

Boston Planning and Development Authority
Article 80 Small Project Review

Submittal for Proposed Residential Conversion
735 Truman Parkway
Hyde Park, Massachusetts



Submitted By
Nordblom Company
71 Third Avenue
Burlington, MA 01803





April 4, 2017

Brian Golden, Director
Boston Planning and Development Authority
Boston City Hall, 9th Floor
Boston, MA 02201

Dear Mr. Golden:

It is my pleasure to submit this application for Small Project Review pursuant to Article 80, Section 80E, of the Boston Zoning Code, for the 735 Truman Parkway residential conversion project in Hyde Park.

The project consists of 46 units of residential apartment units, primarily market rate, with 6 affordable units in accordance with the Mayor's executive order on inclusionary development, served by 62 parking spaces located on grade in existing parking lots. The project is a renovation of a nursing home which closed in the spring of 2016.

The applicant is 735 Truman Property Owner, LLC C/O Nordblom Development Company, the current owner of the project site. Architectural services are being provided by Choo & Company, Inc. of Quincy, Massachusetts.

On behalf of the applicant and development team, I wish to thank the BPDA for its guidance and assistance to date for this project. We look forward to continuing our strong working relationship with you and your staff as we move towards approval of this project.

Sincerely,

A handwritten signature in blue ink, appearing to read "T. Fremont-Smith", written in a cursive style.

Todd Fremont-Smith

735 Truman Parkway Residential Project

Hyde Park, MA

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 - Exhibit 4: Views of Site from within Property
 - Exhibit 5: Views of contextual Neighboring Sites
 - Exhibit 6: Views of contextual Apartment on Truman
 - Exhibit 8: Elevations, Floor Plans and Architectural Site Plan

I. PROJECT SUMMARY

1.1 Project Team

Developer and Applicant

Nordblom Development Company
Attn: Todd Fremont-Smith
71 Third Avenue
Burlington, MA 01803
Email: tfremont-smith@nordblom.com

Legal Council

Rubin and Rudman LLP
Attn: Paula Devereaux
50 Rowes Wharf
Boston, MA 02110
617-330-7000
Email: pdevereaux@rubinrudman.com

Architecture

Choo & Company, Inc.
Attn: Arthur Choo
One Billings Road
Quincy, MA 02171
Tel.: 617-786-7727
Email: arthur@choo-design.com

Civil Engineer

Design Consultants, Inc. (DCI)
Attn: Steve Sawyer
120 Middlesex Ave, Suite 20
Somerville, MA 02145
617-776-3350
Email: SSawyer@dcj-ma.com

1.2 PROJECT NARRATIVE

The proposed project consists of renovating an existing 3 story building situated at 735 Truman Parkway in Hyde Park. The lot size is 55,329 square feet with 62 surface parking spaces, and a building living area of 34,604 square feet (approximately 49,805 gross square feet). The existing building, which is currently vacant, was formerly used as an assisted-living nursing home through April 2016. The developer and applicant, Nordblom Development Company, purchased the property in February 2017 in the name of 735 Truman Property Owner, LLC.

The proposed renovated building footprint would remain unchanged. The building would contain approximately 49,805 gross square feet, with the building's main residential entrance and lobby facing Truman Parkway. The 62 existing surface parking spaces remain. There would be 46 residential units located on three floors.

1.3 COMMUNITY BENEFITS

The proposed project will offer many public benefits to the surrounding neighborhood and to the City of Boston, including:

- Repurposing of an important community landmark, The Parkwell, an assisted-living community that served the Hyde Park neighborhood for over 50 years. The Parkwell lost its operating license, closed its doors in spring 2016 and has been vacant since that time.
- The creation of 46 new residential units in an existing low-rise building, including 13% affordable units in accordance with the Mayor's Execution Order on Inclusionary Development;
- Generation of thousands of dollars in revenue annually to the City of Boston once the project is completed in the form of new real property tax payments
- The expected creation of approximately 50 construction jobs to complete the proposed project.

II. DETAILED PROJECT INFORMATION

2.1 Project Description

The project site consists of 55,329+/- square feet of land area, being a single parcel of land situated at 735 Truman Parkway in Hyde Park, being the City of Boston's Assessor's Parcel No. 1810591000. The site fronts onto Truman Parkway and is bordered on the left and right sides by residential buildings. To the rear of the property is the Massachusetts Bay Transit Authority's commuter rail, the Forge Park line.

Projected Total Construction Costs:	\$6,000,000
Estimated Construction Start:	Summer 2017
Estimated Construction Completion:	Spring 2018

2.2 Propose Project Program, Data and Dimensions

Lot Area:	55,329 +/-
Maximum Building Height:	29'3"
Number of Residential Units:	46 units

Residential Unit Description:

1st floor:

1 BR =9 units	9BR
1 BR/ST =3 units	3BR
2 BR =2 units	4 BR
14 UNITS	16 BEDROOMS

2nd floor:

1 BR =8 units	8BR
1 BR/ST =3 units	3BR
2 BR =5 units	10 BR
16 UNITS	21 BEDROOMS

3rd floor:

1 BR =9 units	9 BR
1 BR/ST =2 units	2BR
2 BR =5 units	10 BR
16 UNITS	21 BEDROOMS

Building totals:

TOTAL 46 UNITS	58 BEDROOMS
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Total Building Gross Square Footage:	49,805 square feet
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Floor Area Ratio: 0.92

Parking Spaces: 62

2.3 Urban Design Approach – Building Program, Massing and Materials

The proposed project will re-use the existing three story masonry building. The project will replace existing windows with dark (brown/green) casement windows, as well as enlarge the window opening on the first floor such that they are building standard. The gravel stop will be replaced to match the color of the windows as well.

All three stories will be converted from their prior use to rental apartments. On the first floor there will be 14 apartments. On the second floor there will be 16 apartments. And on the third floor there will be 16 apartments. A common patio of approximately 200 square feet will be provided for residents use on the southwest side of the building, above the entrance.

Building setbacks will remain as they exist today.

2.4 Traffic, Parking and Access

The projects existing 62 parking spaces will be accessed via Truman Parkway using two existing curb cuts. All loading and unloading activity will be confined to the main tenant entrance where direct elevator access to all floors will be provided.

The site is located 0.2 miles from the Fairmont stop of the Fairmont/Franklin line of the MBTA Commuter rail. Departures run every 20-30 minutes during commuting hours. The proximity and regularity of public transportation will reduce vehicle trip generation from the proposed Project.

2.5 Anticipated Permits and Approvals

Agency Name	Permit or Action
Boston Planning and Development Authority	<ul style="list-style-type: none">• Article 80 Small Project Review• Affordable Housing Agreement• Design Review Approval
Zoning Board of Appeals	<ul style="list-style-type: none">• Variance Use Permits
Boston Inspectional Services Department	<ul style="list-style-type: none">• Building Permit• Certificate of Occupancy
Boston Water and Sewer Commission	<ul style="list-style-type: none">• Approvals
Conservation Commission	<ul style="list-style-type: none">• Approvals

2.6 Community Outreach

The Project has engaged the community in the process and presented plans to both the Hyde Park Neighborhood Association and the Fairmont Neighborhood Association. Through this process the project has received considerable community input regarding the form and function of the proposed re-use. Both neighborhood groups have been receptive to the proposal to change the use of the property from its current state of a closed nursing home to a residential apartment building. Additionally, the neighborhoods input of

keeping the existing building shell and site layout largely undisturbed influenced the project scope. Lastly, and perhaps most importantly, the communities feedback on parking, specifically maintaining a 1 car per bedroom parking ratio, greatly influenced the decision not to expand on the existing structure but rather to utilize the existing parking spaces with a 46 unit layout within the existing building footprint. The two neighborhood associations support the project, documented by their verbal support and pending joint letter of support.

III. BOSTON ZONING CODE DATA

3.1 Zoning District Requirements

The Site is located at 735 Truman Parkway within the Hyde Park Neighborhood District which is governed by Article 69 of the Boston Zoning Code (Code) and shown on Map 12 of the zoning maps. The Site is located within the 1F - 6,000 zoning district, the Greenbelt Protection Overlay District (GPOD), and the Riverfront Protection Overlay District. The proposed multifamily use of the Site is not allowed in this district. The prior use of the Site for a nursing home facility (also a forbidden use) was allowed by a decision of the Boston Board of Appeals in 1966, with additional relief granted in 1978. The nursing home closed in 2016.

3.2 Zoning Relief Required

It is anticipated that relief from the provisions of the Code will be obtained from the Board of Appeals for the Proposed Project. The relief may include, without limitation, approval for the change of use of the Site from nursing home use to multifamily use (Article 9 of the Code), a GPOD conditional use permit (Articles 29 and 6 of the Code), and a possible variance for parking (the required parking ratio for residential use is 2 spaces per dwelling unit, the Proposed Project will contain 1.25 spaces per dwelling unit). The exact nature and form of the relief that will be sought from the Board of Appeals for the Proposed Project will be finalized with the Inspectional Services Department. The Proposed Project will comply with the Inclusionary Development Policy established by the Executive Order of Mayor Martin J. Walsh dated December 9, 2015.

LEGAL INFORMATION

Legal Judgments Adverse to Proposed Project. There are no legal judgments that affect the Proposed Project.

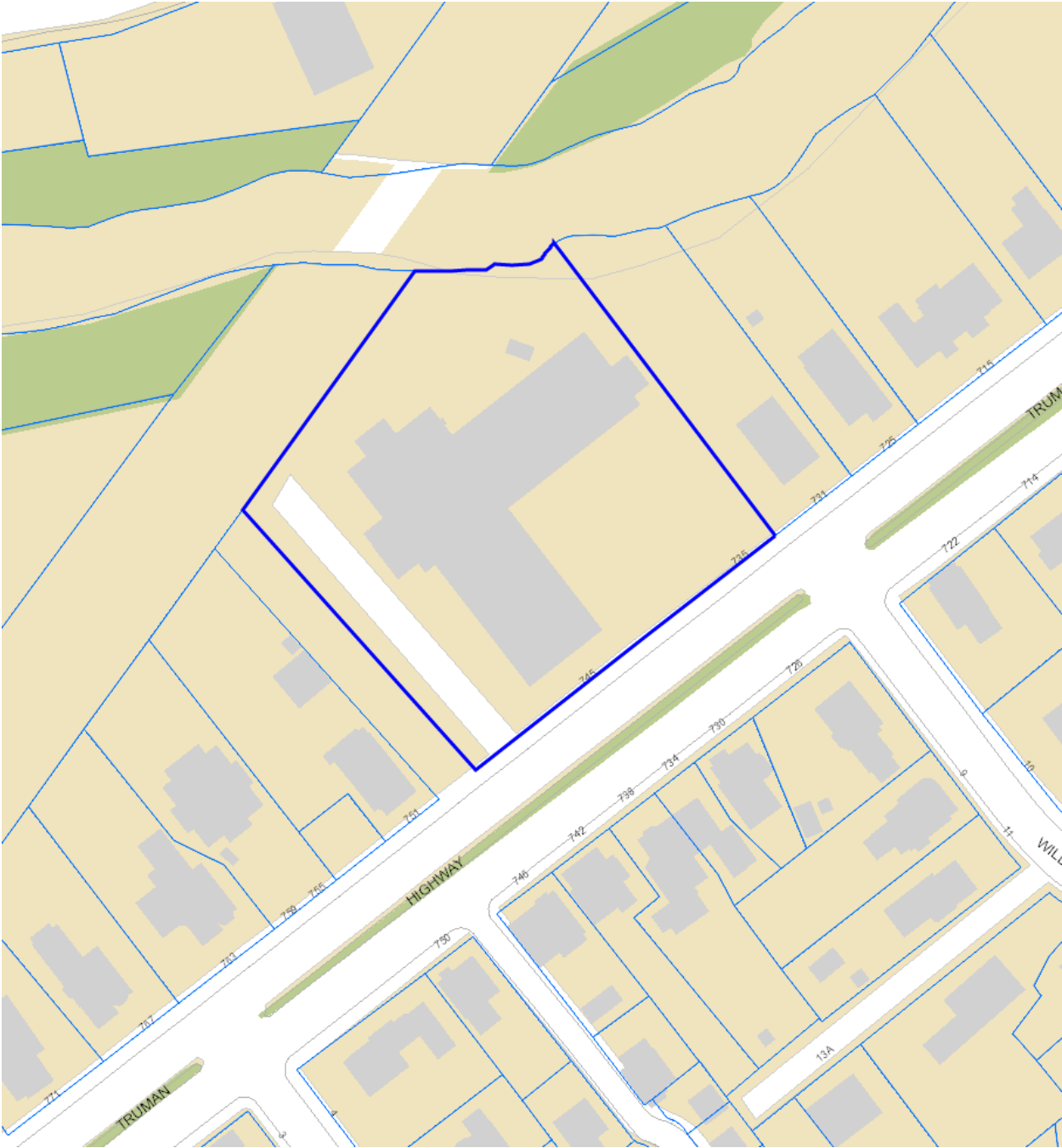
History of Tax Arrears on Property. Property taxes are paid when due and there are no outstanding unpaid taxes or other fees owed by the Proponent.

Site Control/ Easements. The Site is owned by 735 Truman Property Owner LLC, a Massachusetts limited liability company pursuant to Deed dated February 6, 2017 and recorded with the Suffolk County Registry of Deeds in Book 57551, Page 134. The Site is not subject to any easements that would prohibit the construction of the Proposed Project.

IV. URBAN DESIGN SUBMISSION: PHOTOGRAPHS, MAPS, & PLANS

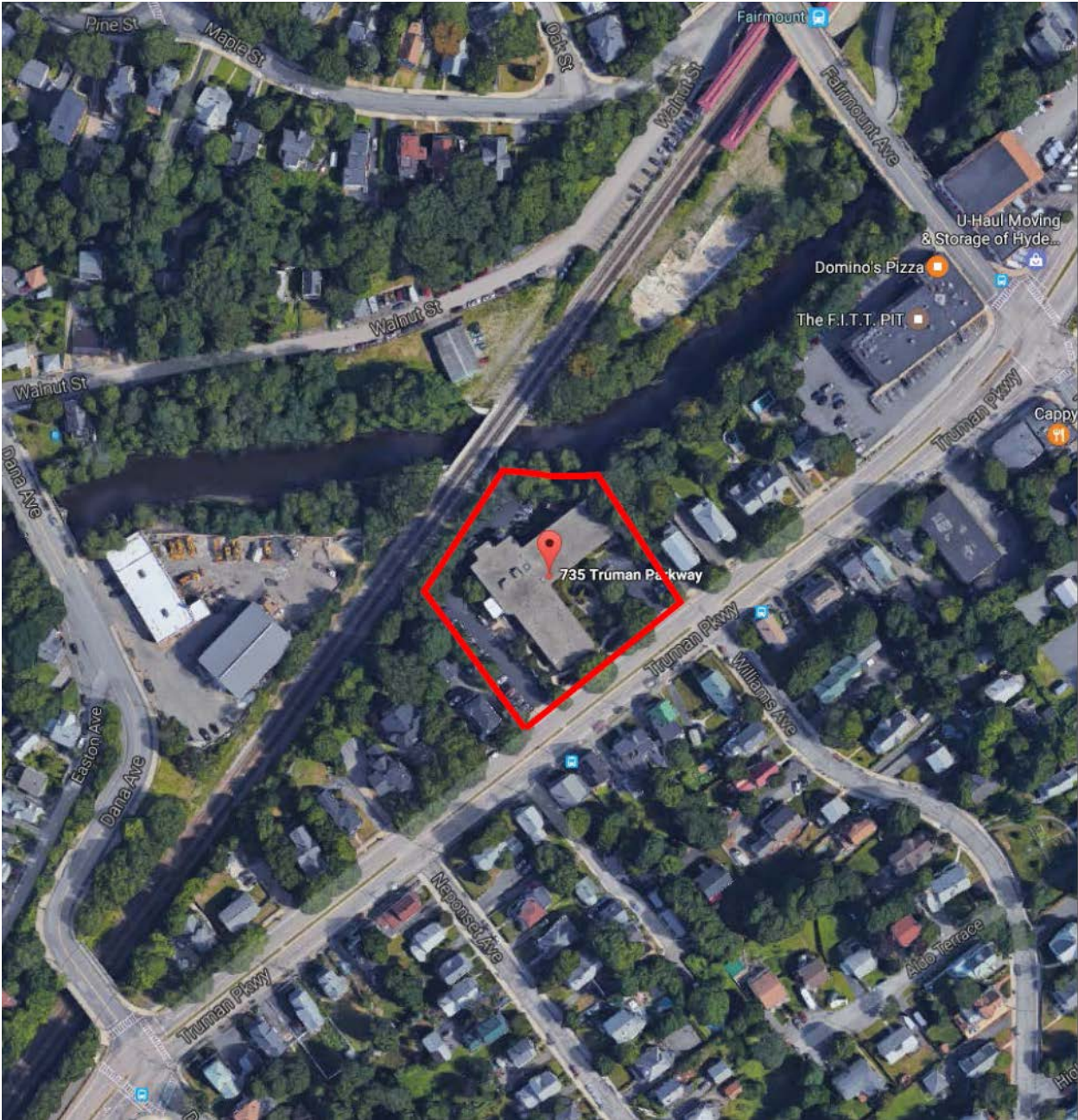
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EXHIBIT 1 – ASSESSOR'S MAP



735 Truman Parkway Residential Project

EXHIBIT 2 – AERIAL VIEW



735 Truman Parkway Residential Project

EXHIBIT 3 – VIEWS OF SITE FROM TRUMAN PARKWAY



EXHIBIT 4 – VIEWS OF SITE FROM WITHIN PROPERTY



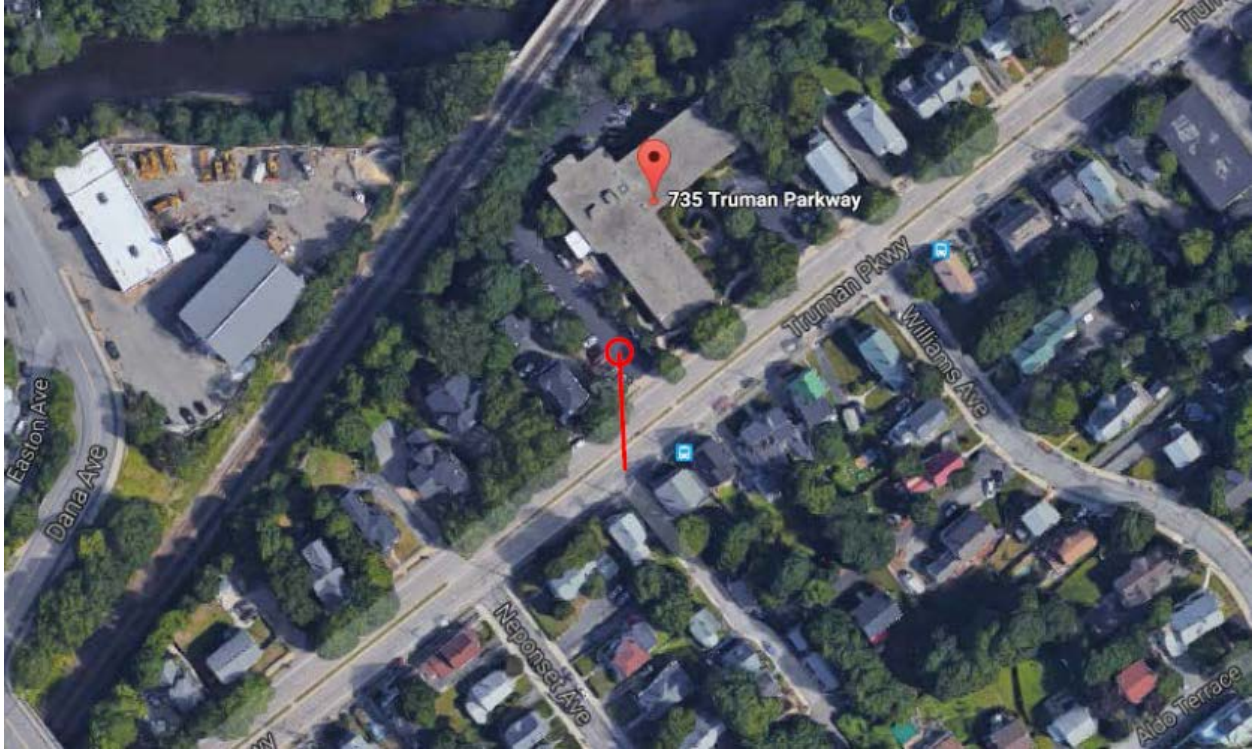
EXHIBIT 5 – VIEWS OF CONTEXTUAL NEIGHBORING SITES



735 Truman Parkway Residential Project



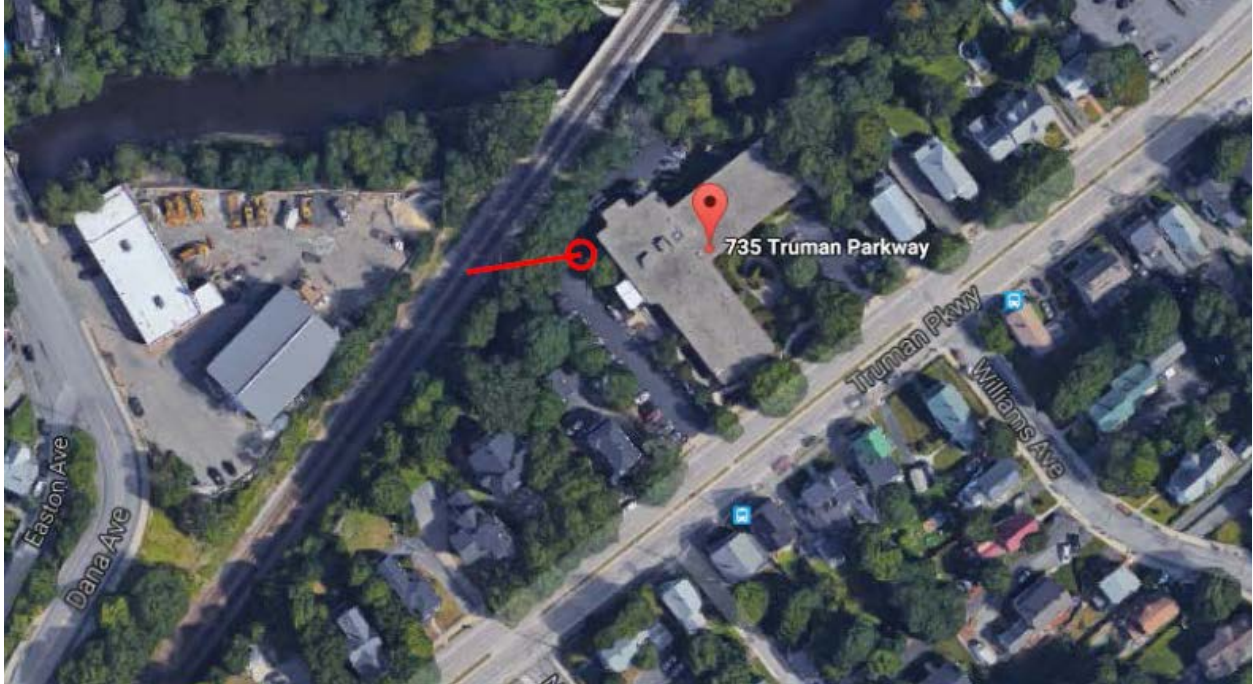
735 Truman Parkway Residential Project



735 Truman Parkway Residential Project



735 Truman Parkway Residential Project



735 Truman Parkway Residential Project

EXHIBIT 6 – VIEWS OF CONTEXTUAL APARTMENT PROJECTS ON TRUMAN

690 Truman Parkway



605 Truman Parkway



735 Truman Parkway Residential Project

EXHIBIT 7 – ELEVATIONS, FLOOR PLANS, AND ARCHITECTURAL SITE PLAN



<p>PROPOSED MULTIFAMILY 735-745 TRUMAN HIGHWAY HYDE PARK, MASS</p>	<p>Location  One Billings Road Quincy, MA 02171 617-786-7727 Fax 617-786-7715</p>	<p>No.</p>	<p>Revision Date 3-10-2017</p>	<p>Project No. 16258 Scale: AS NOTED Date: 02-22-2017 Drawn By: SL</p>	<p>Drawing Name COVER SHEET</p>	<p>Sheet No. A-O</p>
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CODE ANALYSIS

Applicable Codes:
 IBC 2009 w/ MA Amend (780 CMR)/ IEBC 2009 Existing Building Code
 City of Boston Zoning Code
 527 CMR MA Fire Prevention Regulations
 521 CMR MA Architectural Access Board
 248 CMR MA Gas & Plumbing Code
 524 CMR MA Elevator Code (2004 ASME A17.1)
 IEBC 2015 & MA 780 CMR 115.00 Stretch Energy Code

Occupancy Classification:	
Existing	Proposed
I-2 Nursing Home	R-2 Multifamily

Construction Type:			
Building Level	Existing	Proposed	Notes
1st Floor	2B	2B	
Upper Floors	2B	2B	

Building Height & Area Limitations (780 CMR Chapter 5)			
Code Citation	Construction Type 2B		
	Height	Area	Notes
Table 503	4	16000 SF	
Section 504.2 Sprinkler Height Increase	Additional 1 story and 20'		
Section 506.3 Sprinkler Area Increase		Additional 200% Add 32,000 SF	
Section 506.2 Frontage Area Increase		NA	
Section 506.1 Total Area Increase		$Aa = At + (At \times If) + (At \times Is) + 12000 + (0) + (1600 \times 2) =$	
Total Allowed	5	48000 s.f. PER FL	
Actual Proposed	3	Max floor = 1765 s.f. PER	

Building Areas:			
Building Level	FAR GSF	Total GSF	Notes
1st Floor	15265	17644	
2nd Floor	17570	17644	
3rd Floor	17042	17116	
Roof Level	0	0	
	49877	52404	

Sprinkler Requirements: (780 CMR Chapter 9)			
System Type & Use	Existing	Proposed	Notes
	THROUGHOUT	NFPA 13R	

Occupant Load: (780 CMR Table 1004.1.1 or Actual)				
Floor	Occupant Type	Floor Area	Floor Area Per Occupant	Total Occupant Load
1st Floor	1st Garage/trash/Bike/Mech	2379	300	8
1st Floor	Residential	15265	200	76
2nd Floor	Residential	17570	200	88
3rd Floor	Residential	17042	200	85
				TOTAL
				257

Means of Egress: Number of Exits (1021.1)(1021.2)				
Building Level	Occupant Load	Required Exits	Proposed Exits	Notes
1st Floor	84	2	3	
2nd Floor	88	2	3	
3rd Floor	85	2	3	
Roof Level				

Means of Egress: Width (Section 1005)				
Building Level	Occupant Load	Limiting Width Factor	Egress Element Width	Egress Element Occupant Allowance
1st Floor	84	Door (.2" per)	16.8/ 5.6" PER EXIT	36" PER EXIT
2nd Floor	88	Door (.2" per)	17.6/ 5.9" PER EXIT	36" PER EXIT
3rd Floor	85	Door (.2" per)	17/ 5.7" PER EXIT	36" PER EXIT
Roof Level				

Means of Egress: Exit Travel Distance (Table 1016.1)			
Occupancy	w/o Sprinkler	W/ Sprinkler	Notes
Residential	NA	250'	

Means of Egress: Exit Width			
Occupancy	Corridors/Stairs	Doors	Notes
Required	44	36	
Proposed	48	36	

Means of Egress: General Notes	
Exit Doors Serving 50+ People Must Swing in the Direction of Travel.	
Max Exit Access Travel Distance: 1016.1	
R, 250' (with Sprinkler)	
Common Path of Egress Travel: 1014.3	
R-2 125' (with Sprinkler)	

Means of Egress: Stair Notes (Section 1009)	
Width 44"	
Headroom (80")	
Min Tread Depth 11"	
Max Riser Height 7"	
Continuous Handrails Both Sides	
Handrail Height 34-38" Max 4.5" projection into width	
Handrail projection 12" at top of stair & 12" + tread depth at bottom	
Guardrails 42" min high/ Max 4" opening limitation	

Means of Egress: Ramp Notes	
Slope greater than 1/20 Requires Railings	
Min 48" clear between railings	
1/12 Max slope	
Max slope run 30'	
Continuous Handrails Both Sides	
Upper Handrail Height 34-38" Lower Rail Height 18-20"	
Handrail Extension 12" at Top & Bottom	
Max Cross Slope to be 1/50 (2%)	
Guardrails 42" min high/ Max 4" opening limitation	
Clearance Between Wall and Railing 1.5"	
Edge Curbs (2" min) to be provided at all drop offs	
Landings shall minimally be 60" or 60" X 60" for change of direction.	
Handrail Cross section to be round or oval and be 1-1/4 to 2" max	
Circular Ramps Are not Allowed	

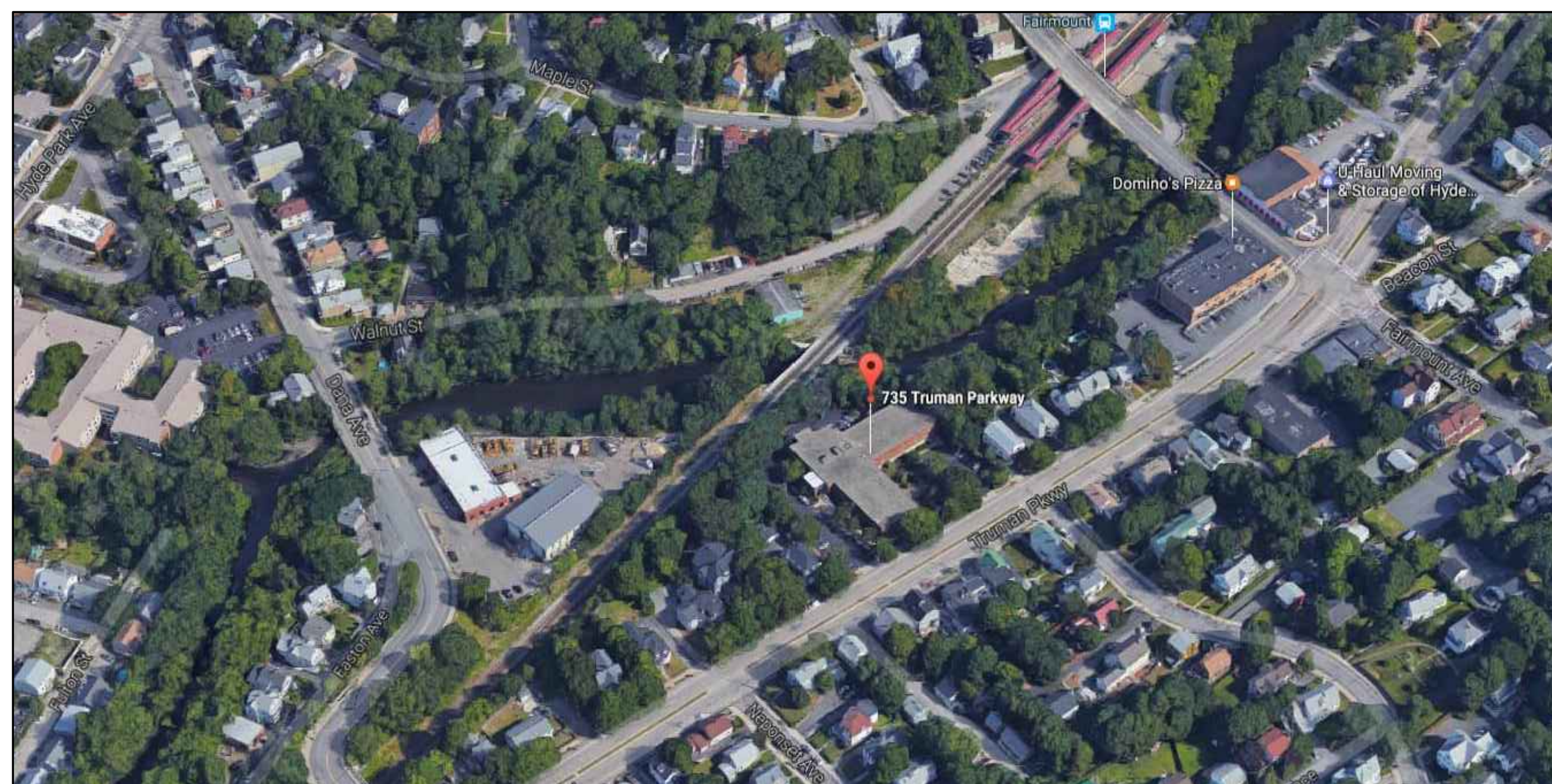
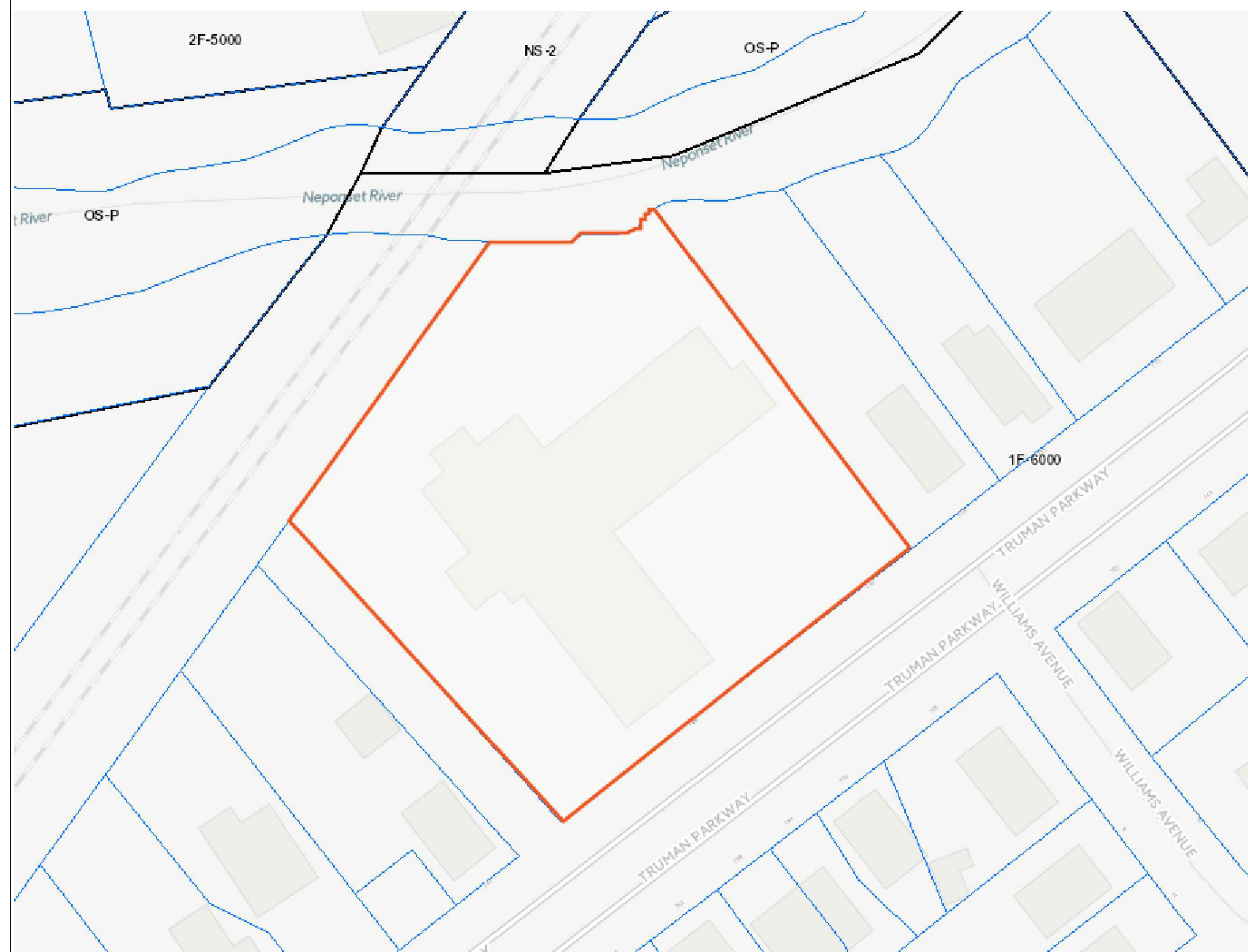
Structural Fire Resistant Ratings (780 CMR Chapter 6)			
Building Element	Construction Type 2B		
	A	B	Notes
Structural Frame	0		
Bearing Walls Exterior	0		
Bearing Walls Interior	0		
Non Bearing Walls Exterior	0/1 @ 10' to prop line		
Non Bearing Walls Interior	0		
Floor Construction	0		
Roof Construction	0		

Interior Fire Resistant Ratings			
Building Element	Construction Type 2B		
	Wall Type	Fire Resistant Rating	Opening Ratings
Fire Wall	Fire Wall	na	na
Stair Shaft 4 Stories Plus 708.4	Fire Barrier	2 hr	90 min
Stair Shaft Less Than 4 Stories 708.4	Fire Barrier	1 hr	45 min
Other Shafts 4 Stories Plus 708.4	Fire Barrier	2 hr	90 min
Other Shafts Less Than 4 Stories 708.4	Fire Barrier	1 hr	45 min
Dwelling Unit Separation Walls 709.3	Fire Partition	1 hr	na
Dwelling Unit Separation Floors 712.3		1 hr	na
Tenant Connections Common Area	Fire Partition	1 hr	45 min
Dwelling Corridors 709.3	Fire Partition	30 min	20 min
Separation of Incidental Accessory uses 508.2.5	Fire Barrier	1 hr	45 min

Exterior Wall Fire Resistant Ratings (780 CMR 602)			
Fire Separation Distance	Construction Type	Fire Resistant Wall Rating	
		Use	R
< 5 feet	All		1
>=5' to < 10'	1A Others		1
>=10' to < 30'	1A, 1B 2B, 5B Others		1 0 1
>=30'	All		0

Exterior Wall Max Opening Area (780 CMR 705.8)		
Fire Separation Distance	Allowable Area	
		Sprinkled or Protected
0 to less than 3'		0%
3 to less than 5'		15%
5 to less than 10'		25%
10 to less than 15'		45%

Accessibility Notes:	
521 CMR 9 ADDRESSES THE REQUIREMENTS WITHIN DWELLING UNITS	
521 CMR 10 ADDRESSES COMMON AREAS.	
(521 CMR 9.2.2) AS A RENOVATION/ REUSE PROJECT, GROUP 2 UNITS ARE REQUIRED FOR 5% OF THE UNITS (3 TOTAL FOR 46 UNITS). GROUP 2A UNITS ARE NOT REQUIRED UNDER 20 UNITS.	
(521 CMR 10.5) IF REMOTE STORAGE IS PROVIDED TO RESIDENTS THEN ACCESSIBLE STORAGE MUST BE AVAILABLE.	
(521 CMR 10.1) ALL PUBLIC AND COMMON AREAS MUST BE ACCESSIBLE, INCLUDING STORAGE ROOMS, TRASH ROOMS AND ETC	
(521 CMR 23.2.1) 3 ACCESSIBLE PARKING SPACES ARE REQUIRED. 1 SHALL BE VAN ACCESSIBLE.	



ZONING CODE ANALYSIS

Governing Article: 69 HYDE PARK
 Subdistrict: 1F-6000

Use Regulations: Section Table	
Existing	Proposed
Nursing or convalescent home	
EXISTING NON CONFORMING	MULTIFAMILY / FORBIDDEN

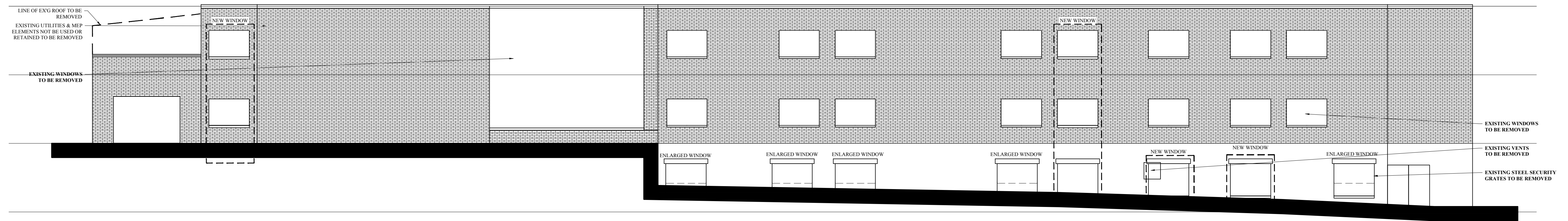
Dimensional Regulations: Table					
	Code Requirement		Existing Condition	Proposed Project	Notes
	Use 1	Any Other Use			
Lot Area Minimum		6000			
Min Lot Area for Additional Units		na			
Total Required Lot Size		6000	55,329	no change	
Min Required Lot Width and Frontage		60	240'	no change	
Max FAR		0.5	50700/55329 = .92	49805/55329 = .9	
Max Building Height / Stories		2.5/35'	3	3	
Usable Open Space		1800+12333	na	607719 required	
Min Front Yard		25	19.75'	no change	
Min Side Yard		10	2.5'	no change	
Min Rear Yard		40	27.25 at shallowest	no change	
Max Use of Rear Yard		25%	0%)%	

Overlays:	
NDOD (BPDA Review Required)	
GREENBELT PROTECTION (Article 29 Triggered by Substantial Renovation)	
PARKS REVIEW (Required per Article 29)	

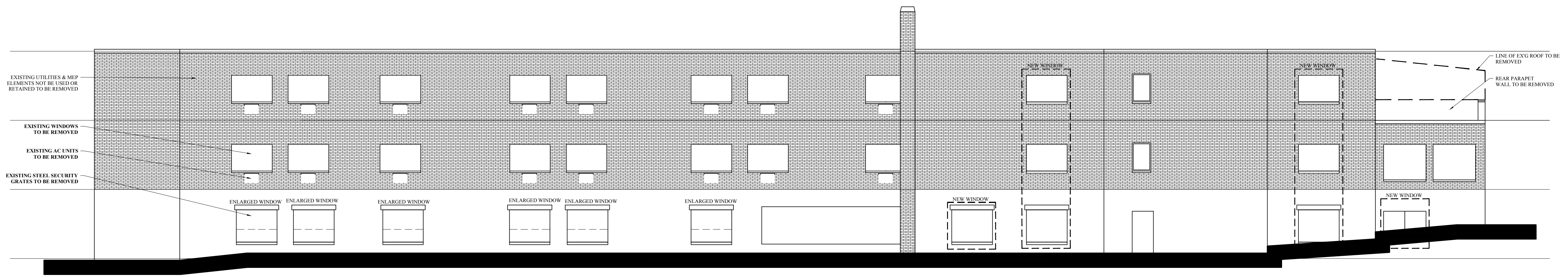
Other Non-Dimensional Zoning Issues:	
parking 2 spaces per unit required (92 Total)	
Existing 58 Parking spaces to remain	
excess of 14 added units and 20,000 s.f. requires small project review (BPDA Review Required)	

Violations
 Required Review by
 Other City Agencies

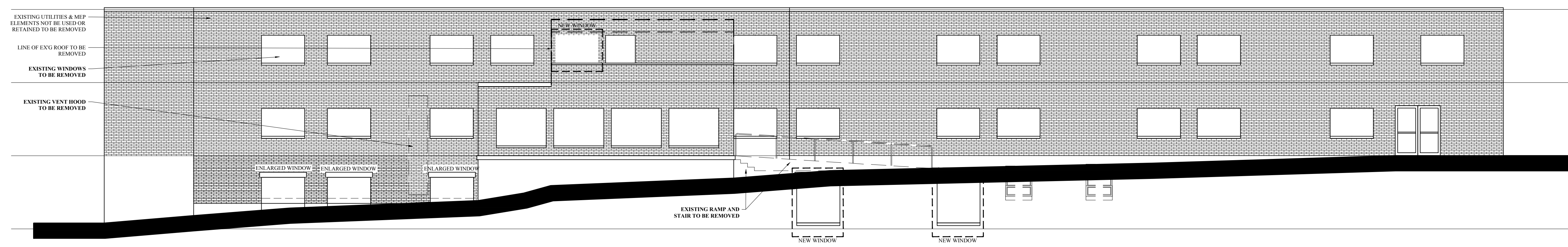
<p>PROPOSED MULTIFAMILY 735-745 TRUMAN HIGHWAY HYDE PARK, MASS</p>		<p>No. _____</p> <p>Revision Date: 3-10-2017</p>	<p>Project No: 16258</p> <p>Scale: AS NOTED</p> <p>Date: 02-22-2017</p> <p>Drawn By: SL</p>	<p>Drawing Name: ARCH NOTES</p>	<p>Sheet No: A-O.1</p>
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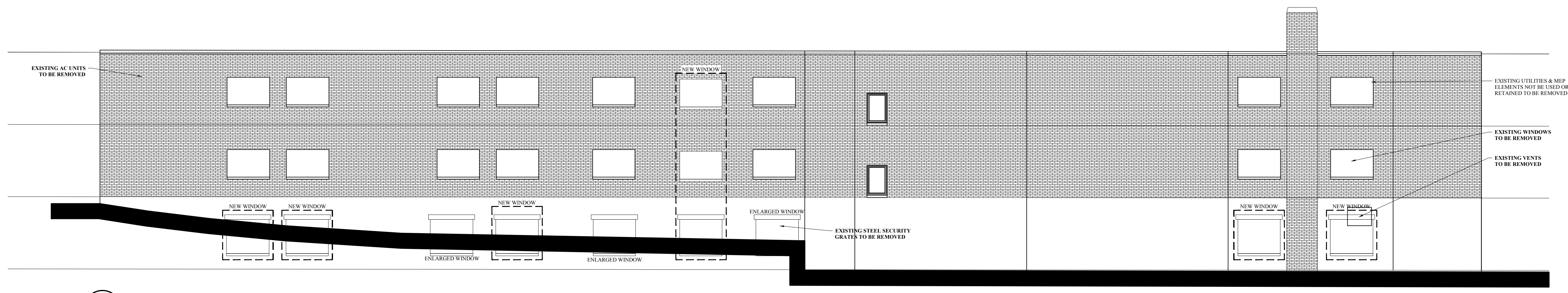
1 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

PROPOSED MULTIFAMILY
735-745 TRUMAN HIGHWAY
HYDE PARK, MASS

Choo
& Company, Inc.

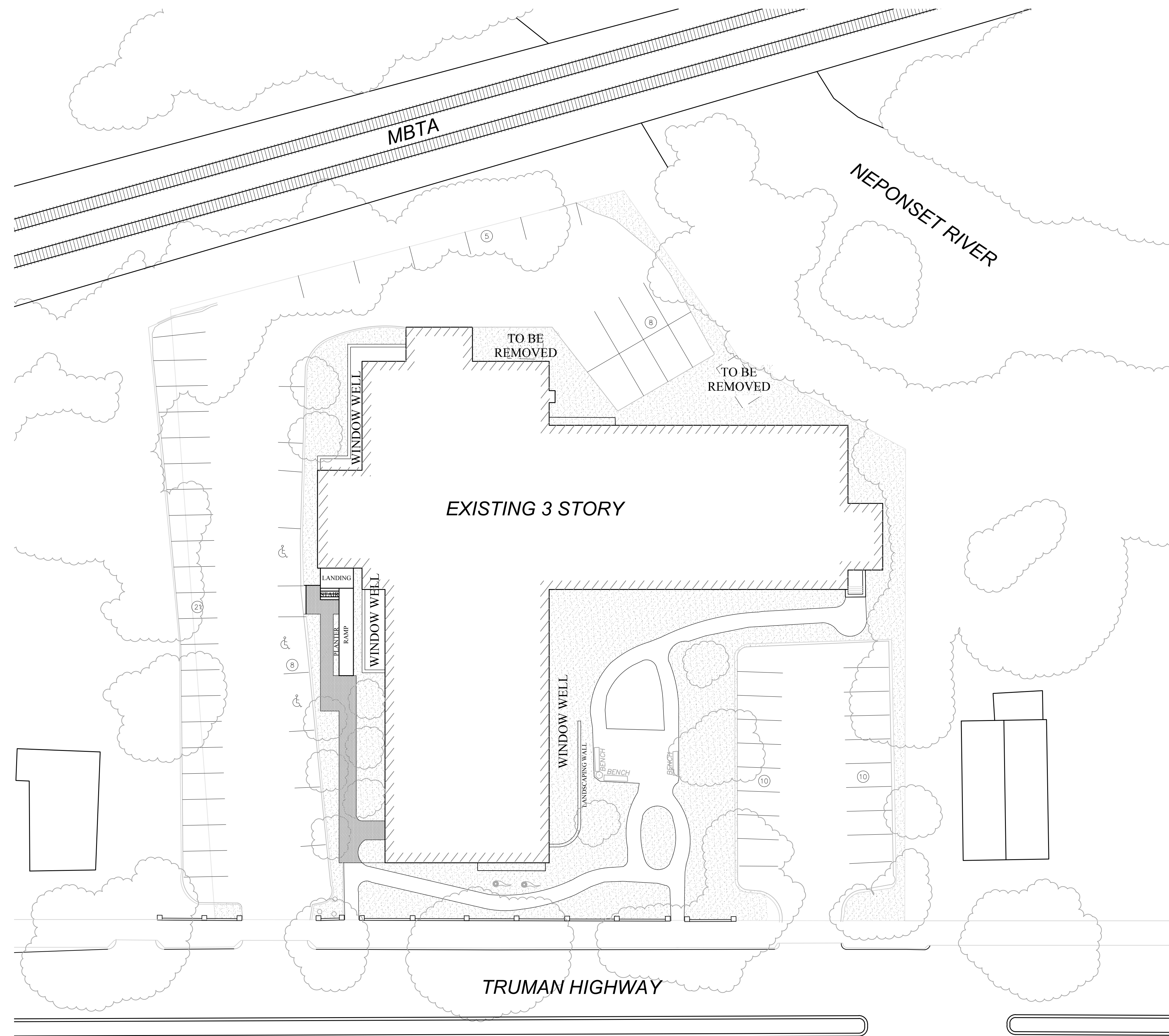
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

Revision Date
3-10-2017

Project No: 16258
Scale: 1/8" = 1'-0"
Date: 2-22-2017
Drawn By: SL

Drawing Name
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ELEVATIONS

Sheet No:
D-2.1



**PROPOSED MULTIFAMILY
735-745 TRUMAN HIGHWAY
HYDE PARK, MASS**

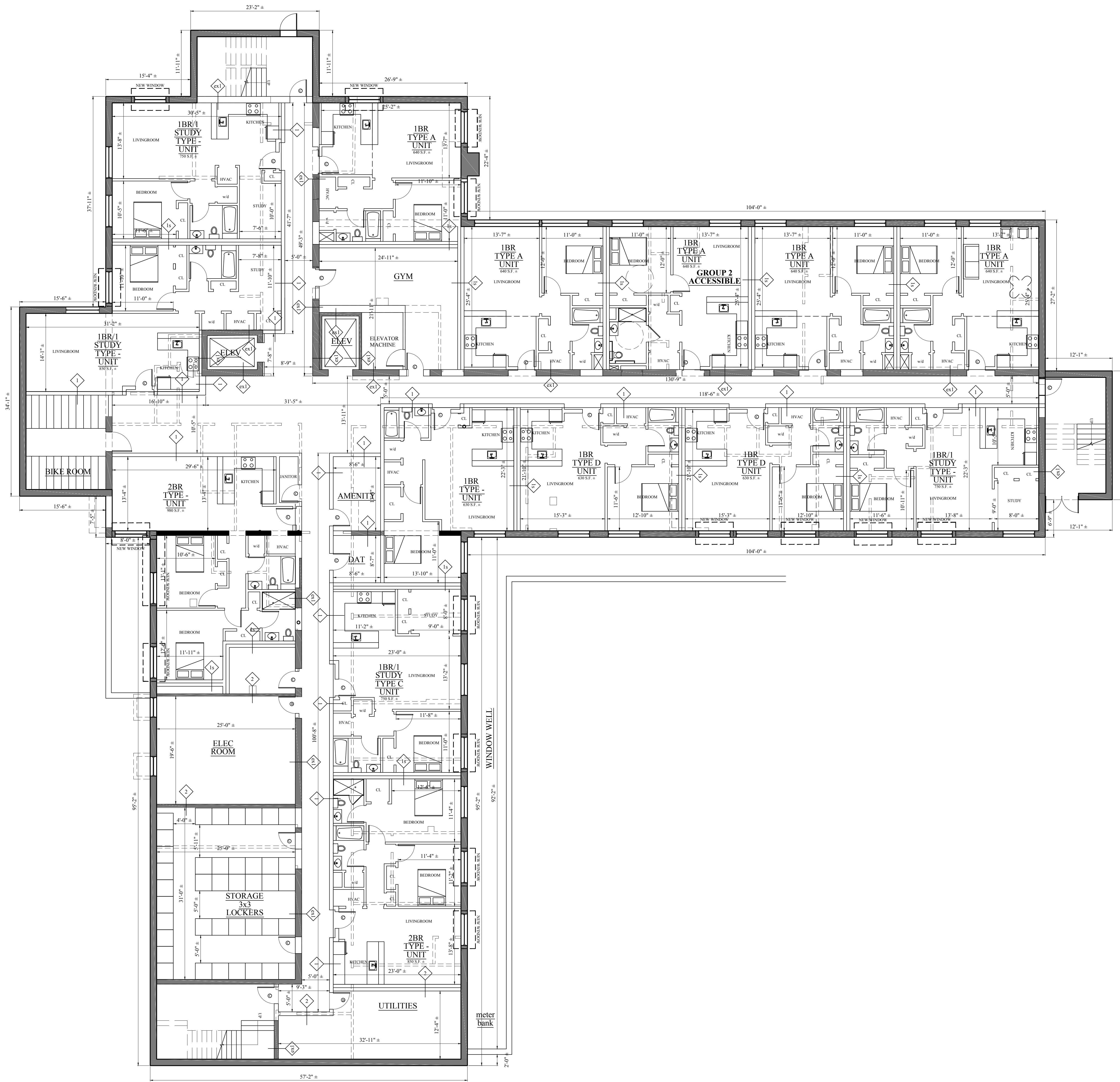
	No.
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Revision Date
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Project No: 16258
 Scale: AS NOTED
 Date: 02-22-2017
 Drawn By: SL

Drawing Name:
**ARCH
SITE PLAN**

Sheet No.:
A-1.0



**PROPOSED MULTIFAMILY
735-745 TRUMAN HIGHWAY
HYDE PARK, MASS**

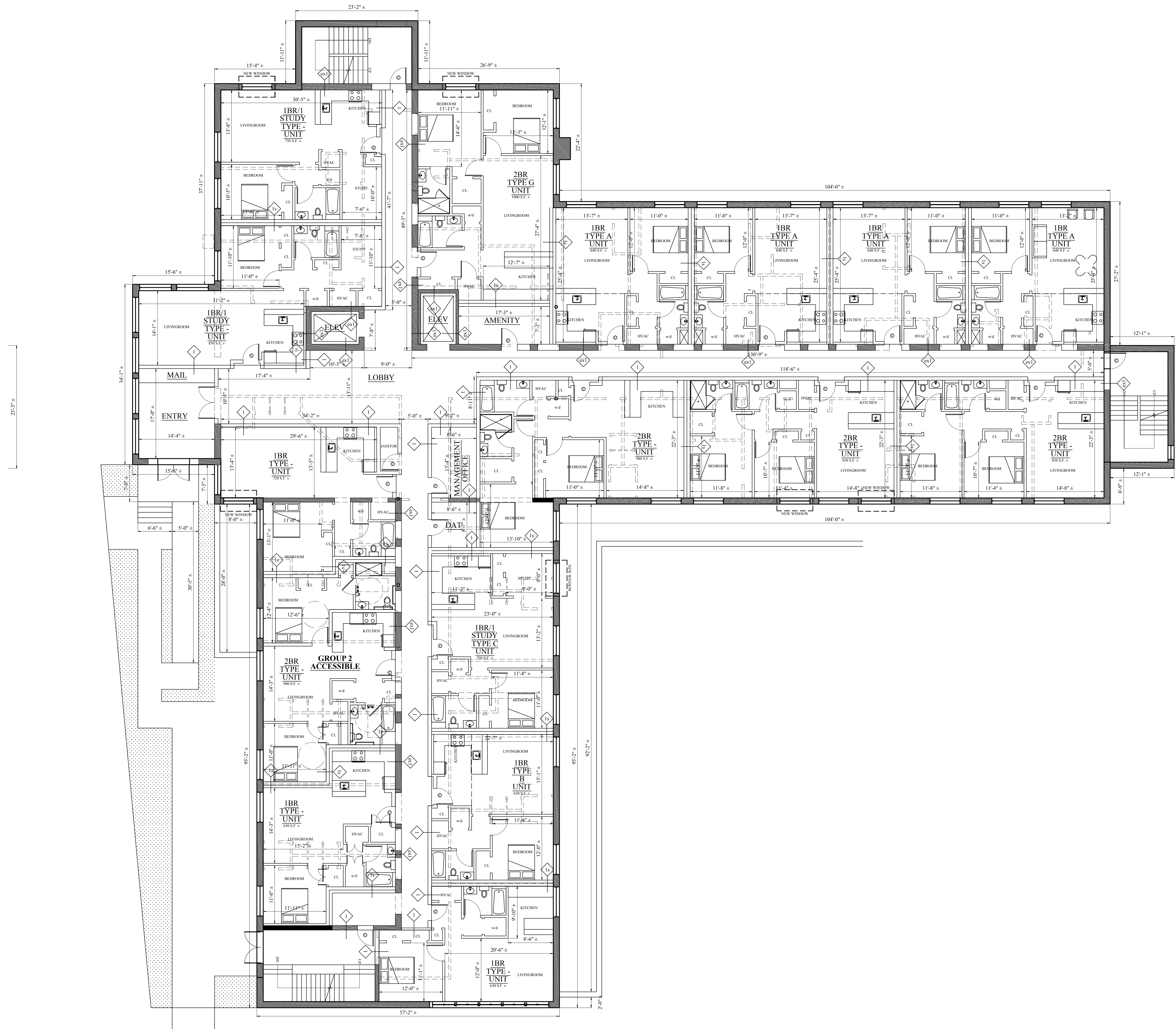


No.	Revision Date
	3-10-2017

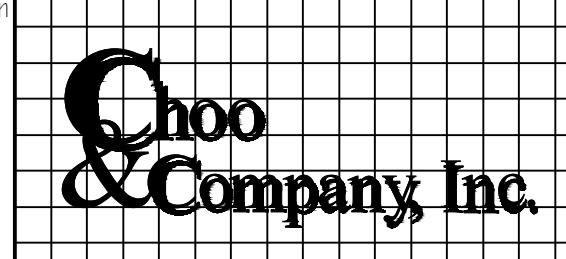
Project No: 16258
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Date: 02-22-2017
Drawn By: SL

Drawing Name: **PROPOSED PLANS LOWER LEVEL**

Sheet No: **A-1.1**



**PROPOSED MULTIFAMILY
735-745 TRUMAN HIGHWAY
HYDE PARK, MASS**



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

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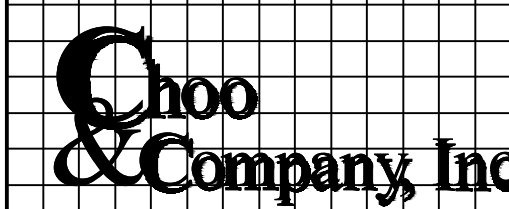
Project No: 16258
Scale: 1/8"=1'-0"
Date: 02-22-2017
Drawn By: SL

Drawing Name: **PROPOSED PLANS
1ST FLOOR**

Sheet No: **A-1.2**



**PROPOSED MULTIFAMILY
735-745 TRUMAN HIGHWAY
HYDE PARK, MASS**



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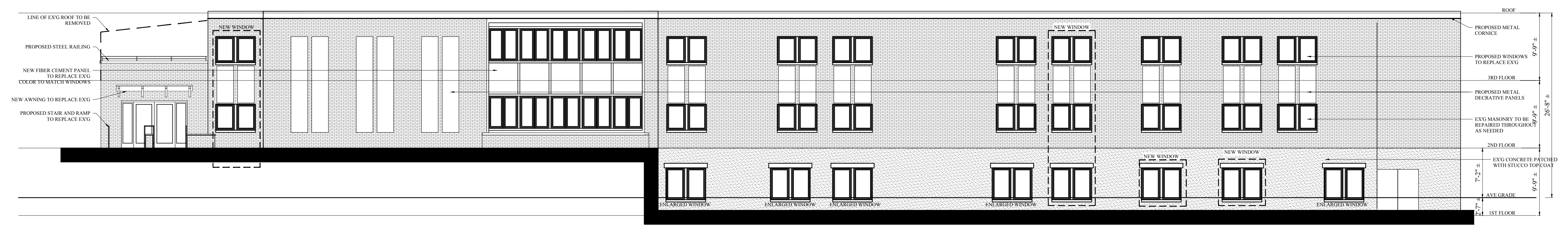
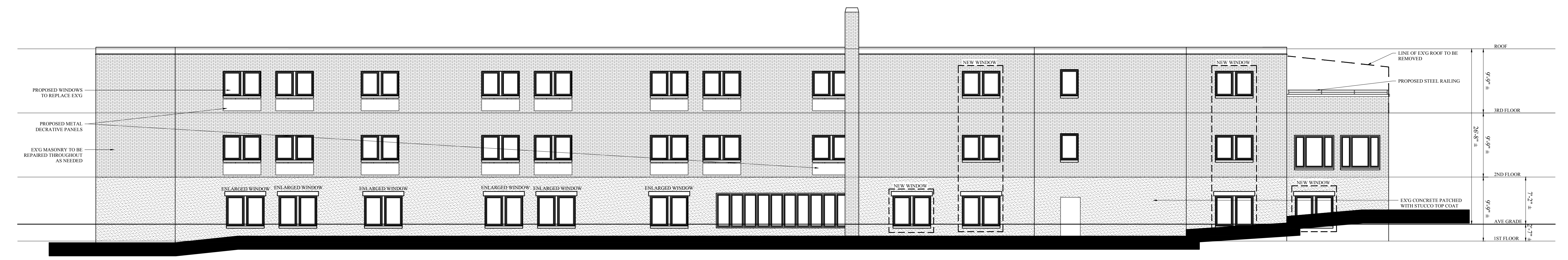
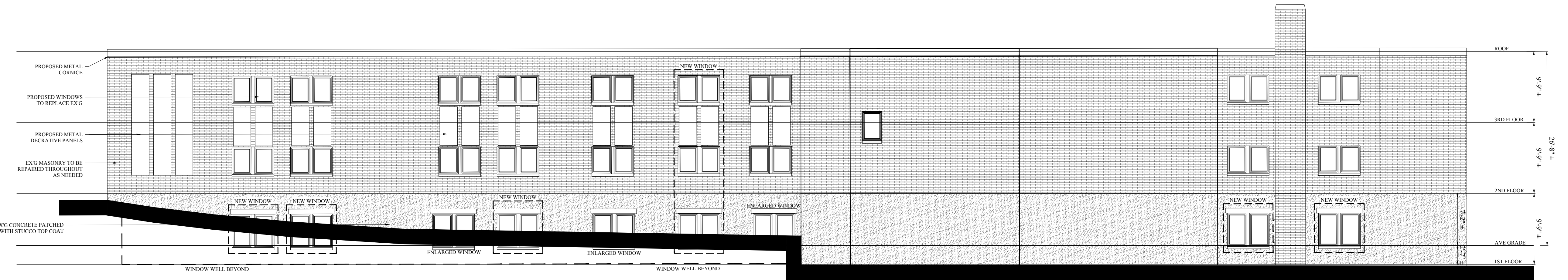
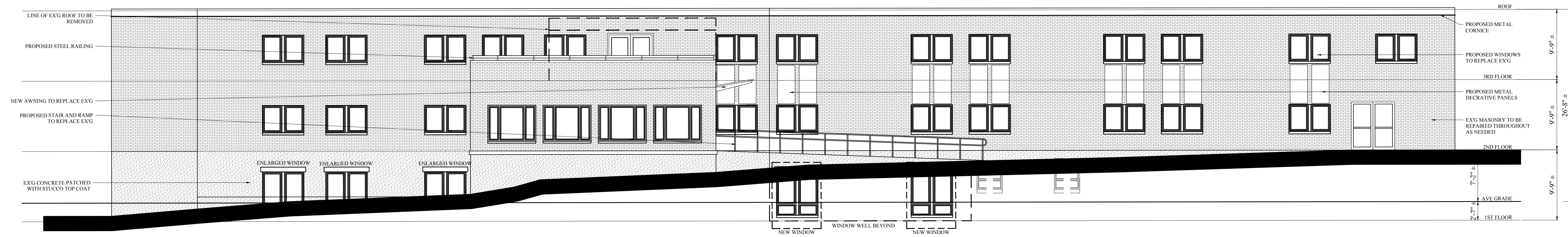
No.	Revision Date
	3-10-2017

Project No: 16258
Scale: 1/8"=1'-0"
Date: 02-22-2017
Drawn By: SL

Drawing Name:
**PROPOSED
PLANS
2ND FLOOR**

Sheet No:

A-1.3



<p>PROPOSED MULTIFAMILY 735-745 TRUMAN HIGHWAY HYDE PARK, MASS</p>		No.	Revision Date	Project No: 16258 Scale: 1/8"=1'-0" Date: 2-22-2017 Drawn By: SL	Drawing Name: PROPOSED ELEVATIONS	Sheet No: A-2.1
		One Billings Road Quincy, MA 02171 617-786-7727 fax 617-786-7715	3-10-2017 4-3-2017			

Article 80 – Accessibility Checklist

A requirement of the Boston Planning & Development Agency (BPDA) Article 80 Development Review Process

The Mayor's Commission for Persons with Disabilities strives to reduce architectural, procedural, attitudinal, and communication barriers that affect persons with disabilities in the City of Boston. In 2009, a Disability Advisory Board was appointed by the Mayor to work alongside the Commission in creating universal access throughout the city's built environment. The Disability Advisory Board is made up of 13 volunteer Boston residents with disabilities who have been tasked with representing the accessibility needs of their neighborhoods and increasing inclusion of people with disabilities.

In conformance with this directive, the BPDA has instituted this Accessibility Checklist as a tool to encourage developers to begin thinking about access and inclusion at the beginning of development projects, and strive to go beyond meeting only minimum MAAB / ADAAG compliance requirements. Instead, our goal is for developers to create ideal design for accessibility which will ensure that the built environment provides equitable experiences for all people, regardless of their abilities. As such, any project subject to Boston Zoning Article 80 Small or Large Project Review, including Institutional Master Plan modifications and updates, must complete this Accessibility Checklist thoroughly to provide specific detail about accessibility and inclusion, including descriptions, diagrams, and data.

For more information on compliance requirements, advancing best practices, and learning about progressive approaches to expand accessibility throughout Boston's built environment. Proponents are highly encouraged to meet with Commission staff, prior to filing.

Accessibility Analysis Information Sources:

1. Americans with Disabilities Act – 2010 ADA Standards for Accessible Design
http://www.ada.gov/2010ADASTandards_index.htm
2. Massachusetts Architectural Access Board 521 CMR
<http://www.mass.gov/eopss/consumer-prot-and-bus-lic/license-type/aab/aab-rules-and-regulations-pdf.html>
3. Massachusetts State Building Code 780 CMR
<http://www.mass.gov/eopss/consumer-prot-and-bus-lic/license-type/csl/building-codebbrs.html>
4. Massachusetts Office of Disability – Disabled Parking Regulations
<http://www.mass.gov/anf/docs/mod/hp-parking-regulations-summary-mod.pdf>
5. MBTA Fixed Route Accessible Transit Stations
http://www.mbta.com/riding_the_t/accessible_services/
6. City of Boston – Complete Street Guidelines
<http://bostoncompletestreets.org/>
7. City of Boston – Mayor's Commission for Persons with Disabilities Advisory Board
www.boston.gov/disability
8. City of Boston – Public Works Sidewalk Reconstruction Policy
http://www.cityofboston.gov/images_documents/sidewalk%20policy%200114_tcm3-41668.pdf
9. City of Boston – Public Improvement Commission Sidewalk Café Policy
http://www.cityofboston.gov/images_documents/Sidewalk_cafes_tcm3-1845.pdf

Glossary of Terms:

1. **Accessible Route** – A continuous and unobstructed path of travel that meets or exceeds the dimensional and inclusionary requirements set forth by MAAB 521 CMR: Section 20
2. **Accessible Group 2 Units** – Residential units with additional floor space that meet or exceed the dimensional and inclusionary requirements set forth by MAAB 521 CMR: Section 9.4
3. **Accessible Guestrooms** – Guestrooms with additional floor space, that meet or exceed the dimensional and inclusionary requirements set forth by MAAB 521 CMR: Section 8.4
4. **Inclusionary Development Policy (IDP)** – Program run by the BPDA that preserves access to affordable housing opportunities, in the City. For more information visit: <http://www.bostonplans.org/housing/overview>
5. **Public Improvement Commission (PIC)** – The regulatory body in charge of managing the public right of way. For more information visit: <https://www.boston.gov/pic>
6. **Visitability** – A place's ability to be accessed and visited by persons with disabilities that cause functional limitations; where architectural barriers do not inhibit access to entrances/doors and bathrooms.

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1. Project Information: <i>If this is a multi-phased or multi-building project, fill out a separate Checklist for each phase/building.</i>			
Project Name:	735 Truman Parkway		
Primary Project Address:	735 Truman Parkway, Hyde Park		
Total Number of Phases/Buildings:	1 (Existing)		
Primary Contact (Name / Title / Company / Email / Phone):	Todd Fremont Smith / VP-Development / Nordblom Company tfremont-smith@nordblom.com / 781-272-4000		
Owner / Developer:	735 Truman Property Owner C/O Nordblom Company		
Architect:	Choo and Company		
Civil Engineer:	Design Consultants, Inc. (DCI)		
Landscape Architect:	N/A		
Permitting:	Rubin and Rudman		
Construction Management:	TBD		
At what stage is the project at time of this questionnaire? Select below:			
	PNF / Expanded PNF Submitted	Draft / Final Project Impact Report Submitted	BPDA Board Approved
	BPDA Design Approved	Under Construction	Construction Completed:
Do you anticipate filing for any variances with the Massachusetts Architectural Access Board (MAAB)? <i>If yes, identify and explain.</i>	None anticipated		
2. Building Classification and Description: <i>This section identifies preliminary construction information about the project including size and uses.</i>			
What are the dimensions of the project?			
Site Area:	55,329 SF	Building Area:	49,805 GSF
Building Height:	Max 29'3"	Number of Stories:	3 Flrs.
First Floor Elevation:	51'	Is there below grade space:	Yes/ No

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What is the Construction Type? (Select most appropriate type)				
	Wood Frame	Masonry	Steel Frame	Concrete
What are the principal building uses? (IBC definitions are below – select all appropriate that apply)				
	Residential – One - Three Unit	Residential - Multi-unit, Four +	Institutional	Educational
	Business	Mercantile	Factory	Hospitality
	Laboratory / Medical	Storage, Utility and Other		
List street-level uses of the building:	<i>Residential</i>			
<p>3. Assessment of Existing Infrastructure for Accessibility: <i>This section explores the proximity to accessible transit lines and institutions, such as (but not limited to) hospitals, elderly & disabled housing, and general neighborhood resources. Identify how the area surrounding the development is accessible for people with mobility impairments and analyze the existing condition of the accessible routes through sidewalk and pedestrian ramp reports.</i></p>				
Provide a description of the neighborhood where this development is located and its identifying topographical characteristics:	The property is in the Fairmount Hill Neighborhood of Hyde Park. Located on the side of Fairmount Hill, the property’s southern edge is the Truman Parkway and slopes down to the Neponset River on the property’s northern edge.			
List the surrounding accessible MBTA transit lines and their proximity to development site: commuter rail / subway stations, bus stops:	The Fairmount MBTA stop is located approximately 0.2 miles from the property. The property is also on the 24 and 24/27 MBTA bus lines which run along Truman Parkway.			
List the surrounding institutions: hospitals, public housing, elderly and disabled housing developments, educational facilities, others:	Boston Renaissance Charter Public School, Boston Preparatory Charter, Curry College, Boston Baptist College			
List the surrounding government buildings: libraries, community centers, recreational facilities, and other related facilities:	Boston Police Academy, West Street Park, Smith Pond Playground, Kelly Field, Martini Playground			
<p>4. Surrounding Site Conditions – Existing: <i>This section identifies current condition of the sidewalks and pedestrian ramps at the development site.</i></p>				
Is the development site within a historic district? <i>If yes</i> , identify which district:	No			
Are there sidewalks and pedestrian ramps existing at the development site?	Yes			

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<p><i>If yes</i>, list the existing sidewalk and pedestrian ramp dimensions, slopes, materials, and physical condition at the development site:</p>	<p>All sidewalks are concrete. The front entrance ramp will be replaced. Existing dimensions are rise of 28" over a run of 27' with a 49" width.</p>
<p>Are the sidewalks and pedestrian ramps existing-to-remain? <i>If yes</i>, have they been verified as ADA / MAAB compliant (with yellow composite detectable warning surfaces, cast in concrete)? <i>If yes</i>, provide description and photos:</p>	<p>Replacing ramp. Sidewalks to remain.</p>
<p>5. Surrounding Site Conditions – Proposed <i>This section identifies the proposed condition of the walkways and pedestrian ramps around the development site. Sidewalk width contributes to the degree of comfort walking along a street. Narrow sidewalks do not support lively pedestrian activity, and may create dangerous conditions that force people to walk in the street. Wider sidewalks allow people to walk side by side and pass each other comfortably walking alone, walking in pairs, or using a wheelchair.</i></p>	
<p>Are the proposed sidewalks consistent with the Boston Complete Street Guidelines? <i>If yes</i>, choose which Street Type was applied: Downtown Commercial, Downtown Mixed-use, Neighborhood Main, Connector, Residential, Industrial, Shared Street, Parkway, or Boulevard.</p>	<p>Existing city sidewalk along DCR parkway to remain.</p>
<p>What are the total dimensions and slopes of the proposed sidewalks? List the widths of the proposed zones: Frontage, Pedestrian and Furnishing Zone:</p>	<p>Existing sidewalk to remain on Truman Highway with a 5'-6" pedestrian zone with a 3'-6" wide greenscape/furnishing zone. The existing sidewalks slope as much as 10% due to the existing conditions which slope from Truman Parkway to the Neponset River.</p>
<p>List the proposed materials for each Zone. Will the proposed materials be on private property or will the proposed materials be on the City of Boston pedestrian right-of-way?</p>	<p>No change in material proposed. Existing concrete sidewalk to remain and 3 street trees with grass planting to remain.</p>
<p>Will sidewalk cafes or other furnishings be programmed for the pedestrian right-of-way? <i>If yes</i>, what are the proposed dimensions of the sidewalk café or furnishings and what will the remaining right-of-way clearance be?</p>	<p>No</p>

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<p>If the pedestrian right-of-way is on private property, will the proponent seek a pedestrian easement with the Public Improvement Commission (PIC)?</p>	<p>N/A</p>
<p>Will any portion of the Project be going through the PIC? <i>If yes</i>, identify PIC actions and provide details.</p>	<p>No</p>
<p>6. Accessible Parking: <i>See Massachusetts Architectural Access Board Rules and Regulations 521 CMR Section 23.00 regarding accessible parking requirement counts and the Massachusetts Office of Disability – Disabled Parking Regulations.</i></p>	
<p>What is the total number of parking spaces provided at the development site? Will these be in a parking lot or garage?</p>	<p>62 spaces on surface lot</p>
<p>What is the total number of accessible spaces provided at the development site? How many of these are “Van Accessible” spaces with an 8 foot access aisle?</p>	<p>3 spaces on surface lot in a parallel parking configuration. Two of the three spaces are existing. The spaces are on a 5% slope due to the existing conditions which slope from Truman Parkway to the Neponset River.</p>
<p>Will any on-street accessible parking spaces be required? <i>If yes</i>, has the proponent contacted the Commission for Persons with Disabilities regarding this need?</p>	<p>No</p>
<p>Where is the accessible visitor parking located?</p>	<p>At the main building entrance. Two handicap spaces exist from the previous user. A third space will be added at the same location.</p>
<p>Has a drop-off area been identified? <i>If yes</i>, will it be accessible?</p>	<p>No</p>
<p>7. Circulation and Accessible Routes: <i>The primary objective in designing smooth and continuous paths of travel is to create universal access to entryways and common spaces, which accommodates persons of all abilities and allows for visitability-with neighbors.</i></p>	
<p>Describe accessibility at each entryway: Example: Flush Condition, Stairs, Ramp, Lift or Elevator:</p>	<p>Main Entry – Ramp and stairs North Entry – on grade South Entry – on grade Courtyard Entry - stairs</p>

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<p>Are the accessible entrances and standard entrance integrated? <i>If yes, describe. If no, what is the reason?</i></p>	<p>Yes. The standard main entrance has both an accessible ramp and stairs</p>
<p><i>If project is subject to Large Project Review/Institutional Master Plan, describe the accessible routes way-finding / signage package.</i></p>	<p>N/A</p>
<p>8. Accessible Units (Group 2) and Guestrooms: (If applicable) <i>In order to facilitate access to housing and hospitality, this section addresses the number of accessible units that are proposed for the development site that remove barriers to housing and hotel rooms.</i></p>	
<p>What is the total number of proposed housing units or hotel rooms for the development?</p>	<p>46 Units</p>
<p><i>If a residential development, how many units are for sale? How many are for rent? What is the breakdown of market value units vs. IDP (Inclusionary Development Policy) units?</i></p>	<p>100% rental</p>
<p><i>If a residential development, how many accessible Group 2 units are being proposed?</i></p>	<p>3</p>
<p><i>If a residential development, how many accessible Group 2 units will also be IDP units? If none, describe reason.</i></p>	<p>1</p>
<p><i>If a hospitality development, how many accessible units will feature a wheel-in shower? Will accessible equipment be provided as well? If yes, provide amount and location of equipment.</i></p>	<p>N/A</p>
<p>Do standard units have architectural barriers that would prevent entry or use of common space for persons with mobility impairments? Example: stairs / thresholds at entry, step to balcony, others. <i>If yes, provide reason.</i></p>	<p>No</p>
<p>Are there interior elevators, ramps or lifts located in the development for access around architectural barriers</p>	<p>An accessible elevator accesses all floors.</p>

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<p>and/or to separate floors? <i>If yes</i>, describe:</p>	
<p>9. Community Impact: <i>Accessibility and inclusion extend past required compliance with building codes. Providing an overall scheme that allows full and equal participation of persons with disabilities makes the development an asset to the surrounding community.</i></p>	
<p>Is this project providing any funding or improvements to the surrounding neighborhood? Examples: adding extra street trees, building or refurbishing a local park, or supporting other community-based initiatives?</p>	<p>N/A</p>
<p>What inclusion elements does this development provide for persons with disabilities in common social and open spaces? Example: Indoor seating and TVs in common rooms; outdoor seating and barbeque grills in yard. Will all of these spaces and features provide accessibility?</p>	<p>N/A</p>
<p>Are any restrooms planned in common public spaces? <i>If yes</i>, will any be single-stall, ADA compliant and designated as “Family”/ “Companion” restrooms? <i>If no</i>, explain why not.</p>	<p>No public spaces</p>
<p>Has the proponent reviewed the proposed plan with the City of Boston Disability Commissioner or with their Architectural Access staff? <i>If yes</i>, did they approve? <i>If no</i>, what were their comments?</p>	<p>No presentation has been made.</p>
<p>Has the proponent presented the proposed plan to the Disability Advisory Board at one of their monthly meetings? Did the Advisory Board vote to support this project? <i>If no</i>, what recommendations did the Advisory</p>	<p>No presentation has been made.</p>

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Board give to make this project more accessible?	
<p>10. Attachments <i>Include a list of all documents you are submitting with this Checklist. This may include drawings, diagrams, photos, or any other material that describes the accessible and inclusive elements of this project.</i></p>	
<p>Provide a diagram of the accessible routes to and from the accessible parking lot/garage and drop-off areas to the development entry locations, including route distances. See attached</p>	
<p>Provide a diagram of the accessible route connections through the site, including distances. See attached</p>	
<p>Provide a diagram the accessible route to any roof decks or outdoor courtyard space? (if applicable) See attached</p>	
<p>Provide a plan and diagram of the accessible Group 2 units, including locations and route from accessible entry. Not selected as of submission</p>	
<p>Provide any additional drawings, diagrams, photos, or any other material that describes the inclusive and accessible elements of this project.</p> <ul style="list-style-type: none"> • • • • 	

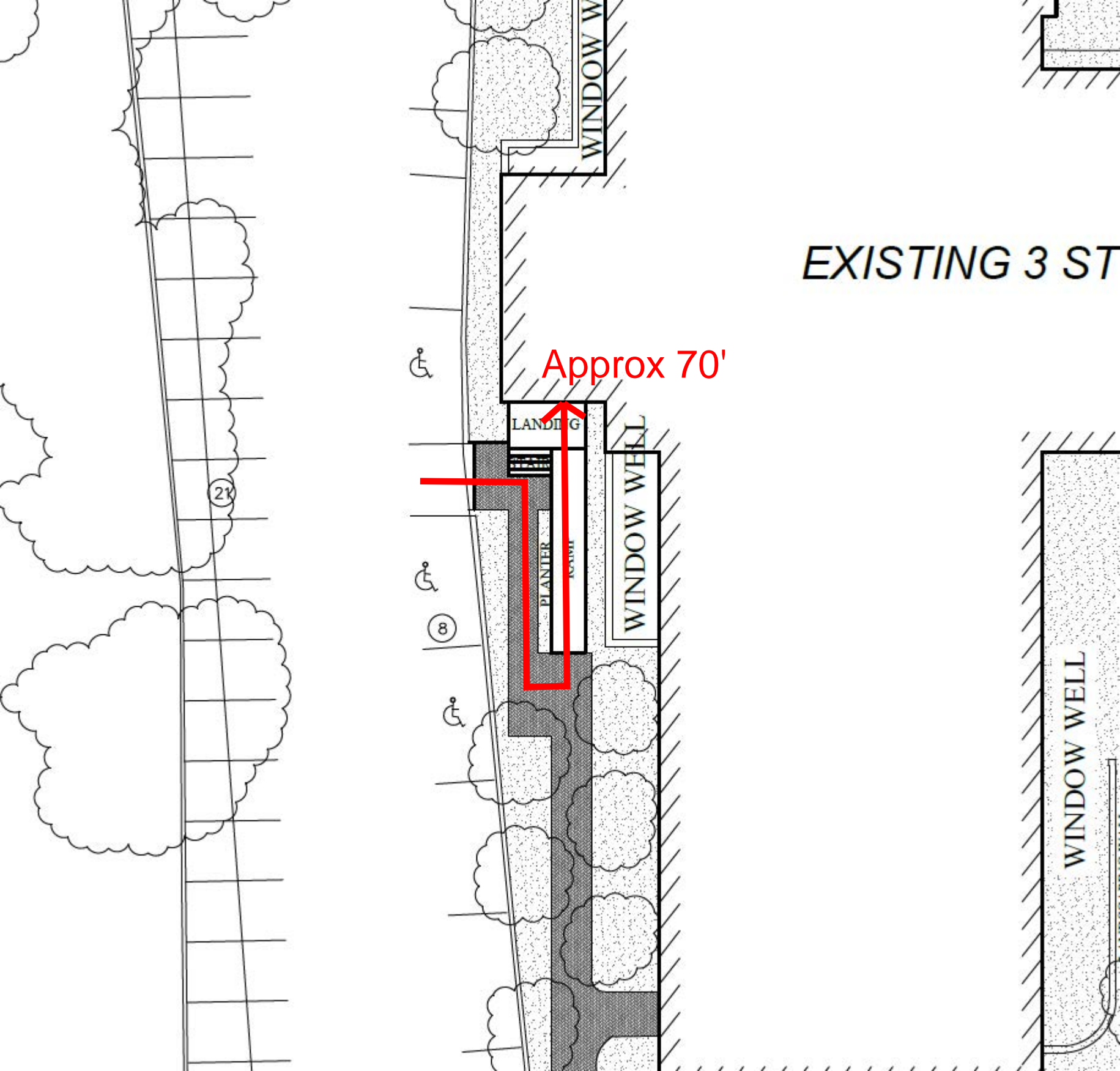
This completes the Article 80 Accessibility Checklist required for your project. Prior to and during the review process, Commission staff are able to provide technical assistance and design review, in order to help achieve ideal accessibility and to ensure that all buildings, sidewalks, parks, and open spaces are usable and welcoming to Boston's diverse residents and visitors, including those with physical, sensory, and other disabilities.

For questions or comments about this checklist, or for more information on best practices for improving accessibility and inclusion, visit www.boston.gov/disability, or our office:

The Mayor’s Commission for Persons with Disabilities
 1 City Hall Square, Room 967,
 Boston MA 02201.

Architectural Access staff can be reached at:

accessibility@boston.gov | patricia.mendez@boston.gov | sarah.leung@boston.gov | 617-635-3682



EXISTING 3 ST

Approx 70'

WINDOW W

LANDING

WINDOW WELL

PLANTER

TOILET

WINDOW WELL

2K

8

