend:

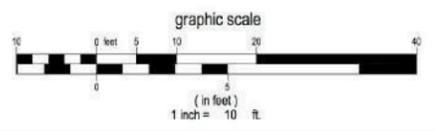
- Curbs, Endstone
- Lights, Single Light Pole
- Traffic Control, Sign, Small
- Utilities, Catchbasin, Square
- Utilities, Drain Manhole
- Utilities, Drain Manhole, Compiled
- Utilities, Fire Hydrant
- Utilities, Gas Gate
- Utilities, Misc Handhole
- Utilities, Sewer Manhole
- Utilities, Utility Pole
- Utilities, UP w/ Light
- Utilities, UP w/ Transformer
- Utilities, Water Gate
- Curbs, Granite Curb
- Utilities, Drain Line
- Utilities, Drain Line, Compiled
- Utilities, Gas Line
- Utilities, Gas Line, Compiled
- Utilities, Overhead Wire
- Utilities, Sewer Line
- Utilities, Water Line
- Utilities, Water Line, Compiled
- Walls, Stone Wall
- 8" Landscape Timber
- Exposed Ledge Rock

notes:

1. The Site Detail, Surface Improvements, Data Accumulation, And Boundary Survey Depicted Hereon Were Obtained From A Partial Field Survey Conducted On December 20, 2007 And January 8, 2008 By David Gosselin + Associates.
2. The Purpose Of This Plan Is To Provide A Record Conditions Plan Of Land Which Illustrates This Surveyors Interpretation Of Observable Monuments, All Obtainable Plans And Deeds Of Record, Witness Testimony, And Any Other Plans And Deeds Which May Affect The Locus Property At The Time And Date Of The Partial Field Survey In Addition To Delineating Existing Topography And Planimetric Features.
3. This Plan Does Not Show Any Unrecorded Or Unwritten Easements Which May Exist. A Reasonable And Diligent Attempt Has Been Made To Observe Any Apparent, Visible Uses Of The Land; However, This Does Not Constitute A Guarantee That No Such Easements Exist.
4. The Basis Of Bearings, Azimuths, And The North Arrow Shown Hereon Is A Plan On File At The Suffolk County Registry Of Deeds At Deed Book 30854, Page 210.
5. This Plan And Survey Were Prepared Using Conventional Survey Methods. A Sokkia Set 330R-3 Total Station Was Used Having An Accuracy Of 3" And 3 PPM.
6. All Improvements Shown Hereon Have Been Spatially Fixed To A Locational Tolerance Of Not More Than 1/10th Of The Plan Scale. Positional Tolerance Does Exceed Allowable Standards.
7. All Improvements Located Hereon Are Referenced To The Existing Buildings As Herein Described.
8. The Basis Of Elevations Shown Hereon Are Assumed.
9. The Location Of All Underground Utilities Shown Are Approximate And Are Based Upon A Field Survey And Compilation Of Plans Of Record. David Gosselin + Associates Does Not Warrant The Location Of All Utilities Depicted. Only Record Information Provided By The Respective Utility Owner And Independently Verified By David Gosselin + Associates Is Shown Hereon. The Contractor, Engineer, Or Architect Prior To Commencement Of Construction Or Design, Shall Verify The Location Of All Utilities And Contact Dig Safe At 1-888-344-7233.

I Declare That This Survey And Plan Were Prepared In Accordance With The Procedural And Technical Standards For The Practice Of Land Surveying In The Commonwealth Of Massachusetts.

David A. Gosselin, PLS# 45720 \_\_\_\_\_ Date \_\_\_\_\_



revisions				
NO.	DATE	DESCRIPTION	BY	CHKD

DWG. NO. 0251.rec.ply  
 BK. Boston#4, PG. 63

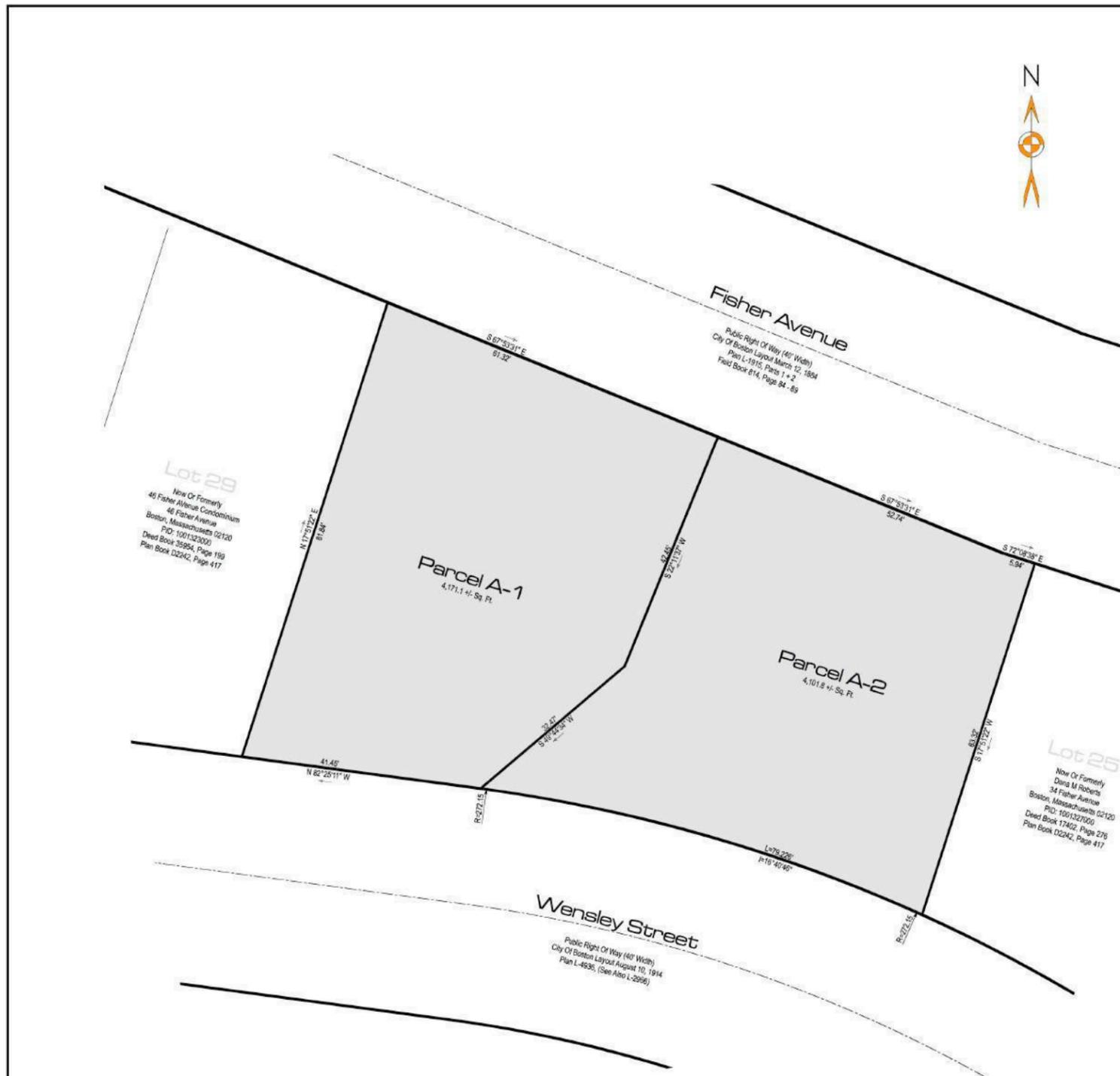
copyright: the copying or use of plan for any purpose is strictly forbidden unless express written permission is provided by david gosselin + associates. this plan is null and void unless signed in red ink with an original wet stamp.

record conditions plan of land  
 located in  
 roxbury, massachusetts  
 (suffolk county)

prepared for  
 jason savage  
 scale: 1" = 10' date: January 11, 2008  
 12 eliot street  
 cambridge, massachusetts  
 (617) 876-4700  
 www.dg-pls.com  
 sheet no. 1 of 1



© DAVID GOSSELIN + ASSOCIATES, 2008



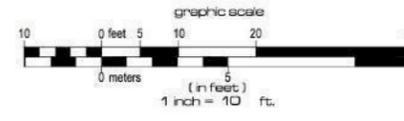
for registry use only

I Declare, To The Best Of My Professional Knowledge, Information, And Belief, That This Plan Was Prepared In Accordance With The Rules And Regulations Of The Registrars Of Deeds.

For David Gosselin + Associates \_\_\_\_\_ Date \_\_\_\_\_

locus & record owner:

Jason Savage  
1607 Tremont Street  
Boston, Massachusetts 02120  
Book 17402, Page 274  
PID: 1001324000  
Plan: Deed Book 2242, Page 417



I Declare That This Survey And Plan Were Prepared In Accordance With The Procedural And Technical Standards For The Practice Of Land Surveying In The Commonwealth Of Massachusetts.

David A. Gosselin, PLS# 45720 \_\_\_\_\_ Date \_\_\_\_\_

revisions

NO.	DATE	DESCRIPTION	BY	CHKD
2	12/22/08	Revise To Match Proposed Structures	DAG	
1	7/8/08	Revise To Match Proposed Structures	GLH	DAG

DWG. NO. 0251 anr/rev01.pyl  
BK. Boston #4, PG. 63

legal description:

Parcel A-1

That Portion Of The City Of Boston, County Of Suffolk, State Of Massachusetts, Shown As Parcel A-1 On A Plan Entitled "Boundary Retracement Plan Of Land (To Accompany A Subdivision Approval Request), Located In Boston, Massachusetts (Suffolk County)," Prepared For Jason Savage, Scale 1"=10', Dated June 5, 2008, By David Gosselin + Associates, 12 Eliot Street, Cambridge, Massachusetts, 02138, Being More Particularly Described As Follows:

Commence At The Northwest Corner Of The Aforementioned Property At A Point, Said Point Being The Northeast Corner Of Lot 29 At Fisher Avenue As Shown On A Plan Entitled "Plan Of The Fisher Estate, Boston" By Chas. H.W. Wood, Surveyor, Dated July 10, 1894, And Recorded At The Suffolk County Registry Of Deeds In Deed Book 2242, Page 417; Thence

Southeasterly Along Fisher Avenue A Distance Of Sixty-One And Thirty-Two Hundredths Linear Feet (61.32) And Bearing Of South 67° 53' 31" East To A Point; Said Point Being The Northwesterly Corner Of Parcel A-2 At Said Fisher Avenue; Thence

Southwesterly Along Parcel A-2 A Distance Of Forty-Two And Forty-Five Hundredths Linear Feet (42.45) And Bearing Of South 22° 11' 37" West To A Point; Thence Continuing

Southwesterly Along Parcel A-2 A Distance Of Thirty-Two And Forty-Seven Hundredths Linear Feet (32.47) And Bearing Of South 49° 44' 34" West To A Point Being The Southwest Corner Of Parcel A-2 At Wensley Street; Said Point Also Being A Point Of Curvature On Wensley Street; Thence

Northwesterly Along Said Wensley Street A Distance Of Forty-One And Forty-Five Hundredths Linear Feet (41.45) And Bearing Of North 82° 25' 11" West To A Point At The Southeasterly Corner Of Aforementioned Lot 29 At Wensley Street; Thence

Northeasterly Along Said Lot 29 A Distance Of Eighty-One And Eighty-Four Hundredths Linear Feet (81.84) And Bearing Of North 17° 51' 22" East To The Point Of Beginning.

Containing Four Thousand One Hundred seventy-One And One Tenth Square Feet (4,171.1 Sq. Ft.), More Or Less.

Parcel A-2

That Portion Of The City Of Boston, County Of Suffolk, State Of Massachusetts, Shown As Parcel A-2 On A Plan Entitled "Boundary Retracement Plan Of Land (To Accompany A Subdivision Approval Request), Located In Boston, Massachusetts (Suffolk County)," Prepared For Jason Savage, Scale 1"=10', Dated June 5, 2008, By David Gosselin + Associates, 12 Eliot Street, Cambridge, Massachusetts, 02138, Being More Particularly Described As Follows:

Commence At A Point Being The Northwest Corner Of Parcel A-2 And Northeast Corner Of Parcel A-1 At Fisher Avenue; Thence

Southeasterly Along Fisher Avenue A Distance Of Fifty-Two And Seventy-Four Hundredths Linear Feet (52.74) And Bearing Of South 67° 53' 31" East To A Point; Said Point Being An Angle Point Of Said Fisher Avenue; Thence Continuing

Southeasterly Along Said Fisher Avenue A Distance Of Five And Ninety-Four Hundredths Linear Feet (5.94) And Bearing Of South 72° 08' 38" East To A Point; Said Point Being The Northwesterly Corner Of Lot 25 At Fisher Avenue As Shown On A Plan Entitled "Plan Of The Fisher Estate, Boston" By Chas. H.W. Wood, Surveyor, Dated July 10, 1894, And Recorded At The Suffolk County Registry Of Deeds In Deed Book 2242, Page 417; Thence

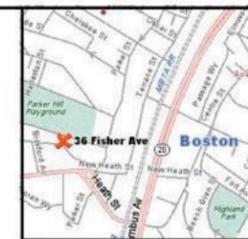
Southwesterly Along Said Lot 25 A Distance Of Sixty-Three And Thirty-Two Hundredths Linear Feet (63.32) And Bearing Of South 17° 51' 22" West To A Point On A Curve At Wensley Street And The Southwest Corner Of Said Lot 25; Thence

Northwesterly Along Wensley Street Through A Curve A Distance Of Seventy-Nine And Two Hundred Twenty-Six Thousandths Linear Feet (79.226) To A Point Being The Southeasterly Corner Of Parcel A-1 At Wensley Street Also Being The Point Of Tangency For Said Curve; Said Curve Having A Radius Of Two Hundred Seventy-Two And Fifteen Hundredths Linear Feet (272.15), And A Delta Of 16° 40' 46"; Thence Continuing

Northeasterly Along Parcel A-1 A Distance Of Thirty-Two And Forty-Seven Hundredths Linear Feet (32.47) And Bearing Of North 49° 44' 34" East To A Point; Thence Continuing

Northeasterly Along Parcel A-1 A Distance Of Forty-Two And Forty-Five Hundredths Linear Feet (42.45) And Bearing Of North 22° 11' 37" East To The Point Of Beginning.

Containing Four Thousand One Hundred One And Eight Tenth Square Feet (4,101.8 Sq. Ft.), More Or Less.



locus map  
NOT TO SCALE

notes:

- The Boundary Survey Depicted Hereon Were Obtained From A Partial Field Survey Conducted On December 20, 2007 And January 8, 2008 By David Gosselin + Associates.
- The Locus Property Depicted Is Situated In Zoning District 3F-2000, City Of Boston Zoning Ordinance, Effective Date June 6, 2007.
- The Purpose Of This Plan Is To Provide A Boundary Retracement Plan Of Land For Consolidation Of Existing Lots Which Illustrates This Surveyors Interpretation Of Witness Testimony, Observable Monuments, All Obtainable Plans And Deeds Of Record, Any Other Plans And Deeds Which May Affect The Locus Property At The Time And Date Of The Partial Field Survey.
- This Plan Does Not Show Any Unrecorded Or Unwritten Easements Which May Exist. A Reasonable And Diligent Attempt Has Been Made To Observe Any Apparent, Visible Uses Of The Land; However, This Does Not Constitute A Guarantee That No Such Easements Exist.
- The Basis Of Bearings, Azimuths, And The North Arrow Shown Hereon Is A Plan On File At The Suffolk County Registry Of Deeds At Deed Book 30854, Page 210.
- This Plan And Survey Were Prepared Using Conventional Survey Methods. A Sokkia Set 330R-3 Total Station Was Used Having An Accuracy Of 3" And 3 PPM.
- All Improvements Shown Hereon Have Been Spatially Fixed To A Locational Tolerance Of Not More Than 1/10th Of The Plan Scale. Positional Tolerance Does Exceed Allowable Standards.

boundary retracement plan of land  
(to accompany a subdivision approval request)  
located in  
**boston, massachusetts**  
(suffolk county)

prepared for  
**jason savage**

scale: 1" = 10'      date: june 5, 2008  
12 eliot street  
cambridge, massachusetts  
(617) 876-4700  
www.dg-pls.com

sheet no. 1 of 1

David Gosselin + Assoc.  
professional land surveyors

© DAVID GOSSSELIN + ASSOCIATES, 2008

FOR REGISTRY USE

BOOK 30854 PAGE 210



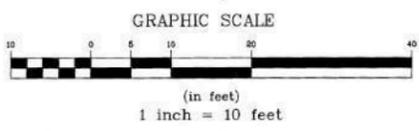
NOTE:  
THE PURPOSE OF THIS PLAN IS TO COMBINE CITY OF BOSTON ASSESSORS PARCELS 1001324000, 1001325000 AND 1001326000 SHOWN AS PARCEL A-1 AND PARCEL A-2 ON A BOUNDARY RETRACEMENT PLAN OF LAND BY DAVID GOSSELIN + ASSOCIATES DATED JUNE 5, 2008 AND RECORDED AT THE SUFFOLK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 2012 PAGE 70.



I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

BY: *Richard J. Gosselin* 4/3/15  
REGISTERED PROFESSIONAL LAND SURVEYOR  
MASSACHUSETTS REGISTRATION NUMBER 37047

- PLAN REFERENCES:
1. CITY OF BOSTON ENGINEERING DEPARTMENT  
PLAN L-1915 LAYOUT FISHER AVE
  2. CITY OF BOSTON ENGINEERING DEPARTMENT  
PLAN L-4936 LAYOUT WENSLEY STREET
  3. BOUNDARY RETRACEMENT PLAN OF LAND  
BOOK 2012 PLAN 70



**SDD**  
Spatial DATA & Design

99 MAIN STREET  
MILLBURY, MA 01527  
PHONE (508) 277-6735  
www.sddteam.com

PLAN OF LAND

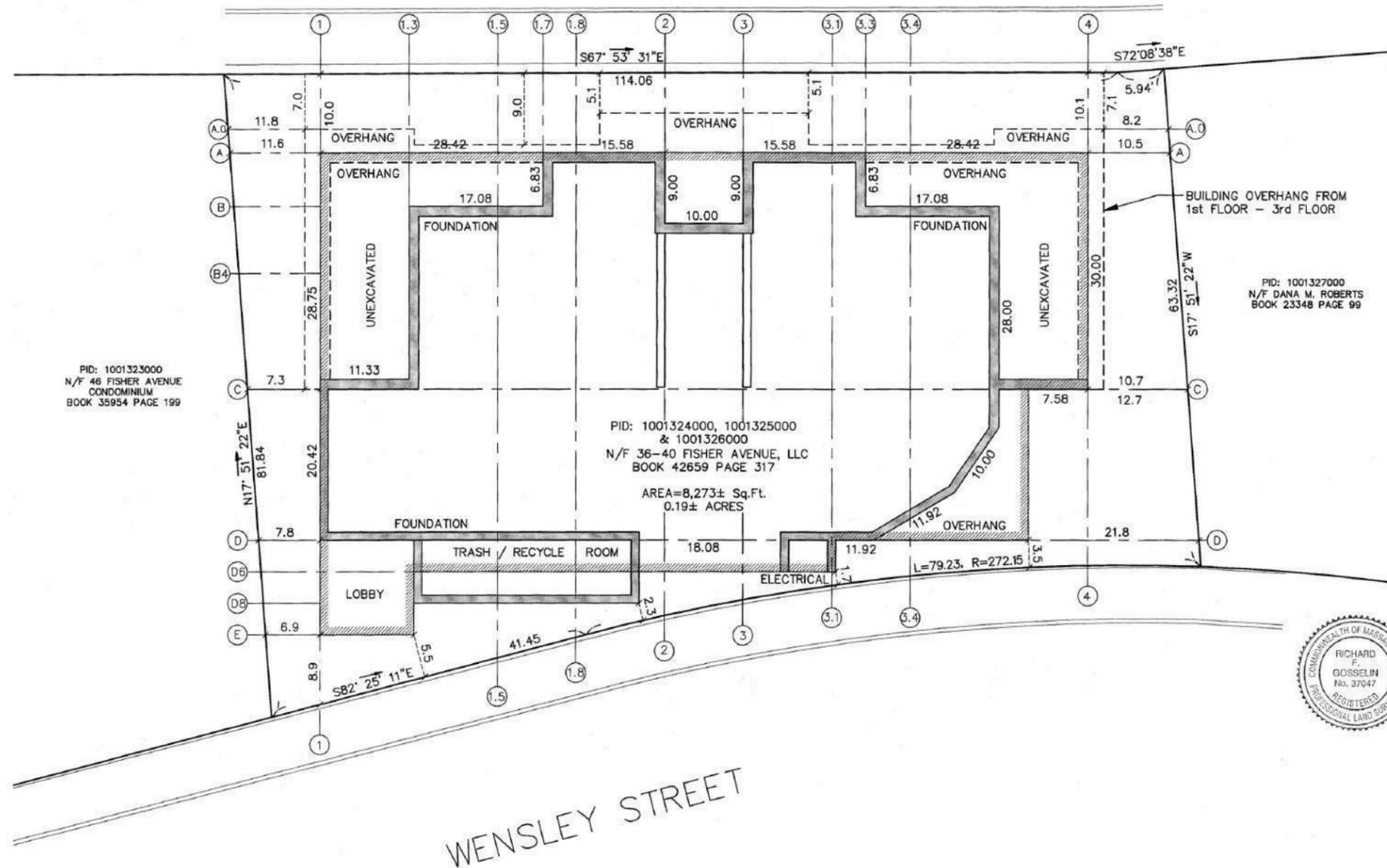
PREPARED FOR  
JASON SAVAGE

FISHER STREET  
(SUFFOLK COUNTY)  
BOSTON, MASSACHUSETTS  
(ROXBURY DISTRICT)

No.	Revision	Date	App.
1	Add Lot Area	4/03/15	RFG

Designed By: \_\_\_\_\_ Drawn by: \_\_\_\_\_ DRP Checked by: RFG  
Scale: 1"=10' Date: January 2, 2015

# FISHER AVENUE



I DECLARE, TO THE BEST OF MY PROFESSIONAL  
 KNOWLEDGE, INFORMATION AND BELIEF, THAT  
 THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE  
 RULES AND REGULATIONS OF THE REGISTERS OF  
 DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

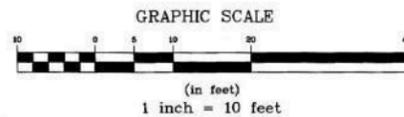
BY: *Richard F. Gosse* 4/3/15  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 MASSACHUSETTS REGISTRATION NUMBER 37047



**SDD**  
**Spatial DATA & Design**  
 99 MAIN STREET  
 MILLBURY, MA 01527  
 PHONE (508) 277-6735  
 www.sddteam.com

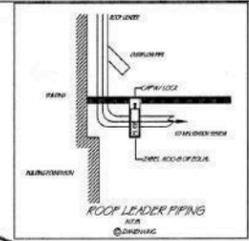
SITE PLAN OF LAND  
 SHOWING PROPOSED BUILDING  
 FISHER AVENUE  
 &  
 WENSLEY STREET  
 (ROXBURY DISTRICT)  
 BOSTON, MASSACHUSETTS

- PLAN REFERENCES:
1. CITY OF BOSTON ENGINEERING DEPARTMENT PLAN L-1915 LAYOUT FISHER AVE
  2. CITY OF BOSTON ENGINEERING DEPARTMENT PLAN L-4936 LAYOUT WENSLEY STREET
  3. BOUNDARY RETRACEMENT PLAN OF LAND BOOK 2012 PLAN 70
  4. 40 FISHER AVENUE BUILDING PLANS PROVIDED BY HRESKO ASSOCIATES INC. ARCHITECTS/LANDSCAPE ARCHITECTS/INTERIOR DESIGNERS



No.	Revision	Date	App.
Designed by:	Drawn by:	DRP	Checked by: RFG
Scale:	1"=10'	Date: March 25, 2015	

1. ACCOUNT NUMBER	417278001-36 FISHER 417280001-40 FISHER
2. PARCEL NUMBER	1324,1325,1326
3. WARD	10
4. PROPERTY LOCATION	36 & 40 FISHER AVENUE
5. NEIGHBORHOOD	MISSION HILL
6. ZIP CODE	02120-3319
7. OWNER ADDRESS	1607 TREMONT STREET
8. OWNER TELEPHONE NO.	617-713-4444
9. TYPE OF PREMISE	15 UNIT BUILDING
10. METER SIZE	2"
11. INSIDE	X
12. OUTSIDE	
13. TYPE OF BUILDING	WOOD FRAME
14. SEWERAGE FLOWS	110GPD X 35 = 3850GPD
15. LAND USE CODE	R3



**DRAINAGE CALCULATIONS**

ROOF AREA = 3,529 S.F.  
 INFILTRATE (STORE) 1" OF RUNOFF  
 1/12 (3529 S.F.) = 294 CU. FT.

USE (2)850 GALLON DRYWELL W/OVERFLOW- SEE DETAIL  
 94 CU. FT. WITH 3 FT. CRUSHED STONE SURROUND

VOLUME COMPUTATION EXTERIOR CRUSHED STONE  
 12'X12'X4.5' = 648 CU. FT.  
 648 CU. FT. - 94 CU. FT. (CHAMBER VOLUME) = 554 CU. FT.  
 554 CU. FT. X 0.3 (VOIDS) = 166.2 CU. FT. VOLUME VOIDS STORAGE  
 94 CU. FT. CHAMBER VOLUME + 166.2 CU. FT. VOIDS = 260.2 CU. FT.  
 2 UNITS X 260.2 = 520.4 CU. FT. TOTAL STORAGE > 294 CU. FT. RUNOFF CALCULATION

BOSTON WATER AND SEWER COMMISSION  
 LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS:

REVIEWED AND APPROVED AS TO PROPOSED CONNECTION(S)  
 TO EXISTING WATER & SEWER FACILITIES AS SHOWN, FOR  
 ISSUE OF BUILDING PERMIT ONLY. ADDITIONAL PERMITS  
 MUST BE OBTAINED FROM BWSC PRIOR TO CONNECTION TO  
 BWSC FACILITIES. SITE PLANS ARE VALID FOR A PERIOD OF  
 ONE(1) YEAR FROM DATE OF APPROVAL.

*John P. Sullivan Jr.*  
 JOHN P. SULLIVAN JR., P.E.  
 CHIEF ENGINEER

FOR BWSC ONLY

ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO  
 BOSTON WATER AND SEWER COMMISSION FACILITIES MUST  
 BE PERFORMED BY A BONDED DRAIN LAYER, LICENSED BY  
 THE BOSTON WATER AND SEWER COMMISSION

BOSTON WATER AND SEWER COMMISSION  
 BACKFLOW PREVENTER INSTALLATION

APPROVAL: *Jason Savage* DATE: 2/6/15



*Bruce P. Eaton*  
*Bruce P. Eaton*

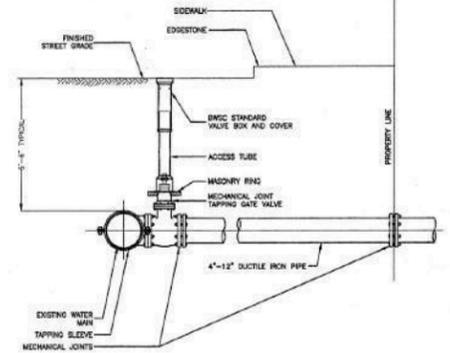
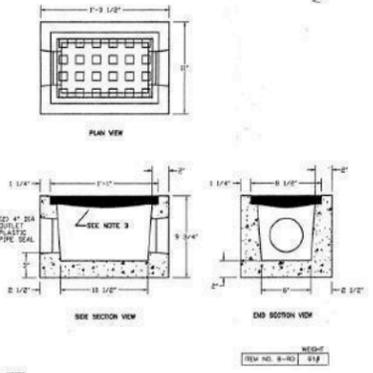
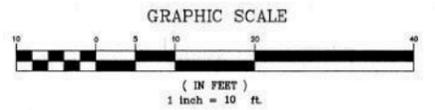
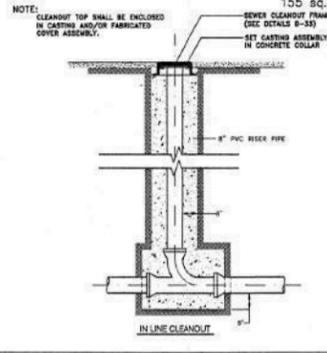
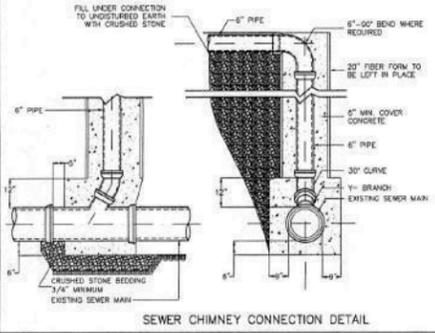
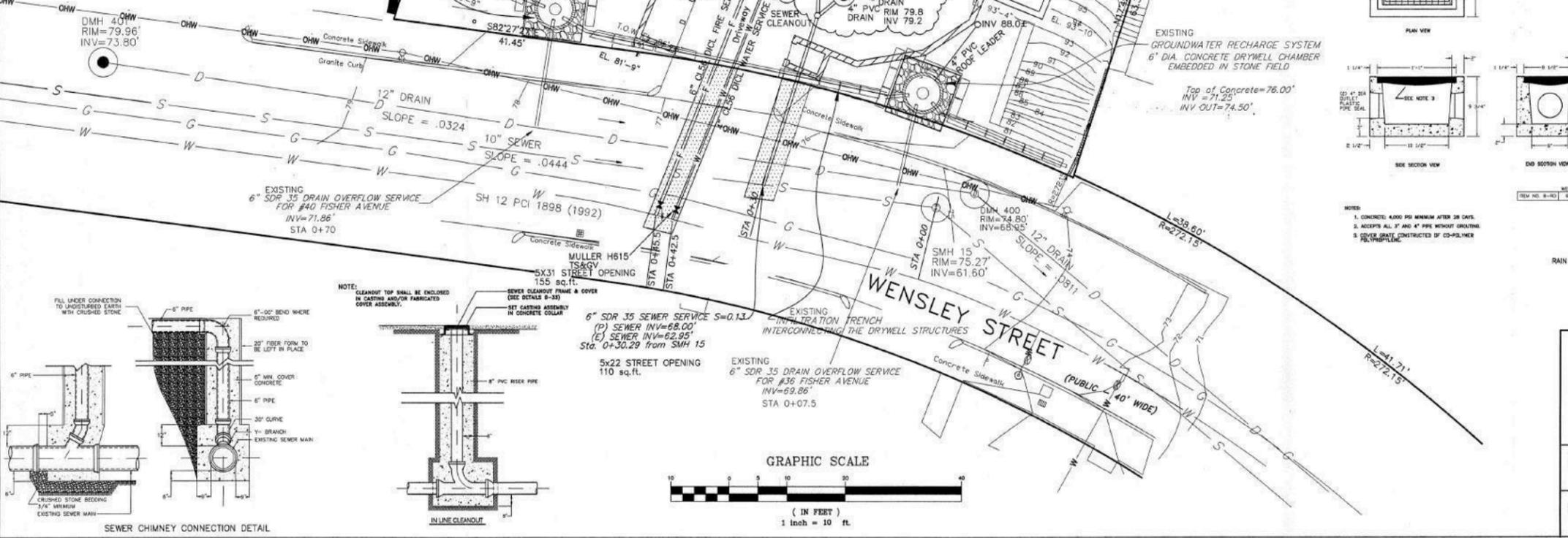
NOTES:  
 - CONCRETE THURST BLOCK TO BE USED ONLY WHERE IT WILL  
 BEAR ON UNDISTURBED EARTH  
 - USE RESTRAINED JOINT FITTINGS ON THE ROOF  
 WHERE CONCRETE THURST BLOCK IS UNACCEPTABLE  
 - SIZE OF BLOCK OR METAL JOINT TO BE DESIGNED FOR SPECIFIC  
 CONDITIONS

6" SDR35 PVC SEWER SERVICE	INSPECTED BY	DATE
SEWER CLEANOUT	INSPECTED BY	DATE
SEWER DYE TEST	INSPECTED BY	DATE
INFILTRATION SYSTEM	INSPECTED BY	DATE
6" CL56 DIOL FIRE SERVICE	INSPECTED BY	DATE
4" CL45 DIOL WATER SERVICE	INSPECTED BY	DATE
6" SDR35 PVC SEWER SERVICE	INSPECTED BY	DATE
AS-BUILT	INSPECTED BY	DATE
OIL GAS SEPARATOR	INSPECTED BY	DATE

DRYWELL 1-36 FISHER	INSPECTED BY	DATE
1310 THOMAS P KRABEY	12/7/2012	
DRYWELL 2 - 40 FISHER	INSPECTED BY	DATE
1310 THOMAS P KRABEY	12/7/2012	
DRAIN OVERFLOW-36 FISHER	INSPECTED BY	DATE
1228 LEO F GRASTORF	12/26/2012	
DRAIN OVERFLOW- 40 FISHER	INSPECTED BY	DATE
1310 THOMAS P KRABEY	12/28/2012	
INFILTRATION TRENCH & EROSION CONTROL	INSPECTED BY	DATE
36 FISHER	INSPECTED BY	DATE
INFILTRATION TRENCH & EROSION CONTROL	INSPECTED BY	DATE
40 FISHER	INSPECTED BY	DATE
1310 THOMAS P KRABEY	1/2/2013	

EXISTING INFILTRATION TRENCH COVERED  
 WITH HAYBALES & SILT FENCE  
 (SLOPE TRENCH & PIPING TOWARDS DRYWELL)

EXISTING GROUNDWATER RECHARGE SYSTEM  
 6" DIA. CONCRETE DRYWELL CHAMBER  
 EMBEDDED IN STONE FIELD  
 INV = 73.25'  
 INV OUT = 76.50'

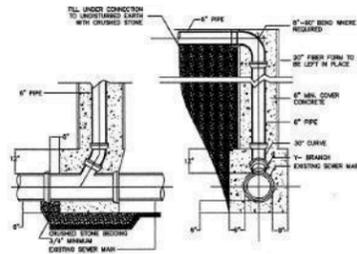


CONTACT: JASON SAVAGE MODIFICATION OF BWSC APPROVED SITE PLAN #08244

SITE PLAN # 08-244  
 36 & 40 FISHER AVENUE  
 MISSION HILL, MA 02120-3319  
 FOR  
 THIRTY6-40 FISHER AVE LLC

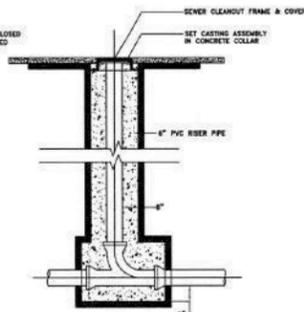
CIVIL ENVIRONMENTAL CONSULTANTS  
 8 OAK STREET PEABODY, MA 01960 (978)531-1191

SHEET NO: 1 OF 2 DATE: 3/24/2014 JOB: 3192  
 REVISED 1/30/2015 DRAWN BY: L.J.B.

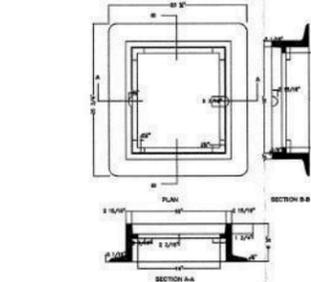


Sewer Service Connection to (E) Sewer

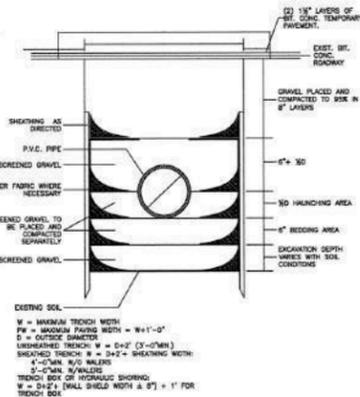
NOTE: CLEANOUT TOP SHALL BE ENCLOSED IN CASTING AND/OR FABRICATED COVER ASSEMBLY.



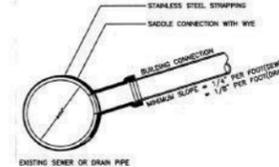
In-line Sewer Cleanout



Sewer Cleanout Frame & Cover

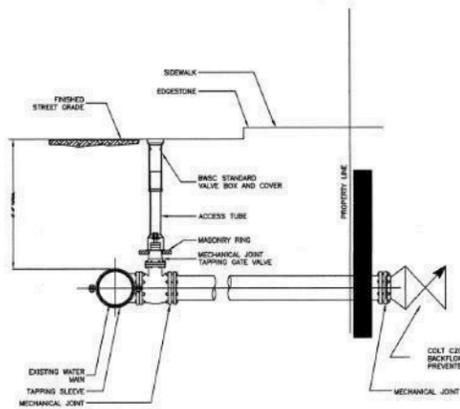


Trench Detail for PVC Pipe

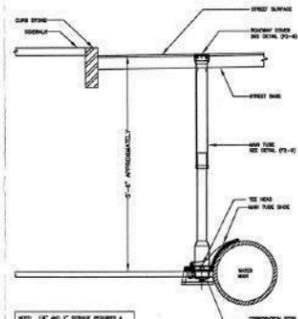


Drain Service Connection to (E) Drain

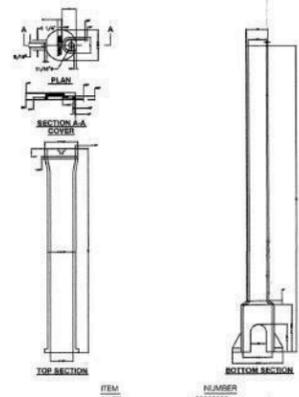
NOTES:  
 1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.  
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH TORQUE SADDLES WILL NOT BE CONSIDERED ON THE PIPE.  
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.  
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.  
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.



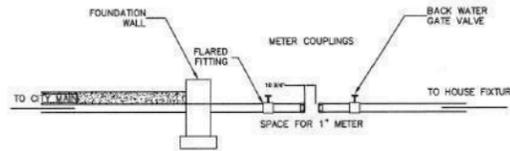
Tapping Sleeve & Gate Valve



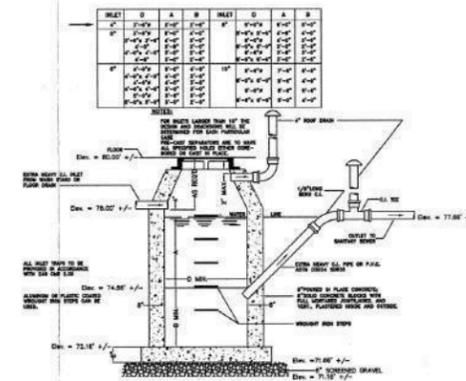
Water Connection Details for 1-1/2" and 2" Service Pipes



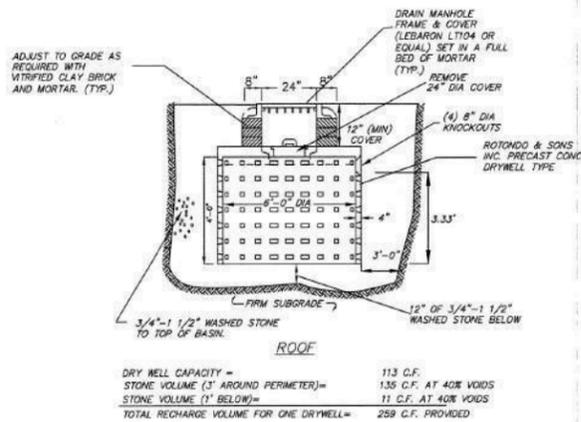
Curb Box Details



Water Meter Plumbing Details

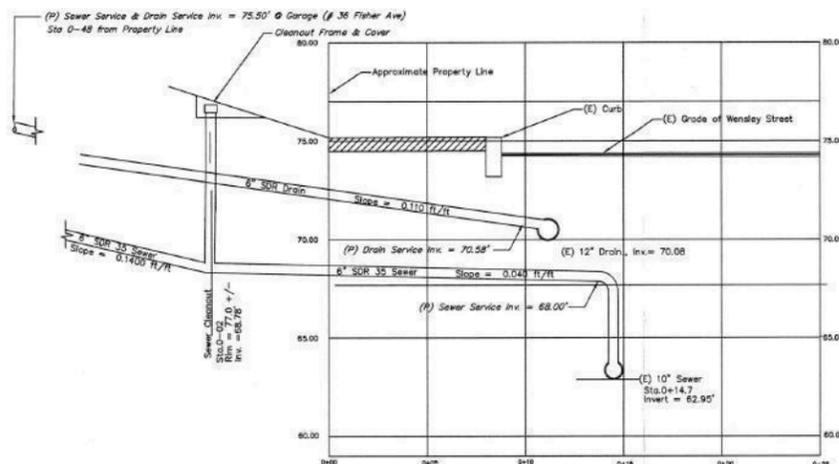


Oil & Grease Separator Details

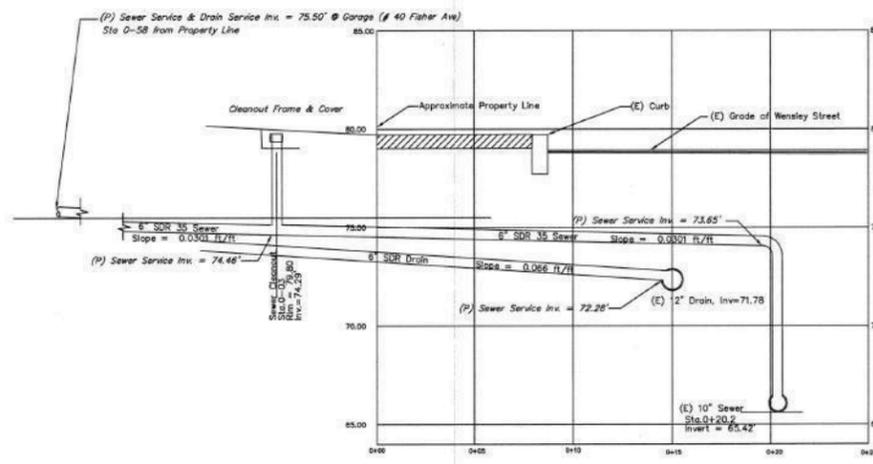


DRY WELL CAPACITY = 113 C.F.  
 STONE VOLUME (3" AROUND PERIMETER) = 135 C.F. AT 40% VOIDS  
 STONE VOLUME (1" BELOW) = 11 C.F. AT 40% VOIDS  
 TOTAL RECHARGE VOLUME FOR ONE DRYWELL = 259 C.F. PROVIDED

DRY WELL DETAIL - SOLID COVER  
 NOT TO SCALE



Sewer Service Profile - 36 Fisher Ave



Sewer Service Profile - 40 Fisher Ave

**HAYES & ASSOCIATES**  
 Civil Engineers  
 40 Harrison Avenue, Woburn MA 01801  
 (781) 998-0246



REVISIONS

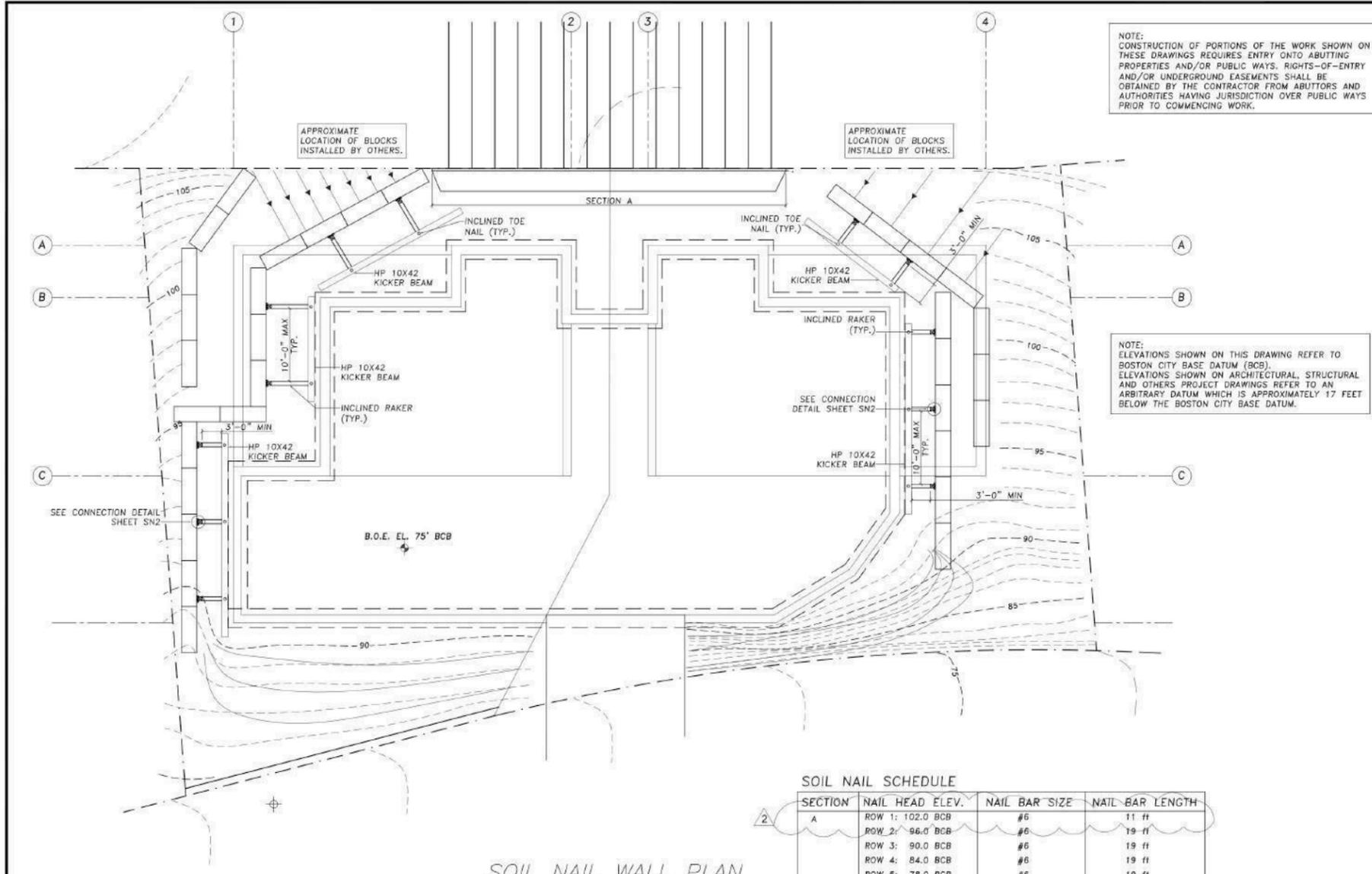
NO.	DATE	DESCRIPTION
1	1-20-09	ISSUED FOR REVIEW
2	1-11-11	REVISED DETAILS TO INCLUDE OIL/WATER SEPARATOR
3		
4		
5		
6		
7		
8		
9		
10		

SCALE  
 NTS

**PROPOSED DEVELOPMENT**  
 36 & 40 FISHER AVE  
 MISSION HILL, MA 02120  
 JANUARY 18, 2009

HA 08-189  
 SITEPLAN#  
 08-244

SHEETS  
**2**



NOTE:  
CONSTRUCTION OF PORTIONS OF THE WORK SHOWN ON THESE DRAWINGS REQUIRES ENTRY ONTO ADJUTING PROPERTIES AND/OR PUBLIC WAYS, RIGHTS-OF-ENTRY AND/OR UNDERGROUND EASEMENTS SHALL BE OBTAINED BY THE CONTRACTOR FROM ADJUTORS AND AUTHORITIES HAVING JURISDICTION OVER PUBLIC WAYS PRIOR TO COMMENCING WORK.

NOTE:  
ELEVATIONS SHOWN ON THIS DRAWING REFER TO BOSTON CITY BASE DATUM (BCB).  
ELEVATIONS SHOWN ON ARCHITECTURAL, STRUCTURAL AND OTHERS' PROJECT DRAWINGS REFER TO AN ARBITRARY DATUM WHICH IS APPROXIMATELY 17 FEET BELOW THE BOSTON CITY BASE DATUM.

**GENERAL NOTES**

BASE PLAN WERE TAKEN FROM SURVEY PLANS PREPARED BY DAVID GOSSELIN + ASSOCIATES ENTITLED "RECORD CONDITIONS PLAN OF LAND", SHEET C-1.01, DATED JANUARY 11, 2008 AND "BOUNDARY RETRACEMENT PLAN OF LAND", SHEET C-1.02, DATED JUNE 05, 2008 AND PROJECT PLAN PREPARED BY HAYES & ASSOCIATES, ENTITLED "PROPOSED DEVELOPMENT, 36 & 40 FISHER AVENUE", SHEET 1, DATED DECEMBER 18, 2008 AND PROJECT PLAN PREPARED BY HRESKO ASSOCIATES, INC. ENTITLED "36-40 FISHER AVENUE, GARAGE LEVEL", SHEET A-1.00, DATED OCTOBER 19, 2011.

SOIL CONDITIONS AND PARAMETERS USED IN THE DESIGN WERE ASSUMED BASED ON LIMITED AVAILABLE SUBSURFACE INFORMATION. IT IS PRESUMED THE RETAINED SOIL CONSISTS OF DENSE TO VERY DENSE SAND/SILT (GLACIAL TILL). SHOULD FIELD CONDITIONS VARY FROM THOSE ASSUMED, NOTIFY DESIGN ENGINEER IMMEDIATELY.

VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING SOIL NAIL INSTALLATION. SHOULD UTILITIES INTERFERE WITH THE CONSTRUCTION OF ANY WORK SHOWN ON THIS DRAWING, NOTIFY THE DESIGN ENGINEER IMMEDIATELY SO THAT MODIFICATIONS TO THE WORK CAN BE MADE.

DESIGN SECTIONS ARE VALID FOR THE MAXIMUM HEIGHTS SHOWN FOR EACH SECTION ONLY.

EXCAVATION TO THE LIMITS AND DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE REVIEWED BY THE GENERAL CONTRACTOR'S "COMPETENT PERSON" AS DEFINED BY OSHA REQUIREMENT. SHOULD BENCHING BE UNSTABLE OR IN ANY WAY NOT FOUND TO BE IN COMPLIANCE WITH OSHA REQUIREMENTS, MODIFY BENCHING AS NEEDED, INCLUDING BUT NOT LIMITED TO, CUTTING AND MAINTAINING FLATTENED BACKSLOPES OR OTHER MEANS. SHOULD CHANGES IN THE GEOMETRY BE REQUIRED, NOTIFY THE DESIGN ENGINEER IMMEDIATELY AND REQUEST AN ASSESSMENT OF THE OVERALL EXCAVATION STABILITY.

SOIL NAIL MATERIAL REQUIREMENTS  
SHOTCRETE: F'C = 4000 PSI AT 28 DAYS  
WELDED WIRE FABRIC: 4" X 4" - W2.9xW2.9  
NAIL GROUT: F'C = 4000 PSI AT 28 DAYS  
NAIL BARS: ASTM A 615 (GRADE 75)  
STEEL PLATES: ASTM A 36  
ALL NAIL BARS SHALL BE UNCOATED.

BARS HAVE BEEN SIZED FOR THE MAXIMUM NAIL LOAD USING 60% OF YIELD STRENGTH OF THE BAR. ALL SOIL NAILS SHALL BE #6 CONTINUOUS THREADED BARS, UNLESS NOTED OTHERWISE.

CONSTRUCTION SEQUENCE:  
EXCAVATE 1:10 SLOPED FACE AS INDICATED. EXTEND NO MORE THAN FOUR FEET BELOW THE LEVEL OF THE NEXT UNINSTALLED ROW OF NAILS.

INSTALL 4-INCH THICK(NOM.) SHOTCRETE TO LINES AND THICKNESS SHOWN.

INSTALL NAILS AT LOCATIONS INDICATED. ATTACH PLATES AND NUTS. NUTS TO BE HAND TIGHTENED USING 18" PIPE WRENCH.

EXCAVATE NEXT LIFT AFTER NAIL GROUT AND SHOTCRETE HAVE REACHED 50 PERCENT OF THE REQUIRED 28-DAY COMPRESSIVE STRENGTH.

TOLERANCES: NAIL LOCATIONS: +/- 6 INCHES;  
NAIL INCLINATION: +/- 3 DEGREES  
NAIL LENGTH: +/- 6 INCHES (DRILLED LENGTH)

IF BEDROCK IS ENCOUNTERED PRIOR TO REACHING DESIGN LENGTH, SHORTEN NAILS AND PROVIDE MINIMUM 3 FOOT EMBEDMENT INTO SOUND BEDROCK.

SHOTCRETE THICKNESS: NO LESS THAN NOMINAL THICKNESS: 4" MINIMUM SOIL NAIL WALL.

**NAIL PROOF TEST**

PROOF TEST ONE NAIL TO VERIFY THE ADHESION USED IN THE DESIGN. PROOF TEST NAIL SHALL BE LOCATED IN THE TOP TIER WITH LOCATION DETERMINED IN THE FIELD AND SELECTED TO BE REPRESENTATIVE OF THE CONDITIONS ENCOUNTERED.

PROOF TEST NAIL SHALL HAVE BOTH BONDED AND UNBONDED PORTIONS. BONDED LENGTHS SHALL BE AT LEAST 8 FEET AND UNBONDED LENGTHS SHALL BE AT LEAST 12 FEET. A PLASTIC BOND BREAKER SHALL BE USED ON THE UNBONDED LENGTH. PROOF TESTS SHALL BE PERFORMED BY INCREMENTALLY LOADING THE NAIL TO 133 PER CENT OF THE TEST LOAD. LOAD SHALL BE APPLIED BY A CALIBRATED HYDRAULIC JACK; NAIL HEAD MOVEMENT SHALL BE MEASURED USING A STATIONARY MICROMETER DIAL GAUGE CAPABLE OF MEASURING TO 0.001". LOADING SHALL BE DONE IN INCREMENTS AS FOLLOWS:

- AL
- 0.25xTL
- 0.50xTL
- 0.75xTL
- 1.00xTL
- 1.20xTL
- 1.50xTL

AL = ALIGNMENT LOAD (NOT TO EXCEED 5% OF THE TEST LOAD)  
TL = TEST LOAD: 6.0 k/ft X BONDED LENGTH (30k FOR 5 ft.)

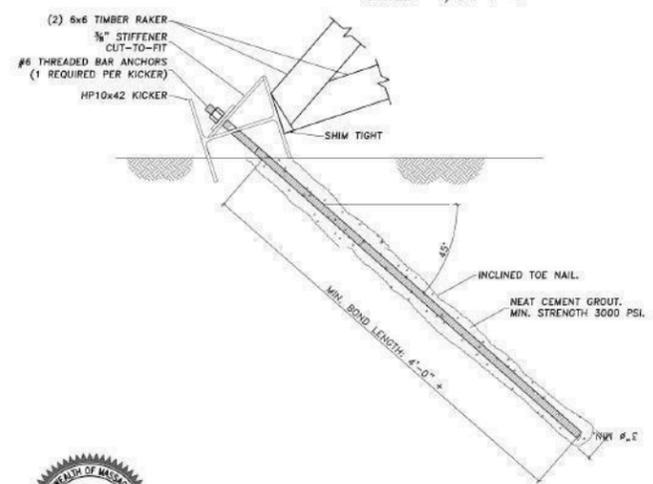
AT LOAD INCREMENTS OTHER THAN THE MAXIMUM LOAD, THE INCREMENT OF LOAD SHALL BE HELD LONG ENOUGH TO OBTAIN A STABLE READING. AT THE MAXIMUM LOAD, THE LOAD SHALL BE HELD CONSTANT FOR AT LEAST 5 MINUTES AND THE NAIL HEAD MOVEMENT SHALL BE MEASURED AND RECORDED AT THE FOLLOWING INTERVALS: 1, 2, 3, 5, 6, AND 10 MINUTES. WHERE NAIL HEAD MOVEMENT BETWEEN 1 MINUTE AND 10 MINUTES EXCEEDS 0.04 INCH, THE MAXIMUM TEST LOAD SHALL BE MAINTAINED AN ADDITIONAL 50 MINUTES. NAIL HEAD MOVEMENT SHALL BE MEASURED AND RECORDED AT THE FOLLOWING INTERVALS: 20 MINUTES, 30, 40, 50, AND 60 MINUTES. SHOULD NAIL HEAD MOVEMENT BETWEEN 6 MINUTES AND 60 MINUTES EXCEED 0.08 INCH, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.

**SOIL NAIL SCHEDULE**

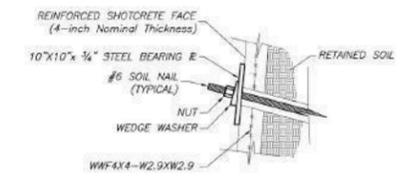
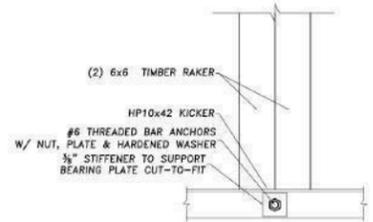
SECTION	NAIL HEAD ELEV.	NAIL BAR SIZE	NAIL BAR LENGTH
A	ROW 1: 102.0 BCB	#6	11 ft
	ROW 2: 96.0 BCB	#6	19 ft
	ROW 3: 90.0 BCB	#6	19 ft
	ROW 4: 84.0 BCB	#6	19 ft
	ROW 5: 78.0 BCB	#6	19 ft

**SOIL NAIL WALL PLAN**  
SCALE: 1/8" = 1'-0"

NOTE:  
TEMPORARY EARTH BERMS AND CONCRETE BLOCK WALLS TO BE REMOVED IN STAGES. CONSTRUCT SOIL NAIL WALL IN HORIZONTAL BENCHES AS INDICATED IN GENERAL NOTES.



**KICKER DETAIL**  
NOT TO SCALE



**NAIL HEAD DETAIL**  
NOT TO SCALE

REGISTRY USE ONLY

**RICHARD PIZZI**  
3264  
DESIGN ENGINEER (REGISTERED P.E.)

CHECKED FOR GENERAL DESIGN AND CONFORMITY TO CITY STANDARDS  
PUBLIC IMPROVEMENT COMMISSION

PUBLIC WORKS DEPARTMENT  
CHIEF ENGINEER APPROVED:

COMMISSIONER OF PUBLIC WORKS APPROVED:

PREPARED BY: GEOTECHNICAL CONSULTANTS, INC. MARLBOROUGH, MA  
COMPUTED BY: R. PIZZI  
DRAWN BY: AR / CdL  
CHECKED BY: RP  
DATE: 27 SEPTEMBER 2012

REV.	DATE
2	18 OCTOBER 2012
1	27 SEPTEMBER 2012

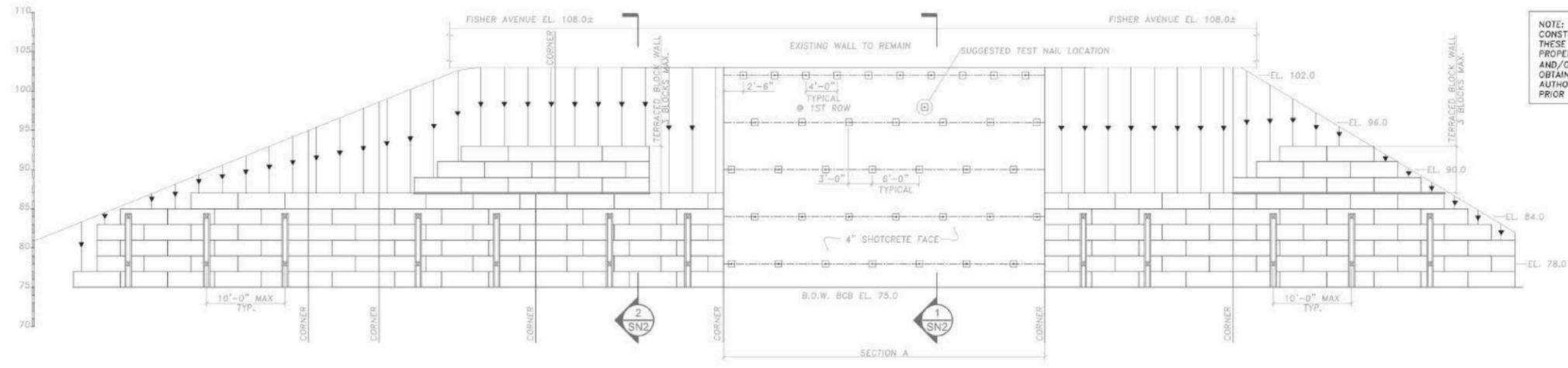
CITY OF BOSTON PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION  
TEMPORARY EARTH SUPPORT SYSTEM  
SOIL NAIL WALL & SHORING  
PLAN & ELEVATION VIEW, TYPICAL SECTION AND DETAILS  
36 & 40 FISHER AVENUE  
MISSION HILL NEIGHBORHOOD, BOSTON, MASSACHUSETTS

SCALE: AS NOTED SHEET 1 OF 2

DIVISION ENGINEER SEPTEMBER 2012

NOTE:  
CONSTRUCTION OF PORTIONS OF THE WORK SHOWN ON THESE DRAWINGS REQUIRES ENTRY ONTO ABUTTING PROPERTIES AND PUBLIC WAYS. RIGHTS-OF-ENTRY AND/OR UNDERGROUND EASEMENTS SHALL BE OBTAINED BY THE CONTRACTOR FROM ABUTTORS AND AUTHORITIES HAVING JURISDICTION ON OVER PUBLIC WAYS PRIOR TO COMMENCING WORK.

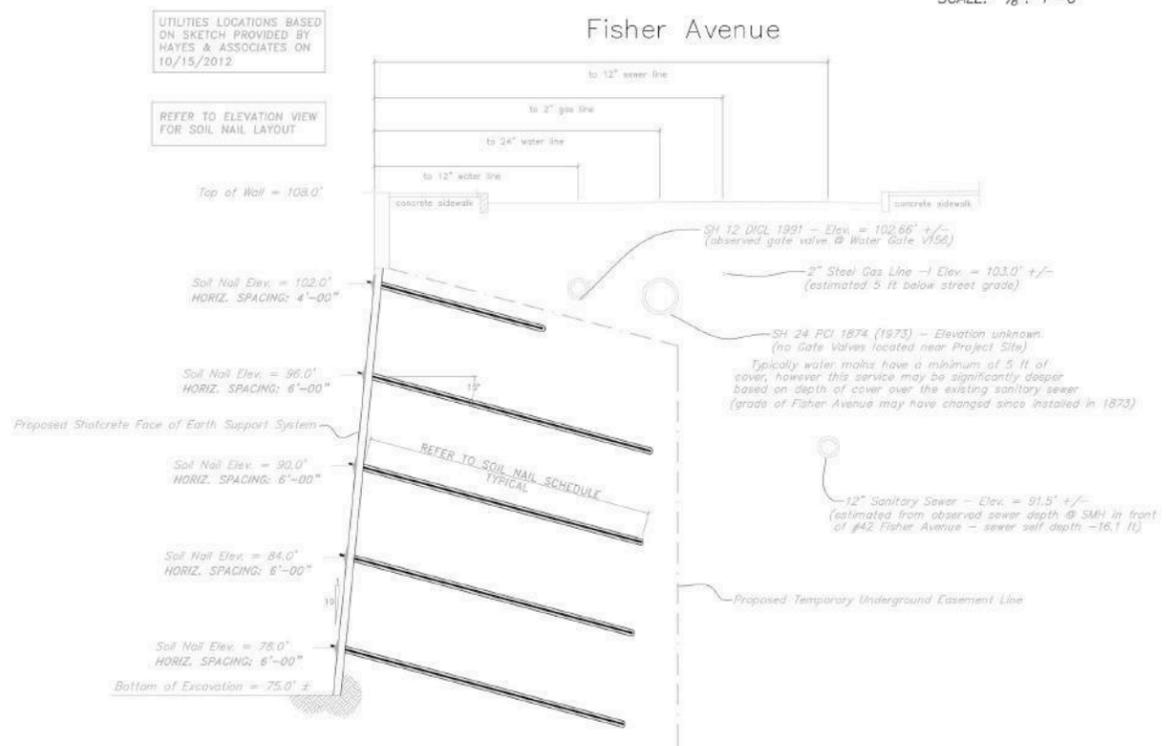
NOTE:  
ELEVATIONS SHOWN ON THIS DRAWING REFER TO BOSTON CITY BASE DATUM (BCB). ELEVATIONS SHOWN ON ARCHITECTURAL, STRUCTURAL AND OTHERS PROJECT DRAWINGS REFER TO AN ARBITRARY DATUM WHICH IS APPROXIMATELY 17 FEET BELOW THE BOSTON CITY BASE DATUM.



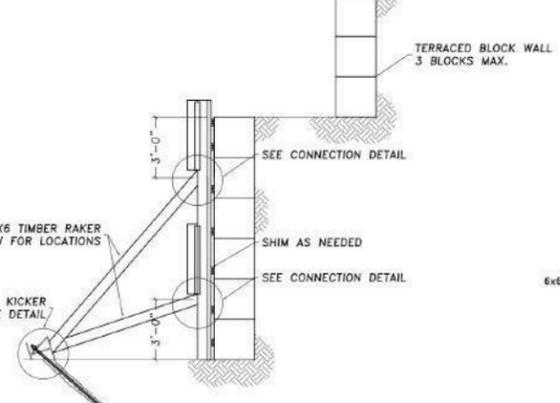
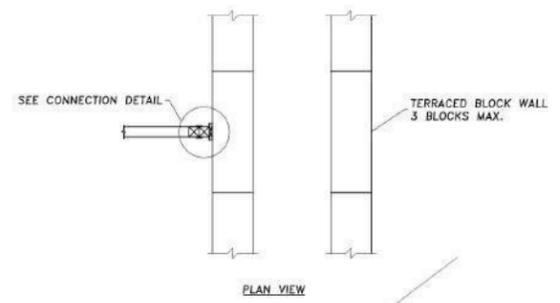
**SOIL NAIL WALL ELEVATION VIEW**  
SCALE: 1/8" = 1'-0"

UTILITIES LOCATIONS BASED ON SKETCH PROVIDED BY HAYES & ASSOCIATES ON 10/15/2012

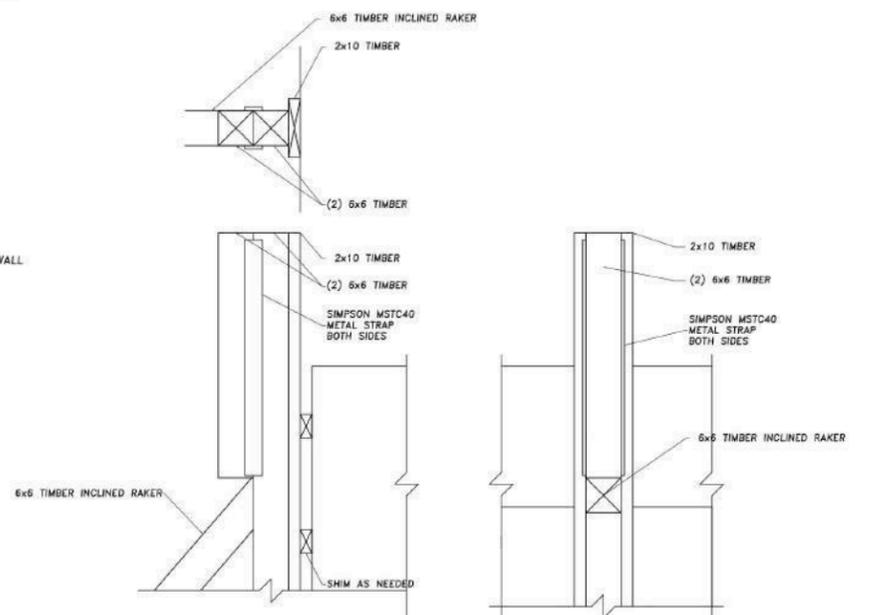
REFER TO ELEVATION VIEW FOR SOIL NAIL LAYOUT



**TYPICAL SECTION 1 SN2**  
SCALE: 3/16" = 1'-0"



**TYPICAL SECTION 2 SN2**  
NOT TO SCALE



**CONNECTION DETAIL**  
NOT TO SCALE

REV.	DATE
3	16 OCTOBER 2012
2	
1	27 SEPTEMBER 2012

REGISTRY USE ONLY



DESIGN ENGINEER (REGISTERED P.E.)

CHECKED FOR GENERAL DESIGN AND CONFORMITY TO CITY STANDARDS

PUBLIC WORKS DEPARTMENT

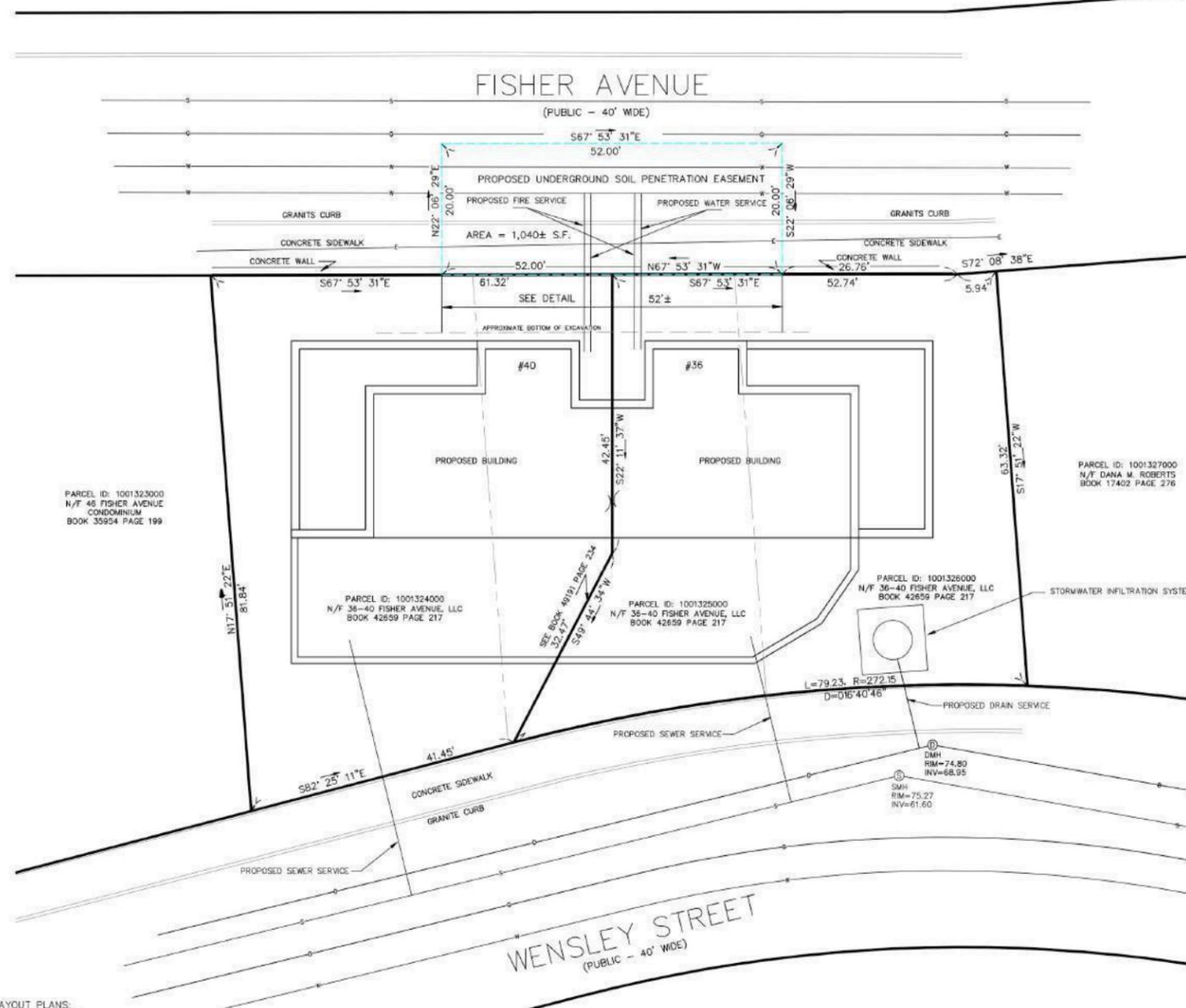
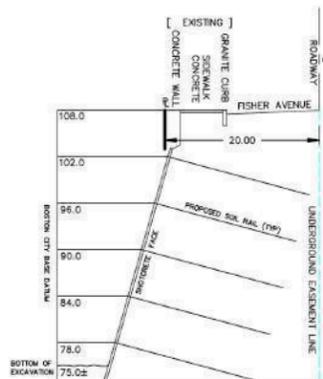
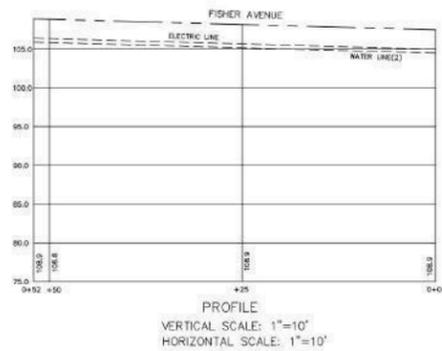
PUBLIC IMPROVEMENT COMMISSION

CHIEF ENGINEER APPROVED:

COMMISSIONER OF PUBLIC WORKS APPROVED:

PREPARED BY: GEOTECHNICAL CONSULTANTS, INC. MARLBOROUGH, MA  
COMPUTED BY: R. PIZZI  
DRAWN BY: AR / CdL  
CHECKED BY: RP  
DATE: 27 SEPTEMBER 2012

CITY OF BOSTON PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION  
TEMPORARY EARTH SUPPORT SYSTEM  
SOIL NAIL WALL & SHORING  
PLAN & ELEVATION VIEW, TYPICAL SECTION AND DETAILS  
38 & 40 FISHER AVENUE  
MISSION HILL NEIGHBORHOOD, BOSTON, MASSACHUSETTS  
SCALE: AS NOTED SHEET 2 OF 2  
DIVISION ENGINEER SEPTEMBER 2012



**LEGEND**

- ⊕ DMH DRAIN MANHOLE
- ⊙ SMH SEWER MANHOLE
- S — UNDERGROUND SEWER
- D — UNDERGROUND DRAIN
- W — UNDERGROUND WATER
- G — UNDERGROUND GAS
- E — UNDERGROUND ELECTRIC

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

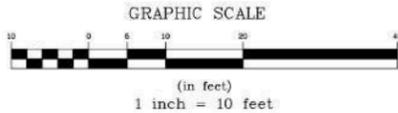
BY: \_\_\_\_\_  
REGISTERED PROFESSIONAL LAND SURVEYOR  
MASSACHUSETTS REGISTRATION NUMBER 37047

**PLAN REFERENCES:**

- CITY OF BOSTON STREET LAYOUT PLANS: L1915, L1916, L2966, L4169, L4936 & L7162
  - PLAN OF THE FISHER ESTATE BOOK 2242 PAGE 417
  - BOUNDARY RETRACEMENT PLAN OF LAND TO ACCOMPANY A SUBDIVISION APPROVAL REQUEST BOOK 2012 PAGE 70 SEE BOOK 49191 PAGE 234
  - UTILITIES SHOWN HEREON ARE SCALED FROM CITED PLANS AND ARE APPROXIMATE.
- NOTE:
- SEE PLAN PREPARED FOR NRC CONTRACTING CORP., 40 WILLARD STREET, QUINCY, MASS. DATED AUGUST 27, 2012 REVISED SEPTEMBER 26, 2012 PREPARED BY GEOTECHNICAL CONSULTANTS, INC.
  - SEE PLAN PREPARED BY HAYES ASSOCIATES DATED DECEMBER 18, 2008 SCALE: 1"=10' PROPOSED DEVELOPMENT 36 & 40 FISSON AVENUE, MISSION HILL, MA
  - WATER LINE AND ELECTRIC LINE DEPTHS ARE APPROXIMATE AND SHOWN FOR ILLUSTRATED PURPOSES ONLY.
  - THIS PLAN WAS PREPARED FROM AN ON THE GROUND INSTRUMENT SURVEY CONDUCTED BY SPATIALDATA & DESIGN ON FEBRUARY 18, 2011.

PUBLIC IMPROVEMENT COMMISSION      CHECKED FOR GENERAL DESIGN AND CONFORMITY TO CITY STANDARDS      APPROVED

CHIEF ENGINEER      PUBLIC WORKS DEPARTMENT      COMMISSIONER OF PUBLIC WORKS



**SDD** PREPARED BY:  
Spatial DATA & Design  
90 MAIN STREET  
MILLSBORO, MA 01927  
PHONE (508) 277-6738  
www.sddfirm.com

Designed By: \_\_\_\_\_ Drawn by: DRP Checked by: RFG

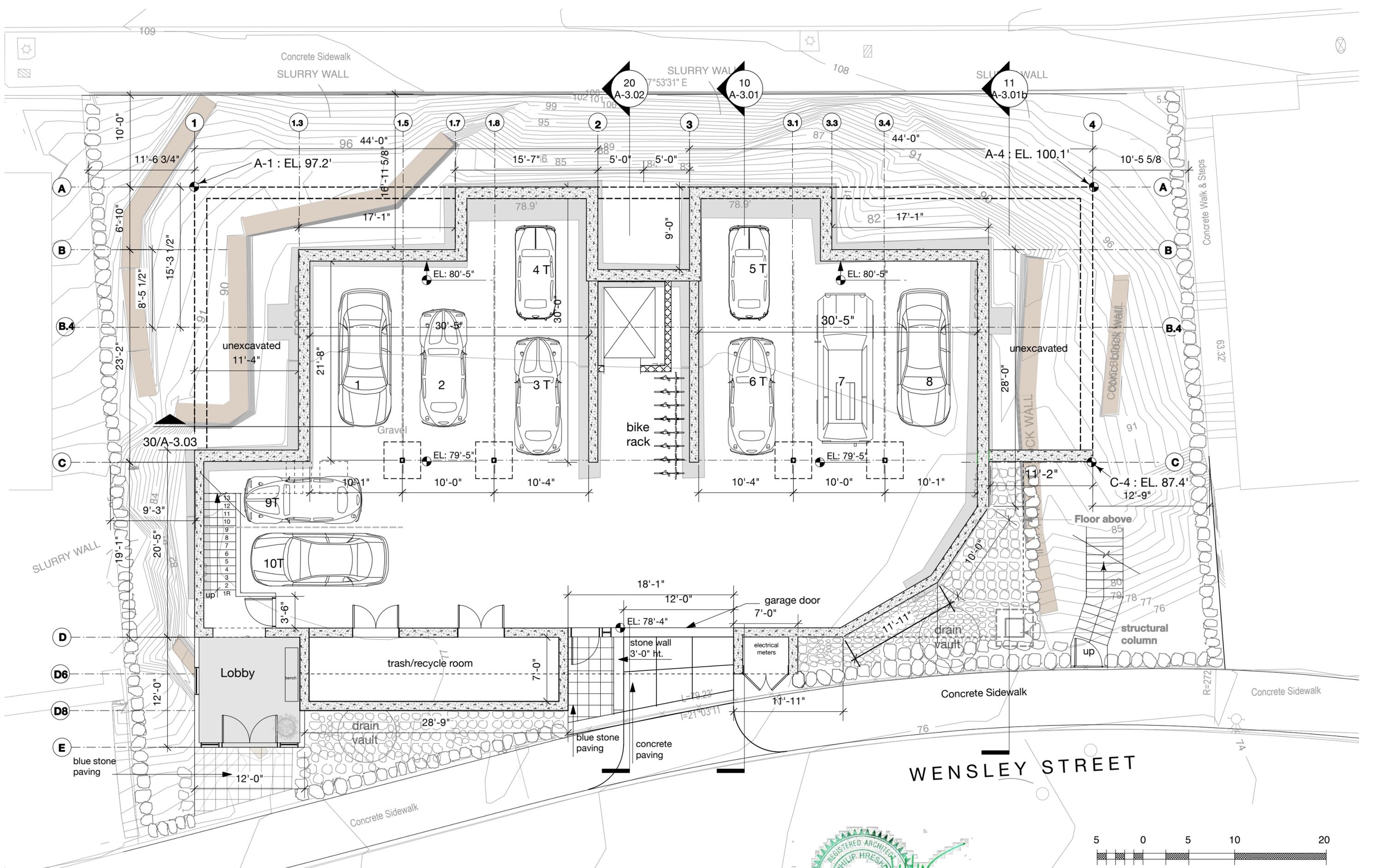
PLAN SHOWING THE INSTALLATION OF SOIL PENETRATION NAILS IN FISHER AVENUE

CITY OF BOSTON      PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

**UNDERGROUND SOIL PENETRATION EASEMENT**  
36 & 40 FISHER AVENUE  
ROXBURY, MASSACHUSETTS

SCALE: AS NOTED

DIVISION ENGINEER      OCTOBER 3, 2012



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# 40 Fisher Avenue

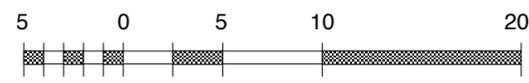
Boston, Massachusetts

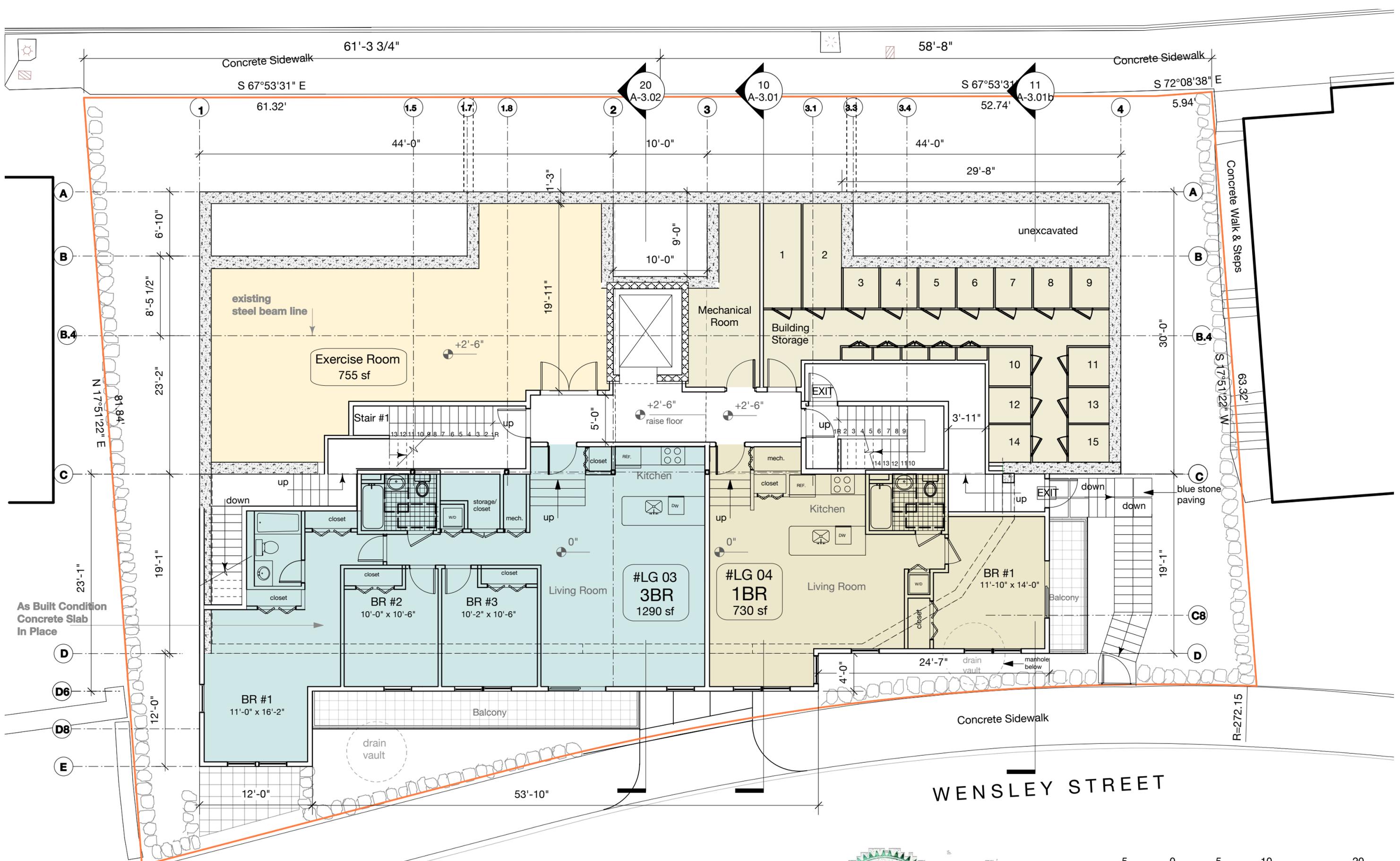


**Garage Level**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"

Revision:  
 23 March 2015

#25-15  
**A**  
**1.00**





As Built Condition  
Concrete Slab  
In Place

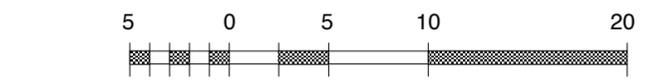
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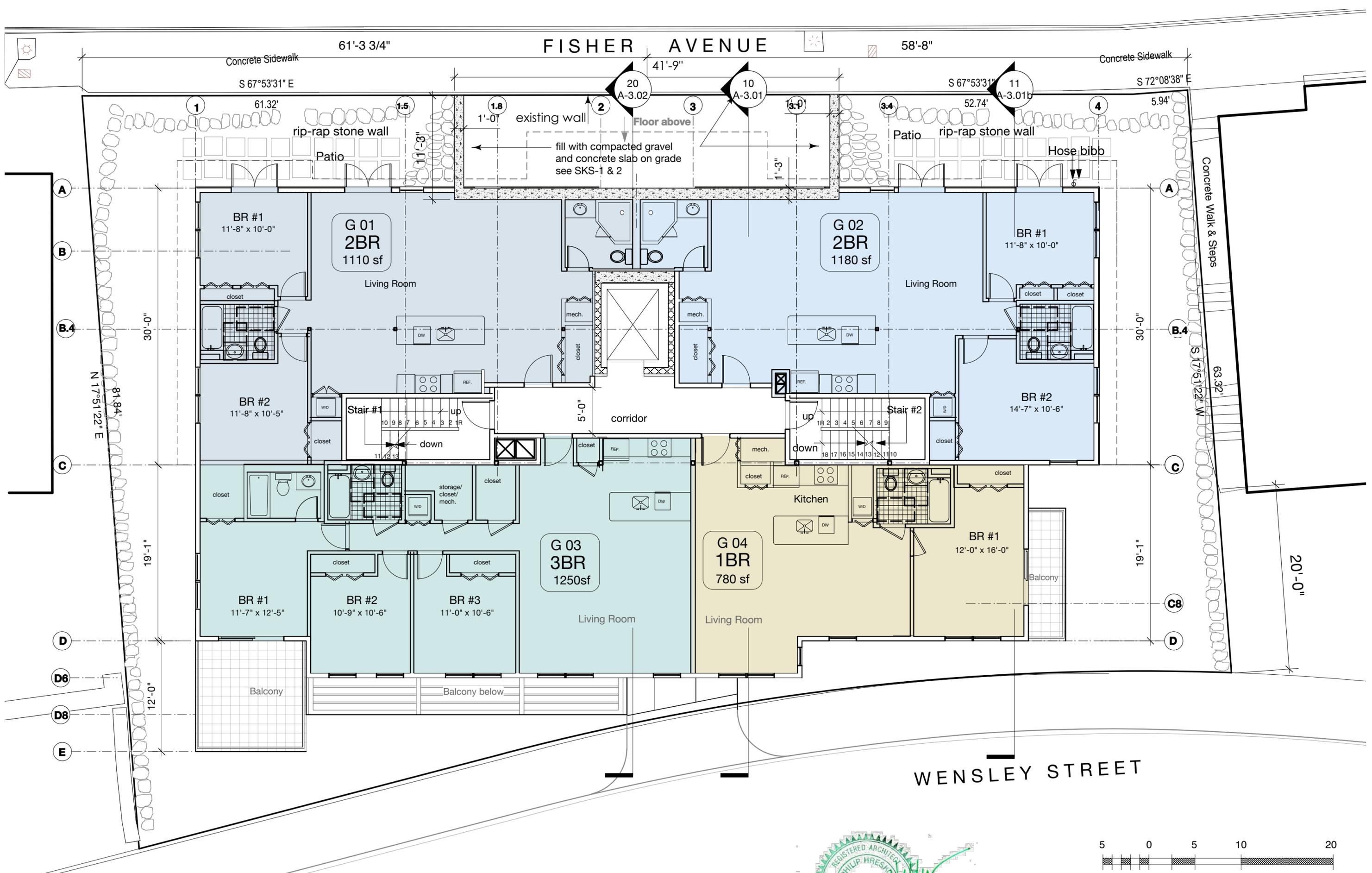
# 40 Fisher Avenue

Boston, Massachusetts



**Lower Garden Level**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision:  
 23 March 2015

#25-15  
**A**  
**1.01**



# 40 Fisher Avenue

Boston, Massachusetts

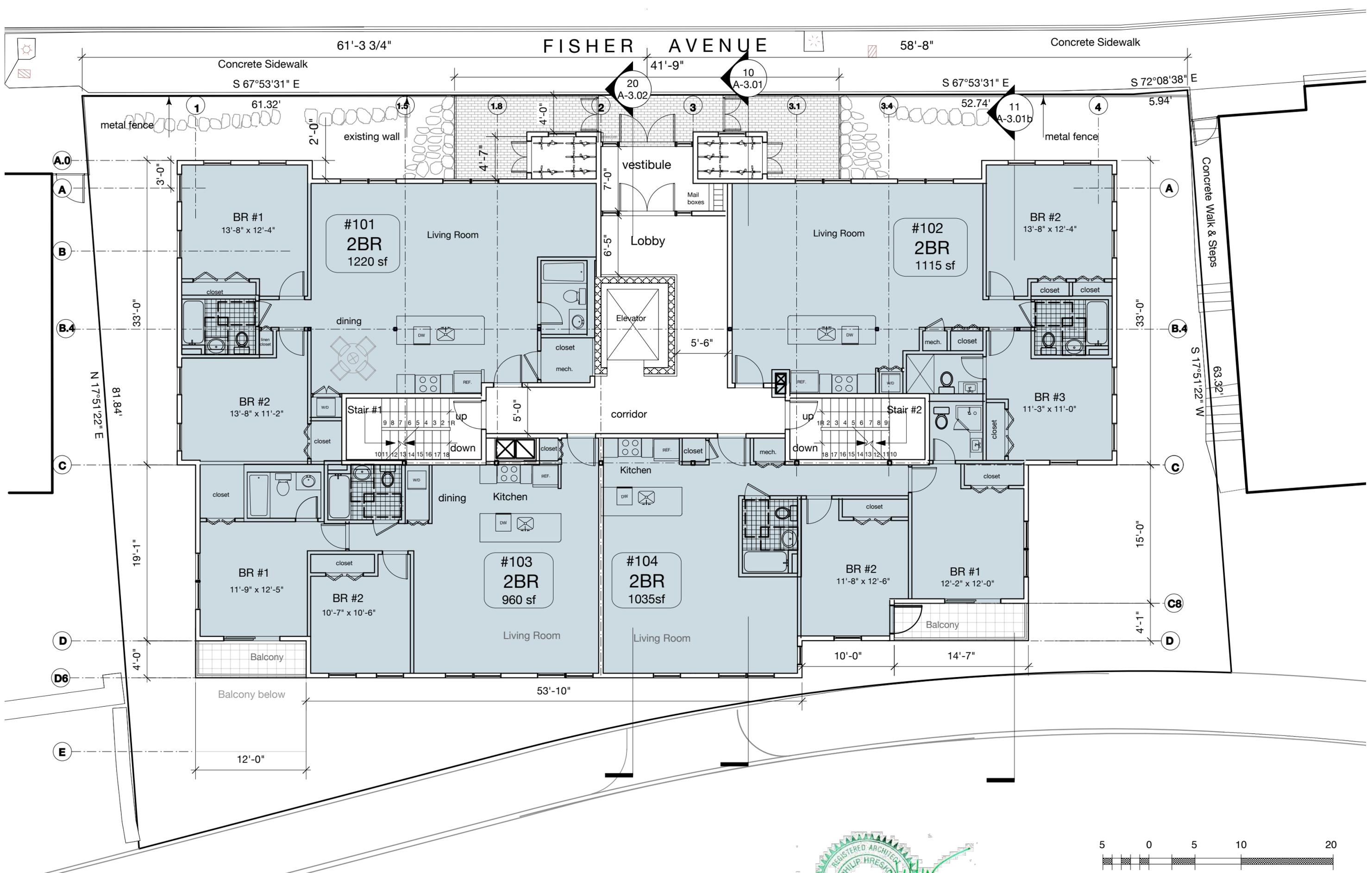


**Garden Level**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision: 23 March 2015

#25-15  
**A**  
**1.02**

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 SAVAGE PROPERTIES LLC  
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# 40 Fisher Avenue

Boston, Massachusetts



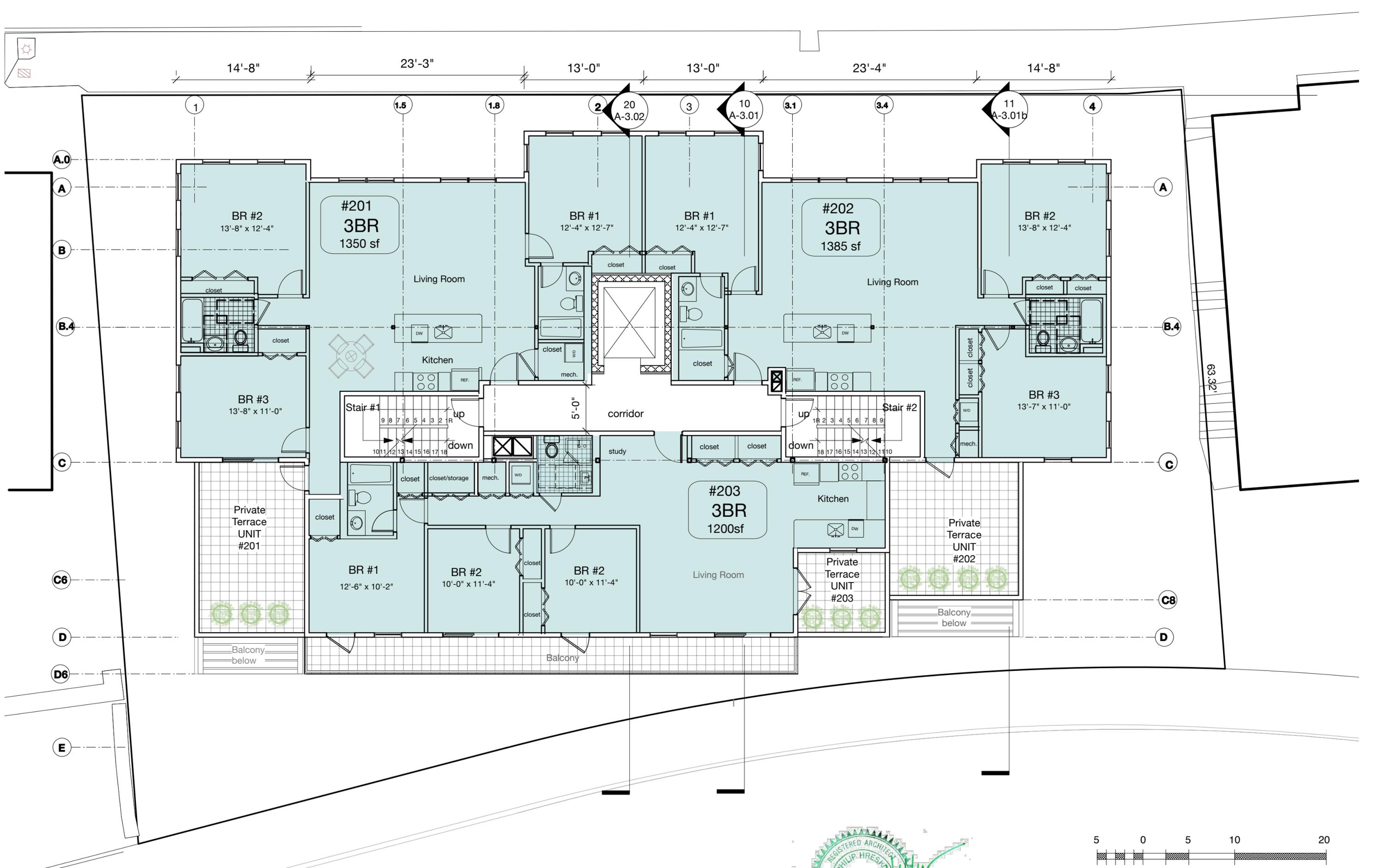
**1st Floor Plan**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision: 23 March 2015

#25-15  
**A**  
**1.03**

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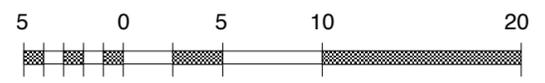
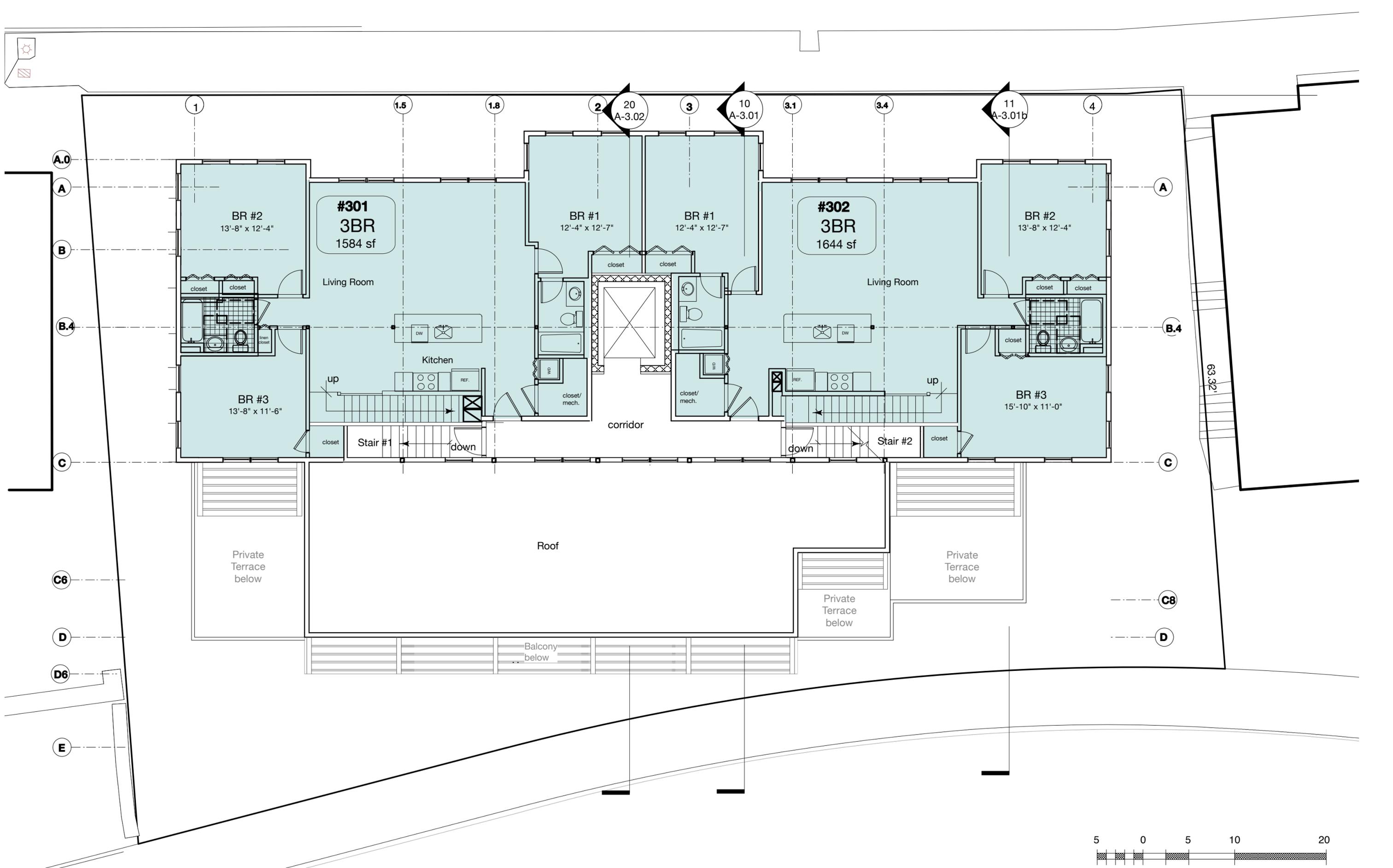
# 40 Fisher Avenue

Boston, Massachusetts



**2nd Floor Plan**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision:  
 23 March 2015

#25-15  
**A**  
**1.04**



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# 40 Fisher Avenue

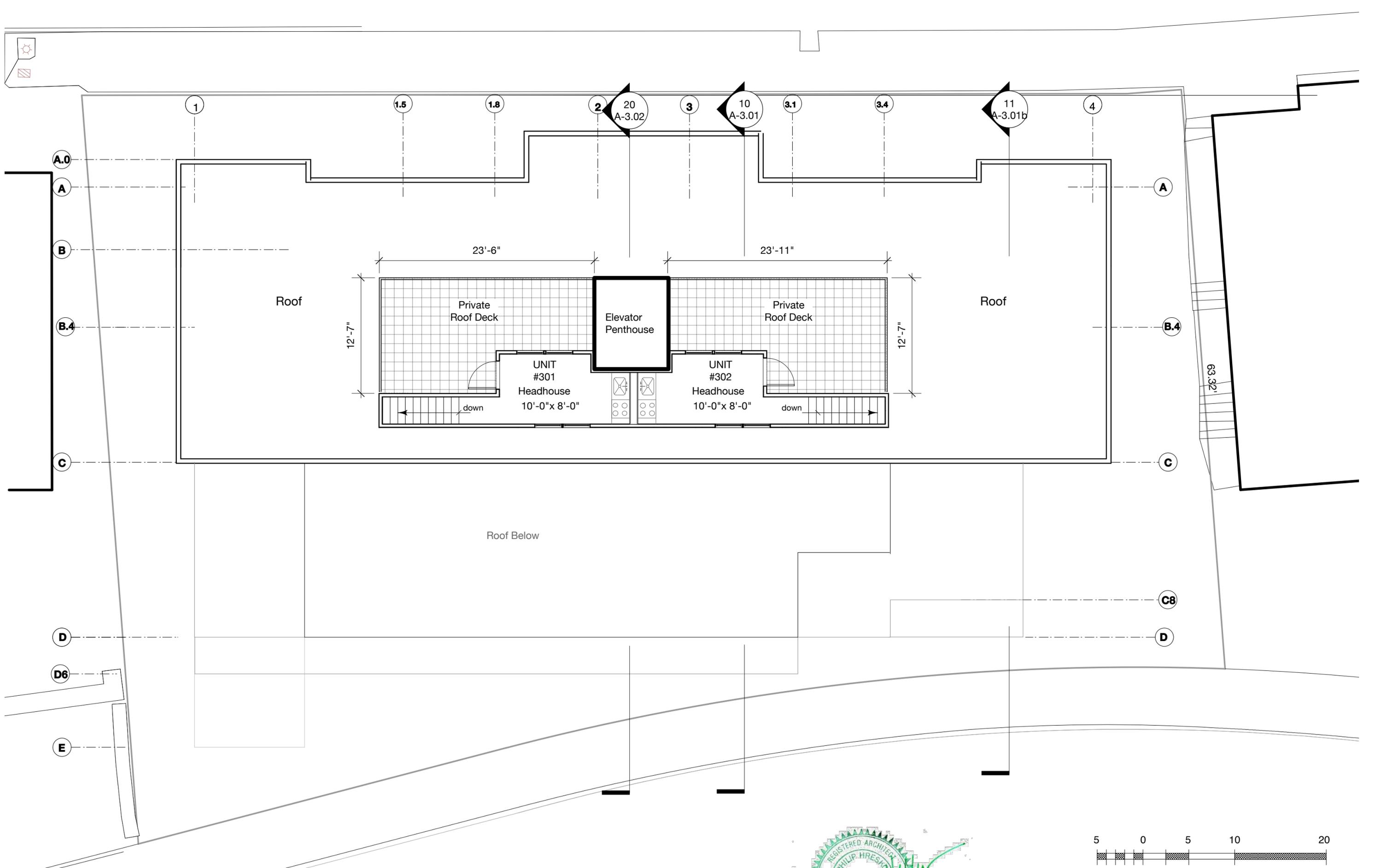
Boston, Massachusetts



**3rd Floor Plan**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"

Revision:  
 23 March 2015

#25-15  
**A**  
**1.05**



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# 40 Fisher Avenue

Boston, Massachusetts



**Roof Plan**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision:  
 23 March 2015

#25-15  
**A**  
**1.06**

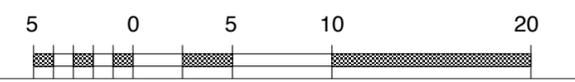


Fisher Avenue

sidewalk

property line

property line



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# 40 Fisher Avenue

Boston, Massachusetts

**North Elevation**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision:  
 10 April 2015

#25-15  
**A**  
**2.01**



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# 40 Fisher Avenue

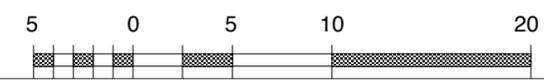
Boston, Massachusetts

## South Elevation

Date: 23 December 2014  
 Scale: 1/8"=1'-0"

Revision:  
 10 April 2015

#25-15  
**A**  
**2.02**



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# 40 Fisher Avenue

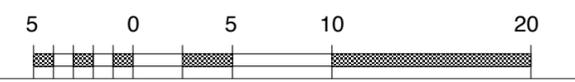
Boston, Massachusetts

**West Elevation**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"

Revision:  
 10 April 2015

#25-15  
**A**  
**2.03**

E D.6 D C.8 C B.4 B A



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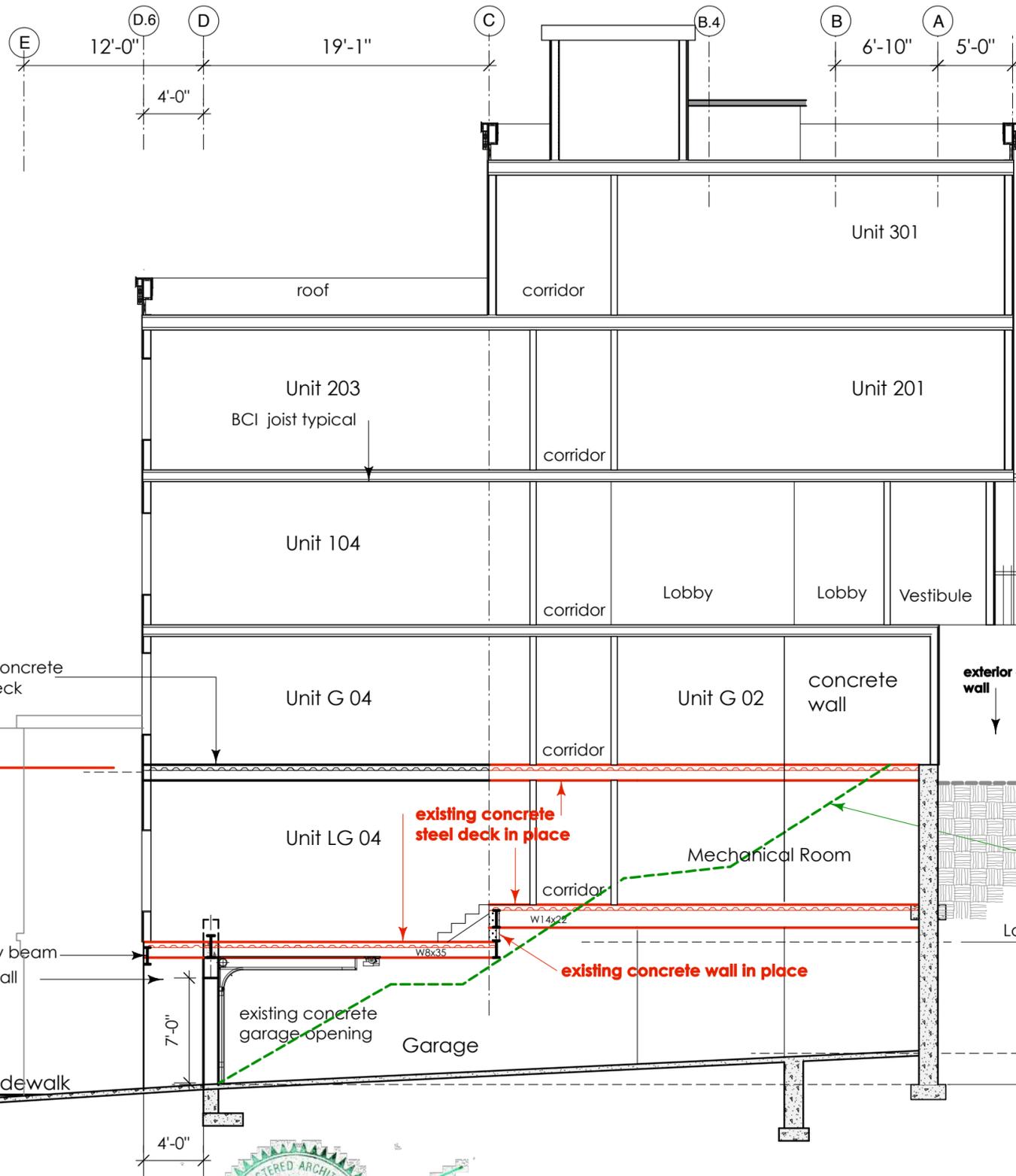


# 40 Fisher Avenue

Boston, Massachusetts

**East Elevation**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"  
 Revision:  
 10 April 2015

#25-15  
**A**  
**2.04**



4 story

3 story

2 story

1 story

PODIUM LEVEL

Roof  
EL: 140'-0"  
10'-4"  
3rd Floor  
EL: 129'-8"  
10'-4"  
2nd Floor  
EL: 119'-4"  
10'-4"  
Street Level  
EL: 109'-0"  
9'-4"  
Garden Level  
EL: 99'-8"  
9'-4"  
Lower Garden Level  
EL: 90'-4"  
9'-11"  
Garage  
EL: 80'-5"  
Garage Door  
EL: 78'-4"

Fisher Avenue

Wensley Street



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1077 BOSTON STREET, BOSTON, MA 02110  
WWW.SAVAGEPROPERTIES.NET



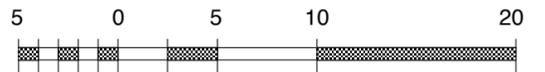
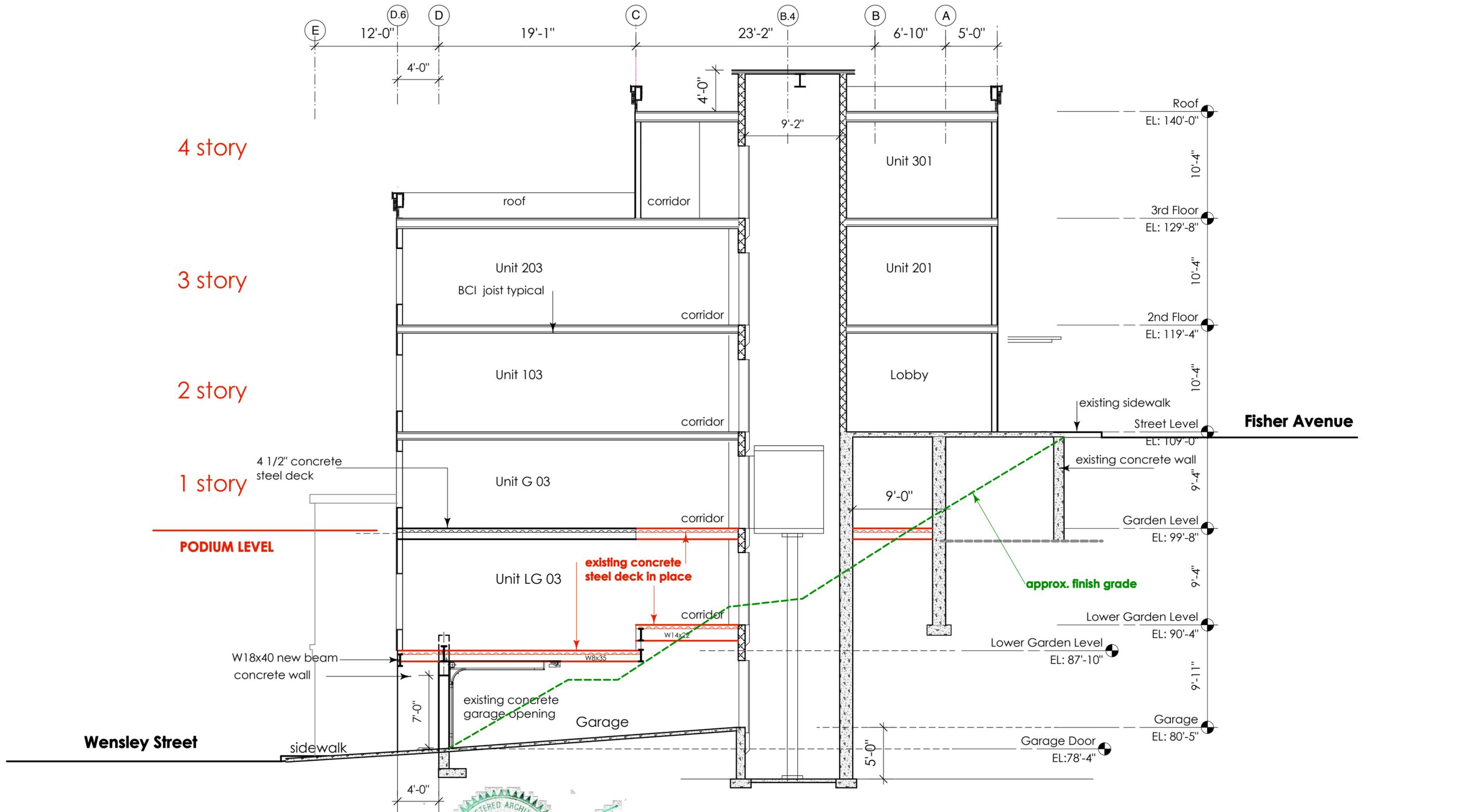
# 40 Fisher Avenue

Boston, Massachusetts

**Section 10**  
Date: 13 March 2015  
Scale: 1/8" = 1'-0"

#25-15  
**A**  
**3.01**





Hresko Associates, Inc.  
 Architect  
 Landscape Architect  
 110 Broad Street  
 Boston, MA 02110  
 617-350-7666  
 fax: 617-350-6260  
 eMail: hresko@ArchUSA.com



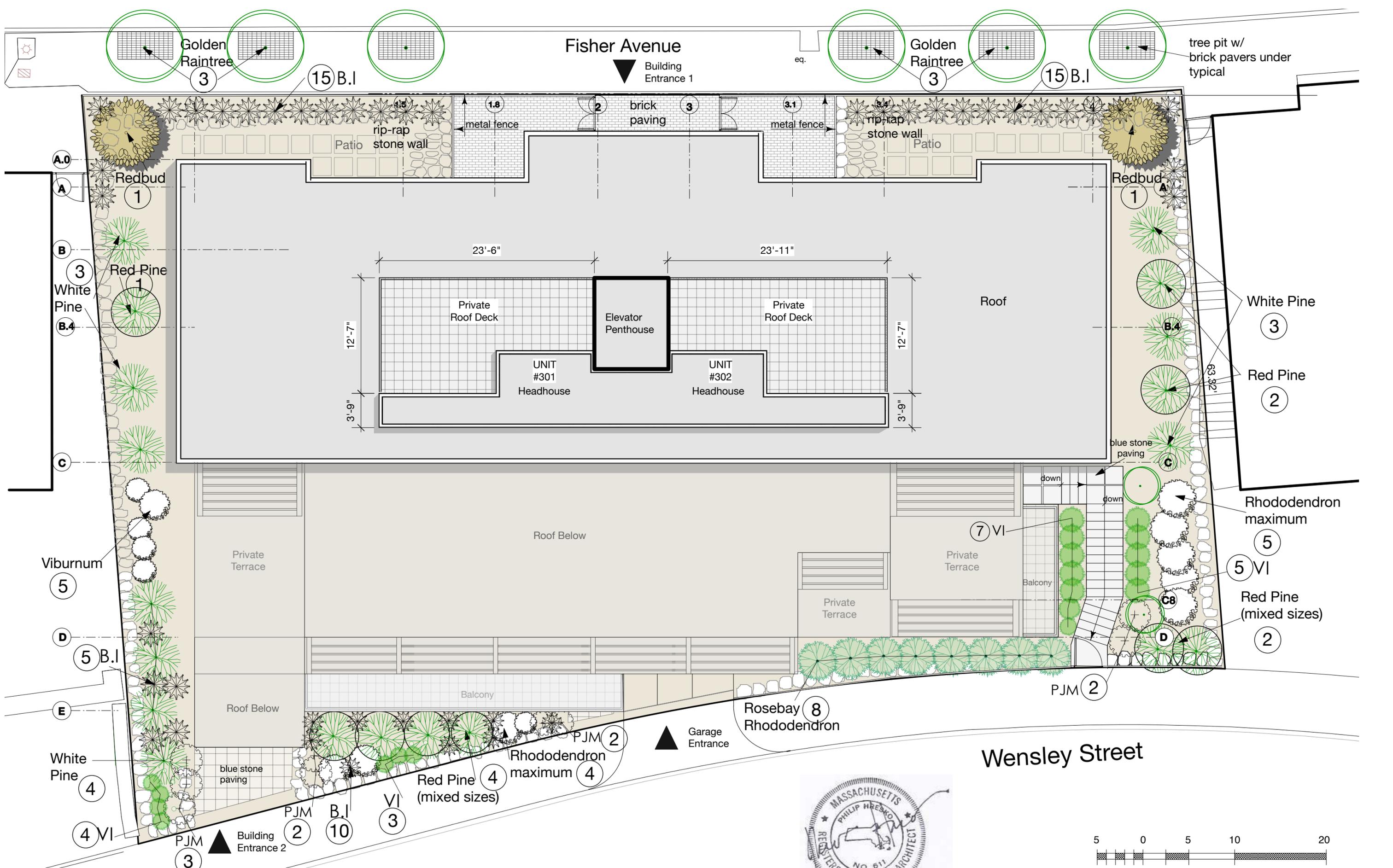
SAVAGE PROPERTIES, LLC  
 1077 SOUTH STREET, FLORENCE, MA 01032  
 WWW.SAVAGEPROPERTIES.NET

# 40 Fisher Avenue

Boston, Massachusetts

**Section 20**  
 Date: 13 March 2015  
 Scale: 1/8" = 1'-0"

#25-15  
**A**  
**3.02**



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**SAVAGE**  
 PROPERTIES

SAVAGE PROPERTIES, LLC  
 8077 Fenwick Street, Suite 110 Boston, MA 02122  
 WWW.SAVAGEPROPERTIES.NET

# 40 Fisher Avenue

Boston, Massachusetts



**Landscape Plan**  
 Date: 23 December 2014  
 Scale: 1/8"=1'-0"

Revision:  
 31 March 2015

#25-15  
**L**  
**1.02**



## Planting List

Item	Quantity	Common Name	Botanical Name	Size	Remarks
<b>Fisher Avenue</b>		<b>Trees</b>			
A	6	Golden Raintree	<i>Koelreuteria paniculata</i>	2 to 2.5" cal. x 14	matched crowns
<b>Front Court-Fisher Avenue</b>		<b>Vines</b>			
par	45	Boston Ivy	<i>Parthenocissus tricuspidata</i>	#1	Plant along wall
<b>Front Court</b>		<b>Trees</b>			
R	2	Redbud	<i>Cercis canadensis</i>	2 to 2.5" cal. x 12	Multi stem
<b>Lower Front Court</b>		<b>Groundcover</b>			
he	10	Baltic Ivy	<i>Hedra helix</i>	flats	for planting between the rocks
<b>Hillside</b>		<b>Trees</b>			
P	4	White Pine	<i>Pinus strobus</i>	3 to 4'	
P	4	White Pine	<i>Pinus strobus</i>	5 to 6'	
P	2	White Pine	<i>Pinus strobus</i>	7' to 8'	
R	4	Red Pine	<i>Pinus resinosa</i>	3 to 4'	
R	2	Red Pine	<i>Pinus resinosa</i>	5 to 6'	
R	3	Red Pine	<i>Pinus resinosa</i>	7' to 8'	
<b>Hillside</b>		<b>Grasses &amp; Flowers</b>			
bul	500	mixed bulbs			on hillside at Wensley Street entrance & exit
sor	10	Indian grass	<i>Sorghastrum nutans</i>	#1	
hem	30	Stella D'Oro Daylily	<i>Carex crinita</i>	5" pots	at Wensley Street entrance
<b>Hillside</b>		<b>Shrubs</b>			
VI	18	Northern Burgundy Viburnum	<i>Viburnum 'Morton'</i>	3 to 4'	
RH	9	PJM Rhododendron	<i>Rhododendron PJM</i>	24 to 30"	
RM	17	Rosebay Rhododendron	<i>Rhododendron maximum</i>	3 to 4'	
<b>Hillside-Wensley Street</b>		<b>Groundcover</b>			
he	20	Baltic Ivy	<i>Hedra helix</i>	flats	for planting in planters





**Figure 3.10.1-13 Proposed View from Fisher Avenue**

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**Figure 3.10.1-14 Proposed View from Wensley Street**

---

### 3.11 Shadow Study

Appendix 6

**BRA's Development  
Review Guidelines**

SUN ALTITUDE/AZIMUTH TABLE

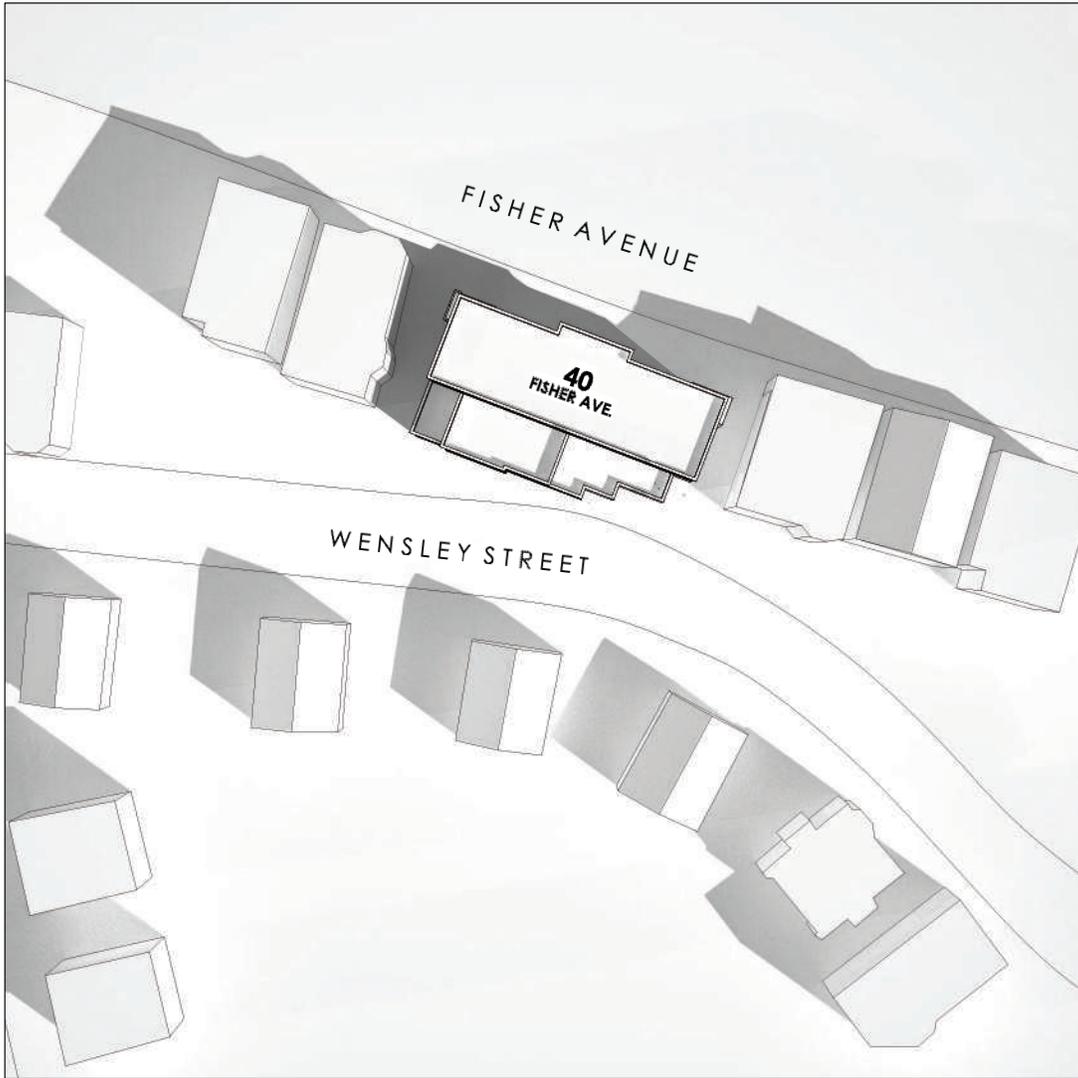
Boston, Massachusetts

Latitude: N42.36

Longitude: W71.06

	<u>Altitude</u>	<u>Azimuth</u>	<u>Time</u>
<u>21 March</u>			Standard
9:00 a.m.	33.0	125.7	
12:00 Noon	48.0	-176.9	
3:00 p.m.	30.5	-121.8	
<u>21 June</u> Savings			Daylight
9:00 a.m.	39.9	93.5	
12:00 Noon	68.8	149.4	
3:00 p.m.	56.5	-113.7	
6:00 p.m.	23.9	- 79.3	
<u>21 September</u>			Daylight Savings
9:00 a.m.	25.9	115.3	
12:00 Noon	47.4	166.0	
3:00 p.m.	37.4	-132.9	
6:00 p.m.	7.3	- 96.0	
<u>21 December</u>			Standard
9:00 a.m.	14.2	141.9	
12:00 Noon	24.1	-175.6	
3:00 p.m.	10.0	-135.1	

Source: Autocad/MassGIS



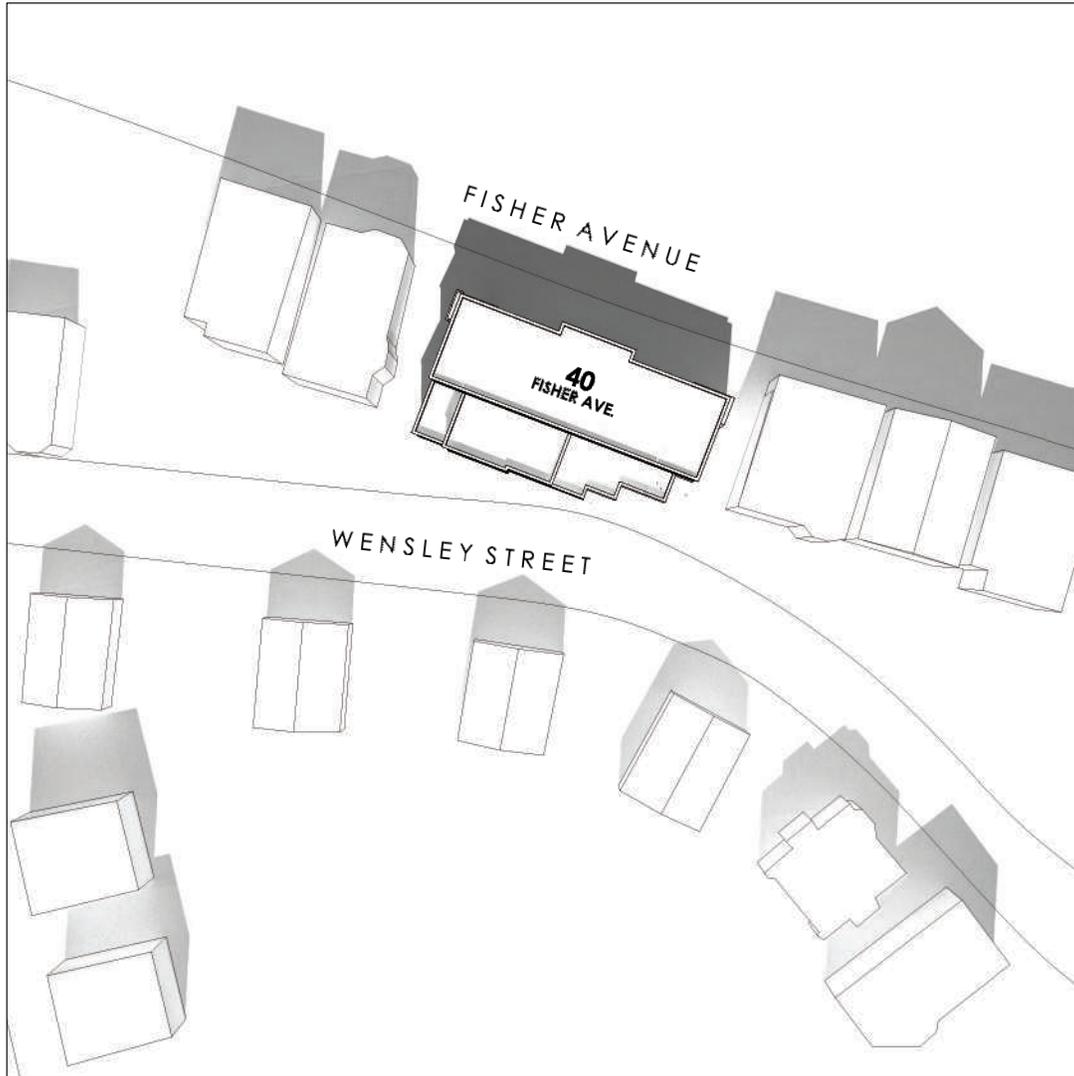
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
March 21, 9:00 AM

Altitude: 33°  
Azimuth: 125.8°



**HRESKO ASSOCIATES, INC**  
Architecture/Landscape Architecture/Interior Design  
110 Broad Street, Boston, MA 02110



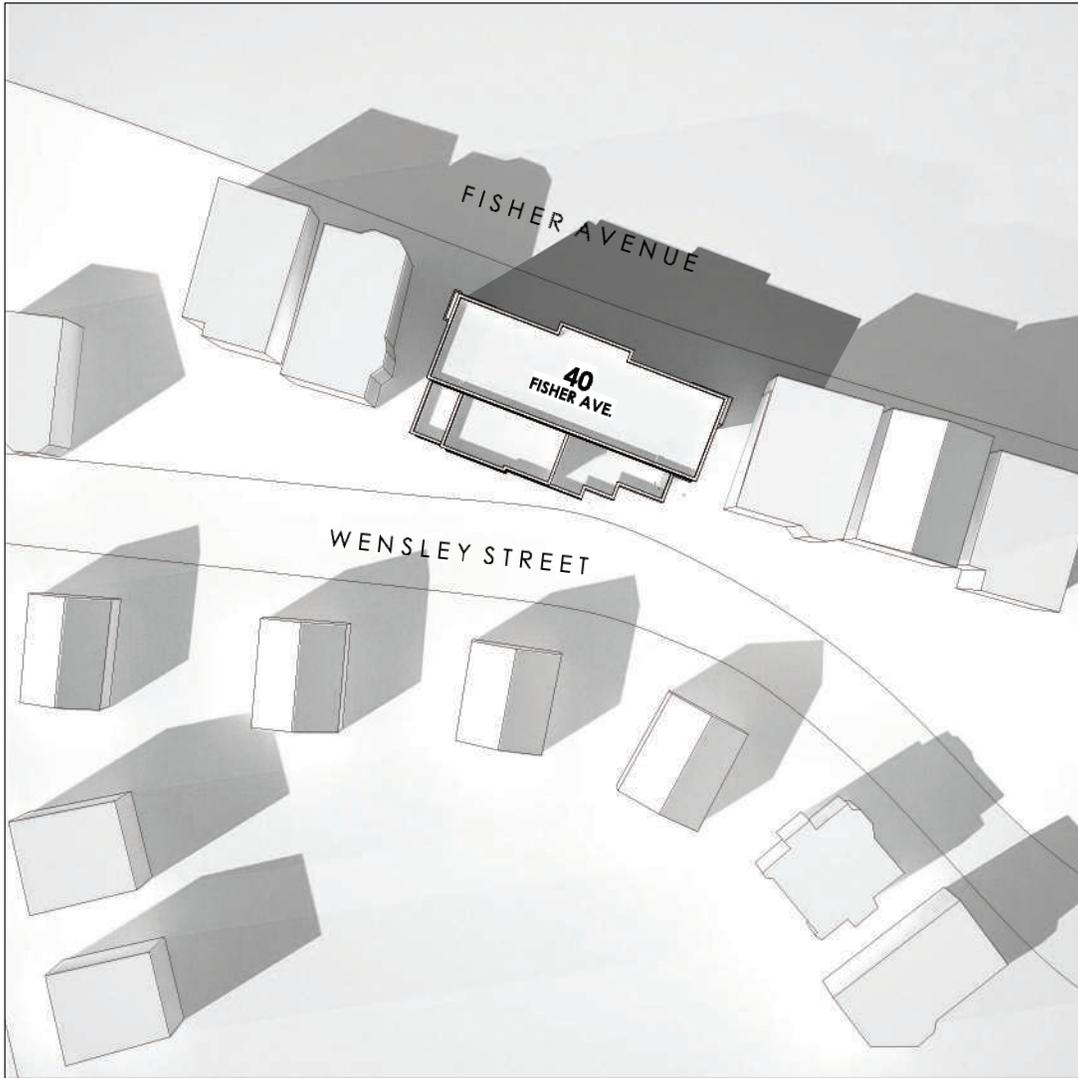
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
March 21, 12:00 PM

Altitude: 47.9°  
Azimuth: 183.2°



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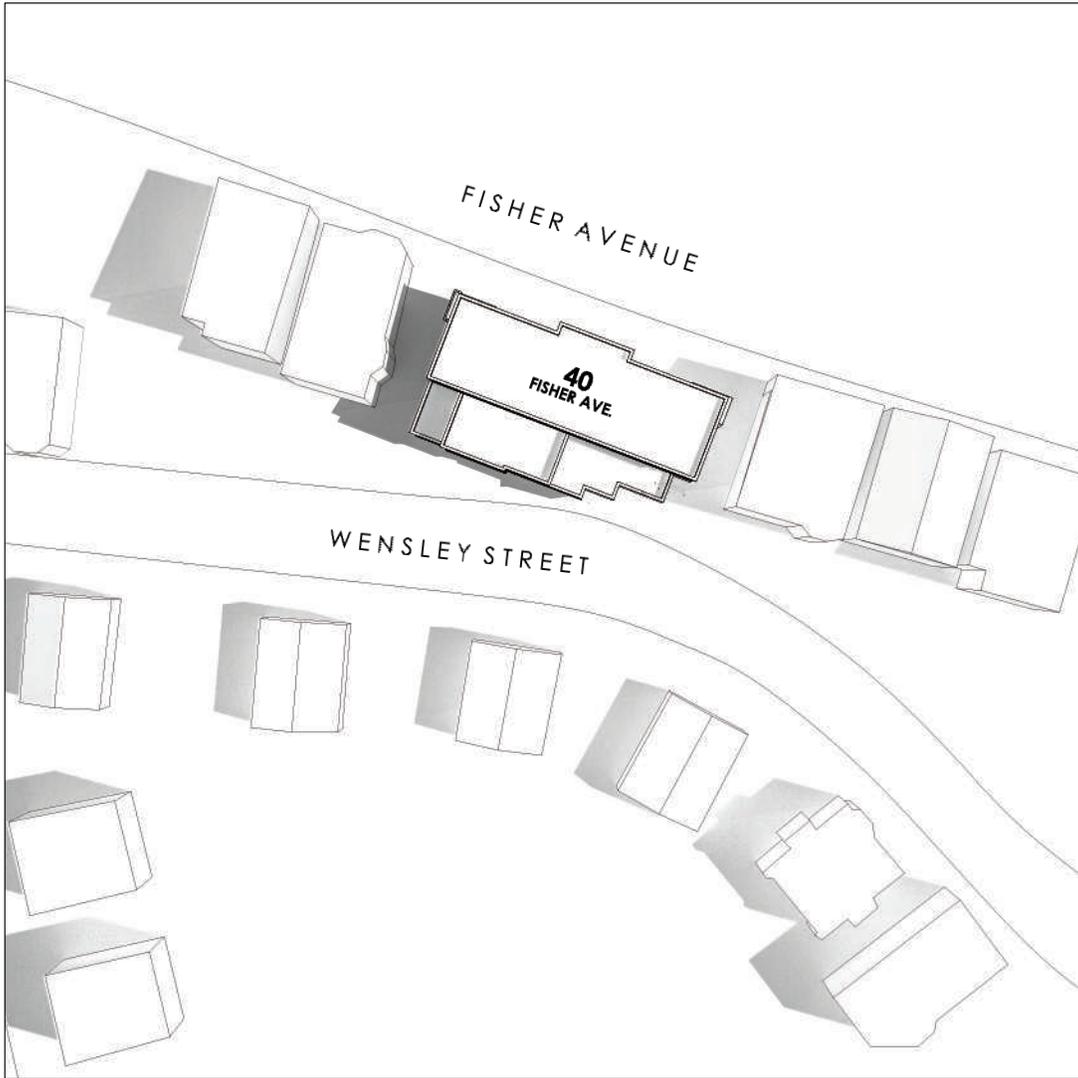
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
March 21, 3:00 PM

Altitude: 30.4°  
Azimuth: 238.2°



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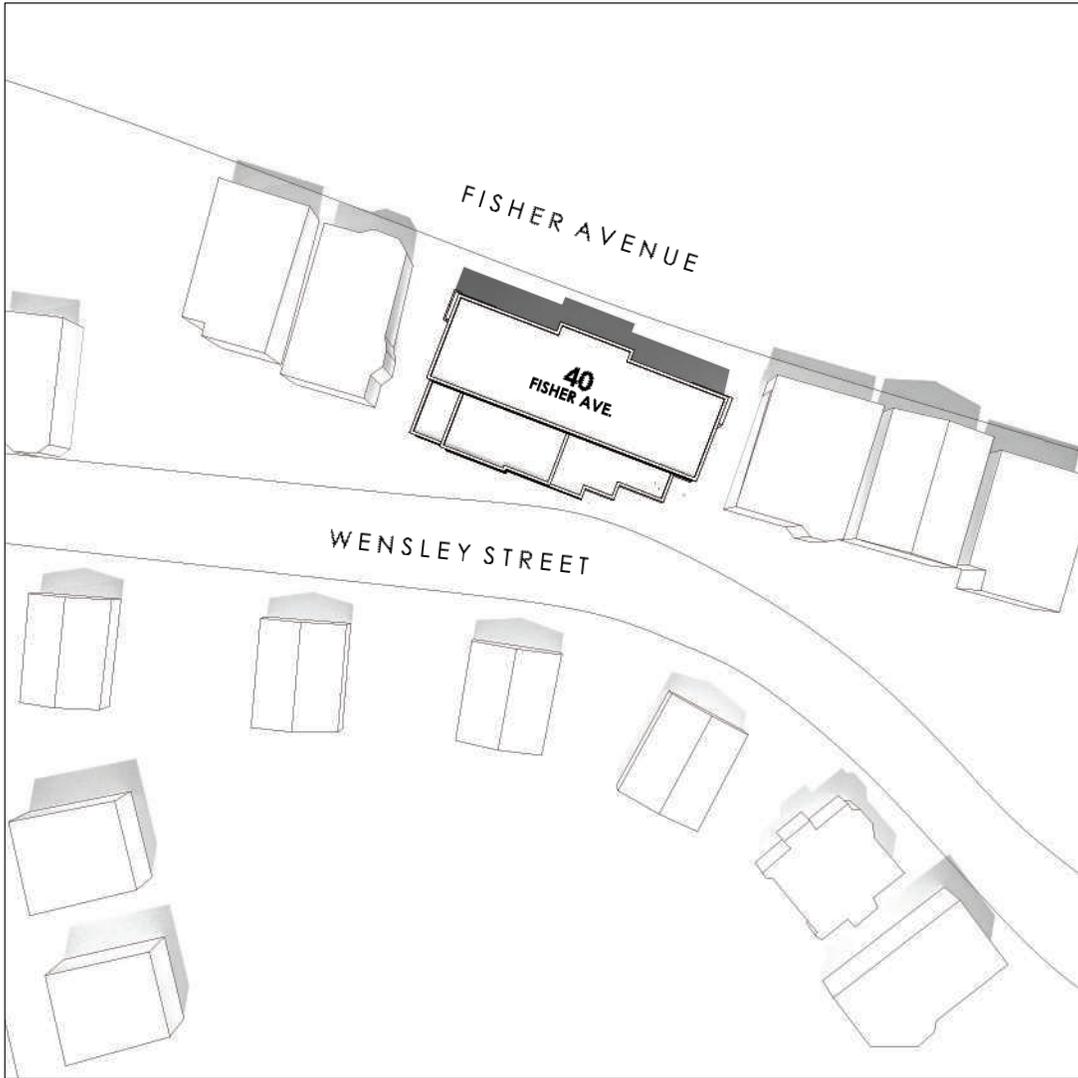
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
June 21, 9:00 AM

Altitude: 50.9°  
Azimuth: 105.5°



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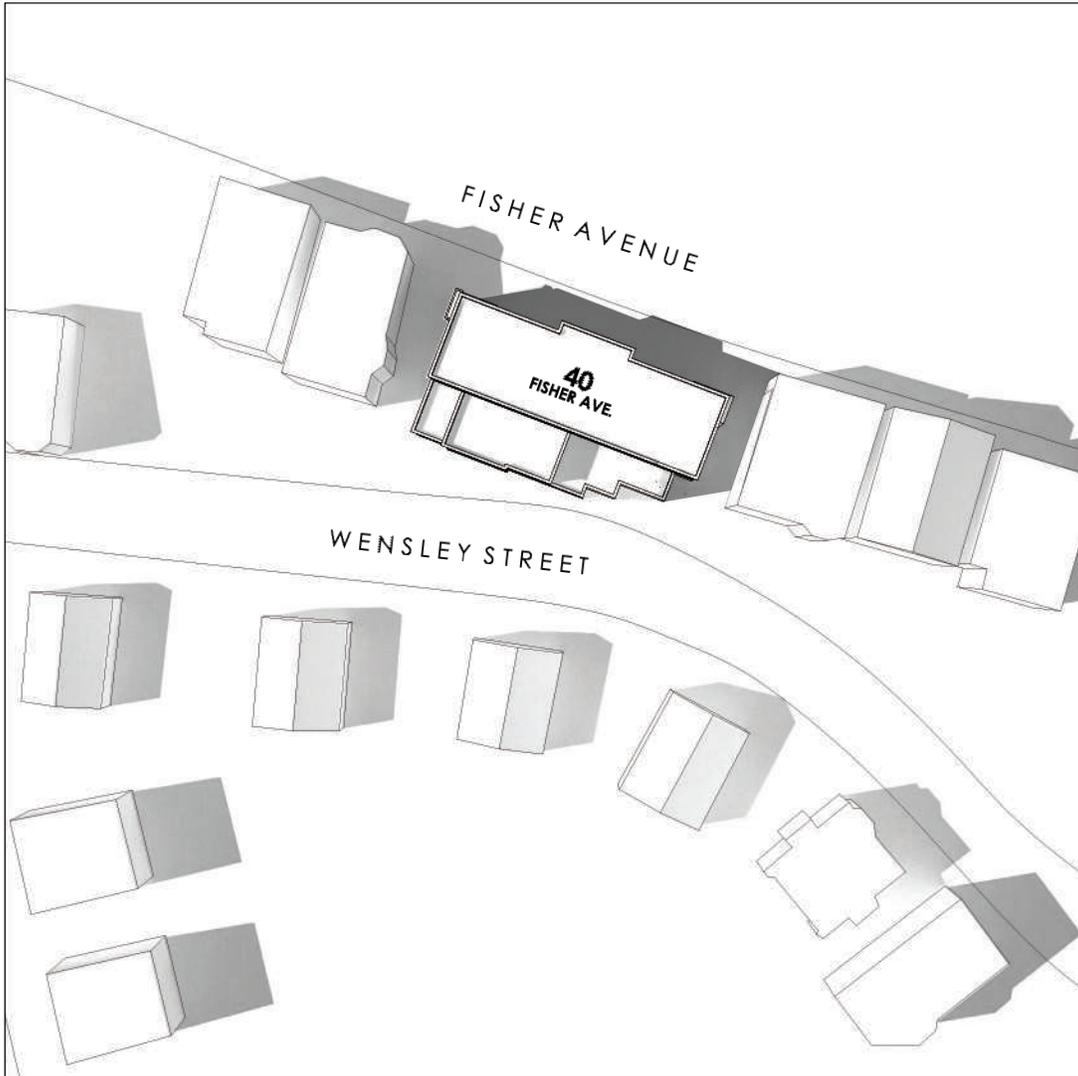
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
June 21, 12:00 PM

Altitude: 70.9°  
Azimuth: 189.8°



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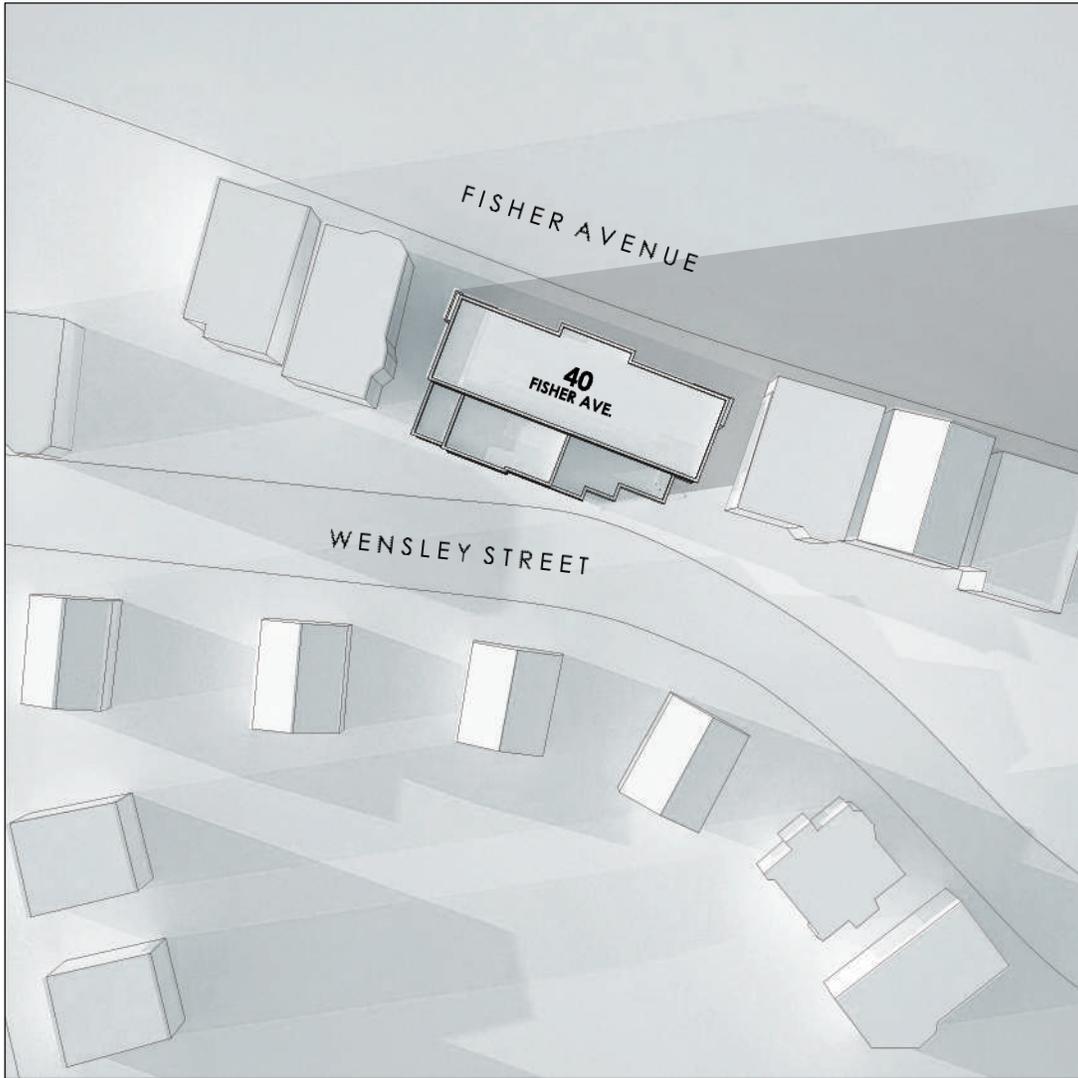
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
June 21, 3:00 PM

Altitude: 45.8°  
Azimuth: 260.4°



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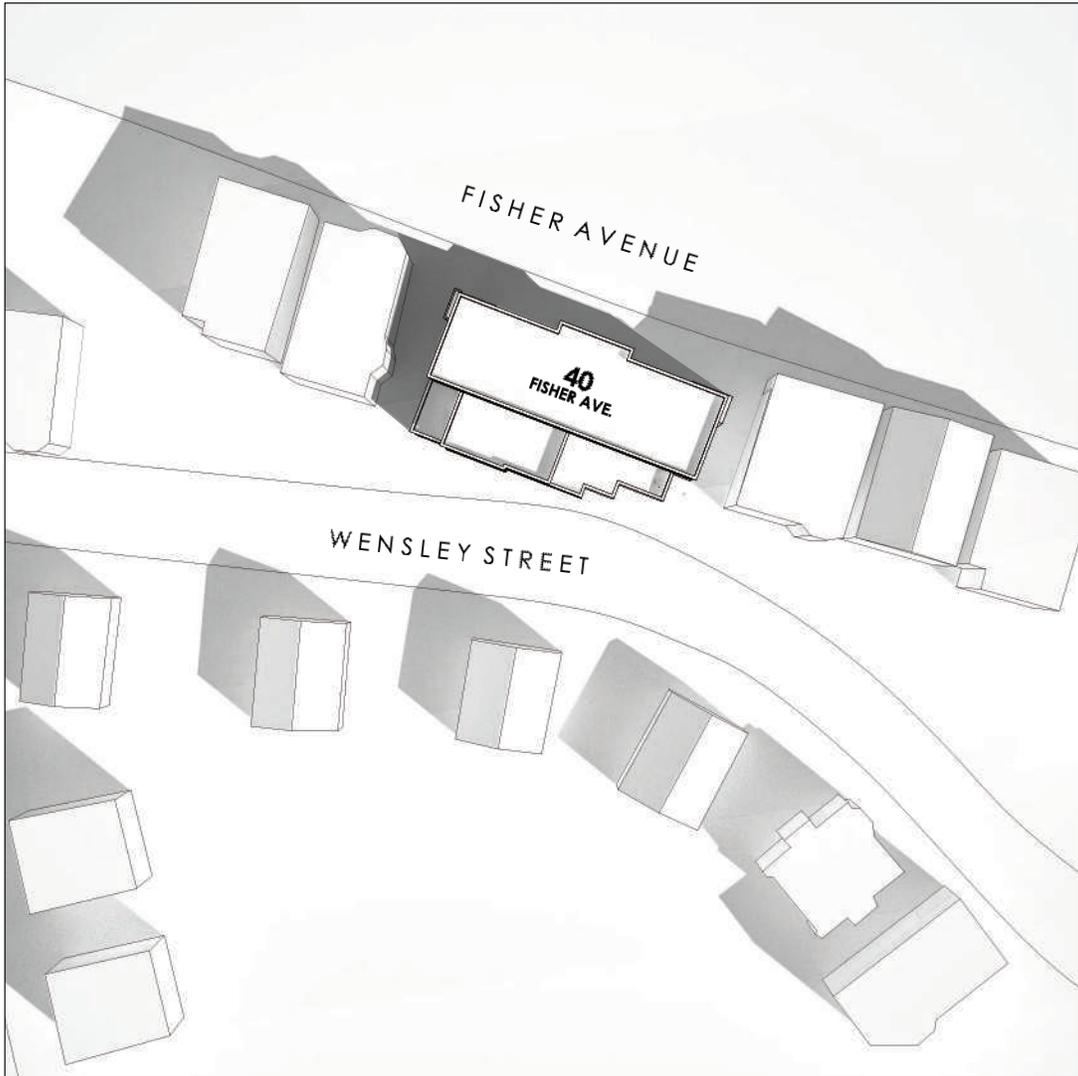
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
June 21, 6:00 PM

Altitude: 13.1°  
Azimuth: 289.9°



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110 Brood Street, Boston, MA 02110



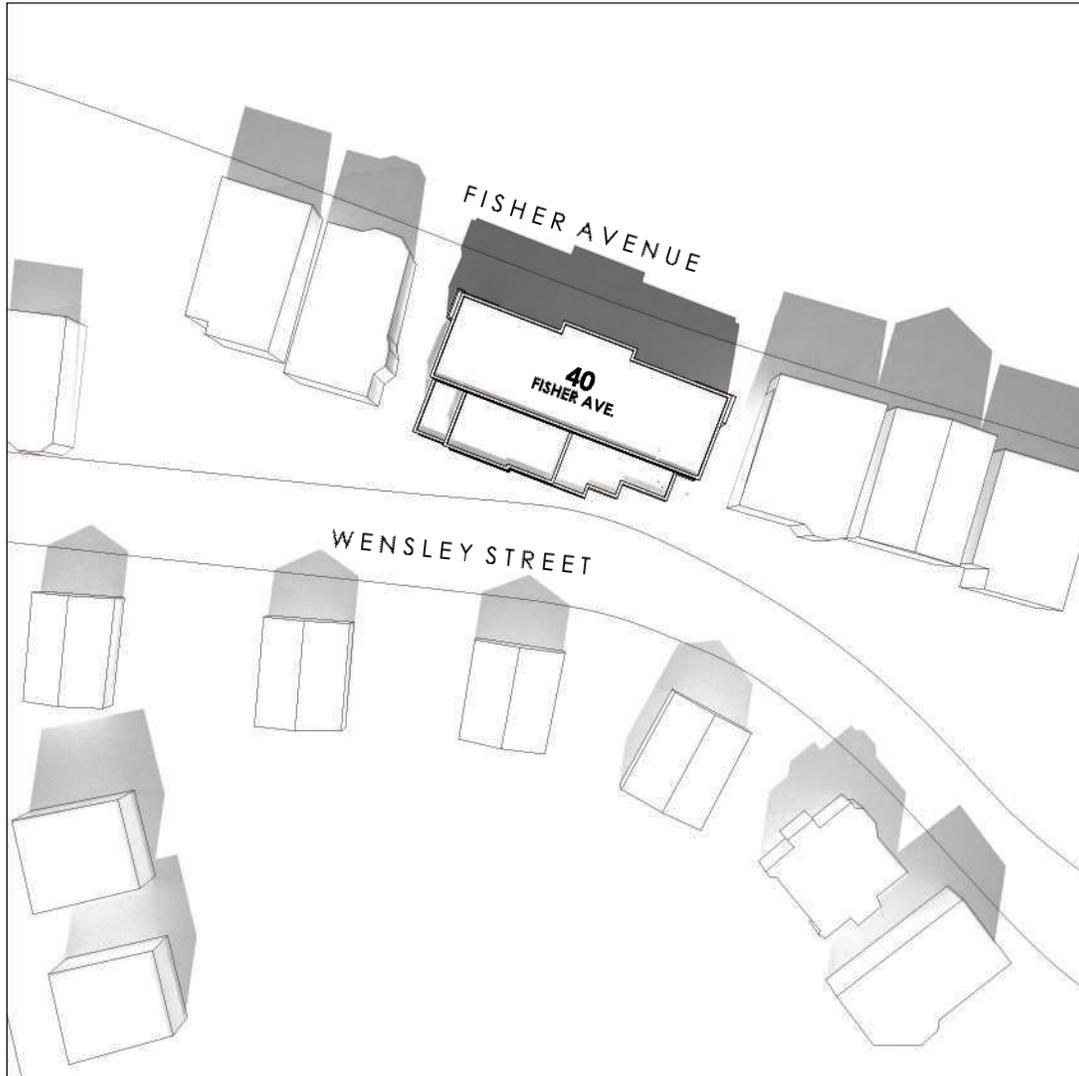
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
September 21, 9:00 AM

Altitude: 35.4°  
Azimuth: 128.9°



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110 Broad Street, Boston, MA 02110



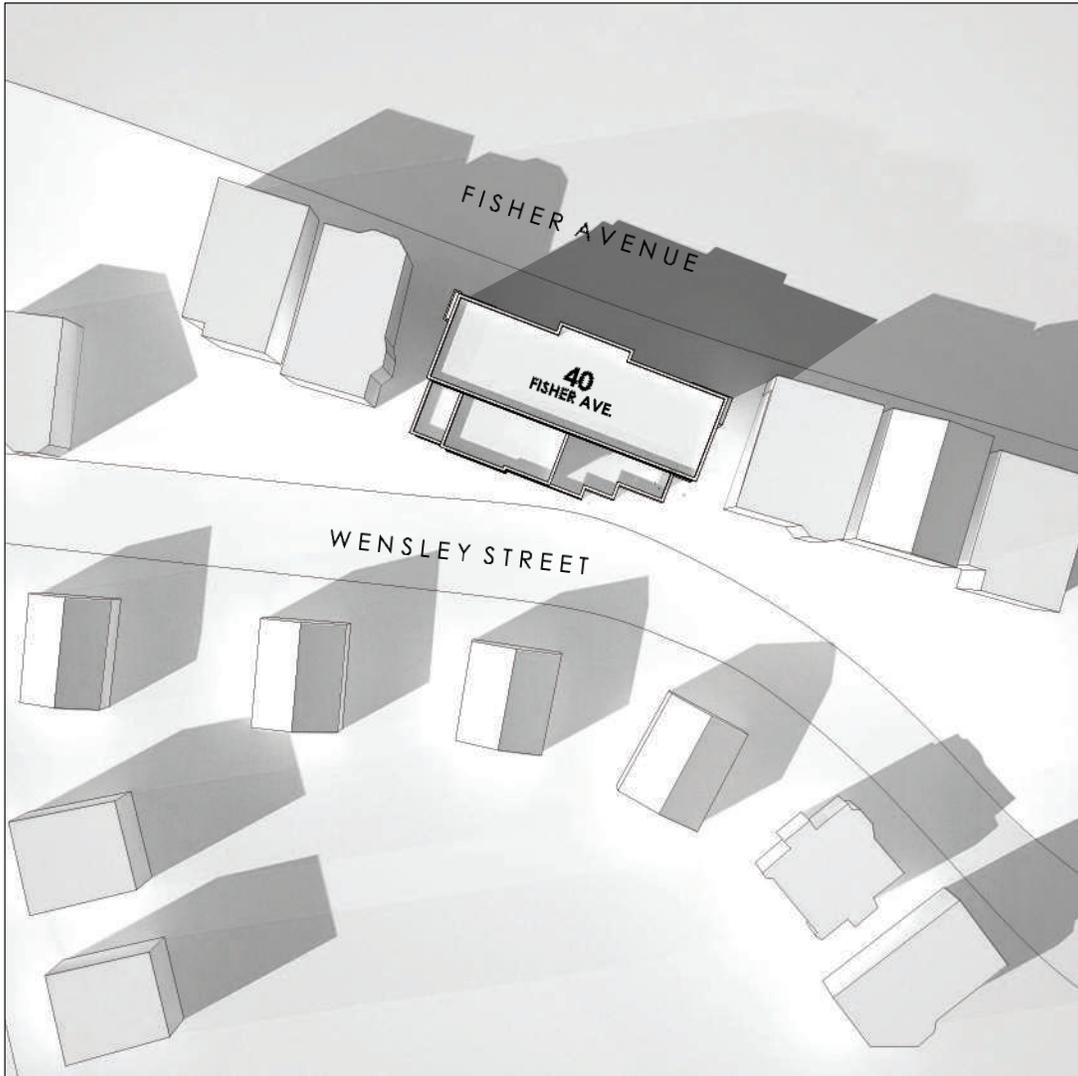
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
September 21, 12:00 PM

Altitude: 48.0°  
Azimuth: 188.5°



**HRESKO ASSOCIATES, INC**  
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110 Brood Street, Boston, MA 02110



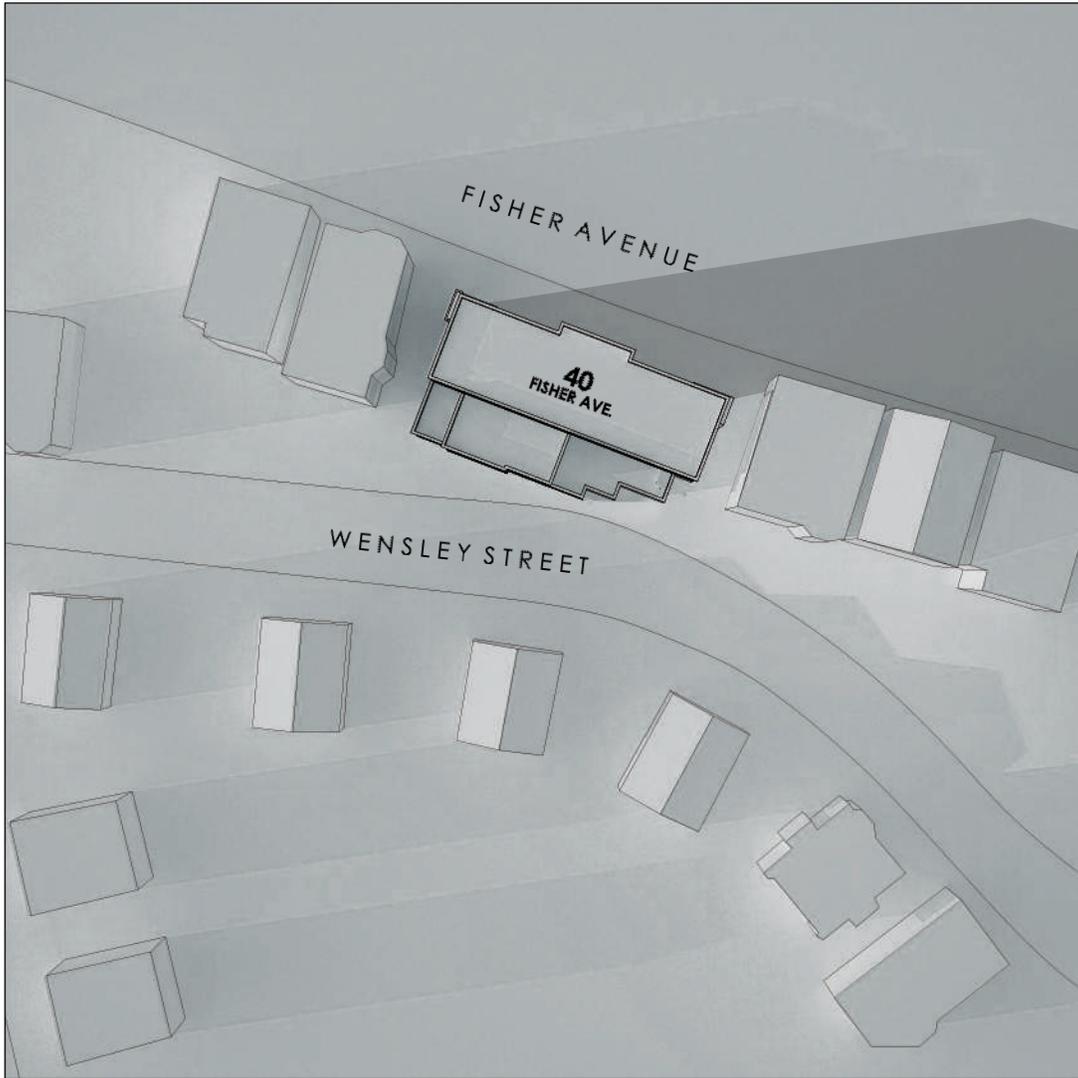
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
September 21, 3:00 PM

Altitude: 28.4°  
Azimuth: 241.5°



**HRESKO ASSOCIATES, INC**  
Architecture/Landscape Architecture/Interior Design  
110 Brood Street, Boston, MA 02110



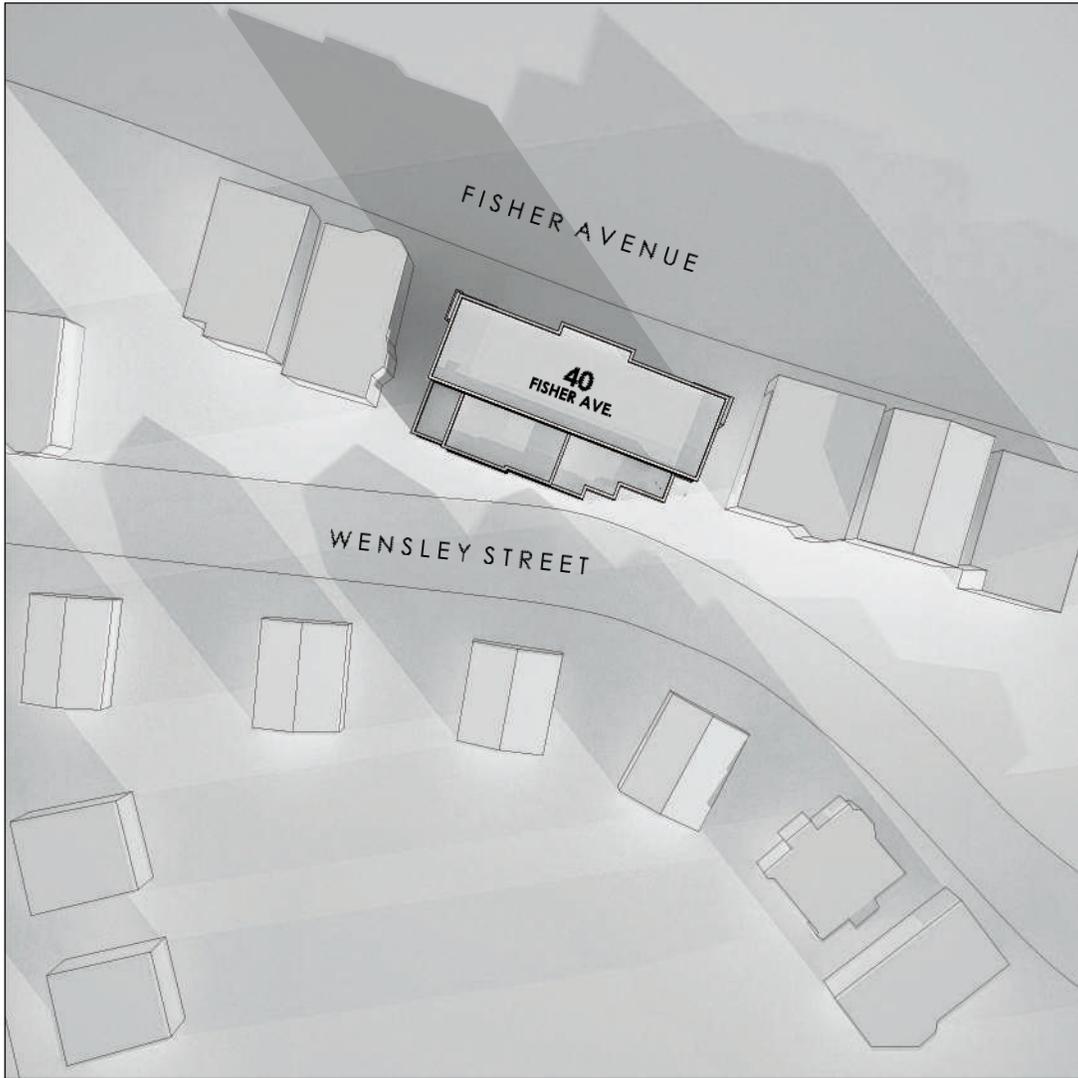
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
September 21, 6:00 PM

Altitude:  $-3.8^\circ$   
Azimuth:  $274.2^\circ$



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110 Broad Street, Boston, MA 02110



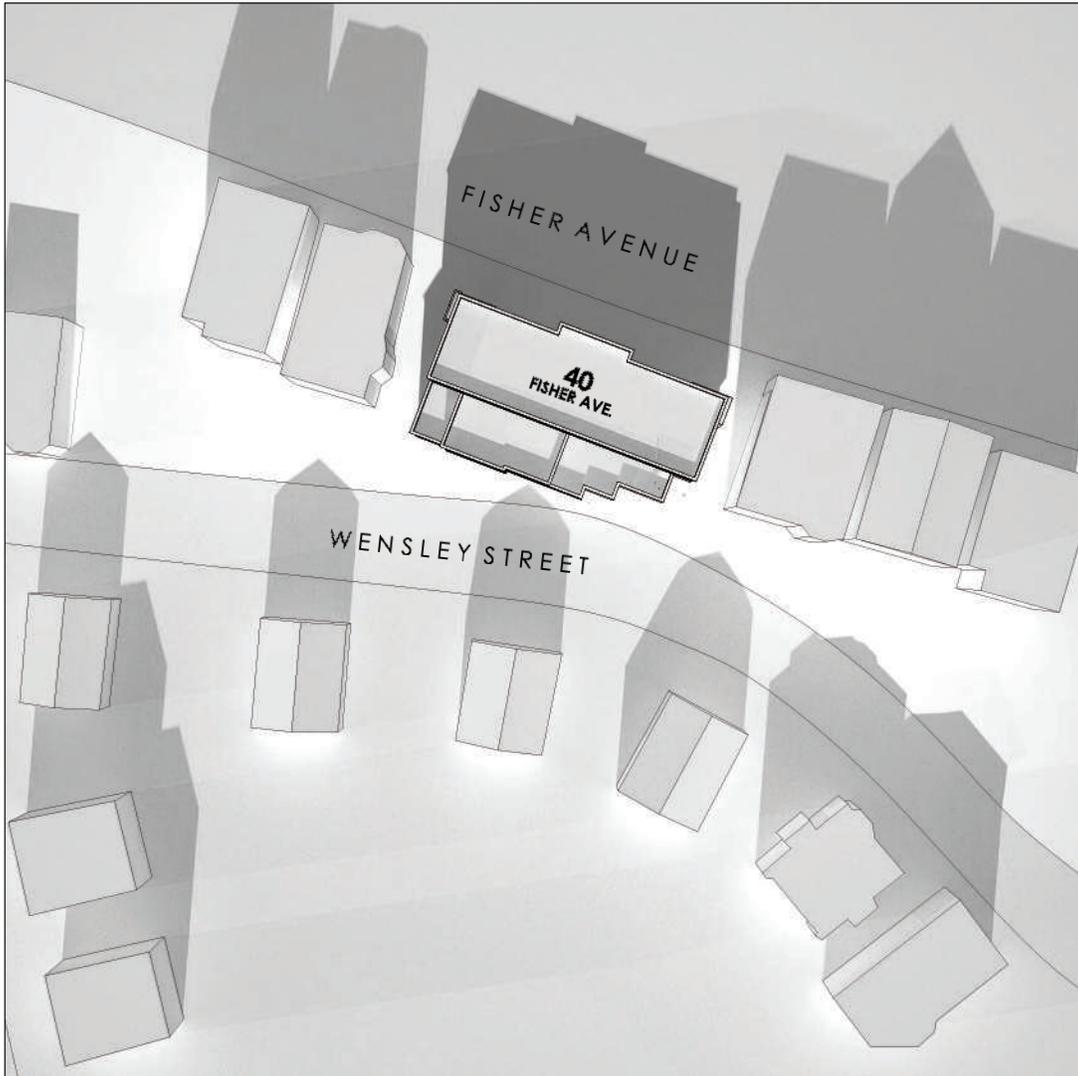
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
December 21, 9:00 AM

Altitude: 14.3°  
Azimuth: 142.0°



**HRESKO ASSOCIATES, INC**  
Architecture/Landscape Architecture/Interior Design  
110 Brood Street, Boston, MA 02110



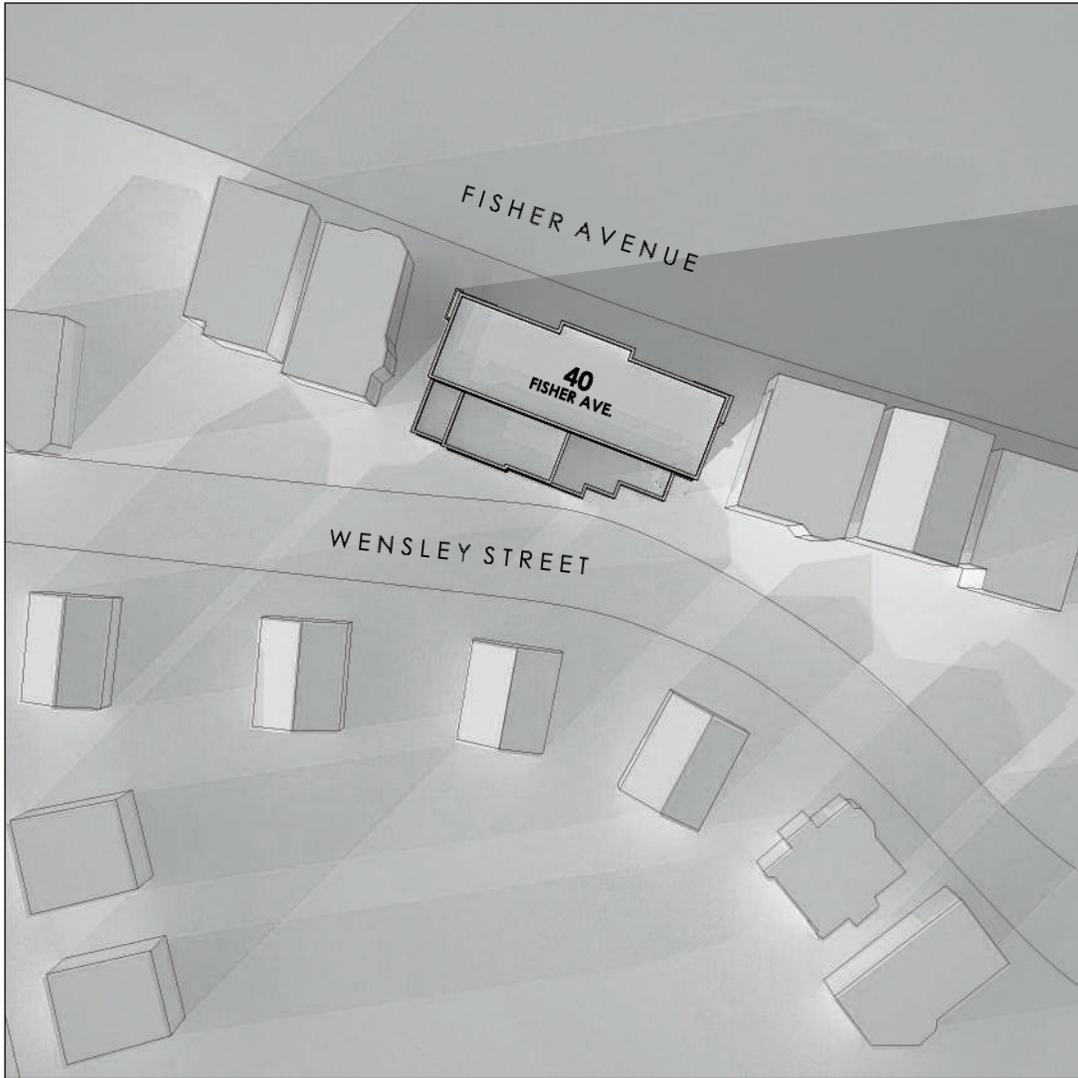
■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
December 21, 12:00 PM

Altitude: 24.1°  
Azimuth: 184.5°



**HRESKO ASSOCIATES, INC**  
Architecture/Landscape Architecture/Interior Design  
110 Brood Street, Boston, MA 02110



■ New Shadow  
■ Existing Shadow

**40 FISHER AVENUE**  
Boston, Massachusetts  
Shadow Study  
December 21, 3:00 PM

Altitude: 10°  
Azimuth: 225.0°



**HRESKO ASSOCIATES, INC**  
Architecture/Landscape Architecture/Interior Design  
110 Broad Street, Boston, MA 02110

### **4.0 ENVIRONMENTAL PROTECTION**

#### **4.1 Geotechnical/Groundwater**

The below-grade construction activities required for the Project were completed during the construction of the foundation that will be used for the Project. Existing soil and groundwater conditions, that determined construction methods, and excavation work required for the existing foundation were analyzed by the geotechnical engineer and such plans and means and methods were approved by the Public Improvement Commission (“PIC”), Boston Water and Sewer Commission (“BWSC”), and Boston Inspectional Services (“ISD”).

#### **4.2 Rodent Control**

The City of Boston enforces the requirements established under Massachusetts State Sanitary Code, Chapter 11, 105 CMR 410.550. This policy requires an established rodent control program be implemented prior to issuance of any demolition or building permits. During construction, service visits will be made by a certified rodent control firm to monitor and maintain the rodent control program.

### **5.0 TRANSPORTATION, PARKING AND VEHICULAR/PEDESTRIAN ACCESS**

#### **5.1 Introduction**

The 40 Fisher Avenue Project is a transit oriented development, conveniently located within close walking distance to numerous public transit alternatives. On-site parking provisions are consistent with BTDA’s parking guidelines, which allow a maximum of .05 to 1.0 spaces per residential unit, and with the City of Boston Bicycle Parking Guidelines

#### **5.2 Site Access and Circulation**

Vehicular access to the on-site parking garage from Wensley Street. Pedestrian and bike access to the building will occur at the front building on Fisher Avenue or entry at the garage level on Wensley Street.

#### **5.3 Transit**

The Project site is conveniently located within walking distance to a wide range of public transit alternatives, including several MBTA bus routes, MBTA Green Line and Orange Line rapid transit service, and private shuttle bus service operated by Medical Academic and Scientific Community Organization (MASCO). This site is located within approximately a quarter-mile (a 5 to 10 minute walk) to the MBTA Orange Line Roxbury Crossing and Jackson Square Stations and the MBTA Green Heath Street Station. Weekday orange line service runs approximately every 6 minutes during morning and even peak hours, while green line services runs approximately every 6- to 10-minutes during morning and evening peak hours. Weekend service runs every 10 to 12 minutes for both lines.

---

## 40 FISHER AVENUE MISSION HILL SPRA

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The site is located near the MBTA bus route 66 that runs between Harvard Square and Dudley Station and provides connection to Brookline Village, Coolidge Corner, and Allston, as well as Red, Orange, and Green Lines rapid transit service.

### 5.4 Parking

BTD has established parking space guidelines throughout the City to establish the amount of parking supply provided with new developments. BTD's maximum parking ratio guidelines for this area of the City are 0.50 to 1.0 parking spaces per residential unit. The proposed Project will provide 10 parking spaces within an on-site parking garage for the fifteen (15) residential units, which corresponds to a parking ratio of approximately 0.66 spaces per residential unit. The Project's parking supply is consistent with the City's guidelines and is appropriate given its convenient location with respect to numerous public transit alternatives.

The Project will also provide residents and building tenants with access to a secure covered bicycle storage area accommodating a total of 18 bicycles. There will be a bike room with direct access off Fisher Avenue, and there will also be a bike room with direct access off Wensley Street.

### 5.5 Shared Cars

Car sharing, predominantly served by Zipcar in the Boston area, provides easy access to short-term vehicular transportation. Vehicles are rented on an hourly or daily basis and returned to their designated location. There are 3 car sharing locations (with a total of 4 vehicles) located within about a quarter-mile radius of the Project site.

---

## 6.0 INFRASTRUCTURE SYSTEMS

### 6.1 Introduction

The Proponent's engineer has ensured that there is sufficient availability of all utilities required to serve the proposed project, which will include water and sewer, electric, gas, telephone and cable. The project Site has already tied into water and sewer on Wensley Street, as per approved plans from BWSC, (see Site Plan #08-244). Per the civil engineer, the water and sewer connection will be adequate for the fifteen (15) residential units of the project.

### 6.2 Sewage System

The Proposed Project will have an estimated daily sewage flow of approximately 3,850 gallons per day (gpd) as detailed in Table 6-1 below. Currently, the sewer line exits the Project at the garage entry area and ties into the sewer line on Wensley Street, (see Site Plan #08-244).

The Proposed Project does not propose any industrial uses and flows are expected to be under the 15,000 gpd that would require filing with the Massachusetts Department of Environmental Protection for a Sewer Connection Permit of Compliance Certificate.

<b>Table 6-1 40 Fisher Avenue - Sewage Flow</b>		
<b>Proposed Project</b>		
<b>Building Use</b>	<b>314 CMR 7.00 Sewage Flow Estimates</b>	<b>Estimated Flow</b>
35 bedrooms	110 Gallons/Bedroom	+/- 3850 gpd

### 6.3 Water Supply System

The water demand for the Proposed Project is projected to be, based upon fixture count, approximately 7,700 gpd. Conservative factor of 2.0 is applied to the average wastewater flows to estimate the average daily demand account for system losses, irrigation and consumption. The water will be supplied by the BWSC.

### 6.4 Storm Water

Stormwater runoff from the roof of the proposed building will be collected in an insight filtration system that is already on the site, and discharged to the existing storm drain in Wensley Street.

### 6.5 Anticipated Energy Requirements

#### 6.5.1 Electrical Requirements

NSTAR provides electric service in the City of Boston. It is anticipated that electric service can be provided by NSTAR. Electric power supply design, and any upgrades that may be required, will be further coordinated with NSTAR as the design progresses.

---

### **6.5.2 Natural Gas Requirements**

National grid provides natural gas service in the project area. According to the BWSC's As-Built Plan, "Installation of Storm Drain, Sanitary Sewer and Water Pipes in Jamaica Plan", dated September 26, 2003 (Plan #Z113-82), there is a an existing 4-inch gas line in Tremont Street. It is anticipated that there is adequate supply of natural gas in the area. To the extent possible, energy-saving measures will be incorporated into the building design and construction. Any upgrades will be coordinated with National Grid.

### **6.5.3 Steam**

The Project is not expected to use steam.

### **6.5.4 Telephone Systems**

Verizon provides telephone service in the Project area. There is overhead and underground telephone service in the area. It is anticipated that telephone service can be provided by Verizon.

Any Upgrades will be coordinated with Verizon.

---

### **7.0 COORDINATION WITH GOVERNMENT AGENCIES**

#### ***7.1 Architectural Access Board Requirements***

This Proposed Project will comply with the requirements of the Architectural Access Board. The Project will also be designed to comply with the Standards of the Americans with Disabilities Act.

#### ***7.2 Massachusetts Environmental Policy Act***

Based on information currently available, development of the Proposed Project is not anticipated to exceed a review threshold that would require MEPA review.

#### ***7.3 Boston Civic Design Commission***

The Proposed Project is below the 100,000 gross square foot size threshold requiring automatic referral to the Boston Civic Design Commission for schematic review

#### ***7.4 Boston Parks Commission***

The Project Site is located on Fisher Avenue across the street and below McLaughlin Playground. Being within 100 feet of the McLaughlin Playground, the Proponent is required to consult with the Boston Parks Commission. The Proponent and its representatives presented preliminary design plans for the initial proposed project of the two (2) three-family buildings in August and September 2010. The plans were approved on November 22, 2010.

See Figure 7.4.1 Vote of the Boston Parks and Recreation Commission.

---

# BOSTON

Thomas M. Menino, Mayor

**VOTE OF THE BOSTON PARKS AND RECREATION COMMISSION**

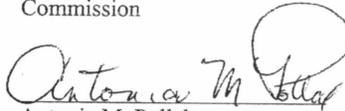
Approved at a Meeting of the Boston Parks and Recreation Commission

Monday, November 22, 2010

**VOTE:** A vote to approve construction of two multi-unit residential structures located at 36-40 Fisher Avenue, opposite McLaughlin Playground, Mission Hill.

Passed unanimously: 11/22/10

Attested to on behalf of the  
Boston Parks and Recreation  
Commission



Antonia M. Pollak  
Commissioner



**Boston Parks and Recreation Department**

Antonia M. Pollak, Commissioner

1010 Massachusetts Ave., Boston, MA 02118 / Tel.: (617) 635-4505 / Fax: 635-3173



---

**Figure 7.4-1 Vote Of The Boston Parks And Recreation Commission**

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**8.0 ACCESSIBILITY CHECKLIST**

## **Accessibility Checklist**

(to be added to the BRA Development Review Guidelines)

In 2009, a nine-member Advisory Board was appointed to the Commission for Persons with Disabilities in an effort to reduce architectural, procedural, attitudinal, and communication barriers affecting persons with disabilities in the City of Boston. These efforts were instituted to work toward creating universal access in the built environment.

In line with these priorities, the Accessibility Checklist aims to support the inclusion of people with disabilities. In order to complete the Checklist, you must provide specific detail, including descriptions, diagrams and data, of the universal access elements that will ensure all individuals have an equal experience that includes full participation in the built environment throughout the proposed buildings and open space.

In conformance with this directive, all development projects subject to Boston Zoning Article 80 Small and Large Project Review, including all Institutional Master Plan modifications and updates, are to complete the following checklist and provide any necessary responses regarding the following:

- improvements for pedestrian and vehicular circulation and access;
- encourage new buildings and public spaces to be designed to enhance and preserve Boston's system of parks, squares, walkways, and active shopping streets;
- ensure that persons with disabilities have full access to buildings open to the public;
- afford such persons the educational, employment, and recreational opportunities available to all citizens; and
- preserve and increase the supply of living space accessible to persons with disabilities.

We would like to thank you in advance for your time and effort in advancing best practices and progressive approaches to expand accessibility throughout Boston's built environment.

### **Accessibility Analysis Information Sources:**

1. Americans with Disabilities Act – 2010 ADA Standards for Accessible Design
  - a. [http://www.ada.gov/2010ADASTandards\\_index.htm](http://www.ada.gov/2010ADASTandards_index.htm)
2. Massachusetts Architectural Access Board 521 CMR
  - a. <http://www.mass.gov/eopss/consumer-prot-and-bus-lic/license-type/aab/aab-rules-and-regulations-pdf.html>
3. Boston Complete Street Guidelines
  - a. <http://bostoncompletestreets.org/>
4. City of Boston Mayors Commission for Persons with Disabilities Advisory Board
  - a. <http://www.cityofboston.gov/Disability>
5. City of Boston – Public Works Sidewalk Reconstruction Policy
  - a. [http://www.cityofboston.gov/images\\_documents/sidewalk%20policy%200114\\_tcm3-41668.pdf](http://www.cityofboston.gov/images_documents/sidewalk%20policy%200114_tcm3-41668.pdf)
6. Massachusetts Office On Disability Accessible Parking Requirements
  - a. [www.mass.gov/anf/docs/mod/hp-parking-regulations-mod.doc](http://www.mass.gov/anf/docs/mod/hp-parking-regulations-mod.doc)
7. MBTA Fixed Route Accessible Transit Stations
  - a. [http://www.mbta.com/about\\_the\\_mbta/accessibility/](http://www.mbta.com/about_the_mbta/accessibility/)

**Article 80 | ACCESSIBILTY CHECKLIST**

**Project Information**

Project Name:	40 Fisher Avenue
Project Address Primary:	40 Fisher Avenue, Boston (Mission Hill), MA
Project Address Additional:	
Project Contact (name / Title / Company / email / phone):	Philip Hresko, Architect, Hresko Associates, Inc.

**Team Description**

Owner / Developer:	36-40 Fisher Avenue, LLC / Savage Properties, LLC.
Architect:	Philip Hresko, Hresko Associates, Inc.
Engineer (building systems):	Carmine Guarracino, PE, Rome & Guarracino LLC.
Sustainability / LEED:	N/A
Permitting:	Philip Hresko, Hresko Associates, Inc.
Construction Management:	To be determined

**Project Permitting and Phase**

At what phase is the project – at time of this questionnaire?

PNF / Expanded PNF Submitted	Draft / Final Project Impact Report Submitted	BRA Board Approved
BRA Design Approved	Under Construction	Construction just completed:

**Article 80 | ACCESSIBILITY CHECKLIST**

**Building Classification and Description**

What are the principal Building Uses - select all appropriate uses?

Residential – One to Three Unit	<b>Residential - Multi-unit, Four +</b>	Institutional	Education
Commercial	Office	Retail	Assembly
Laboratory / Medical	Manufacturing / Industrial	Mercantile	Storage, Utility and Other
First Floor Uses (List)	Building vestibule and lobby and 4 residential units		

What is the Construction Type – select most appropriate type?

<b>Wood Frame</b>	Masonry	Steel Frame	<b>Concrete</b>
-------------------	---------	-------------	-----------------

Describe the building?

Site Area:	8,273 SF	Building Area:	5,082 +/- SF
Building Height:	31 Ft.	Number of Stories:	3 Flrs.
First Floor Elevation:	109'-0" Elev.	Are there below grade spaces:	<b>Yes</b> / No

**Assessment of Existing Infrastructure for Accessibility:**

This section explores the proximity to accessible transit lines and proximate institutions such as, but not limited to hospitals, elderly and disabled housing, and general neighborhood information. The proponent should identify how the area surrounding the development is accessible for people with mobility impairments and should analyze the existing condition of the accessible routes through sidewalk and pedestrian ramp reports.

Provide a description of the development neighborhood and identifying characteristics.

The neighborhood is characterized by a range of building types at different scales, and a range of architectural styles and materials, primarily residential.

List the surrounding ADA compliant MBTA transit lines and the proximity to the development site: Commuter rail, subway, bus, etc.

The site is conveniently located close to the MBTA Green ILine Heath Street Station and the MBTA Orange Line Roxbury Crossing and Jackson Square Stations, which provides for easy access to downtown Boston

List the surrounding institutions: hospitals, public housing and

•Benjamin Health Care, •New England Baptist Hospital

**Article 80 | ACCESSIBILTY CHECKLIST**

elderly and disabled housing developments, educational facilities, etc.

	<ul style="list-style-type: none"> <li>•VA Boston Healthcare System - Jamaica Plain Campus,</li> <li>•Roxbury Community College, •James W Hennigan School,</li> <li>•Cayl Institute Inc.</li> </ul>
<p>Is the proposed development on a priority accessible route to a key public use facility? List the surrounding: government buildings, libraries, community centers and recreational facilities and other related facilities.</p>	No

**Surrounding Site Conditions – Existing:**

This section identifies the current condition of the sidewalks and pedestrian ramps around the development site.

Are there sidewalks and pedestrian ramps existing at the development site?

	Yes
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*If yes above*, list the existing sidewalk and pedestrian ramp materials and physical condition at the development site.

	Existing sidewalks and ramps meet City of Boston Standards.
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Are the sidewalks and pedestrian ramps existing-to-remain? *If yes*, have the sidewalks and pedestrian ramps been verified as compliant? *If yes*, please provide surveyors report.

	Existing sidewalks and pedestrians ramps to remain. Please see C1-Record Conditions Plan of Land.
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Is the development site within a historic district? *If yes*, please identify.

	No
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**Surrounding Site Conditions – Proposed**

This section identifies the proposed condition of the walkways and pedestrian ramps in and around the development site. The width of the sidewalk contributes to the degree of comfort and enjoyment of walking along a street. Narrow sidewalks do not support lively pedestrian activity, and may create dangerous conditions that force people to walk in the street. Typically, a five foot wide Pedestrian Zone supports two people walking side by side or two wheelchairs passing each other. An eight foot wide Pedestrian Zone allows two pairs of

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people to comfortable pass each other, and a ten foot or wider Pedestrian Zone can support high volumes of pedestrians.

Are the proposed sidewalks consistent with the Boston Complete Street Guidelines? See: [www.bostoncompletestreets.org](http://www.bostoncompletestreets.org)

**If yes above**, choose which Street Type was applied: Downtown Commercial, Downtown Mixed-use, Neighborhood Main, Connector, Residential, Industrial, Shared Street, Parkway, Boulevard.

What is the total width of the proposed sidewalk? List the widths of the proposed zones: Frontage, Pedestrian and Furnishing Zone.

List the proposed materials for each Zone. Will the proposed materials be on private property or will the proposed materials be on the City of Boston pedestrian right-of-way?

If the pedestrian right-of-way is on private property, will the proponent seek a pedestrian easement with the City of Boston Public Improvement Commission?

Will sidewalk cafes or other furnishings be programmed for the pedestrian right-of-way?

**If yes above**, what are the proposed dimensions of the sidewalk café or furnishings and what will the right-of-way clearance be?

Yes
Street Type: Neighborhood Residential
Existing sidewalk
N/A
N/A
N/A

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**Proposed Accessible Parking:**

See Massachusetts Architectural Access Board Rules and Regulations 521 CMR Section 23.00 regarding accessible parking requirement counts and the Massachusetts Office of Disability Handicap Parking Regulations.

What is the total number of parking spaces provided at the development site parking lot or garage?

10

What is the total number of accessible spaces provided at the development site?

N/A

Will any on street accessible parking spaces be required? **If yes,** has the proponent contacted the Commission for Persons with Disabilities and City of Boston Transportation Department regarding this need?

No

Where is accessible visitor parking located?

No

Has a drop-off area been identified? **If yes,** will it be accessible?

No

Include a diagram of the accessible routes to and from the accessible parking lot/garage and drop-off areas to the development entry locations. Please include route distances.

Accessible entrance located on Fisher Avenue providing access to garage level via elevator.

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**Circulation and Accessible Routes:**

The primary objective in designing smooth and continuous paths of travel is to accommodate persons of all abilities that allow for universal access to entryways, common spaces and the visit-ability\* of neighbors.

*\*Visit-ability – Neighbors ability to access and visit with neighbors without architectural barrier limitations*

Provide a diagram of the accessible route connections through the site.

Accessible entrance located on Fisher Avenue providing access to garage level via elevator. Please see architectural plans.

Describe accessibility at each entryway: Flush Condition, Stairs, Ramp Elevator.

All entryways are compliant with MA Building Code Standards

Are the accessible entrance and the standard entrance integrated?

YES

**If no above**, what is the reason?

Will there be a roof deck or outdoor courtyard space? **If yes**, include diagram of the accessible route.

YES  
Accessible entrance located on Fisher Avenue providing access to private balconies/courtyards via elevator. Please see architectural plans.

Has an accessible routes way-finding and signage package been developed? **If yes**, please describe.

NO

**Accessible Units: (If applicable)**

In order to facilitate access to housing opportunities this section addresses the number of accessible units that are proposed for the development site that remove barriers to housing choice.

What is the total number of proposed units for the development?

15 units

How many units are for sale; how many are for rent? What is the market value vs. affordable breakdown?

15 units for rent.  
Of the 15 units, there will be thirteen (13) Market rate units and two (2) affordable at 70% AMI

How many accessible units are being proposed?

All units will be adaptable compliant with Group 1 requirements (521 CMR, 9.5)

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Please provide plan and diagram of the accessible units.

How many accessible units will also be affordable? If none, please describe reason.

Do standard units have architectural barriers that would prevent entry or use of common space for persons with mobility impairments? Example: stairs at entry or step to balcony. **If yes,** please provide reason.

Has the proponent reviewed or presented the proposed plan to the City of Boston Mayor’s Commission for Persons with Disabilities Advisory Board?

Did the Advisory Board vote to support this project? **If no,** what recommendations did the Advisory Board give to make this project more accessible?

All units are adaptable. 2 of the 15 units are affordable.
Stairs at entry located on 2 units at the Lower Garden Level due to an existing concrete slab with a 2'- 6" height difference.
No
N/A

Thank you for completing the Accessibility Checklist!

For questions or comments about this checklist or accessibility practices, please contact:

[kathryn.quigley@boston.gov](mailto:kathryn.quigley@boston.gov) | Mayors Commission for Persons with Disabilities

**9.0 PROJECT CERTIFICATION**

This SPRA form has been circulated to the Boston Redevelopment Authority as required by Article 80A-6 of the Boston Zoning Code.



\_\_\_\_\_  
Signature of Proponent

4/23/2015

\_\_\_\_\_  
Date

Jason Savage  
36-40 Fisher Avenue, LLC