



# Fort Point Associates, Inc.

*Urban Planning Environmental Consulting Project Permitting*

**A TETRA TECH COMPANY**

July 2, 2019

Raul Duverge, Project Manager  
Boston Planning & Development Agency  
One City Hall Plaza, 9<sup>th</sup> Floor  
Boston, MA 02201

Re: Notice of Project Change, 6-26 New Street, East Boston

Dear Mr. Duverge:

This letter is submitted on behalf of Navy Yard Hospitality Group (the "Proponent") to inform you of a Notice of Project Change for the 6-26 New Street development project (the "Site"). I respectfully request that the Boston Planning & Development Agency (BPDA) determine that no further review is required under Article 80B and 80C as the Project change is insignificant and does not generate any additional impacts. The Project impacts have been adequately considered in the Draft Project Impact Report and subsequent approvals.

The Site is located north of LoPresti Park, east of Boston Harbor, west of New and Sumner streets, and south of property owned by Boston Towing and Transportation. The Proponent proposes to add an approximately 1,893 square-foot canopy to the single-story restaurant building located at the Site. The canopy will convert outdoor seating to indoor seating to help meet the demand for extended season seating, which is expected to grow substantially due to nearby developments currently under construction. Other project changes include relocating the Designated Port Area ("DPA") access route, adding floats to the water transportation dock to increase recreational boating access to the Site, and improving the landscaping on the site (the "Proposed Project").

### **Project History**

The Site was developed in 2016 in accordance with the Amended and Restated Development Plan that was approved and became effective on October 17, 2014. Components of this Project included two residential buildings (a 16-story and a 4-story) with a total of 259 dwelling units, a 4,900 square-foot commercial space on the ground floor, 155 off-street parking spaces, a two-story parking garage, a water-transportation dock, substantial public open space, and other waterfront amenities (the "Approved Project"). The Approved Project also included a vehicular access route to the East Boston DPA portion of the Site's watershed from the intersection of New and Sumner streets. A restaurant, known as "Reel House," opened in the unoccupied 1-story portion of the development in

2017. Exterior restaurant seating is located between this building and a raised deck, which also has some outdoor restaurant seating.

### Proposed Project Changes

This section details the proposed changes regarding the canopy, DPA access route, and the dock expansion. See Table 1: Proposed Project Changes for a summary of Project changes from the existing to the Proposed Project.

#### Canopy

The Proposed Project includes the addition of a one-story canopy to expand the use of the Reel House restaurant into the early spring and late fall seasons. The approximately 12-foot high canopy will be approximately 88-feet long by 24-feet wide (1,893 sf) and located between the waterfront side of the existing one-story building and the raised deck. The west face of the canopy will be approximately six inches from the first “step” that leads up to the raised deck. The canopy will be constructed with approximately 11 steel columns on spread footings. Moveable glass panels will be located on the three exterior sides. The roof drainage will tie into the existing storm drainage, which will be treated before it empties into Boston Harbor.

**Table 1: Proposed Project Changes**

	Approved Project (Completed in 2017)	Proposed Project (2019)	Net Change
GFA (sf) (1)	242,615	244,508	+ 1,893
FAR	2.9	2.9	0.0
Building Footprint (sf)	37,920	39,813	+ 1,893
Stories	Redeveloped Building: 16 New Building: 4 Parking Garage: 2	Redvp. Building: 16 New Building: 4 Parking Garage: 2 Canopy: 1	Redvp. Building: 0 New Building: 0 Parking Garage: 0 Canopy: + 1
Height (ft)	Redvp. Building: 200 New Building: 56 Parking Garage: 26	Redvp. Building: 200 New Building: 56 Parking Garage: 26 Canopy: 12	Redvp. Building: 0 New Building: 0 Parking Garage: 0 Canopy: + 12
Units	259	259	0
Parking Spaces	Garage: 129 to 141 Surface: 14 Total: 143 to 155	Garage: 129 to 141 Surface: 14 Total: 143 to 155	Garage: 0 Surface: 0 Total: 0
Public Open Space (sf)	42,667	40,774	-1,893

(1) GFA – Gross Floor Area

The proposed canopy is designed to be an extension of the restaurant. The intent is to have full transparency between the restaurant, the patio dining area and the waterfront. The entire perimeter of the canopy enclosure is operable bi-folding storefront so that the enclosure can be fully opened. The exterior finish of the canopy as well as the canopy height will match that of the existing storefront system and datum to allow the canopy to act as an extension of the existing structure. The existing patio pavers are to remain, leaving this extension to retain the feel of a patio dining area. Please note that access to the enclosed canopy area will still be through the restaurant entry, but there are also two points of egress from the enclosed area: one on the North side and one on the South side of the structure. The use will be consistent with the existing exterior restaurant seating area except it will be enclosed on a seasonal basis.

#### *DPA Access Route*

A portion of the existing DPA access route will be relocated to allow for the new canopy. Vehicles can access the route from New Street through the approximately 13-foot-wide space between the two residential buildings and then continue to the existing route and turn-around area in front of the 16-story building.

#### *Dock Expansion*

The Proponent intends to add approximately 1,550 sf of docks to the existing water transportation dock. This new recreational marina will accommodate up to nine vessels and will provide direct access to the water for public use.

#### *Landscaping Improvements*

The surface of approximately 3,300 sf of lawn will be changed to approximately 2,700 sf of permeable pavers and approximately 600 sf of pea stone. The pea stone area will be enclosed by a gated chain-link fence and used for dogs.

The Project Changes are minimal in nature, designed merely to allow for the expanded public use and enjoyment of the waterfront, and do not result in significant impacts as compared to the Approved Project for the reasons outlined below.

#### **Increase in Project Size or Intensity of Use/Expansion of Project**

There will not be any increases in the number of stories, height, or unit count. The FAR will increase slightly but not enough to change the existing FAR of 2.9. The GFA will increase 1,893 sf or less than 0.8 percent of total GFA. The building footprint will increase by 1,893 sf, as well. Furthermore, the proposed restaurant canopy will change the existing outside seating area to seasonal inside seating area. These are relatively insignificant changes to the approved development.

**Generation of Additional or Greater Impacts**

The Project Change will not significantly generate additional or greater impacts in terms of wind, shadow, public realm, or urban design. Although there is a minor reduction in the existing public open space, the canopy will provide more protection for the public as a seating area during the spring, summer, and fall months. The proposed docks will increase the public's use of and access to the waterfront. The landscape improvements will improve the site conditions and help manage dogs.

**Increase in Traffic Impacts or the Number of vehicle Parking Spaces**

There is no increase in vehicle parking spaces, and there will be no increase in traffic impacts. This Project is located 0.25 miles from the MBTA's Maverick Station and has an on-site water-taxi stop and a bike-share station. An expansion of the docking space for short term stays is also planned. It is anticipated that many residents and visitors will use transit, water taxis, bicycles, and expanded berthing area to access the Site.

**Change in Expected Commencement or Completions Date**

The approved development was completed in 2016. The Project will start as soon as it receives local and state approvals, and will take approximately 3 months to complete.

**Change in Project Site**

The location of the Project Site has not changed.

**Need for Additional Zoning Relief/New Permit or Request for Financial Assistance or Land Transfer**

The Project requires only a minor change to the existing Planned Development Area.

**Changes in Surrounding Area/Ambient Environment**

There have been no significant changes to the surrounding area or environment.

Based on the above analysis, we request a determination that no further review is required pursuant to Article 80, Section 80A-6.2. of the Boston Zoning Code.



Raul Duverge  
July 2, 2019  
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Thank you for your attention to this matter. Please feel free to contact me with any questions at (617) 357-7044 x208.

Sincerely,

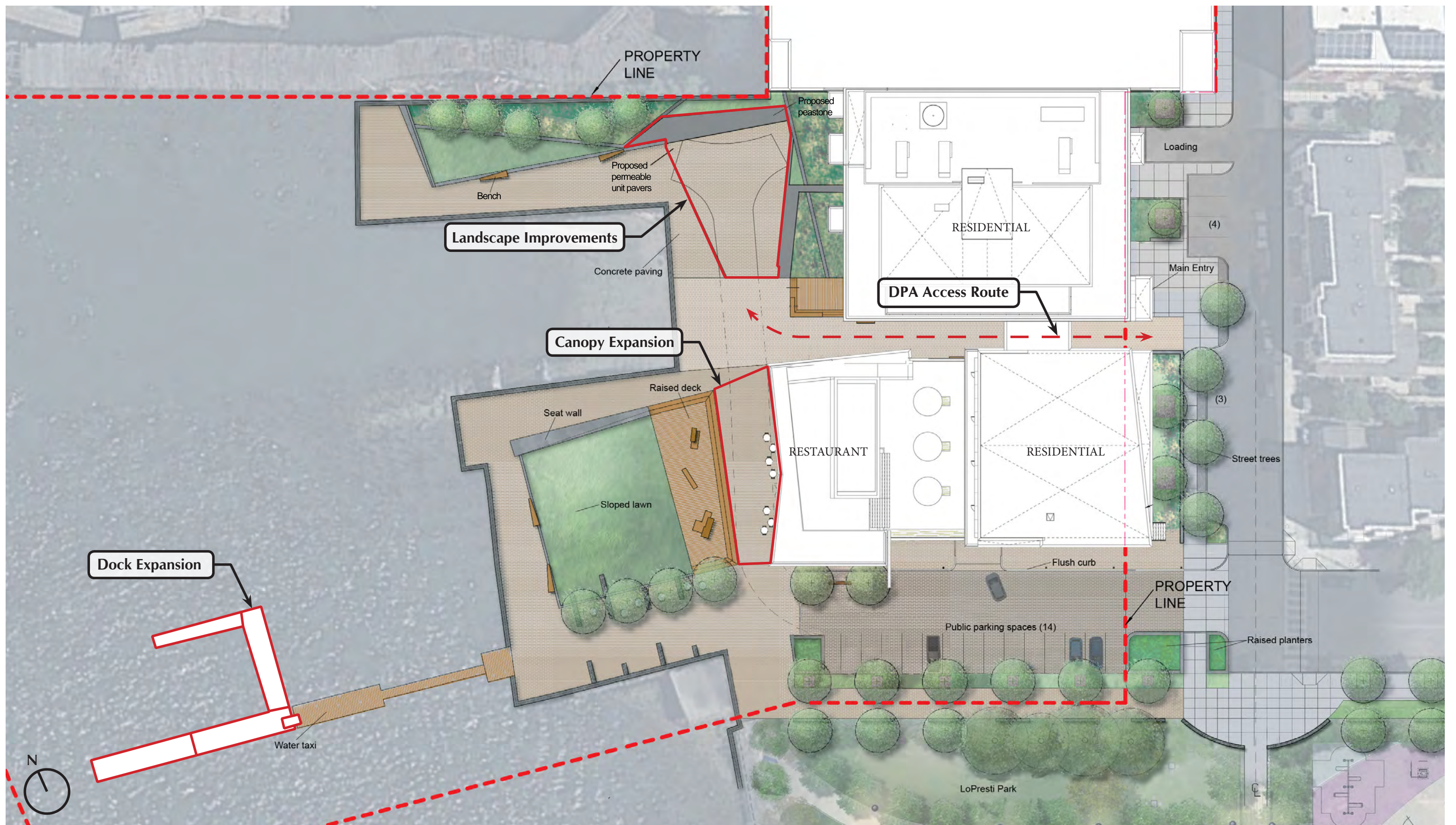
A handwritten signature in black ink, appearing to read "Richard Jabba". The signature is fluid and cursive, with the first name being more prominent.

Richard Jabba

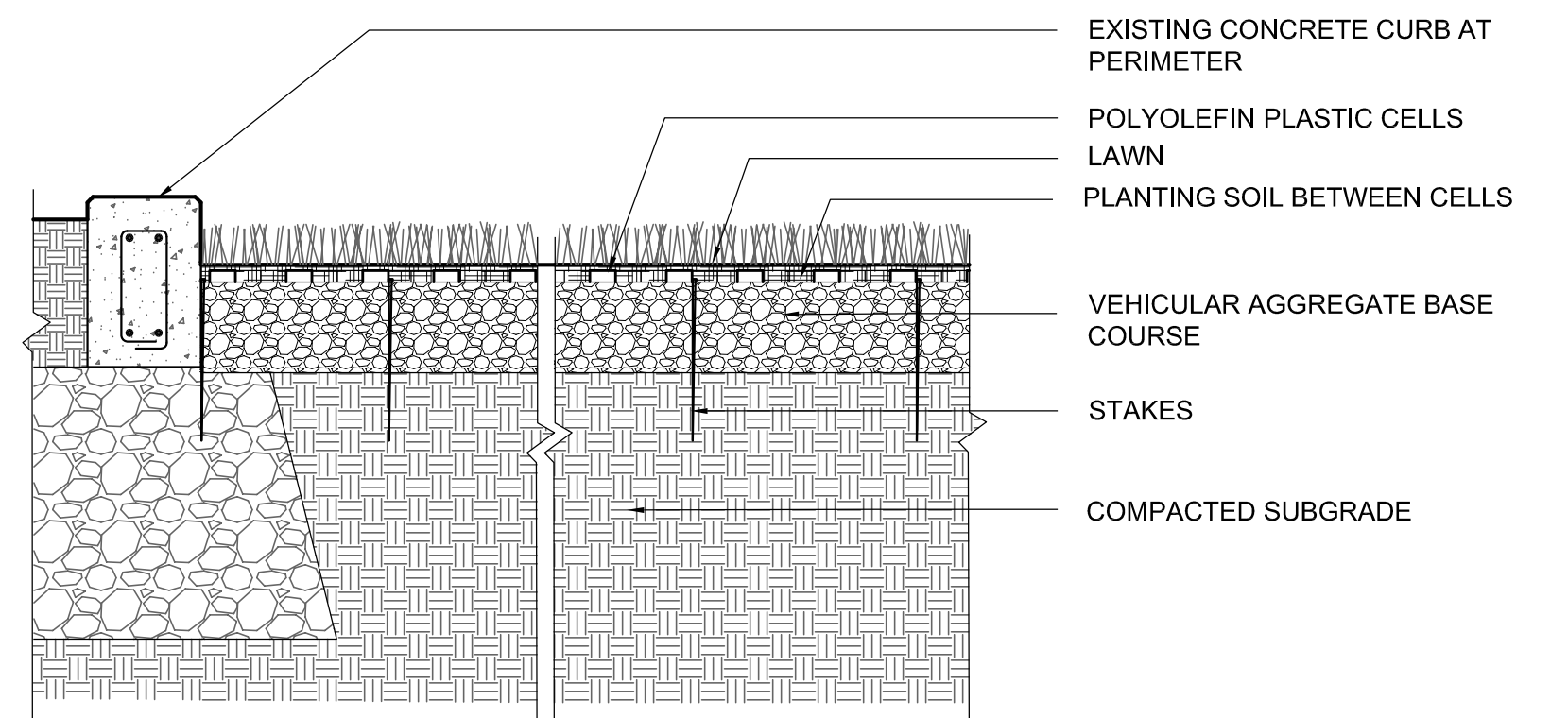
Cc: Charlie Larner, Navy Yard Hospitality Group  
Kelly Saito, Gerding Edlen  
Jamie Fay, Fort Point Associates, Inc.

Encl: Figure 1: Site Plan  
Landscape Layout and Materials Plan, 3-6-2019  
NPC Submission Plan Set (7 Sheets), Revised 6-26-2019  
First Amendment to Amended and Restated Development Plan

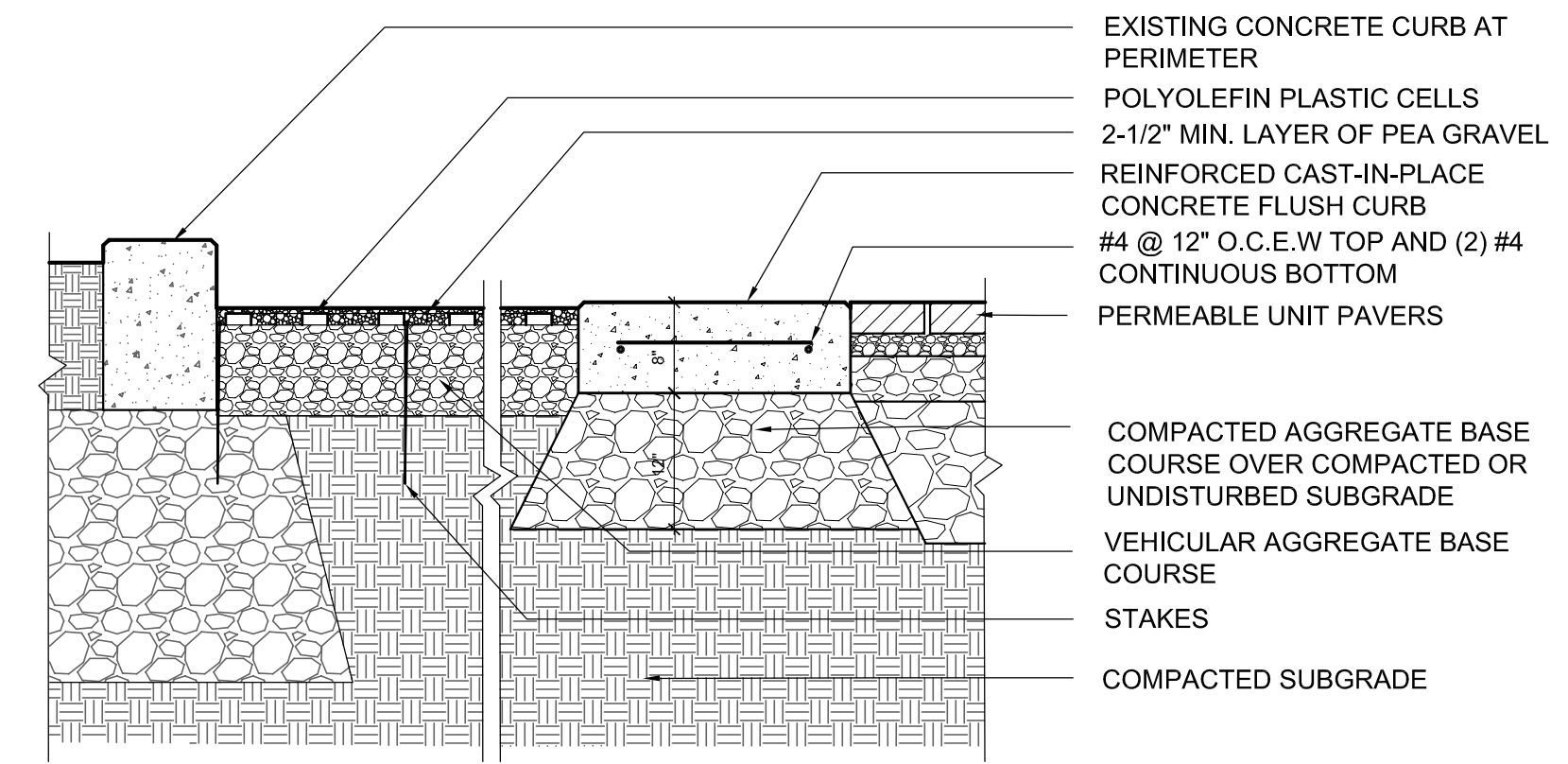




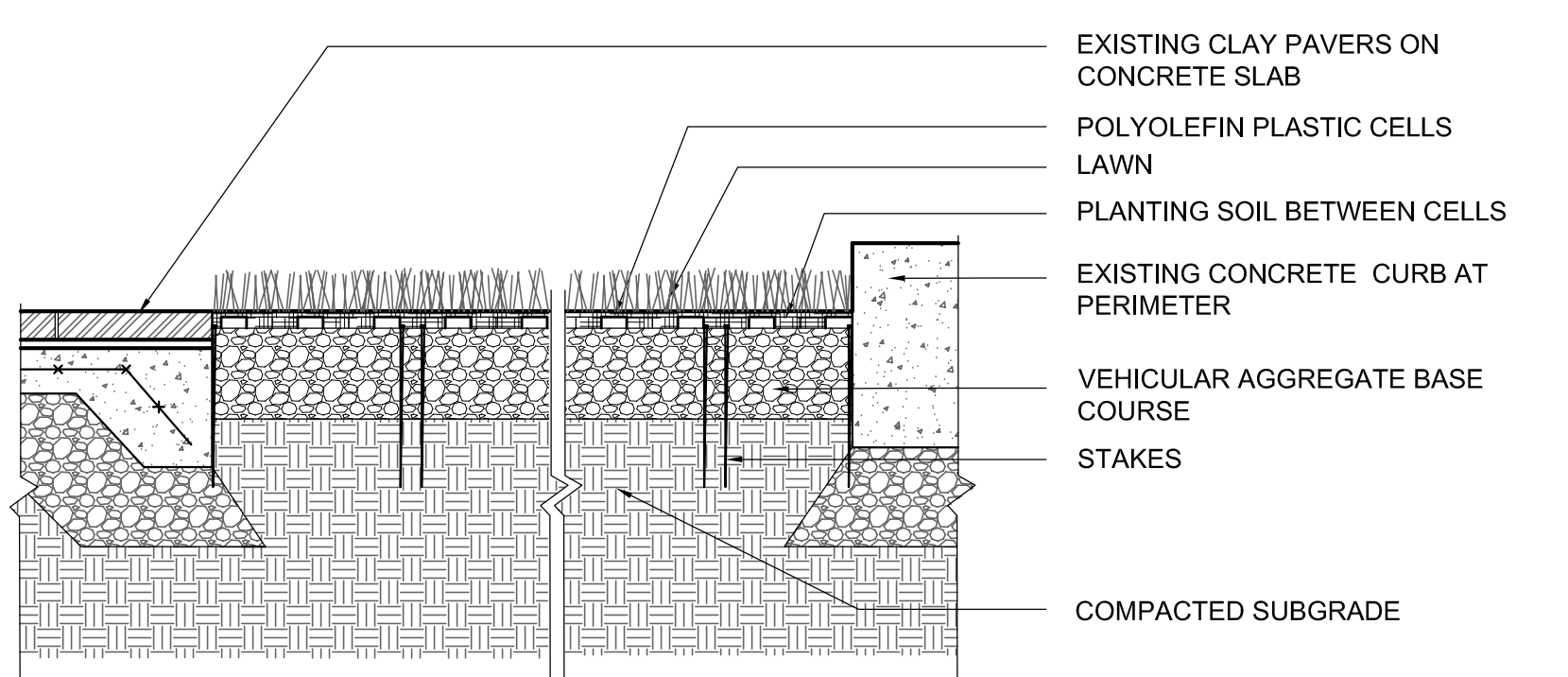




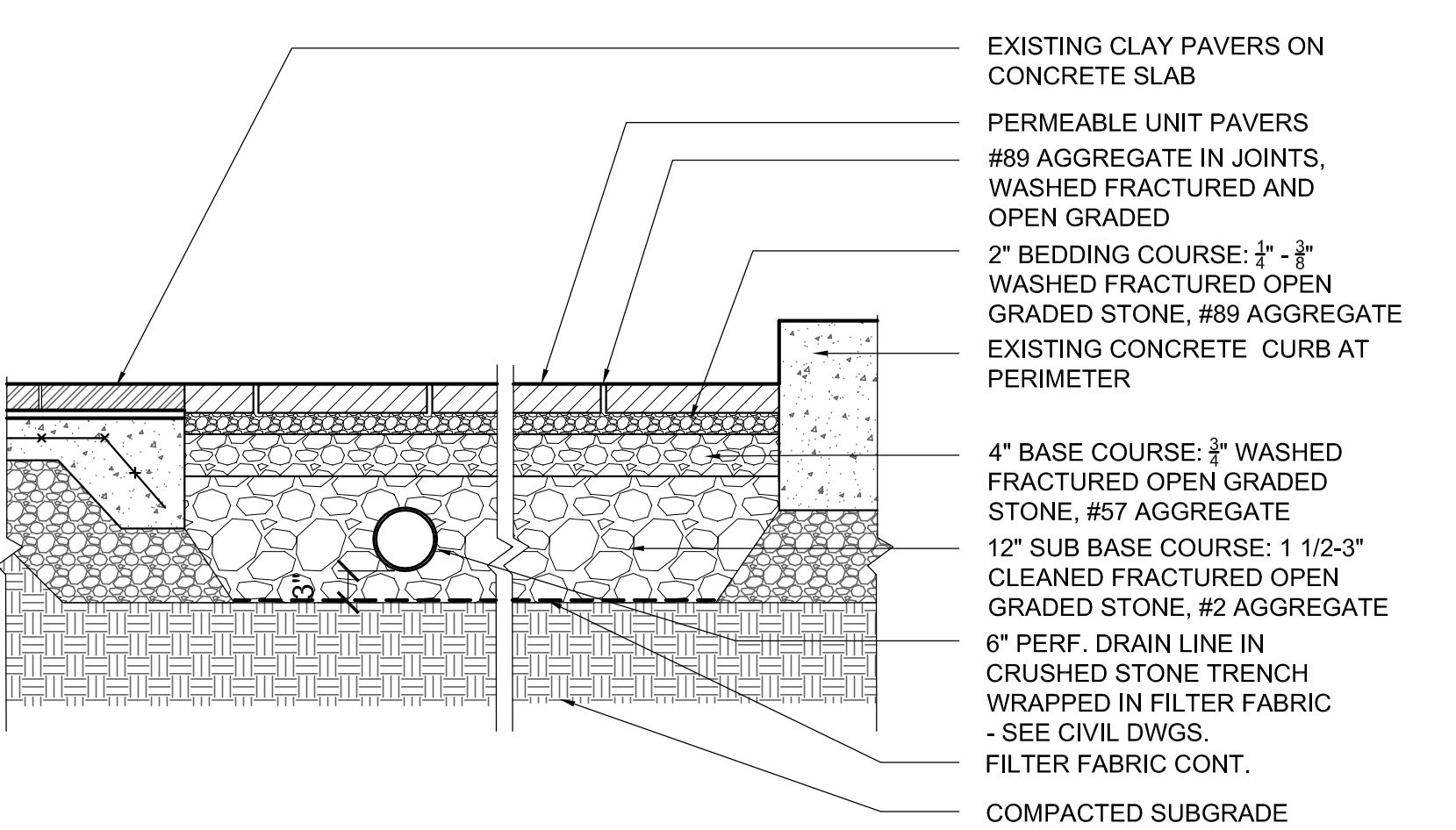
**1 EXISTING CONDITION - REINFORCED GRASS**  
SCALE: 3/4"=1'-0"



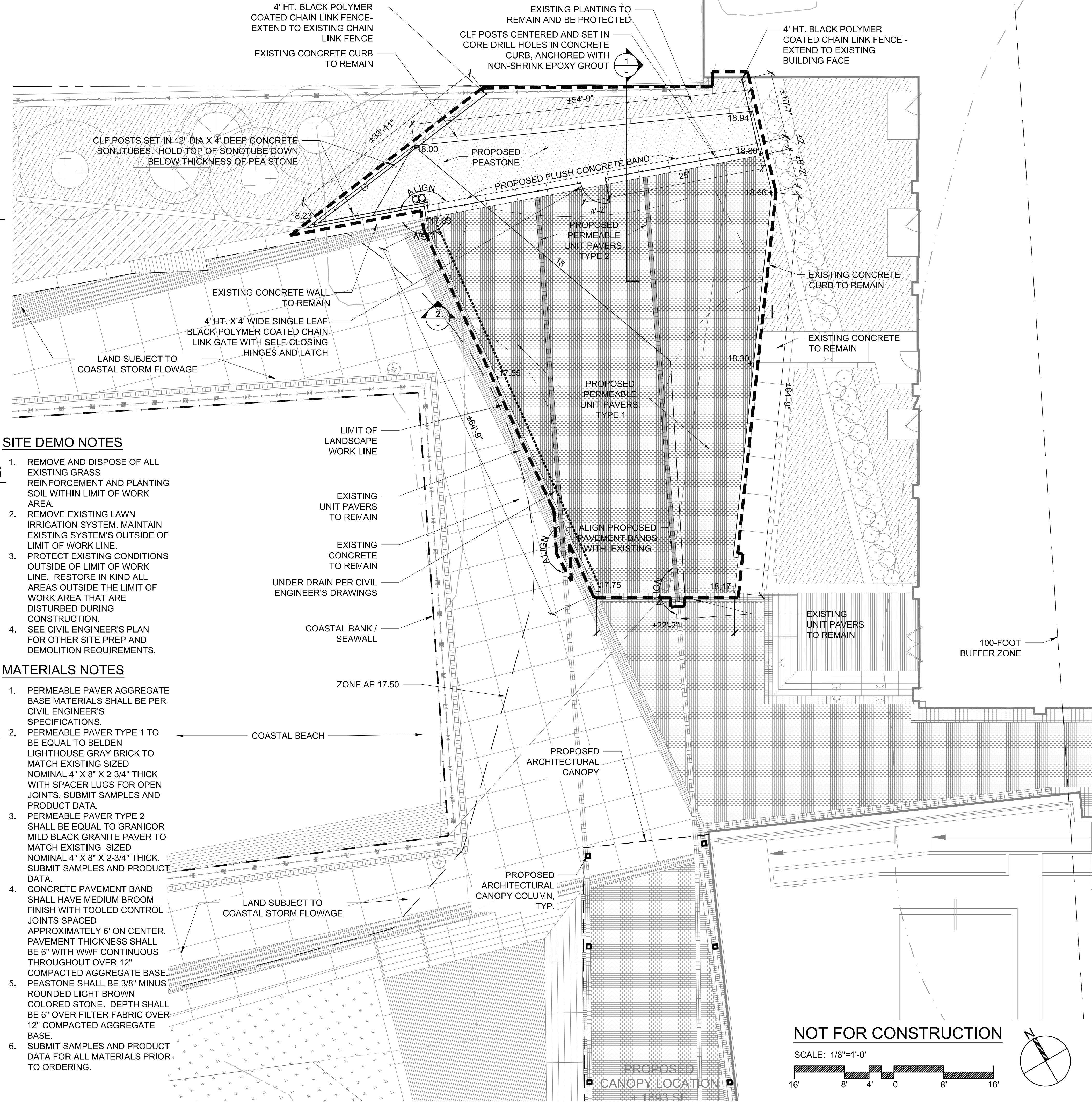
**1 PROPOSED CONDITION - PEASTONE SURFACING**  
SCALE: 3/4"=1'-0"



**2 EXISTING CONDITION - REINFORCED GRASS**  
SCALE: 3/4"=1'-0"



**2 PROPOSED CONDITION - PERMEABLE PAVER**  
SCALE: 3/4"=1'-0"



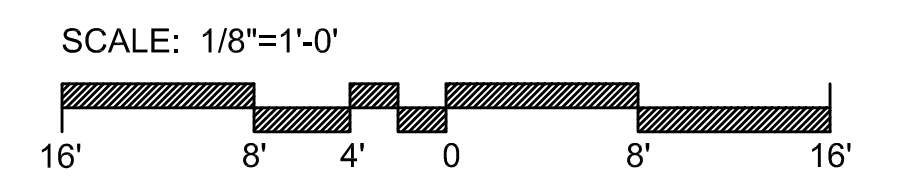
**SITE DEMO NOTES**

1. REMOVE AND DISPOSE OF ALL EXISTING GRASS REINFORCEMENT AND PLANTING SOIL WITHIN LIMIT OF WORK AREA.
2. REMOVE EXISTING LAWN IRRIGATION SYSTEM. MAINTAIN EXISTING SYSTEM'S OUTSIDE OF LIMIT OF WORK LINE.
3. PROTECT EXISTING CONDITIONS OUTSIDE OF LIMIT OF WORK LINE. RESTORE IN KIND ALL AREAS OUTSIDE THE LIMIT OF WORK AREA THAT ARE DISTURBED DURING CONSTRUCTION.
4. SEE CIVIL ENGINEER'S PLAN FOR OTHER SITE PREP AND DEMOLITION REQUIREMENTS.

**MATERIALS NOTES**

1. PERMEABLE PAVER AGGREGATE BASE MATERIALS SHALL BE PER CIVIL ENGINEER'S SPECIFICATIONS.
2. PERMEABLE PAVER TYPE 1 TO BE EQUAL TO BELDEN LIGHTHOUSE GRAY BRICK TO MATCH EXISTING SIZED NOMINAL 4" X 8" X 2-3/4" THICK WITH SPACER LUGS FOR OPEN JOINTS. SUBMIT SAMPLES AND PRODUCT DATA.
3. PERMEABLE PAVER TYPE 2 SHALL BE EQUAL TO GRANICOR MILD BLACK GRANITE PAVER TO MATCH EXISTING SIZED NOMINAL 4" X 8" X 2-3/4" THICK. SUBMIT SAMPLES AND PRODUCT DATA.
4. CONCRETE PAVEMENT BAND SHALL HAVE MEDIUM BROOM FINISH WITH TOOLED CONTROL JOINTS SPACED APPROXIMATELY 6' ON CENTER. PAVEMENT THICKNESS SHALL BE 6" WITH WWF CONTINUOUS THROUGHOUT OVER 12" COMPACTED AGGREGATE BASE. PEASTONE SHALL BE 3/8" MINUS ROUNDED LIGHT BROWN COLORED STONE. DEPTH SHALL BE 6" OVER FILTER FABRIC OVER 12" COMPACTED AGGREGATE BASE.
5. SUBMIT SAMPLES AND PRODUCT DATA FOR ALL MATERIALS PRIOR TO ORDERING.

NOT FOR CONSTRUCTION



PREPARED BY:  
PROJECT NAME / CLIENT:  
**THE EDDY**  
6-26 NEW STREET, EAST BOSTON MA 02128

CWDG PROJECT NUMBER: XXXX  
ISSUANCES:  
REV # DATE DESCRIPTION

STAMP:

DRAWING TITLE:  
**LANDSCAPE LAYOUT AND MATERIALS PLAN**

DRAWN BY: IR  
CHECKED BY: JC  
SCALE: 1/8" = 1'-0"  
DATE: 3.6.19  
SHEET 1 OF 1  
DRAWING NUMBER:

**L-1**

4/5/2019 9:01:03 AM - T:\1849 New Street Doq Area with Gerding Edlen\Construction Drawings\Current CWDG Drawings\Xrefs\180906\_Master\_0\_doa\_area.dwg - IAN RAMEY



**ISSUED FOR:**  
NPC SUBMISSION ONLY  
06.29.2018  
REVISED 06.26.2019

PROJECT DIRECTORY	GENERAL NOTES	CODE	LOCUS MAP														
<p><b>TENANT:</b></p> <p><b>Raw Restaurant Group</b> 1412 42 8th Street Charlestown, MA 02129</p> <p>Attn: C. Charles Larner, III 813-785-5446</p> <p><b>ARCHITECT:</b></p> <p><b>SOUSA design</b> 81 Boylston St. 2nd Floor Brookline, MA 02445</p> <p>Attn: Stephen A. Sousa 617-879-9100</p>	<ol style="list-style-type: none"> <li>THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECTS OF ALL DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.</li> <li>THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS THAT MAY APPLY TO THE CONSTRUCTION OF THE PROJECT.</li> <li>ALL WORK OF THIS PROJECT SHALL COMPLY WITH ACCEPTED BUILDING PRACTICES AND ALL CODES HAVING JURISDICTION OVER THIS PROJECT.</li> <li>REFER TO LIMITS OF WORK DRAWINGS FOR OVERALL DESCRIPTION OF WORK AREAS.</li> <li>THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE AND ALL SURROUNDING AREAS IN FINAL CLEAR CONDITION INCLUDING THE REMOVAL OF ALL DEBRIS RESULTING FROM CONSTRUCTION.</li> <li>THE CONTRACTOR SHALL AT ALL TIMES DURING THE PROGRESS OF THE WORK REMOVE ALL CONSTRUCTION DEBRIS AND MAINTAIN A DUST FREE ENVIRONMENT FOR ALL ADJACENT AREAS.</li> <li>THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.</li> <li>THE CONTRACTOR SHALL UTILIZE THE AREAS WITHIN THE SCOPE OF WORK FOR STORAGE OF MATERIALS AND TOOLS.</li> <li>ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER ALL OTHERS. DO NOT SCALE DRAWINGS. IF THERE IS A QUESTION OR CONFLICT IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.</li> <li>VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. THE CONTRACT DRAWINGS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK.</li> <li>DIMENSIONS ARE TO CENTER LINES, EXISTING BUILDING GRID LINES OR TO FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.</li> <li>ALL GYPSUM WALL BOARD CONSTRUCTION SHALL CONFORM TO RECOMMENDATIONS, PRACTICES, STANDARDS, AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY IN THE GYPSUM CONSTRUCTION HANDBOOK.</li> <li>ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST STANDARDS OF THE VARIOUS TRADES INVOLVED.</li> <li>NO CHANGES OR SUBSTITUTIONS ARE ALLOWED UNLESS APPROVED BY THE ARCHITECT.</li> </ol>	<p><b>TENANT SPACE SUMMARY:</b></p> <p>Interior: ± 4,834 SF (EXISTING) Canopy: ± 1,893 SF</p> <p>Total: ± 6,727 SF</p> <p><b>USE CATEGORY:</b> Use: A-2 (Restaurant)</p> <p><b>BUILDING CODE:</b> WORK TO BE COMPLETED IN ACCORDANCE TO:</p> <p>IBC - International Building Code 2012 IEBC - International Existing Building Code 2012 IECC - International Energy Conservation Code 2009 IMC - International Mechanical Code 2009 IFC - International Fire Code 2009 780 CMR - MA Amendments to the IBC 527 CMR - MA fire prevention and electrical regulations 521 CMR - MA accessibility regulations 248 CMR - MA plumbing regulations 524 CMR - MA elevator regulations</p> <p><b>CONSTRUCTION TYPE:</b> Type: 1A</p> <p><b>**BUILDING IS FULLY SPRINKLERED**</b></p> <p><b>FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS</b></p> <table border="1"> <tr><td>PRIMARY STRUCTURAL FRAME</td><td>3 HOUR</td></tr> <tr><td>LOAD BEARING EXTERIOR WALLS</td><td>3 HOUR</td></tr> <tr><td>LOAD BEARING INTERIOR WALLS</td><td>3 HOUR</td></tr> <tr><td>NONBEARING EXTERIOR WALLS</td><td>1 HOUR</td></tr> <tr><td>NONBEARING INTERIOR WALLS</td><td>0 HOUR</td></tr> <tr><td>FLOOR CONSTRUCTION</td><td>2 HOUR</td></tr> <tr><td>ROOF CONSTRUCTION</td><td>1 1/2 HOUR</td></tr> </table>	PRIMARY STRUCTURAL FRAME	3 HOUR	LOAD BEARING EXTERIOR WALLS	3 HOUR	LOAD BEARING INTERIOR WALLS	3 HOUR	NONBEARING EXTERIOR WALLS	1 HOUR	NONBEARING INTERIOR WALLS	0 HOUR	FLOOR CONSTRUCTION	2 HOUR	ROOF CONSTRUCTION	1 1/2 HOUR	
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ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK AND SHALL ACCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

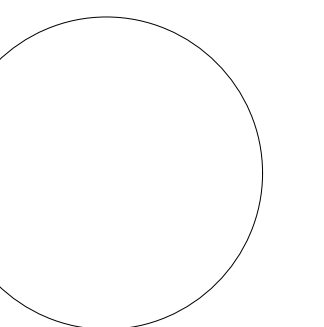
EACH CONTRACTOR SHALL SUBMIT TO SOUSA DESIGN ARCHITECTS FOR APPROVAL: SHOP DRAWINGS, SAMPLES, CUTS OF ALL THE ITEMS OF WORK PRIOR TO THEIR INCLUSION IN THE CONSTRUCTION. ALL ITEMS TO BE INCLUDED SHALL BE APPROVED FOR USE IN THE CITY OF BOSTON AND SHALL HAVE AN ASTM AND UL NUMBER WHEN SUCH ITEMS REQUIRE THIS DESIGNATION. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS.

THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

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<p><b>ARCHITECTURAL:</b></p> <p>A-000 COVER PAGE</p> <p>A-100 SITE PLAN A-110 BUILDING PLAN A-120 ENLARGED PATIO PLAN</p> <p>A-200 EXTERIOR ELEVATIONS A-201 EXTERIOR ELEVATIONS</p> <p>A-300 EXTERIOR CANOPY DETAILS</p>	<table border="0"> <tr> <td></td> <td>ELEVATION REFERENCE</td> <td></td> <td>BLOCKING</td> </tr> <tr> <td></td> <td>BUILDING CROSS SECTION</td> <td></td> <td>CONCRETE</td> </tr> <tr> <td></td> <td>DOOR NUMBER</td> <td></td> <td>EARTH</td> </tr> <tr> <td></td> <td>ROOM NUMBER</td> <td></td> <td>BATT INSULATION</td> </tr> <tr> <td></td> <td>WINDOW NUMBER</td> <td></td> <td>GRAVEL</td> </tr> <tr> <td></td> <td>ELEVATION DESIGNATION</td> <td></td> <td>WOOD</td> </tr> <tr> <td></td> <td>SECTION REFERENCE</td> <td></td> <td>DRYWALL</td> </tr> <tr> <td></td> <td>NEW DOOR TO BE INSTALLED</td> <td></td> <td>TILE</td> </tr> <tr> <td></td> <td>EXISTING DOOR TO REMAIN</td> <td></td> <td>STEEL</td> </tr> <tr> <td></td> <td>PARTITION TYPE</td> <td></td> <td></td> </tr> <tr> <td></td> <td>EXISTING CONSTRUCTION</td> <td></td> <td></td> </tr> <tr> <td></td> <td>NEW CONSTRUCTION</td> <td></td> <td></td> </tr> </table>		ELEVATION REFERENCE		BLOCKING		BUILDING CROSS SECTION		CONCRETE		DOOR NUMBER		EARTH		ROOM NUMBER		BATT INSULATION		WINDOW NUMBER		GRAVEL		ELEVATION DESIGNATION		WOOD		SECTION REFERENCE		DRYWALL		NEW DOOR TO BE INSTALLED		TILE		EXISTING DOOR TO REMAIN		STEEL		PARTITION TYPE				EXISTING CONSTRUCTION				NEW CONSTRUCTION			<table border="0"> <tr> <td>@</td> <td>AT ABOVE FINISH FLOOR</td> <td>GC</td> <td>GENERAL CONTRACTOR</td> <td>P LAM</td> <td>PLASTIC LAMINATE</td> <td>W</td> <td>WITH</td> </tr> <tr> <td>AFF</td> <td>ATTENUATING</td> <td>GL</td> <td>GLASS OR GLAZING</td> <td>PLYWD</td> <td>PLYWOOD</td> <td>WC</td> <td>WATER CLOSET</td> </tr> <tr> <td>ATTEN</td> <td>ATTENUATING</td> <td>GWB</td> <td>GYPSUM WALL BOARD</td> <td>PT</td> <td>PRESSURE TREATED</td> <td>WD</td> <td>WOOD</td> </tr> <tr> <td>BLDG</td> <td>BUILDING</td> <td>HC</td> <td>HOLLOW CORE</td> <td>PR</td> <td>PAIR</td> <td>X-REF</td> <td>CROSS REFERENCE</td> </tr> <tr> <td>CH</td> <td>CEILING HEIGHT</td> <td>HDWR</td> <td>HARDWARE</td> <td>PT</td> <td>PAINTED</td> <td></td> <td></td> </tr> <tr> <td>CL</td> <td>CENTER LINE</td> <td>HM</td> <td>HOLLOW METAL</td> <td>QT</td> <td>QUARRY TILE</td> <td></td> <td></td> </tr> <tr> <td>CLR</td> <td>CLEAR</td> <td>HOR</td> <td>HORIZONTAL</td> <td>R</td> <td>RISER</td> <td></td> <td></td> </tr> <tr> <td>COL</td> <td>COLUMN</td> <td>HT</td> <td>HEIGHT</td> <td>RAD</td> <td>RADIUS</td> <td></td> <td></td> </tr> <tr> <td>CONC</td> <td>CONCRETE</td> <td>HVAC</td> <td>HEATING, VENT, A/C</td> <td>REQ</td> <td>REQUIRED</td> <td></td> <td></td> </tr> <tr> <td>CONT</td> <td>CONTINUOUS</td> <td>HWH</td> <td>HOT WATER HEATER</td> <td>REF</td> <td>REFERENCE</td> <td></td> <td></td> </tr> <tr> <td>CPT</td> <td>CARPET</td> <td>INSUL</td> <td>INSULATION</td> <td>REV</td> <td>REVISION(S)</td> <td></td> <td></td> </tr> <tr> <td>CT</td> <td>CERAMIC TILE</td> <td>INT</td> <td>INTERIOR</td> <td>RH</td> <td>RIGHT HAND(ED)</td> <td></td> <td></td> </tr> <tr> <td>DIM</td> <td>DIMENSION</td> <td>RO</td> <td>ROUGH OPENING</td> <td>RTU</td> <td>ROUGH OPENING ROOF TOP UNIT</td> <td></td> <td></td> </tr> <tr> <td>DWG(S)</td> <td>DRAWING(S)</td> <td>SA</td> <td>SOUND ATTENTION BATTS</td> <td>SD</td> <td>SMOKE DETECTORS</td> <td></td> <td></td> </tr> <tr> <td>EA</td> <td>EACH</td> <td>SD</td> <td>SMOKE DETECTORS</td> <td>SIM</td> <td>SIMILAR</td> <td></td> <td></td> </tr> <tr> <td>EIFS</td> <td>EXT INSUL. 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**ISSUED FOR:**  
NPC SUBMISSION  
06.26.2019

81 Boylston Street, 2nd Floor  
Boston, MA 02445  
617-879-9100  
www.sousadesign.com



Job # 1611

Drawn by: Ckd by:

Date: 06.26.2019

**Revisions**

NO	REVISION	DATE
01	CHAPTER 91 SUBMISSION	06.29.2018
01	EXISTING STEPS	05.13.2019
02	BPDA REVIEW	06.26.2019

**COVER PAGE**



**24 New Street**

24 NEW STREET  
EAST BOSTON, MA 02128

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THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

**ISSUED FOR:**  
NPG SUBMISSION  
06.26.2019

**SOUSA design**  
Architects

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Boston, MA 02116  
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www.sousadesign.com

Job # 1611

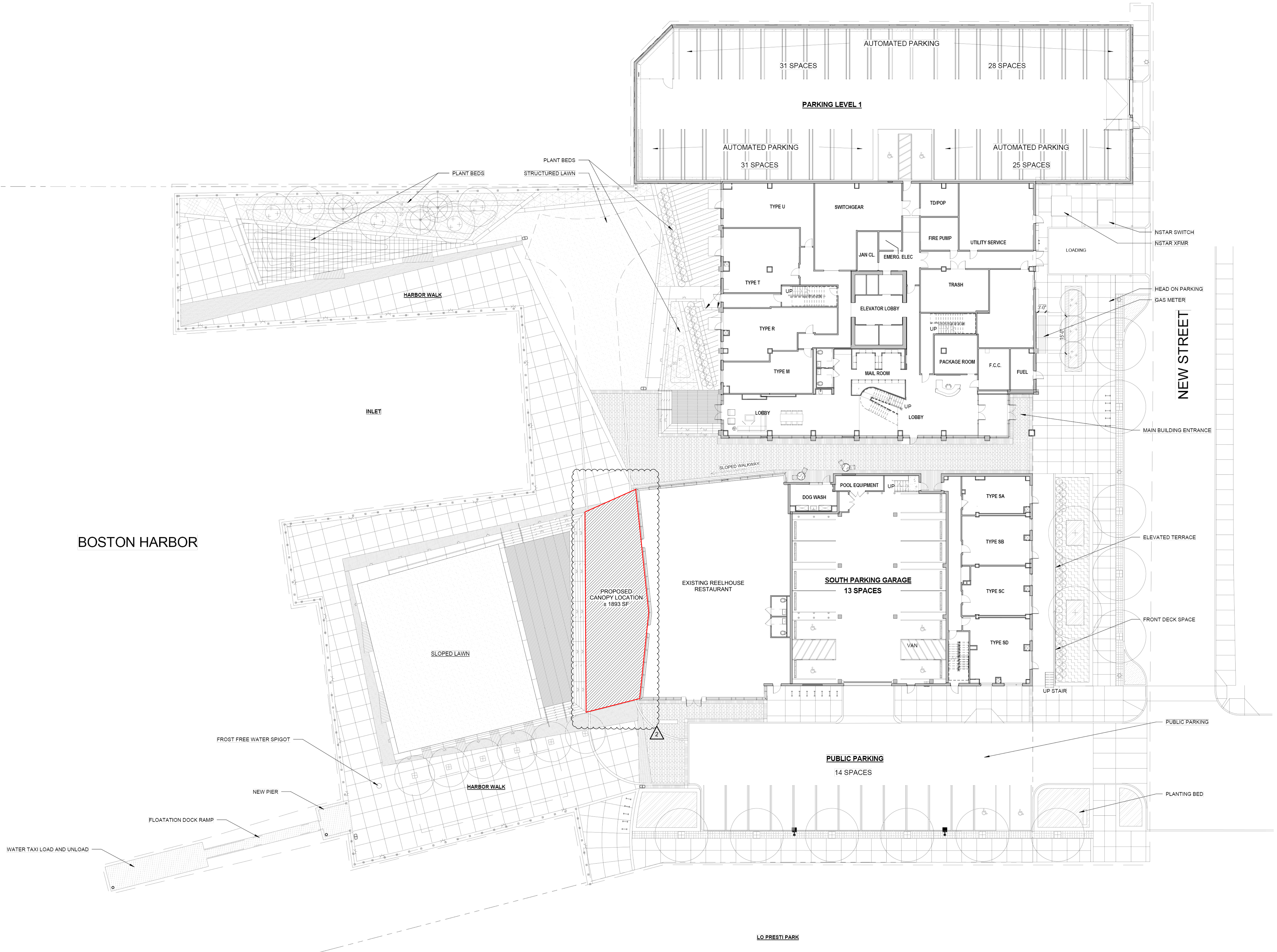
Drawn by: Ckd by:

Date: 06.26.2019

Revisions		
01	CHAPTER 91 SUBMISSION	06.29.2018
01	EXISTING STEPS	05.13.2019
02	BPDA REVIEW	06.26.2019

**SITE PLAN**

**A-100**



1 SITE PLAN  
Scale: 1/16" = 1'-0"



**24 New Street**

24 NEW STREET  
EAST BOSTON, MA 02128

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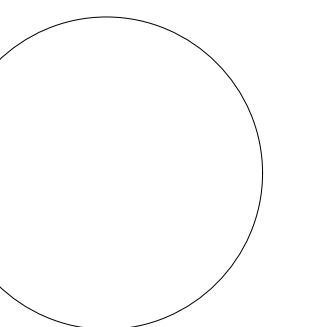
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**ISSUED FOR:**  
NIP SUBMISSION  
06.26.2019

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Job # 1611

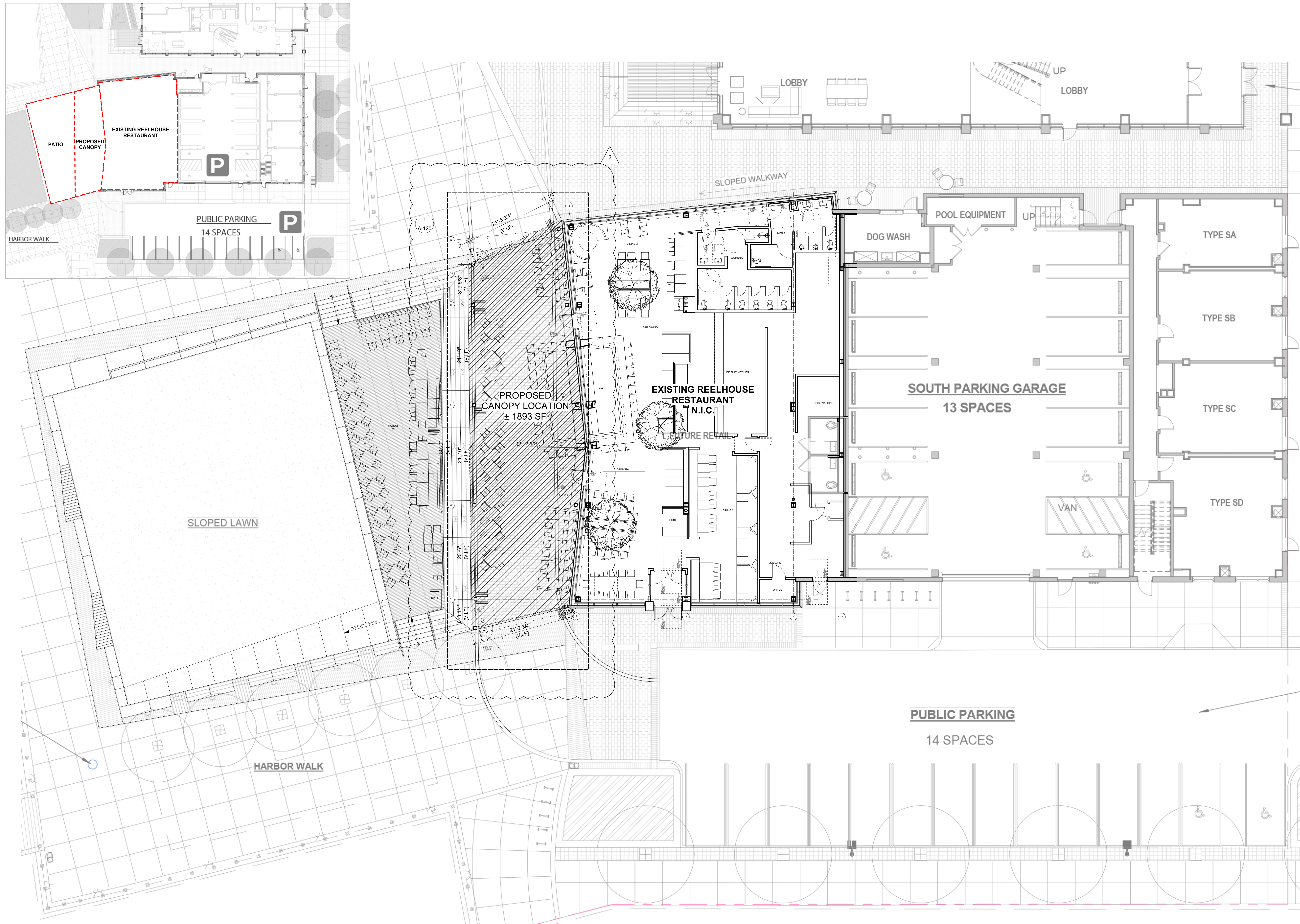
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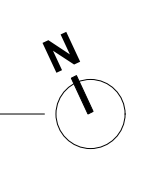
Revisions		
CHAPTER 91 SUBMISSION	06.29.2018	
01 EXISTING STEPS	05.13.2019	
02 BPDA REVIEW	06.26.2019	

**BUILDING PLAN**

**A-110**



1 BUILDING PLAN  
Scale: 1/8" = 1'-0"





**24 New Street**

24 NEW STREET  
EAST BOSTON, MA 02128

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**ISSUED FOR:**  
NRC SUBMISSION  
06.26.2019

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Job # 1611

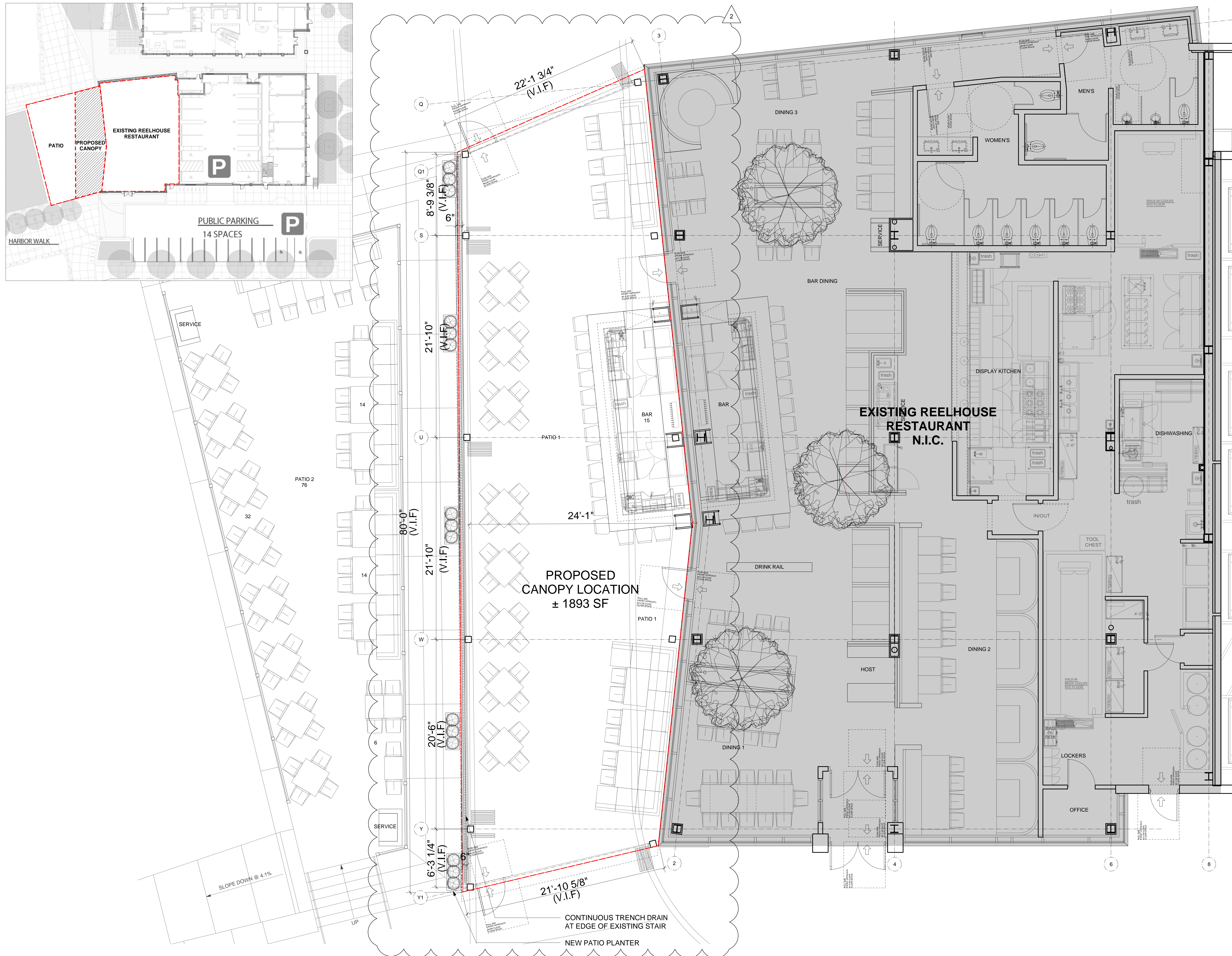
Drawn by: Ckd by:

Date: 06.26.2019

Revisions		
CHAPTER 91 SUBMISSION	06.29.2018	
01 EXISTING STEPS	05.13.2019	
02 BPDA REVIEW	06.26.2019	

**ENLARGED**  
**PATIO PLAN**

**A-120**



1 ENLARGED PATIO PLAN  
Scale: 1/4" = 1'-0"



# 24 New Street

24 NEW STREET  
EAST BOSTON, MA 02128

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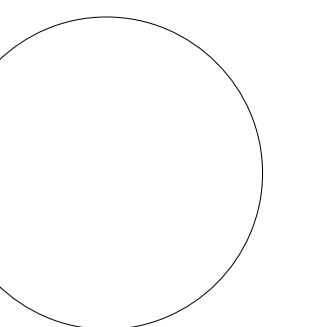
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**ISSUED FOR:**  
NIP SUBMISSION  
06.26.2019

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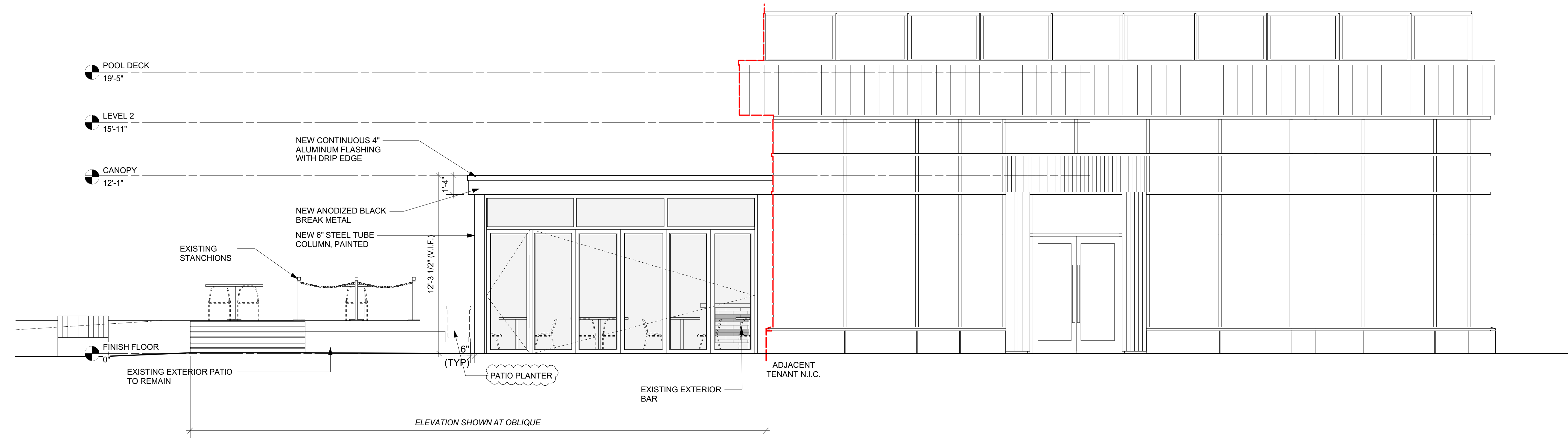
Date: 06.26.2019

**Revisions**

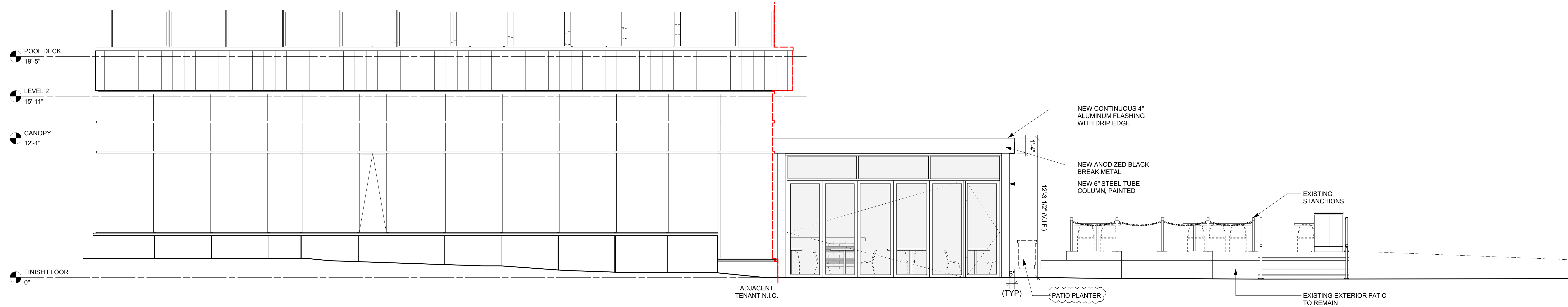
NO	DESCRIPTION	DATE
01	CHAPTER 91 SUBMISSION	06.29.2018
01	EXISTING STEPS	05.13.2019
02	BPDA REVIEW	06.26.2019

**EXTERIOR ELEVATIONS**

**A-200**



1 EXTERIOR ELEVATION  
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION  
Scale: 1/4" = 1'-0"



# 24 New Street

24 NEW STREET  
EAST BOSTON, MA 02128

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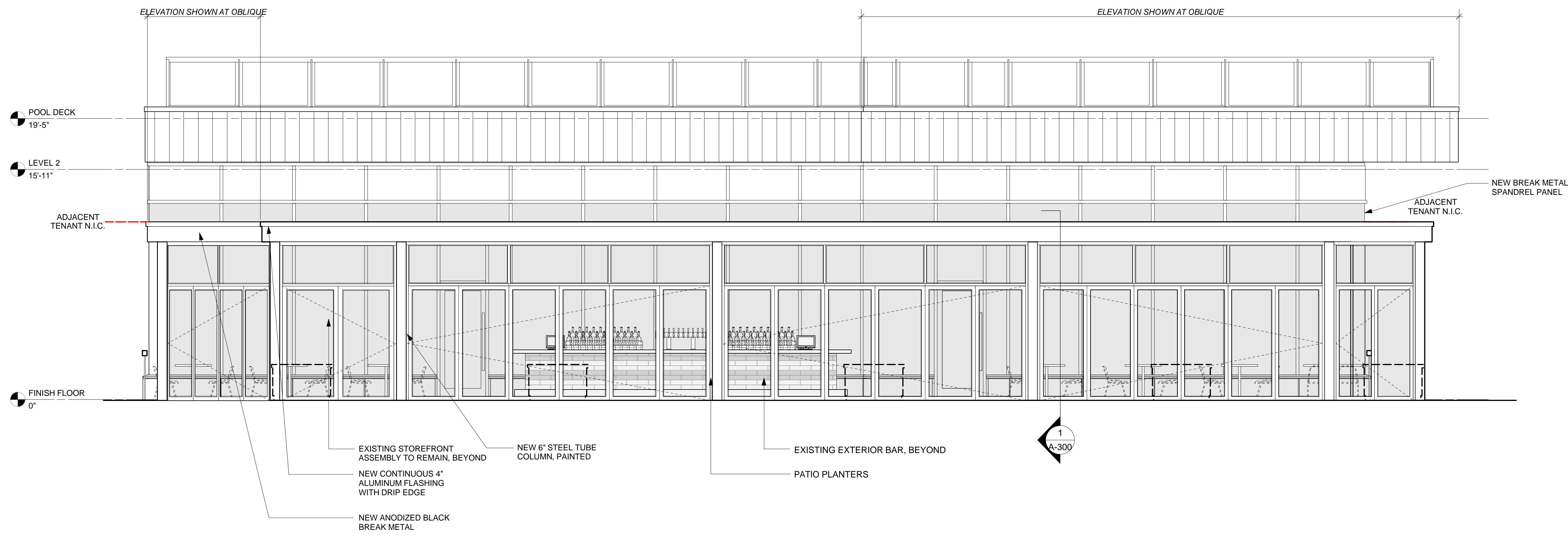
**Job #** 1611  
**Drawn by:**      **Ckd by:**  
**Date:** 06.26.2019

**Revisions**

01	CHAPTER 91 SUBMISSION	06.29.2018
01	EXISTING STEPS	05.13.2019
02	BPDA REVIEW	06.26.2019

**EXTERIOR ELEVATIONS**

**A-201**



1 EXTERIOR ELEVATION  
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# 24 New Street

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**EXTERIOR CANOPY  
DETAILS**

**A-300**

