

BRA APPROVAL: 11/16/10
ZC APPROVAL: 11/17/10
EFFECTIVE: 11/19/10

FIRST AMENDMENT TO DEVELOPMENT PLAN

FOR

PLANNED DEVELOPMENT AREA NO. 67

OLMSTED GREEN

American Legion Highway, Morton Street and Harvard Street

BOSTON, MASSACHUSETTS

Dated: November 16, 2010

Pursuant to Section 3-1A and Article 80, Section 80C of the Zoning Code of the City of Boston (the "Zoning Code"), this amendment constitutes the First Amendment to Development Plan for Planned Development Area No. 67 (the "First PDA Plan Amendment").

The Original PDA Development Plan for PDA No. 67: On or about January 26, 2006, the Boston Redevelopment Authority (the "BRA") approved a Map Amendment application creating Planned Development Area No. 67 ("PDA No. 67") as well as a Development Plan for Planned Development Area No. 67. This Map Amendment and Development Plan (together, the "Original PDA Plan"), were approved by the Boston Zoning Commission on February 15, 2006.

The Original PDA Plan encompasses an approximately 42.5-acre site in the Mattapan section of Boston, comprising three parcels of land owned by Lena New Boston LLC (the "Proponent" of the Original PDA Plan), as described in Exhibit A of the Original PDA Plan and as more particularly shown on the Site Plans attached as Exhibit D to the Original PDA Plan (the "Site"). Two of the parcels are the former Boston State Hospital campus parcels which abut the east and west sides of Morton Street, (designated as the "West Campus" and "East Campus", respectively). The third parcel is an approximately four-acre parcel owned by Lena Park Community Development Corporation (the "Lena Park Parcel") and is adjacent to the East Campus. The Original PDA Plan provides for the construction of a new mixed-use development, including residential, senior housing, employment and job training facilities, community facilities, mental health program space, urban farming, retail, open space, accessory parking and recreational facilities known as the Olmsted Green Project. As set forth in the Original PDA

Plan, the Project involves the construction on the Site of multiple buildings and facilities containing a total combined gross floor are of approximately 851,000 square feet.

The First PDA Plan Amendment: This First PDA Plan Amendment, as set forth below, amends the Original PDA Plan with respect to only the Senior Housing component so that the number of units and the size of the proposed Senior Housing project may be reduced from 83 units/approximately 76,000 ± square feet to 59 units/approximately 59,049 ± square feet. Capitalized terms in this First PDA Plan Amendment, unless otherwise defined herein, shall be defined as set forth in the Original PDA Plan.

The Original PDA Plan is hereby amended as follows:

1. The line item identified as “E4 – Residential – Senior Housing” and the line item identified as “Total” in the table located at the end of Section 3 entitled “Project Site” are hereby deleted and replaced with the following text:

	USE	Approximate Gross Floor Area	Approximate # of Acres
E4	Residential – Senior Housing (approximately 59-units)	59,049±	1.3
	Total:	834,000± GAF	42.4

A revised Site Plan is attached hereto as Exhibit D, and revised Schematic Plans and Elevations are attached hereto as Exhibit E.

2. The second bullet point in Section 4 entitled “Project Description” on page 4 of the Original PDA Plan is hereby deleted and replaced with the following text:

- “Up to 59 units of low-income supportive senior rental housing (the “Senior Housing Component”);”

3. The first sentence of the third bullet point in Section 15 entitled "Public Benefits" on page 8 of the Original PDA Plan is hereby deleted and replaced with the following text:

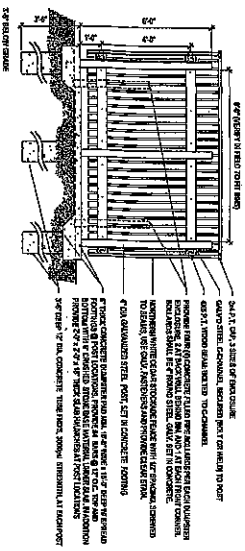
- ***Housing.*** Approximately 440 units of family housing and 59 units of senior housing will be provided by the Project."

4. The "Anticipated Project Phasing Schedule" in Section 16 entitled "Development Schedule and Phasing of the Project" on pages 9-10 of the Original PDA Plan is amended solely to reflect the fact that the "Senior Housing Component" referred to in Phase 3 and Phase 4 will be completed as one project and, instead of consisting of "approximately 42 units" in Phase 3 and "approximately 41 units" in Phase 4, will consist of approximately 59 units.

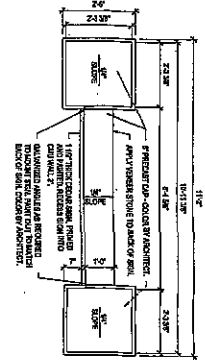
5. Except as the Original PDA Plan is amended by Sections 1 through 4, above, of this First PDA Plan Amendment, the Original PDA Plan remains unmodified and in full force and effect.

EXHIBIT D

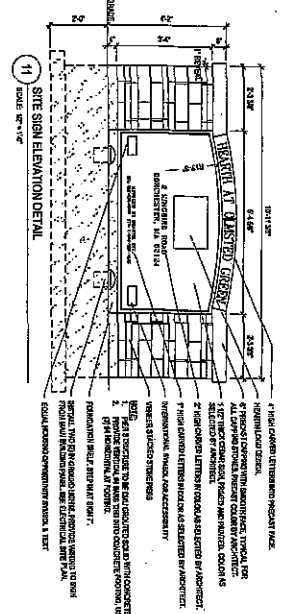
REVISED SITE PLAN FOR SENIOR HOUSING COMPONENT



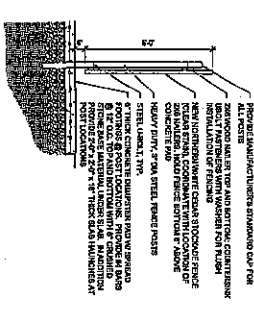
13 DUMPSTER AND EMERGENCY GENERATOR ENCLOSURE PANEL SECTION
SCALE: 3/8" = 1'-0"



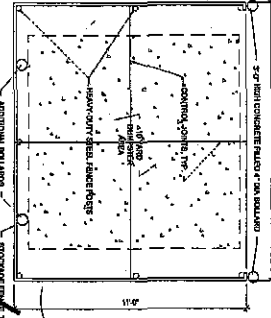
12 SITE SIGN PLAN DETAIL
SCALE: 1/8" = 1'-0"



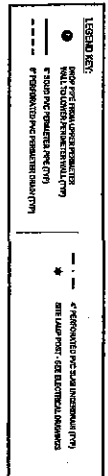
11 SITE SIGN ELEVATION DETAIL
SCALE: 3/8" = 1'-0"



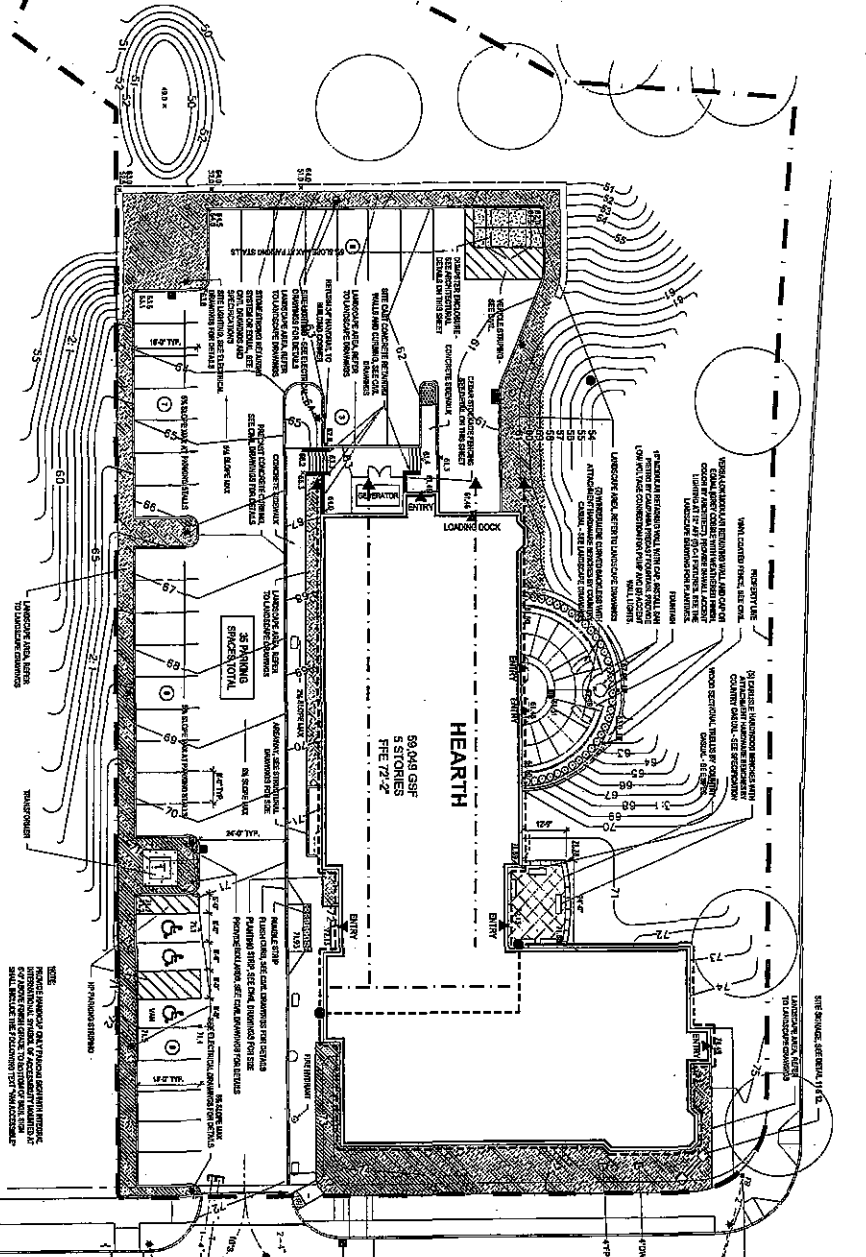
14 DETAIL AT NEW FENCE AND PAD
SCALE: 3/8" = 1'-0"



15 DUMPSTER ENCLOSURE (IN YARD TYPE LAYOUT)
SCALE: 3/8" = 1'-0"



10 ARCHITECTURAL SITE PLAN
SCALE: 3/8" = 1'-0"



The Architectural Team, Inc.
500 Commonwealth Avenue
Cohasset, MA 02550
T 617.898.4402
F 617.898.4329
www.architecturalteam.com
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Project Name: **Hearth At Olmsted Green**

2 KINGBIRD ROAD
DORCHESTER, MA

Architect of Record: **ARCHITECTURAL SITE PLAN**

Issue Date: **NOVEMBER 8, 2010**

Sheet Number: **A0.01**

EXHIBIT E

REVISED SCHEMATIC PLANS AND ELEVATIONS

FOR SENIOR HOUSING COMPONENT

Contractor:

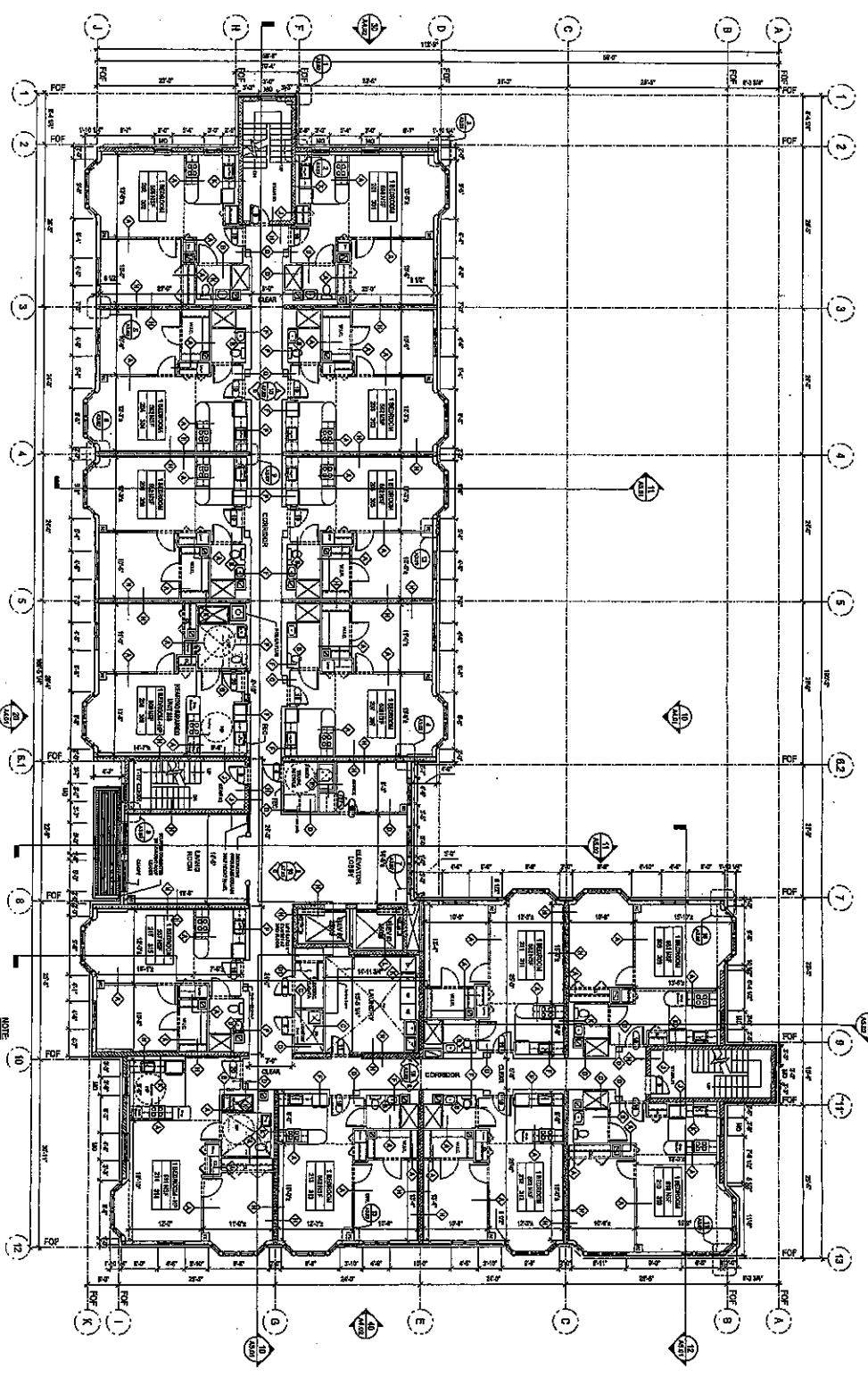
Revisions:

Architect of Record:

Drawn: FP
Checked: AV
Scale: 1/8" = 1'-0"
Key Plan:

Project Name:
**Health At
Dimsted Green**
2 KINGBIRD ROAD
Dorchester, MA
Sheet Name:
2ND, 3RD FLOOR PLAN

Project Number:
08023
Issue Date:
AUGUST 27, 2010
Sheet Number:
A1.03



10 SECOND, THIRD FLOOR PLANS
SCALE: 1/8" = 1'-0"

- NOTE:
1. FOR FINISHES OR FOUNDATIONS, SEE ARCHITECTURAL SPECIFICATIONS.
 2. GRID LINES ARE SHOWN TO FACE OF FOUNDATION.
 3. FINISH FLOOR IS INDICATED BY A DASHED LINE.
 4. FINISH FLOOR IS INDICATED BY A DASHED LINE.
 5. FINISH FLOOR IS INDICATED BY A DASHED LINE.
 6. PROVIDE 2" RIGID INSULATION (R-15) ABOVE FLOOR SLABS AT THE MECHANICAL ROOM, LABORATORY, AND STORAGE ROOMS.
 7. ALL CEILINGWORK, SPRING & CONDUIT OUTSIDE OF SPECIAL CHASES AND OVER HORIZONTAL ROOF JOISTS SHALL BE CONCEALED WITH GYPSUM BOARD WITH MECHANICAL ROOM JOISTS AND OVER EXHAUSTERS. MECH. VENT. SEE 1-100 RATED PERMIT TO INSTALL DRAWING RELATE FOR DETAILS.

Consultant:

Project Name:

Architect of Record:

Owner: FP

Contractor: AV

Scale: 1/8" = 1'-0"

Map File:



Project Name:
**Hearth At
Dimsted Green**

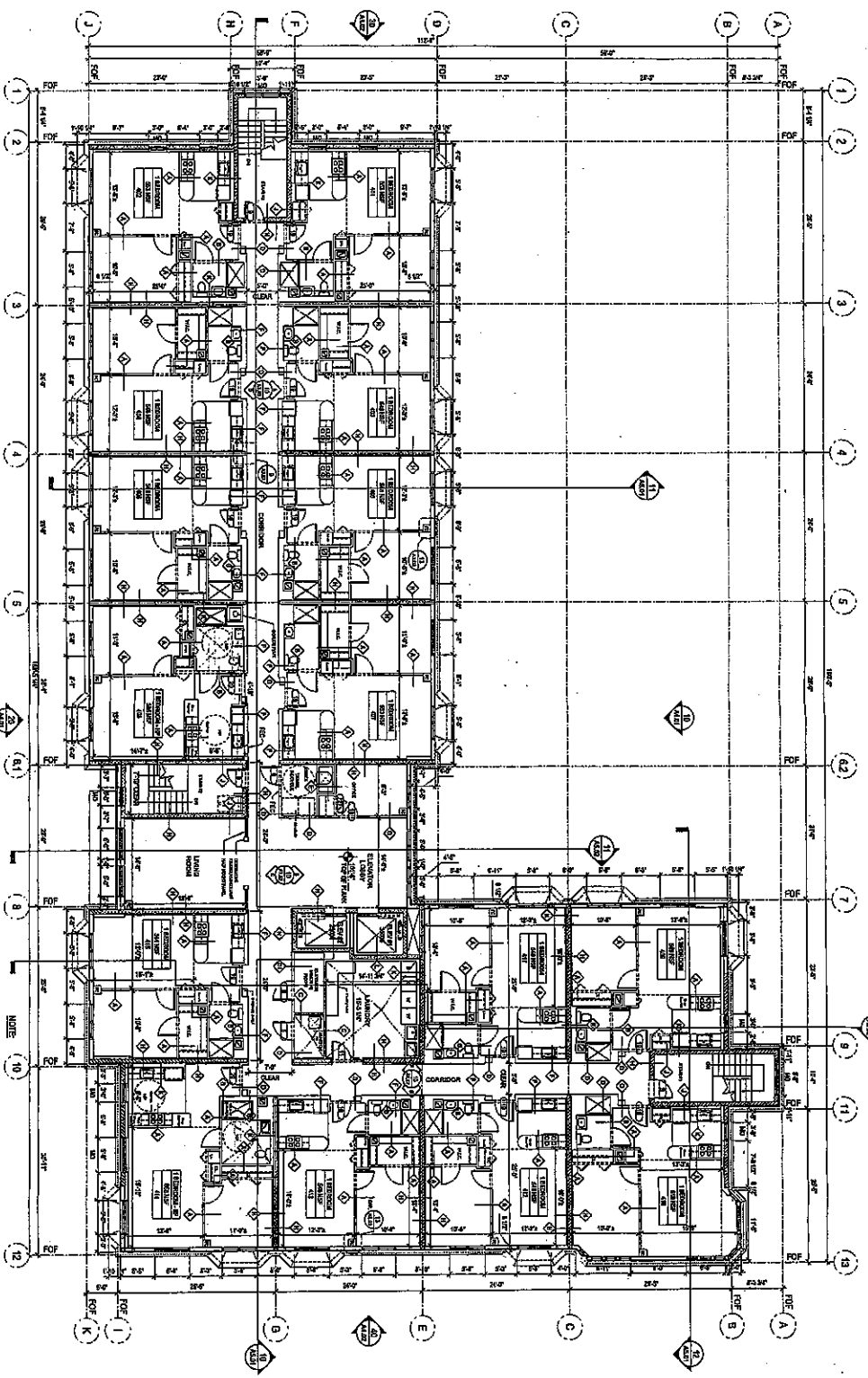
2 KINGSBIRD ROAD
Dorchester, MA

Sheet Name:
FOURTH FLOOR PLAN

Project Number:
08023

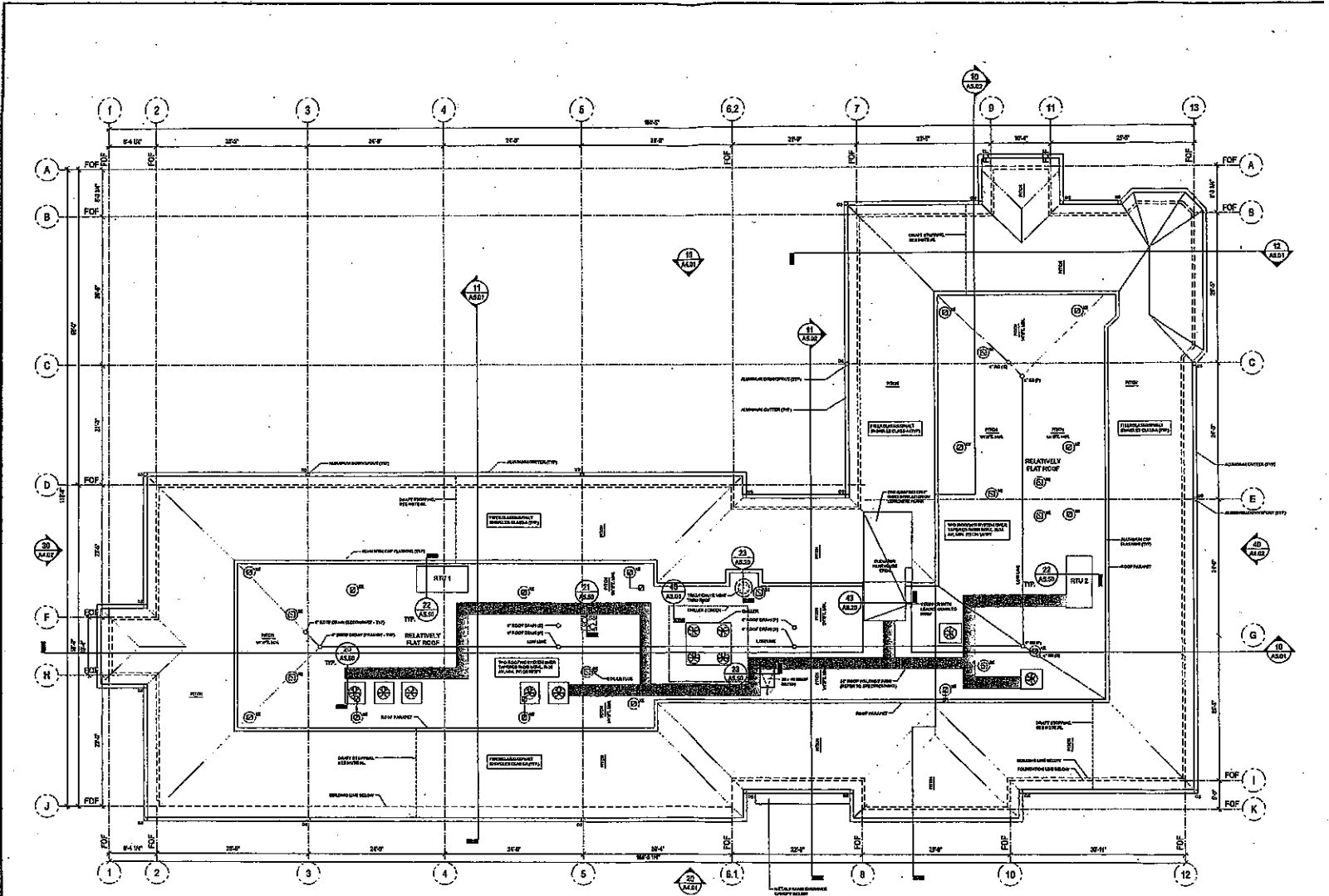
Date:
AUGUST 27, 2010

Sheet Number:
A1.04



10 FOURTH FLOOR PLAN
Scale: 1/8" = 1'-0"

- NOTE**
1. FCF = FACE OF FOUNDATION
 2. NO. IN BRACKETS SHOWS TO FACE OF FOUNDATION FOR AN EXISTING LINE OF CONCRETE
 3. DIMENSIONS ARE SHOWN TO FACE OF FOUNDATION UNLESS NOTED OTHERWISE
 4. SEE DIMENSIONED LIFT PLANS FOR PARTITION TYPES AND DOOR TYPES WITHIN UNITS.
 5. REPAIRS TO EXISTING PARTITIONS TO BE LOCATED AT UNITS 101 & 201.
 6. PROVIDE 2" OF SOUND MASS PARTITION ABOVE FLOOR CEILING AT THE MECHANICAL ROOM ATTICHEL.
 7. ALL DUCTWORK, PIPING & CONDUIT TO BE RIGIDLY SUPPORTED AT THE MECHANICAL ROOM ATTICHEL.
 8. ALL SWIFTS ARE TO BE 2" IN DIA. WITH THE EXCEPTION OF 2 SWIFTS, THE EXISTING EXHAUST INSULATION AND WRECKER MUST BE DEMOLISHED AND REFRIGERANT RECOVERED TO MECHANICAL SERVICES SHALL BE REUSED.



10 ROOF PLAN
SCALE: 1/8" = 1'-0"

- NOTE:
1. FOF = FACE OF FOUNDATION
 2. MO = MASONRY OPENING
 3. GRID LINES ARE SHOWN TO FACE OF FOUNDATION (FOF) OR CENTER LINE OF CONCRETE MASONRY UNIT (CMU). SEE ENLARGED WALL DETAILS ON DWG A1.02 FOR CLARIFICATIONS.
 4. PROVIDE ANY AND ALL CRICKETS NEEDED TO ENSURE PROPER DRAINAGE AROUND ROOF PENETRATIONS.
 5. PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOF MOUNTED EQUIPMENT. LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY. REFER TO SPECIFICATIONS.
 6. 2" OND DRAFT STOPPING, FULL HEIGHT OF ROOF PARAPET TO TOP OF CONCRETE PLANK. PROVIDE LOW STILES 16" O.C. MAX TO SUPPORT GHS, MAXIMUM HORIZONTAL AREA NOT TO EXCEED 3,000 SF

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the architectural team

The Architectural Team, Inc.
50 Commendant's Way at Admiral's Hill
Chelsea MA 02150
T 617.389.4492
F 617.894.4329
www.architecturalteam.com
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Consultant:

Revision:

Architect of Record:

Drawn: PP
Checked: AV
Scale: 1/8" = 1'-0"
Key Plan:

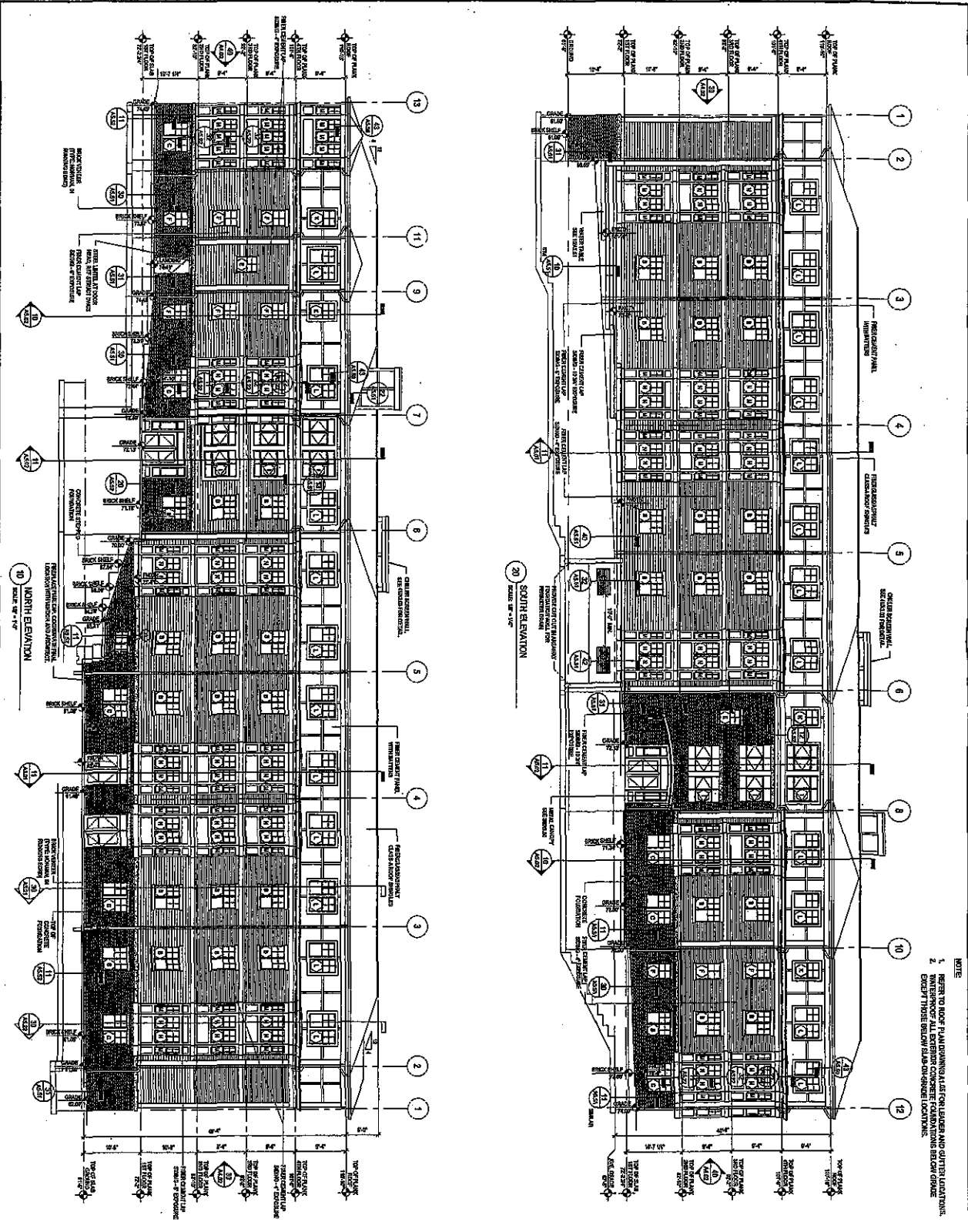


Project Name:
**Hearth At
Olmsted Green**

2 KINGBIRD ROAD
Dorchester, MA
Street Name:
ROOF PLAN

Project Number:
06023
Issue Date:
AUGUST 27, 2010
Sheet Number:

A1.05



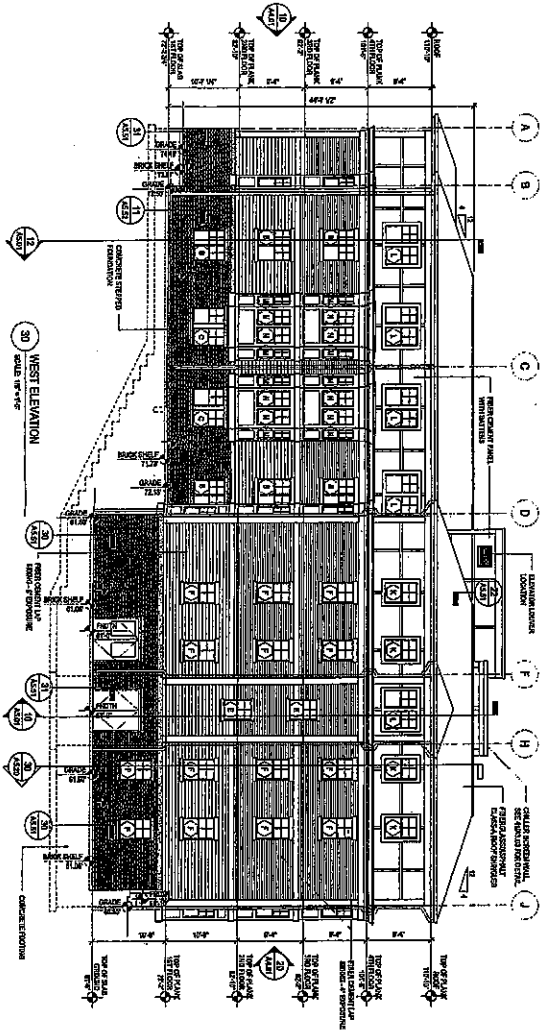
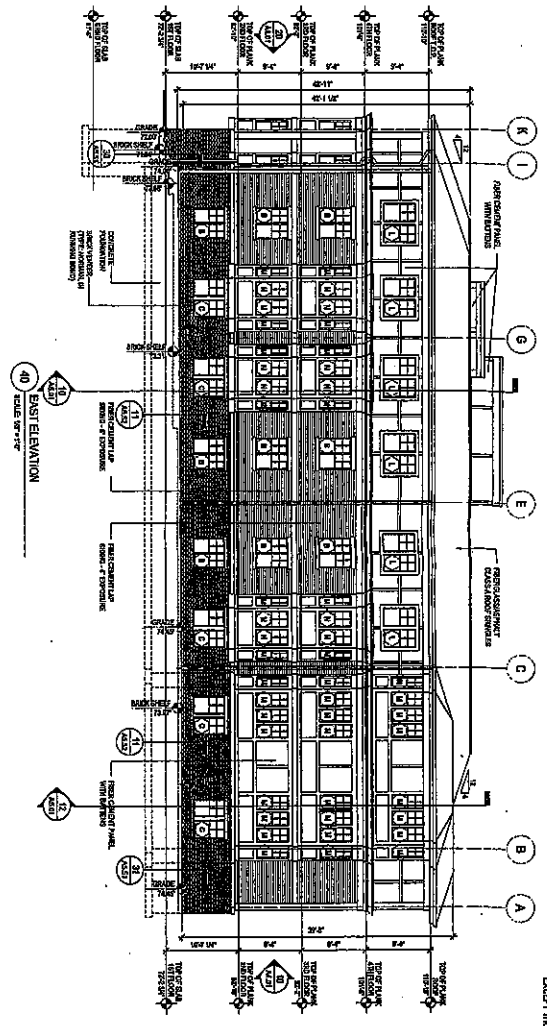
NOTE
 1. REFER TO ROOM PLANS DRAWING A4.01 FOR LAYOUTS AND GLASS LOCATIONS.
 2. WATERPROOF ALL EXTERIOR CONCRETE PENETRATIONS BELOW GRADE EXCEPT THOSE BELOW SLAB-ON-GRADE LOCATIONS.

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 the architectural team

The Architectural Team, Inc.
 50 Commodore Way at Fenner's Hill
 Chelsea, MA 02150
 T 617 888-4402
 F 617 888-4403
 www.architecturalteam.com
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Contractor:
 Architect:
 Designer: PP
 Client: AV
 Scale: 1/8" = 1'-0"
 Key Plan:
 Project Name:
 Project Address:
 2 KINGSBIRD ROAD
 DORCHESTER, MA
 ELEVATIONS
 Project Number:
 08023
 Issue Date:
 AUGUST 27, 2010
 Sheet Number:
 A4.01

- NOTE:
1. REFER TO RCP FLOOR DRAWING FOR ROOM LEADERS AND OTHER LOCATIONS.
 2. EXISTING WALLS ARE SHOWN IN LIGHT GRAY. EXISTING FLOOR FINISHES ARE SHOWN IN LIGHT GRAY.



tat
the architectural team

The Architectural Team, Inc.
50 Commonwealth Way at Kennedy's Hill
Chelsea, MA 02150
T 617.265.4402
F 617.265.4353
www.thearchitecturalteam.com
info@thearchitecturalteam.com

Contractor:

Architect:

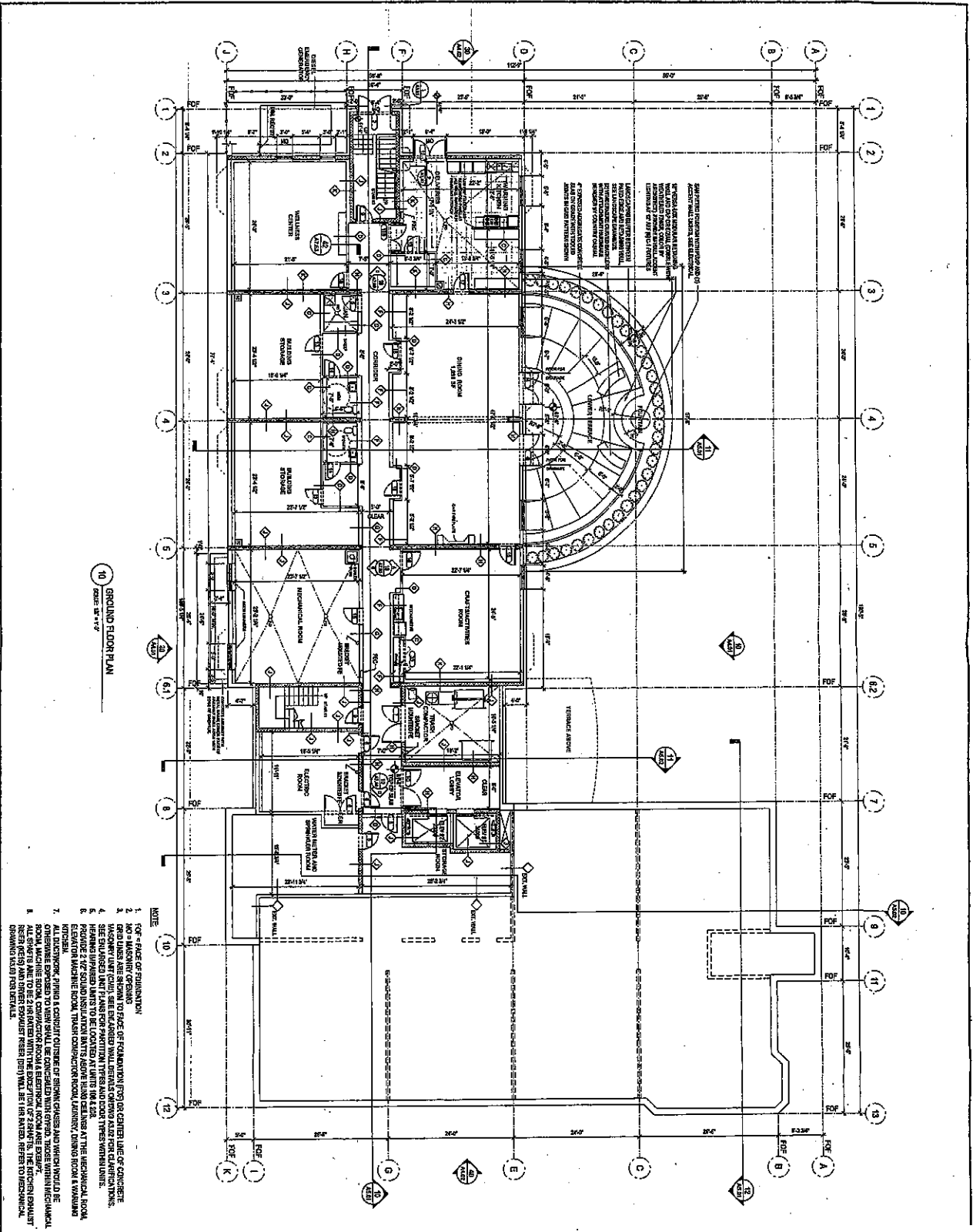
Architect of Record:

Drawn: FP
Checked: AV
Scale: 1/8" = 1'-0"
Key Plan:



Project Name:
**Hearth At
Olmsted Green**
2 KINGSBIRD ROAD
Dorchester, MA
Grand Tower:
ELEVATIONS

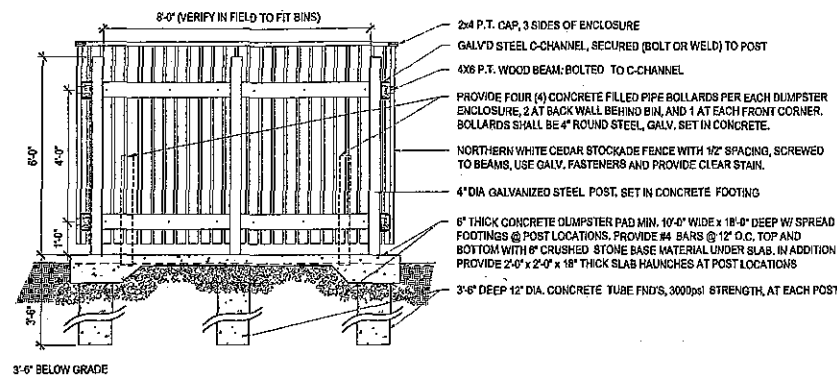
Project Number:
08023
Issue Date:
AUGUST 27, 2010
Sheet Number:
A4.02



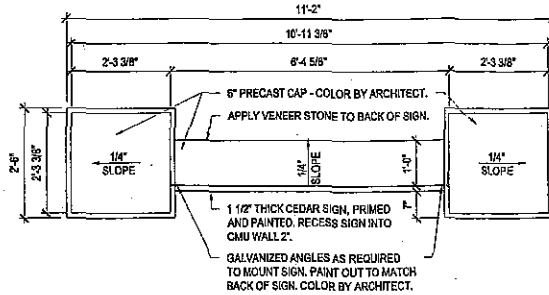
10 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTE
1. C/F - FACE OF FOUNDATION
 2. NOT A MASONRY ORGAN
 3. GROUND LINES ARE SHOWN TO FACE OF FOUNDATION FOR THE CENTER LINE OF CONCRETE FOUNDATION WALLS AND TO CENTERLINE OF FOUNDATION WALLS.
 4. SEE ENLARGED LIFT PLANS FOR PARTITION TYPES AND DOOR TYPES WITH WALLS.
 5. HANGING BURNER UNITS TO BE LOCATED AT UNITS 11A & 12A.
 6. PROVIDE 2" VAPOR INSULATION BATT ABOVE BURNER UNITS AT THE MECHANICAL ROOM KITCHEN.
 7. ALL DUCTWORK, PIPING & CONDUIT OUTSIDE OF BURNER UNITS AND WHICH WOULD BE EXPOSED TO VIEW SHALL BE CONCEALED WITH GRAY PRESSED BRASS WITH MACHINED FINISH METAL AND GREY ENAMEL RISER. (SEE WALL SET DRAWING FOR MECHANICAL RISERS AND GREY ENAMEL RISER. (SEE WALL SET DRAWING FOR MECHANICAL RISERS AND GREY ENAMEL RISER.)
 8. RISER METAL AND GREY ENAMEL RISER (SEE WALL SET DRAWING FOR MECHANICAL RISERS AND GREY ENAMEL RISER.)
 9. RISER METAL AND GREY ENAMEL RISER (SEE WALL SET DRAWING FOR MECHANICAL RISERS AND GREY ENAMEL RISER.)
 10. RISER METAL AND GREY ENAMEL RISER (SEE WALL SET DRAWING FOR MECHANICAL RISERS AND GREY ENAMEL RISER.)

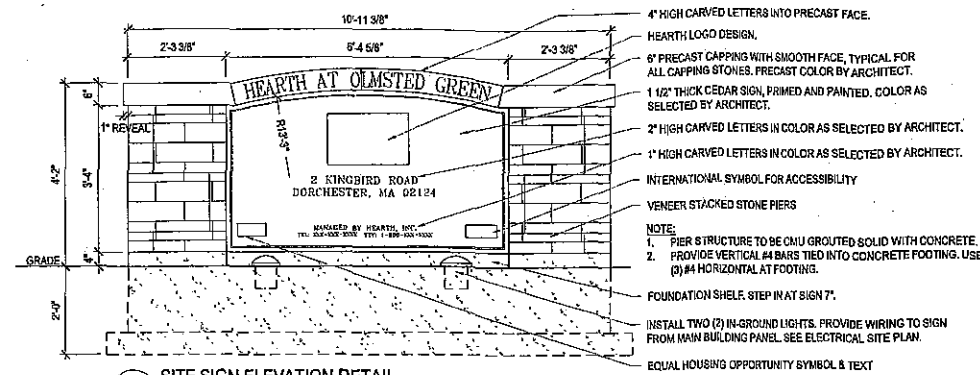
<p>The Architectural Team, Inc. 200 Commonwealth Way # Andrews 191 Dorchester, MA 01928 T 617.884.4322 F 617.884.4323 www.architecturalteam.com ©2010 The Architectural Team, Inc.</p>	
<p>Project Name: Hearth At Olmsted Green</p>	
<p>2 KINGBIRD ROAD Dorchester, MA</p>	
<p>Sheet Name: GROUND FLOOR PLAN</p>	
<p>Project Number: 06023</p>	
<p>Issue Date: AUGUST 27, 2010</p>	
<p>Sheet Number: A1.01</p>	
<p>Drawn: JF/JP Checked: AV Scale: 1/8" = 1'-0" Key Plan:</p>	<p>Architect of Record:</p>



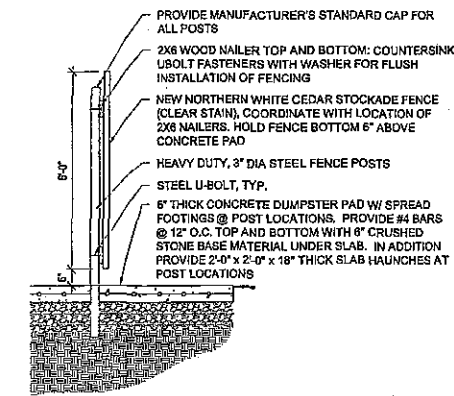
13 DUMPSTER AND EMERGENCY GENERATOR ENCLOSURE PANEL SECTION
SCALE: 3/8" = 1'-0"



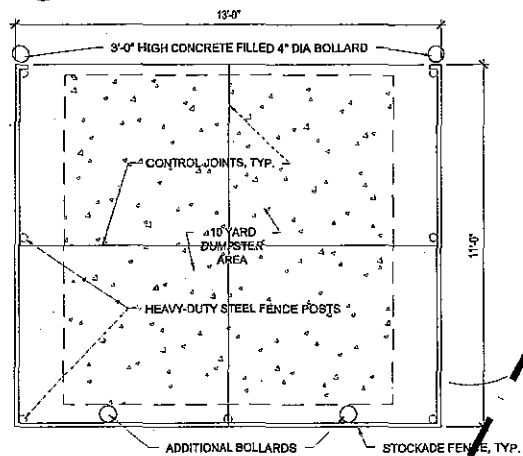
12 SITE SIGN PLAN DETAIL
SCALE: 1/2" = 1'-0"



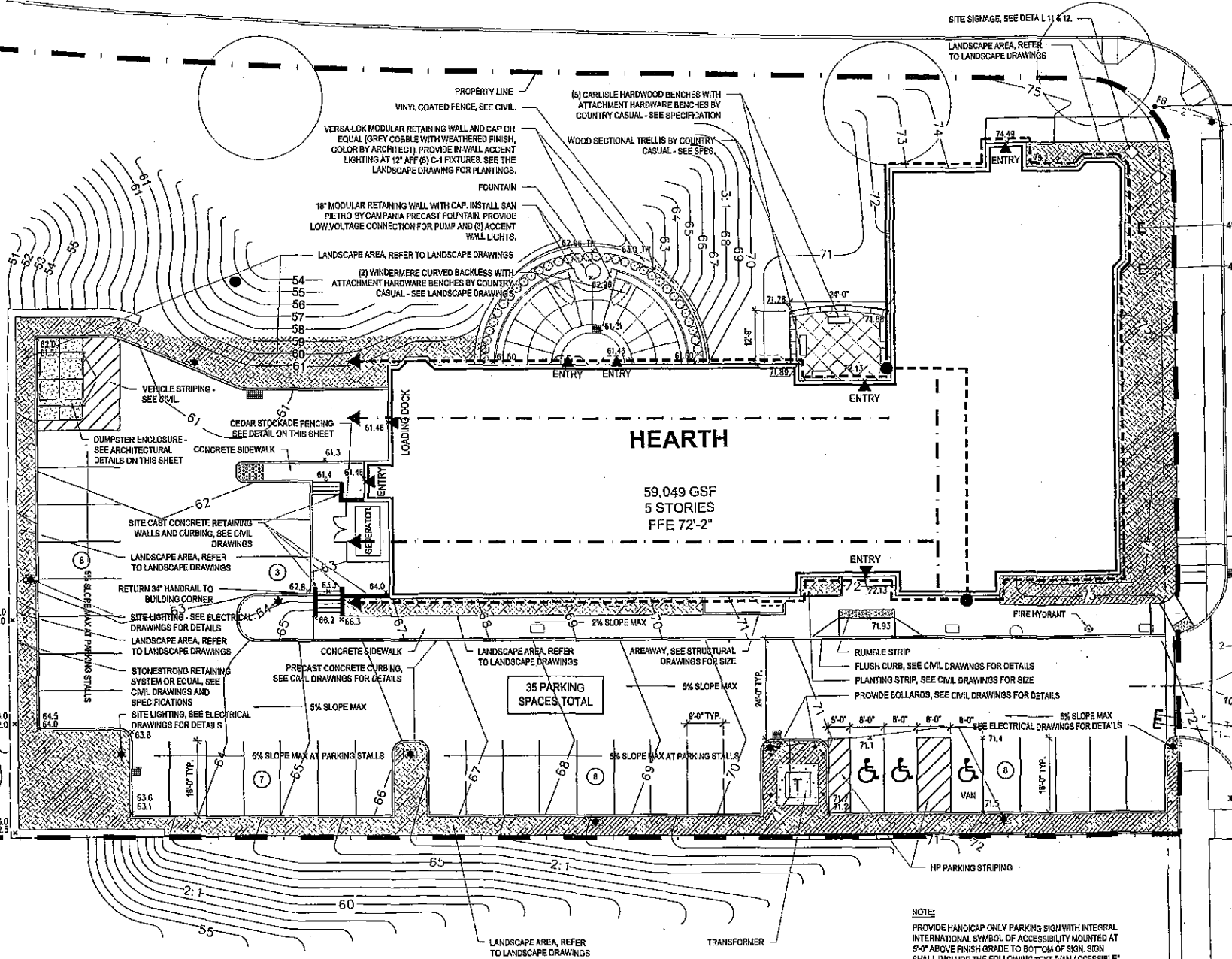
11 SITE SIGN ELEVATION DETAIL
SCALE: 1/2" = 1'-0"



14 DETAIL AT NEW FENCE AND PAD
SCALE: 3/8" = 1'-0"



15 DUMPSTER ENCLOSURE (10 YARD TYP. LAYOUT)
SCALE: 3/8" = 1'-0"



10 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

LEGEND KEY:

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the architectural team

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Consultant:

Revision:

Architect of Record:

Drawn: VHB / PP
Checked: AV
Scale: 1/16" = 1'-0"
Key Plan:

Project Name:
Hearth At Olmsted Green

2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:
ARCHITECTURAL SITE PLAN

Project Number:
06023

Issue Date:
NOVEMBER 8, 2010

Sheet Number:
A0.01

Consultant:

Revision:

Architect of Record:

Drawn: PP

Checked: AV

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

**Hearth At
Olmsted Green**

2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:

FIRST FLOOR PLAN

Project Number:

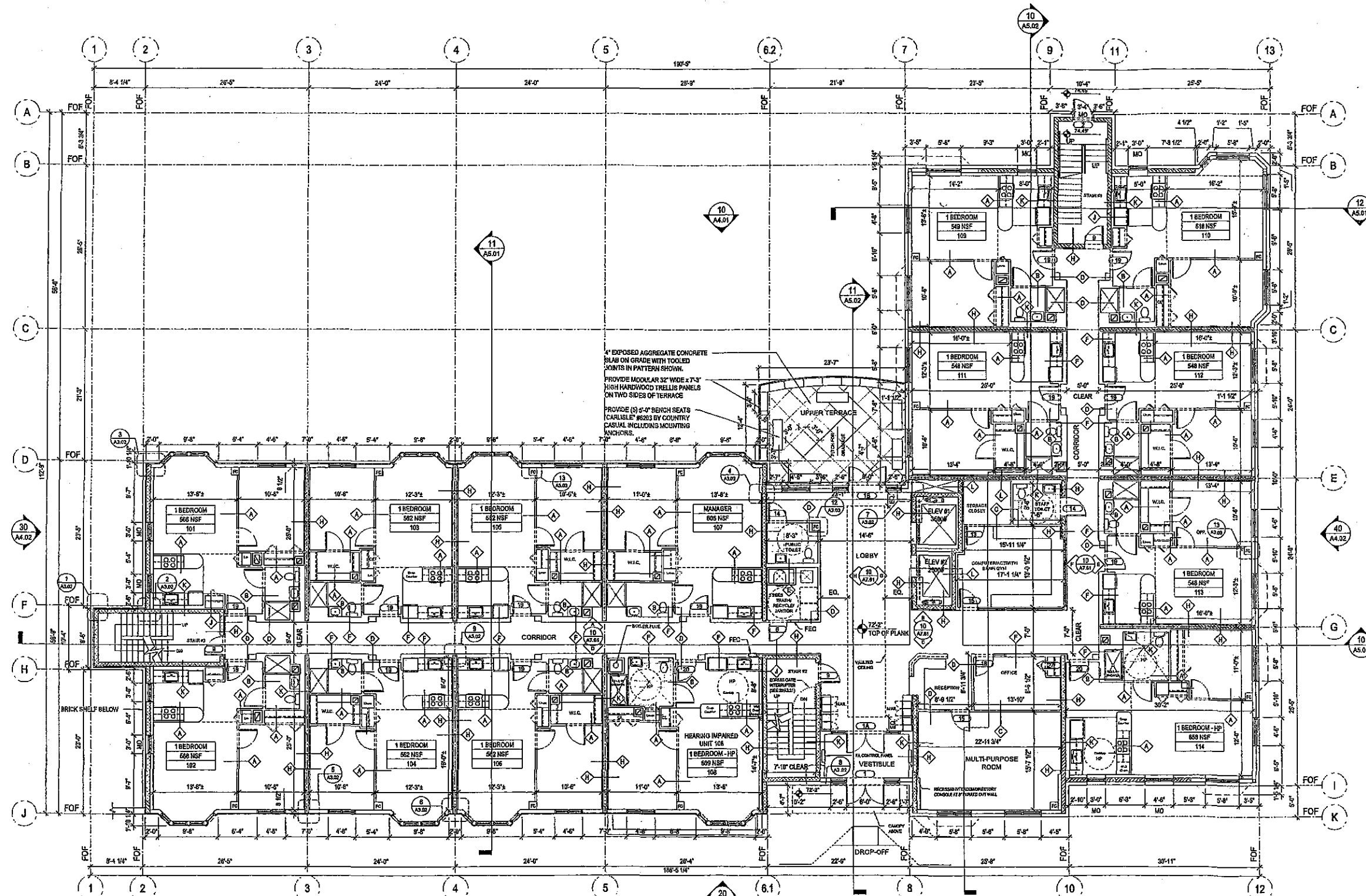
06023

Issue Date:

AUGUST 27, 2010

Sheet Number:

A1.02



4" EXPOSED AGGREGATE CONCRETE
SLAB ON GRADE WITH TOOLED
JOINTS IN PATTERN SHOWN.
PROVIDE MODULAR 32" WIDE x 7'-3"
HIGH HARDWOOD TRELLIS PANELS
ON TWO SIDES OF TERRACE
PROVIDE (5) 6" BENCH SEATS
(CARLISLE #5283 BY COUNTRY
CASUAL INCLUDING MOUNTING
ANCHORS.

10 FIRST FLOOR
SCALE: 1/8" = 1'-0"

NOTE:

1. FOF = FACE OF FOUNDATION
2. MO = MASONRY OPENING
3. GRID LINES ARE SHOWN TO FACE OF FOUNDATION (FOF) OR CENTER LINE OF CONCRETE MASONRY UNIT (CMU). SEE ENLARGED WALL DETAILS ON DWG A3.02 FOR CLARIFICATIONS.
4. SEE ENLARGED UNIT PLANS FOR PARTITION TYPES AND DOOR TYPES WITHIN UNITS.
5. HEARING IMPAIRED UNITS TO BE LOCATED AT UNITS 108 & 208.
6. PROVIDE 2 1/2" SOUND INSULATION BATTS ABOVE HUNG CEILINGS AT THE MECHANICAL ROOM, ELEVATOR MACHINE ROOM, TRASH COMPACTOR ROOM, LAUNDRY, DINING ROOM & WARMING KITCHEN.
7. ALL DUCTWORK, PIPING & CONDUIT OUTSIDE OF SHOWN CHASES AND WHICH WOULD BE OTHERWISE EXPOSED TO VIEW SHALL BE CONCEALED WITH GYPBD. THOSE WITHIN MECHANICAL ROOM, MACHINE ROOM, COMPACTOR ROOM & ELECTRICAL ROOM ARE EXEMPT.
8. ALL SHAFTS ARE TO BE 2 HR RATED WITH THE EXCEPTION OF 2 SHAFTS. THE KITCHEN EXHAUST RISER (KE16) AND DRYER EXHAUST RISER (DE1) WILL BE 1 HR RATED. REFER TO MECHANICAL DRAWING M3.00 FOR DETAILS.

Consultant:

Revision:

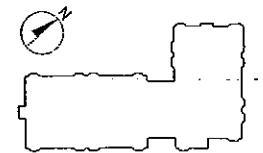
Architect of Record:

Drawn: PP

Checked: AV

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

**Hearth At
Olmsted Green**

2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:

2ND, 3RD FLOOR PLAN

Project Number:

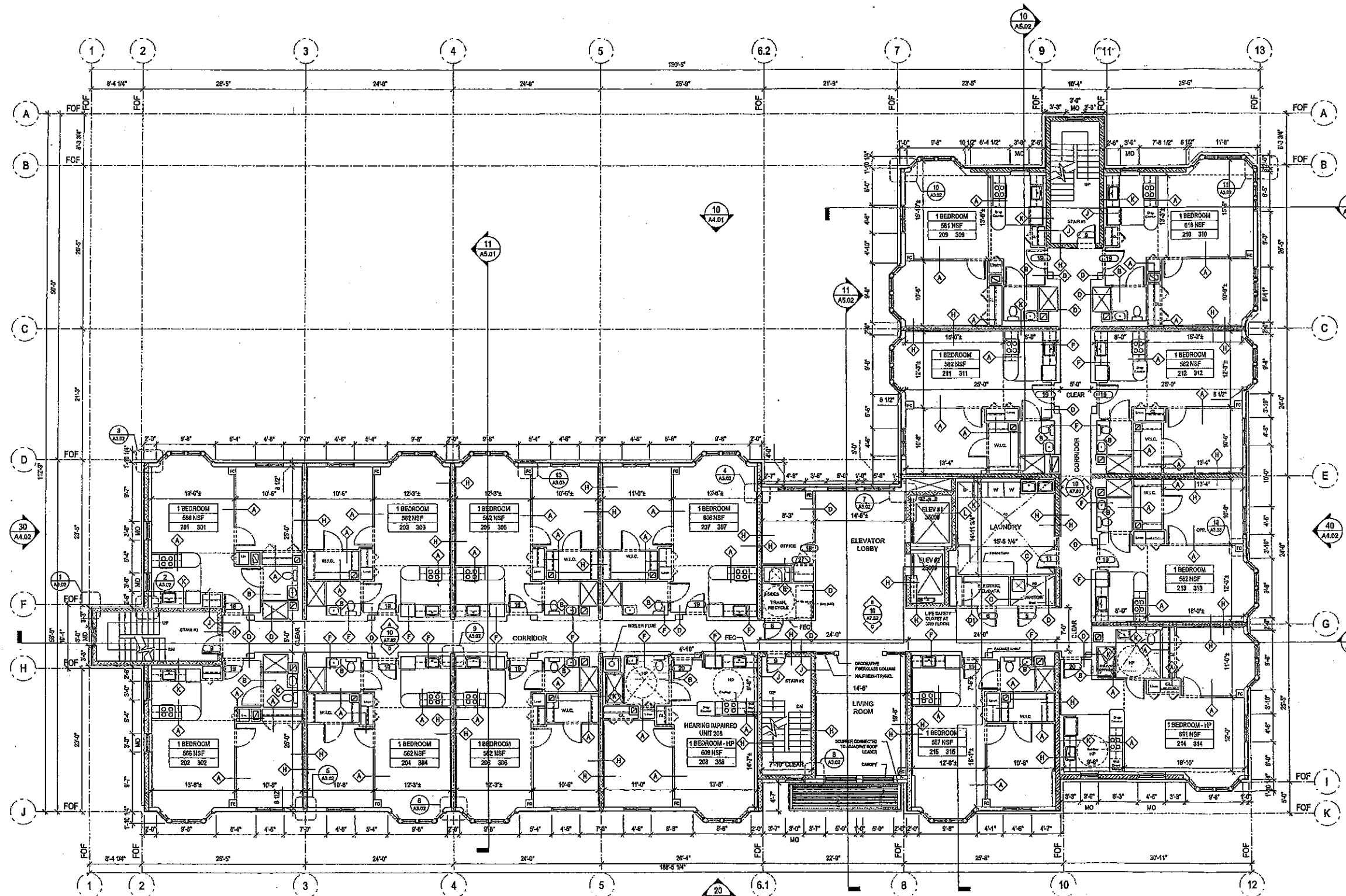
06023

Issue Date:

AUGUST 27, 2010

Sheet Number:

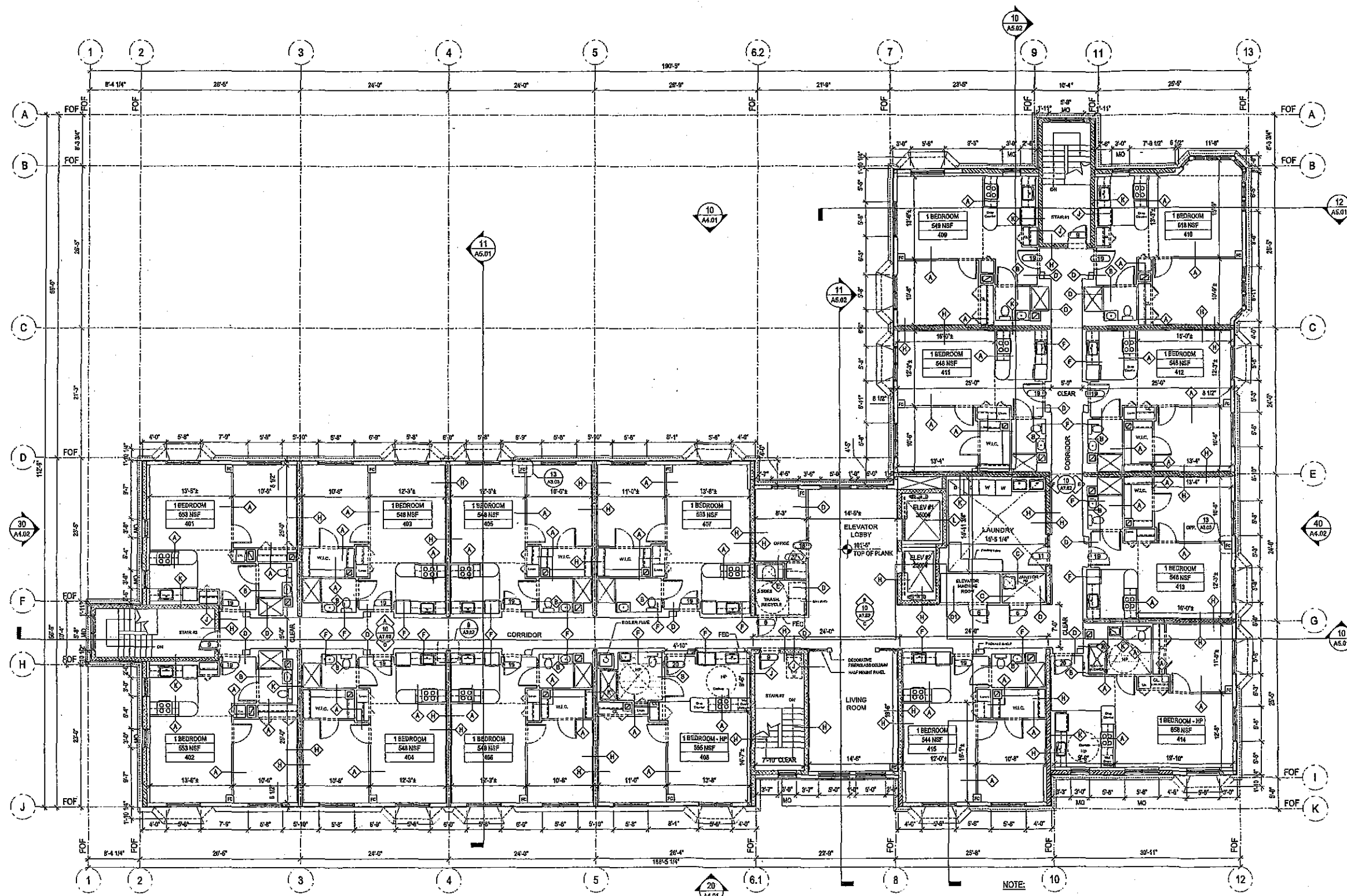
A1.03



10 SECOND, THIRD FLOOR PLANS
SCALE: 1/8" = 1'-0"

NOTE:

1. FOF = FACE OF FOUNDATION
2. MO = MASONRY OPENING
3. GRID LINES ARE SHOWN TO FACE OF FOUNDATION (FOF) OR CENTER LINE OF CONCRETE MASONRY UNIT (CMU). SEE ENLARGED WALL DETAILS ON DWG A3.02 FOR CLARIFICATIONS.
4. SEE ENLARGED UNIT PLANS FOR PARTITION TYPES AND DOOR TYPES WITHIN UNITS.
5. HEARING IMPAIRED UNITS TO BE LOCATED AT UNITS 108 & 208.
6. PROVIDE 2 1/2" SOUND INSULATION BATTS ABOVE HUNG CEILINGS AT THE MECHANICAL ROOM, ELEVATOR MACHINE ROOM, TRASH COMPACTOR ROOM, LAUNDRY, DINING ROOM & WARMING KITCHEN.
7. ALL DUCTWORK, PIPING & CONDUIT OUTSIDE OF SHOWN CHASES AND WHICH WOULD BE OTHERWISE EXPOSED TO VIEW SHALL BE CONCEALED WITH GYPBD. THOSE WITHIN MECHANICAL ROOM, MACHINE ROOM, COMPACTOR ROOM & ELECTRICAL ROOM ARE EXEMPT.
8. ALL SHAFTS ARE TO BE 2 HR RATED WITH THE EXCEPTION OF 2 SHAFTS. THE KITCHEN EXHAUST RISER (KE15) AND DRYER EXHAUST RISER (DE1) WILL BE 1 HR RATED. REFER TO MECHANICAL DRAWING M3.00 FOR DETAILS.



10 FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTE:
1. FOF = FACE OF FOUNDATION
 2. MO = MASONRY OPENING
 3. GRID LINES ARE SHOWN TO FACE OF FOUNDATION (FOF) OR CENTER LINE OF CONCRETE MASONRY UNIT (CMU). SEE ENLARGED WALL DETAILS ON DWG A3.02 FOR CLARIFICATIONS.
 4. SEE ENLARGED UNIT PLANS FOR PARTITION TYPES AND DOOR TYPES WITHIN UNITS.
 5. HEARING IMPAIRED UNITS TO BE LOCATED AT UNITS 108 & 208.
 6. PROVIDE 2 1/2" SOUND INSULATION BATTS ABOVE HUNG CEILINGS AT THE MECHANICAL ROOM, ELEVATOR MACHINE ROOM, TRASH COMPACTOR ROOM, LAUNDRY, DINING ROOM & WARMING KITCHEN.
 7. ALL DUCTWORK, PIPING & CONDUIT OUTSIDE OF SHOWN CHASES AND WHICH WOULD BE OTHERWISE EXPOSED TO VIEW SHALL BE CONCEALED WITH GYPBD. THOSE WITHIN MECHANICAL ROOM, MACHINE ROOM, COMPACTOR ROOM & ELECTRICAL ROOM ARE EXEMPT.
 8. ALL SHAFTS ARE TO BE 2 HR RATED WITH THE EXCEPTION OF 2 SHAFTS. THE KITCHEN EXHAUST RISER (KE15) AND DRYER EXHAUST RISER (DE1) WILL BE 1 HR RATED. REFER TO MECHANICAL DRAWING M3.03 FOR DETAILS.

Consultant:

Revision:

Architect of Record:

Drawn: PP

Checked: AV

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

**Hearth At
Olmsted Green**

**2 KINGBIRD ROAD
Dorchester, MA**

Sheet Name:

FOURTH FLOOR PLAN

Project Number:

06023

Issue Date:

AUGUST 27, 2010

Sheet Number:

A1.04

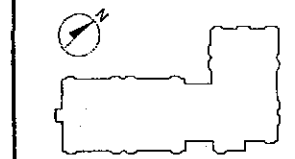
The Architectural Team, Inc.
50 Commandant's Way at Admirals Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
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Consultant:

Revision:

Architect of Record:

Drawn: PP
Checked: AV
Scale: 1/8" = 1'-0"
Key Plan:



Project Name:
**Hearth At
Olmsted Green**

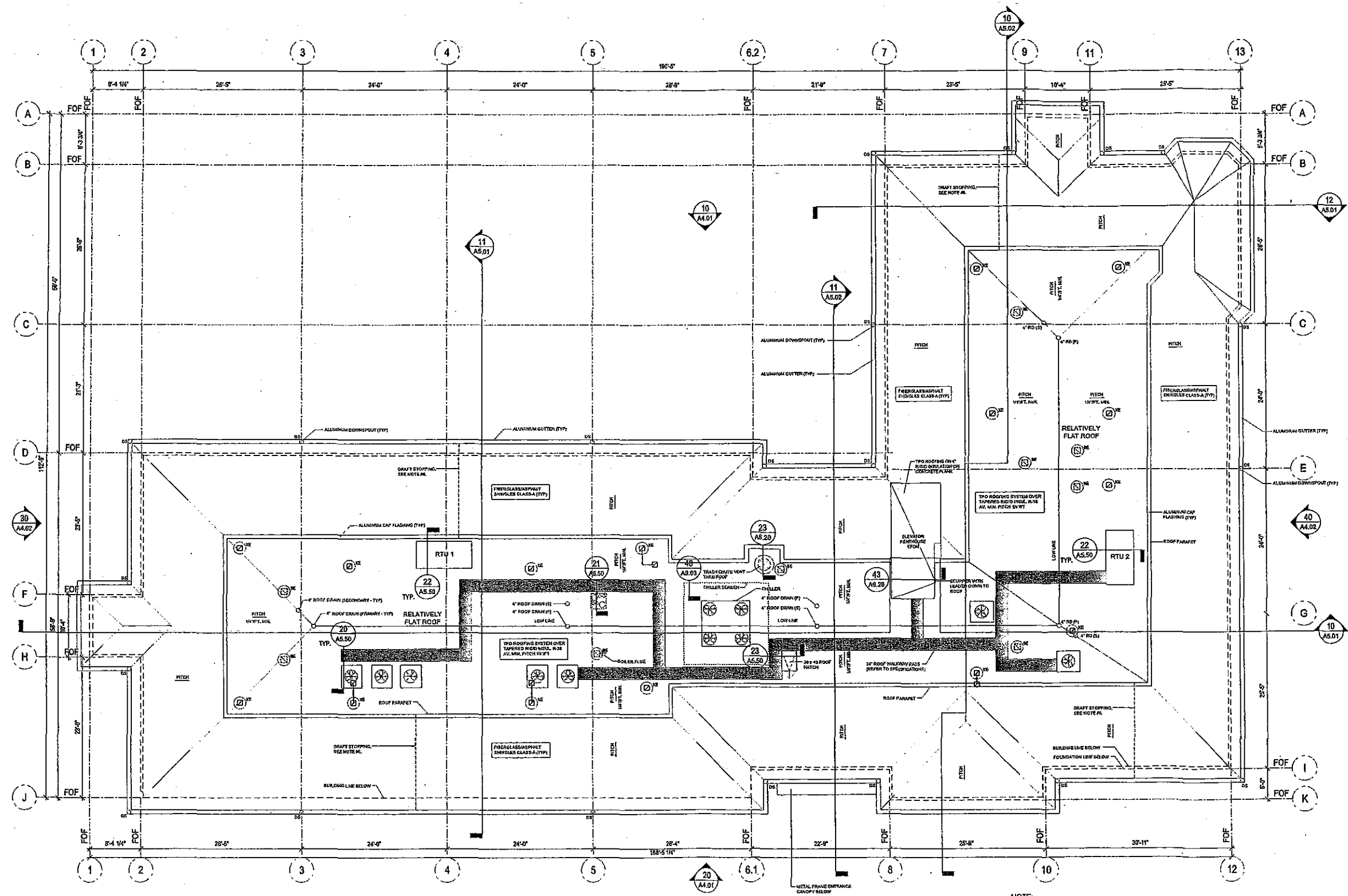
2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:
ROOF PLAN

Project Number:
06023

Issue Date:
AUGUST 27, 2010

Sheet Number:
A1.05



10 ROOF PLAN
SCALE: 1/8" = 1'-0"

- NOTE:
1. FOF = FACE OF FOUNDATION
 2. MO = MASONRY OPENING
 3. GRID LINES ARE SHOWN TO FACE OF FOUNDATION (FOF) OR CENTER LINE OF CONCRETE MASONRY UNIT (CMU). SEE ENLARGED WALL DETAILS ON DWG A3.02 FOR CLARIFICATIONS. PROVIDE ANY AND ALL CRICKETS NEEDED TO ENSURE PROPER DRAINAGE AROUND ROOF PENETRATIONS.
 4. PROVIDE WALKWAY PADS FROM ROOF ACCESS TO ALL ROOF MOUNTED EQUIPMENT. LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY. REFER TO SPECIFICATIONS.
 5. 1/2" GWB DRAFT STOPPING, FULL HEIGHT OF ROOF PARAPET TO TOP OF CONCRETE PLANK. PROVIDE LGM STUDS 16" O.C. MAX TO SUPPORT GWB, MAXIMUM HORIZONTAL AREA NOT TO EXCEED 3,000 SF

Consultant:

Revision:

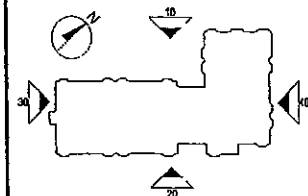
Architect of Record:

Drawn: PP

Checked: AV

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

**Hearth At
Olmsted Green**

2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:

ELEVATIONS

Project Number:

06023

Issue Date:

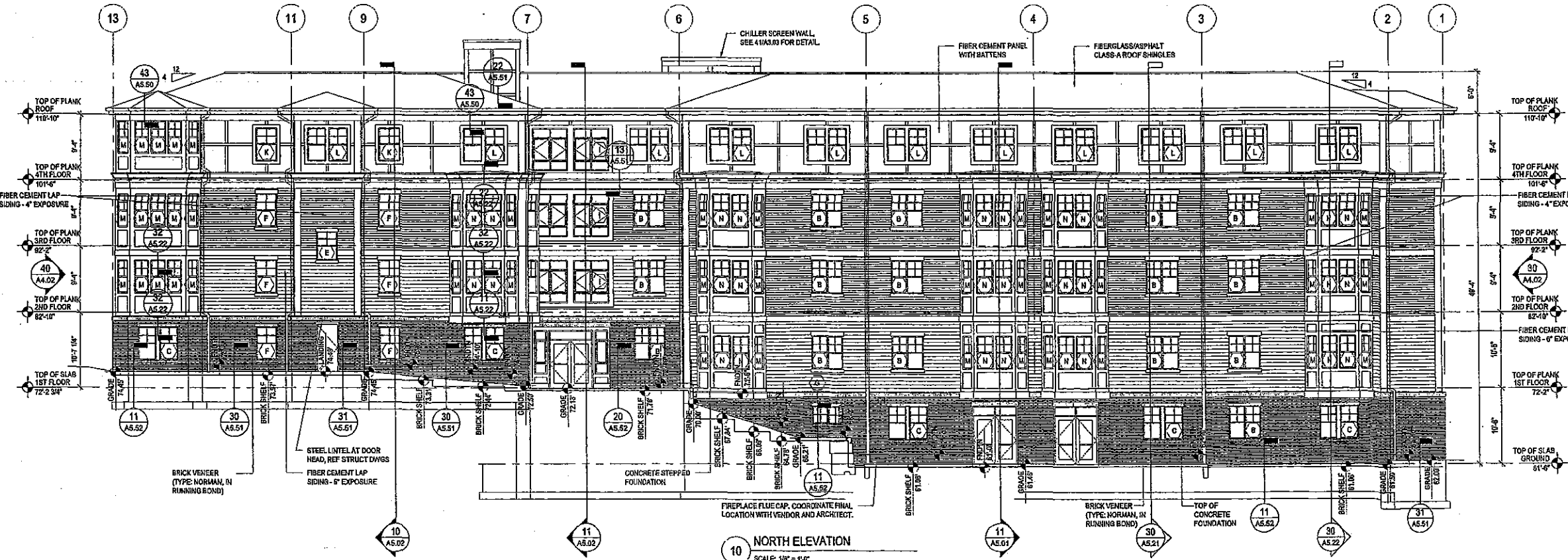
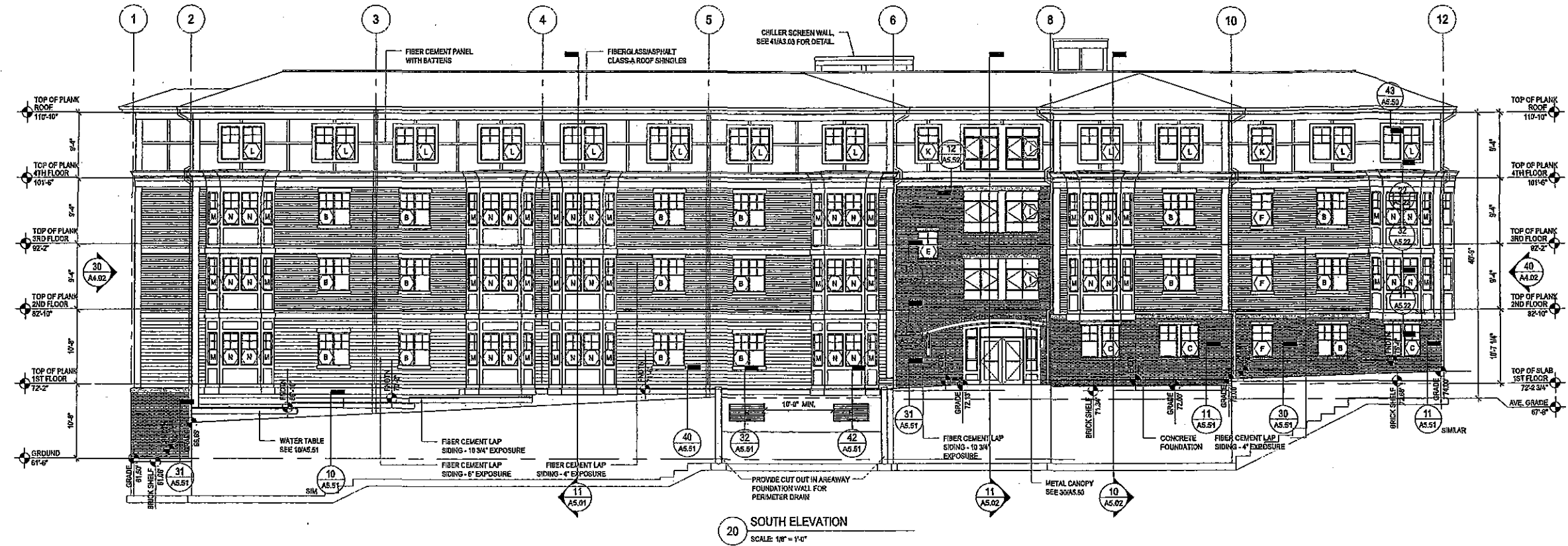
AUGUST 27, 2010

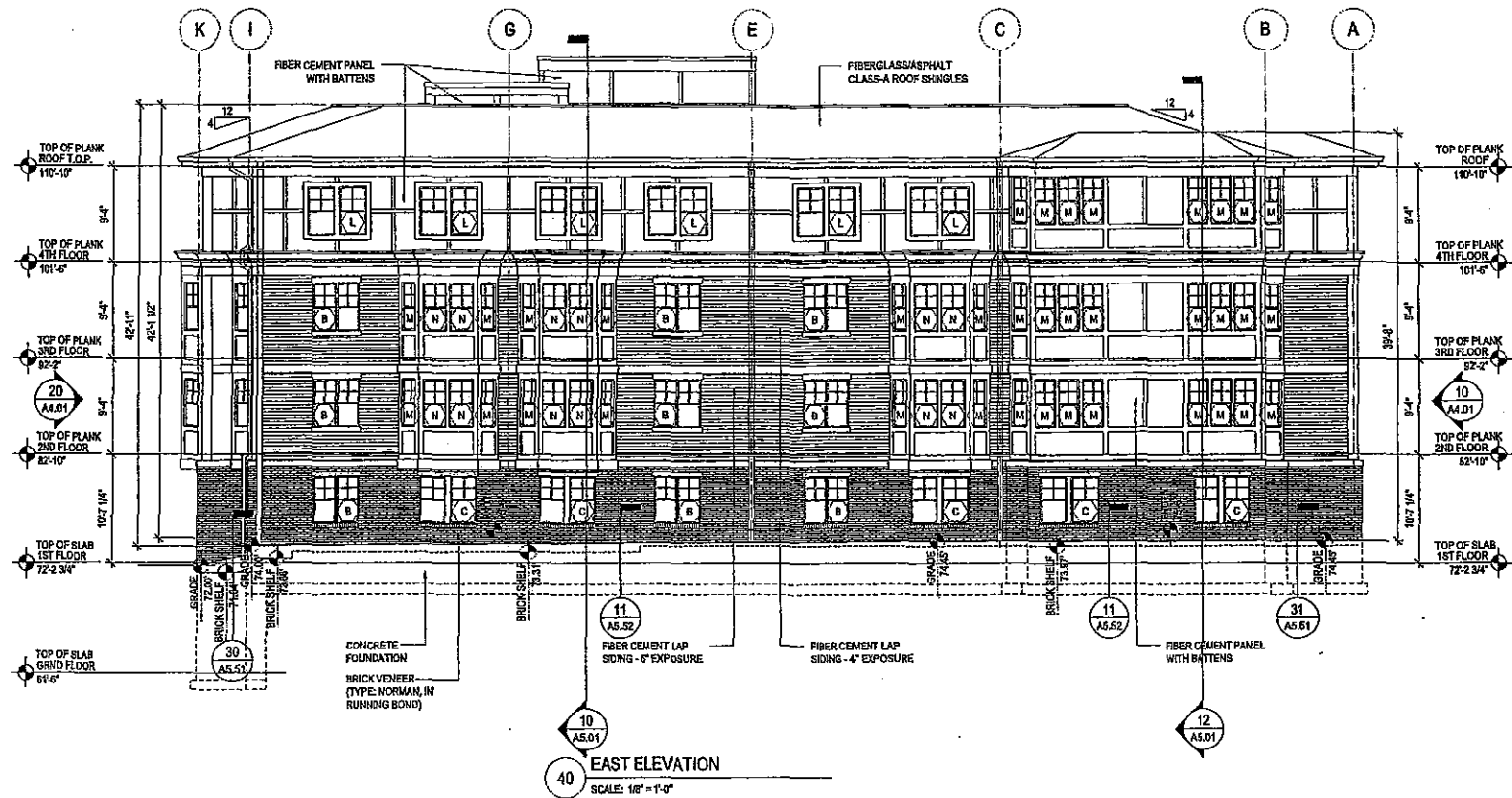
Sheet Number:

A4.01

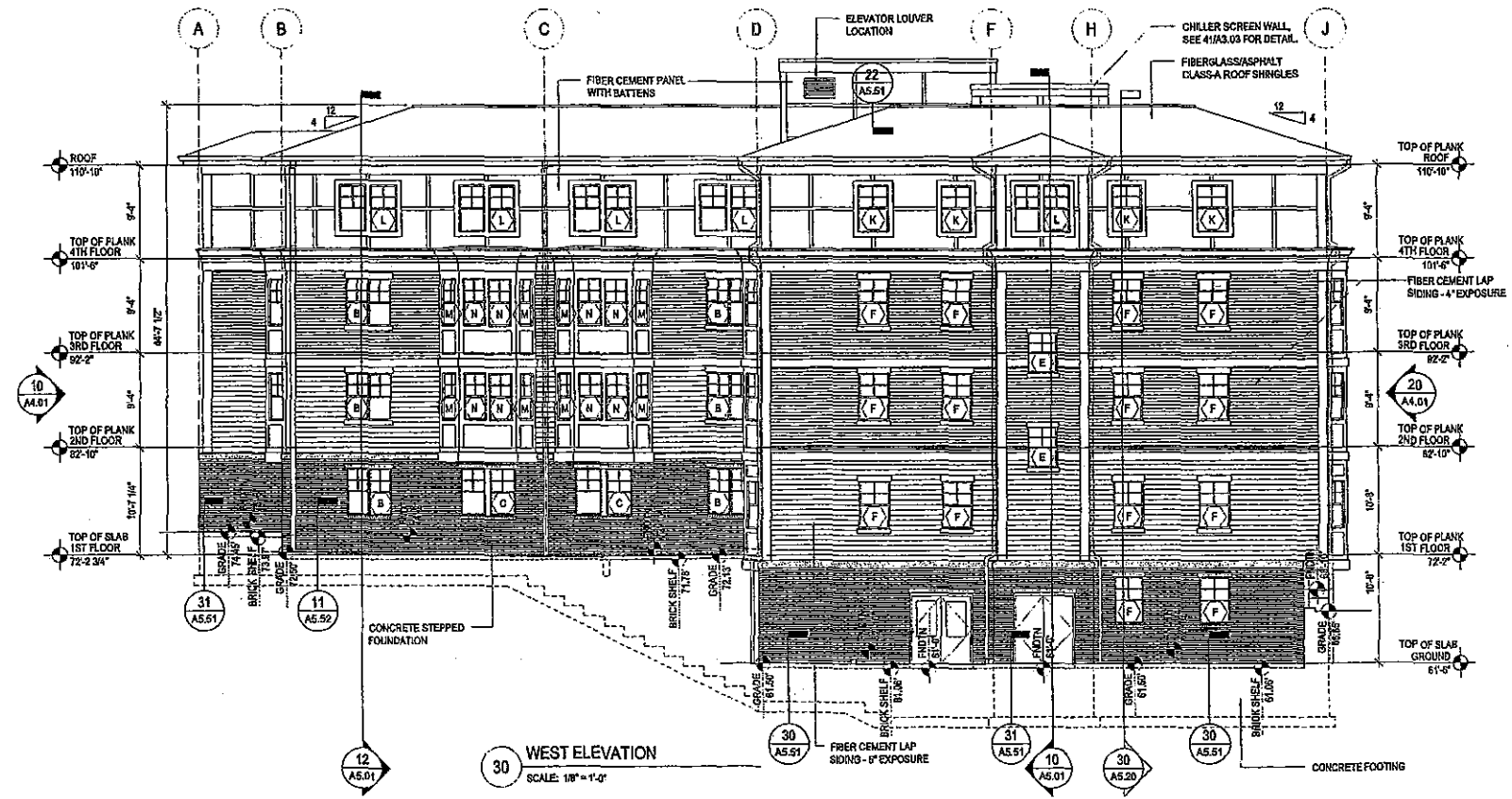
NOTE:

1. REFER TO ROOF PLAN DRAWING A1.05 FOR LEADER AND GUTTER LOCATIONS.
2. WATERPROOF ALL EXTERIOR CONCRETE FOUNDATIONS BELOW GRADE EXCEPT THOSE BELOW SLAB-ON-GRADE LOCATIONS.





40 EAST ELEVATION
SCALE: 1/8" = 1'-0"



30 WEST ELEVATION
SCALE: 1/8" = 1'-0"

- NOTE:
1. REFER TO ROOF PLAN DRAWING A1.05 FOR LEADER AND GUTTER LOCATIONS.
 2. WATERPROOF ALL EXTERIOR CONCRETE FOUNDATIONS BELOW GRADE EXCEPT THOSE BELOW SLAB-ON-GRADE LOCATIONS.

tat |
the architectural team

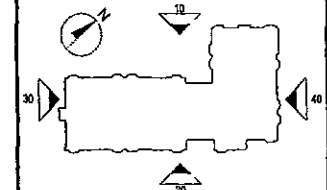
The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Consultant:

Revision:

Architect of Record:

Drawn: PP
Checked: AV
Scale: 1/8" = 1'-0"
Key Plan:



Project Name:
**Hearth At
Olmsted Green**

2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:
ELEVATIONS

Project Number:
06023

Issue Date:
AUGUST 27, 2010

Sheet Number:
A4.02

Consultant:

Revision:

Architect of Record:

Drawn: JP / PP

Checked: AV

Scale: 1/8" = 1'-0"

Key Plan:



Project Name:

**Hearth At
Olmsted Green**

2 KINGBIRD ROAD
Dorchester, MA

Sheet Name:

GROUND FLOOR PLAN

Project Number:

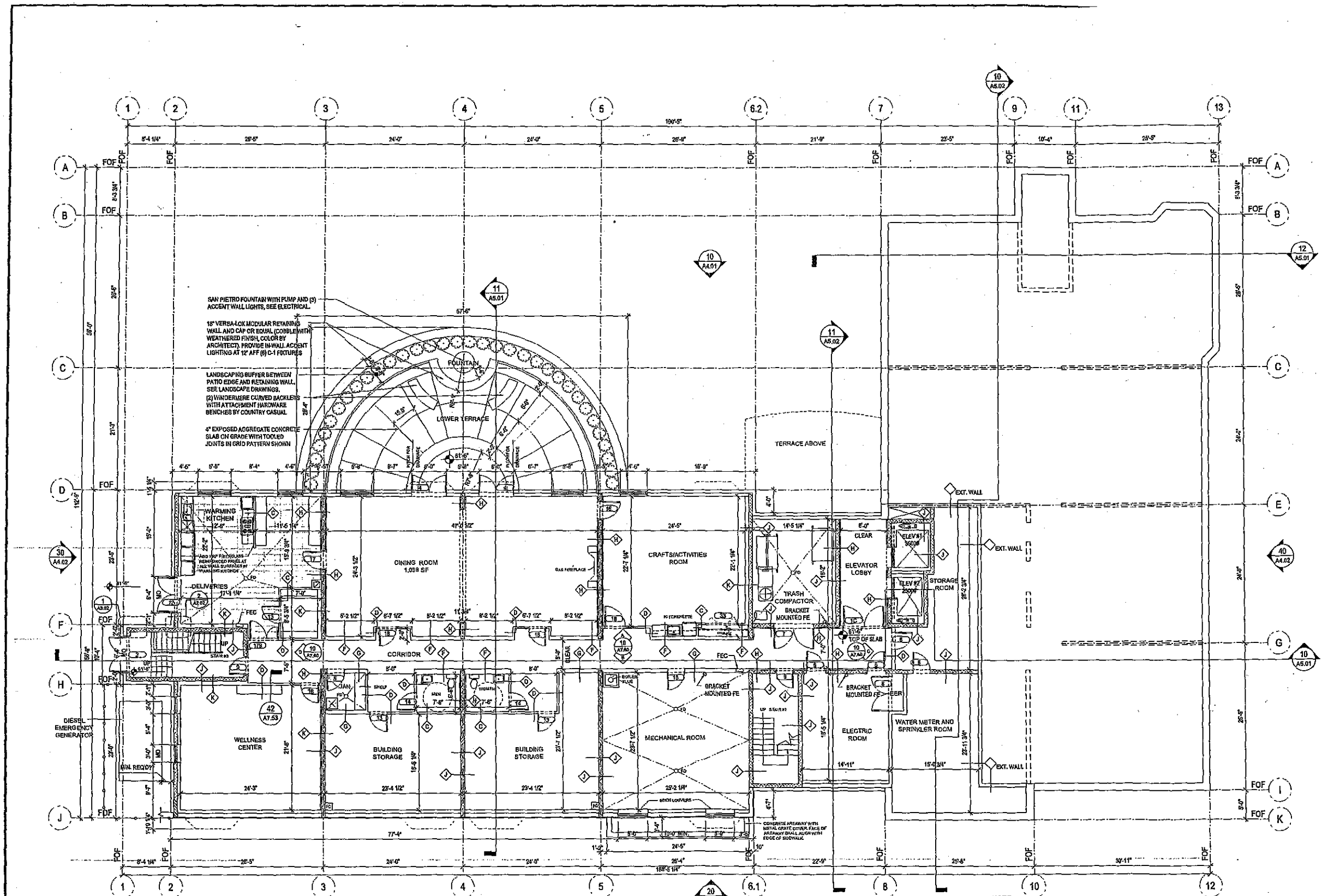
06023

Issue Date:

AUGUST 27, 2010

Sheet Number:

A1.01



10 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:

1. FOF = FACE OF FOUNDATION
2. MO = MASONRY OPENING
3. GRID LINES ARE SHOWN TO FACE OF FOUNDATION (FOF) OR CENTER LINE OF CONCRETE MASONRY UNIT (CMU). SEE ENLARGED WALL DETAILS ON DWG A3.02 FOR CLARIFICATIONS.
4. SEE ENLARGED UNIT PLANS FOR PARTITION TYPES AND DOOR TYPES WITHIN UNITS.
5. HEARING IMPAIRED UNITS TO BE LOCATED AT UNITS 108 & 208.
6. PROVIDE 2 1/2" SOUND INSULATION BATTS ABOVE HUNG CEILINGS AT THE MECHANICAL ROOM, ELEVATOR MACHINE ROOM, TRASH COMPACTOR ROOM, LAUNDRY, DINING ROOM & WARMING KITCHEN.
7. ALL DUCTWORK, PIPING & CONDUIT OUTSIDE OF SHOWN CHASES AND WHICH WOULD BE OTHERWISE EXPOSED TO VIEW SHALL BE CONCEALED WITH GYPBD. THOSE WITHIN MECHANICAL ROOM, MACHINE ROOM, COMPACTOR ROOM & ELECTRICAL ROOM ARE EXEMPT.
8. ALL SHAFTS ARE TO BE 2 HR RATED WITH THE EXCEPTION OF 2 SHAFTS. THE KITCHEN EXHAUST RISER (KE15) AND DRYER EXHAUST RISER (DE1) WILL BE 1 HR RATED. REFER TO MECHANICAL DRAWING M3.00 FOR DETAILS.

First Amendment to the Development Plan for
Planned Development Area No. 67,
Olmsted Green

Boston Redevelopment Authority on behalf of
Lena New Boston, LLC

FIRST AMENDMENT TO THE DEVELOPMENT PLAN
FOR
PLANNED DEVELOPMENT AREA NO. 67
OLMSTED GREEN

The Zoning Commission of the City of Boston, acting under Chapter 665 of the Acts of 1956, as amended, after due report, notice and hearing, does hereby approve the First Amendment to the Development Plan for Planned Development Area No. 67, Olmsted Green, dated November 16, 2010, and approved by the Boston Redevelopment Authority on November 16, 2010.

Said First Amendment amends "Development Plan for Planned Development Area No. 67, Olmsted Green," approved by the Authority on January 26, 2006, and approved by the Zoning Commission on February 15, 2006, effective, February 15, 2006. Planned Development Area No. 67 was designated on "Map 8B, Greater Mattapan Neighborhood District" of the series of maps entitled "Zoning Districts City of Boston" dated August 15, 1962, as amended, by Map Amendment No. 455, adopted by the Zoning Commission on February 15, 2006, effective February 15, 2006.

First Amendment to Development Plan for Planned Development Area No. 67, Olmsted Green

Robert Landen

Chairman

Vice Chairman

John McInnell

Olivia G. Waskik

~~###~~
Wendy Perry

Michael Miller

M. J. Hatton

Paul Hurdley

John G. Braxton

In Zoning Commission

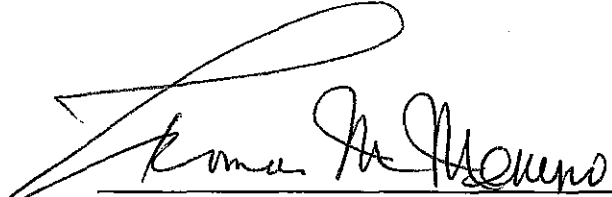
Adopted: November 17, 2010

Attest:

[Signature]

Secretary

First Amendment to the Development Plan for Planned Development Area No. 67,
Olmsted Green

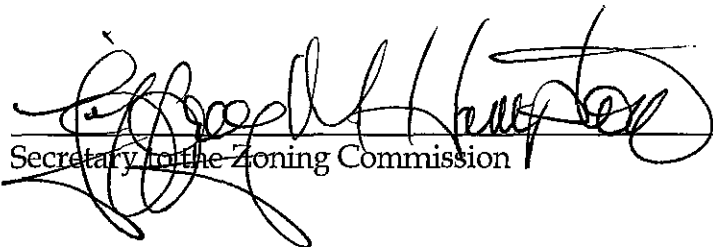


Mayor, City of Boston

Date: 11-19-10

The foregoing First Amendment to the Development Plan, was presented to the Mayor on NOVEMBER 17, 2010, and was signed by him on NOVEMBER 19, 2010 whereupon it became effective on NOVEMBER 19, 2010 in accordance with Section 3 of Chapter 665 of the Acts of 1956, as amended.

Attest:



Secretary to the Zoning Commission