

BRA APPROVAL: 5/15/12
ZC APPROVAL: 6/07/12
EFFECTIVE: 6/07/12

DEVELOPMENT PLAN

For

PLANNED DEVELOPMENT AREA NO. 88

MERCK RESEARCH LABORATORY

33 AVENUE LOUIS PASTEUR

BOSTON, MASSACHUSETTS

DATED: May 15, 2012

Introduction/Background:

On August 30, 2000, the Boston Redevelopment Authority ("BRA") approved an Institutional Master Plan ("IMP") for the Emmanuel College Campus ("Emmanuel 2000 IMP"). The Emmanuel 2000 IMP, as amended, included plans for development of a three-parcel "Endowment Campus", which was envisioned to be developed with uses that would support the development proposed on Emmanuel's Academic Campus. In conjunction with the Emmanuel 2000 IMP, Merck & Co., ("Merck") obtained approvals for an approximately 300,000 square foot research and development building with below grade parking, located on Endowment Campus Parcel B, which it ground leases from Emmanuel. The zoning for this building, which was completed and occupied in 2004, was established pursuant to the Emmanuel 2000 IMP. The Emmanuel 2000 IMP expired in 2010.

In March 2012, Emmanuel filed a new proposed Institutional Master Plan for its Campus, which includes the Endowment Campus and Academic Campus ("Emmanuel 2012 IMP"). The Emmanuel 2012 IMP seeks authorization of certain additional development on the Academic Campus, as well as Parcel A of the Endowment Campus, all as more specifically described therein.

After consultation with the BRA, Emmanuel and Merck have determined that, rather than have the zoning for Parcel B established by an IMP which is subject to expiration, it is more appropriate for Parcel B to be designated as a Planned Development Area ("PDA") pursuant to Article 80C of the Boston Zoning Code ("Code"). Merck does not intend to make any changes to the permitted uses or dimensions of the development on Parcel B. Rather, it is pursuing PDA approval as a technical means of ratifying the zoning for Parcel B, which previously was established through the Emmanuel 2000 IMP.

In addition, Brigham and Women's Hospital ("BWH") now proposes to develop a new 360,000 square foot building for research/wet-laboratory purposes and 355 below-grade

parking spaces on Parcel C of the Endowment Campus. To that end, BWH has filed an amendment to its existing 2010 IMP ("BWH 2010 IMP") to include its plans for Parcel C (the "BWH 2012 Amendment Project"). The BWH 2012 Amendment Project which is being proposed by BWH will be approved by virtue of an IMP Amendment in accordance with Article 80D of the Code and Large Project Review in accordance with Article 80B of the Code.

Development Plan:

Pursuant to Section 3-1A and Article 80C of the Code, this plan constitutes the Planned Development Area Development Plan ("Development Plan") for the already existing Merck Research Laboratory ("MRL") building (the "Project"), located on what has been referred to as Parcel B of the Emmanuel College Endowment Campus (the "Site"). The Site is depicted on the locus map/PDA Overlay Plan attached hereto as Exhibit A; a legal description of the Site is attached hereto as Exhibit B.

As discussed above, the Project previously underwent Large Project Review and IMP Review; Certifications of Compliance and Consistency were issued by the BRA on April 11, 2001. A Building Permit was issued for the Project on April 11, 2002. A Certificate of Occupancy was issued for the Project on June 24, 2004. This Development Plan sets forth information about the Project, including its location and appearance of the structure, open spaces and landscaping, uses, density, traffic circulation, parking and loading facilities, access to public transportation, and dimensions of the structure. Upon approval, this Development Plan will constitute permanent zoning for the Site in accordance with Section 3-1A and Article 80C of the Code. This Development Plan consists of 8 pages of text plus Exhibits designated Exhibit A through Exhibit C. All references to this Development Plan contained herein shall pertain to such pages and exhibits.

Proponent:

Merck, Sharp & Dohme Corp., f/k/a Merck & Co., Inc. ("Merck" or "Proponent"), a New Jersey corporation, is a global research-driven pharmaceutical company that delivers, develops, manufactures, and markets a broad range of human and animal health products, directly and through its joint ventures. Its business address is: One Merck Drive, Whitehouse Station, NJ 08889. The Project located on the Site was developed by Merck.

Site Description:

The Site is an approximately 51,415 square foot parcel of land located off Avenue Louis Pasteur. It is directly adjacent to the Emmanuel College academic campus and the Longwood Medical and Academic Area ("LMA"). The Site is depicted on the locus map/PDA Overlay Plan attached hereto as Exhibit A; a legal description of the Site is attached hereto as Exhibit B.

Location and Appearance of Structure:

The Project as built is comprised of approximately 300,000 square feet of gross floor area and below grade parking on 5 levels for up to 249 cars. The building is 11 stories, 187 feet, with a 30-foot penthouse for mechanical systems necessary for the operation of laboratory facilities within the building. A Building Permit was issued on April 11, 2002 and a Certificate of Occupancy for the Project was issued by the Inspectional Services Department ("ISD") for the City of Boston on June 24, 2004.

The building is shown in greater detail on the building permit plans approved by ISD on April 11, 2002 (the "Final Project Plans"). The Final Project Plans showing the location and appearance of the building are attached hereto as Exhibit C.

Open Spaces and Landscaping

As shown on the Final Project Plans at Exhibit C, the footprint of the Project occupies substantially all of the land area of the Site and therefore does not incorporate significant landscaping or paving.

Uses for the Site and Project

The Project building has a five-level below grade parking facility for up to 249 cars. The first floor contains the entrance lobby and a large auditorium for presentations by visiting researchers and medical practitioners, the garage entrance, and a fully enclosed loading dock. Upper floor uses include research laboratories, offices for researchers and administrative support staff, animal facilities, a computer room, and an employee cafeteria. The penthouse level above the eleventh floor houses equipment, mechanical rooms, cooling towers, and exhaust fans. These are the allowed uses for the Project and the Site.

Dimensions of the Structure/Zoning

As permitted by the BRA in 2001, the Site has an FAR of 6.68, based on the ratio of 300,000 square feet of gross floor area of the Project to the total Site area of approximately 51,415 square feet. This represents a deviation from the underlying dimensional requirements of the Code. In accordance with Article 80, Section 80C, relief from the requirements of the Code in a PDA overlay district may be granted by the approval of the PDA Plan for the Project and the issuance of a Certification of Consistency pursuant to Section 80C-8 by the Director of the BRA.

The Site lies partially within an H-2 zoning district and partially within an H-3 zoning district as established by the Code. Both such districts are characterized in the Code as "Apartment" districts, which allow most types of single- and multi-family dwellings. The proposed uses of the Project are either conditional or forbidden in these districts. The Site also is located within a Restricted Parking Overlay District, pursuant to which parking for non-residential uses is a conditional use. The Site is also in the Groundwater Conservation Overlay District, governed by Article 32 of the Code.

Number of Employees

The MRL has approximately 430 permanent employees. The following job categories are represented:

Laboratory: Senior Investigators; Technical/Professional Staff; Administrative/Clerical

Animal Resources Center: Veterinary Staff; Technicians

Building Operations: Staff

Pedestrian and Vehicular Traffic Circulation

The Project is accessed from Blackfan Street off Avenue Louis Pasteur. Blackfan Street serves as the main entrance to the Project, as well as the entrance/exit point for the parking garage and loading dock.

Pedestrian access to the Project also is available to the Project from Blackfan Street and the Blackfan Extension and through the pedestrian network on the Emmanuel College academic campus, which provides pedestrian connections to The Fenway and Brookline Avenue.

Parking and Loading Facilities

The Project has 249 parking spaces located on five levels of a below grade garage. Ten of the spaces are reserved for use by carpool/vanpool vehicles and ten spaces are reserved as handicapped spaces.

One off-street loading bay is provided within the ground level of the Project.

Proposed Traffic Circulation

All vehicular access to the Project is from Blackfan Street.

Access to Public Transportation

The Site is served by three branches of the MBTA Green Line which connect the Fenway/Longwood area with the Back Bay and downtown Boston, where connections to other subway lines can be made. They operate seven days a week, from 5:30 in the morning until 12:45 in the morning. Service is scheduled to run at least every 10 minutes during most of those hours, although service is less frequent during late evening and early morning hours. The MBTA currently operates ten bus routes that serve the Site. These routes are described below:

- Route 47: Service between Central Station in Cambridge and Andrew Station via the Longwood Medical Area, the South End Medical Area, and Dudley Square (service every 20 minutes during peak periods).
- Route 60: Service between Chestnut Hill and Kenmore Station via Brookline Village, Cypress Street, and Brookline Avenue (service 18 minutes during peak periods and 30 minutes during off-peak periods).
- Route 65: Service between Brighton Center and Kenmore Station via Washington Street, Brookline Village and Brookline Avenue (service every 25 minutes during peak periods and 30 minutes during off-peak periods).
- Route 8: Service between Harbor Point/UMass and Kenmore Station via Dudley Square and South End Medical Area (service every 25 minutes during peak periods and 45 minutes during off-peak periods).
- Route 8A: Service between Dudley Square and Kenmore Station via Ruggles Station and the South End Medical Area (service every 13 minutes during peak periods and 25 minutes during off-peak periods).
- Route 39: Service between Forest Hills Station and Back Bay Station via Huntington Avenue (service approximately every 5 minutes during peak periods).
- Route 66: Service between Dudley Square and Harvard Square via Brigham Circle (service every 10 minutes during peak periods).
- Route 55: Service between downtown Park Street and Queensberry Street via Copley, Arlington, Park Street and Boylston Station (service every 30 minutes during peak periods and 60 minutes during off-peak periods).
- Route CT2: Service between Kendall and Ruggles via Vassar Street/Mass Avenue, Fenway Station, Beth Israel Deaconess Medical Center, Children's Hospital, Huntington/Longwood Avenues (service every 20 minutes during both peak and off-peak periods).
- Route CT3: Service between Beth Israel Deaconess Medical Center and Andrew Station via Children's Hospital, Avenue Louis Pasteur, Ruggles/Huntington, Ruggles Station (service every 20 minutes during both peak and off-peak periods).

In addition to MBTA bus routes, MASCO operates several shuttle routes that provide service to the Project site:

- Fenway Shuttle connects the LMA to the Kenmore lot. The route connects to the Landmark Center and Harvard Vanguard along Brookline Avenue. The shuttle operates on approximately 10-minute headways in the morning peak hours and 8-minute headways during the afternoon/early evening hours.
- Wentworth Shuttle provides access from the LMA to the Wentworth parking lot in the morning and to and from the Ruggles MBTA Station during the evening. The shuttle operates on approximately 6- to 12-minute headways in the morning peak hours and 10-minute headways during the afternoon/early evening hours.
- Ruggles Express Shuttle connects the LMA to the Ruggles MBTA Station which provides access to the Orange Line, as well as multiple bus and commuter rail lines. The Sshuttle runs on 5- to 10-minute headways during the morning peak and 6- to 10-minute headways during the evening peak.
- Crosstown Shuttle connects the Crosstown Parking facility to the LMA. The morning peak period shuttle runs on 7- to 12-minute headways, while the evening peak period operates on 10- to 12-minute headways.
- M6 Chestnut Hill connects Hammond Pond Park to the LMA while operating on 10-to 15-minute headways during both the morning and evening peak hours.
- M2 Cambridge-Harvard Shuttle connects Harvard and MIT in Cambridge to the LMA. The shuttle operates from 6:40 a.m. to 11:30 p.m. on 10- to 15-minute headways during peak times.

Public Benefits

Since its approval in 2001, the Project has provided a number of public benefits to the City of Boston and the surrounding neighborhood, as described below. Overall, the Project has made mitigation and linkage payments totaling \$2,452,363.

- a. Linkage: The Project has made a \$250,900 jobs payment as a Jobs Contribution Grant, and a \$1,801,463 housing payment as a Housing Contribution Grant.
- b. Parks Improvement: The Project has made a \$96,000 payment to the City of Boston Parks and Recreation Commission for application to the restoration and enhancement of the portion of the Back Bay Fens located across The Fenway from the Emmanuel College campus.
- c. Fenway Studios: The Project has made a \$64,000 payment to the Fenway Studios, an artists' loft community located in the Fenway neighborhood.

- d. **Other Mitigation/Community Benefits:** The Project has made the following payments to the BRA for disbursement as set forth below:
- a. \$60,000 for improvements to the Audubon Circle Area, including without limitation, sidewalk improvement, landscaping, street furniture, and upgraded street lighting.
 - b. \$45,000 as an unrestricted gift to the Fenway Community Health Center.
 - c. \$40,000 to the Friends of Rambler Park, Inc., a not-for-profit corporation, for application to the establishment of a new park to be located on Peterborough Street in the Fenway neighborhood.
 - d. \$5,000 to Little League Baseball Incorporated, a not-for-profit corporation which sponsors baseball for the City's youth.
 - e. \$25,000 to the Robert McBride house, a not-for-profit organization which provides housing for persons with HIV and AIDS.
 - f. \$40,000 to the City of Boston School Committee for application to the Boston Arts Academy.
 - g. \$25,000 to the Emerald Necklace Conservancy, a not-for-profit organization dedicated to the preservation of Boston's Emerald Necklace park system.
- e. **Real Estate Taxes:** Merck pays approximately \$1,309,000.00 in real estate taxes on the MRL building annually.
- f. **Employment:** The Project currently employs approximately 430 permanent employees.
- g. **Construction and Maintenance of Blackfan Extension:** Merck spent close to \$3,000,000 on the construction of Blackfan Extension and annual contributes 50% of the costs of its operation and maintenance.
- h. **Maintenance and Furtherance of Boston's Position of Leadership Among the Educational and Medical Centers of the World.**
- i. **Community Involvement:** Since the opening of the MRL building in 2004, Merck has been an active participant within both the LMA community and the City of Boston. It regularly sponsors and/or participates in a number of youth science education events, including partnering with Citizen Schools to create a science-oriented after school program for at-risk middle school students; judging science fairs; mentoring local high school students; and participating in Museum of Science events for

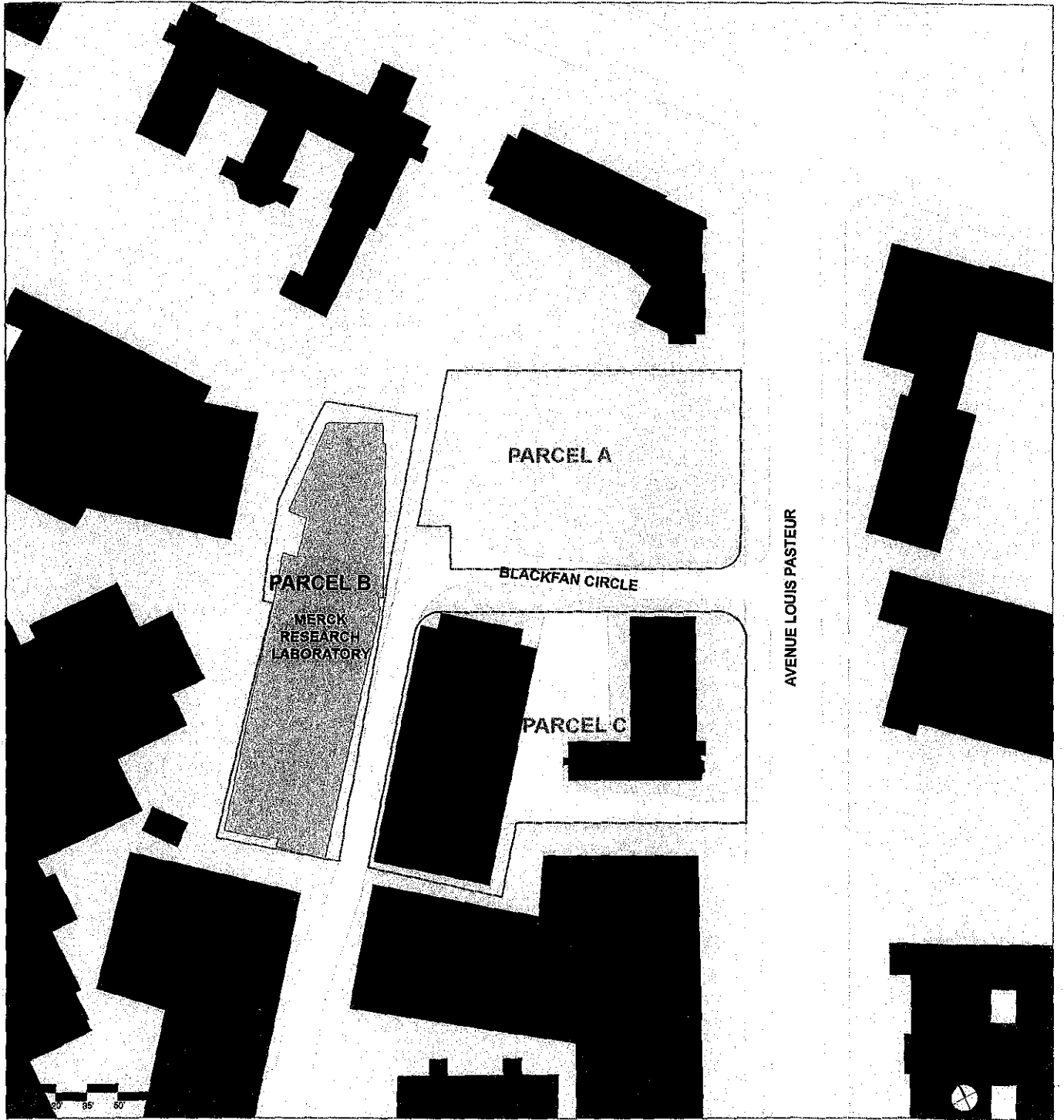
National Chemistry Week. Overall, members of the MRL's Volunteer Committee dedicate approximately 400 hours each year to scientific outreach and local community programs. Merck also actively recruits interns and co-ops from both Emmanuel College, Northeastern University, and other colleges in the Boston area to work at the MRL, and fosters scientific exchange between MRL staff and staff and students at Emmanuel through lunches, symposia, and lectures by Merck scientists about drug discovery. The MRL also routinely allows local organizations and institutions, including the Healthcare Businesswomen's Association, MassBio, Harvard Medical School and Emmanuel College, to hold meetings and symposia in the building's atrium and auditorium.

Development Schedule

Because the Project is already fully constructed and occupied pursuant to approvals received in 2001, no further development review is required. Contemporaneously with approval of this Development Plan, Merck intends to seek from the BRA Board authorization for the BRA Director to issue a Certificate of Consistency evidencing the Project's compliance with the terms of this Development Plan.

Exhibit A

Site Plan



PARCEL A

PARCEL B

MERCK
RESEARCH
LABORATORY

BLACKFAN CIRCLE

PARCEL C

AVENUE LOUIS PASTEUR

20 55 80

Exhibit B

Legal Description of the Site/PDA Overlay District

A certain parcel of land located on the west side of Fenway and north of Avenue Louis Pasteur in the City of Boston, in the County of Suffolk and the Commonwealth of Massachusetts bounded and described as follows:

Beginning at a point at the northerly sideline of a private way known as Blackfan Street, said point being N 50°26'15" W and a distance Twenty Nine and Fifty-six Hundredths feet (29.56') from southwesterly corner of land now or formerly Beth Israel Deaconess Medical Center, Inc.; thence

N 50°26'15" W a distance of One Hundred Twenty Three and Sixteen Hundredths feet (123.16') to a point; thence

N 41°11'34" E a distance of Two Hundred Forty Two and Sixteen Hundredths feet (242.16') to a point; thence

N 53°12'54" W a distance of Ten and Nine Hundredths feet (10.09') to a point; thence

N 38°03'20" E a distance of Ninety Seven and Five Hundredths feet (97.05') to a point; thence

N 52°04'03" E a distance of One Hundred Ten and Forty Five Hundredths feet (110.45') to a point; thence

S 51°56'40" E a distance of Ninety Three and Twenty One Hundredths feet (93.21') to a point; thence

S 38°03'20" W a distance of Four Hundred Forty Nine and Two Hundredths feet (449.02') to the point of beginning.

The above described parcel contains 51,403 square feet or 1.180 acres more or less in the City of Boston, MA

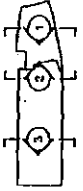
Exhibit C

Final Project Plans

A0931474.DOCX;4

Kling Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 TEL: 617-552-3300

A-30002



DATE: 10/15/88

DATE IN CHARGE: [Signature]

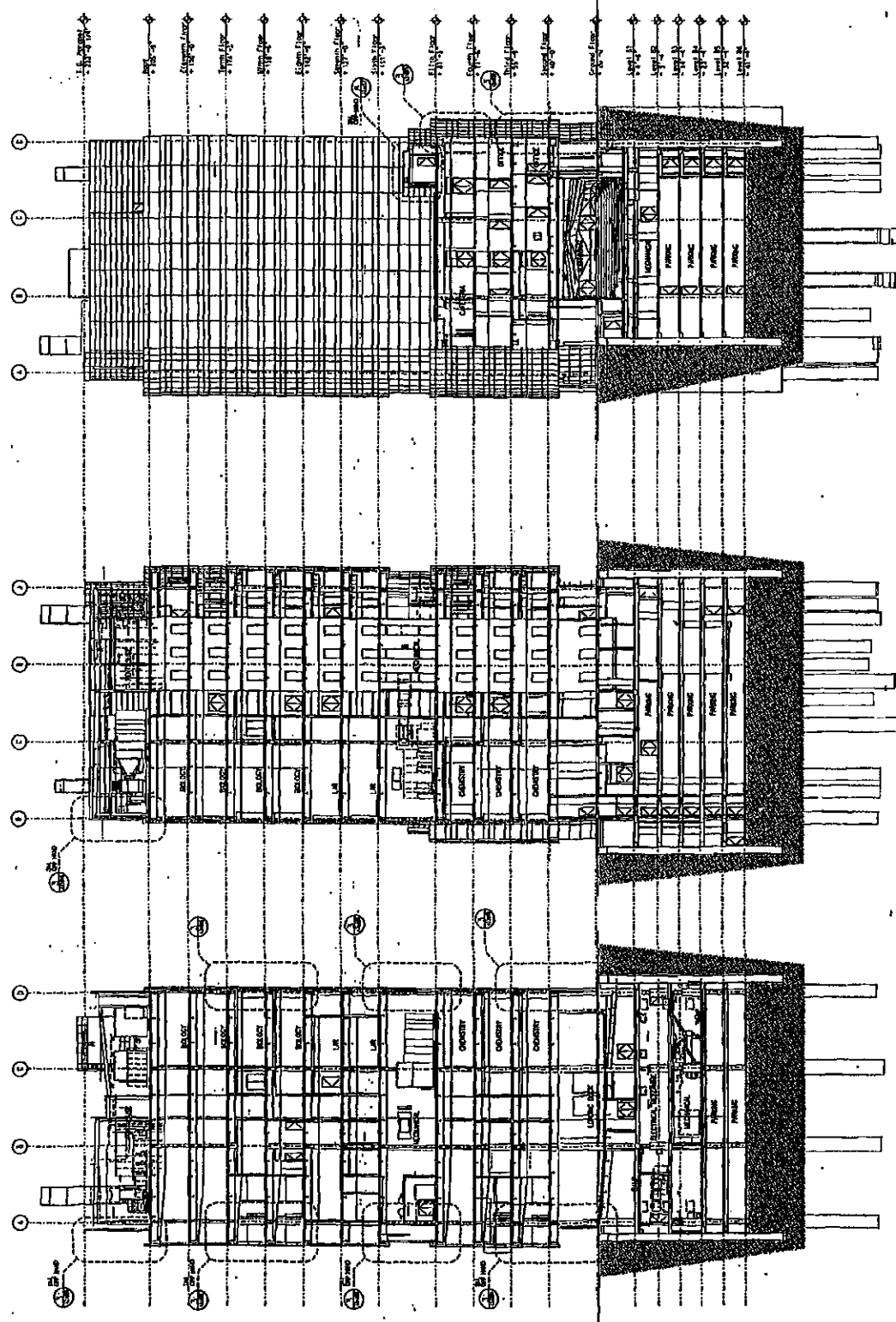


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MERCK
 1460 MASSACHUSETTS AVENUE
 BOSTON, MASSACHUSETTS 02115
 TEL: 617-552-3300

Boston Research Center
 BUILDING CROSS SECTIONS

E-A30002-03



CROSS SECTION
 SCALE: 1/4" = 1'-0"

CROSS SECTION
 SCALE: 1/4" = 1'-0"

CROSS SECTION
 SCALE: 1/4" = 1'-0"

King Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 PHONE 552-4500

Project: **A-30101**



NOTES

1/23/78
 1/23/78



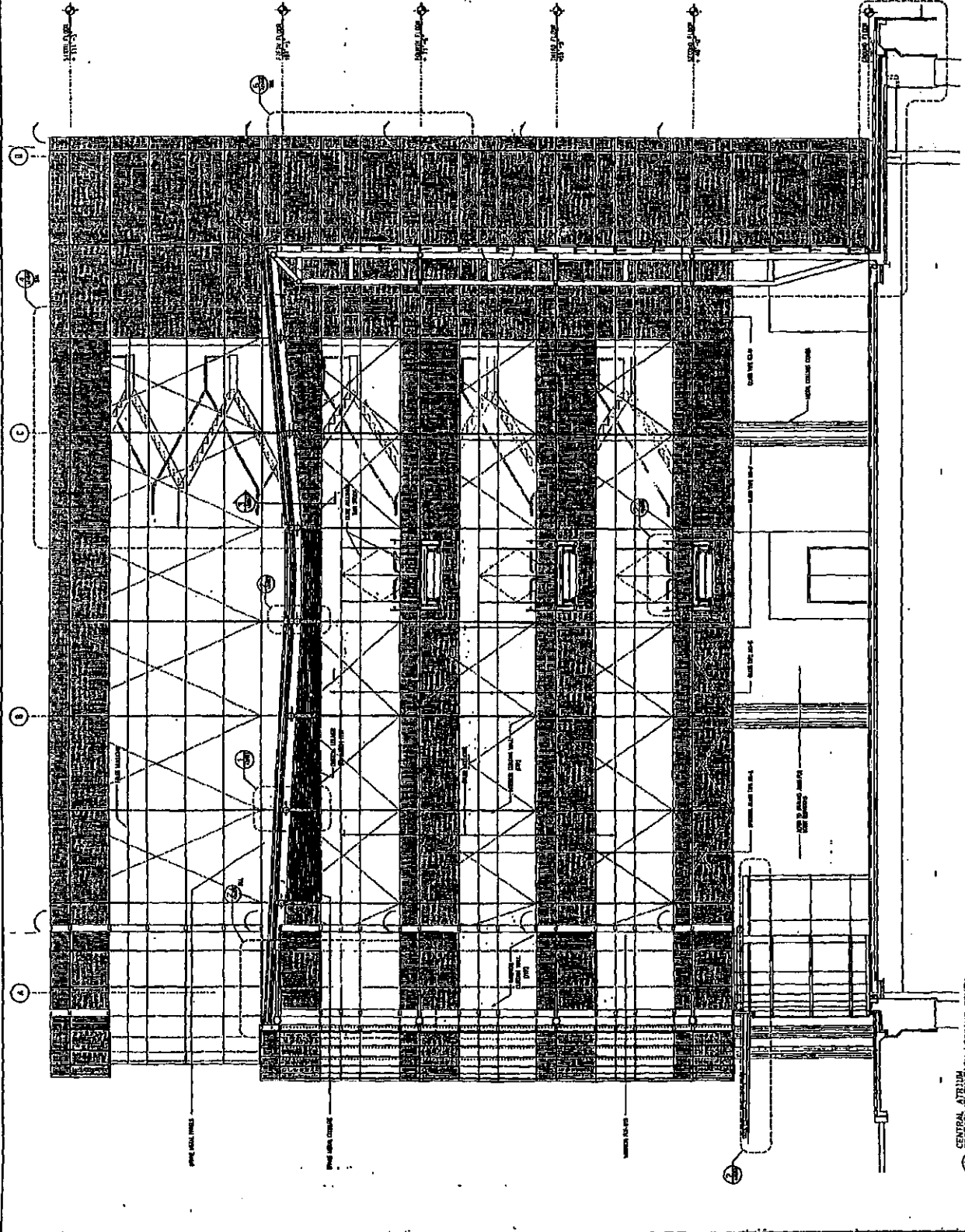
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20	1/23/78	ISSUED FOR PERMIT	KL

MERCK

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 BOSTON, MASSACHUSETTS 02109
 PHONE 552-4500

Boston Research Center
 SECTION/ELEVATION-CENTRAL ATRIUM
 EAST - WEST

Project: **E-A30101-01**



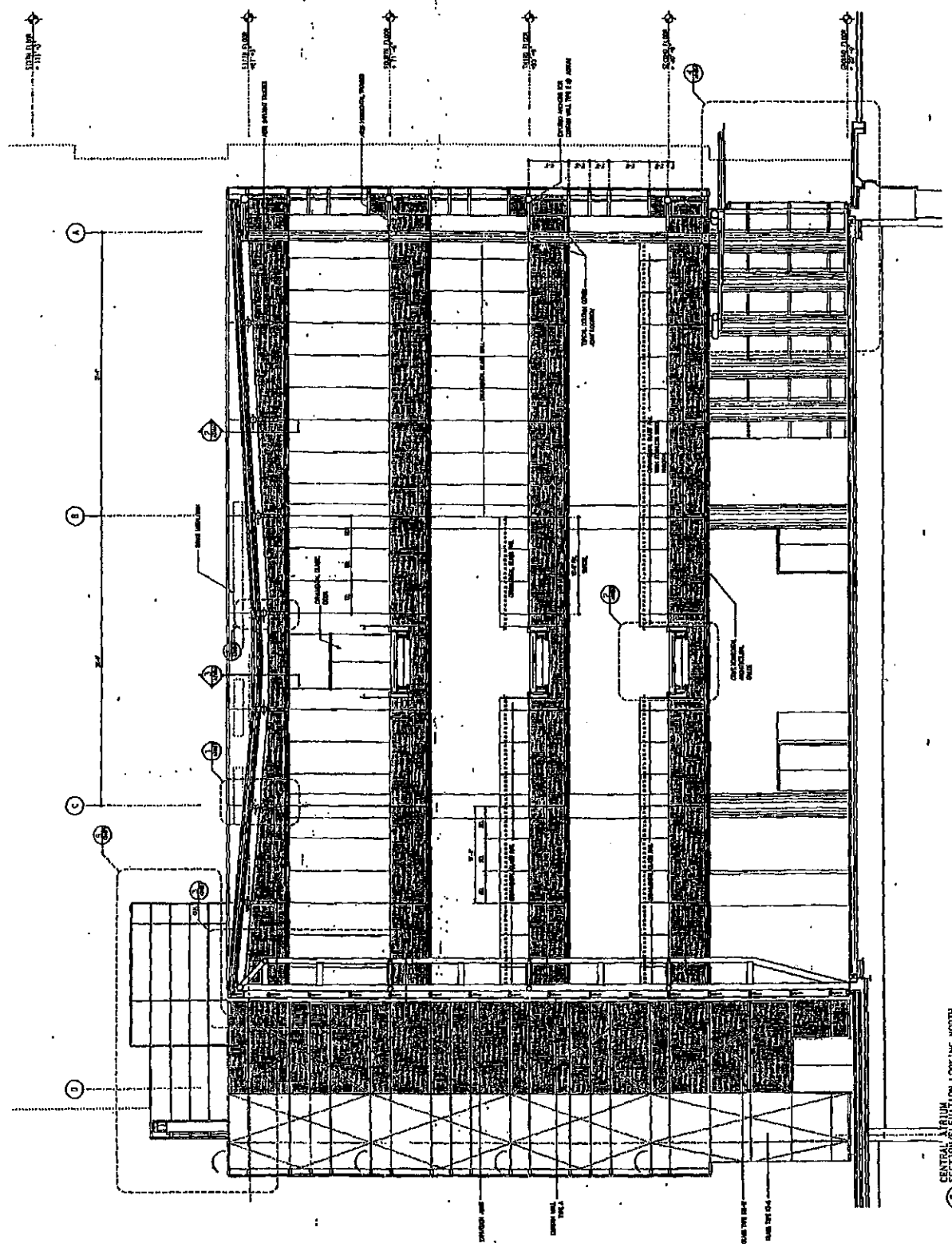
CENTRAL ATRIUM
 SECTION/ELEVATION, LOOKING SOUTH
 SCALE: 1/4" = 1'-0"

Kling Lindquist

A-30102



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 Boston Research Center
 SEMI-ELEVATION - CENTRAL ATRIUM
 EAST - WEST
 E-A30102-01



CENTRAL ATRIUM
 SECTION ELEVATION LOOKING NORTH

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BOSTON, MASSACHUSETTS 02109

A-30103



DATE: 11.14.97

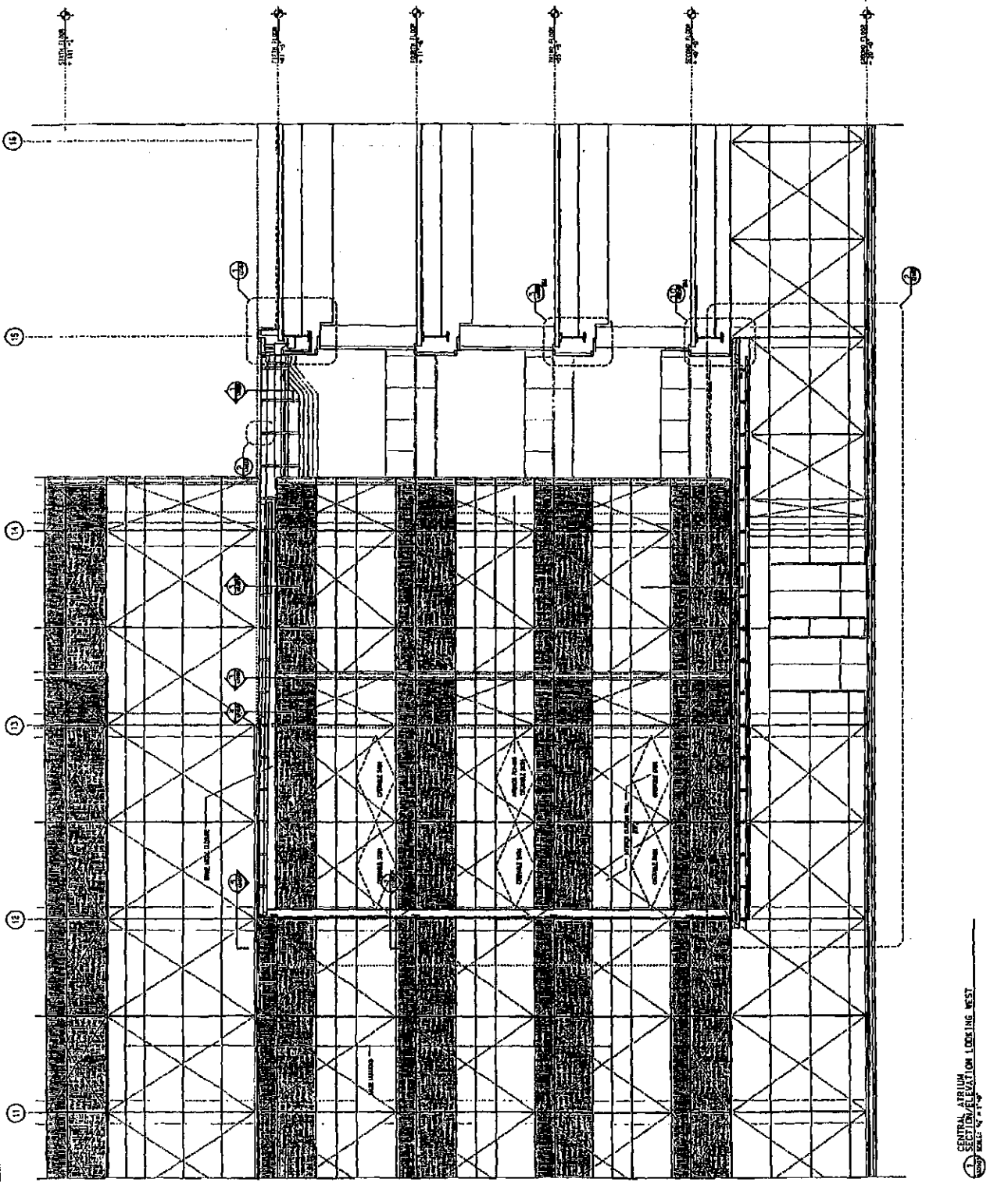
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MERCK
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WWW.MERCK.COM

Boston Research Center
 SECTION: **CENTRAL ATRIUM**

E-A30103-01

DATE: 11.14.97



CENTRAL ATRIUM
 SECTION: **CENTRAL ATRIUM**
 DATE: 11.14.97

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A-30106



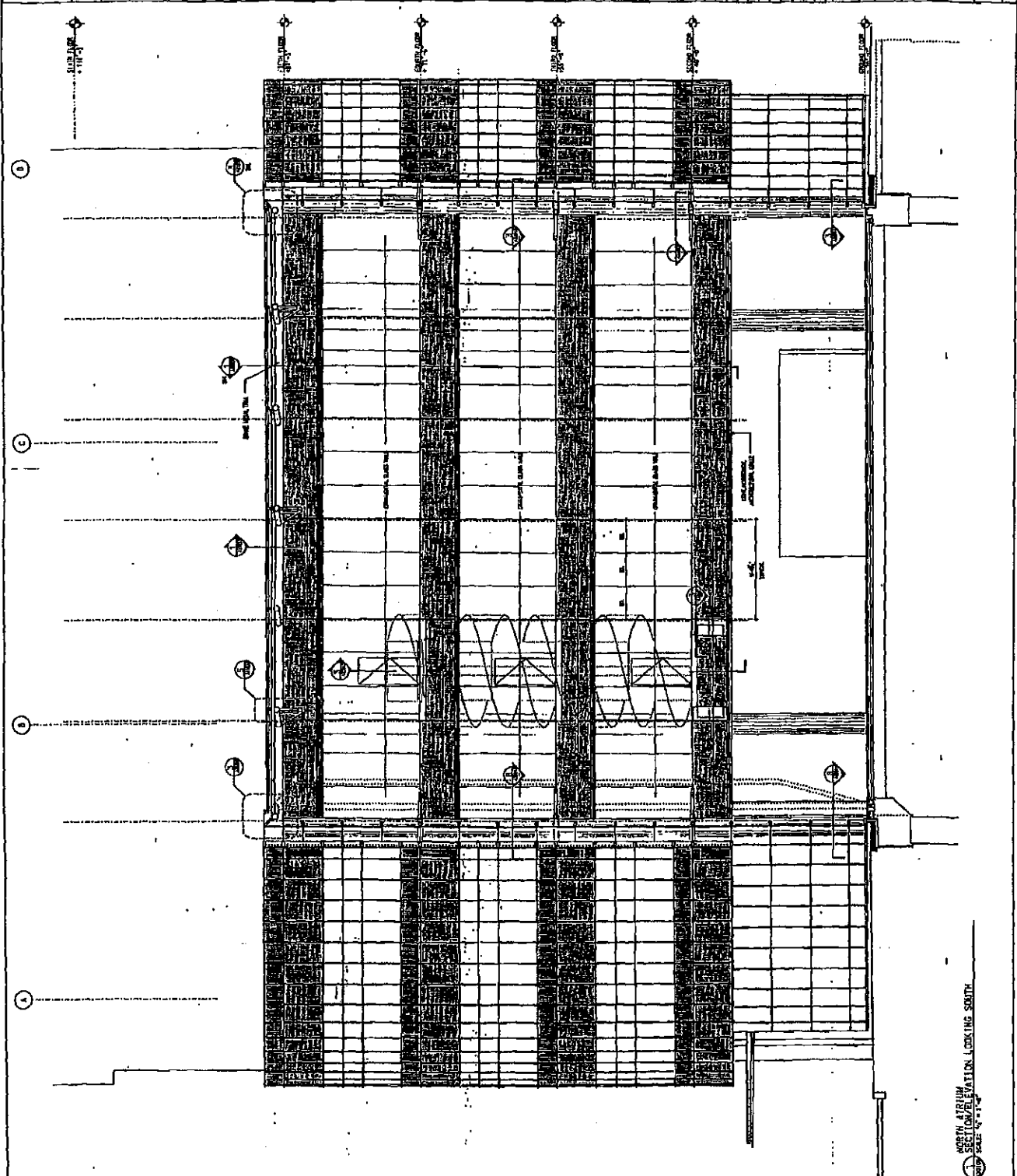
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MERCK

Boston Research Center
BOSTON RESEARCH CENTER
EAST - WEST

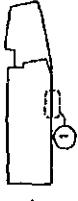
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NORTH ARROW
SECTION ORIENTATION LOOKING SOUTH
SCALE 1/8" = 1'-0"

Kling Lindquist

A-31001



DATE: 12/15/88

SCALE: 1/8" = 1'-0"

PROJECT: BOSTON RESEARCH CENTER

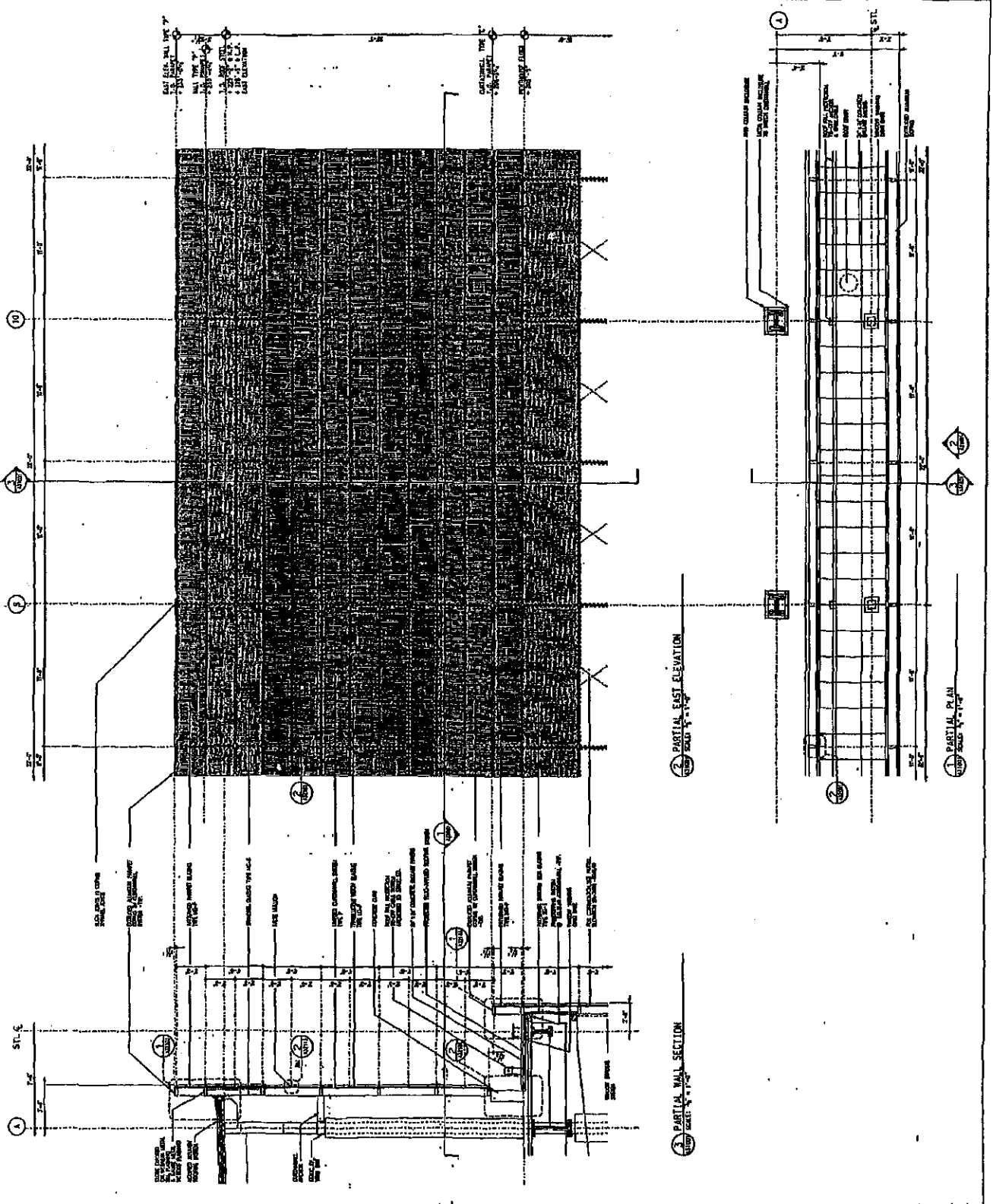


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3	ISSUE FOR OCCUPANCY	02/15/89
4	ISSUE FOR AS-BUILT	03/15/89

MERCK

Boston Research Center
 INITIAL PLACEMENT/WALL SECTION
 TYPICAL CONCRETE WALL SECTION

PROJECT: BOSTON RESEARCH CENTER
 ARCHITECT: KLING LINDQUIST
 DATE: 12/15/88



1. PARTIAL WALL SECTION
 SECTION 1-1

CONCRETE WALL WITH REINFORCEMENT
 REINFORCEMENT BARS
 CORE REINFORCEMENT
 CONCRETE CORE
 CONCRETE SLAB
 CONCRETE FLOOR
 CONCRETE CEILING
 CONCRETE CURB

2. PARTIAL EAST ELEVATION
 ELEVATION 2-2

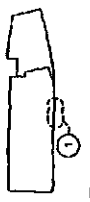
CONCRETE WALL
 WINDOW OPENING
 CONCRETE CURB

3. PARTIAL PLAN
 PLAN 3-3

CONCRETE WALL
 WINDOW OPENING
 CONCRETE CURB

Kling Lindquist

A-31002



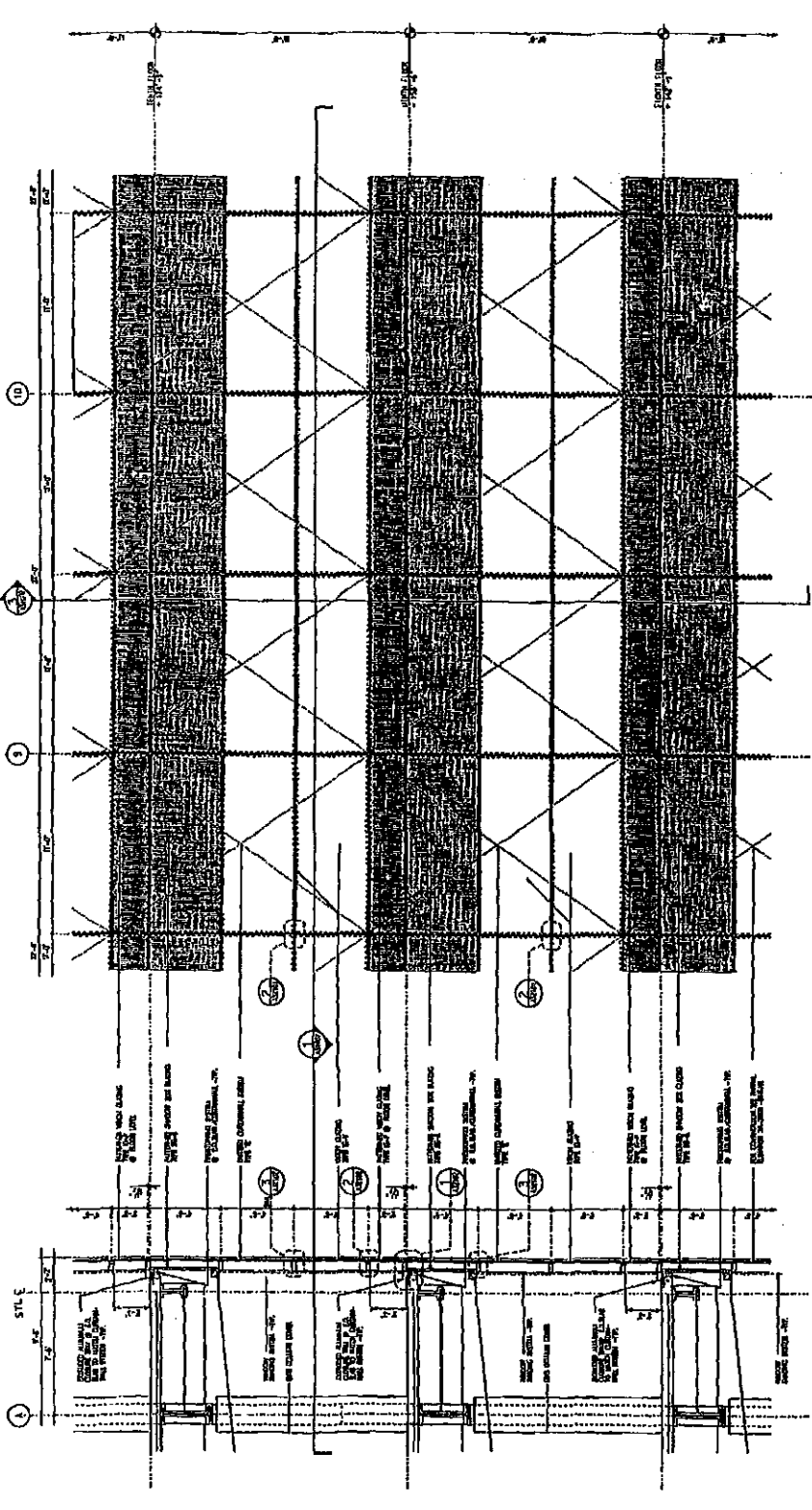
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20	10/1/88	ISSUED FOR PERMITS

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Prepared by: [Name]
 Checked by: [Name]
 Date: 10/1/88

Boston Research Center
 PARTIAL WALL SECTION
 TYPICAL CURTAIN WALL SECTION

E-A31002-01



PARTIAL ELEVATION TYPICAL EAST WALL

PARTIAL WALL SECTION

PARTIAL PLAN

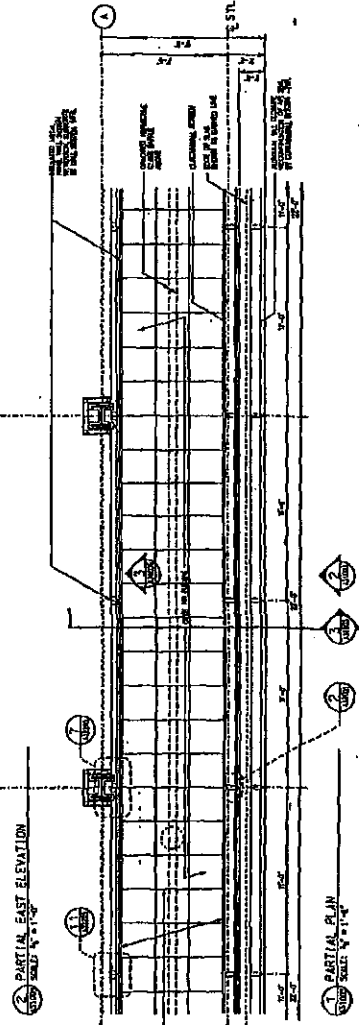
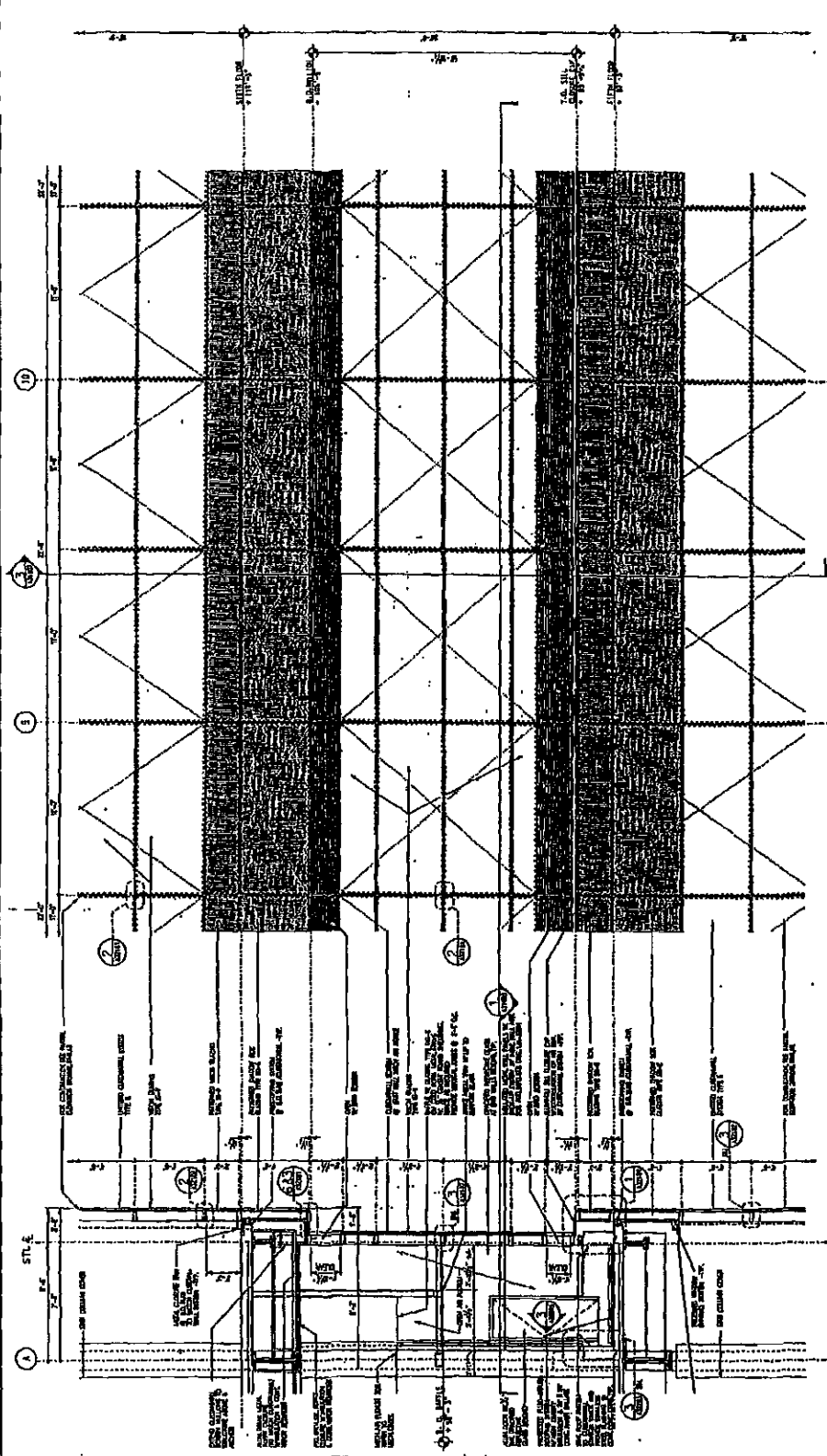
PARTIAL PLAN

King Lindquist
ARCHITECTS

A-31003



Merck
Boston Research Center
PARTIAL PLUMBING/WALL SECTION
TYPE CONCRETE TYPE I AT SIX FT. HEIGHT
E-A31003-01



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10		REVISED PER COMMENTS



Boston Research Center

E-A31003-01

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BOSTON, MASSACHUSETTS 02109

PROJECT A-31004



DATE: 10/11/01

Handwritten initials/signature

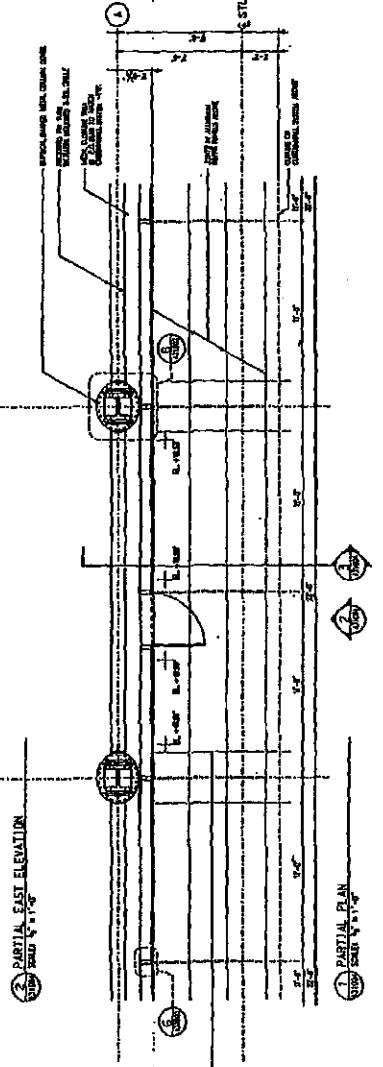
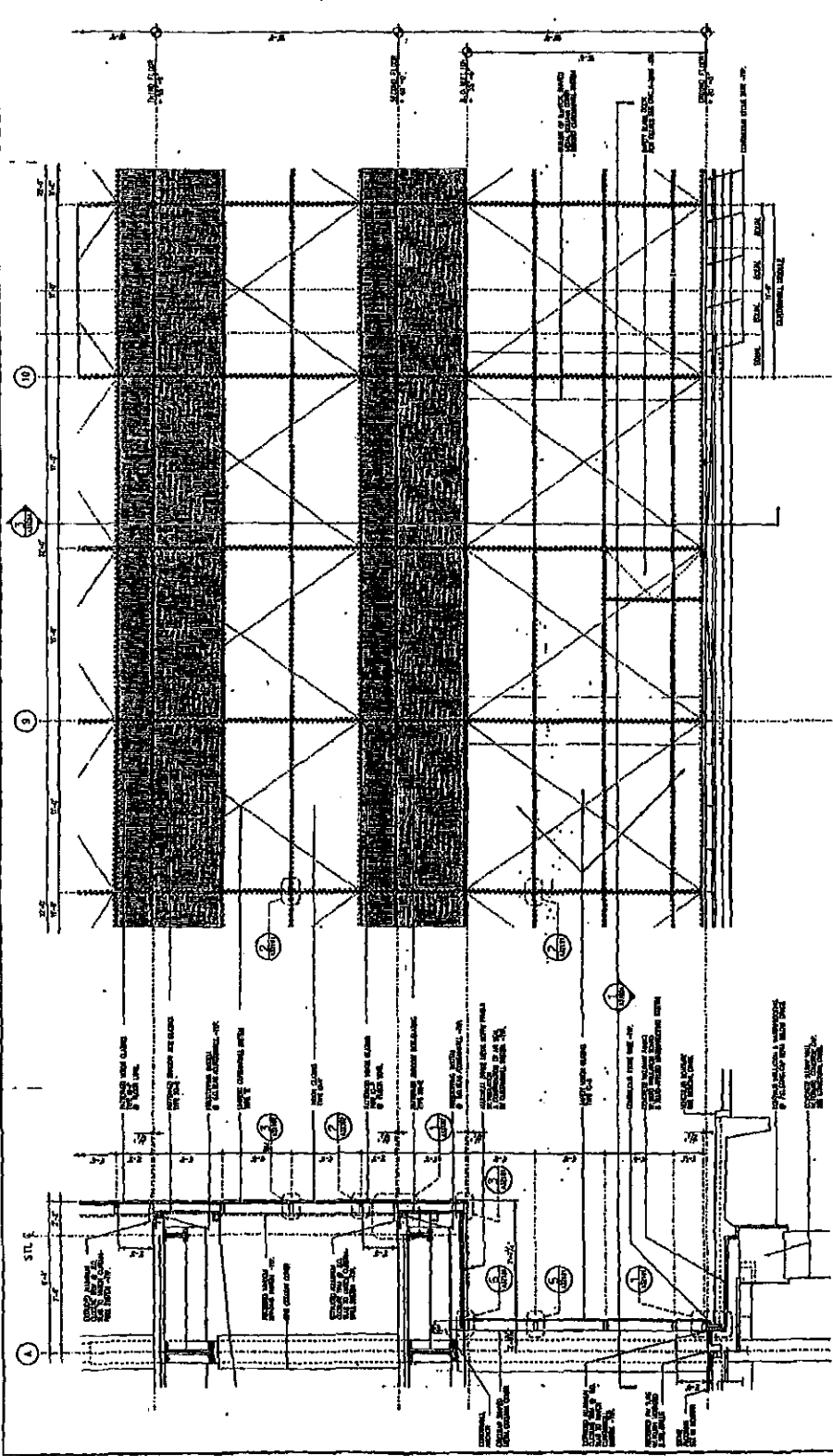
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18	REVISED	10/11/01
19	REVISED	10/11/01
20	REVISED	10/11/01

DESIGNED BY: J. J. LINDQUIST, ARCHITECT
DRAWN BY: MERCK
CHECKED BY: MERCK
DATE: 10/11/01

MERCK

Boston Research Center
PARTIAL FOUNDATION WALL SECTION
CITY: BOSTON, MASSACHUSETTS

E-A31004-01



1 PARTIAL PLAN
SCALE 1/4" = 1'-0"

2 PARTIAL EAST ELEVATION
SCALE 1/4" = 1'-0"

3 PARTIAL WALL SECTION
SCALE 1/4" = 1'-0"

KIND Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 TEL: 617-552-1234

A-31005



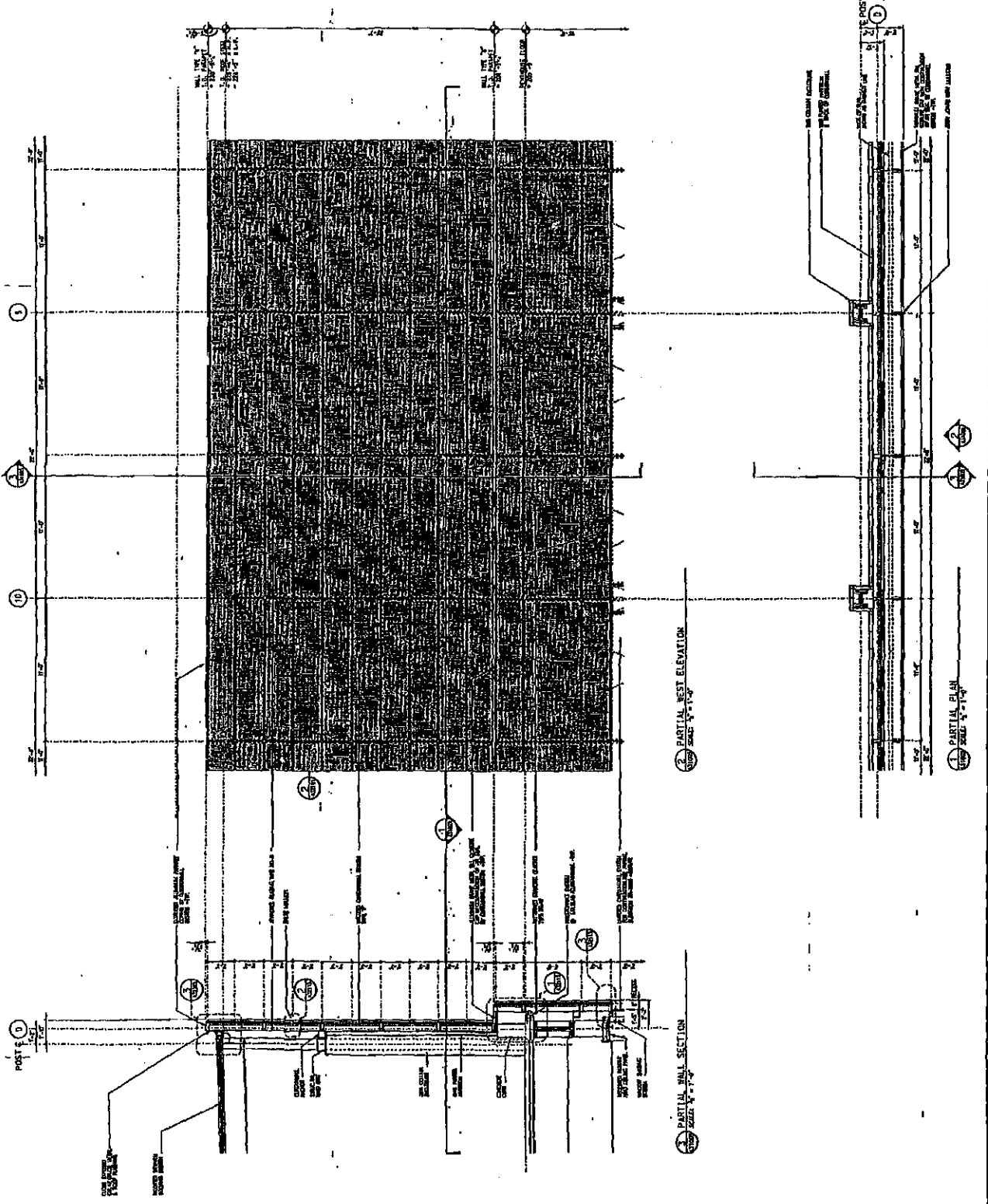
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MERCK
 1460 BOSTON AVENUE
 BOSTON, MASSACHUSETTS 02118
 TEL: 617-552-1234

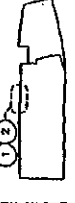
Boston Research Center
 PARTIAL FAN/STAIRWELL SECTION
 TYPICAL CANTILEVER TYPE 1st FLOOR ELEVATION

E-A31005-01



Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

PROJECT NO. **A-31006**



SCALE

DATE: 10/18/84
BY: [Signature]

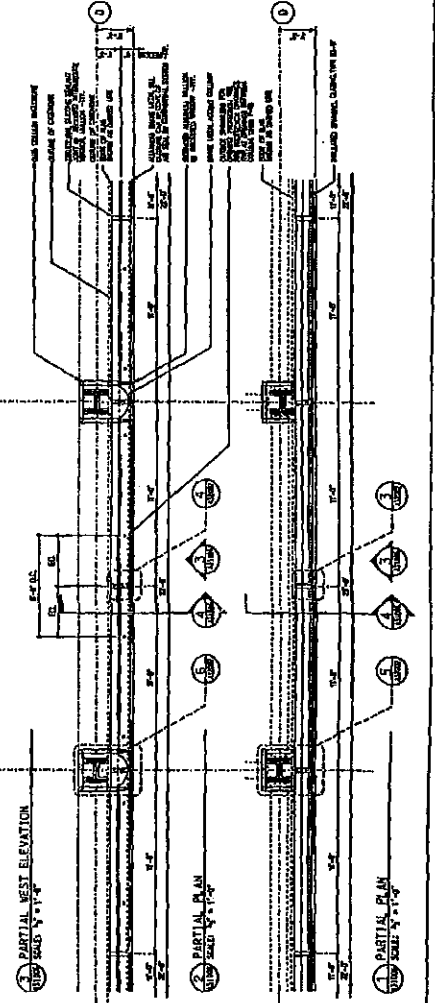
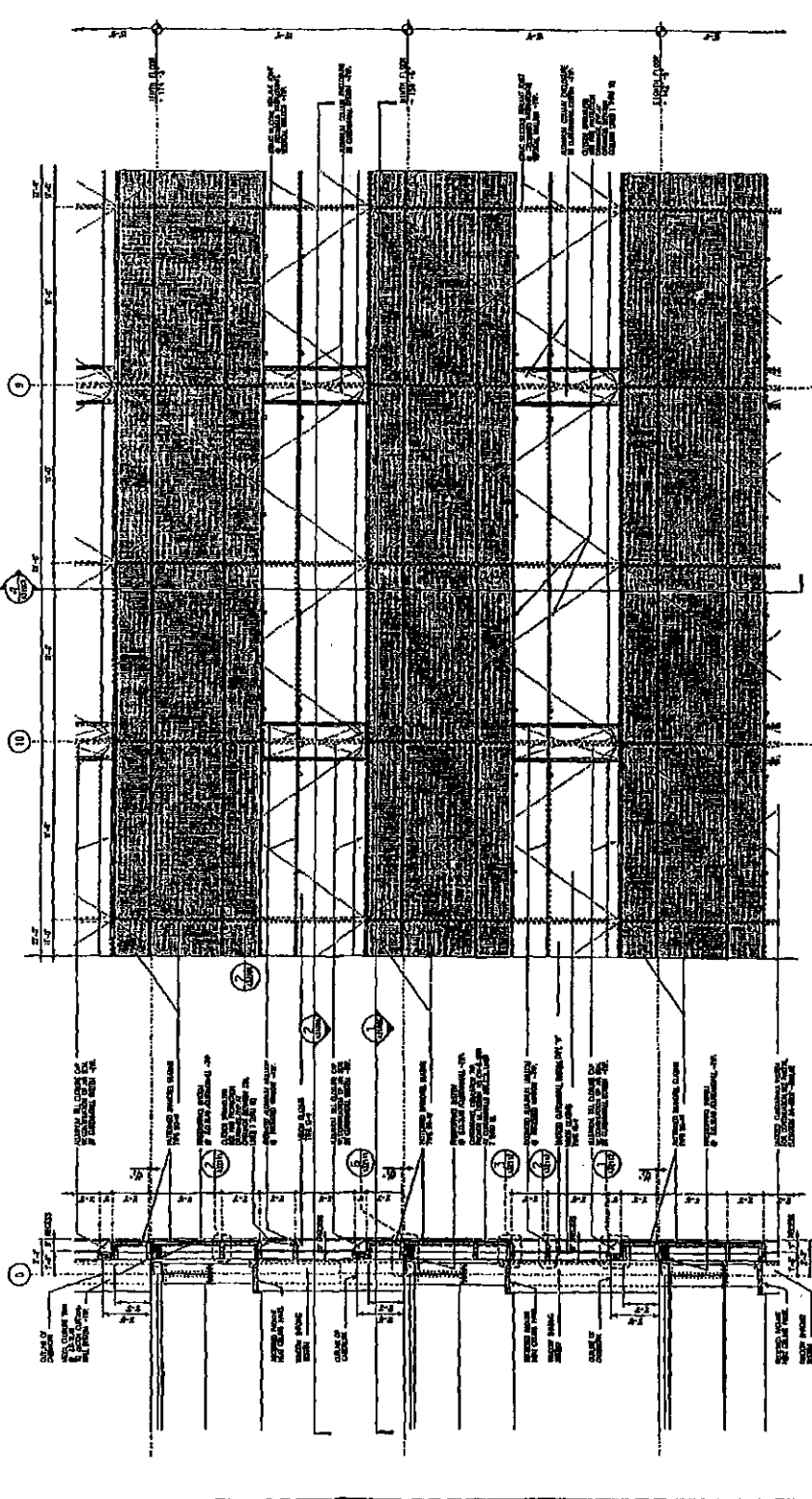


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100	REVISED	1/15/93



Boston Research Center
PARTIAL ELEVATION/WALL SECTION
TYPICAL CURB/WALL TYPE "B"

PROJECT NO. **E-A31006-01**



DATE: 10/18/84
BY: [Signature]

Kling Lindquist

A-31007



NOTES

DATE: 11/10/00
BY: [Signature]



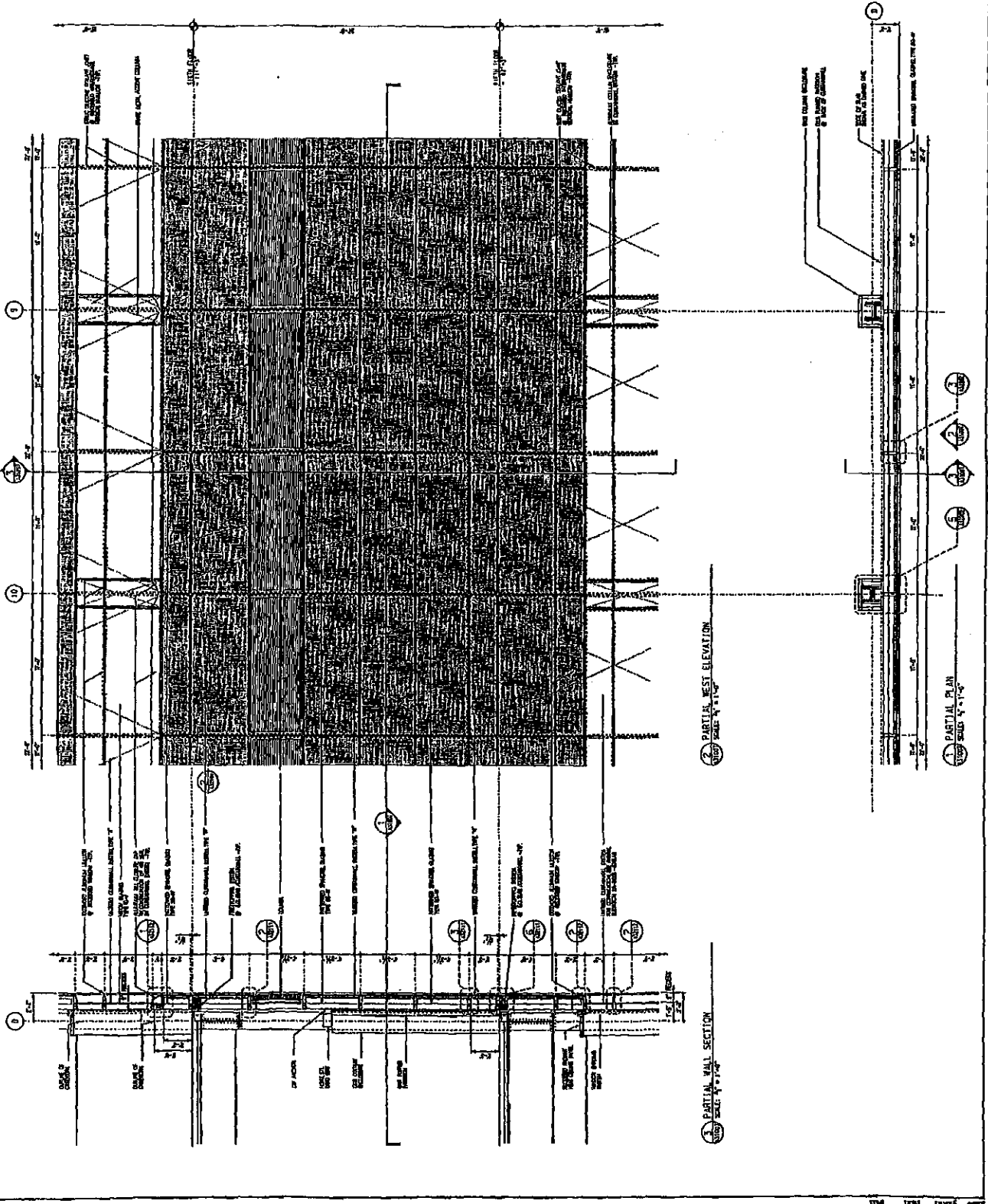
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8	11/10/00	REVISIONS
9	11/10/00	REVISIONS
10	11/10/00	REVISIONS



Merck & Co., Inc.
1000 Massachusetts Avenue
Boston, MA 02115

Boston Research Center
PARTIAL PLANE/WALL SECTION
CORONAL TYPE "W" @ 8TH FLOOR

E-A31007-01



Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

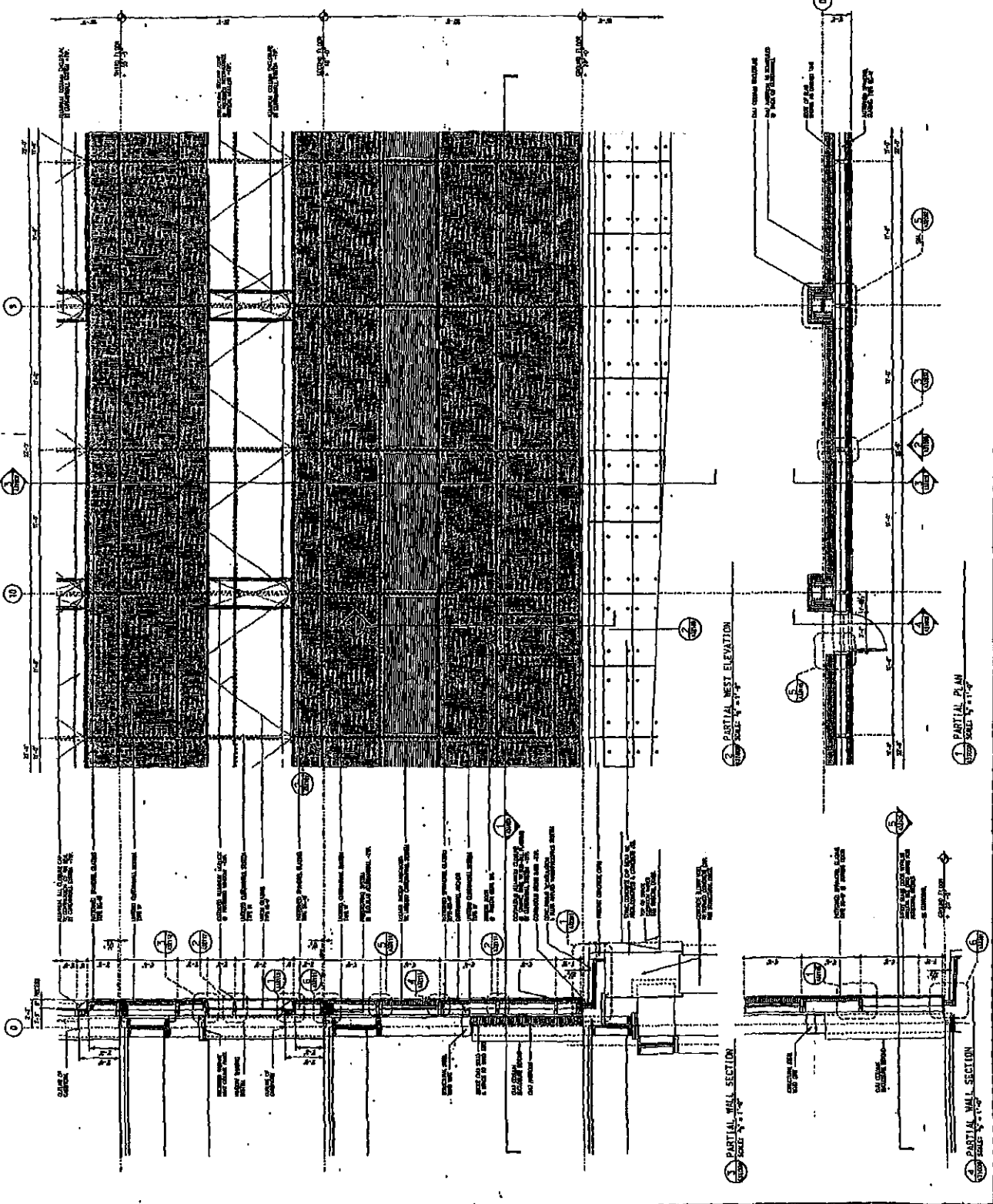
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MERCK
200 STATE STREET, BOSTON, MASSACHUSETTS 02109
ARCHITECT
BOSTON-ROSEARCH CENTER
PARTIAL FOUNDATION WALL SECTION
TYP. CURTAIN WALL TYPE W AT ORIGIN N.
SCALE: 1/4" = 1'-0"
E-A31008-01



Kling Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109

A-31009

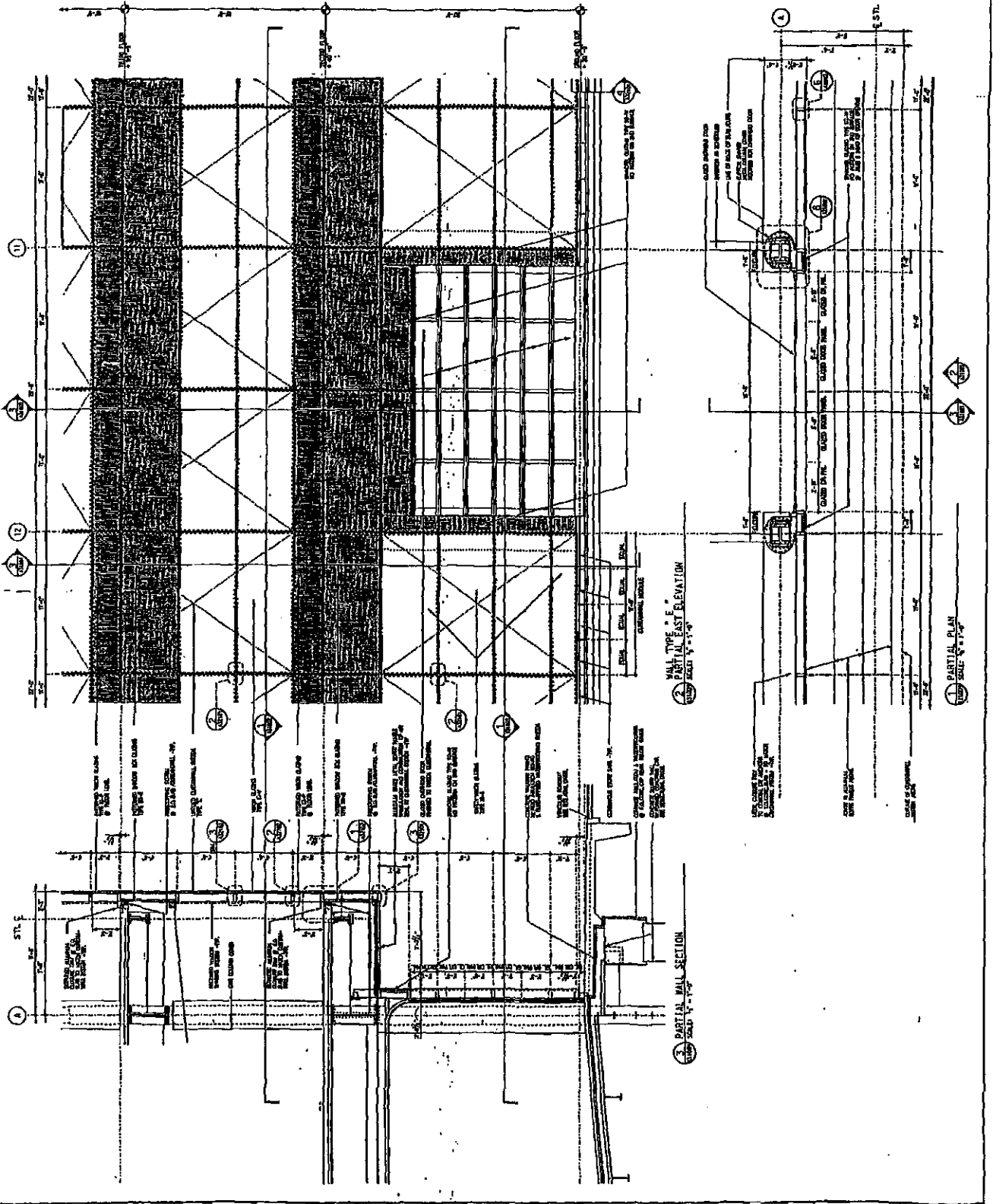


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Boston Research Center
 PARTIAL FIVE-ELEVATION WALL SECTION
 PART ELEVATION LOADING DOCK BUILT
 1974
E-A31009-01



King Lindquist

ARCHITECT

A-31010

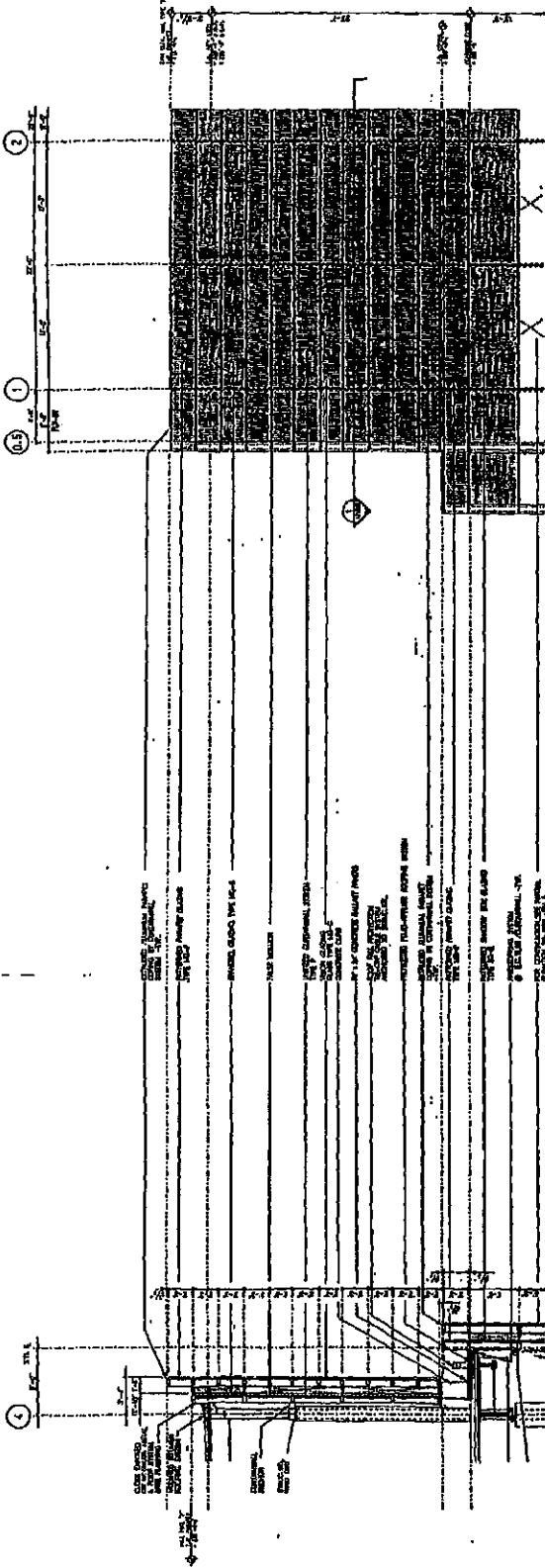


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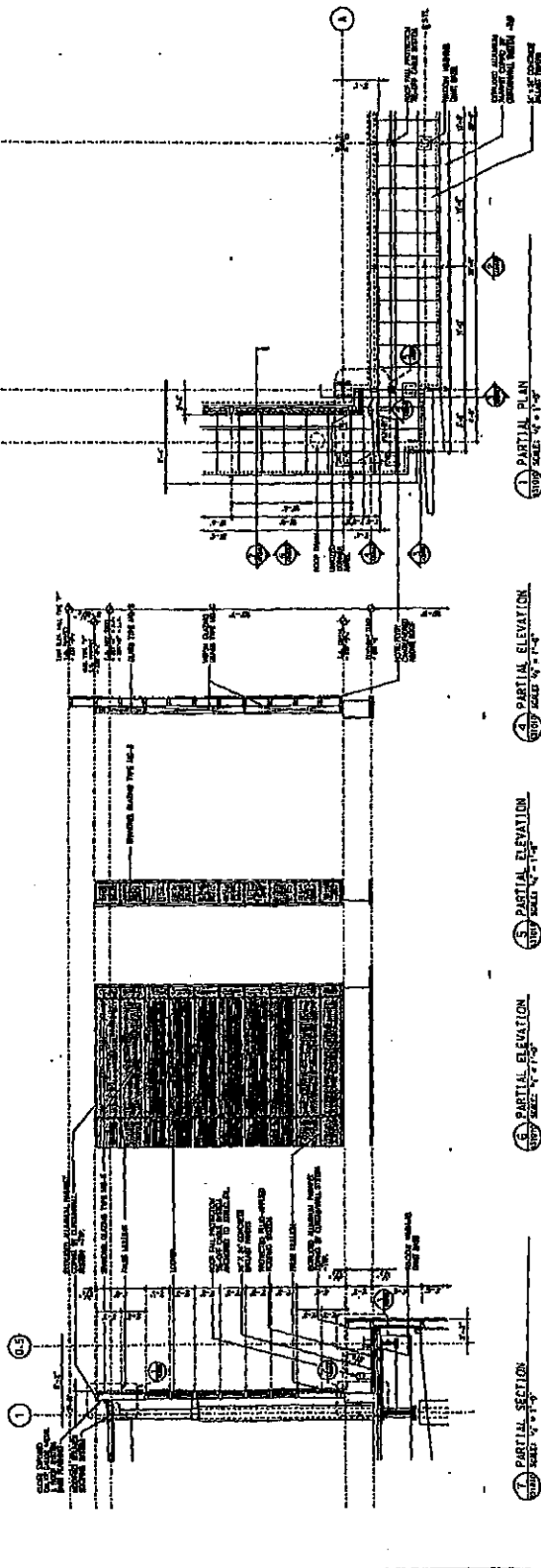


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4	01/15/85	ISSUED FOR AS-BUILT

PROJECT: Boston Research Center
 LOCATION: 100 SOUTH ST. CORNER
 DRAWING: E-31010-01
 SCALE: AS SHOWN
 SHEET: 1 OF 1



3 PARTIAL ELEVATION
SHEET 1 OF 1



1 PARTIAL PLAN
SHEET 1 OF 1

4 PARTIAL ELEVATION
SHEET 1 OF 1

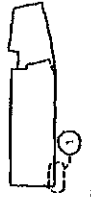
5 PARTIAL ELEVATION
SHEET 1 OF 1

6 PARTIAL ELEVATION
SHEET 1 OF 1

7 PARTIAL SECTION
SHEET 1 OF 1

Kling Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 TEL. 552-4500

A-31011

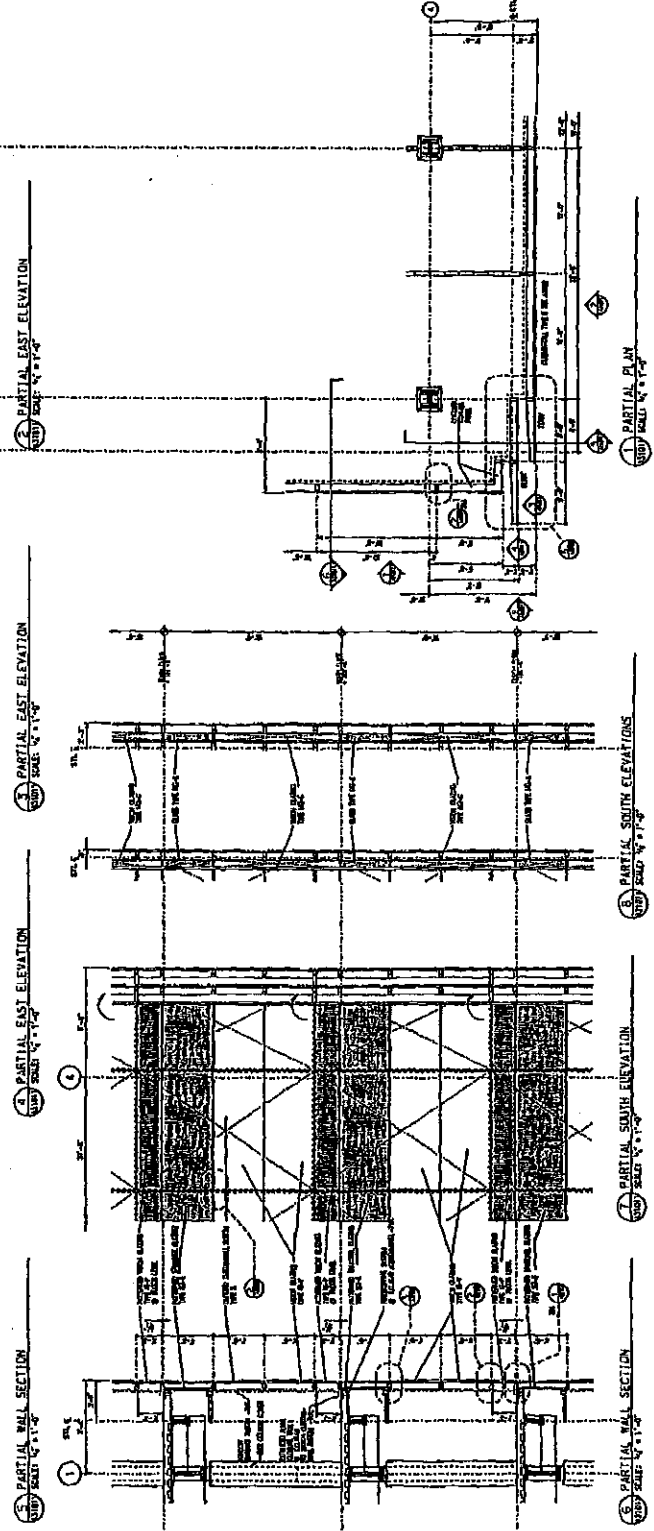
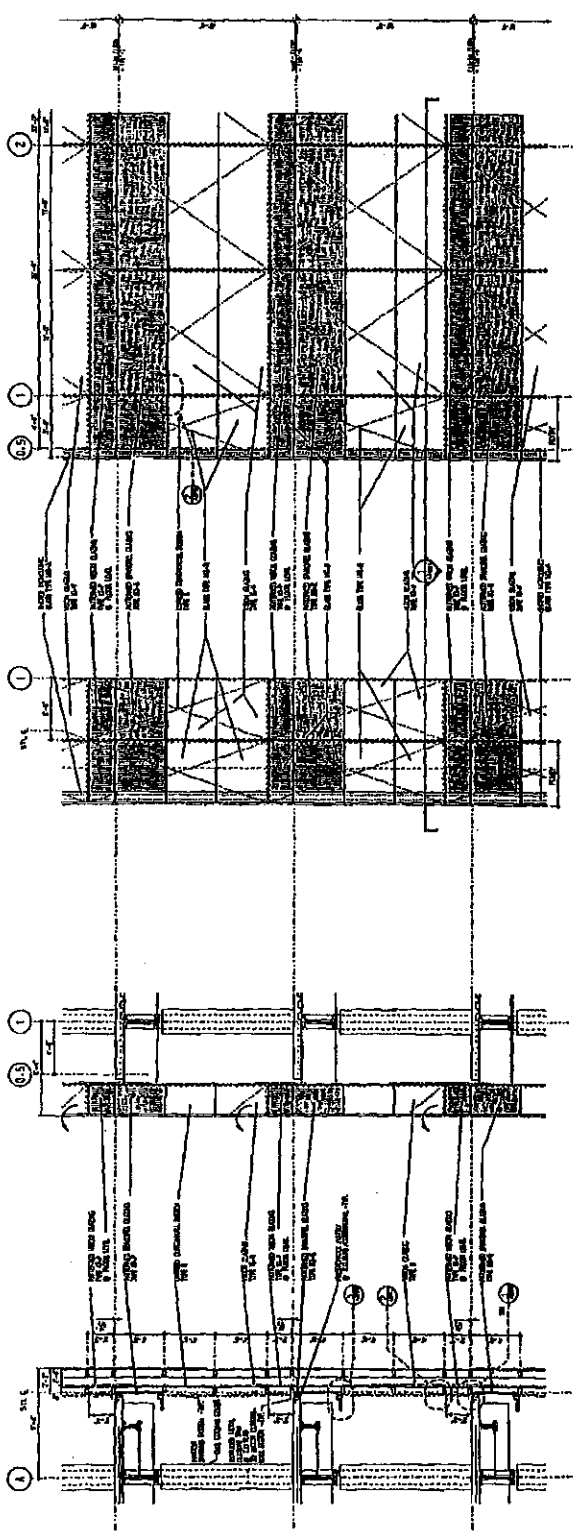


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MERCK
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 TEL. 552-4500

Boston Research Center
 PARTIAL PLANNING WALL SECTION
 SUBMITTER: TORRES CORNELL

E-A31011-01



DATE: 10/1/78

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TELEPHONE: 552-4500

A-31012

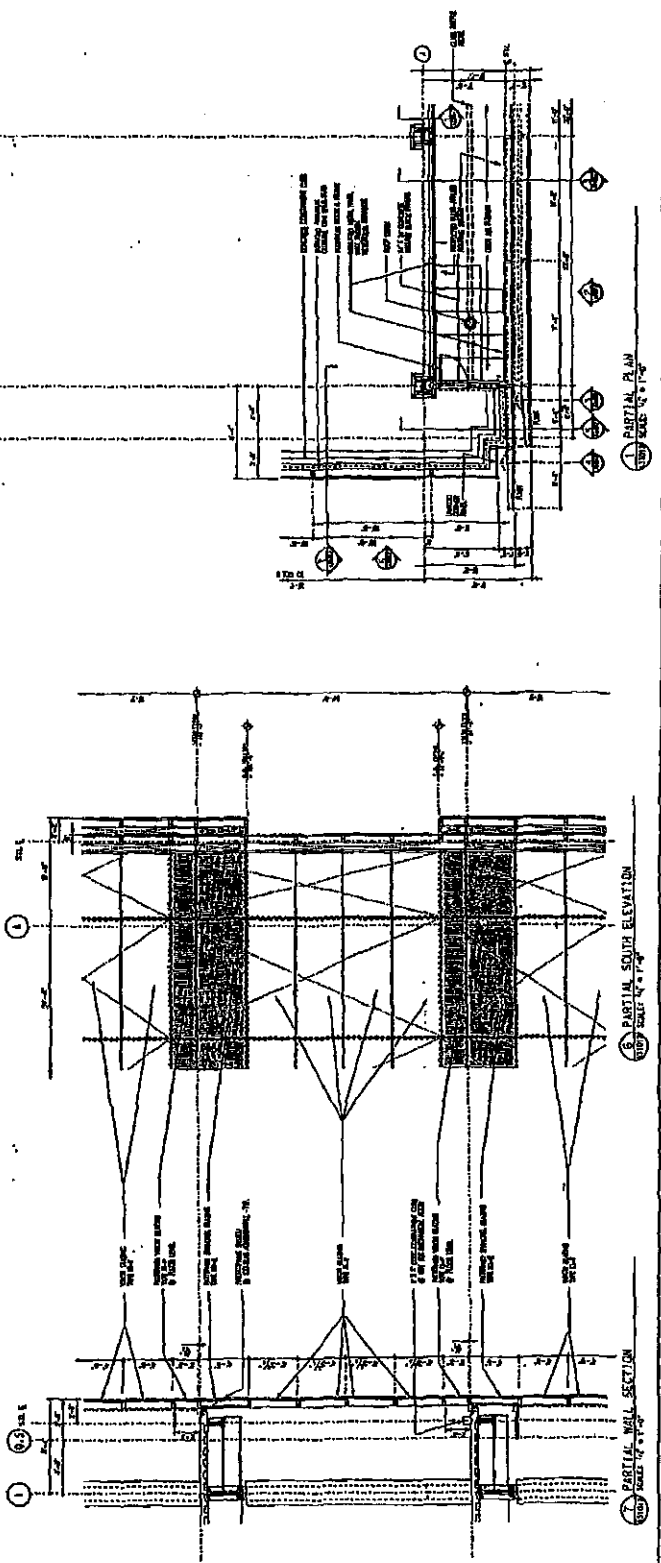
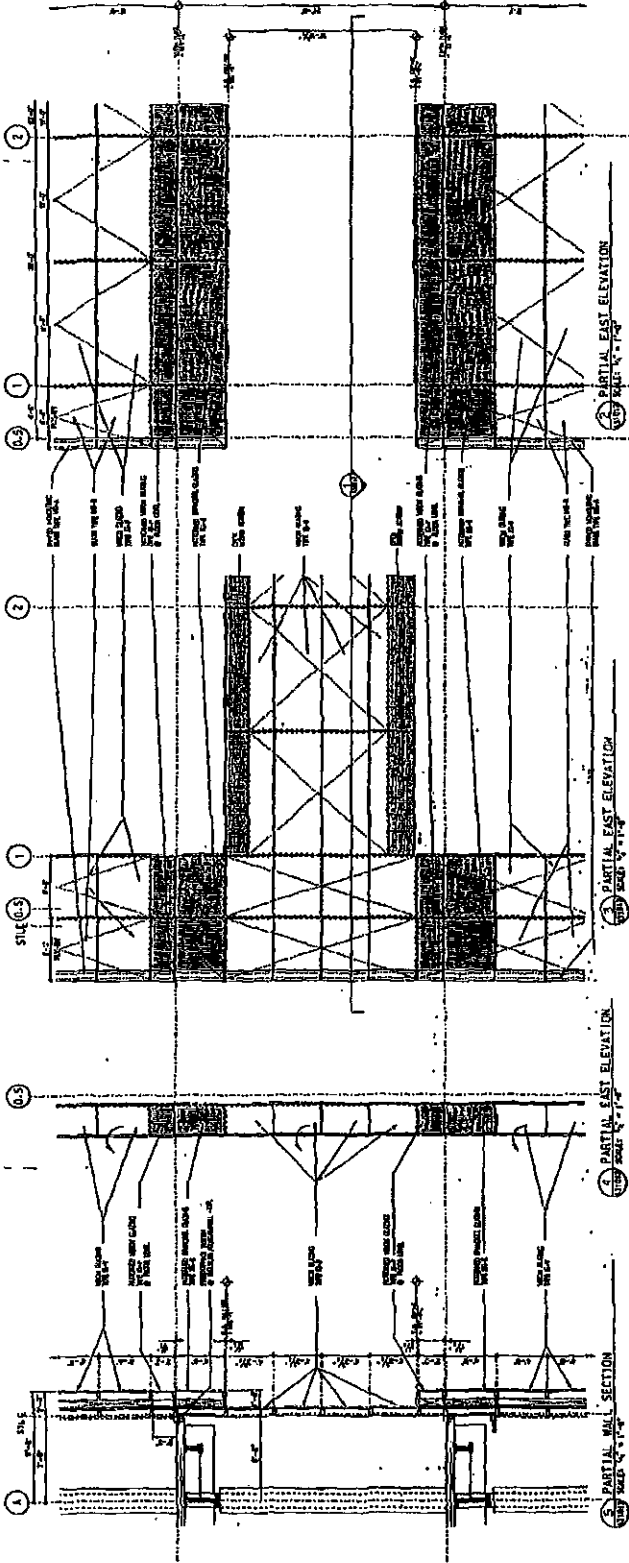


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Boston Research Center
PARTIAL PLANNING/WALL SECTION
FIRST FLOOR SOUTHWEST CORNER
SCALE: 1/8" = 1'-0"

E-A31012-01



Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

A-31013



DATE



DATE



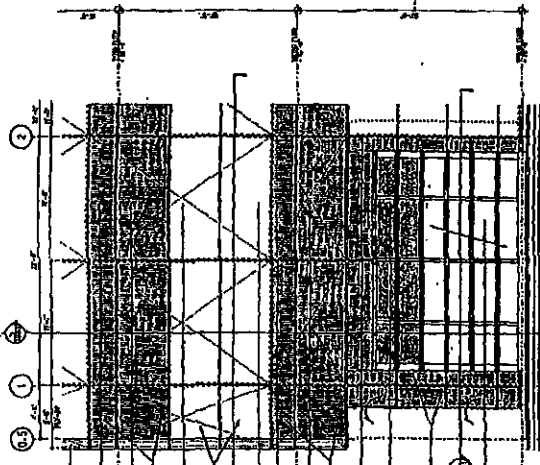
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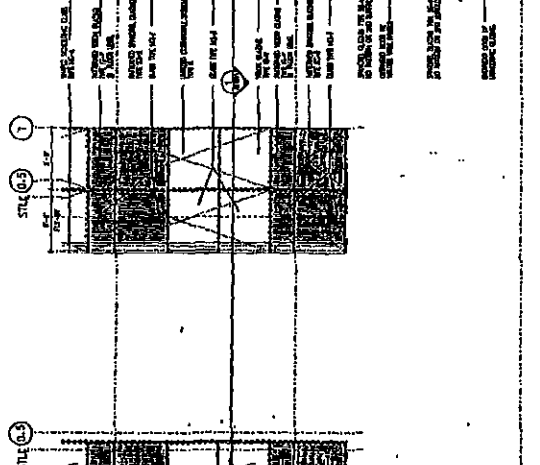
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Boston Research Center
PARTIAL MAINTENANCE WALL SECTION
EAST BEHAVIOR GARAGE ENTRY

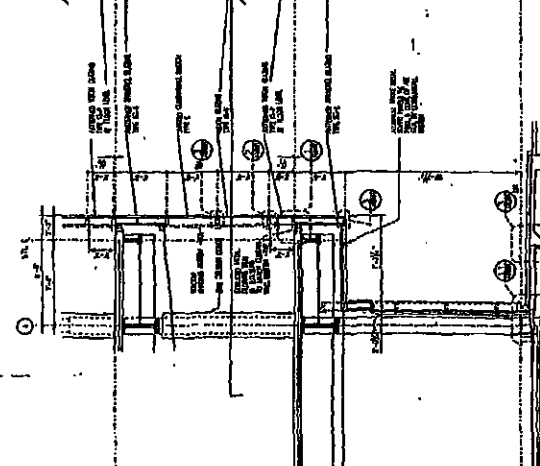
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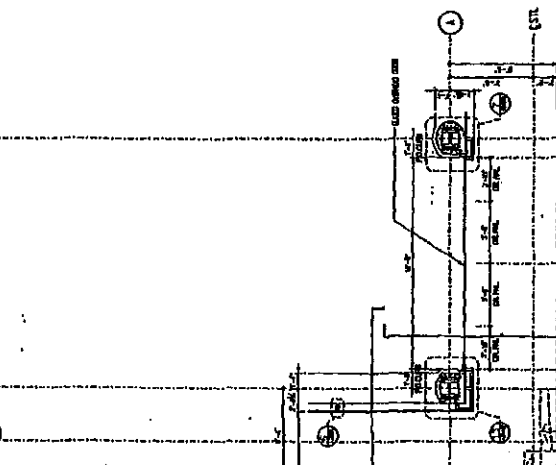
1 PARTIAL EAST ELEVATION
SCALE 1/4\"/>



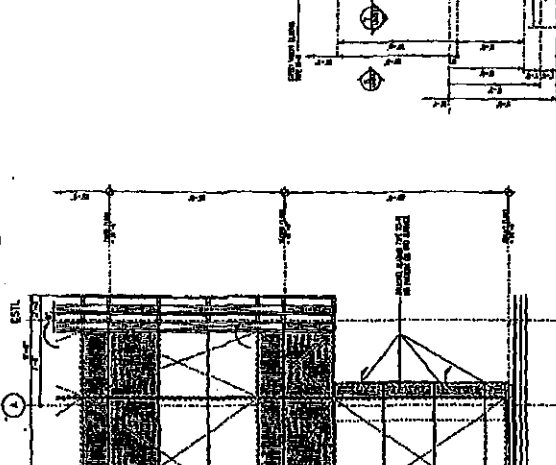
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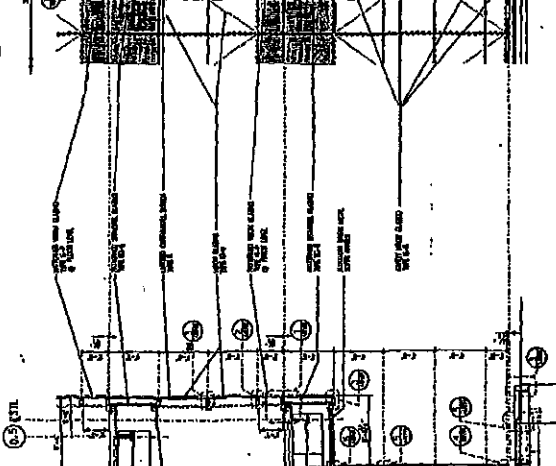
3 PARTIAL WALL SECTION
SCALE 1/4\"/>



4 PARTIAL PLAN
SCALE 1/4\"/>



5 PARTIAL EAST ELEVATIONS
SCALE 1/4\"/>



6 PARTIAL WALL SECTION
SCALE 1/4\"/>

7 PARTIAL SOUTH ELEVATION
SCALE 1/4\"/>

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A-31014



DATE: 10/1/74
SCALE: 1/4" = 1'-0"



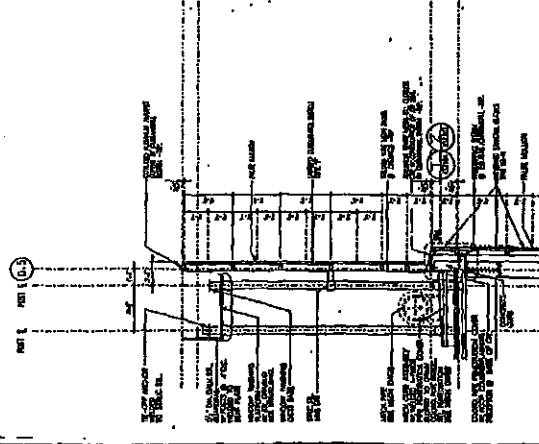
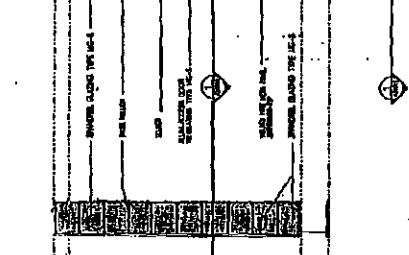
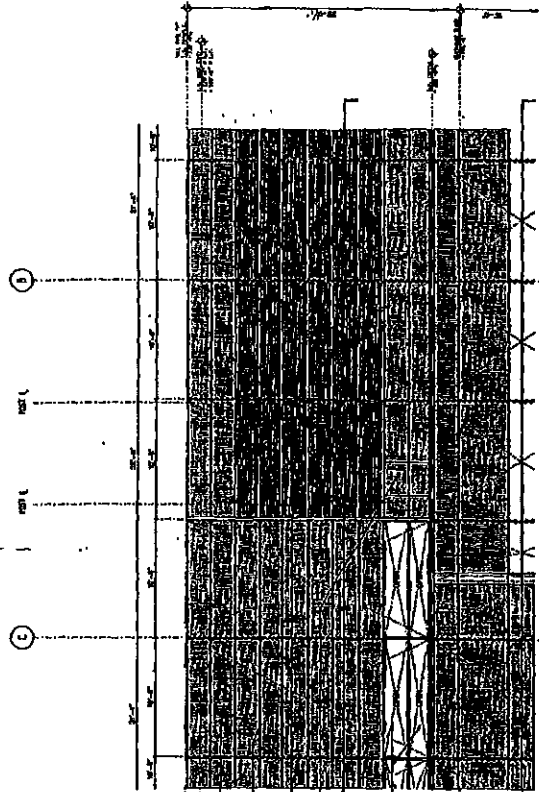
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9	ISSUED FOR PERMIT	10/1/74
10	ISSUED FOR PERMIT	10/1/74

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DATE: 10/1/74
SCALE: 1/4" = 1'-0"

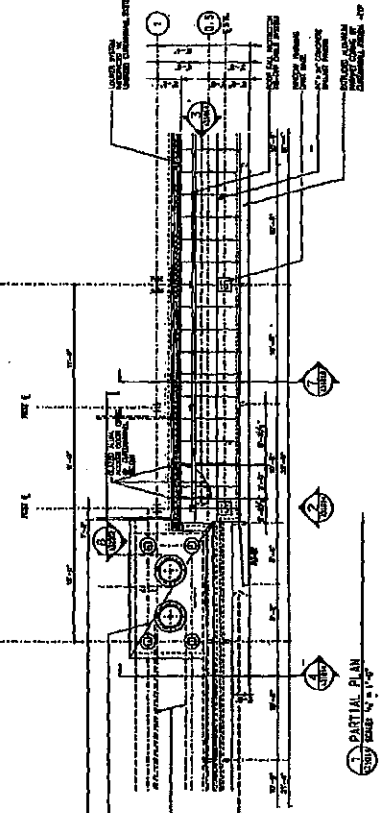
E-A31014-01



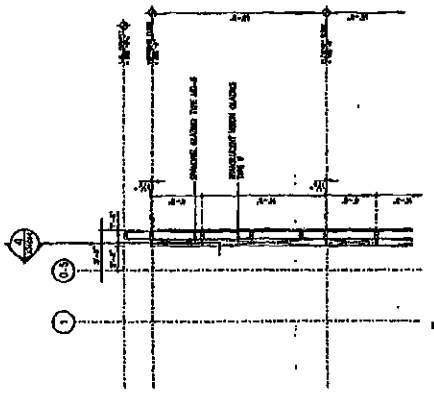
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2 PARTIAL ELEVATION

3 PARTIAL SECTION ELEVATION



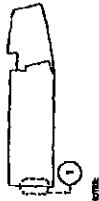
4 PARTIAL PLAN



5 PARTIAL ELEVATION

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BOSTON, MASS. 02108

A-31015



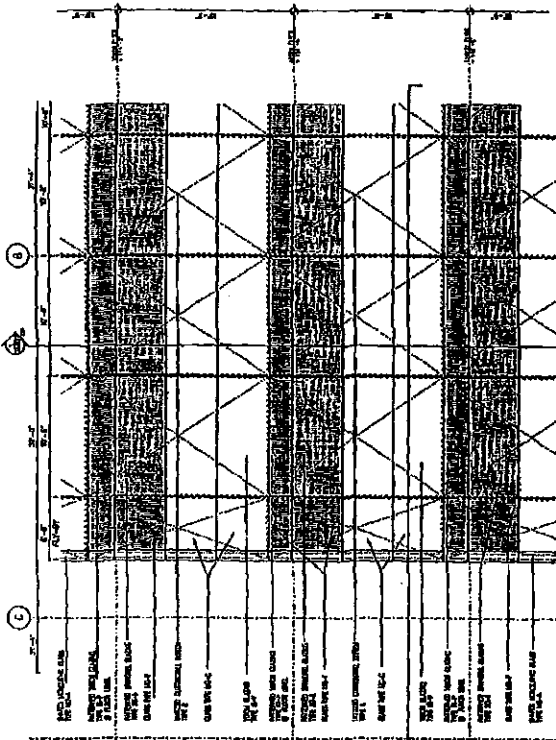
DATE: 10/17/80

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2	PRELIMINARY DESIGN	10/17/80
3	FINAL DESIGN	10/17/80
4	CONSTRUCTION DOCUMENTS	10/17/80
5	AS-BUILT DOCUMENTS	10/17/80

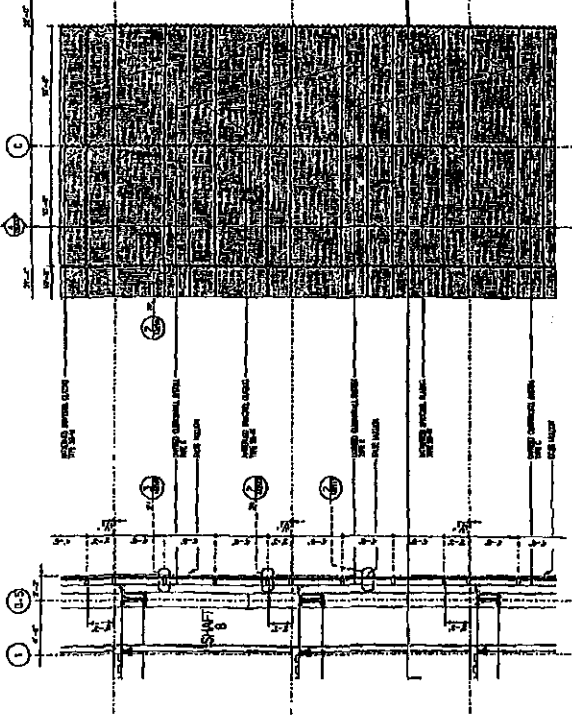
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BOSTON, MASS. 02108
TEL. (617) 552-3000
FAX (617) 552-3001

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PARTIAL PLANNING/WALL SECTION
SOUTH ELEVATION

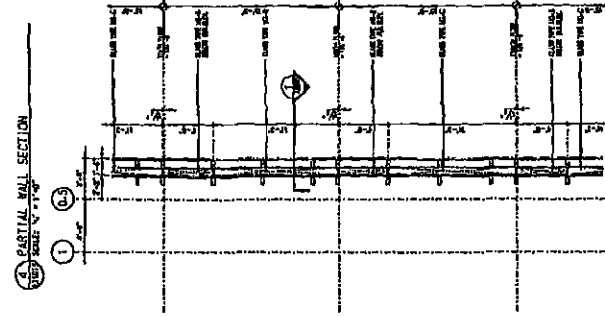
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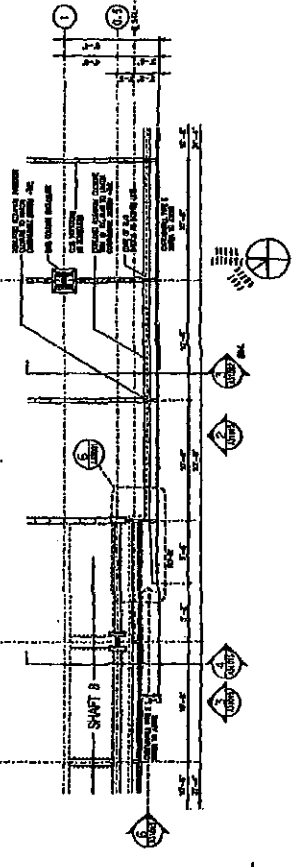
2 PARTIAL SOUTH ELEVATION
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3 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL WALL SECTION
SCALE: 1/8" = 1'-0"



5 NOT USED
SCALE: 1/8" = 1'-0"

6 PARTIAL ELEVATION
SCALE: 1/8" = 1'-0"

Kling Lindquist
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111 BOSTON PLACE
BOSTON, MA 02116
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A-31016

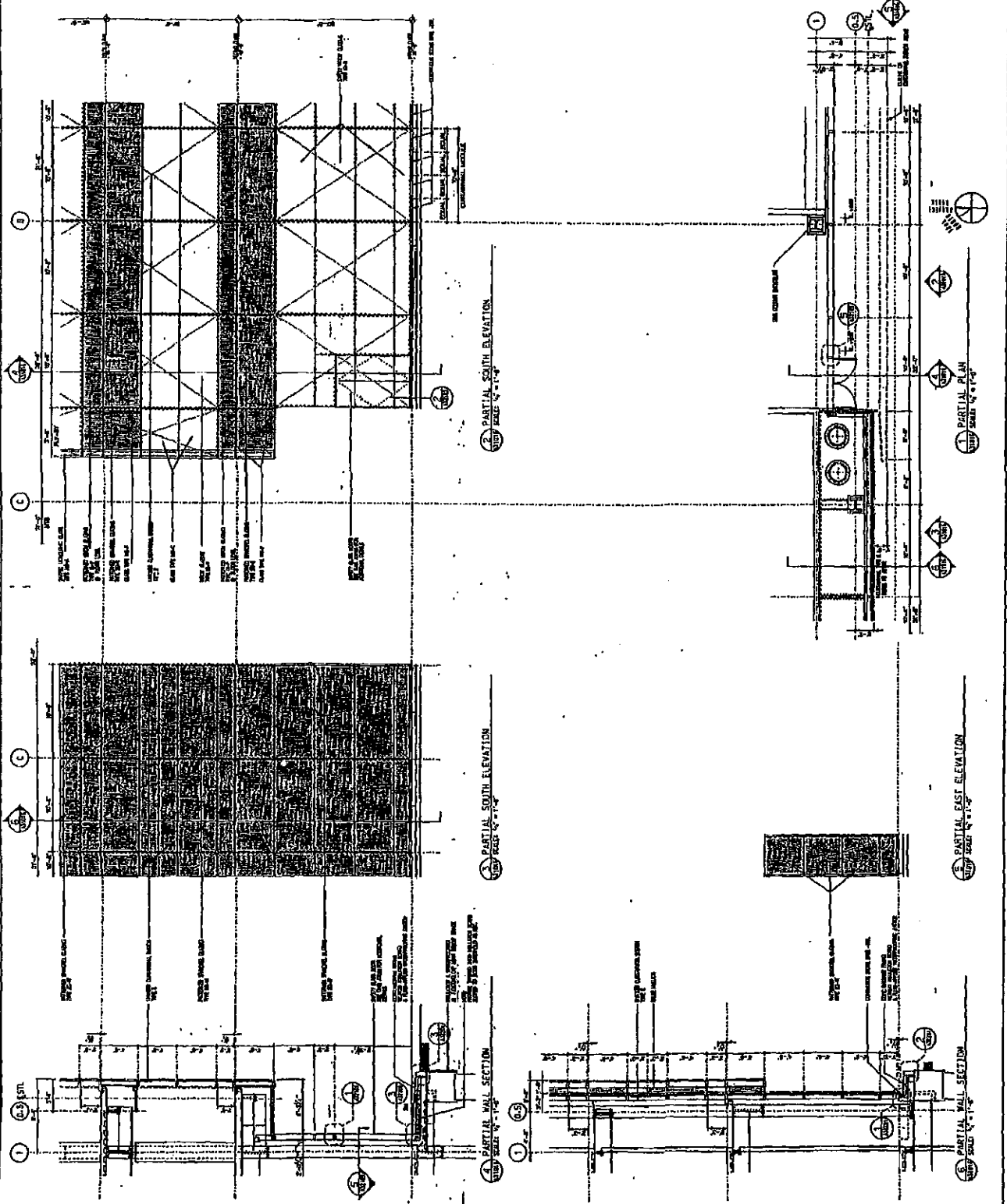


NO.	DATE	BY	DESCRIPTION



**Boston Research Center
MERCURY PHARMACEUTICAL BUILDING
SOUTH ALBANY STREET DOORS**

E-A31016-01



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 100 STATE STREET
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A-31017



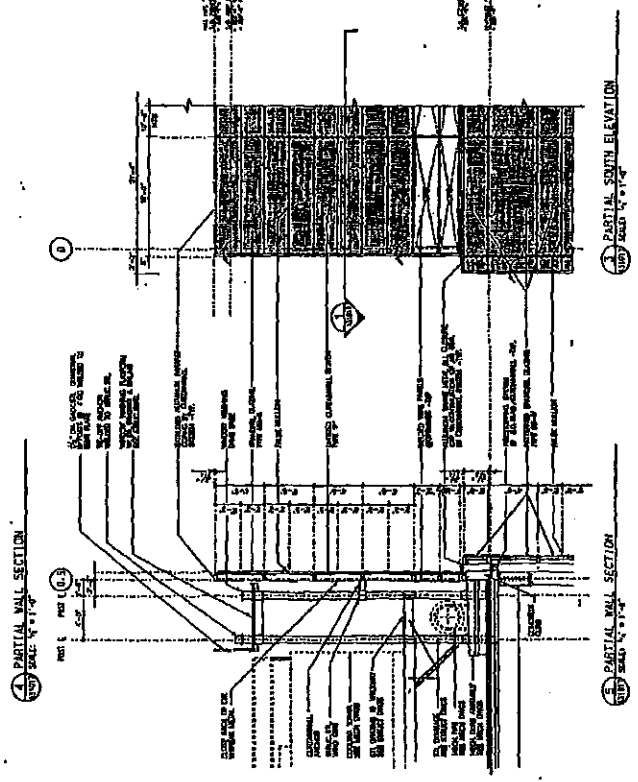
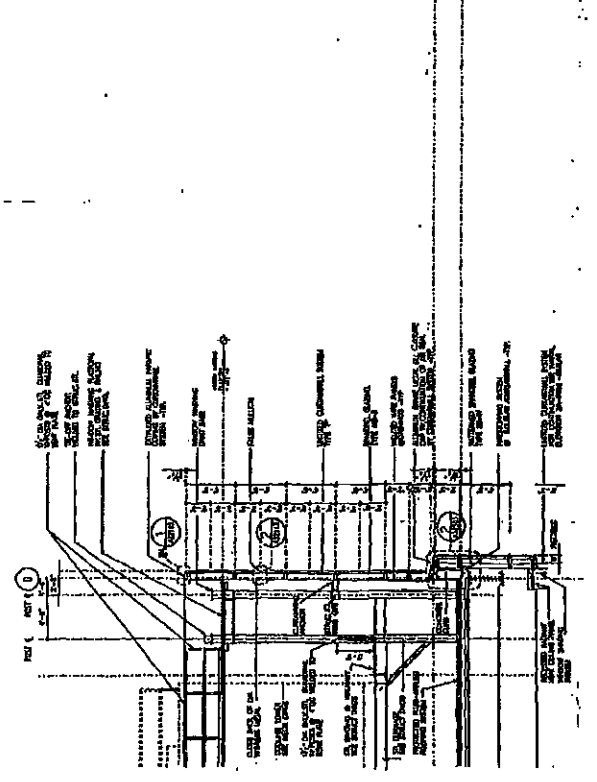
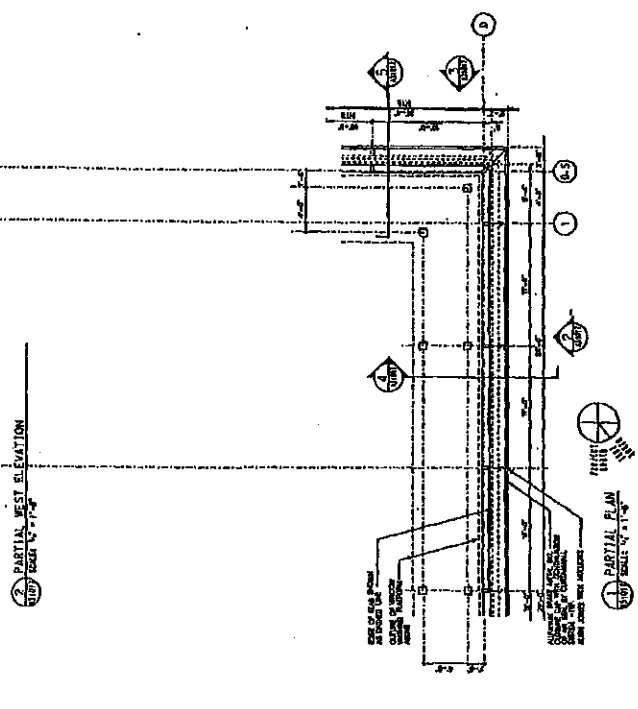
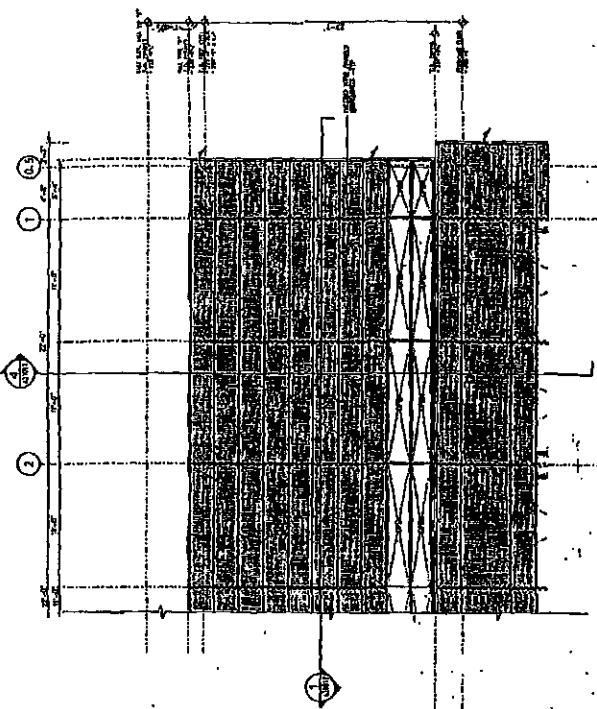
DATE: 10/1/84



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 200 MILL STREET
 RANDOLPH, MASSACHUSETTS 01902
 TEL: 617-271-1000

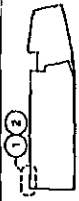
Boston Research Center
 PARTIAL PLAN/WALL SECTION
 CORNER WALL TYPE "C" - SOUTHWEST CORNER
 DRAWING NO. E-A31017-01



Notes:
 1. SEE DRAWING E-A31017-02 FOR OTHER WALL SECTIONS.
 2. SEE DRAWING E-A31017-03 FOR OTHER WALL SECTIONS.
 3. SEE DRAWING E-A31017-04 FOR OTHER WALL SECTIONS.
 4. SEE DRAWING E-A31017-05 FOR OTHER WALL SECTIONS.
 5. SEE DRAWING E-A31017-06 FOR OTHER WALL SECTIONS.
 6. SEE DRAWING E-A31017-07 FOR OTHER WALL SECTIONS.
 7. SEE DRAWING E-A31017-08 FOR OTHER WALL SECTIONS.
 8. SEE DRAWING E-A31017-09 FOR OTHER WALL SECTIONS.
 9. SEE DRAWING E-A31017-10 FOR OTHER WALL SECTIONS.

Kling Lindquist

A-31018



SCALE

DATE: 1/21/84



NO.	REVISION
1	ISSUED FOR PERMIT
2	REVISION
3	REVISION
4	REVISION
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7	REVISION
8	REVISION
9	REVISION
10	REVISION

NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF KLING LINDQUIST ARCHITECTS

DATE: 1/21/84

BY: [Signature]

MERCK

ARCHITECT

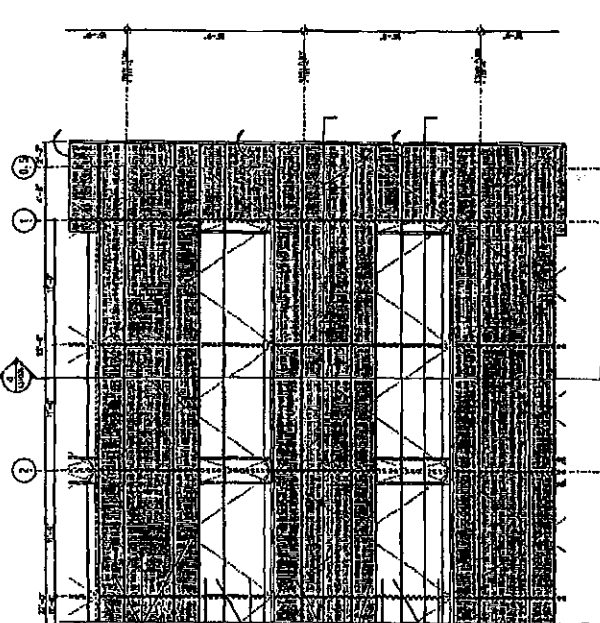
100 N. STATE ST. 12TH FL. BOSTON, MA 02111

Boston Research Center

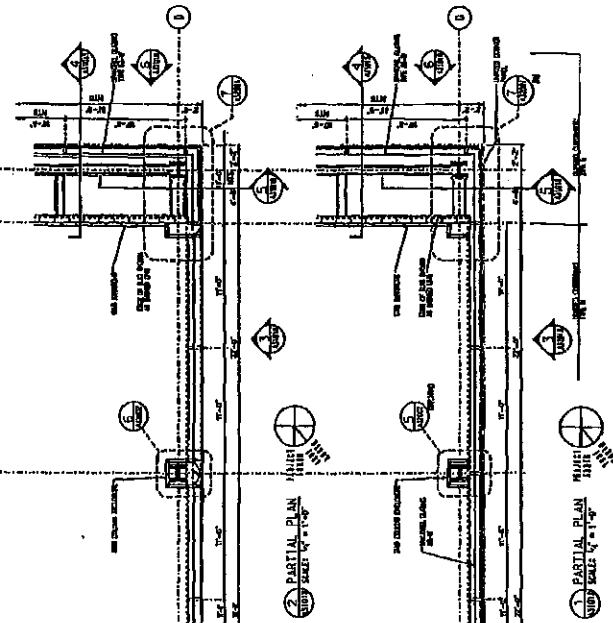
PARTIAL PLAN/ELEVATION/WALL SECTION

SOUTHWEST TOWER CORNER

E-A31018-01



1 PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PARTIAL PLAN
LEVEL 1110'-0"

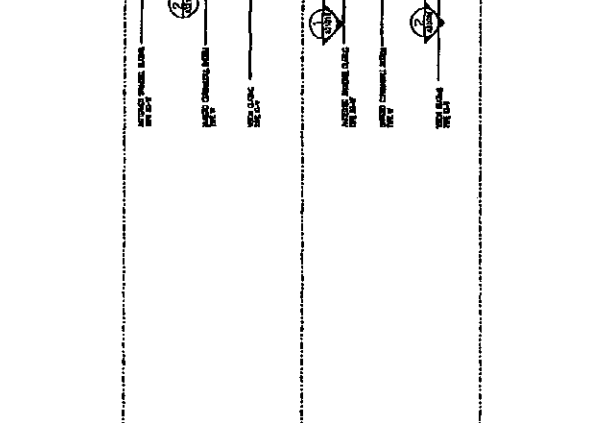
3 PARTIAL PLAN
LEVEL 1100'-0"

4 PARTIAL PLAN
LEVEL 1090'-0"

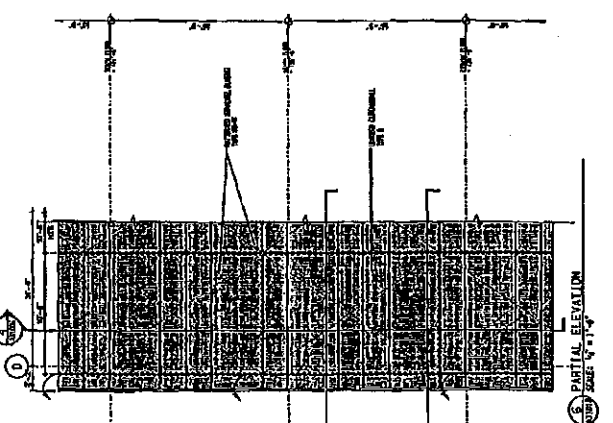
5 PARTIAL PLAN
LEVEL 1080'-0"

6 PARTIAL PLAN
LEVEL 1070'-0"

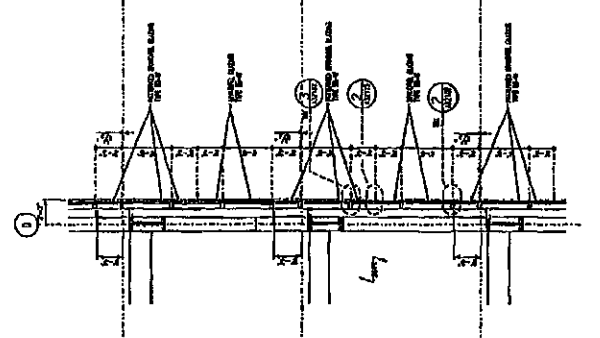
7 PARTIAL PLAN
LEVEL 1060'-0"



8 PARTIAL WALL SECTION
SCALE: 1/4" = 1'-0"



9 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



10 PARTIAL MILL SECTION
SCALE: 1/4" = 1'-0"

Kling Lindquist

ARCHITECTS
1000 WASHINGTON STREET
BOSTON, MASSACHUSETTS 02108

A-31019



NOTES

DATE: 11/14/84
DRAWN BY: [Signature]



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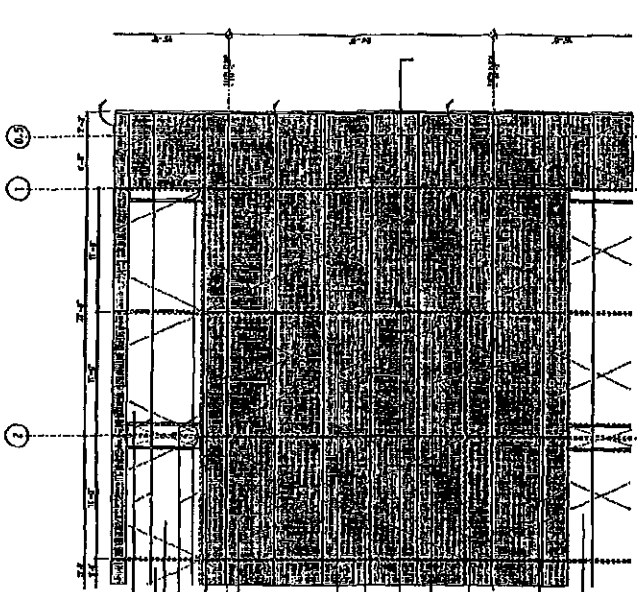


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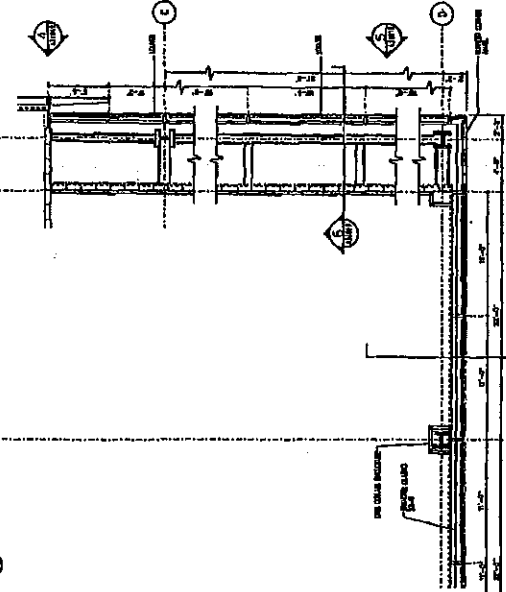
Boston Research Center
PARTIAL PLUMBING/WALL SECTION
FIFTH FLOOR, SOUTHWEST CORNER

E-A31019-01

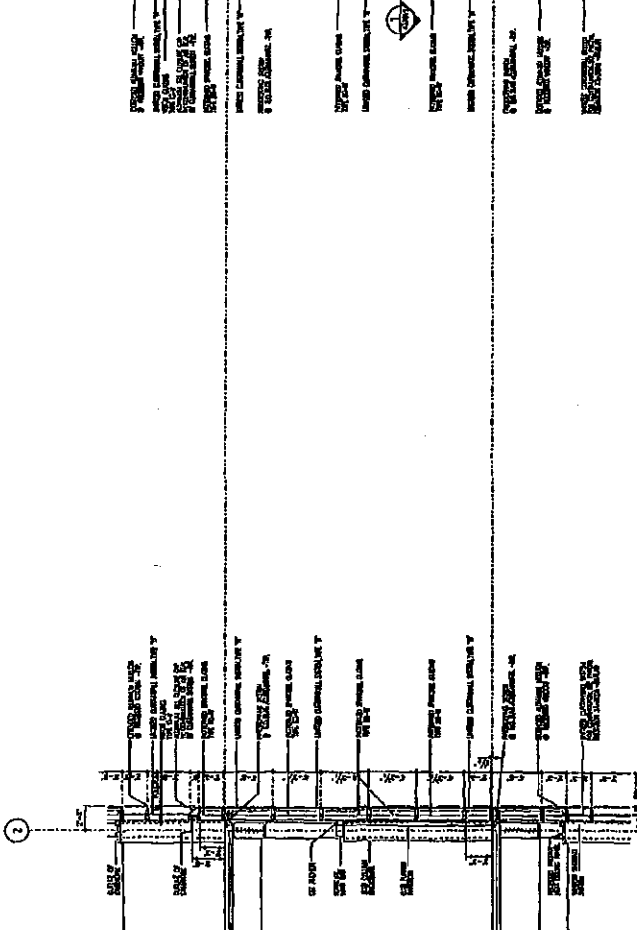
DATE: 11/14/84
DRAWN BY: [Signature]



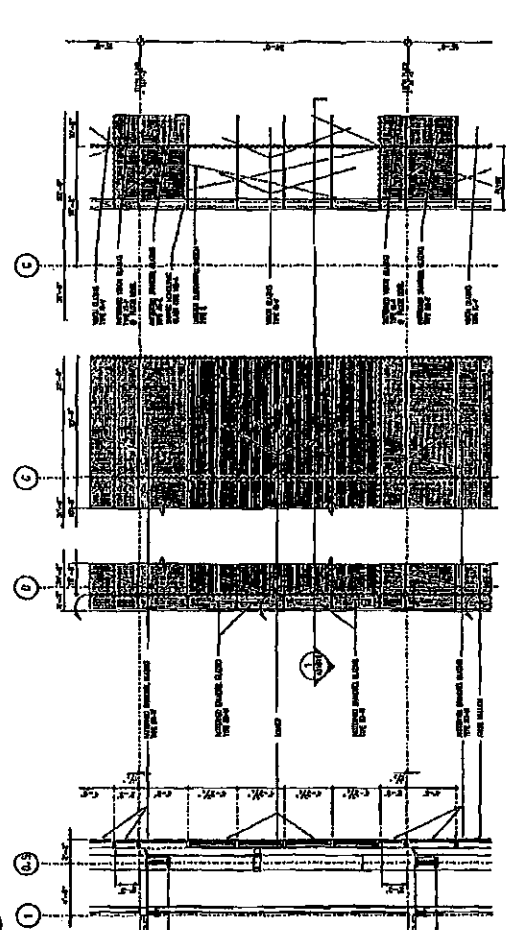
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1 PARTIAL PLAN
SCALE: 1/4" = 1'-0"



3 PARTIAL WALL SECTION
SCALE: 1/4" = 1'-0"

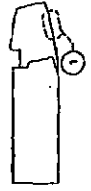


5 PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

4 PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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 ARCHITECTS
 100 STATE STREET
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A-31022

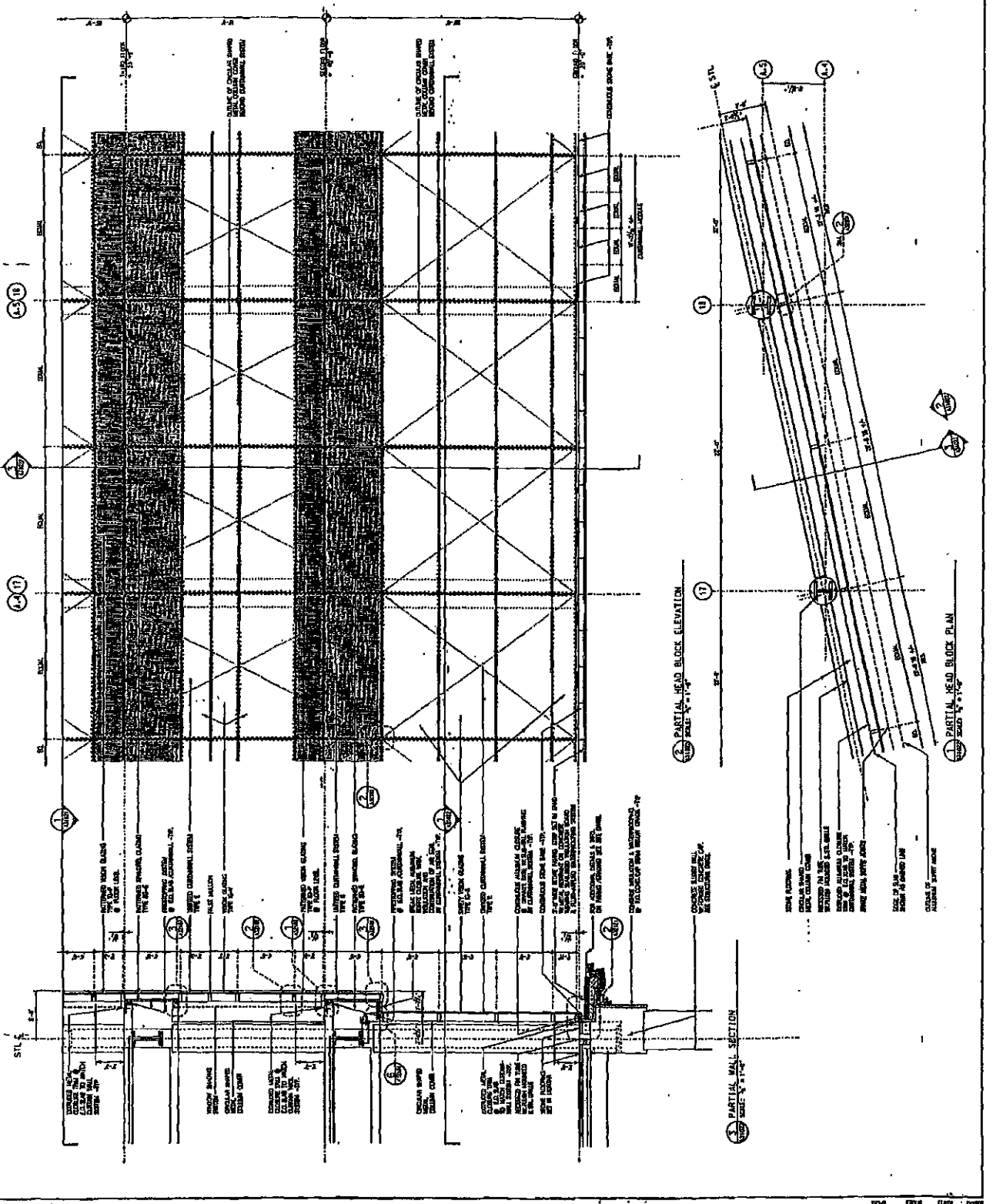


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 BOSTON, MASSACHUSETTS 02115

E-A31022-01



Kling Linquist

ARCHITECTS

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BOSTON, MASSACHUSETTS 02109

A-31023



NOTES

DATE: 10/10/84



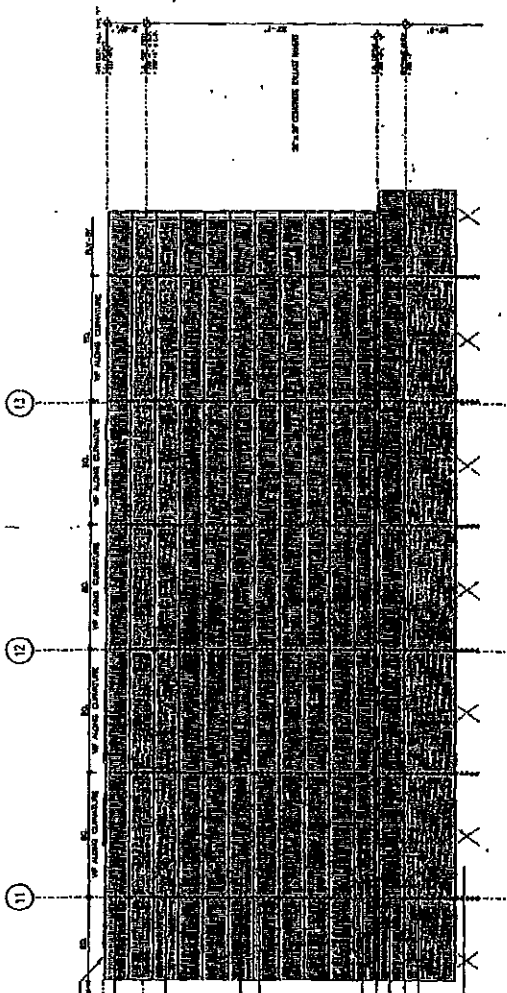
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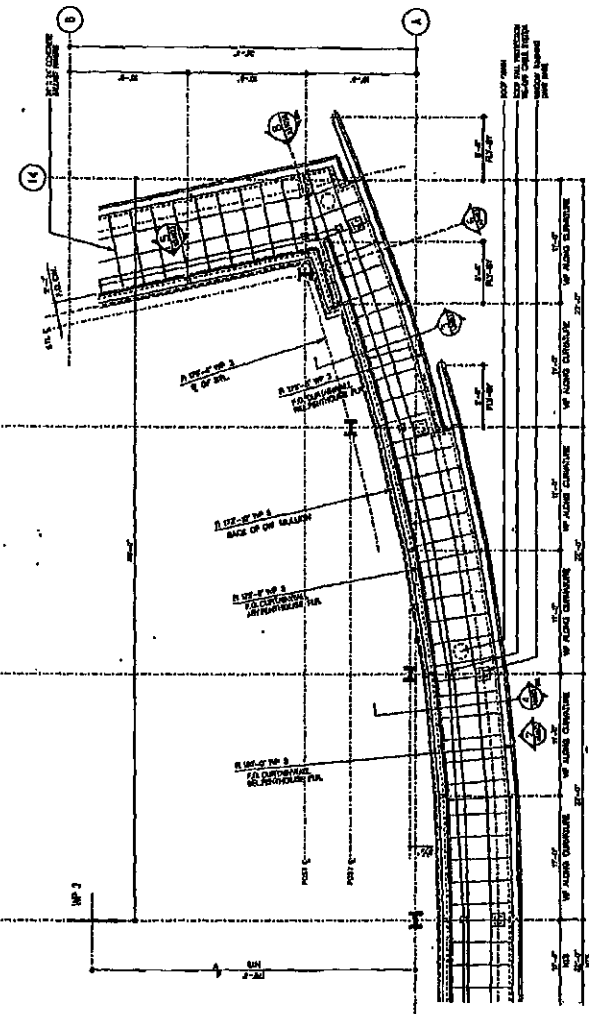
Boston Research Center
PARTIAL FLOWLATION/WALL SECTION
CANTONMENT TYPE "P" NORTHWEST CORNER

E-A31023-01

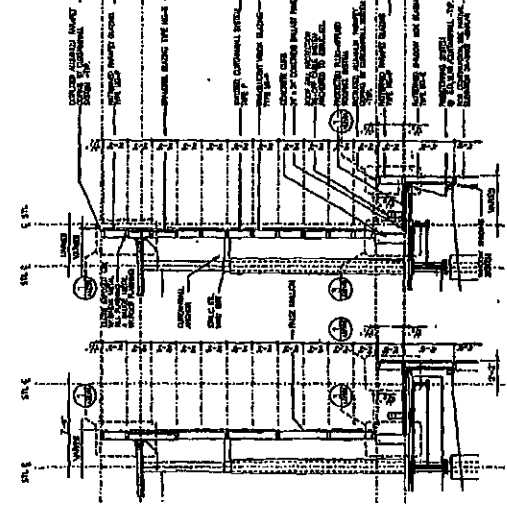
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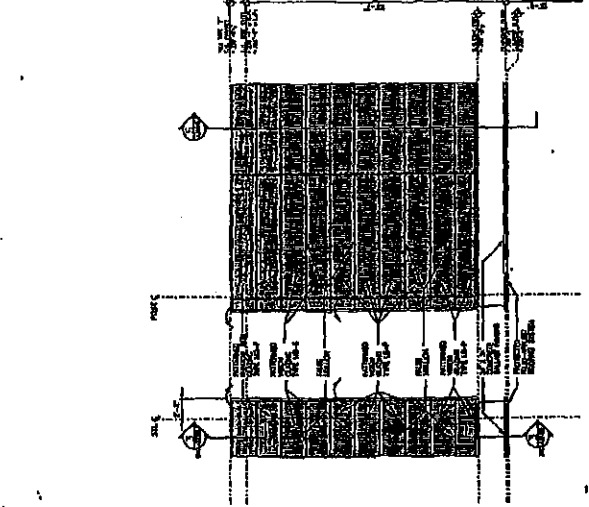
PARTIAL ELEVATION



PARTIAL PLAN



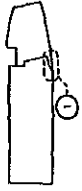
PARTIAL SECTION



PARTIAL ELEVATION

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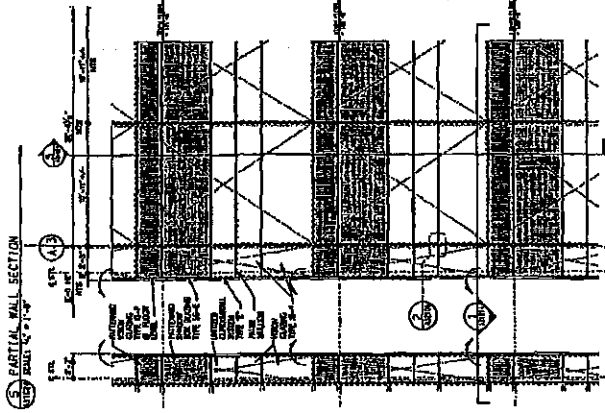
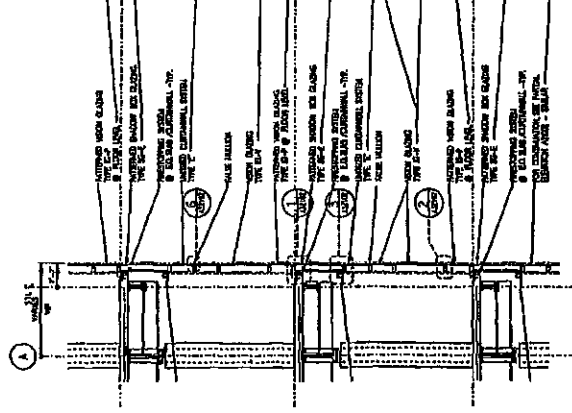
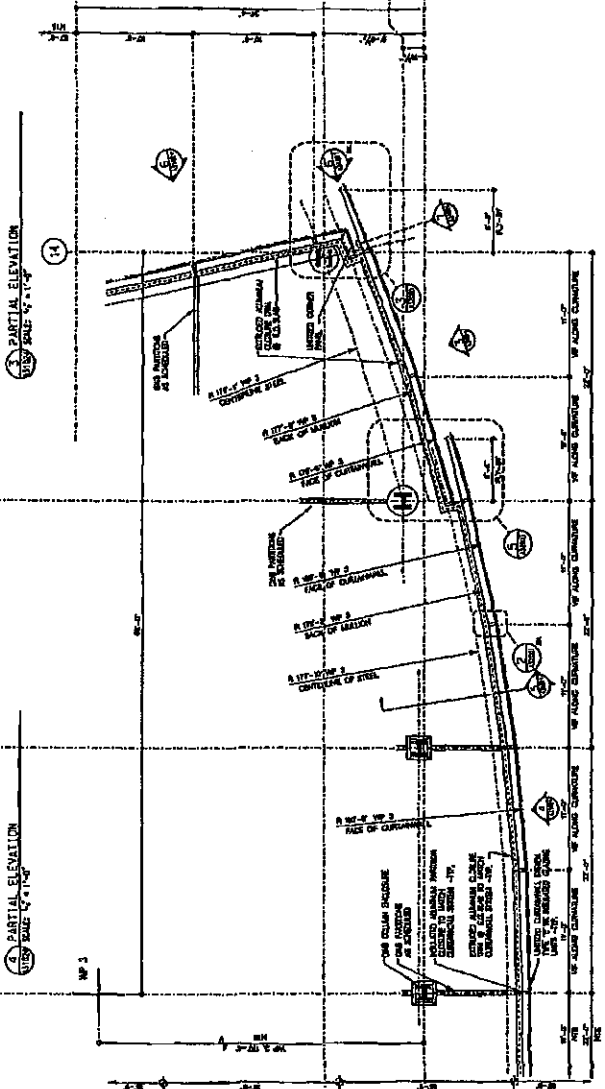
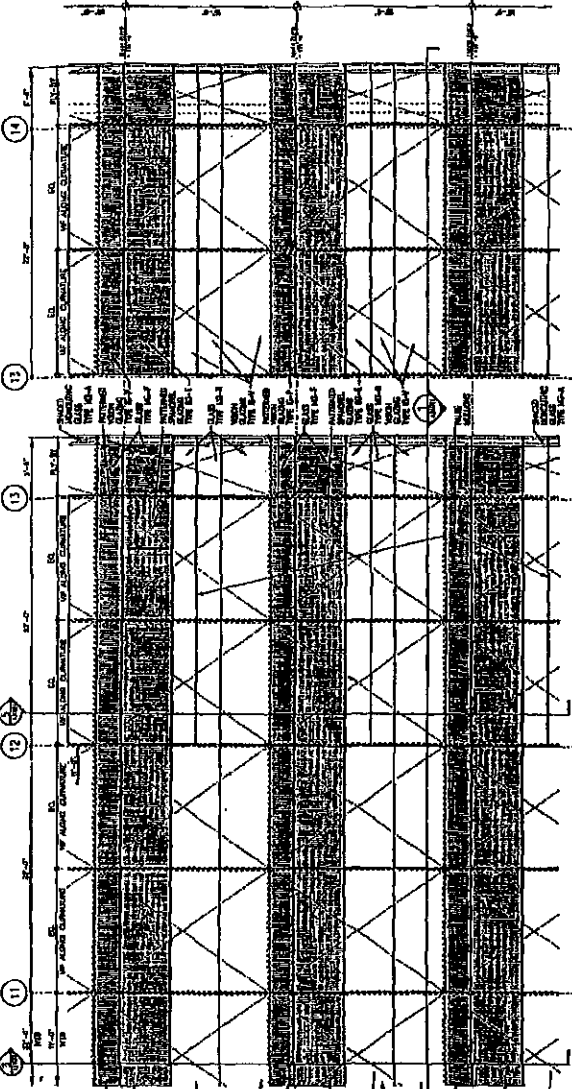


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INDUSTRIAL TOWER CORNER

E-A31024-01



PARTIAL WALL SECTION
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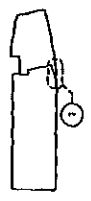
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SCALE: 1/4" = 1'-0"

PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"

PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"

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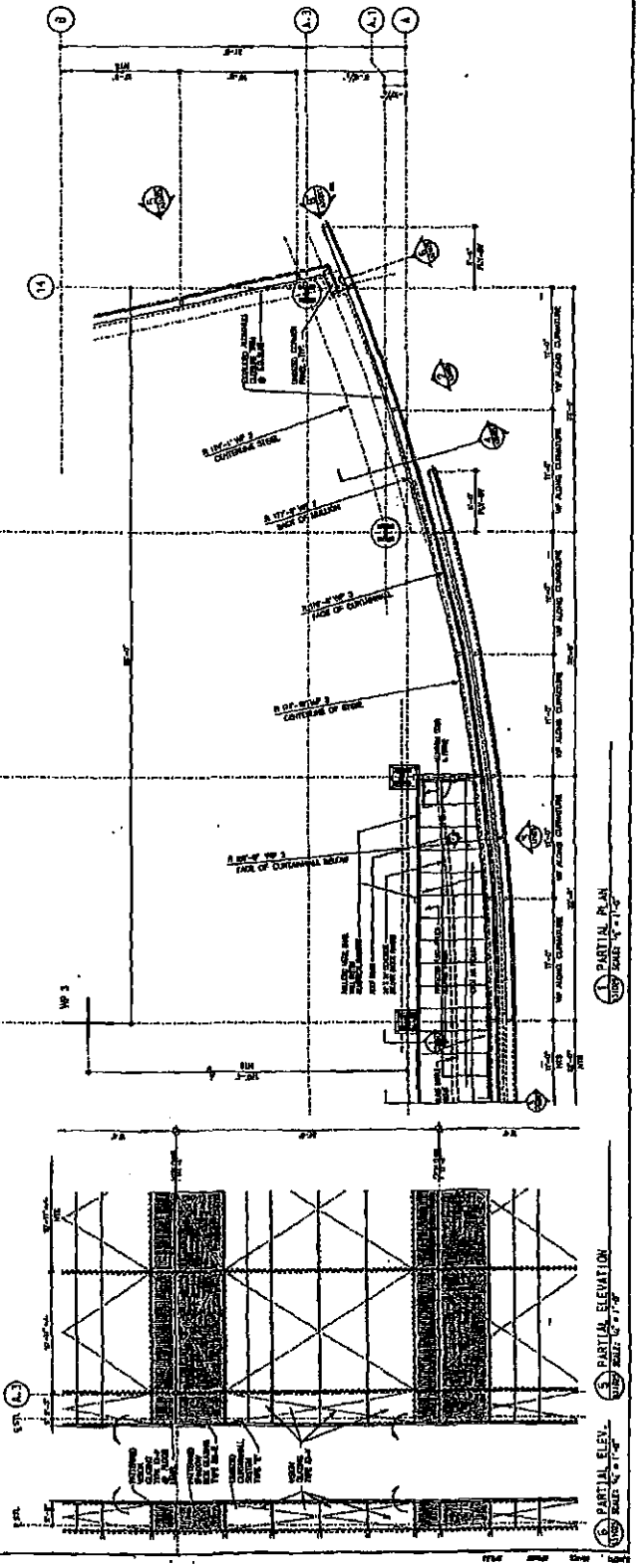
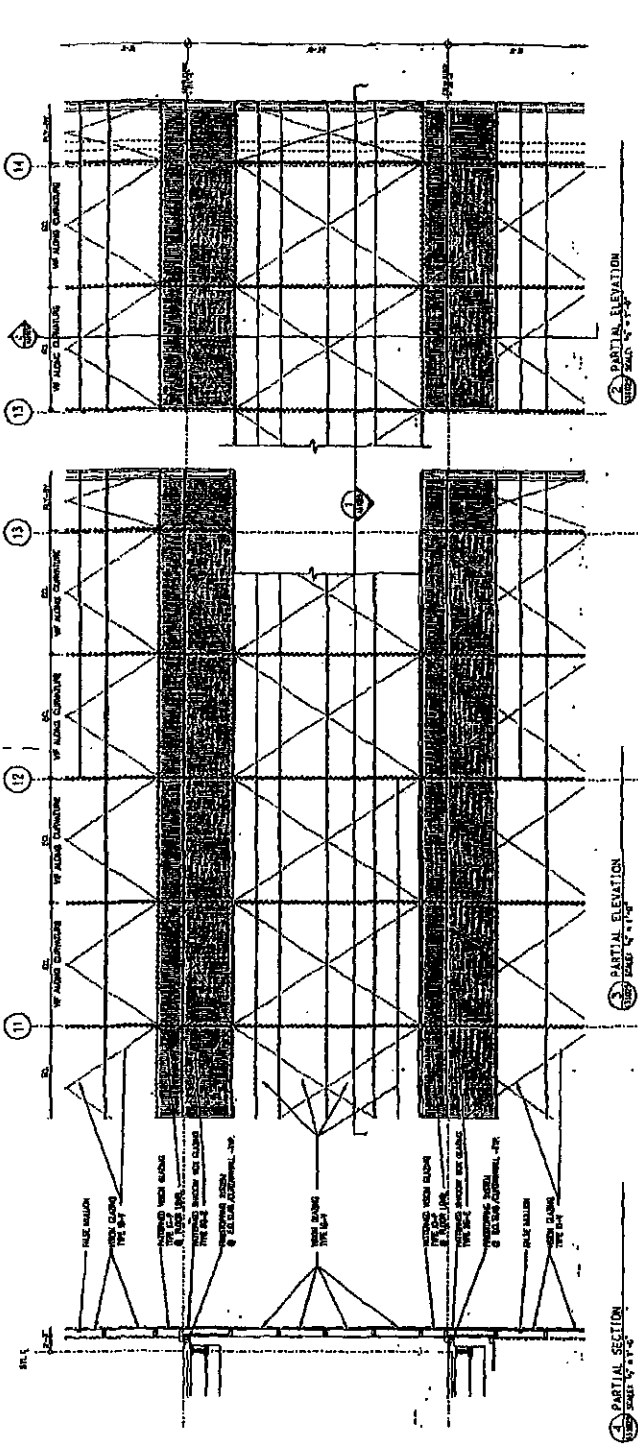


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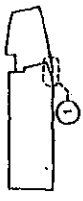
Boston Research Center
 PARTIAL PLAN/SECTION/WALL SECTION
 PARTIAL FLOOR/ROOF/SECTION
 PARTIAL ELEVATION

E-A31025-01



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PROJECT A-31026

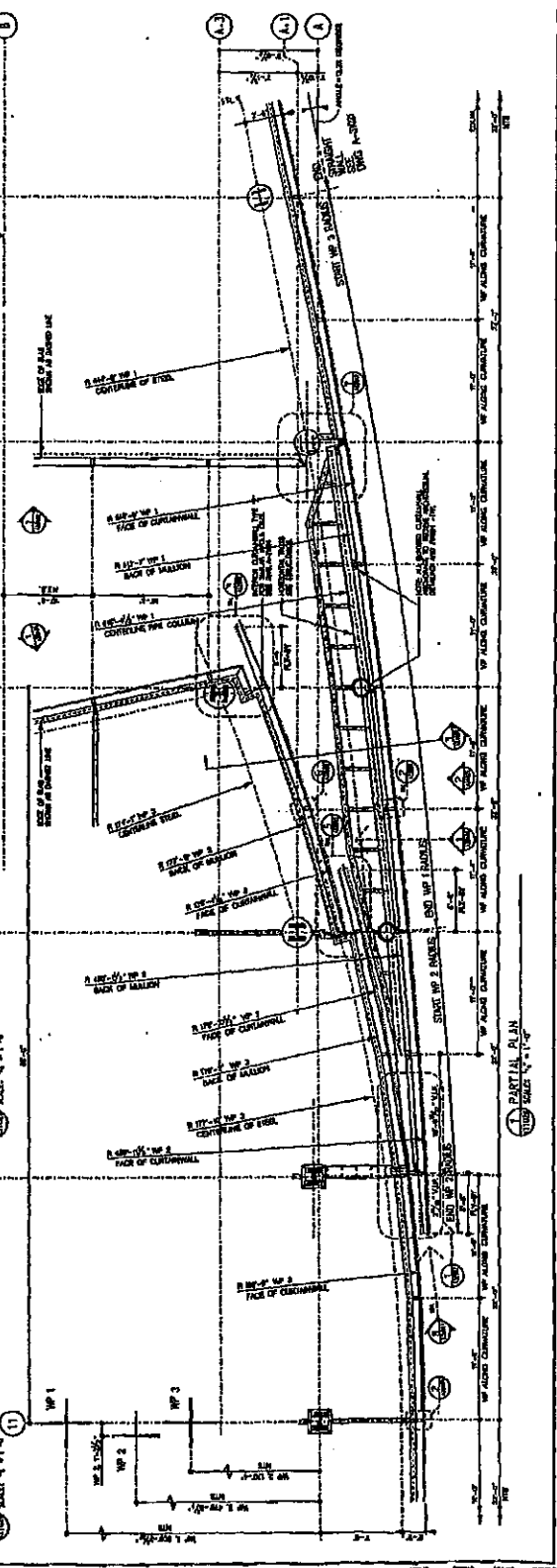
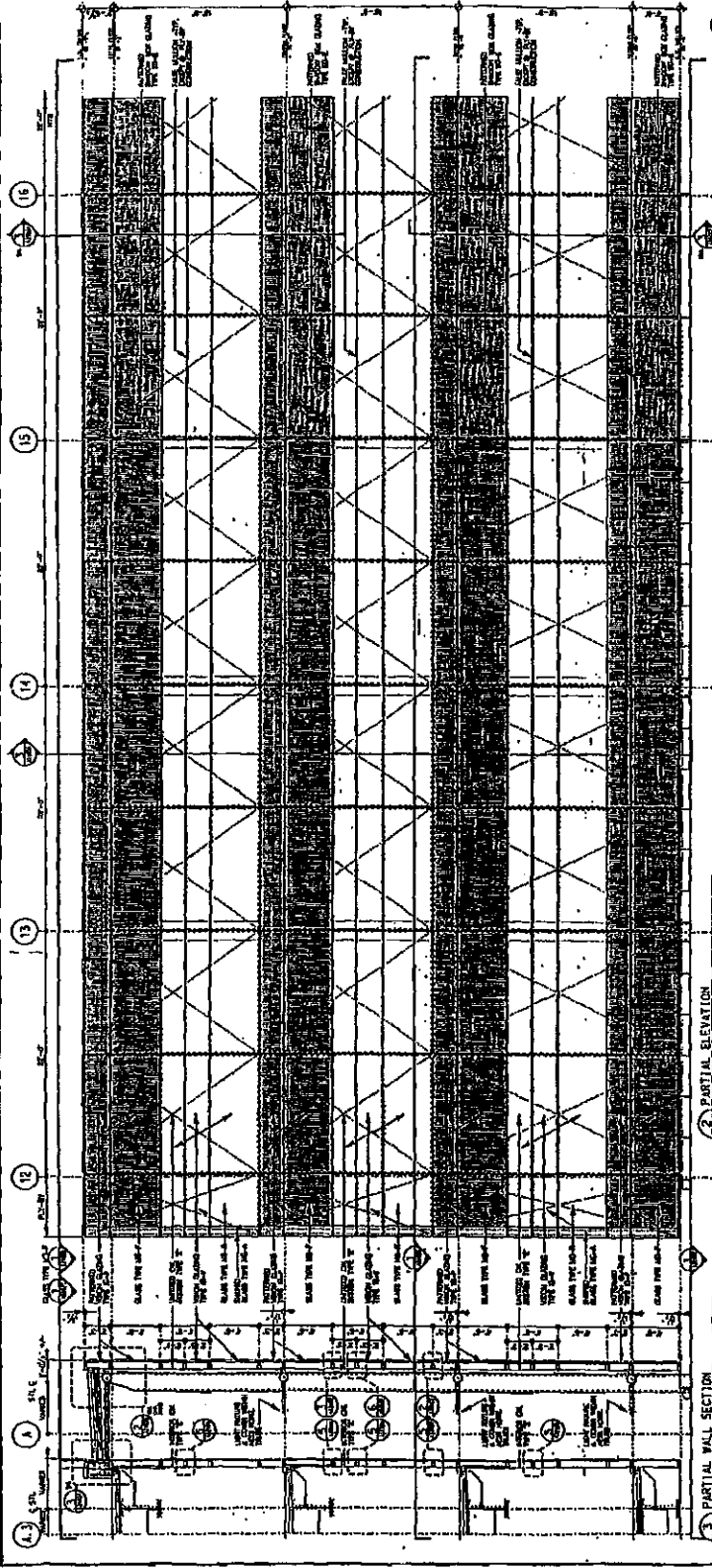


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 CURVEWALL TYPE 2; EAST ATTITUDE WALL

E-A31026-01



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A-31027



NOTES

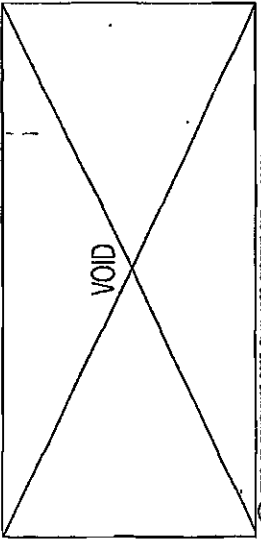
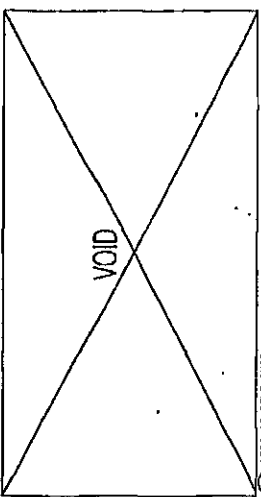
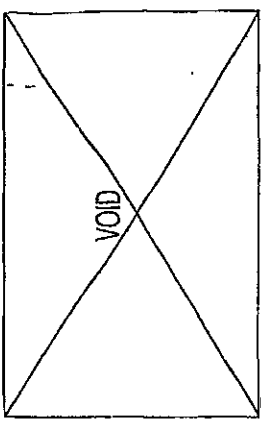
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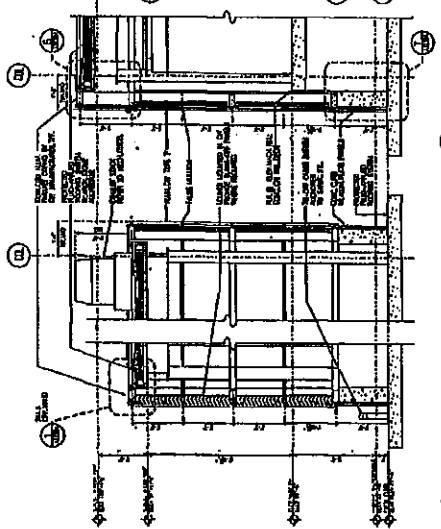
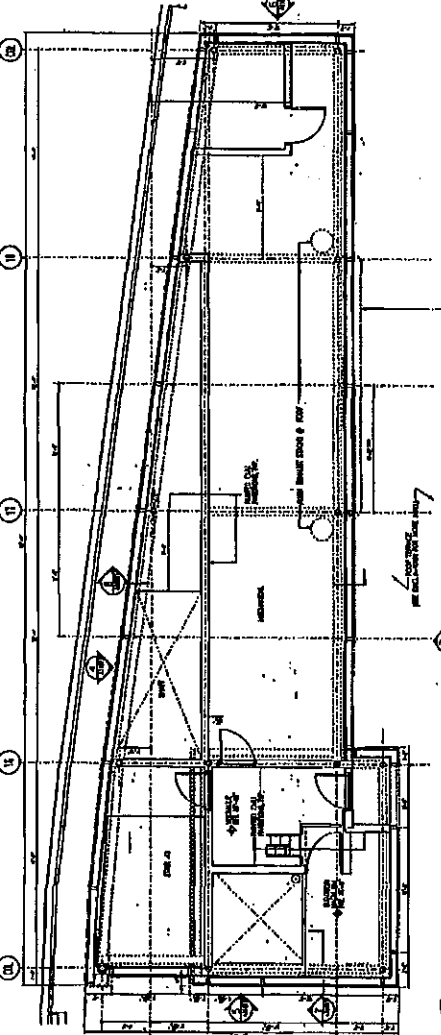
Boston Research Center
 HEAD BLOCK TERRACE PENHOUSE
 SCALE 1/8" = 1'-0"



1 TERRACE PENHOUSE ISOMETRIC FROM NE
 SCALE 1/8" = 1'-0"

2 TERRACE PENHOUSE ISOMETRIC FROM SW
 SCALE 1/8" = 1'-0"

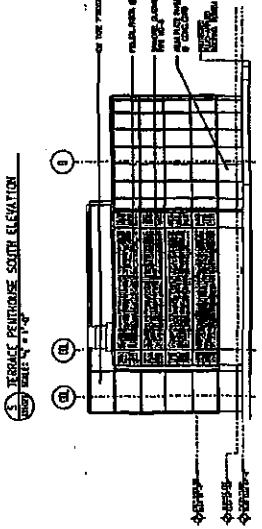
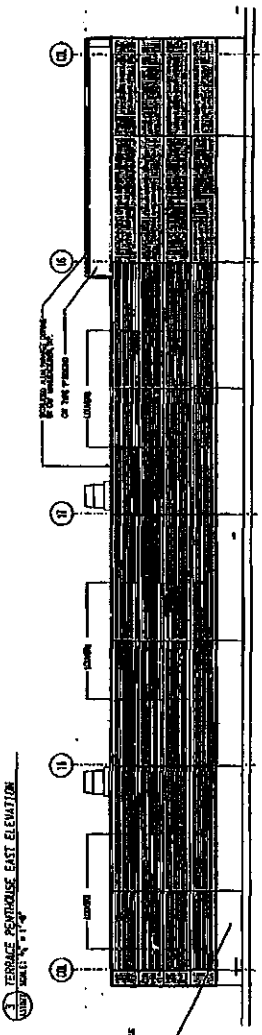
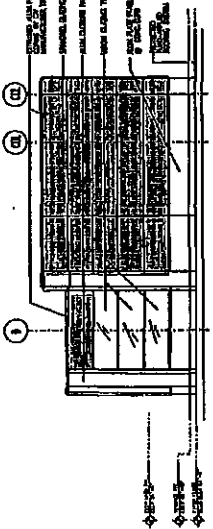
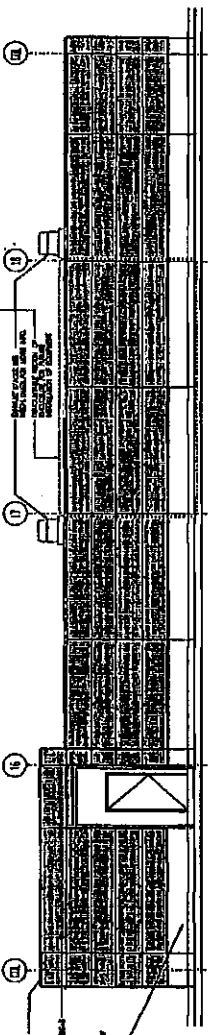
3 TERRACE PENHOUSE ROOF PLAN (SEE CURRENT DWG A-1062)
 SCALE 1/8" = 1'-0"



4 TERRACE PENHOUSE PLAN
 SCALE 1/8" = 1'-0"

5 SECTION 2
 SCALE 1/8" = 1'-0"

6 SECTION 3
 SCALE 1/8" = 1'-0"



7 TERRACE PENHOUSE WEST ELEVATION
 SCALE 1/8" = 1'-0"

8 TERRACE PENHOUSE NORTH ELEVATION
 SCALE 1/8" = 1'-0"

King Lindquist

A-31028



DATE: 10/24/84



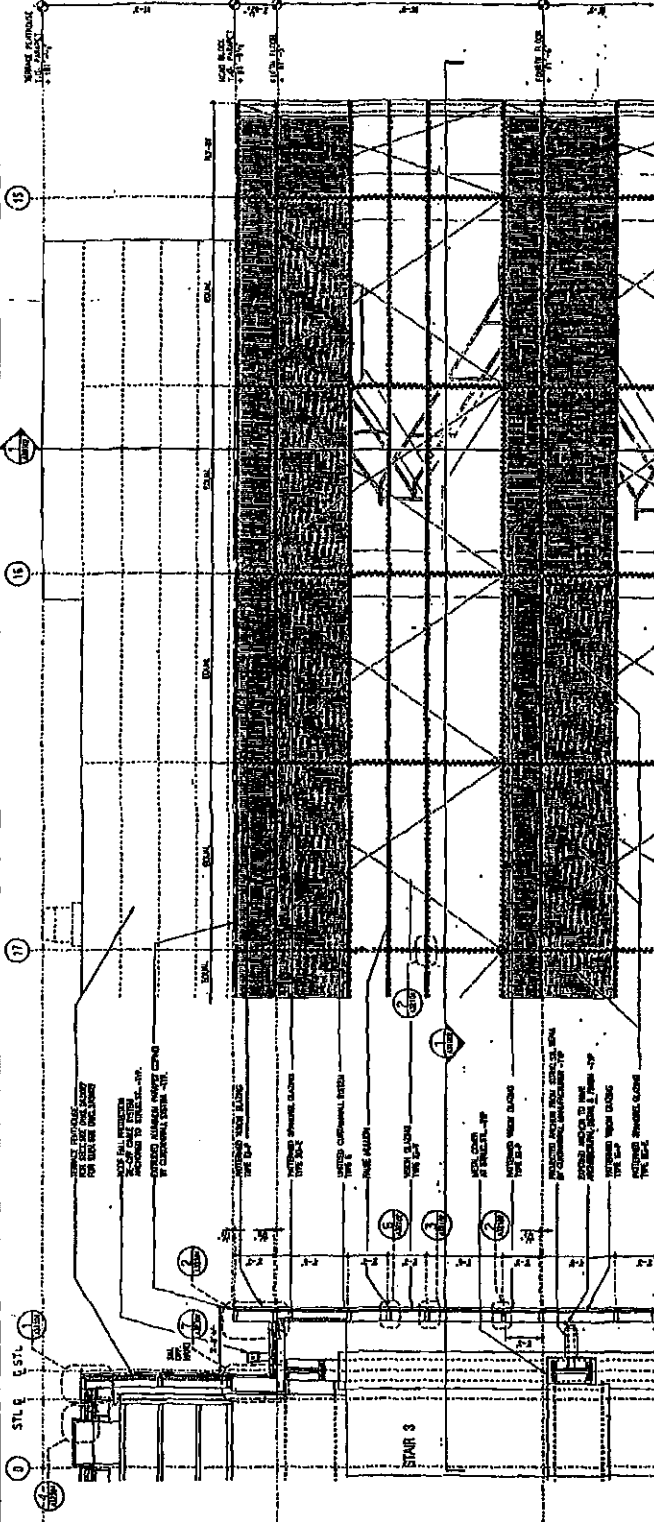
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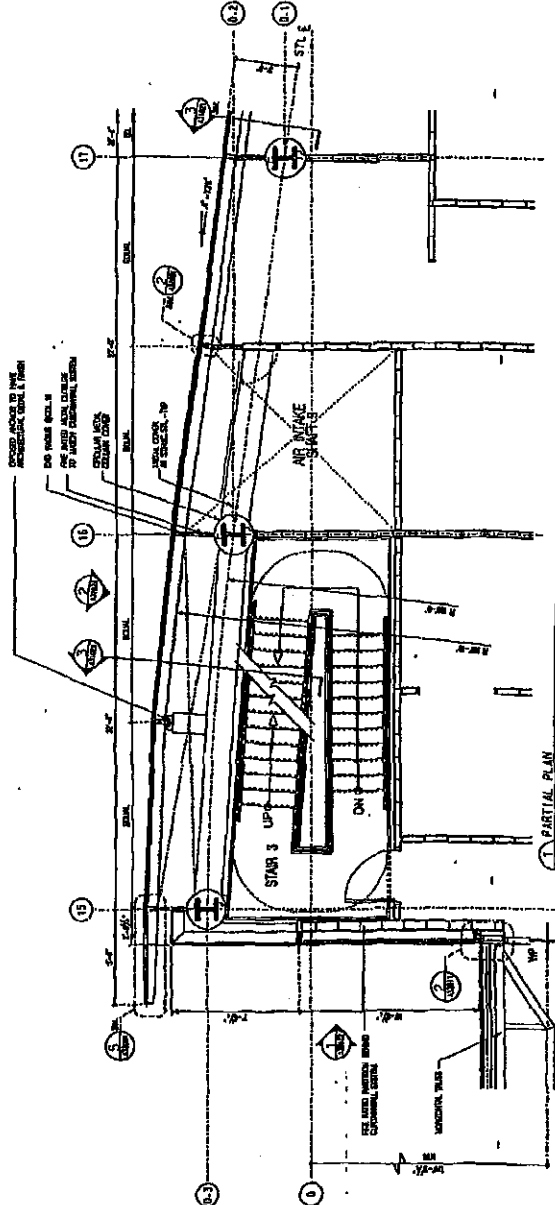
Merck & Co., Inc. 100 Spring Street, New York, NY 10012

Rosston Research Center
PARTIAL FLOOR PLAN MAIN SECTION
HEAD BLOCK SOUTHWEST CORNER

E-A31028-01



1 PARTIAL PLAN SCALE 1/4" = 1'-0"



2 PARTIAL PLAN SCALE 1/4" = 1'-0"

3 PARTIAL PLAN SCALE 1/4" = 1'-0"

King Lindquist

ARCHITECTS

A-31029



DATE: 10-1-74

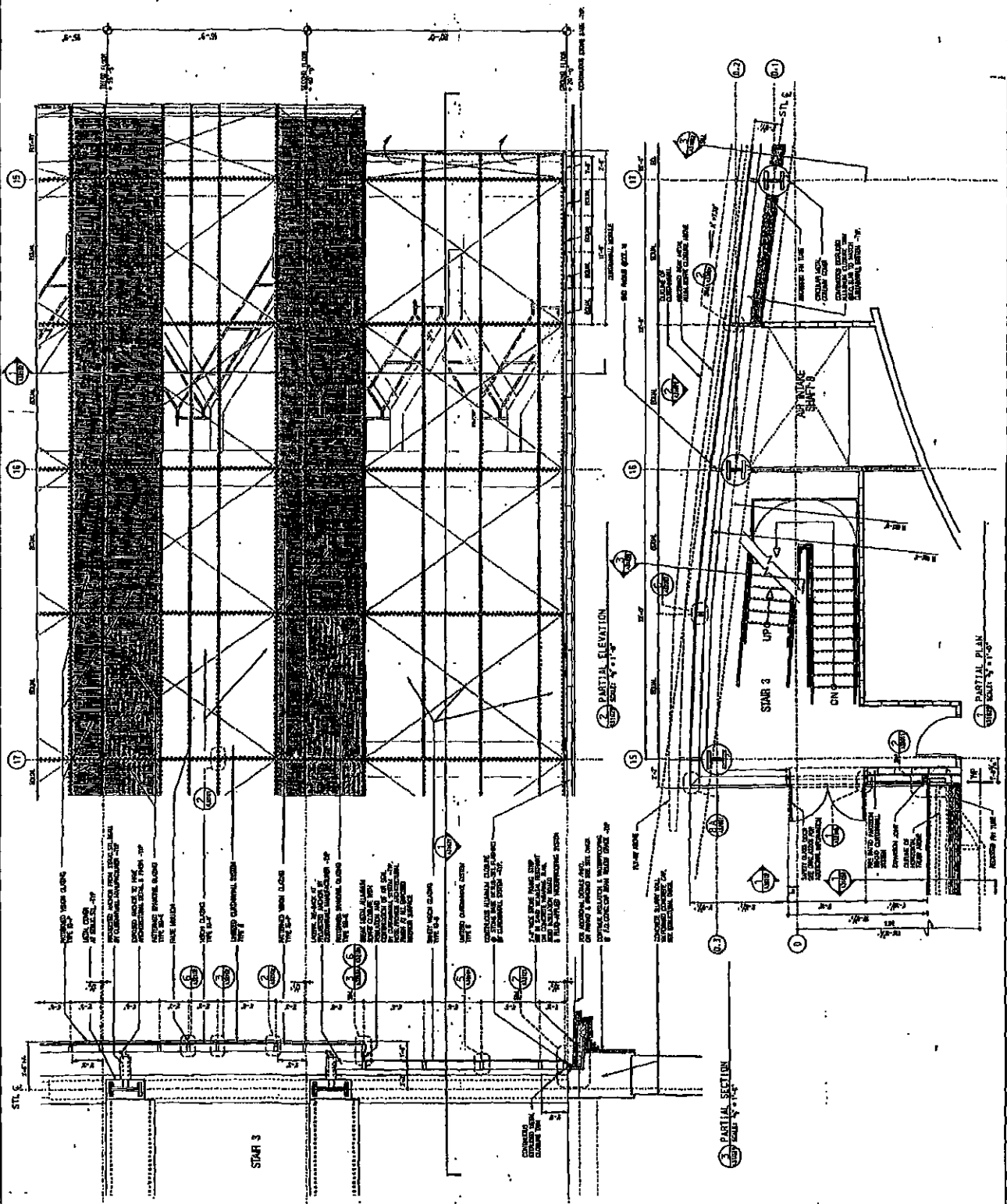


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Boston Research Center
PARTIAL PLANE EXTERIOR WALL SECTION
HEAD BLOCK, SOUTHEAST CORNER

E-A31029-01



Xing Lindquist

ARCHITECT
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

A-31031



DATE

PROJECT
BOSTON RESEARCH CENTER
NORTH ATRIUM EXCAVATION
SECTION AND PLAN

SCALE

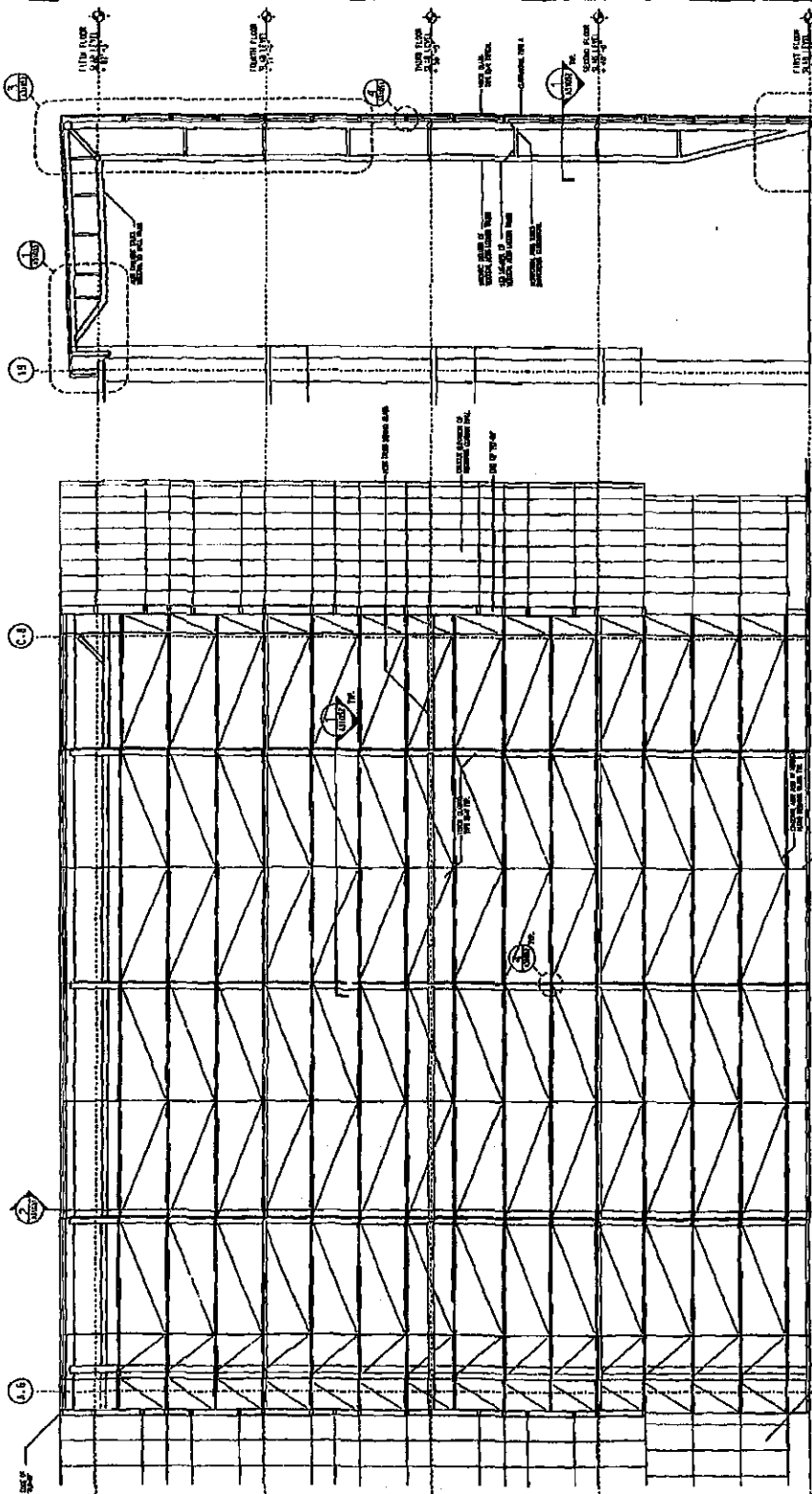


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REVISIONS
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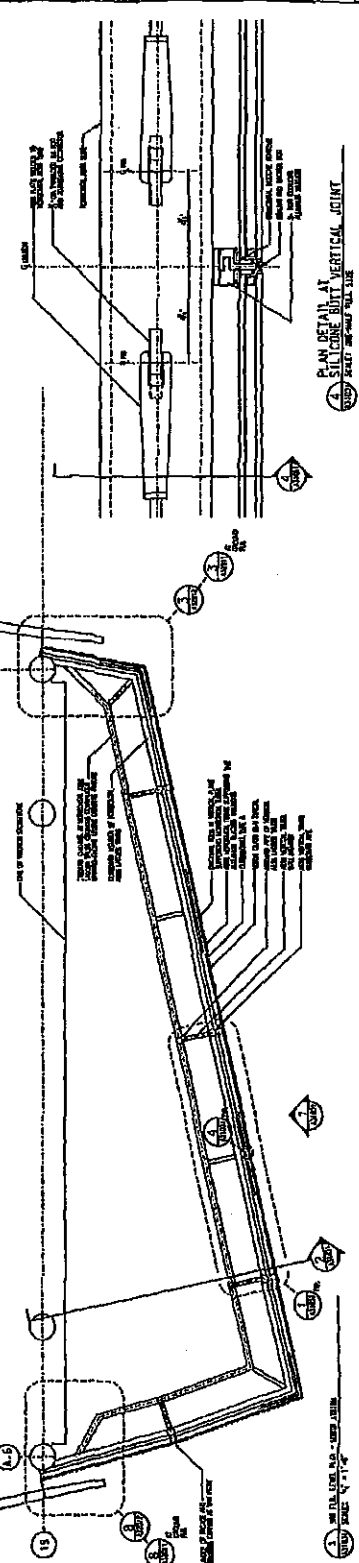
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BOSTON RESEARCH CENTER
NORTH ATRIUM EXCAVATION
SECTION AND PLAN
PROJECT NO. A-31031
DATE 10/1/82

E-31031-01
SECTION AND PLAN



SECTION - NORTH ATRIUM
SCALE 1/8" = 1'-0"

PARTIAL ELEVATION - NORTH ATRIUM
SCALE 1/8" = 1'-0"



PLAN DETAIL AT SILICONE BUTT VERTICAL JOINT
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SECTION - NORTH ATRIUM
SCALE 1/8" = 1'-0"

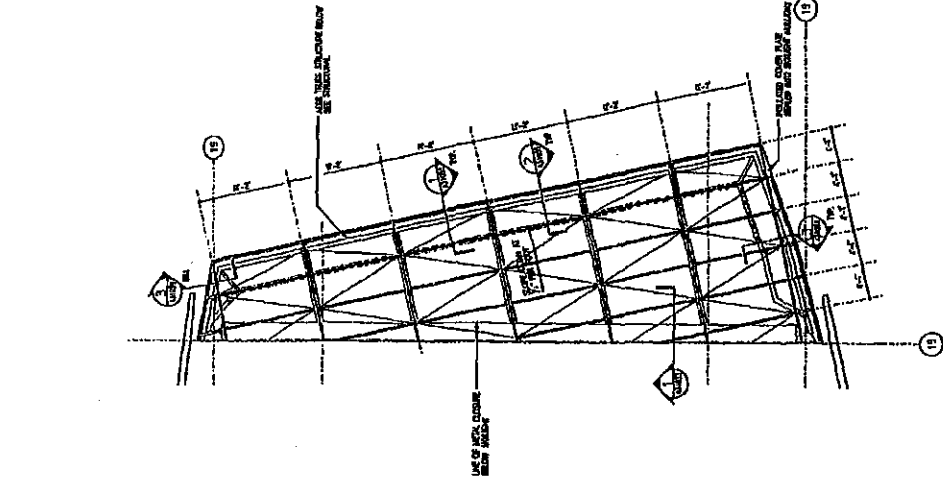
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100 STATE STREET
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A-31033

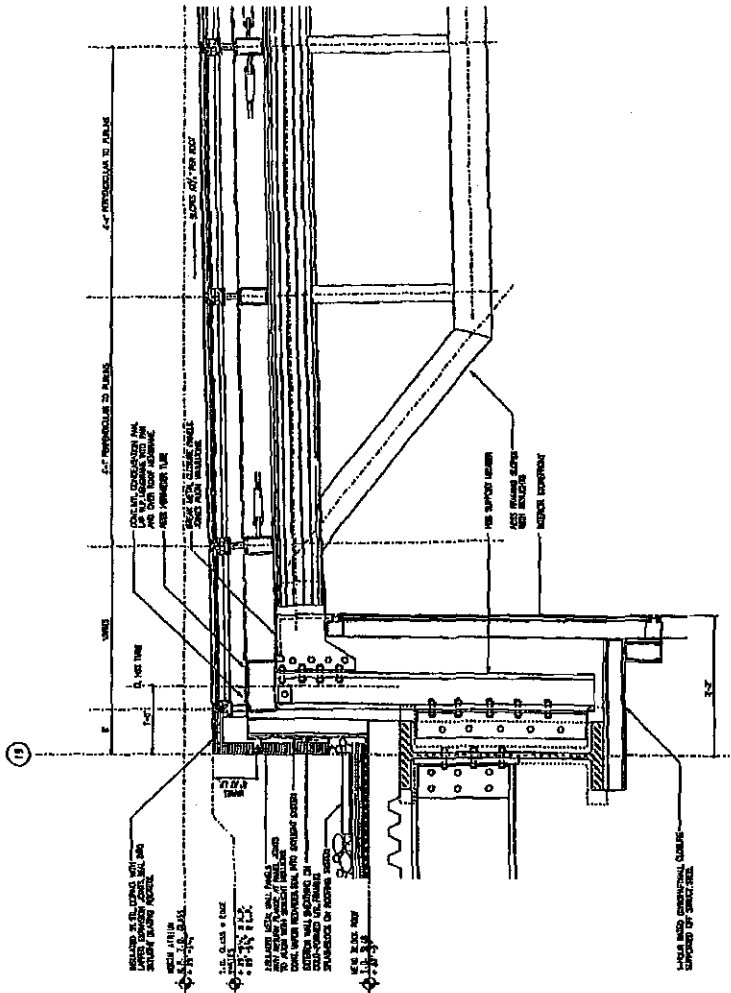


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PROJECT NO. E-A31033-01
DATE: 10/15/93
BY: [Signature]



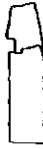
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NORTH ATRIUM SKYLIGHT
SCALE: 1/8\"/>



NORTH ATRIUM DETAIL
AT NEOSLOCK ROOF
SCALE: 1/4\"/>

Kling Lindquist
ARCHITECTS
1110 BROADWAY
NEW YORK, N.Y. 10019
TELEPHONE: 646-366-3300
FAX: 646-366-3301

Project: A-31035

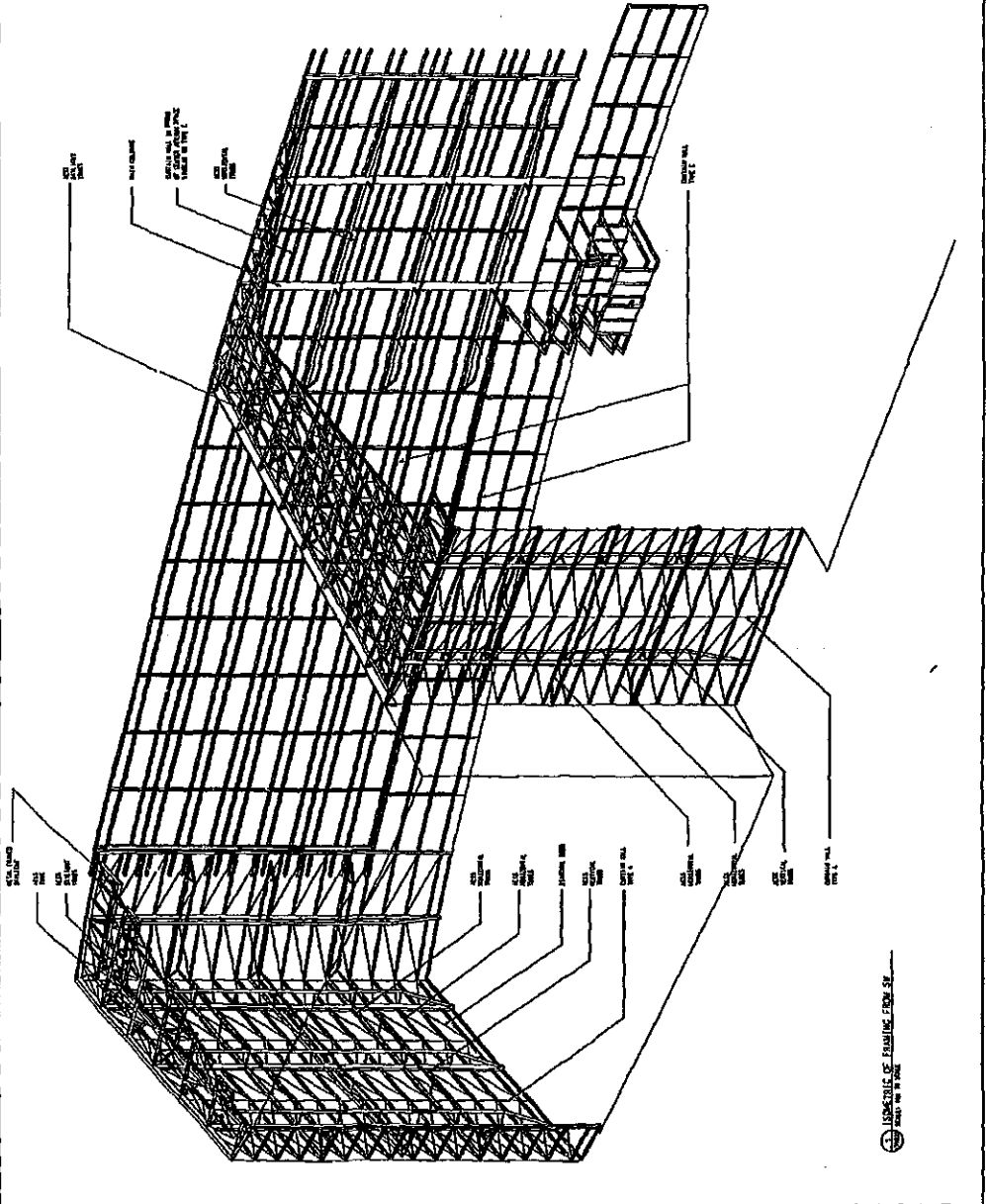


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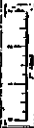


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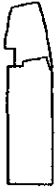
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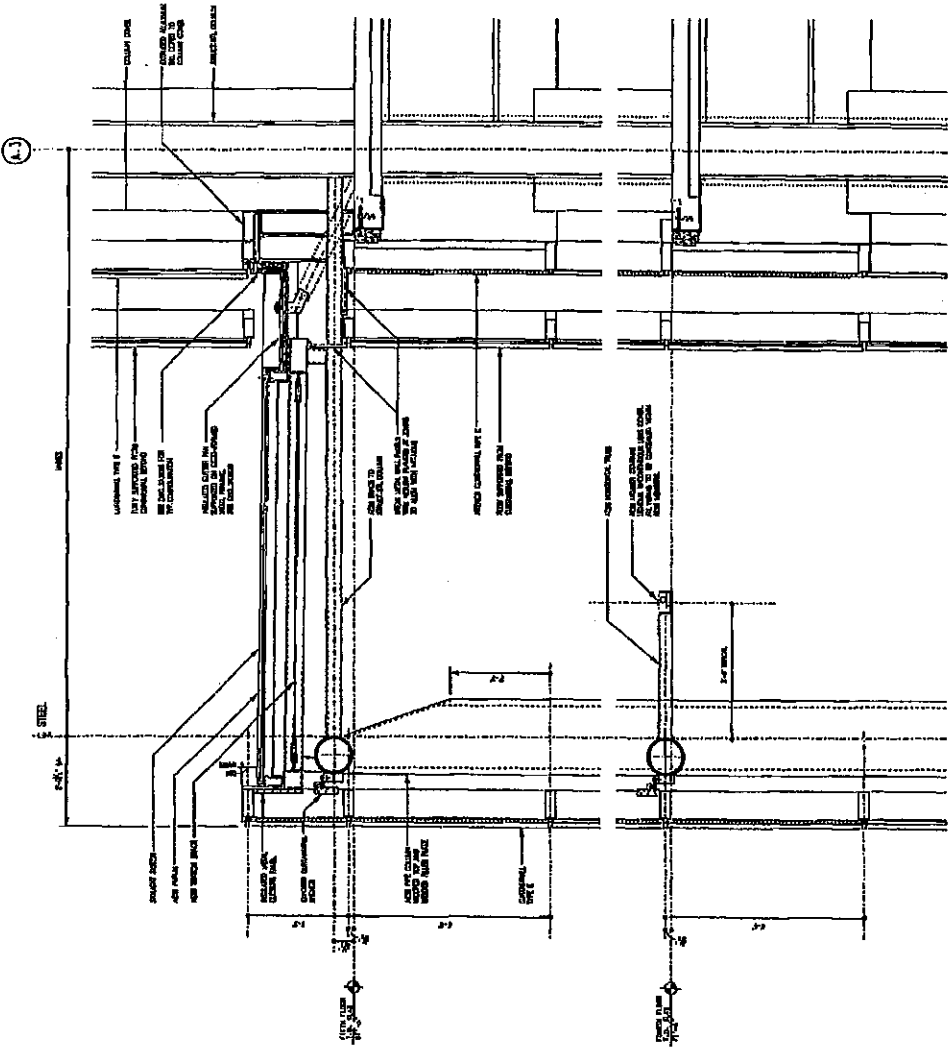
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 CONNECTING ATRIUM AREA
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100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TELEPHONE 552-2500
FACSIMILE 552-2501

PROJECT A-31037



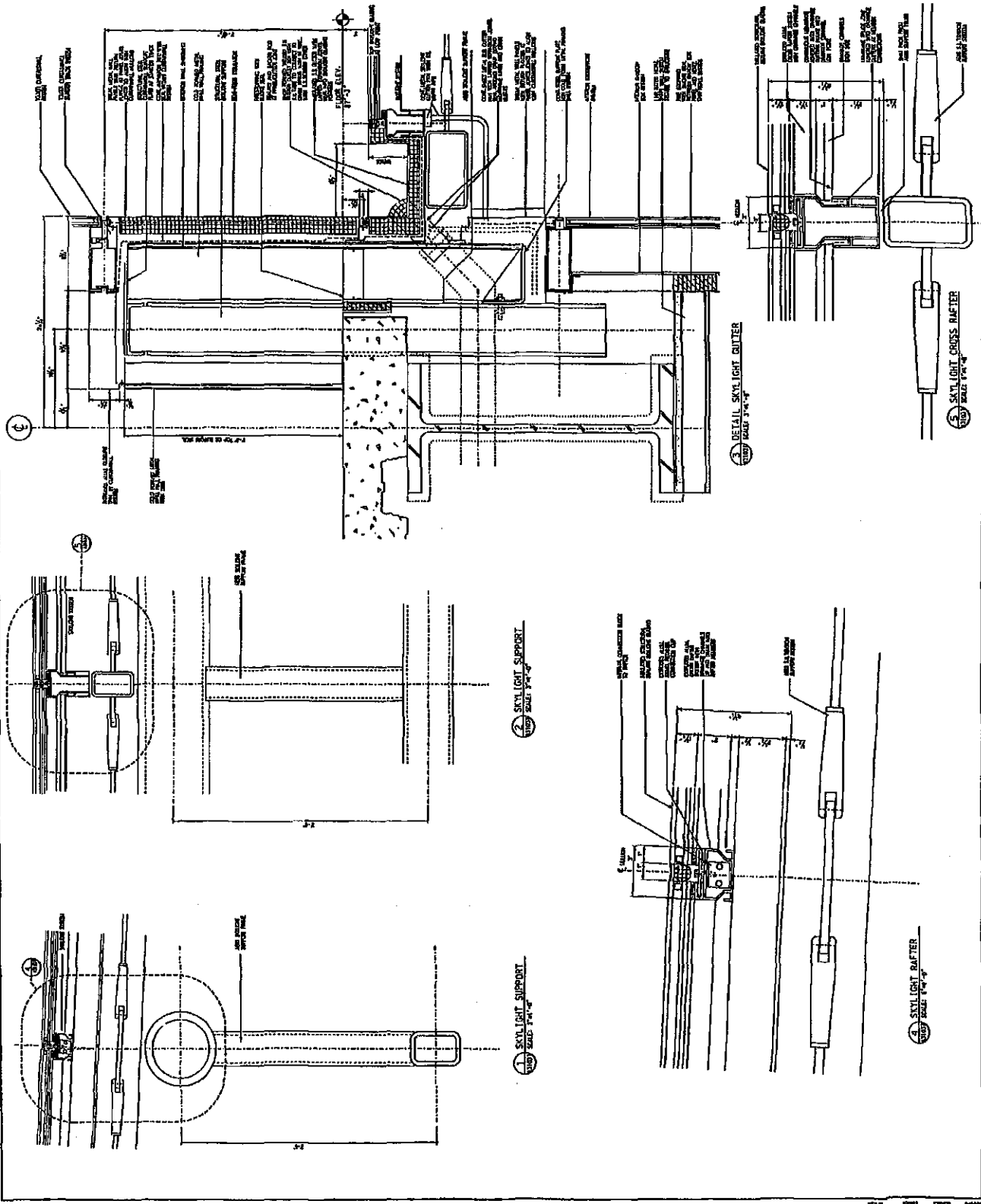
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E-A31037-01



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 02109

A-31038



NOTE

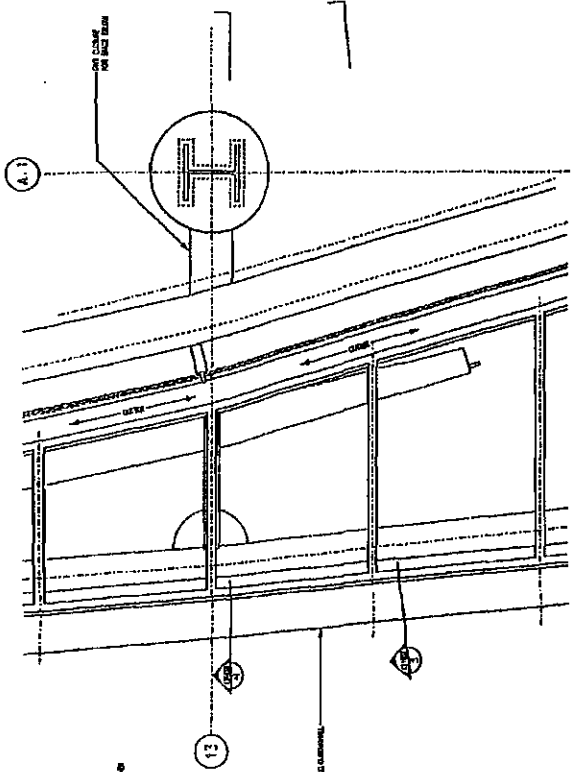
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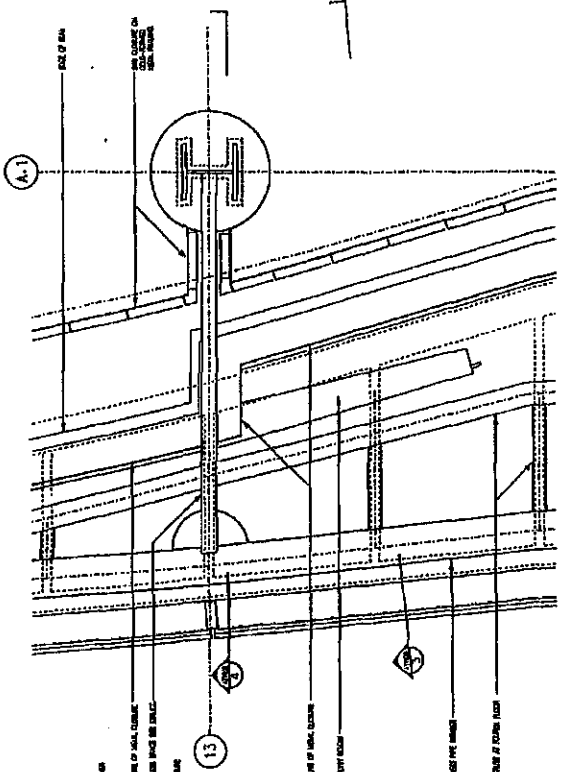
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 12540 BELLEVUE AVENUE
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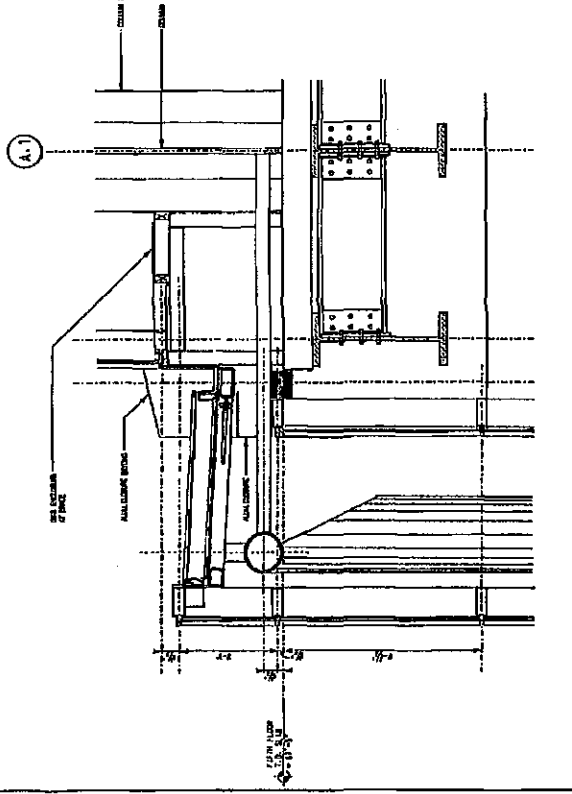
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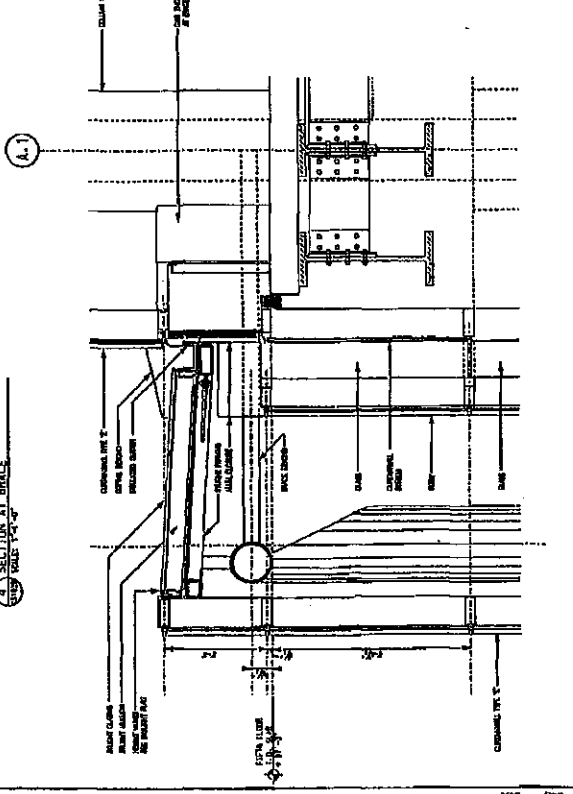
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PARTIAL PLAN
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SECTION AT EAVE
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SECTION AT EAVE
 SCALE 1/4" = 1'-0"

Kling Lindquist

A-31041



DATE: 11/11/03
BY: [Signature]

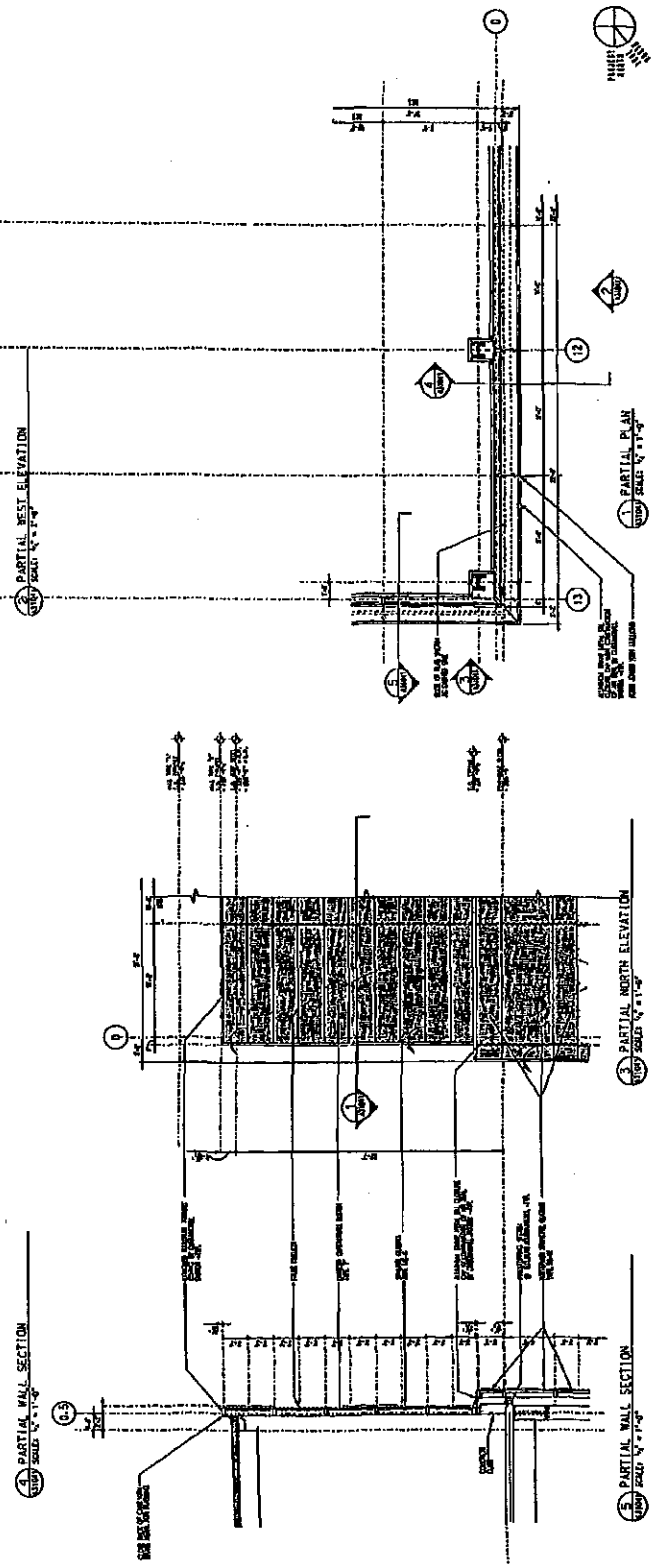
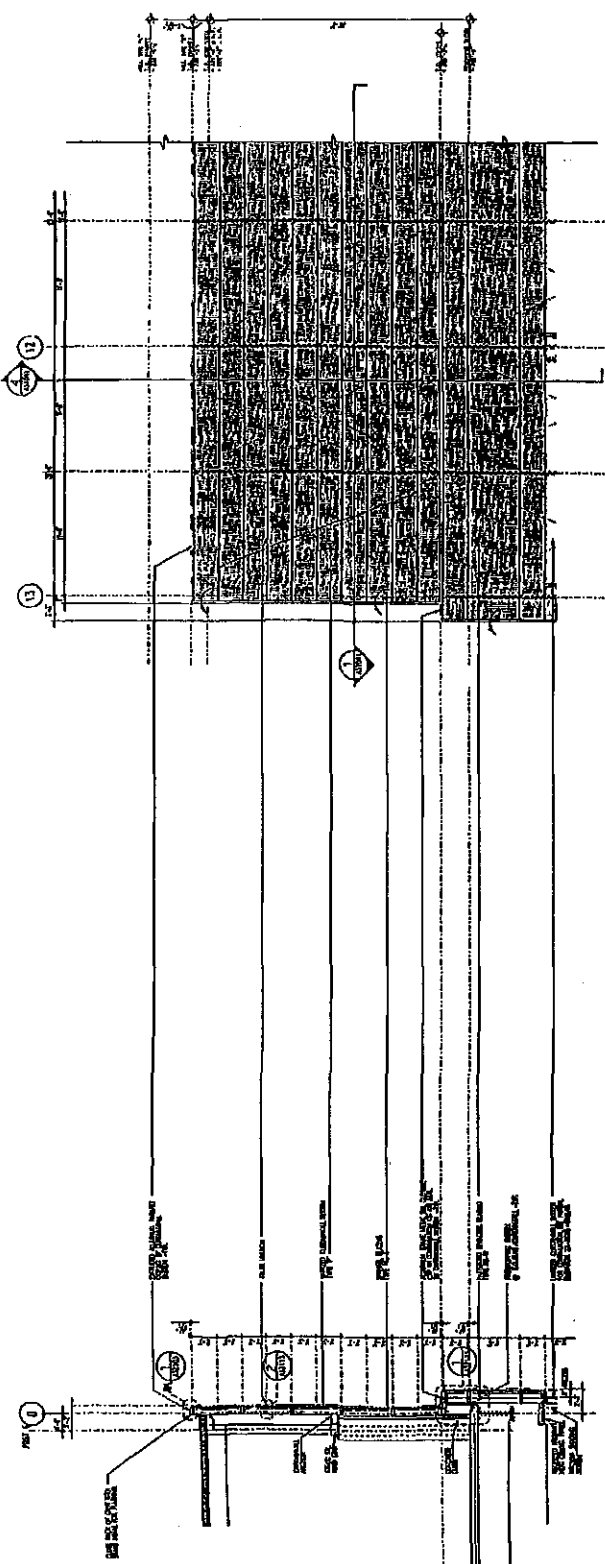


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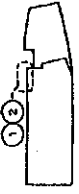
Boston Research Center
 PARTIAL MANUFACTURING WALL SECTION
 CURTAINWALL TYPE "P" - NORTHWEST CORNER

E-A31041-01



Kling Lindquist

A-31042



DATE

2001.09.11

SCALE



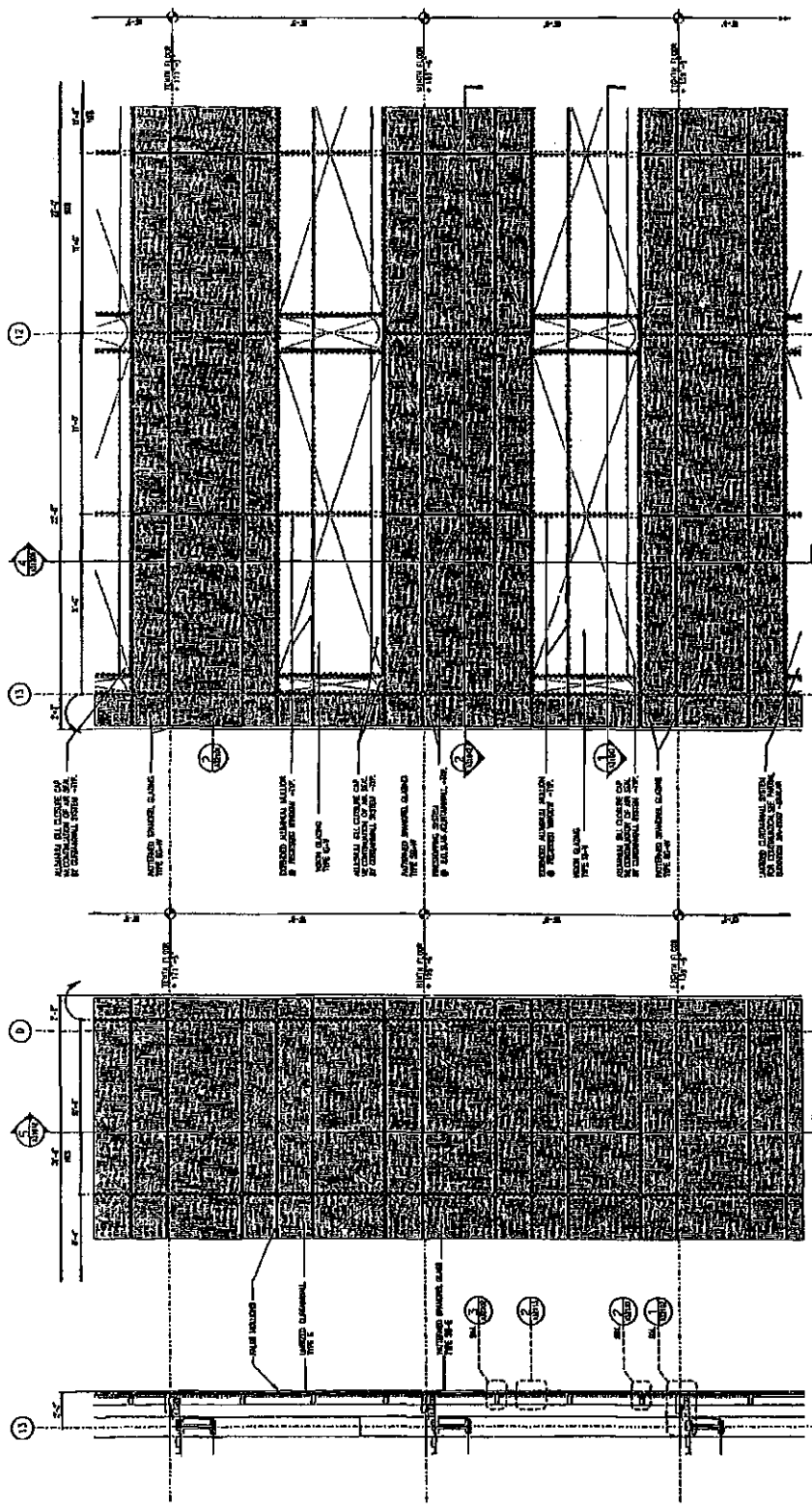
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MERCK

Boston Research Center
PARTIAL PLAN/WALL SECTION
NORTHWEST TOWER CORNER

E-A31042-01

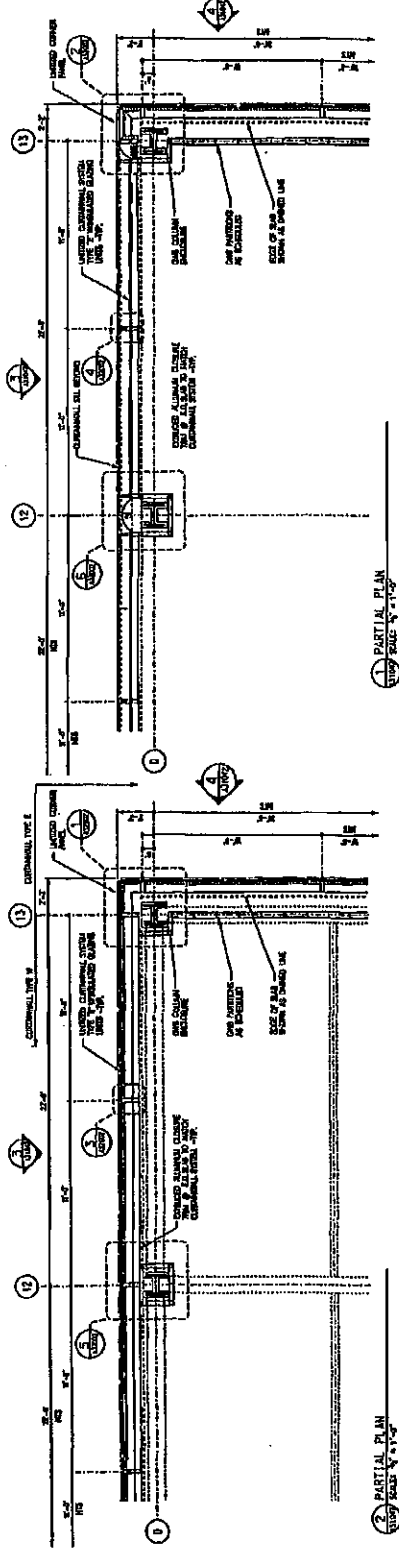
SCALE 1/4" = 1'-0"



PARTIAL ELEVATION
SCALE 1/4" = 1'-0"

PARTIAL ELEVATION
SCALE 1/4" = 1'-0"

PARTIAL PLAN
SCALE 1/4" = 1'-0"



PARTIAL PLAN
SCALE 1/4" = 1'-0"

PARTIAL ELEVATION
SCALE 1/4" = 1'-0"

PARTIAL ELEVATION
SCALE 1/4" = 1'-0"

PARTIAL PLAN
SCALE 1/4" = 1'-0"

PARTIAL PLAN
SCALE 1/4" = 1'-0"

Kling Lindquist
ARCHITECTS
200 BAY STREET
BOSTON, MASSACHUSETTS 02109

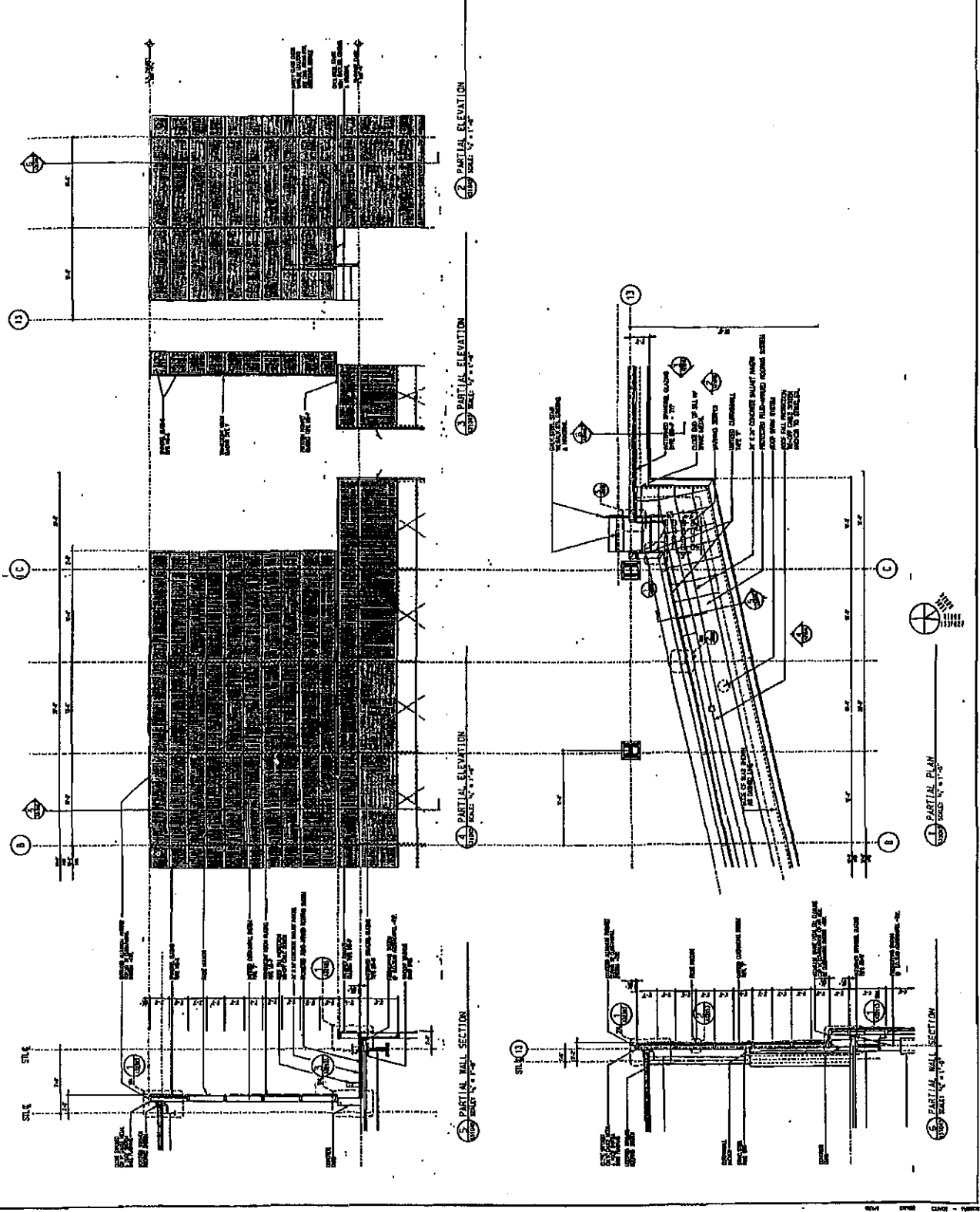
Project: **A-31045**



NO.	REVISION
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8	REVISED PER PLAN ROOM COMMENTS
9	REVISED PER PLAN ROOM COMMENTS
10	REVISED PER PLAN ROOM COMMENTS



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Boston Research Center
300 BAY STREET, SUITE 100
BOSTON, MASSACHUSETTS 02109
E-A31045-01



PARTIAL ELEVATION PARTIAL ELEVATION PARTIAL ELEVATION PARTIAL ELEVATION

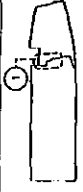
Kling Lindquist

ARCHITECTS

100 STATE STREET

BOSTON, MASSACHUSETTS 02109

A-31046



DATE

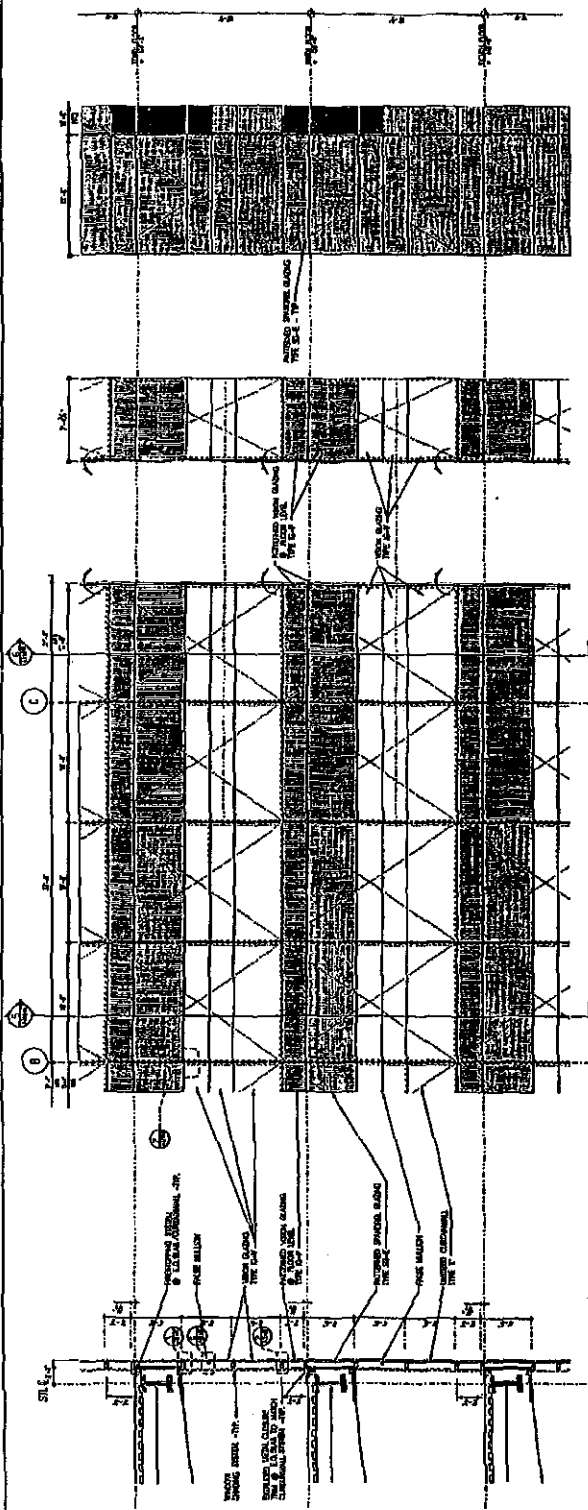
2-18-78

SCALE



NO.	DESCRIPTION	DATE
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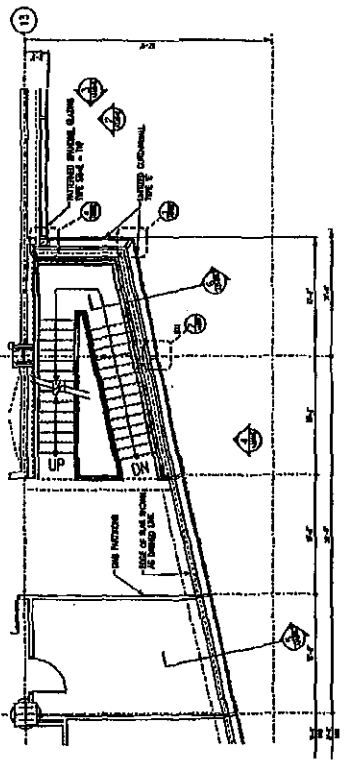
MBCK
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 PROJECT NO. A-31046
 DRAWING NO. E-A31046-01
 DATE: 2-18-78
 SCALE: AS SHOWN
 PROJECT: BOSTON RESEARCH CENTER
 ADDRESS: 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 ARCHITECT: MERCK ARCHITECTS
 PROJECT MANAGER: MERCK ARCHITECTS
 DRAWING TITLE: PARTIAL WALL SECTION
 DRAWING NO.: E-A31046-01
 DATE: 2-18-78
 SCALE: AS SHOWN



5. PARTIAL WALL SECTION
SCALE: 1/4" = 1'-0"

3. PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"

4. PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



11. PARTIAL PLAN
SCALE: 1/4" = 1'-0"



Kling Lindquist
ARCHITECTS
INCORPORATED
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TELEPHONE: 552-9534

A-31051



NOTE:
CONNECTION TO THE WALLS OF THE CONNECTING ATRIUM.

1/4" = 1'-0"

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DATE: 11-11-72

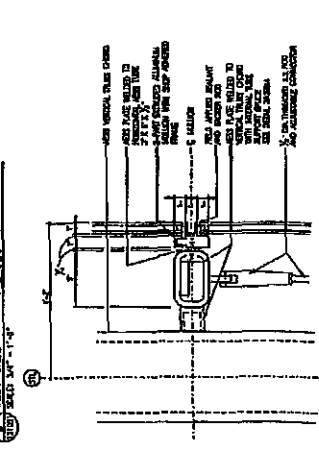
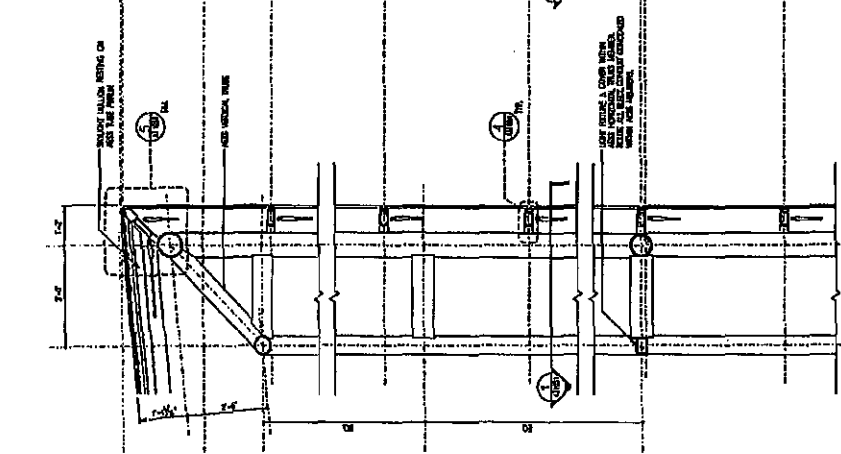
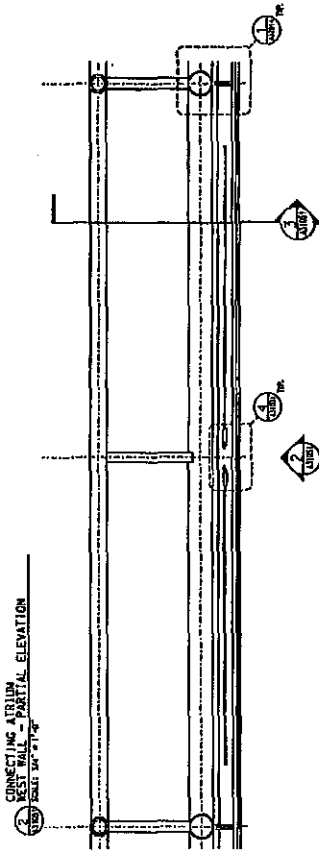
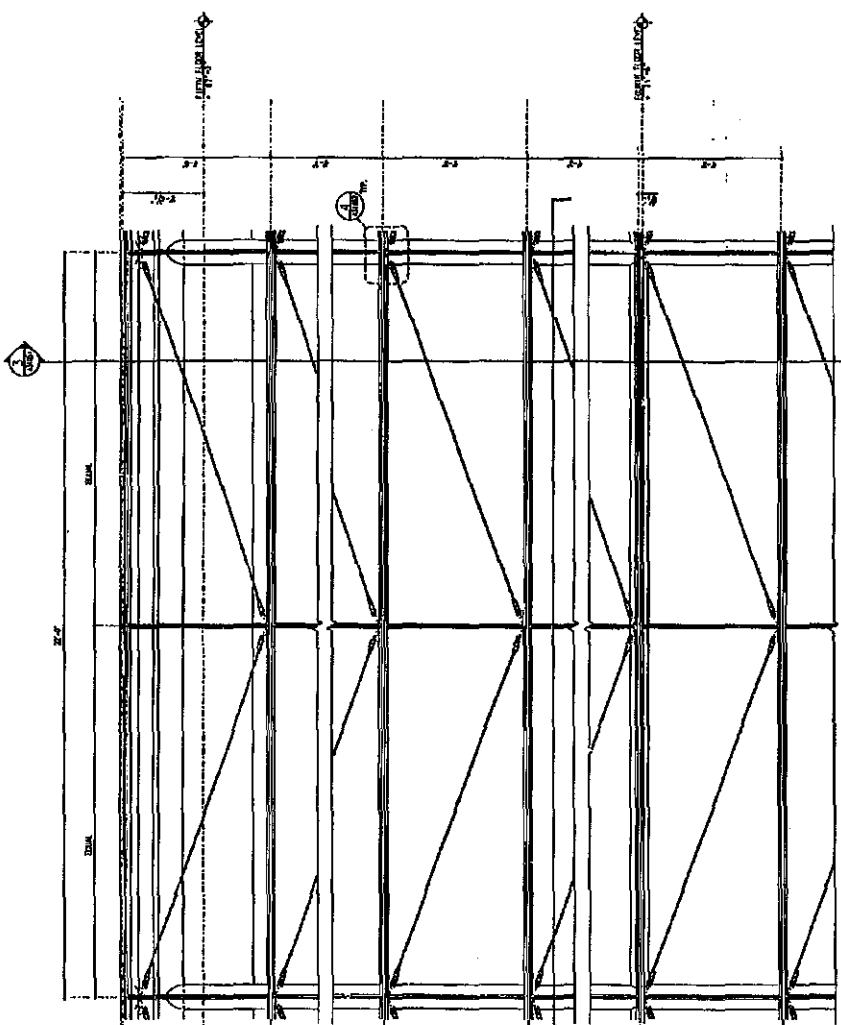
NO.	DATE	DESCRIPTION



DRY LINE, 10' TO 12' TO 14' TO 16' TO 18' TO 20' TO 22' TO 24' TO 26' TO 28' TO 30' TO 32' TO 34' TO 36' TO 38' TO 40' TO 42' TO 44' TO 46' TO 48' TO 50' TO 52' TO 54' TO 56' TO 58' TO 60' TO 62' TO 64' TO 66' TO 68' TO 70' TO 72' TO 74' TO 76' TO 78' TO 80' TO 82' TO 84' TO 86' TO 88' TO 90' TO 92' TO 94' TO 96' TO 98' TO 100'

Boston Research Center
AMERICAN PATHWAY SECTION
CONNECTING ATRIUM - WEST WALL

E-A31051-01



Kling Lindquist

Project: A-31052



DATE: 1/28/88

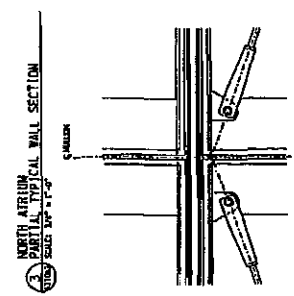
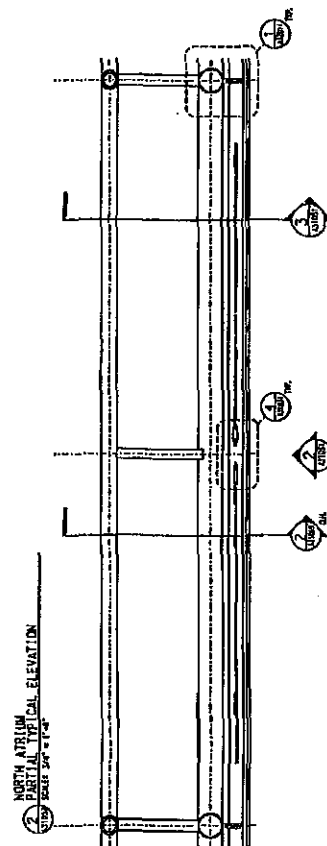
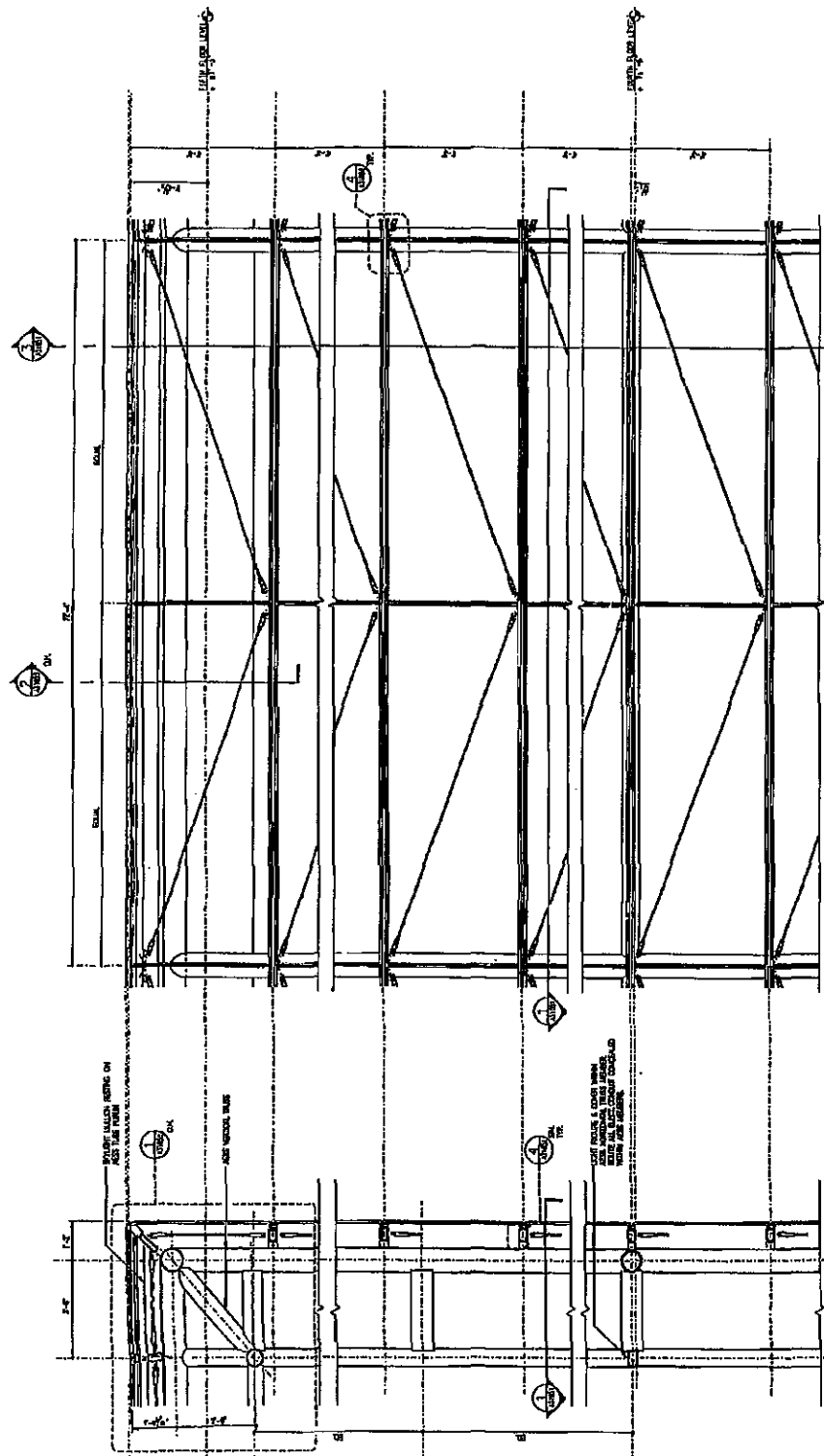


NO.	DESCRIPTION	DATE
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6	ISSUED FOR REVISION	1/28/88
7	ISSUED FOR CORRECTION	1/28/88
8	ISSUED FOR MODIFICATION	1/28/88
9	ISSUED FOR AMENDMENT	1/28/88
10	ISSUED FOR CANCELLATION	1/28/88

MERCK

Boston Research Center
PARTIAL PLAN, ELEVATION, WALL SECTION
NORTH ATRIUM SOUTH WALL

E-A31052-01

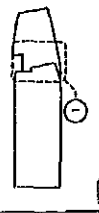


NORTH ATRIUM
PARTIAL TYPICAL PLAN
SCALE 3/8" = 1'-0"

NORTH ATRIUM
PARTIAL TYPICAL CONNECTION AT HORIZONTAL TUBE
SCALE 3/8" = 1'-0"

Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TELEPHONE: 617-552-3300
FACSIMILE: 617-552-3301

A-31055



DATE: 2/18/88
BY: [Signature]

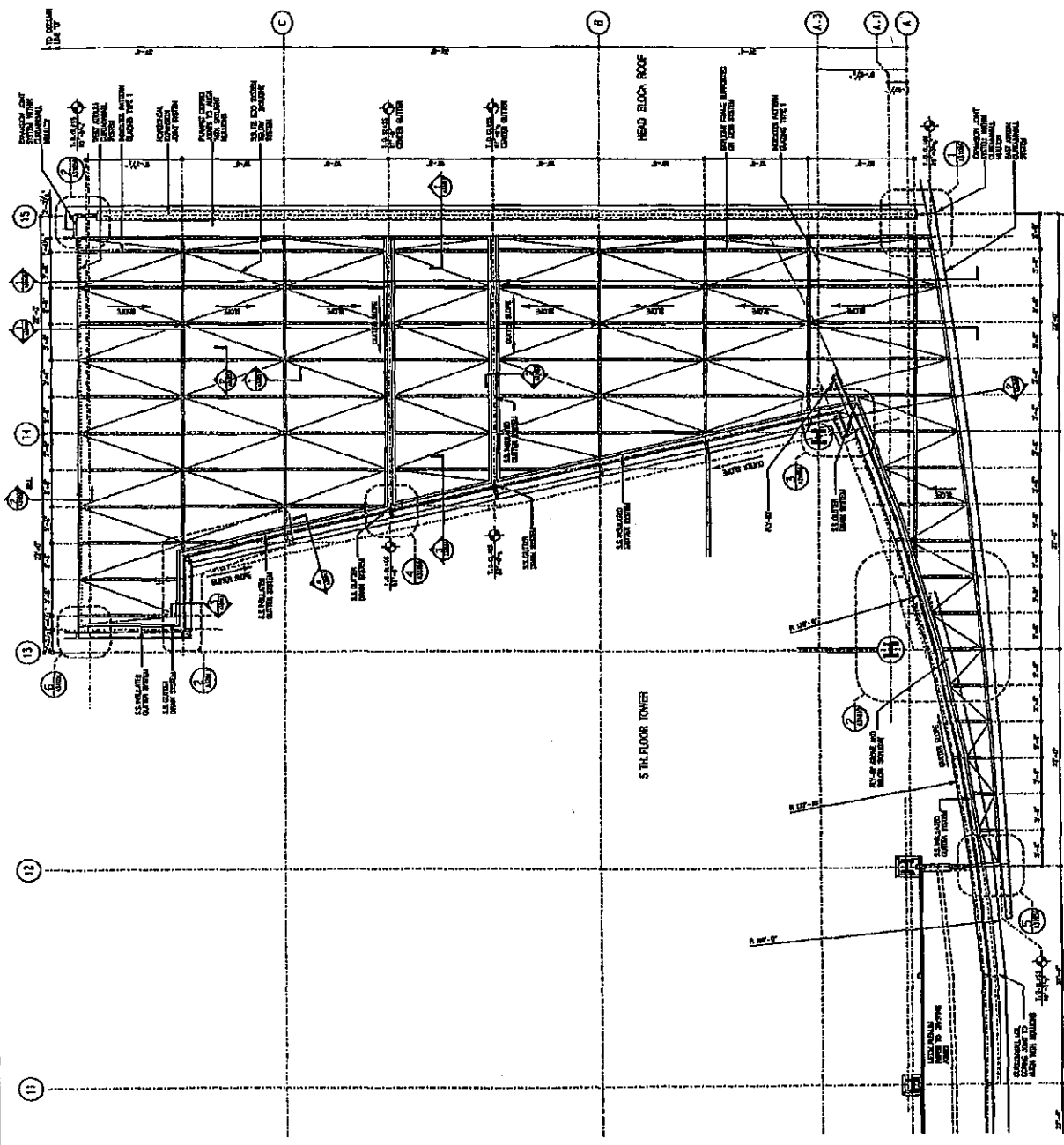


NO.	DESCRIPTION	DATE
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200 EAST 14TH STREET
NEW YORK, N.Y. 10003
TELEPHONE: 212-633-3000
FACSIMILE: 212-633-3001

Boston Research Center
PARTIAL PLANNING DETAILS
EAST TOWER SKYLIGHT ROOF
DATE: 2/18/88
BY: [Signature]

E-A31055-01



1 PARTIAL PLAN
SCALE: 1/4" = 1'-0"

Kling Lindquist

A-31056

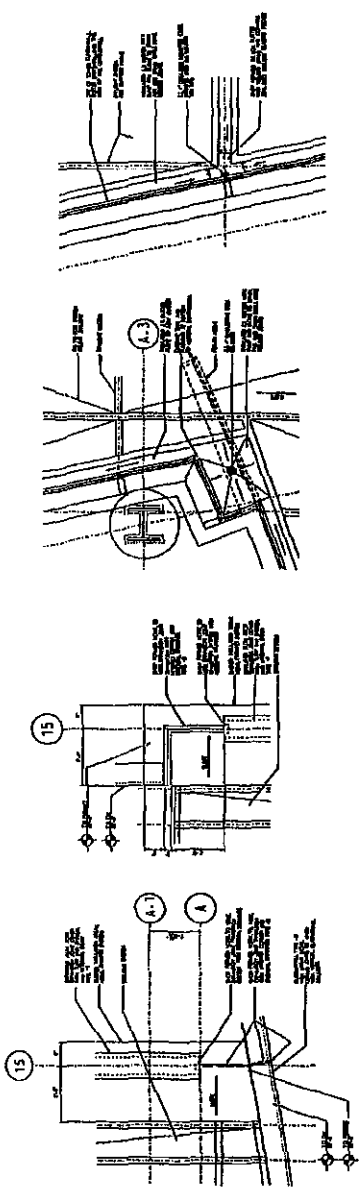


DATE: 1/11/84
BY: [Signature]



NO.	DATE	DESCRIPTION
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NERCK
 Boston Research Center
 ATTORNEY GENERAL'S OFFICE
 E-A31056-01

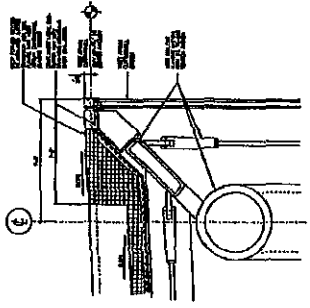


PLAN SECTION
SECTION 12-12

PLAN SECTION
SECTION 13-13

PLAN SECTION
SECTION 14-14

PLAN SECTION
SECTION 15-15



SECTION 12-12
SECTION 13-13

SECTION 14-14

SECTION 15-15



King Lindquist

A-31057



1843 N. ST.
BOSTON, MASS. 02112

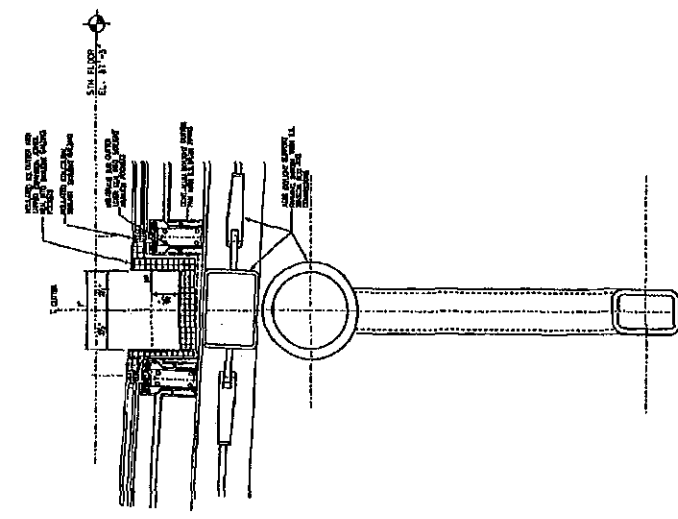


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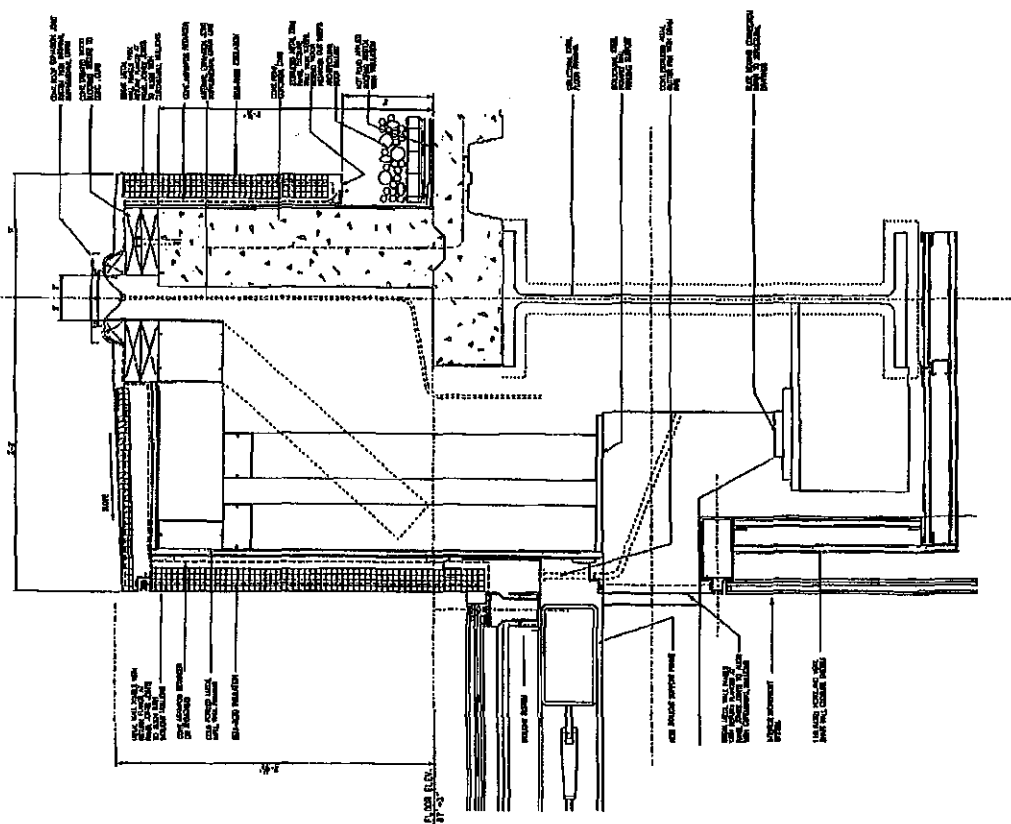
Merck
30 STATE STREET, 2ND FLOOR
BOSTON, MASS. 02112
TEL: (617) 552-3400
FAX: (617) 552-3401
www.merck.com

DATE: 20 APR 01
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

Boston Research Center
AIRRAIL SUPPORT DETAILS
E-A31057-01



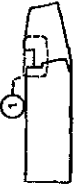
SKYLIGHT SUPPORT
AT CHILTRN
SCALE 3/16" = 1'-0"



SKYLIGHT SUPPORT
AT EXPANSION JOINT
SCALE 3/16" = 1'-0"

Kling Lindquist

A-31058



100% COMPLETE
REVISED
DATE: 11/15/88
DRAWN BY: [Signature]

DATE: 11/15/88
DRAWN BY: [Signature]



NO.	DESCRIPTION	DATE
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MERCK

Boston Research Center
PARTIAL PLAN/SECTION/PARTIAL
WEST ATRIUM BRIDGE PANELS

E-A31058-01

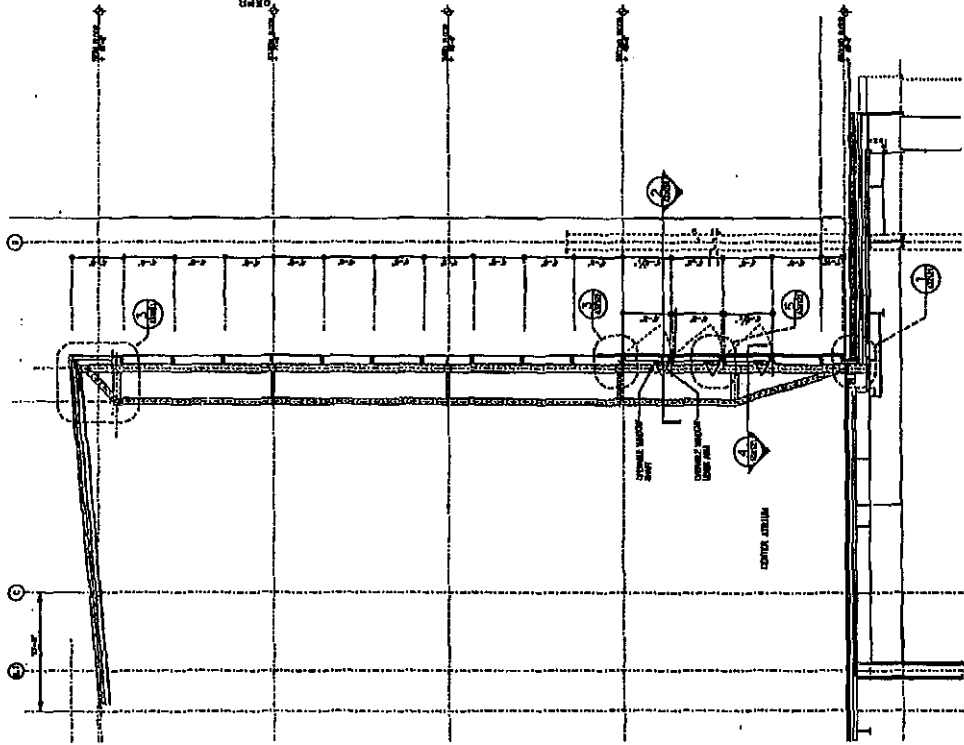
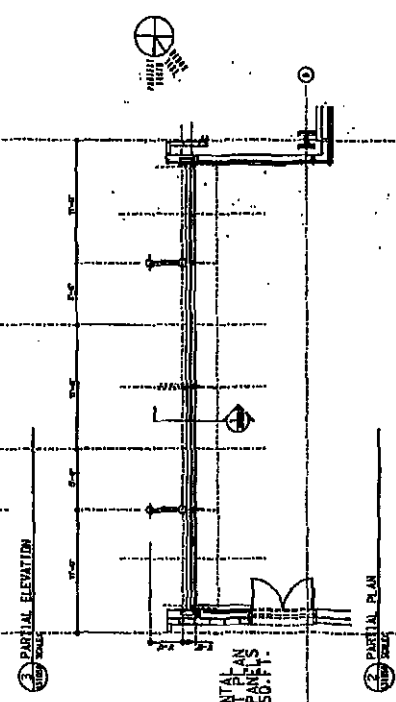
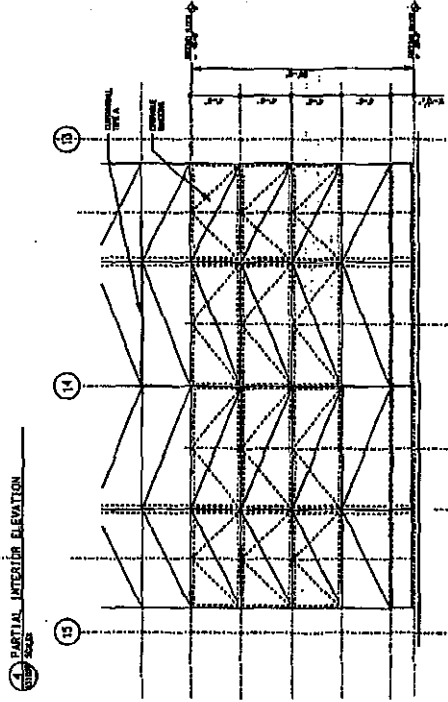
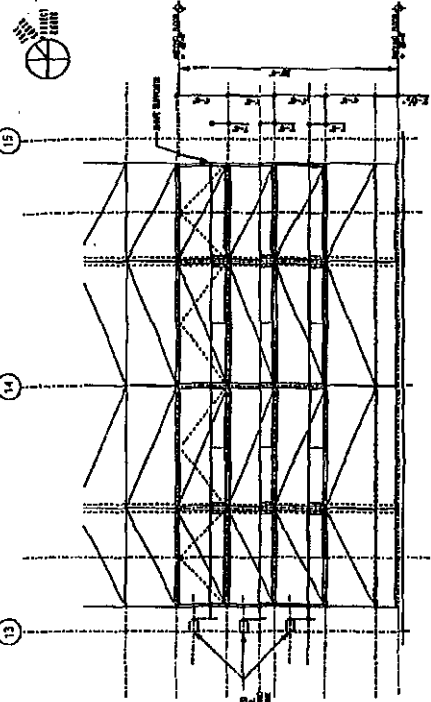
1 PARTIAL INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

2 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"

3 PARTIAL PLAN
SCALE: 1/4" = 1'-0"

4 PARTIAL SECTION
SCALE: 1/4" = 1'-0"

HORIZONTAL PLAN
SHOWS PANEL'S
53'-0" x 50'-0" AREA



Kling Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109

A-31059



SCALE

DATE: 11/11/81
 DRAWN BY: [Signature]



NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	11/11/81
3	ISSUED FOR RECORD	11/11/81
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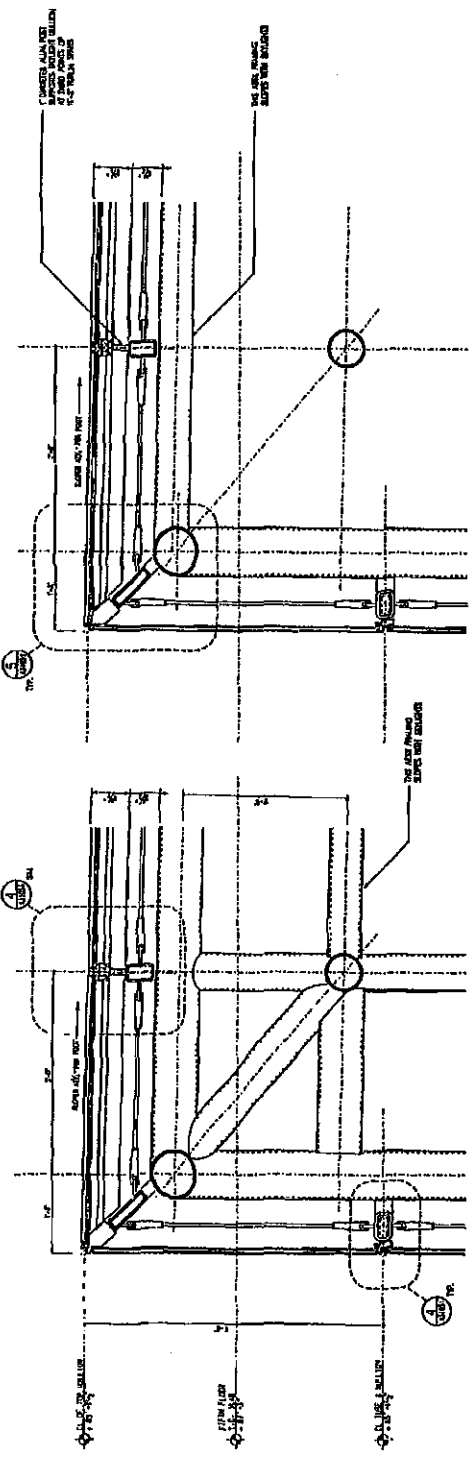
BY: [Signature]
 DATE: 11/11/81



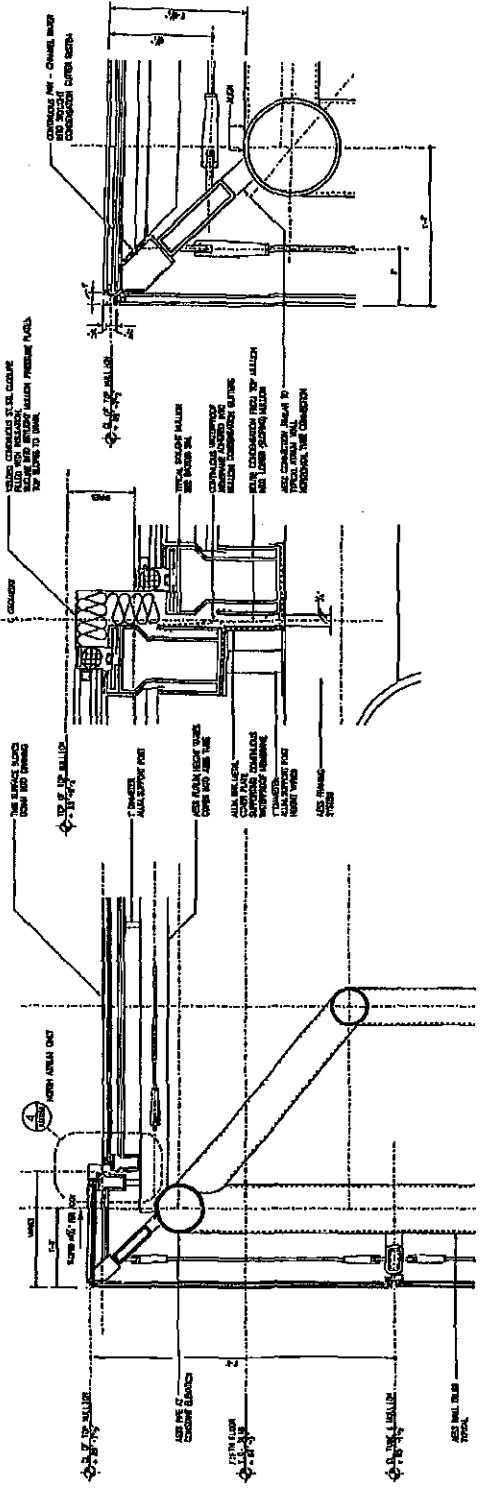
100 STATE STREET
 BOSTON, MASSACHUSETTS 02109

Boston Research Center
 ARCHITECT: KLING LINDQUIST AND ASSOCIATES

E-A31059-01



DETAIL AT INTERSECTION OF CURTAIN WALL TYPE A & SKYLIGHT AT TRUSS
 SCALE: 1/4" = 1'-0"



DETAIL AT INTERSECTION OF CURTAIN WALL TYPE A & SKYLIGHT AT PIPE
 SCALE: 1/4" = 1'-0"

DETAIL AT INTERSECTION OF CURTAIN WALL TYPE A & SKYLIGHT NORTH ATRIUM
 SCALE: 1/4" = 1'-0"

DETAIL AT SKYLIGHT TRANSITION NORTH ATRIUM
 SCALE: 1/4" = 1'-0"

DETAIL AT EDGE WALL
 SCALE: 1/4" = 1'-0"

Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TEL: 617-552-3300

A-31061



DATE: 10/15/81
BY: [Signature]

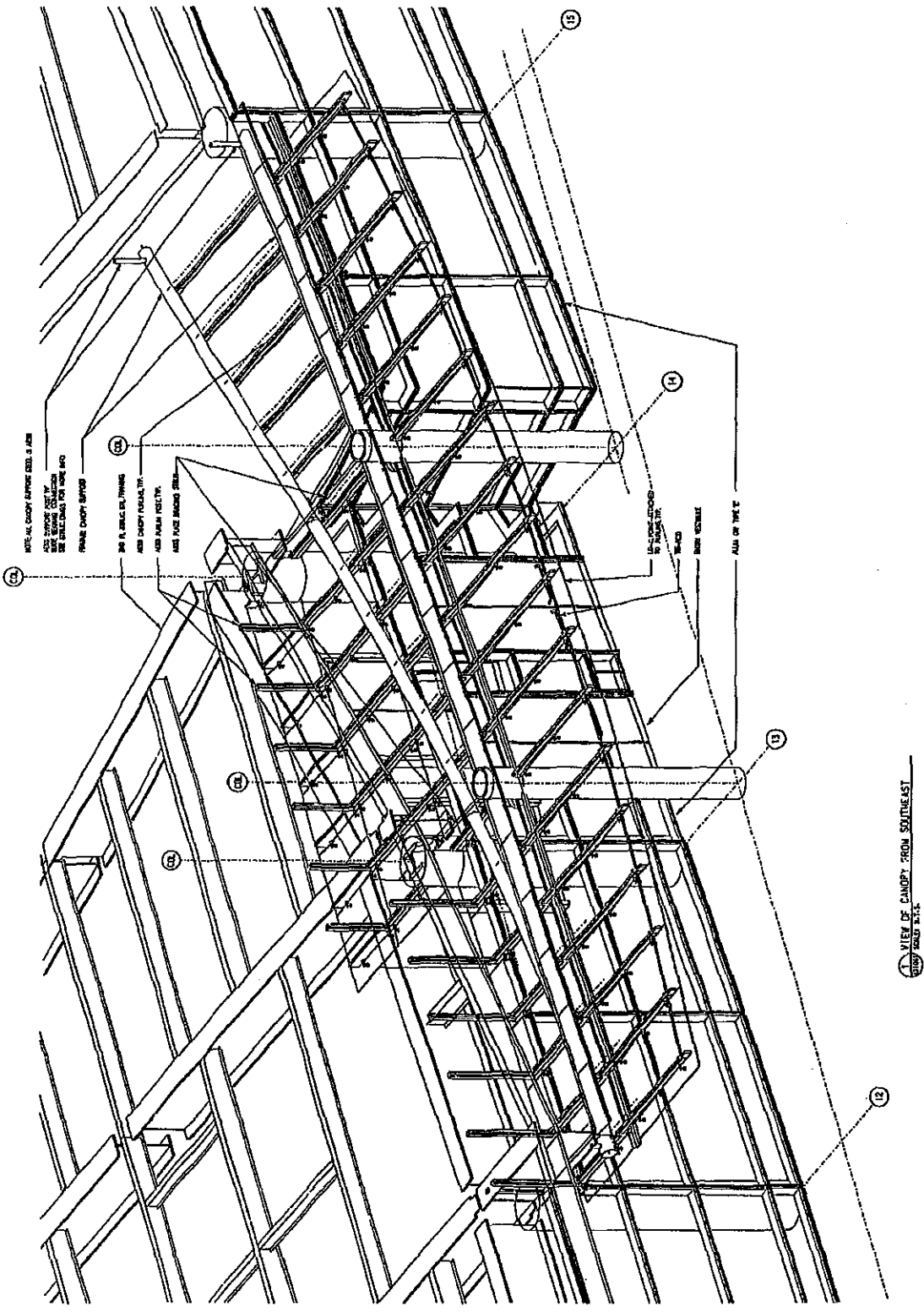


NO.	DESCRIPTION	DATE
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MERCK
300 SOUTH ST. NEWTON, MASS. 02459
TEL: 617-552-3300

Boston Research Center
ENTRY CANOPY & VESTIBULE
NEWTON, MASS.

E-A31061-01



VIEW OF CANOPY FROM SOUTHEAST

Kling Lindquist
 ARCHITECTS
 400 STATE STREET
 BOSTON, MASSACHUSETTS 02109

PROJECT
A-31062

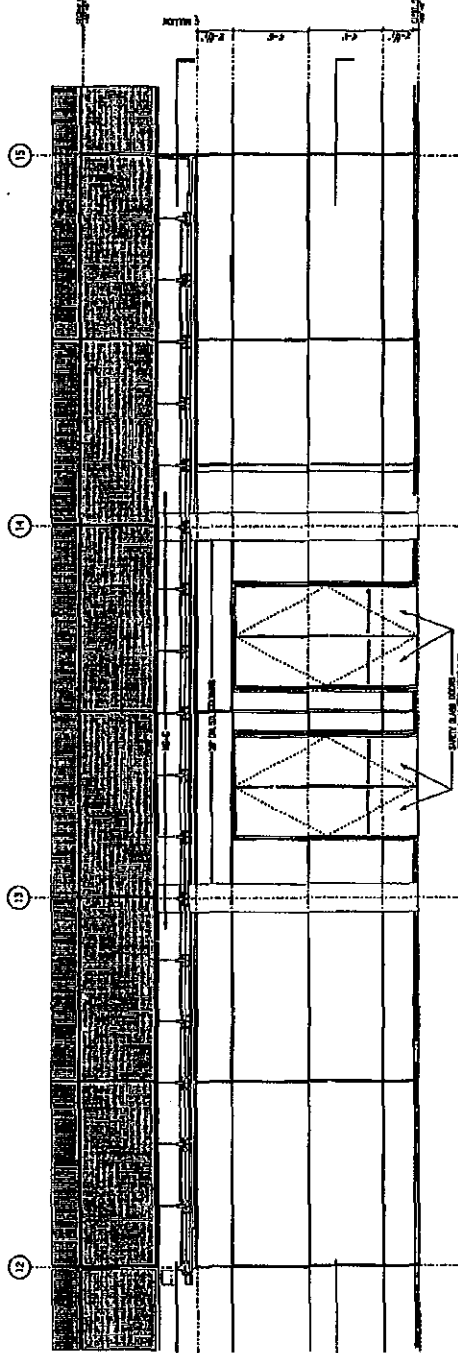
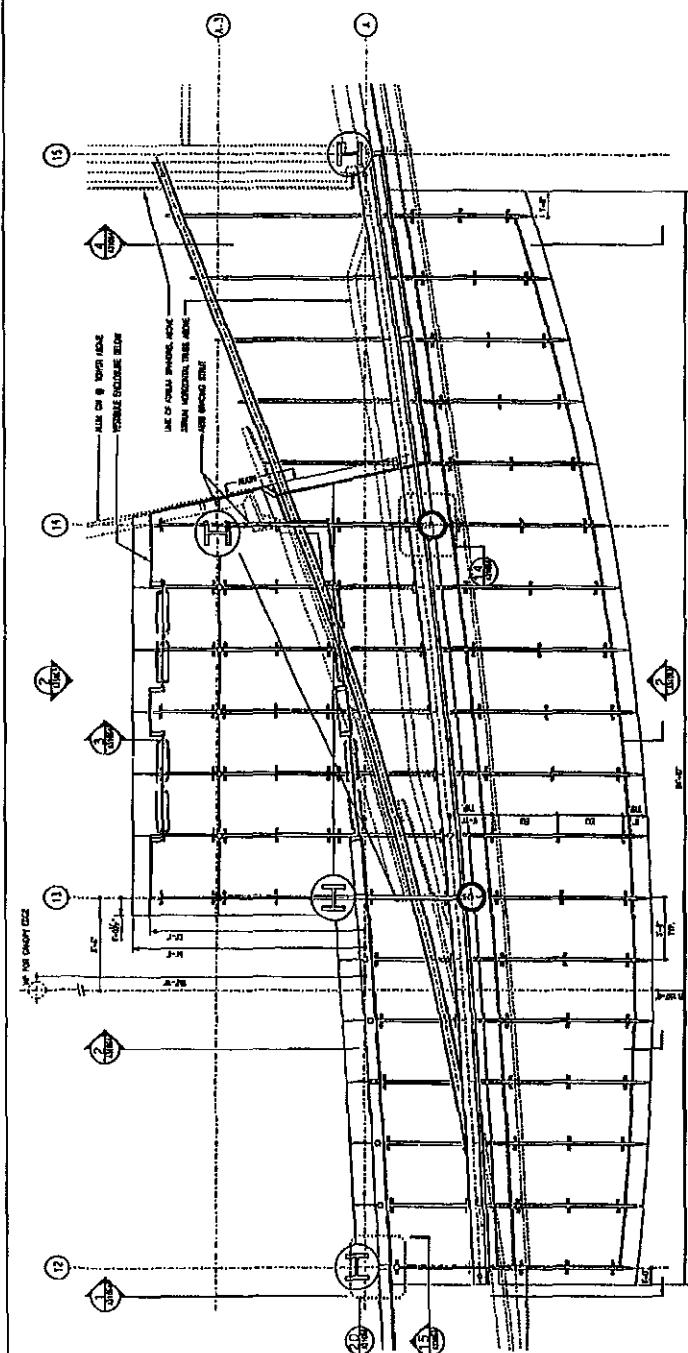


CLIENT
Merck & Co., Inc.
 333 ZEEB ROAD
 WEST POINT, NEW YORK 10994
 ARCHITECT
Kling Lindquist
 400 STATE STREET
 BOSTON, MASSACHUSETTS 02109
E-A31062-01



DATE
 12/18/78
 DRAWN BY
 J.W.M.

NO.	DATE	DESCRIPTION



2. CANOPY EAST ELEVATION
 SCALE: 1/8" = 1'-0"

King Lindquist

A-31063



DATE: 2/10/63



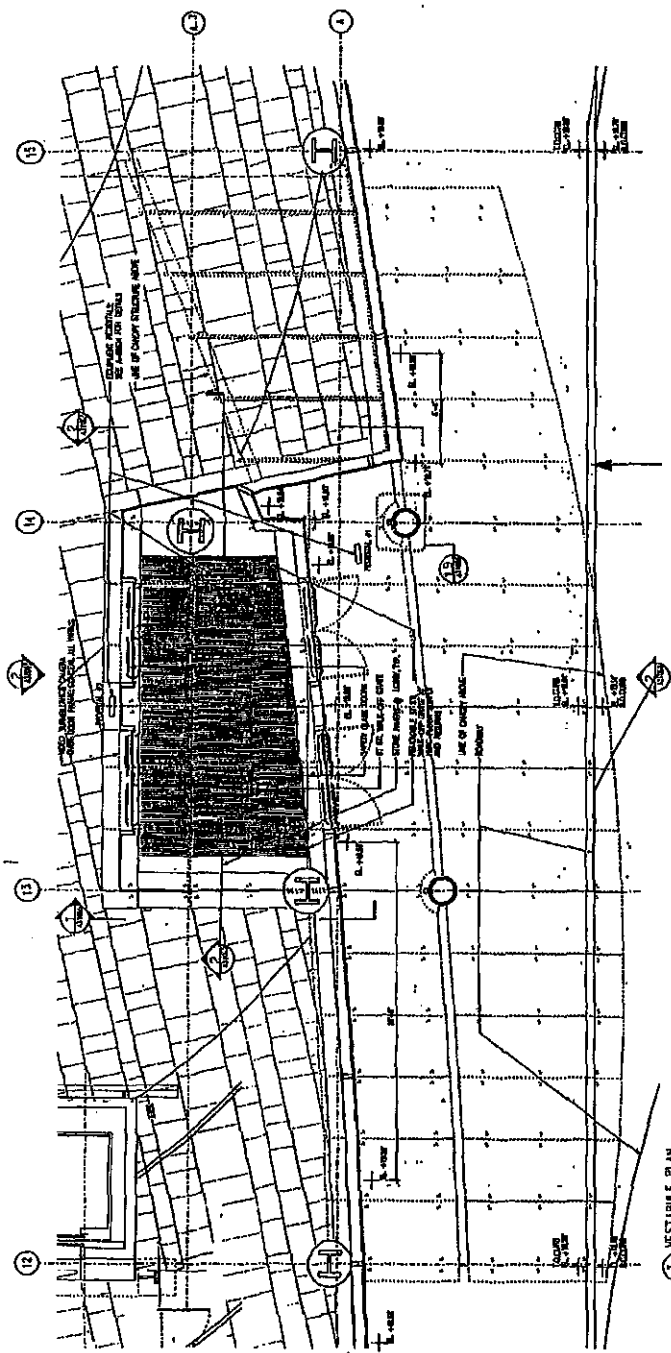
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MERCK

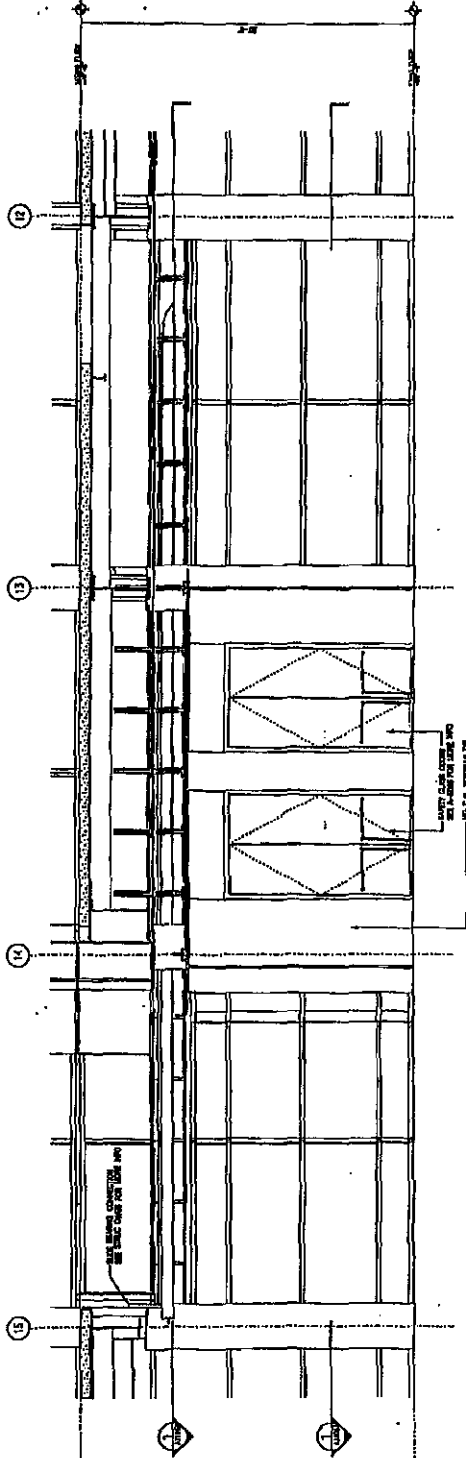
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Boston Research Center
ENTRY CANOPY & VESTIBULE
PLAN & WEST ELEVATION

E-A31063-01



1. VESTIBULE PLAN
SCALE: 1/8" = 1'-0"



2. CANOPY / VESTIBULE WEST ELEVATION
SCALE: 1/8" = 1'-0"

King Lindquist

ARCHITECTS

A-31065



NOTES:

DATE: 11/11/83

SCALE:



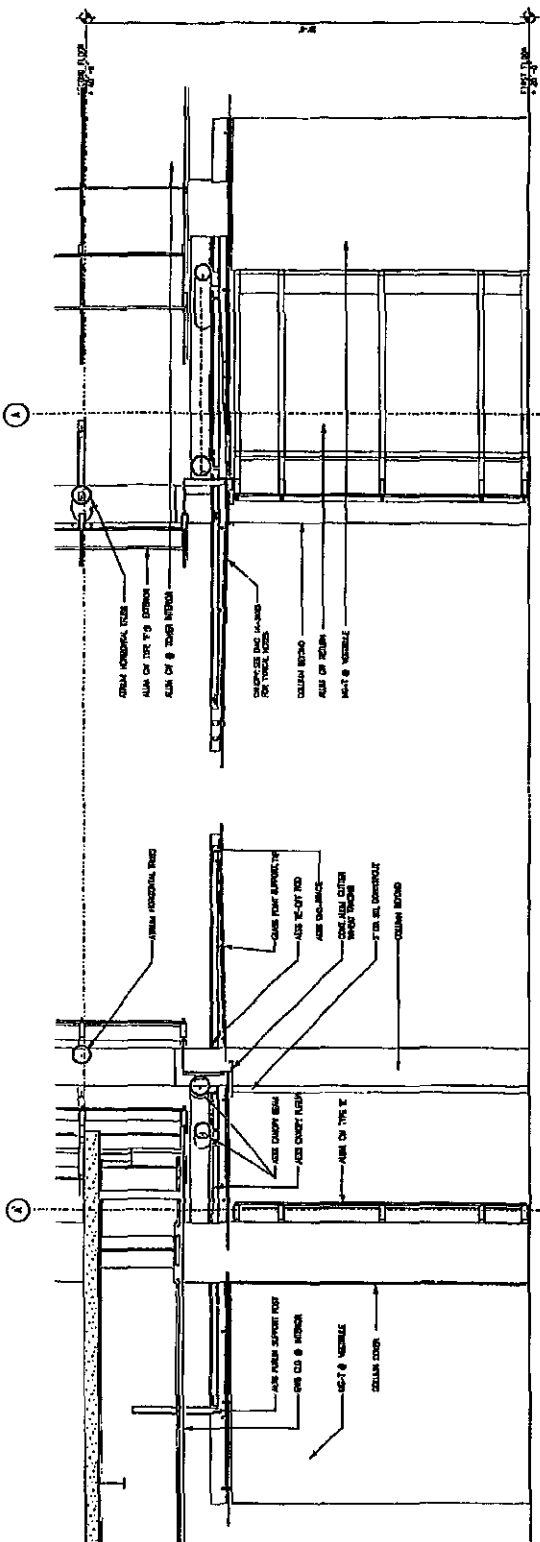
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BY: JAMES J. MERRILL, P.E.

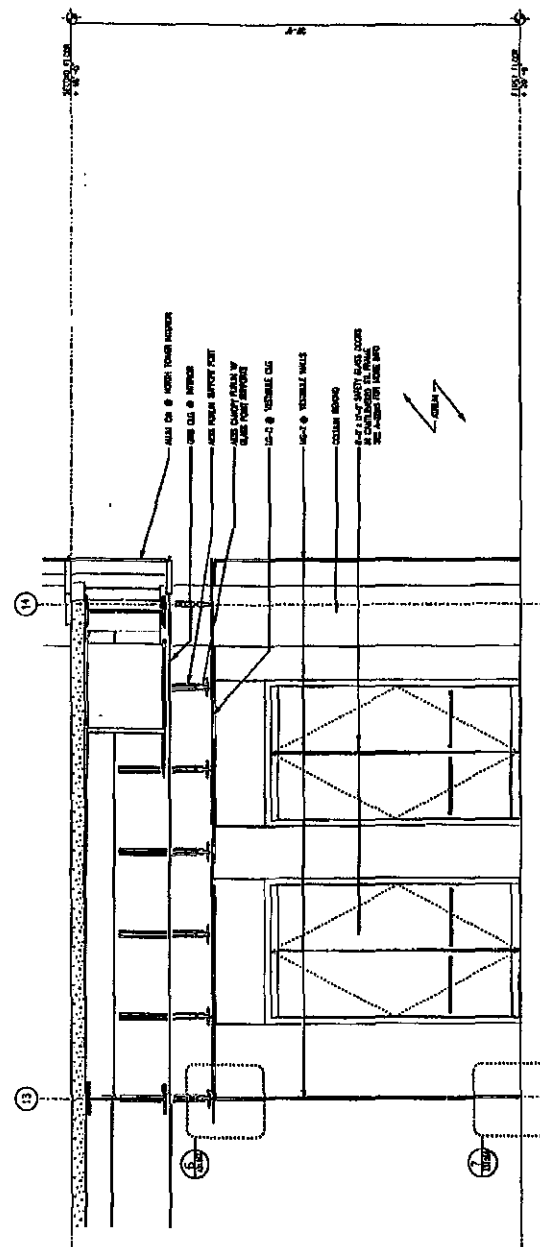
Architects
Boston Research Center
ENTRY CANOPY & VESTIBULE
CROSS SECTIONS

E-A31065-01



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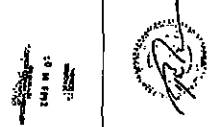
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SECTION 4-4 SCALE 1/4" = 1'-0"



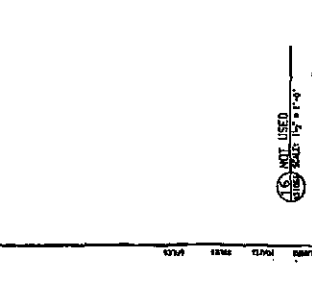
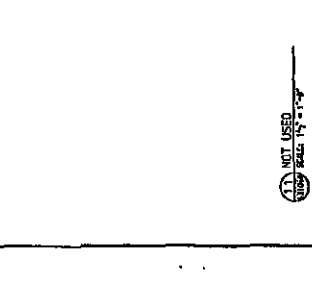
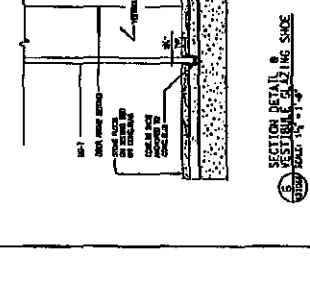
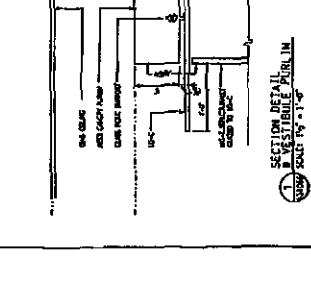
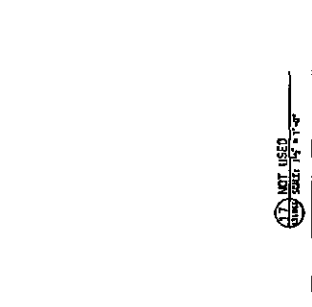
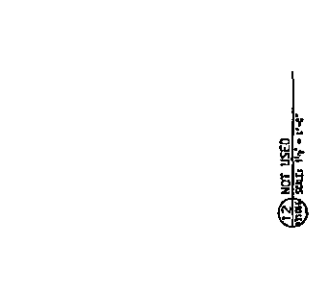
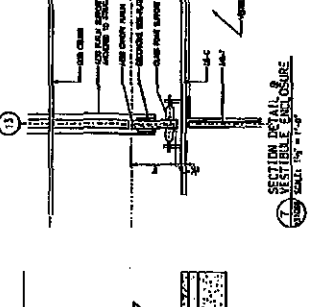
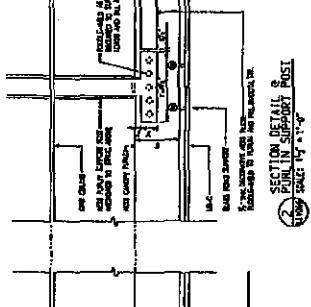
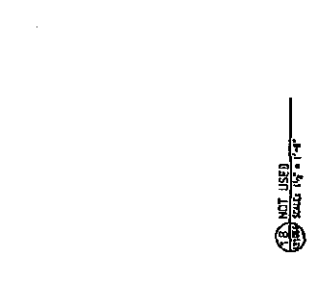
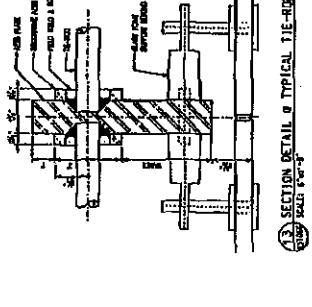
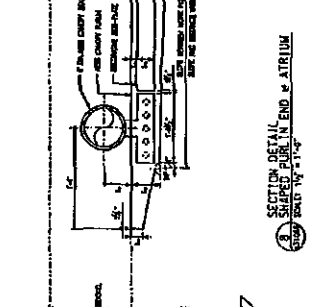
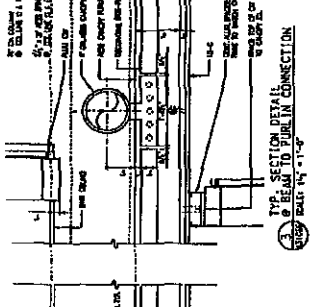
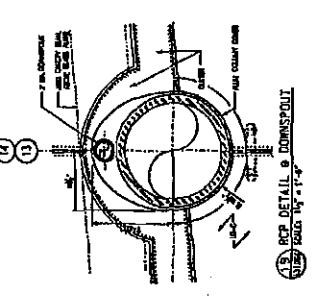
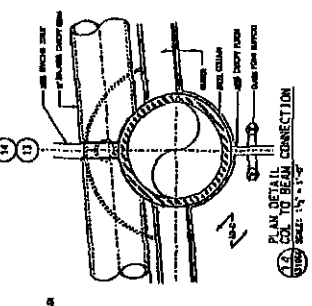
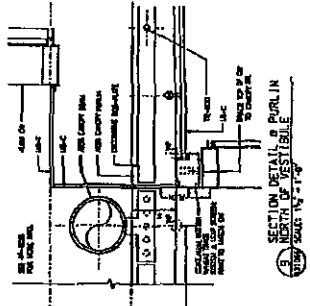
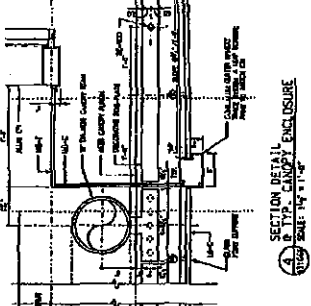
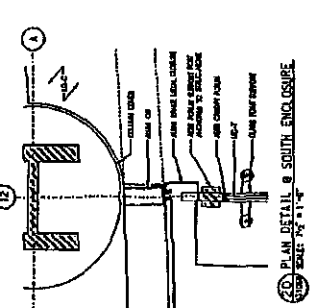
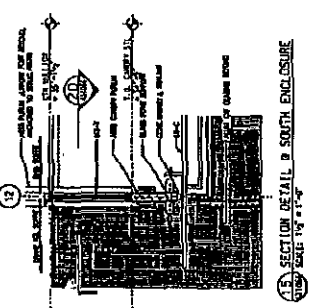
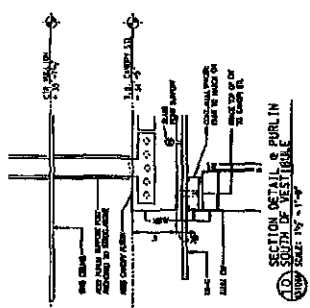
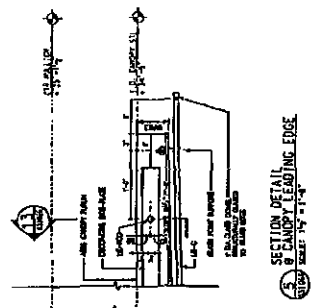
King Lindquist
ARCHITECTS
1000 WASHINGTON STREET
BOSTON, MASSACHUSETTS 02111

A-31066



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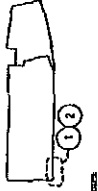
MERCK
2000 FRANKLIN AVENUE, WESTON, MASSACHUSETTS 02456
DATE: 10/15/88
BY: JKL
CHECKED: ABC
APPROVED: DEF
Boston Research Center
CANOPY DETAILS
E-A31066-01
SCALE: 1/4" = 1'-0"



Kling Lindquist

ARCHITECTS
1000 BOYLSTON STREET
BOSTON, MASSACHUSETTS 02116

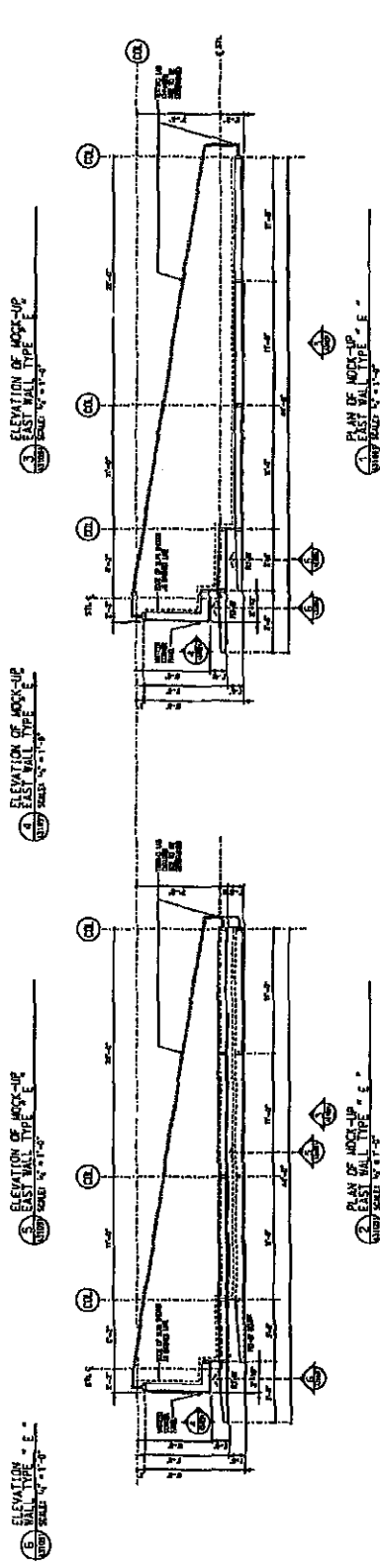
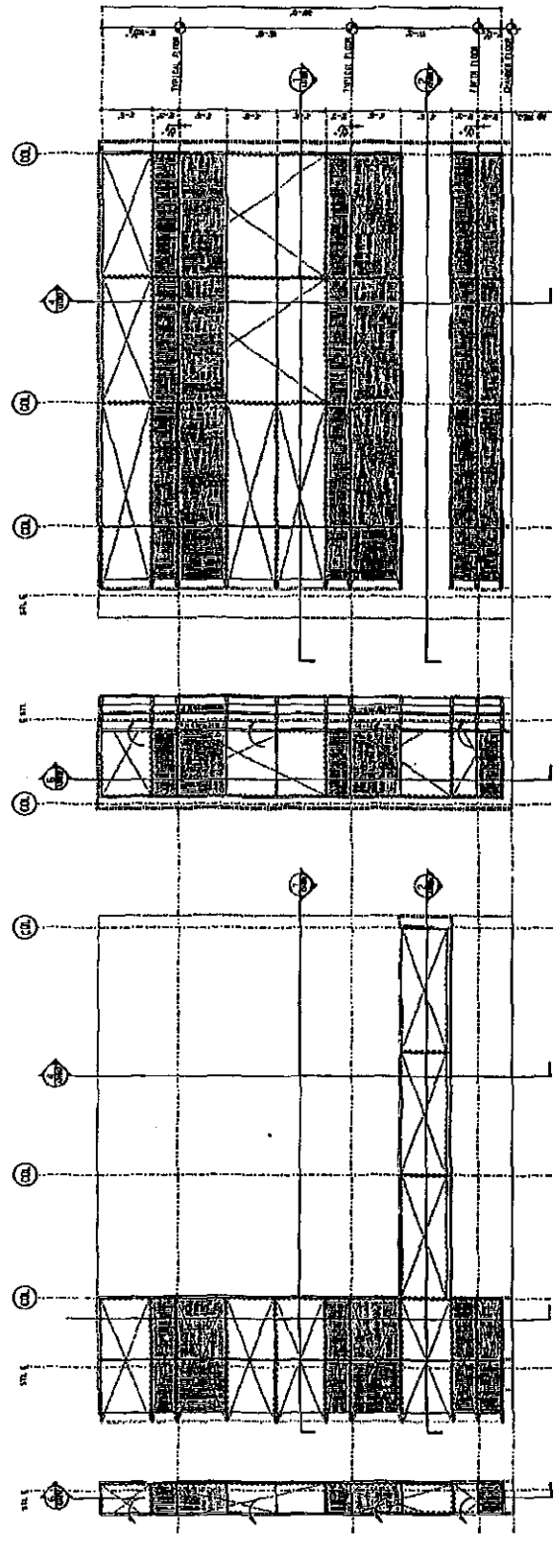
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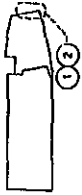
FOR MORE INFORMATION CONTACT: MERCK
 1110 MARKET STREET, PHILADELPHIA, PA 19104
 TEL: 215-646-5000 FAX: 215-646-5001
 WWW.MERCK.COM

Merck
 Boston Research Center
 EAST/WEST WALL MOCK-UP
 PARTIAL PLAN/ELEVATION/WALL SECTION
 DRAWING NO. E-31091-01



Kling Lindquist

A-31093



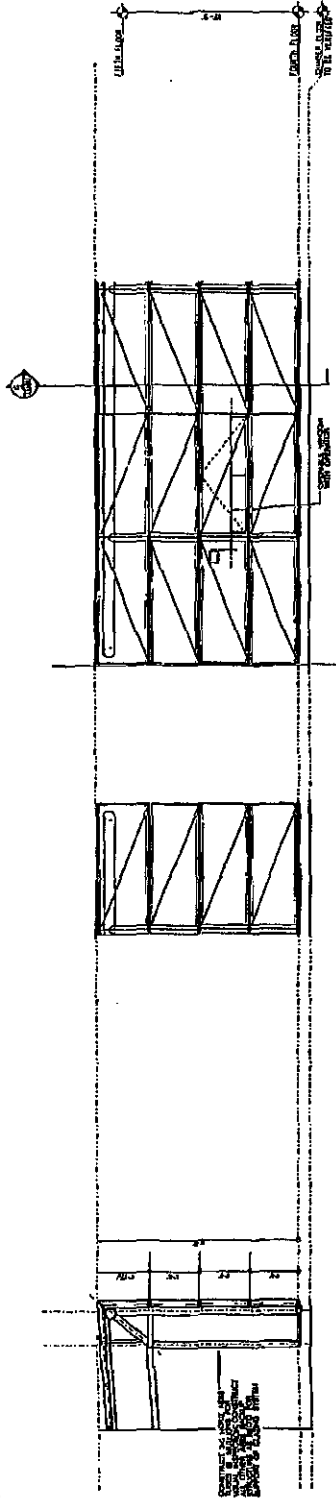
1000 W. 4th
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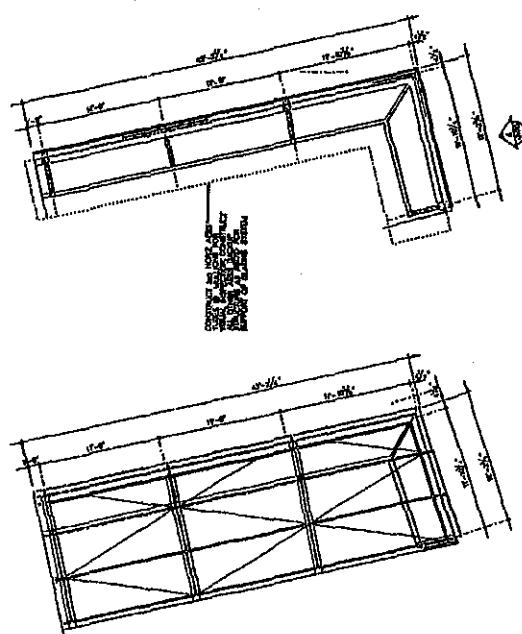
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 NORTH ATRIUM WALL/SKYLIGHT MOCK-UP
 PARTIAL PLAN/ELEVATION/WALL SECTION
 E-A31093-01



1 ELEVATION & MOCK-UP
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2 ELEVATION & MOCK-UP
SCALE: 1/4" = 1'-0"

3 WALL SECTION & MOCK-UP
SCALE: 1/4" = 1'-0"



1 PLAN & NORTH ATRIUM WALL
SCALE: 1/4" = 1'-0"

2 PLAN & NORTH ATRIUM SKYLIGHT
SCALE: 1/4" = 1'-0"

King Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TEL: 552-4242

A-31096

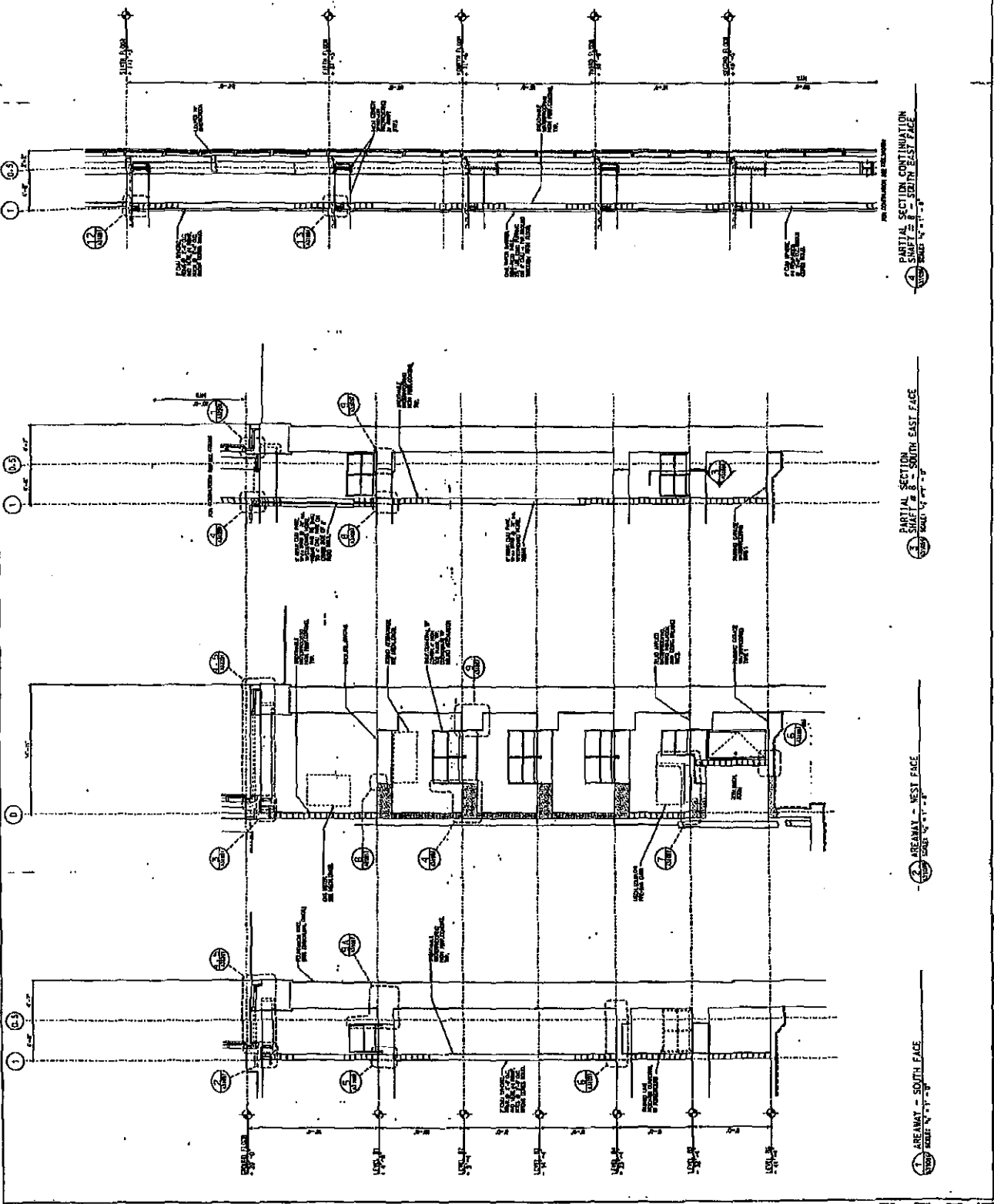


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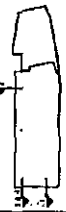
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Boston Research Center
AS SHOWN SECTION
E-A31096-00



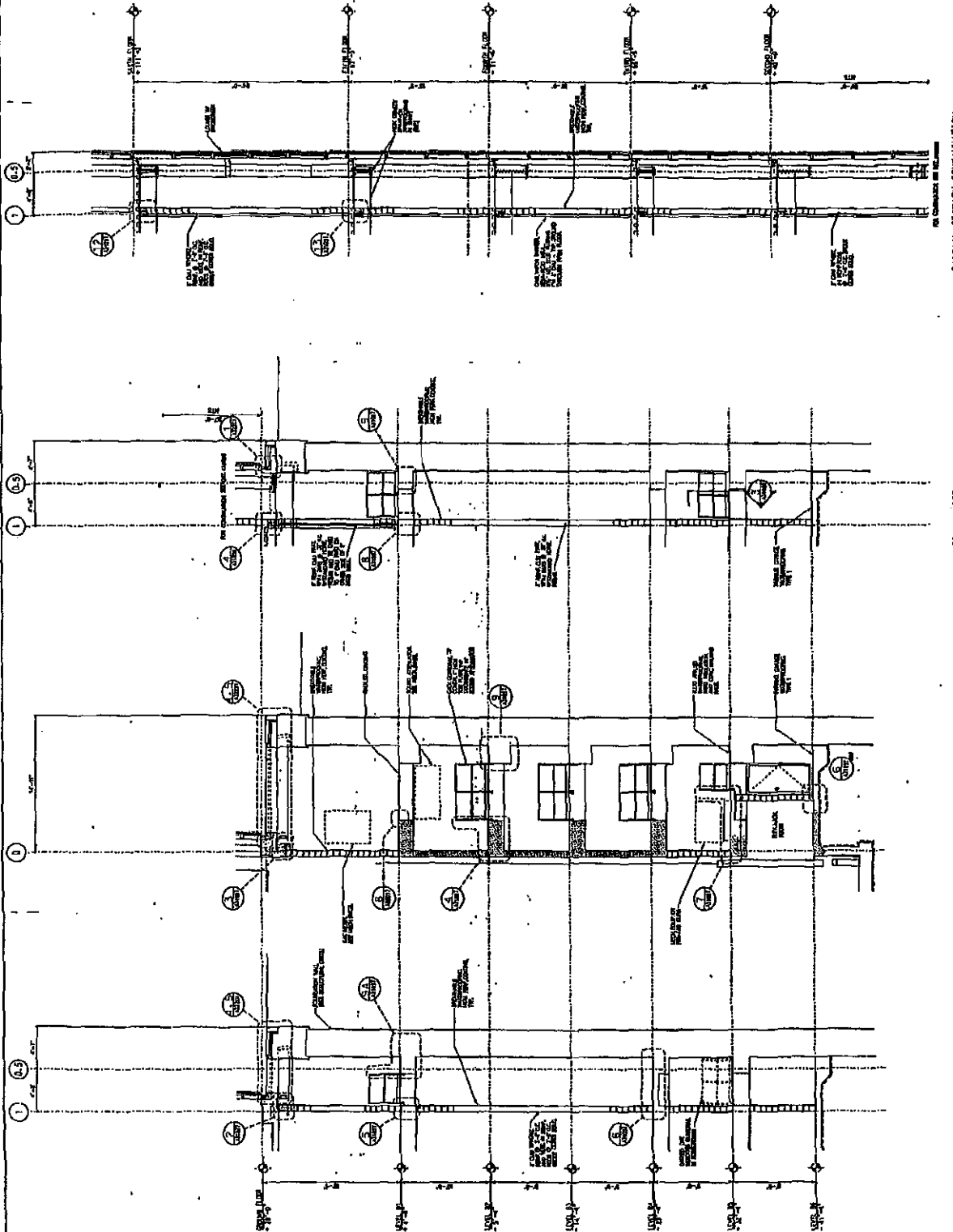
Kling Lindquist

A-31096



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MERCK
 BOSTON RESEARCH CENTER
 ALL SHEET SYSTEMS
 E-A31096-00
 DATE: 10/15/93



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 SCALE: 1/8" = 1'-0"

PARTIAL SECTION CONTINUATION
 SHEET # B - SOUTH EAST FACE
 SCALE: 1/8" = 1'-0"

AREAWAY - WEST FACE
 SCALE: 1/8" = 1'-0"

AREAWAY - SOUTH FACE
 SCALE: 1/8" = 1'-0"

Kling Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

PROJECT
A-31098

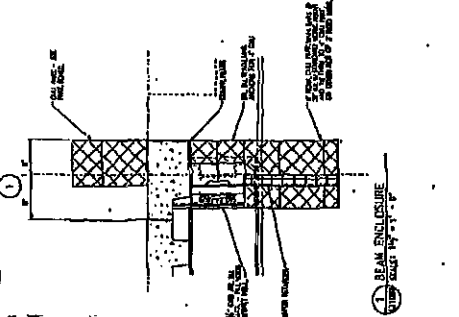
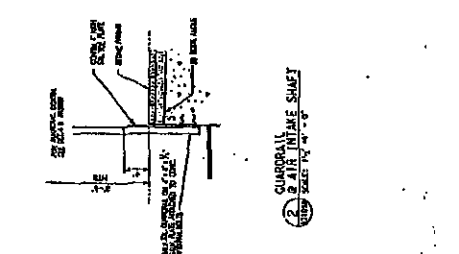
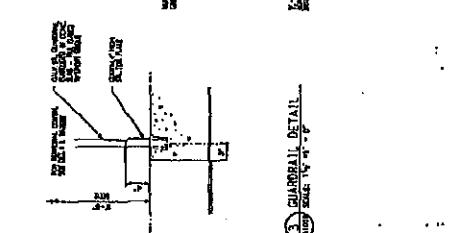
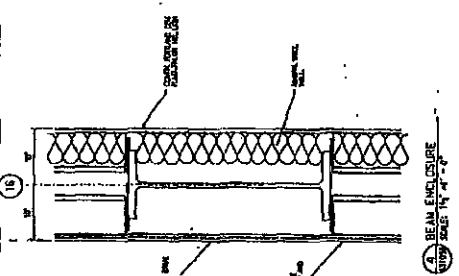


DATE
2/18/74
BY
K.L.



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ARCHITECTS
PROJECT NO. A-31098
DATE: 2/18/74
BY: K.L.



Kling Lindquist

PROJECT
A-32001



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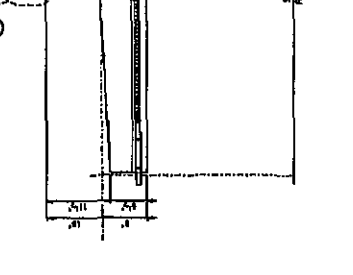
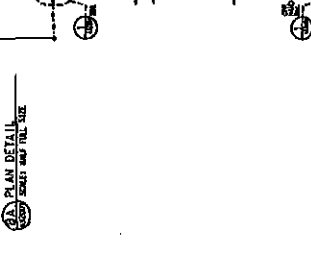
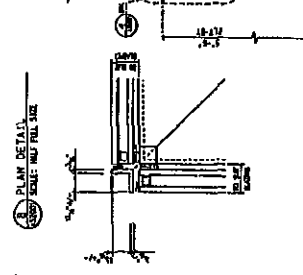
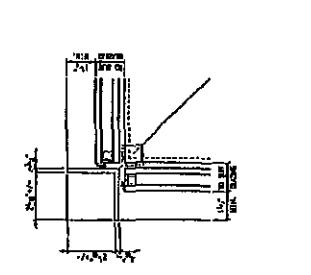
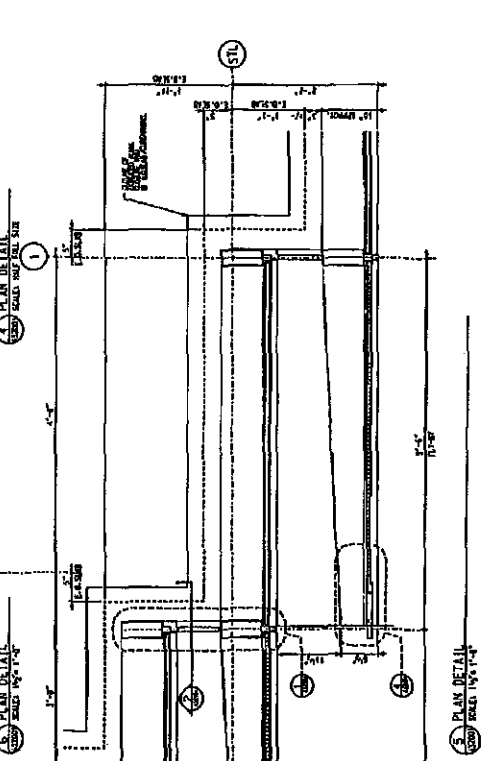
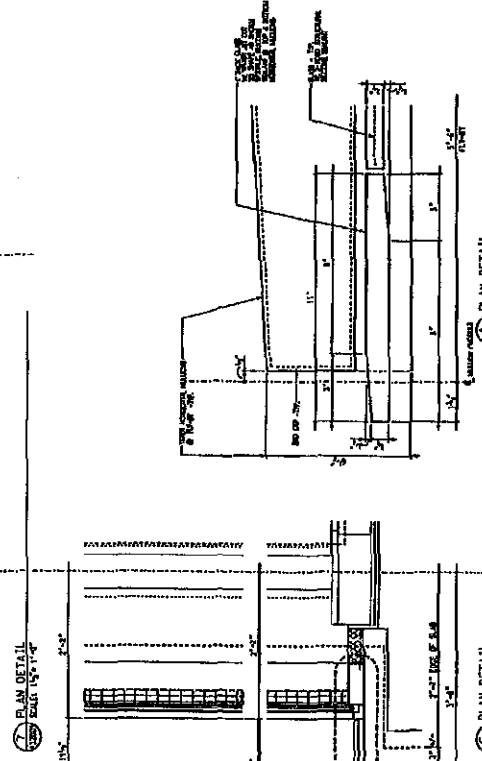
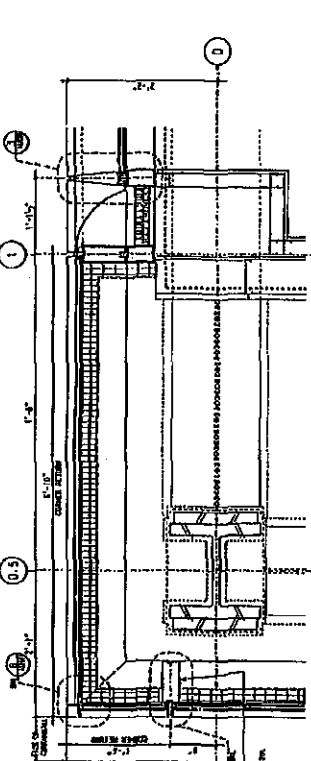
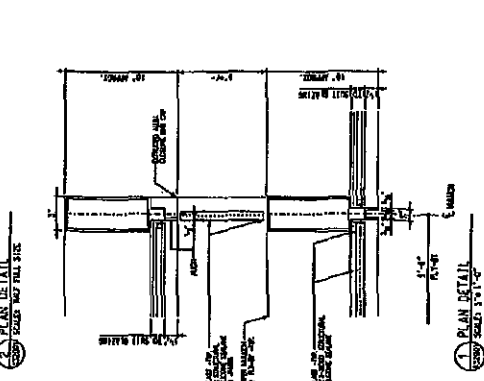
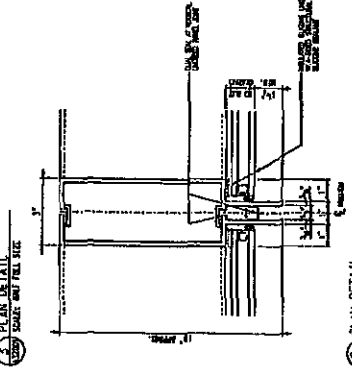
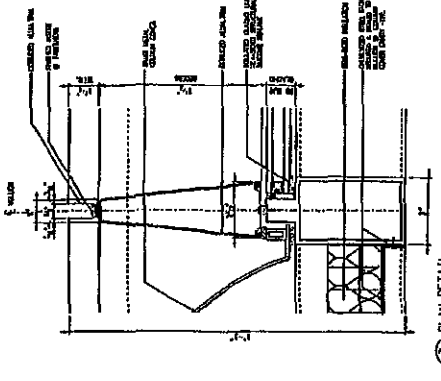
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CLIENT
Boston Research Center
EXTENSIVE PLAN DETAILS

PROJECT NO.
E-AS2001-01

DATE



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King Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 TEL: 617-552-1200
 FAX: 617-552-1201

A-32002



DATE

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 11/13/01
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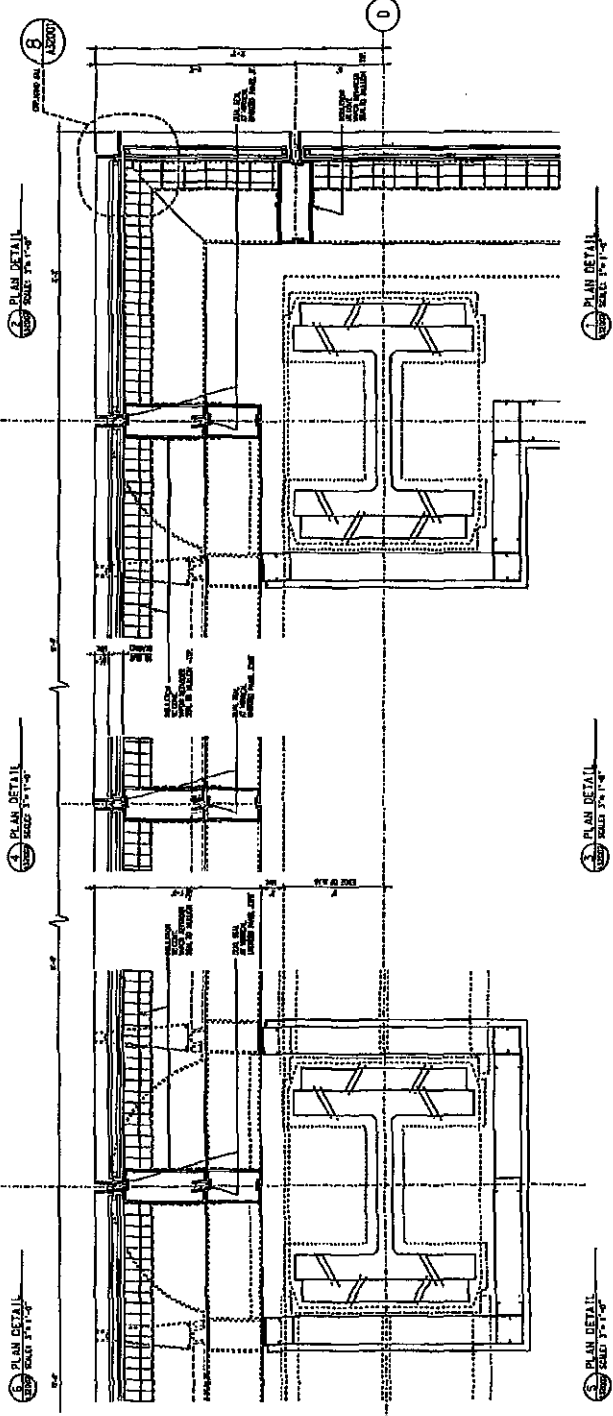
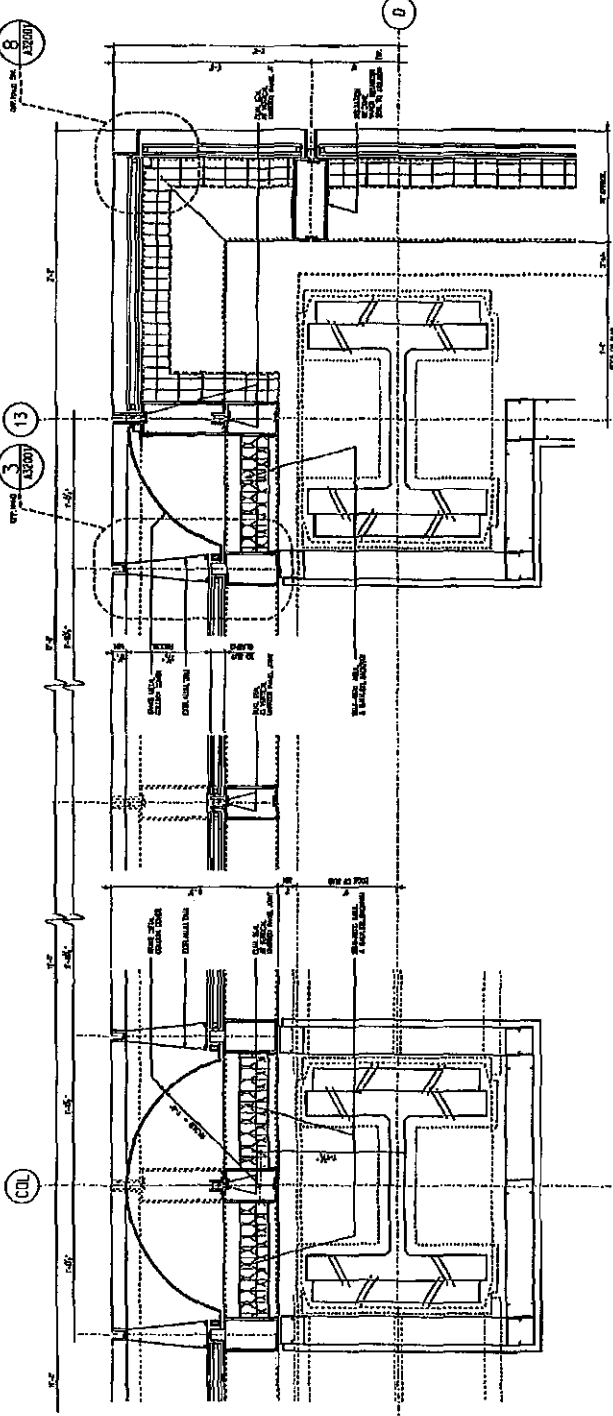
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Boston Research Center
 INTERIOR PLAN DETAILS

E-A32002-01



Kling Lindquist
ARCHITECTS
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BOSTON, MASSACHUSETTS 02109

PROJECT
A-32011



DATE: 11/11/88

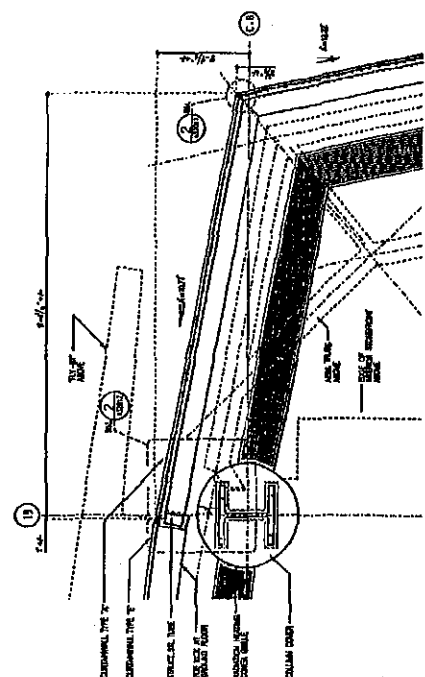
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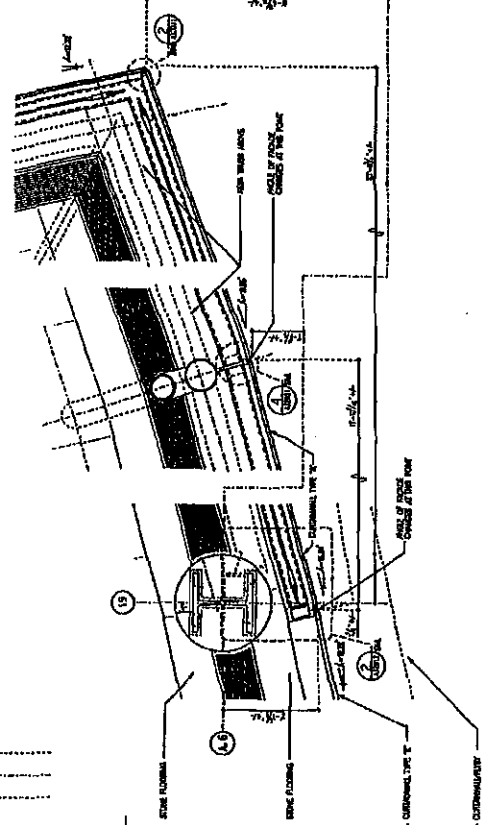
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APPROVED FOR PERMITTING
DATE: 11/11/88
BY: [Signature]

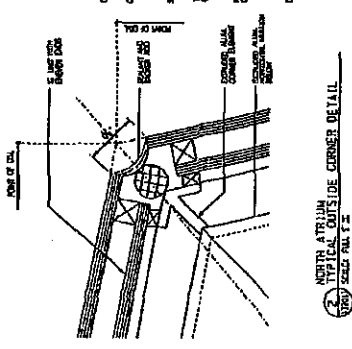
MERCK
BOSTON RESEARCH CENTER
NORTH ATRIUM
PLAN DETAILS - GROUND FLOOR
E-A32011-01



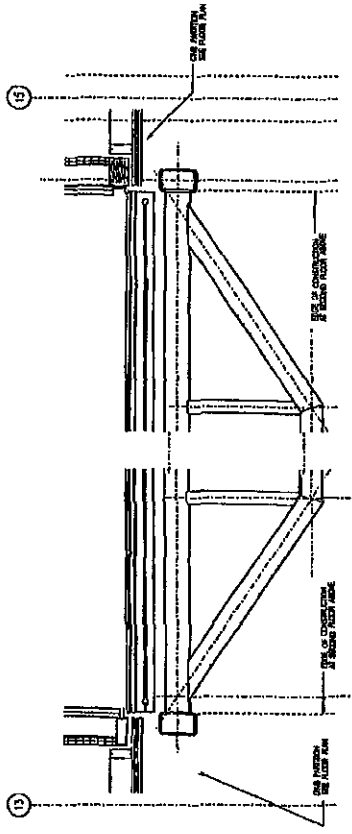
NORTH ATRIUM
PLAN DETAIL AT NORTH
GROUND FLOOR
SCALE: 1/4" = 1'-0"



NORTH ATRIUM
PLAN DETAILS AT EAST
GROUND FLOOR
SCALE: 1/4" = 1'-0"

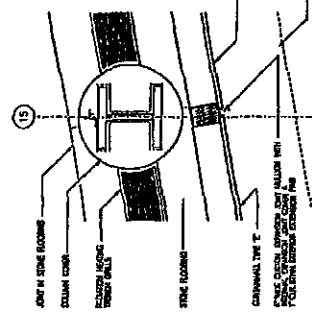


NORTH ATRIUM
TYPICAL OUTSIDE CORNER DETAIL
SCALE: 3/4" = 1'-0"



CONNECTING ATRIUM
PLAN DETAIL AT SOUTHWEST CORNER
GROUND FLOOR
SCALE: 1/4" = 1'-0"

CONNECTING ATRIUM
PLAN DETAIL AT NORTHWEST CORNER
GROUND FLOOR
SCALE: 1/4" = 1'-0"



CONNECTING ATRIUM
PLAN DETAIL AT EXPANSION JOINT
SCALE: 1/4" = 1'-0"

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SCALE

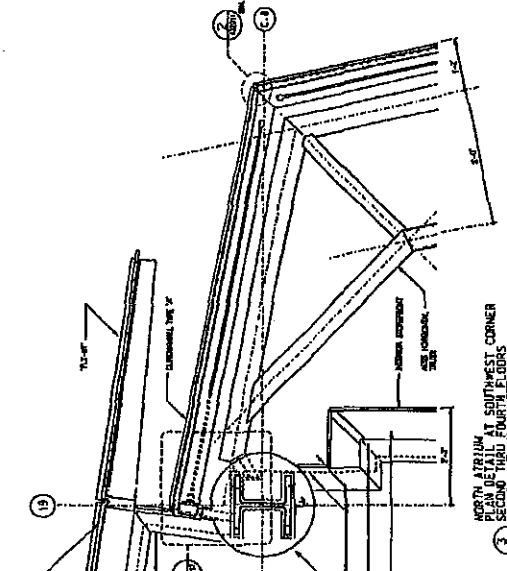
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King Lindquist

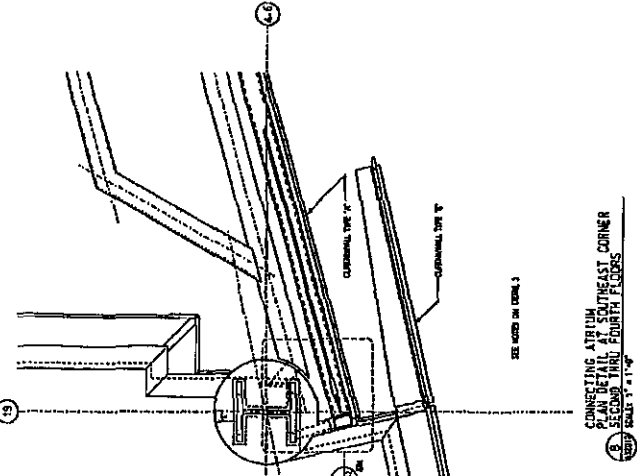
A-32012



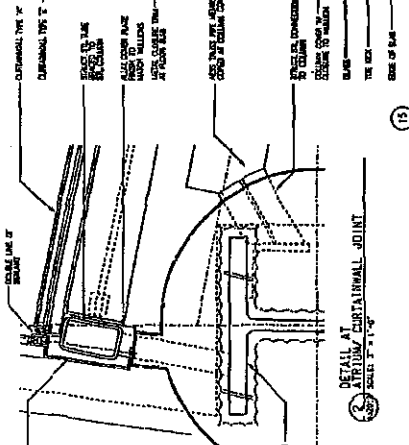
Boston Research Center
PLAN DETAILS - UPPER FLOORS
E-A32012-01



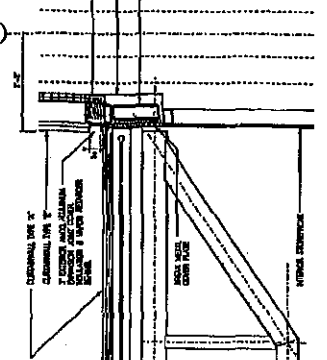
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PLAN DETAIL AT
SOUTHWEST CORNER
SCALE: 1" = 1'-0"



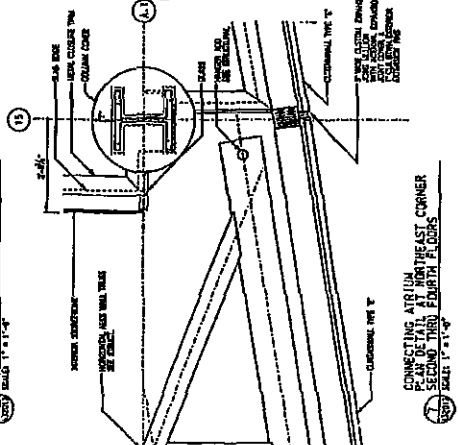
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PLAN DETAIL AT
SOUTHWEST CORNER
SCALE: 1" = 1'-0"



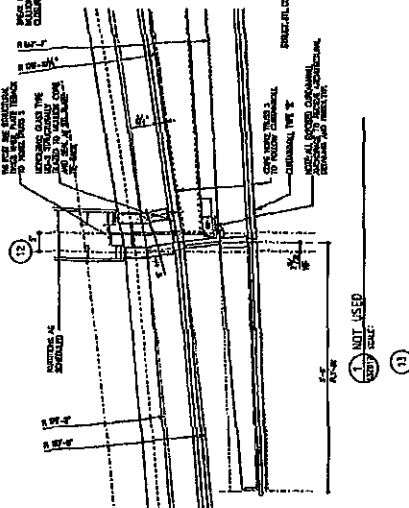
DETAIL AT
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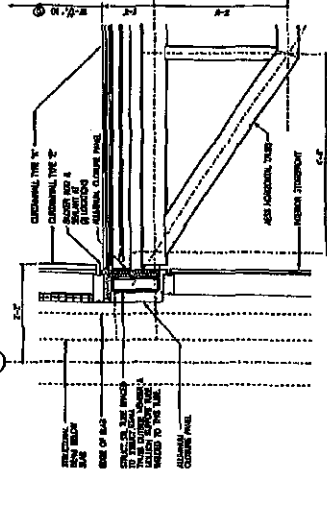
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NORTHWEST CORNER
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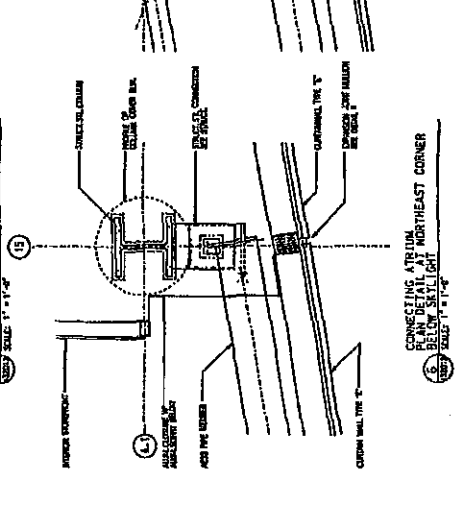
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PLAN DETAIL AT
NORTHEAST CORNER
SCALE: 1" = 1'-0"



NOT USED
SCALE: 1" = 1'-0"



CONNECTING ATRIUM
PLAN DETAIL AT
SOUTHWEST CORNER
SCALE: 1" = 1'-0"



CONNECTING ATRIUM
PLAN DETAIL AT
NORTHEAST CORNER
SCALE: 1" = 1'-0"

King Lindquist

ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TEL: 617-552-3300
FAX: 617-552-3301

PROJECT: A-32013



DATE:

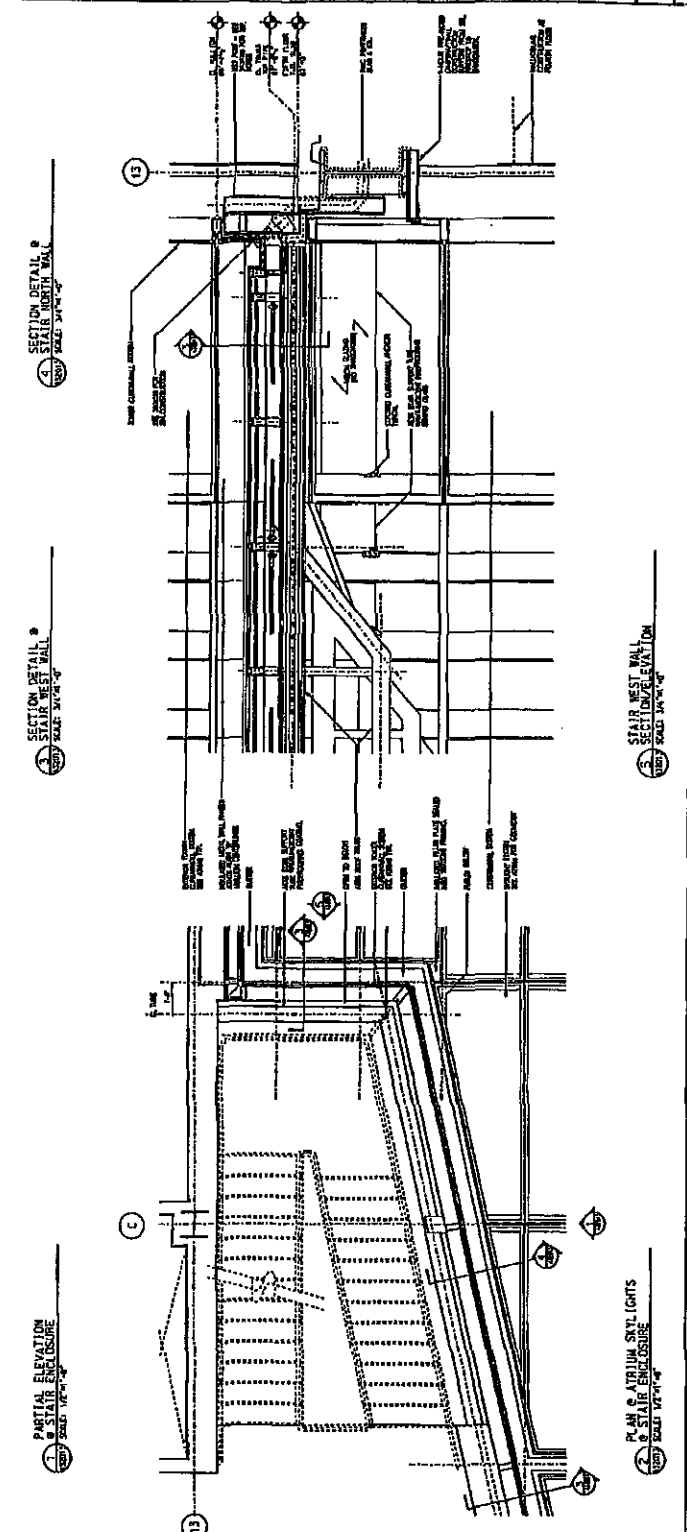
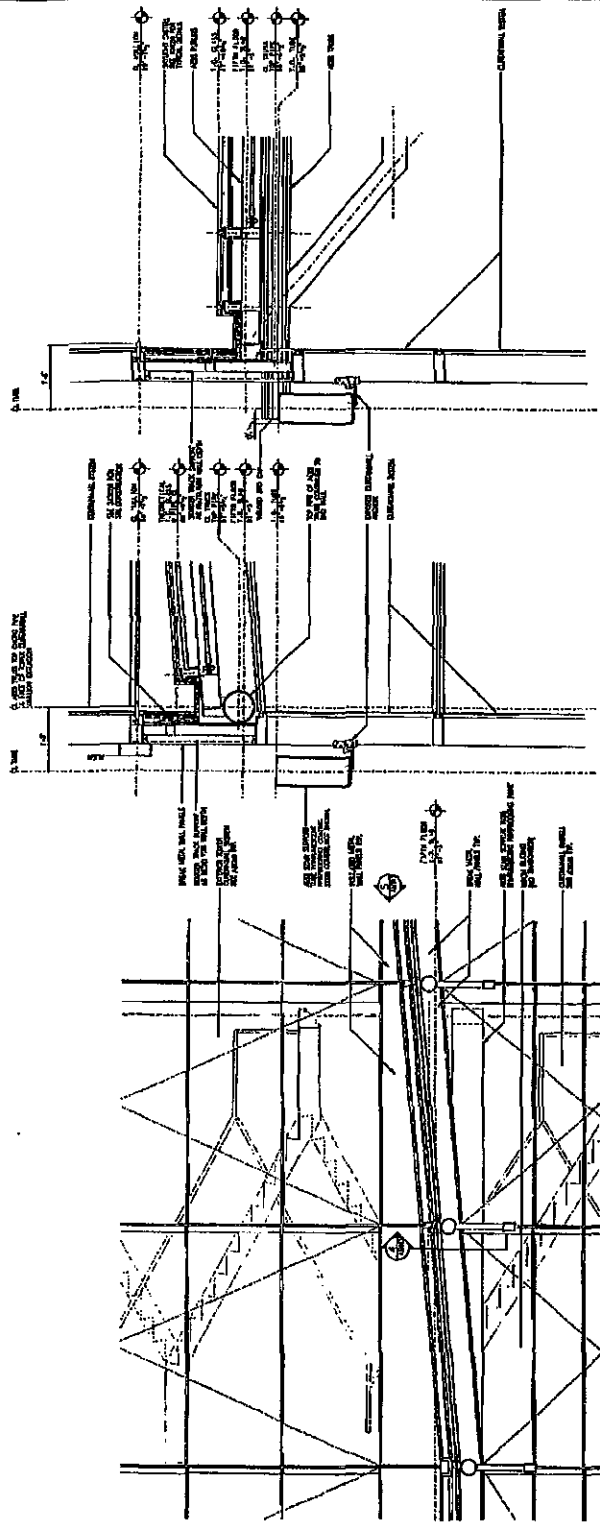
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ACCREDITED
Boston Research Center
 CONNECTING ATRIUM DETAILS
 STAIR 1
 E-A32013-01



DATE: 10/15/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: A-32013

DATE: 10/15/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: A-32013

Kling Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109

A-32014



DATE

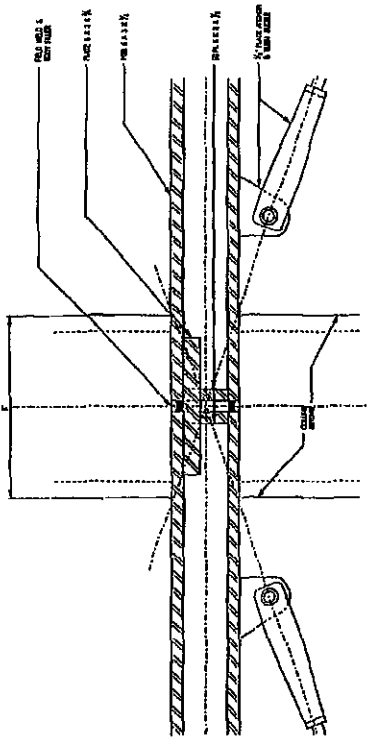
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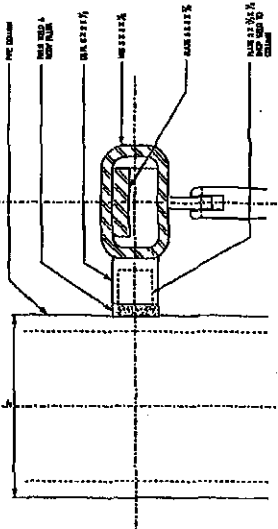
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MERCK
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 BOSTON RESEARCH CENTER
 ATTRACTION DETAILS

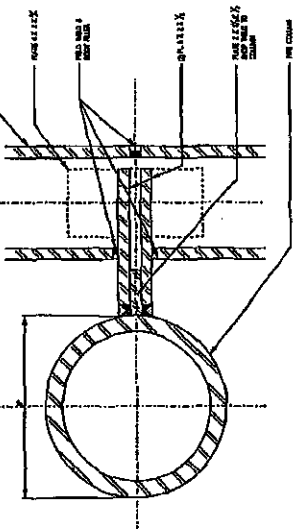
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SECTION DETAIL 1
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SECTION DETAIL 2
 SCALE 1/4" = 1'-0"



PLAN DETAIL 1
 SCALE 1/4" = 1'-0"

King Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 TEL: 617-552-3300
 FAX: 617-552-3301

A-32101



DATE: 11/11/03

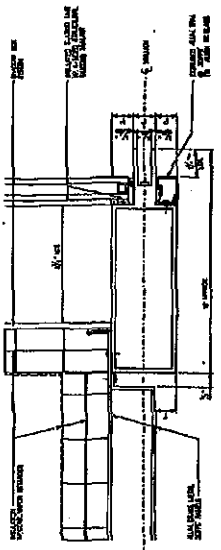


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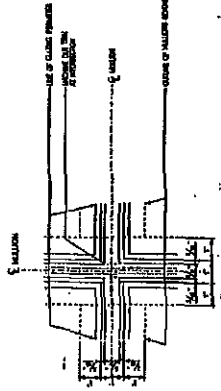


Boston Research Center
 EXTERIOR SECTION DETAILS

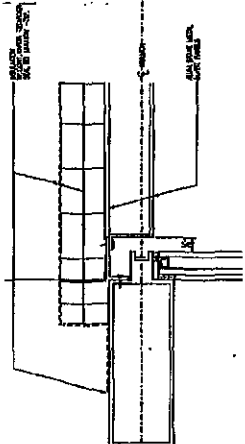
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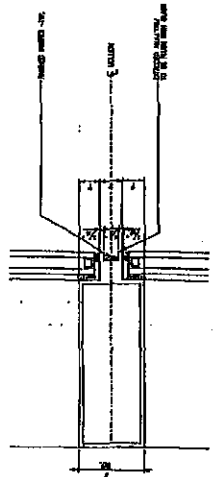
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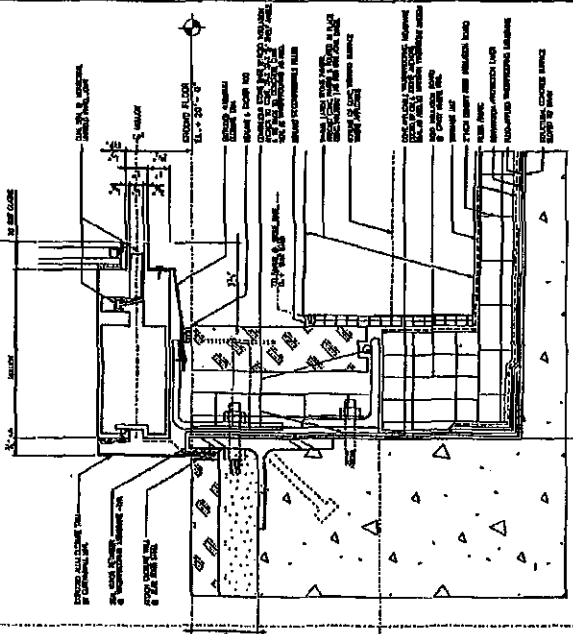
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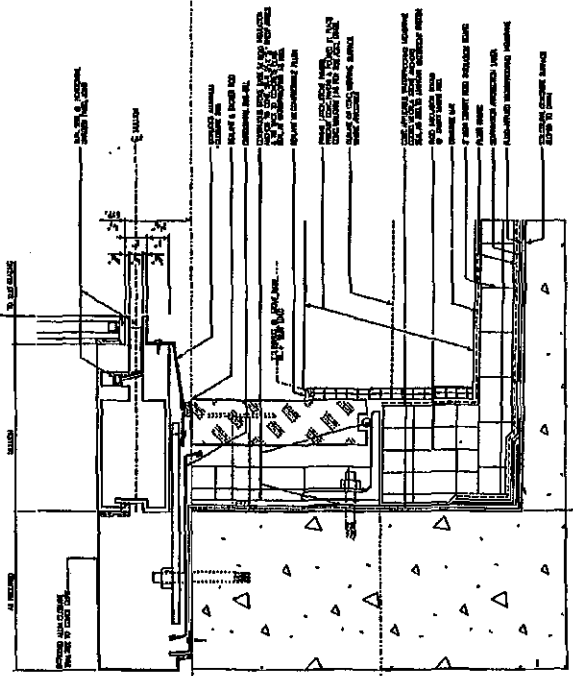
SECTION DETAIL
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ELEVATION DETAIL
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SECTION DETAIL
 SCALE: 1/4" = 1'-0"



SECTION DETAIL
 SCALE: 1/4" = 1'-0"

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 2. GLASS: CLEAR, 1/2" THICK
 3. INSULATION: POLYURETHANE FOAM, 1" THICK
 4. WEATHER STRIPPING: EPDM RUBBER
 5. FINISH: POLYURETHANE PAINT

1. WINDOW FRAME: ALUMINUM, ANODIZED
 2. GLASS: CLEAR, 1/2" THICK
 3. INSULATION: POLYURETHANE FOAM, 1" THICK
 4. WEATHER STRIPPING: EPDM RUBBER
 5. FINISH: POLYURETHANE PAINT

Kling Lindquist

A-32102



NOTES

DATE: 04/17/84

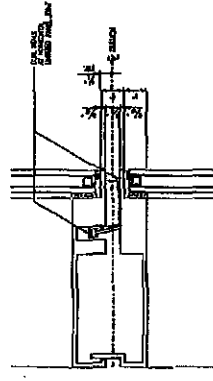
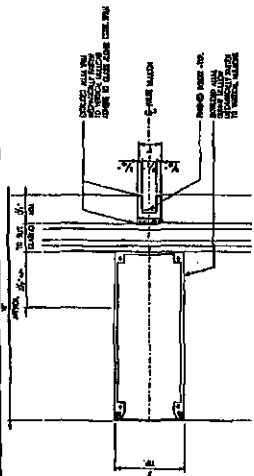
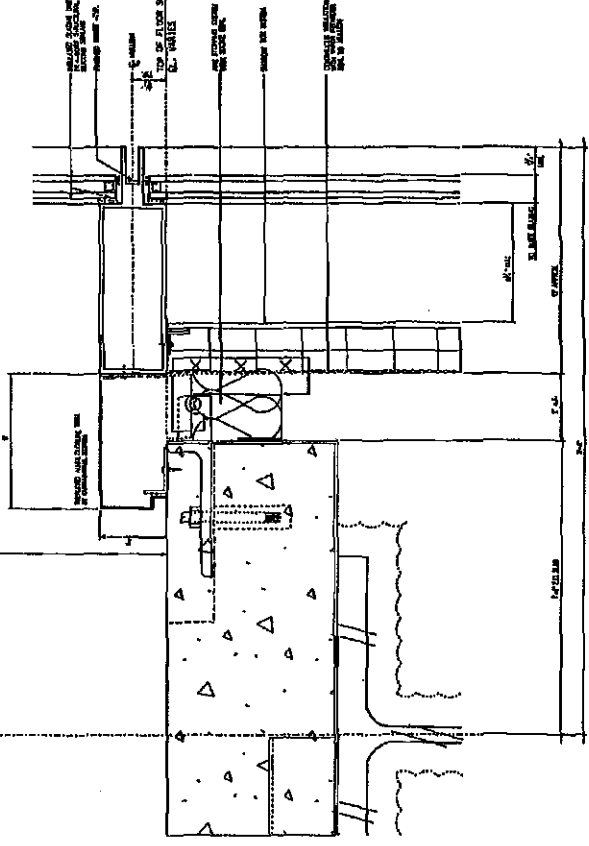
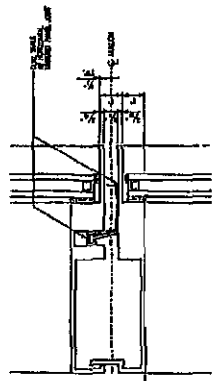
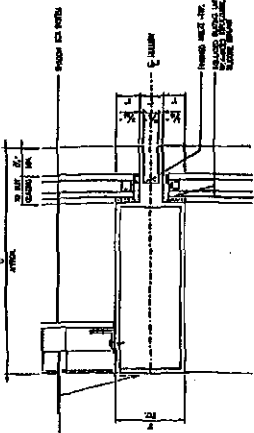


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Boston Research Center
EXTERIOR SECTION DETAILS

E-A32102-01



NOT USED

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A-32103



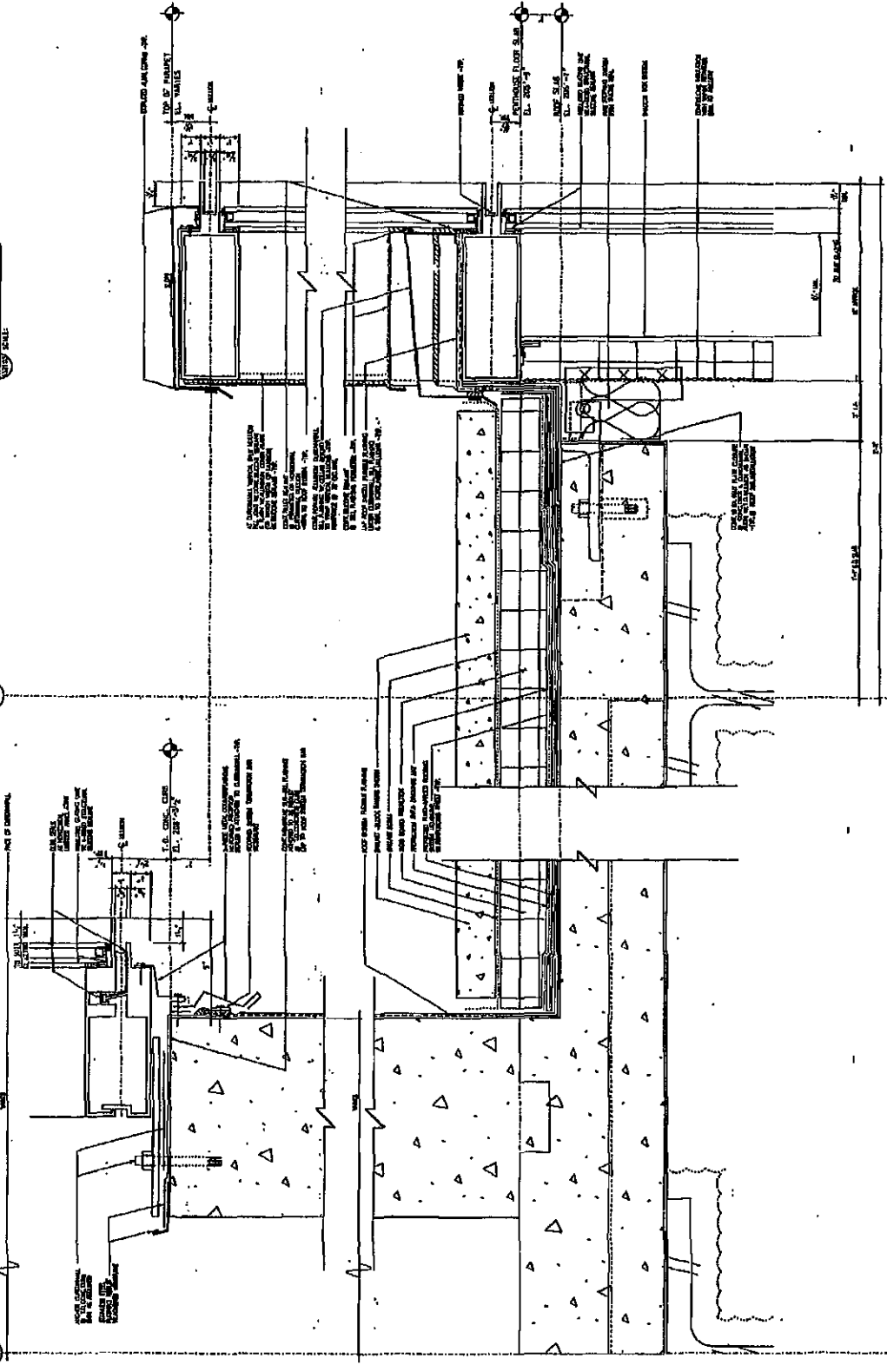
NOTES

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SCALE

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LINE OF CORNER



1. CONCRETE FLOOR SLAB SHALL BE CAST IN PLACE AND SHALL BE REINFORCED WITH STEEL BARS AS SHOWN. THE REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI 318 CODE. THE MINIMUM COVER SHALL BE 1 1/2" FOR TOP BARS AND 3/4" FOR BOTTOM BARS. THE REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI 318 CODE. THE MINIMUM COVER SHALL BE 1 1/2" FOR TOP BARS AND 3/4" FOR BOTTOM BARS.

2. THE CONCRETE SHALL BE CAST IN PLACE AND SHALL BE REINFORCED WITH STEEL BARS AS SHOWN. THE REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI 318 CODE. THE MINIMUM COVER SHALL BE 1 1/2" FOR TOP BARS AND 3/4" FOR BOTTOM BARS. THE REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI 318 CODE. THE MINIMUM COVER SHALL BE 1 1/2" FOR TOP BARS AND 3/4" FOR BOTTOM BARS.

3. THE CONCRETE SHALL BE CAST IN PLACE AND SHALL BE REINFORCED WITH STEEL BARS AS SHOWN. THE REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI 318 CODE. THE MINIMUM COVER SHALL BE 1 1/2" FOR TOP BARS AND 3/4" FOR BOTTOM BARS. THE REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI 318 CODE. THE MINIMUM COVER SHALL BE 1 1/2" FOR TOP BARS AND 3/4" FOR BOTTOM BARS.



Table with multiple columns and rows, likely a schedule or specification table.



Boston Research Center
EXTENSION SECTION DETAILS

E-A32103-01

SECTION DETAIL
SCALE AND FULL SIZE

SECTION DETAIL
SCALE AND FULL SIZE

Kino Lindquist

A-32112

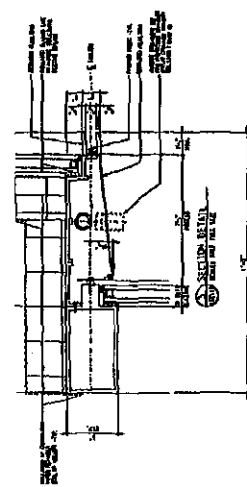


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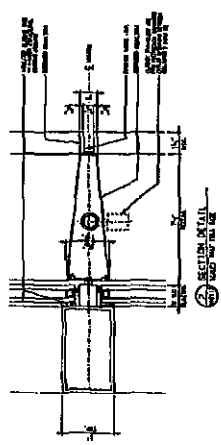


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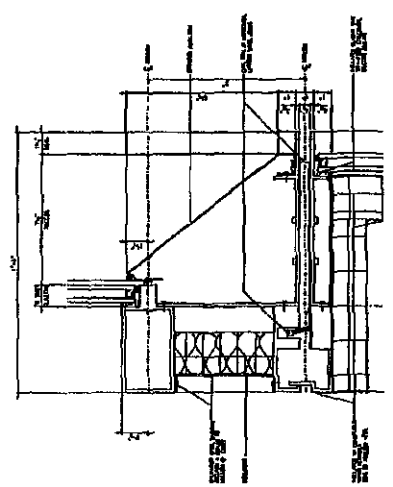
MERCK
Boston Research Center
EXTENSION WESTING HOUSE
E-A32112-01



SECTION DETAIL
WESTING HOUSE



SECTION DETAIL
WESTING HOUSE



SECTION DETAIL
WESTING HOUSE

Kling Linquist

ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

A-32113

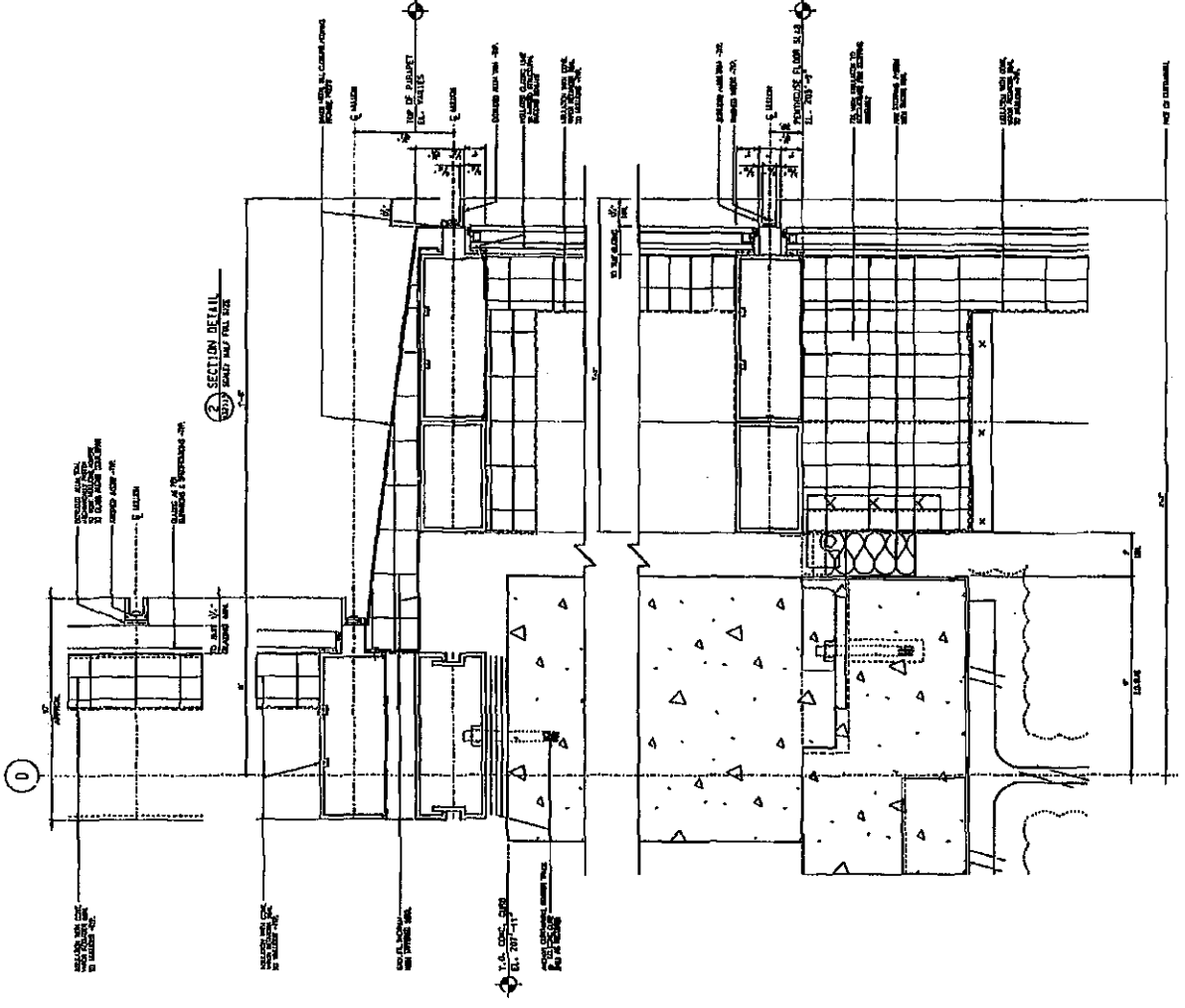


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10	10/1/78	ISSUED FOR PERMIT



Merck
BOSTON RESEARCH CENTER
EXTERIOR SECTION DETAILS

E-A32113-01



SECTION DETAIL
1/4" = 1'-0" FULL SIZE

SECTION DETAIL
1/4" = 1'-0" FULL SIZE

NOT USED
SCALE

NOT USED
SCALE

NOT USED
SCALE

King Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

PROJECT
A-32121



DATE: 10/01/91
PROJECT: BOSTON RESEARCH CENTER

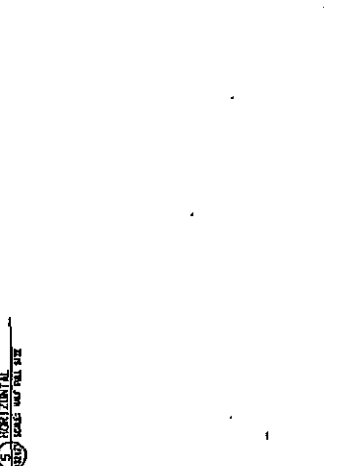
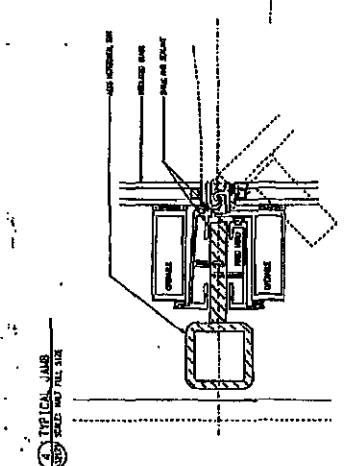
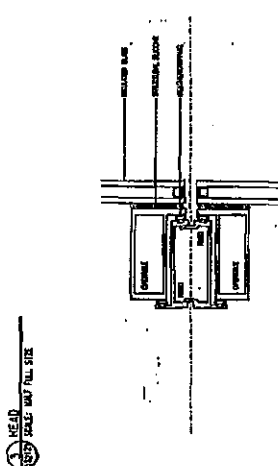
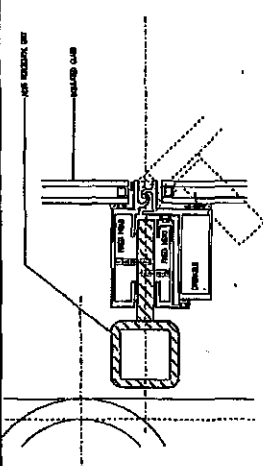
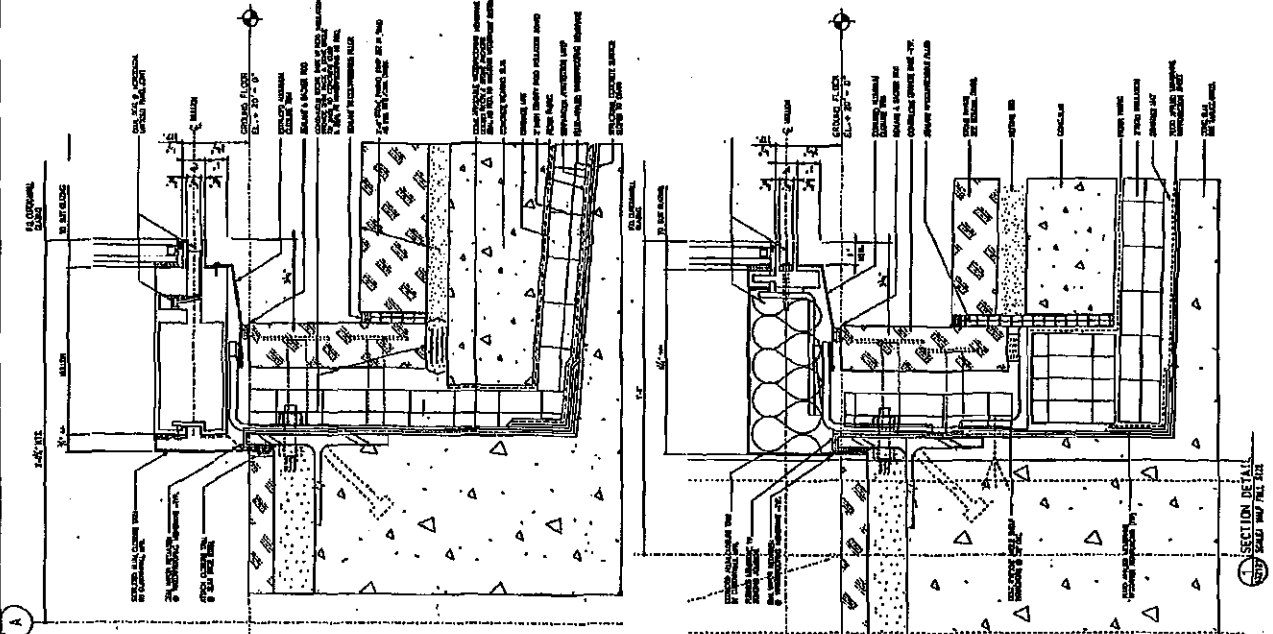


NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMITS	10/01/91
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SECTION DETAILS

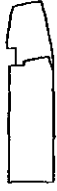
E-A32121-01
SECTION DETAILS



3. NEAR SCALE: 1/4" = 1'-0"
4. TYPICAL JAMB SCALE: 1/4" = 1'-0"
5. TYPICAL INTERMEDIATE HORIZONTAL SCALE: 1/4" = 1'-0"

King Lindquist

A-32201



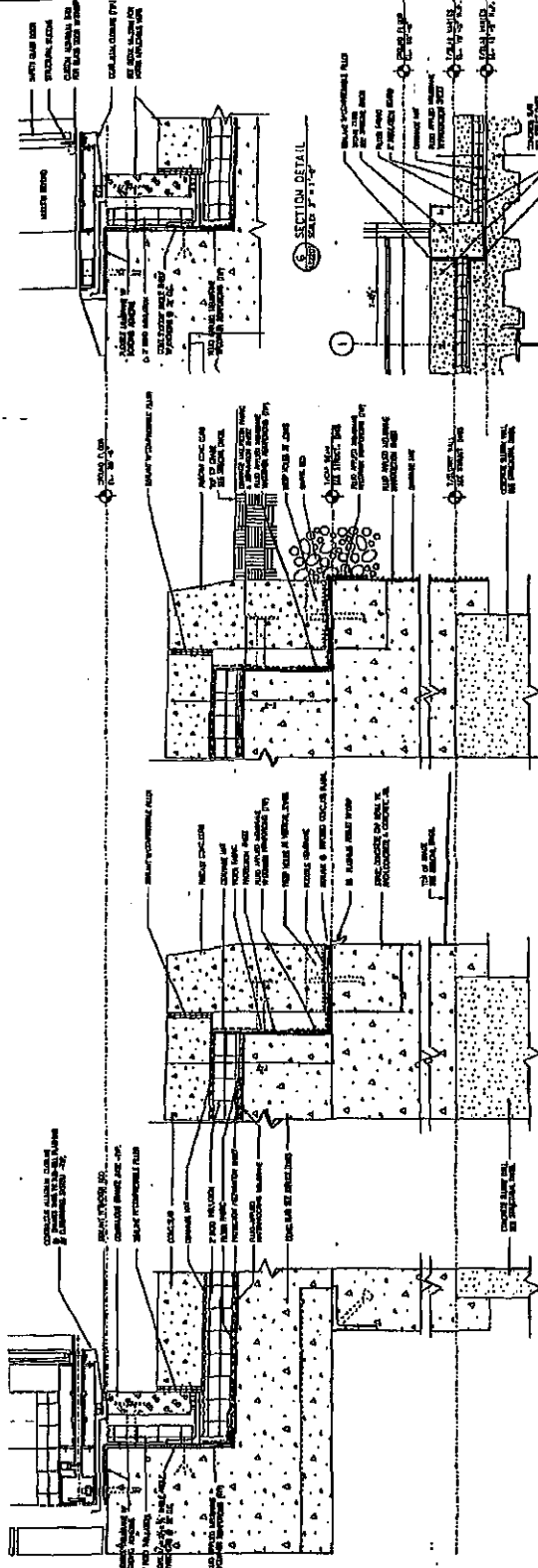
1988 10 2
1989 10 2
1990 10 2



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MISCELLANEOUS EXTERIOR DETAILS

E-A32201-00

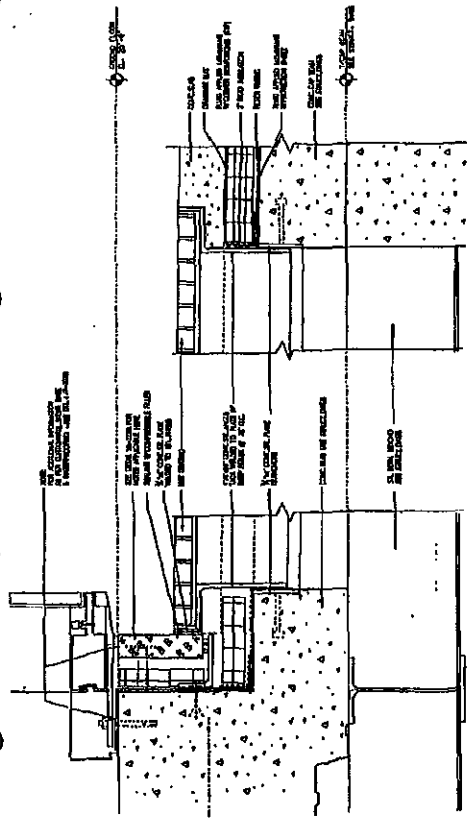


SECTION DETAIL
SCALE 3/4" = 1'-0"

SECTION DETAIL
SCALE 3/4" = 1'-0"

SECTION DETAIL
SCALE 3/4" = 1'-0"

SECTION DETAIL
SCALE 3/4" = 1'-0"

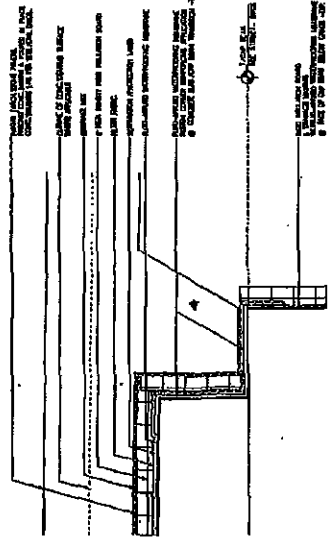


SECTION DETAIL
SCALE 3/4" = 1'-0"

SECTION DETAIL
SCALE 3/4" = 1'-0"

SECTION DETAIL
SCALE 3/4" = 1'-0"

SECTION DETAIL
SCALE 3/4" = 1'-0"



SECTION DETAIL
SCALE 3/4" = 1'-0"

NOTES:
1. SEE E-A32201-01 FOR GENERAL NOTES.
2. SEE E-A32201-02 FOR GENERAL NOTES.
3. SEE E-A32201-03 FOR GENERAL NOTES.
4. SEE E-A32201-04 FOR GENERAL NOTES.
5. SEE E-A32201-05 FOR GENERAL NOTES.
6. SEE E-A32201-06 FOR GENERAL NOTES.
7. SEE E-A32201-07 FOR GENERAL NOTES.
8. SEE E-A32201-08 FOR GENERAL NOTES.
9. SEE E-A32201-09 FOR GENERAL NOTES.
10. SEE E-A32201-10 FOR GENERAL NOTES.

King Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS
02109

A-32202



DATE: 10/18/81
BY: [Signature]



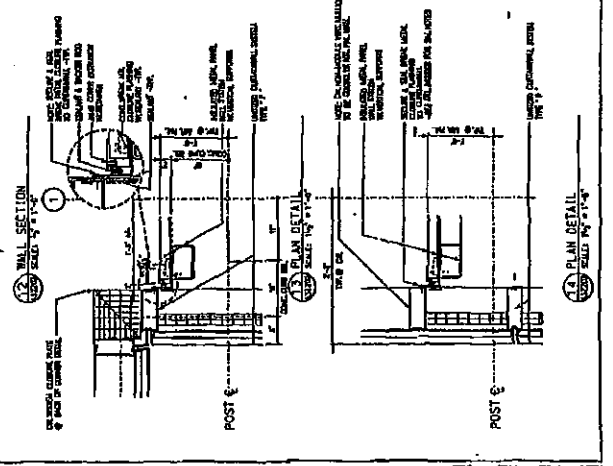
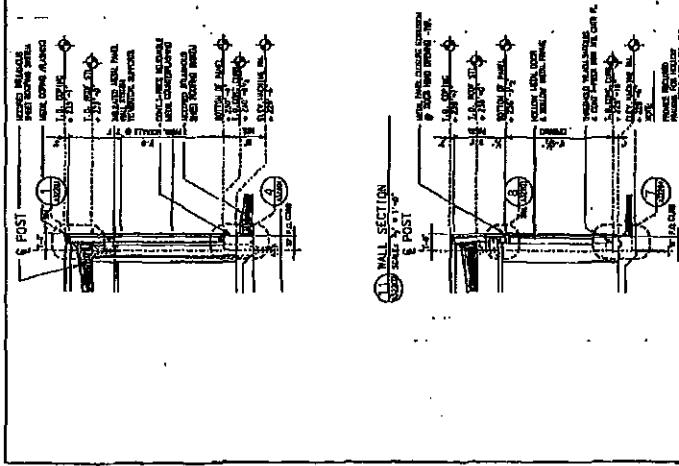
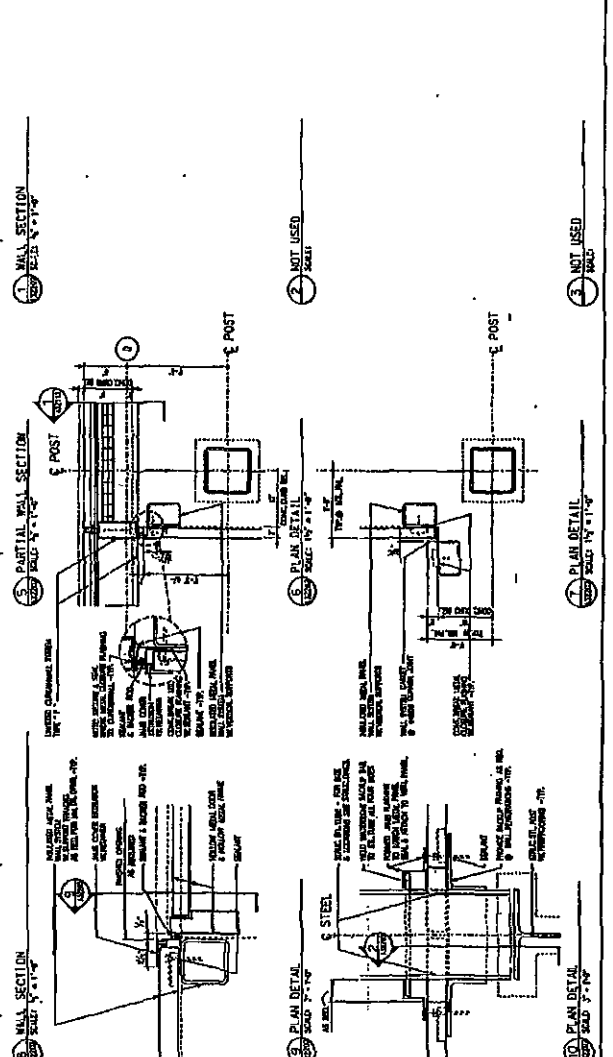
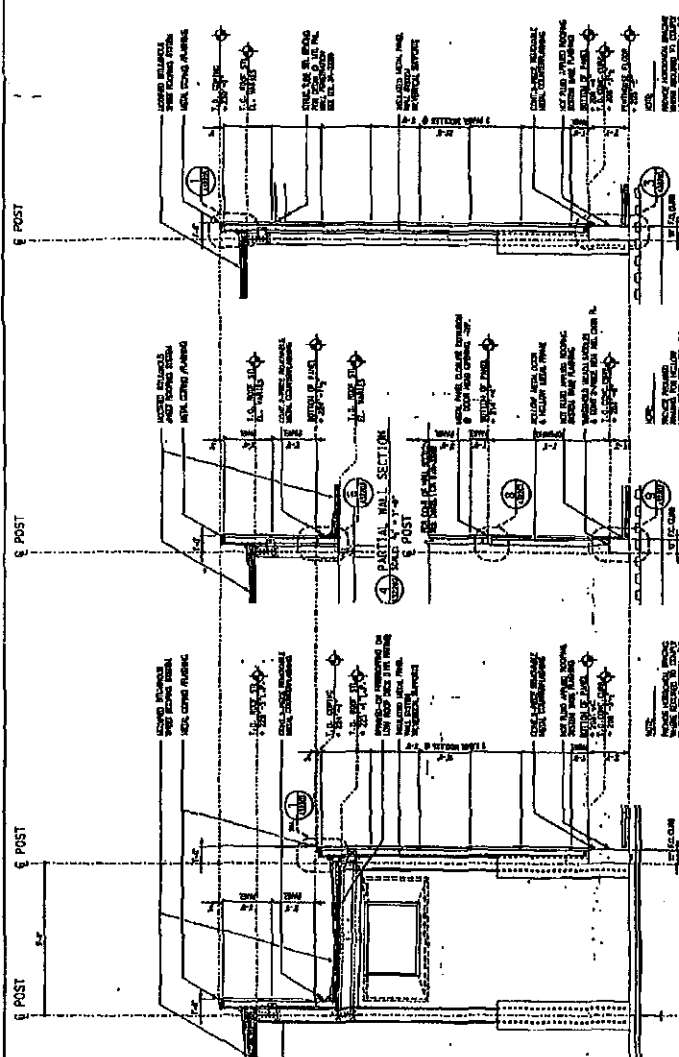
NO.	DESCRIPTION	DATE

MERCK

Boston Research Center
MEDICAL RESEARCH CENTER

E-A32202-00

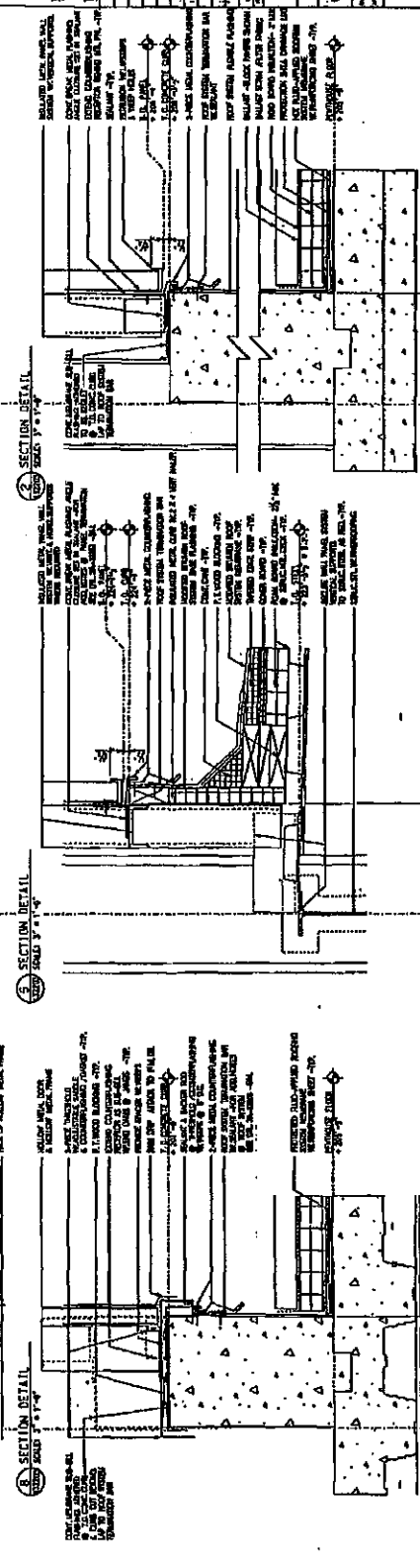
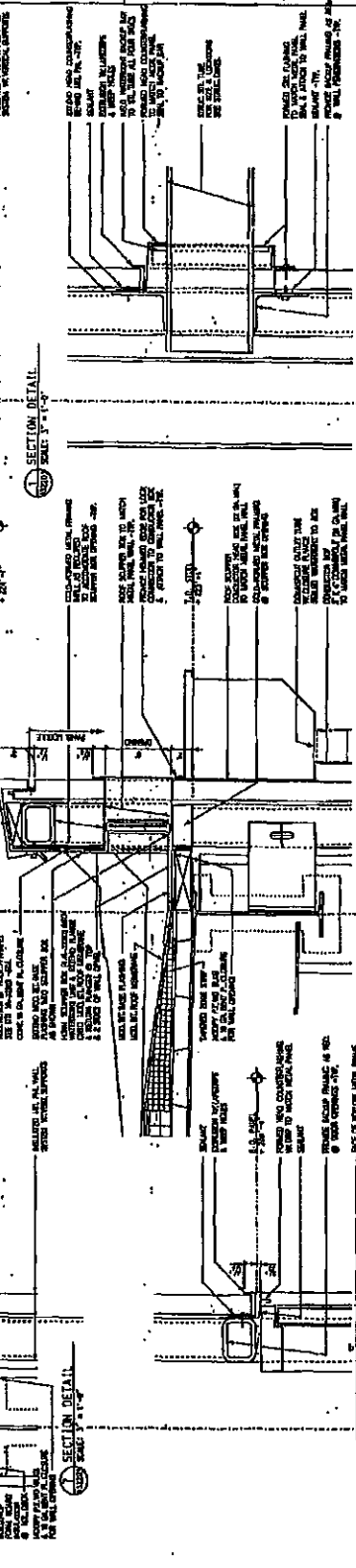
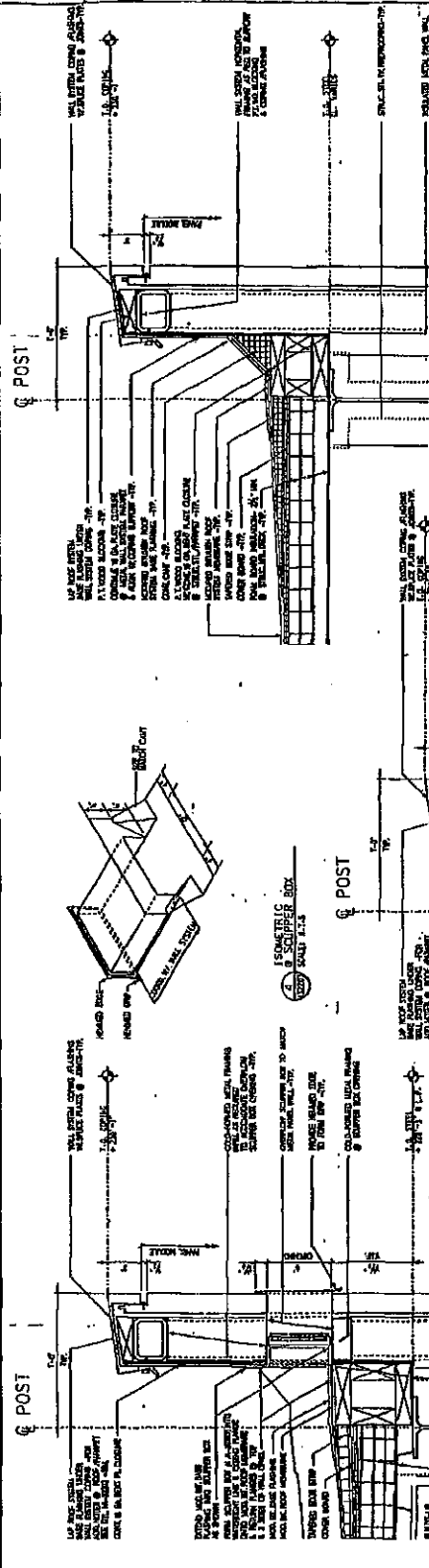
DATE: 10/18/81
BY: [Signature]



KIND Lindquist

ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109

PROJECT A-32203



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/10/88
2	ISSUED FOR PERMIT	10/10/88
3	ISSUED FOR PERMIT	10/10/88
4	ISSUED FOR PERMIT	10/10/88
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19	ISSUED FOR PERMIT	10/10/88
20	ISSUED FOR PERMIT	10/10/88

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 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 ARCHITECTS
 PROJECT A-32203
 BOSTON RESEARCH CENTER
 MISCELLANEOUS EXTERIOR DETAILS

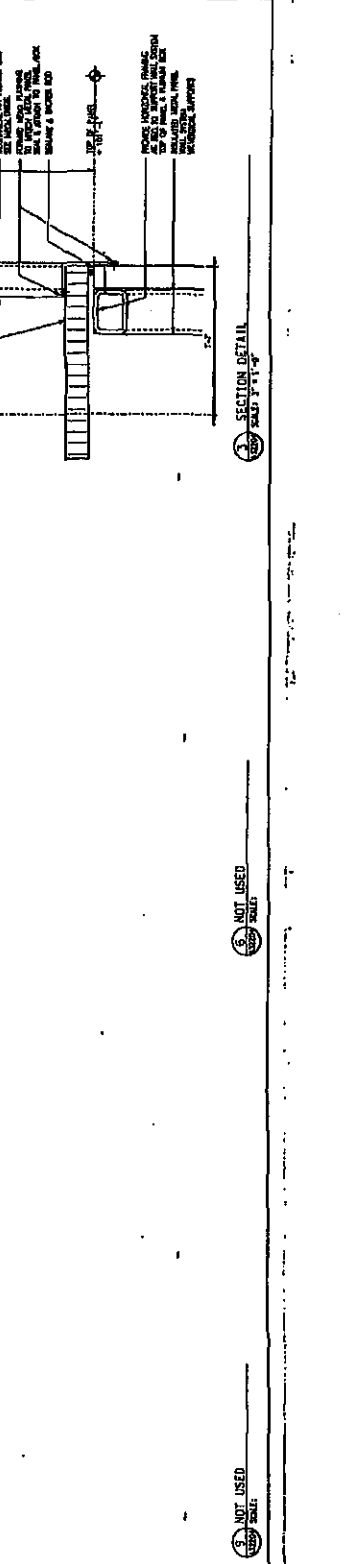
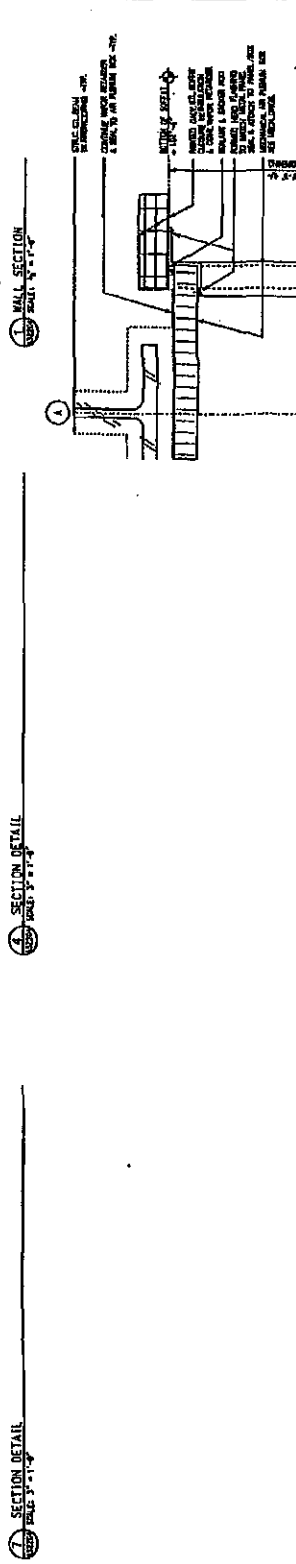
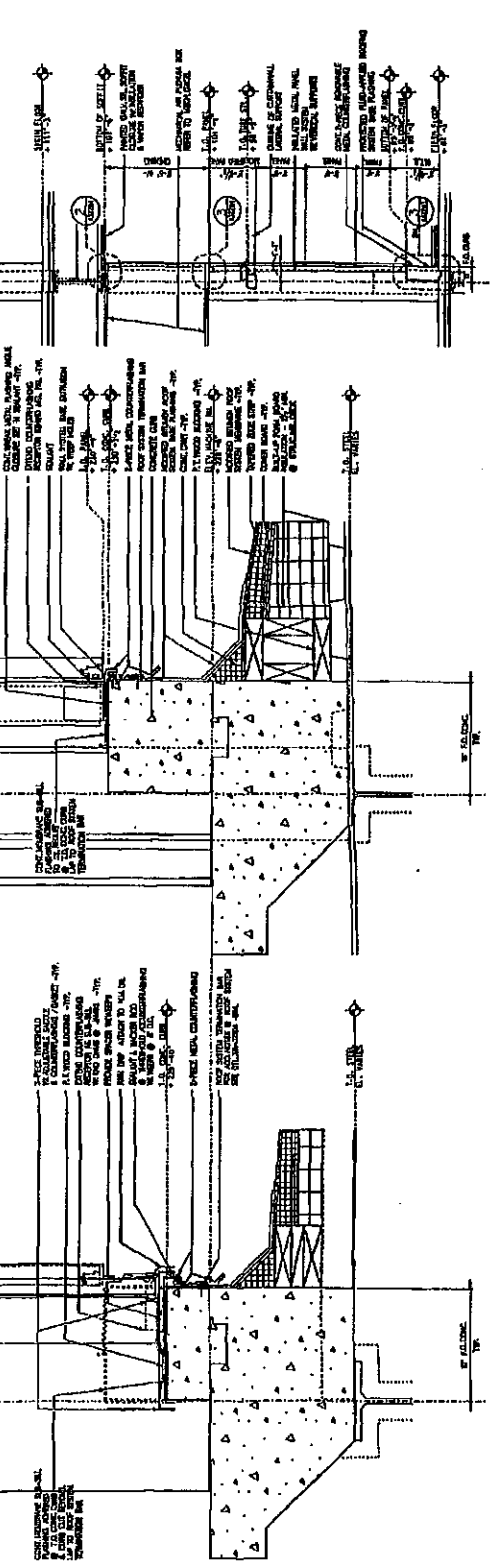
DATE: 10/10/88
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: BOSTON RESEARCH CENTER
 DRAWING: MISCELLANEOUS EXTERIOR DETAILS
 SHEET: E-A32203-00

King Lindquist
ARCHITECTS
145 STATE STREET
BOSTON, MASSACHUSETTS 02109
TEL. 552-2222

PROJECT NO. A-32204



SECTION 1
SCALE: 1/4" = 1'-0"



MERCK
BOSTON RESEARCH CENTER
IRREGULAR EXTERIOR DETAILS
PROJECT NO. A-32204-00
DATE: 10/1/83
BY: J. LINDQUIST
CHECKED: R. LINDQUIST
SCALE: AS SHOWN
PROJECT: BOSTON RESEARCH CENTER
145 STATE STREET
BOSTON, MASSACHUSETTS 02109
TEL: 552-2222
FAX: 552-2233
WWW: KINGLINDQUIST.COM

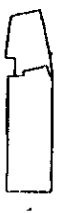
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7	ISSUED FOR PERMIT	10/1/83
8	ISSUED FOR PERMIT	10/1/83
9	ISSUED FOR PERMIT	10/1/83
10	ISSUED FOR PERMIT	10/1/83

1/4" = 1'-0"

King Lindquist

ARCHITECTS

PROJECT A-32205




NOTES

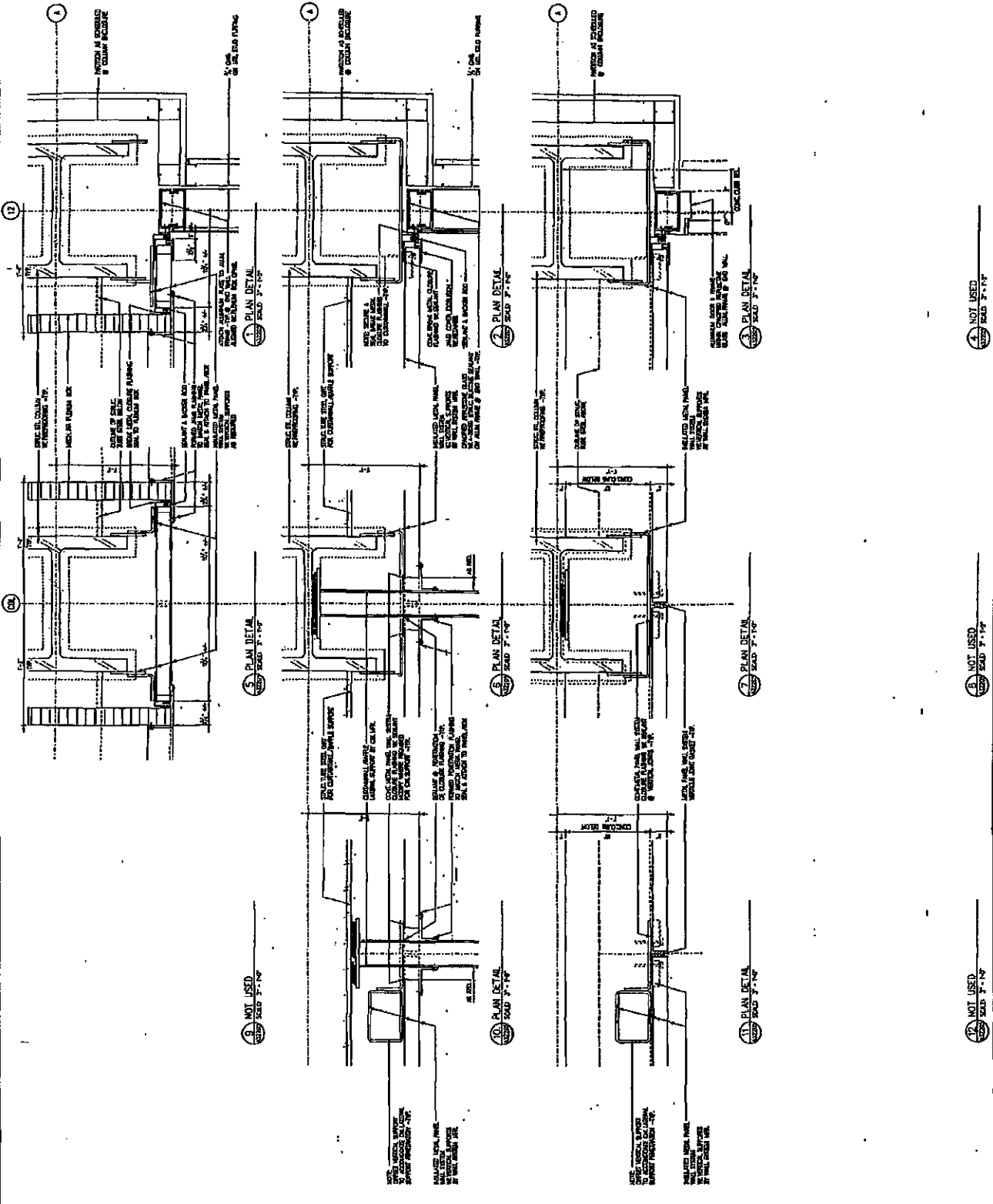
DATE 10/17/80



NO.	DATE	DESCRIPTION
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 MERCK
 BOSTON RESEARCH CENTER
 MISCELLANEOUS EXTERIOR DETAILS

E-A32205-00
 DRAWN BY: [Name]
 CHECKED BY: [Name]



NOT USED
SCALE 3/4\"/>

NOT USED
SCALE 3/4\"/>

NOT USED
SCALE 3/4\"/>

NOT USED
SCALE 3/4\"/>

King Lindquist
ARCHITECTS
100 STATE STREET
BOSTON, MASSACHUSETTS 02109
TELEPHONE: 552-1234

A-32301



NOTE:
1. THIS SYSTEM IS DESIGNED FOR USE WITH
A 1/2" MINIMUM INSULATION. THE INSULATION
SHOULD BE INSTALLED OVER THE DECK.
2. ALL MEMBERS SHOULD BE PROTECTED
FROM FIRE BY MEANS OF A FIRE-RESISTANT
FRAMING AS PER STRUCTURAL DRAWING.

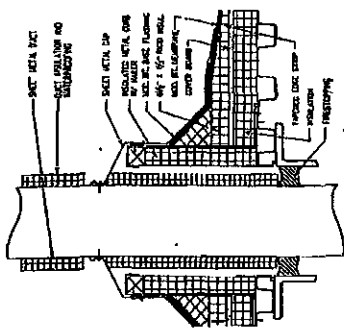


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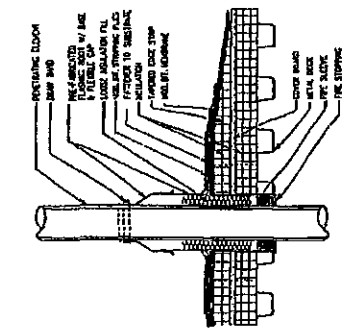


Boston Research Center
ROOF DETAILS

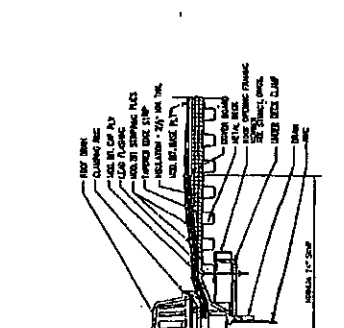
E-A32301-00



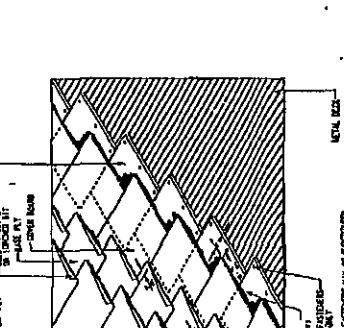
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SCALE 3/4" = 1'-0"



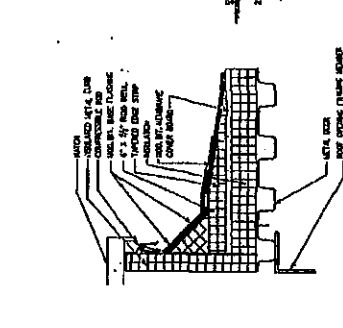
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SCALE 3/4" = 1'-0"



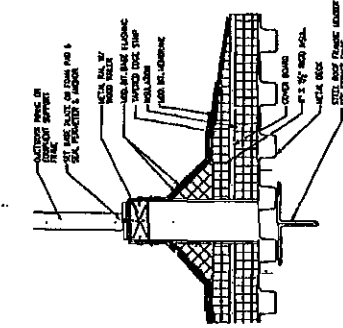
3. ROOF DRAIN DETAIL - MODIFIED BITUMINOUS MEMBRANE
SCALE 3/4" = 1'-0"



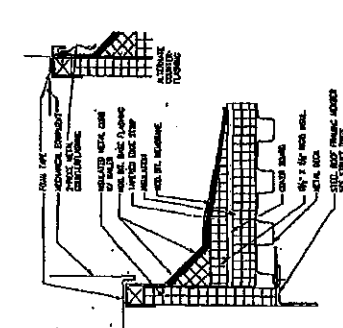
4. MODIFIED BITUMINOUS MEMBRANE ROOFING SYSTEM
SCALE 3/4" = 1'-0"



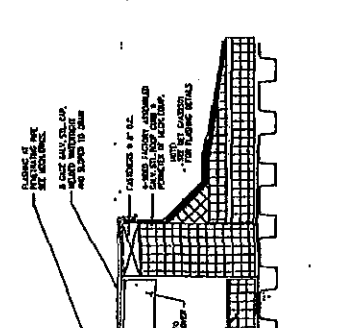
5. ROOF HATCH DETAIL
SCALE 3/4" = 1'-0"



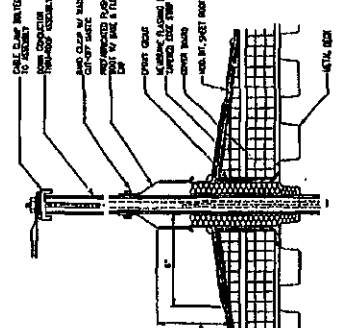
6. ROOF RAIL DETAIL
SCALE 3/4" = 1'-0"



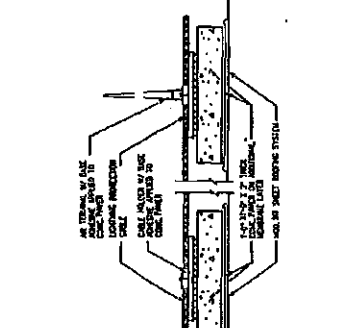
7. MECHANICAL UNIT ROOF CURB DETAIL
SCALE 3/4" = 1'-0"



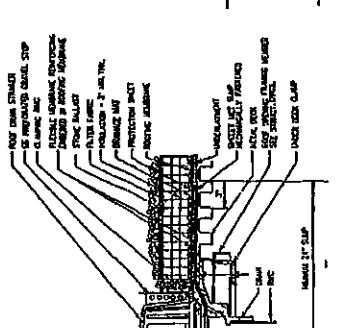
8. CURB DETAIL AT METAL CURB
SCALE 3/4" = 1'-0"



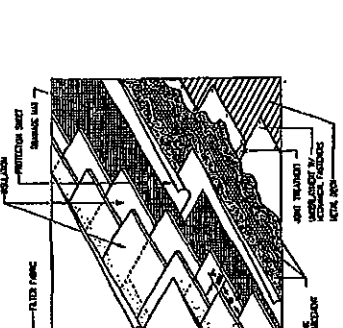
9. LIGHTING PROTECTION - ENCLOSING ROOF PENETRATION
SCALE 3/4" = 1'-0"



10. LIGHTING PROTECTION - ROOF MOUNTING DETAILS
SCALE 3/4" = 1'-0"



11. ROOF DRAIN DETAIL - PROTECTED FLUID-APPLIED MEMBRANE
SCALE 3/4" = 1'-0"



12. PROTECTED FLUID-APPLIED MEMBRANE ROOFING SYSTEM
SCALE 3/4" = 1'-0"

Kling Lindquist
 CONSULTING ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109

A-32302



COVER

DATE: 10/27/84
 DRAWN BY: [Signature]

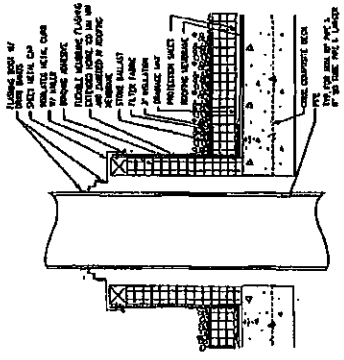


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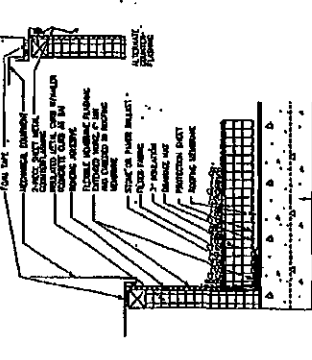
MERCK
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109
 PROJECT: BOSTON RESEARCH CENTER
 DRAWING NO: E-A32302-00
 DATE: 10/27/84
 SCALE: AS SHOWN
 DRAWN BY: [Signature]

Boston Research Center
 ROOF DETAILS

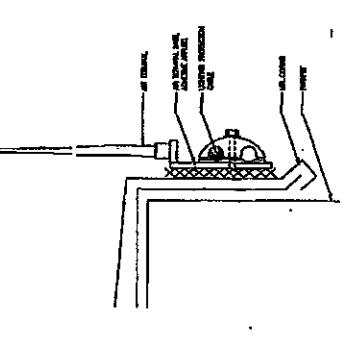
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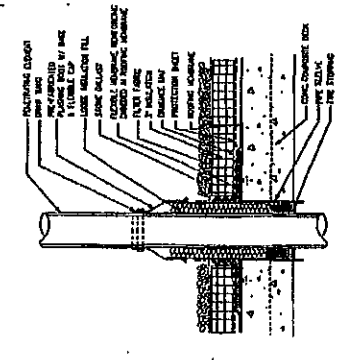
1 PIPE CURB FLASHING DETAIL
 SCALE: 3/4" = 1'-0"



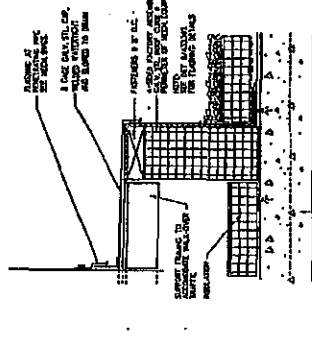
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 SCALE: 3/4" = 1'-0"



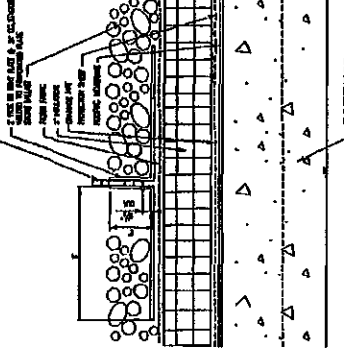
3 FLASHING DETAIL AT MECH. UNIT CURB
 SCALE: 3/4" = 1'-0"



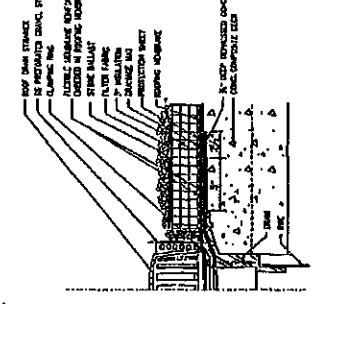
4 PREFORMED FLASHING DETAIL
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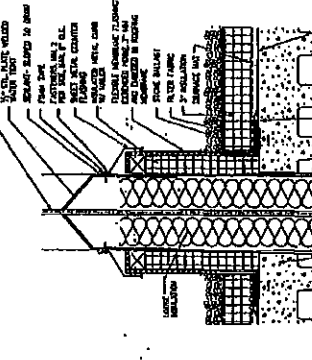
5 CAP DETAIL AT MECH. CURB
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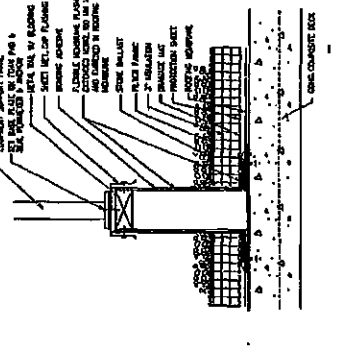
6 BALLAST DIVIDER DETAIL
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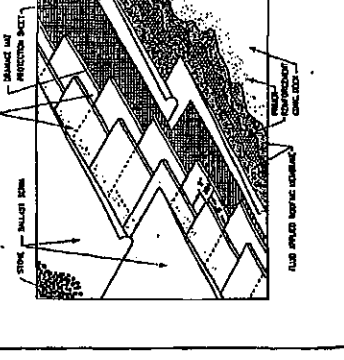
7 ROOF DRAIN DETAIL
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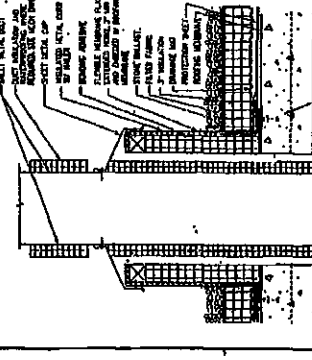
8 SKIRT MEMBER PENETRATION DETAIL
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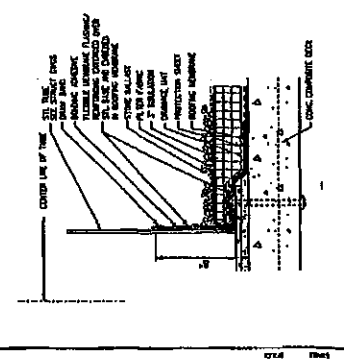
9 MECH. EQUIPMENT RAIL DETAIL
 SCALE: 3/4" = 1'-0"



10 PROTECTED JOINT FOR BALLAST BED
 SCALE: 3/4" = 1'-0"



11 DUCT PENETRATION DETAIL
 SCALE: 3/4" = 1'-0"



12 FLASHING AT STEEL POST BASE
 SCALE: 3/4" = 1'-0"

13 FLASHING PROTECTION AIR TERMINAL AT CURB
 SCALE: 3/4" = 1'-0"

14 MECH. EQUIPMENT RAIL DETAIL
 SCALE: 3/4" = 1'-0"

King Lindquist
 ARCHITECTS
 100 STATE STREET
 BOSTON, MASSACHUSETTS 02109

A-32303



DATE: 10/17/87

SCALE: 1/4" = 1'-0"

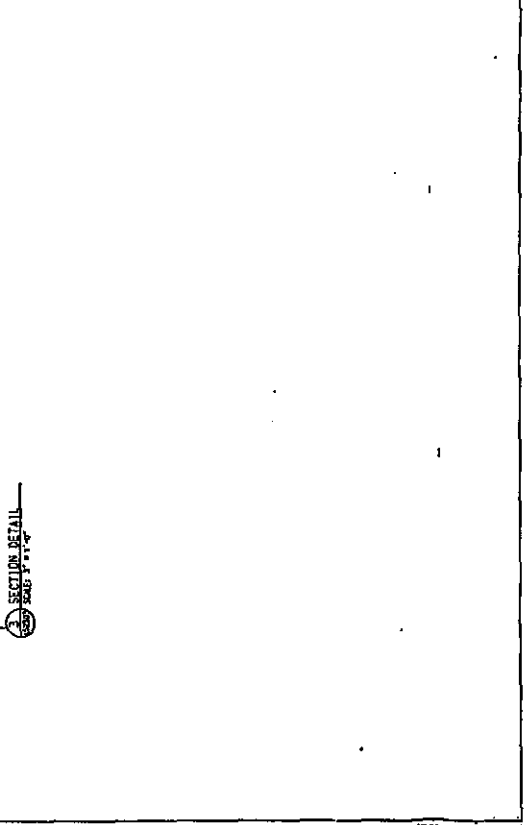
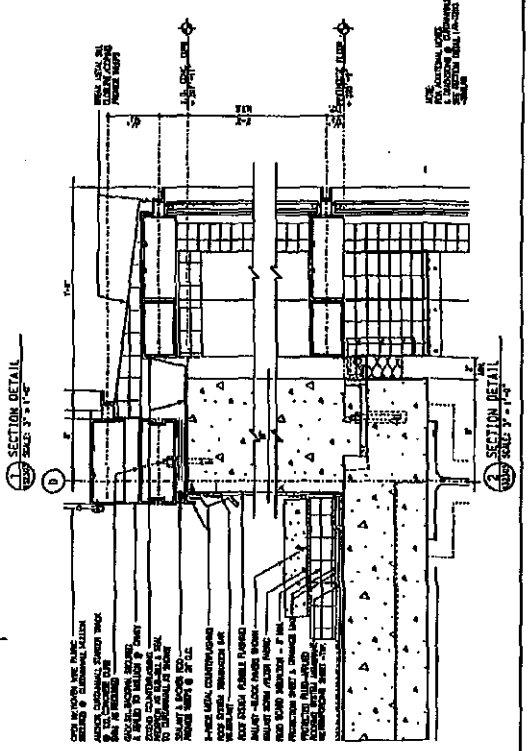
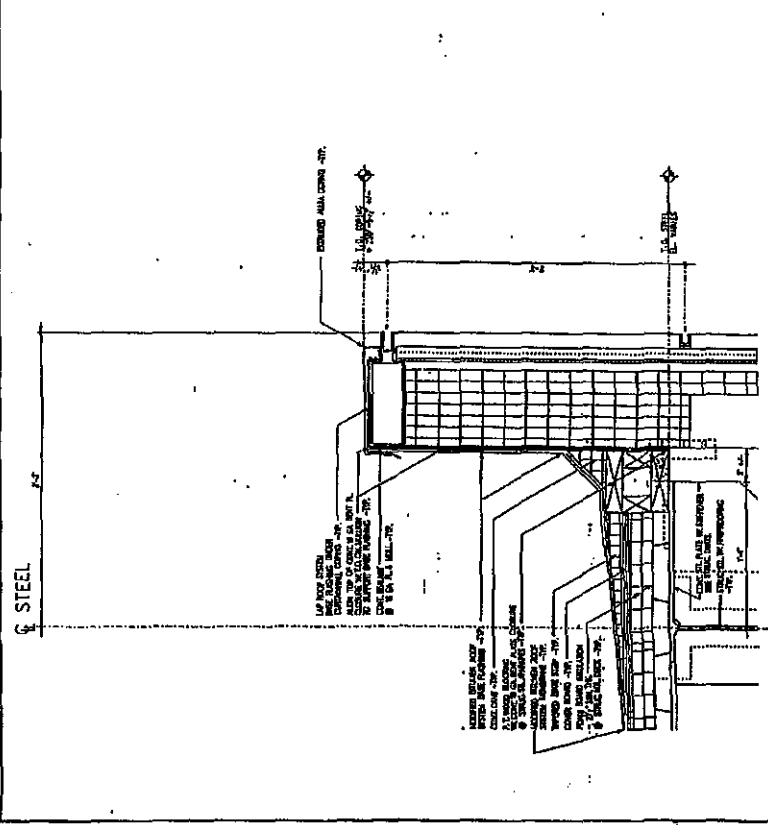
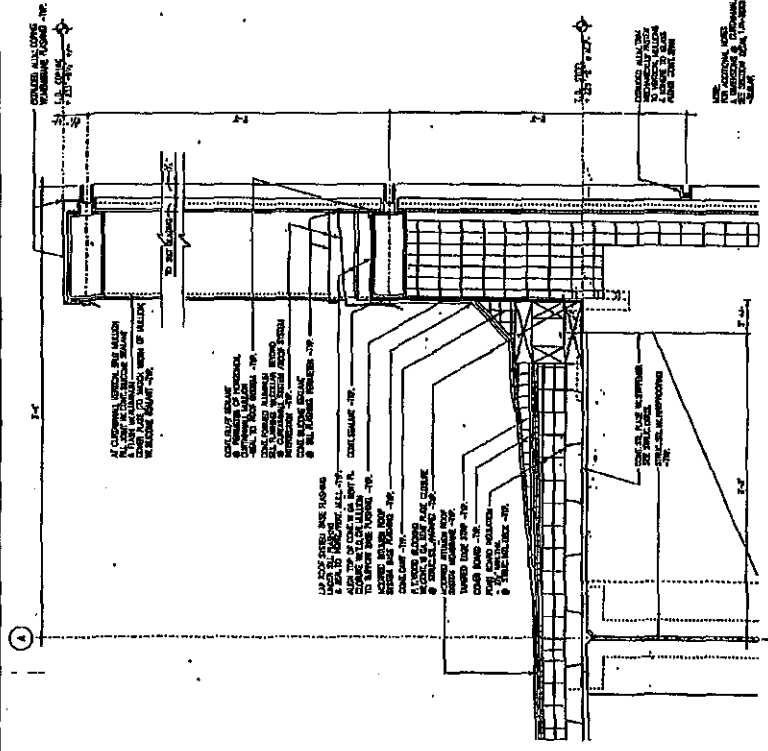


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4	11/16/87	REVISED TO SHOW CHANGES
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98	06/28/91	REVISED TO SHOW CHANGES
99	07/12/91	REVISED TO SHOW CHANGES
100	07/26/91	REVISED TO SHOW CHANGES

MERCK
 1200 MARKET STREET
 RAYMOND, MASSACHUSETTS 01969
 TEL: 617/552-3000
 FAX: 617/552-3001
 MERCK PHARMACEUTICALS, INC. BOSTON

Boston Research Center
 ROOF DETAILS

E-A32303-00



MEMORANDUM

MAY 15, 2012

TO: BOSTON REDEVELOPMENT AUTHORITY AND
PETER MEADE, DIRECTOR

FROM: BRENDA MCKENZIE, DIRECTOR OF ECONOMIC DEVELOPMENT
LINDA KOWALCKY, DEPUTY DIRECTOR FOR INSTITUTIONAL
SECTOR DEVELOPMENT
SONAL GANDHI, SENIOR PROJECT MANAGER

SUBJECT: PUBLIC HEARING TO CONSIDER THE DEVELOPMENT PLAN FOR
PLANNED DEVELOPMENT AREA No. 88 ("PDA") FOR THE MERCK
RESEARCH LABORATORY ("MERCK")

SUMMARY: This Memorandum requests authorization for Boston Redevelopment Authority ("BRA" or "Authority") to: (a) approve pursuant to Section 80C-5.4 of the Boston Zoning Code (the "Code") the Development Plan for Planned Development Area No. 88 for Merck Research Laboratory, 33 Avenue Louise Pasteur ("PDA No. 88"); (b) petition the Boston Zoning Commission for approval of the Development Plan for PDA No. 88, Merck Research Laboratory and associated map amendment; and (c) take all actions and execute any and all documents deemed necessary and appropriate by the Director, in connection with No. 88.

INTRODUCTION/BACKGROUND

Merck, Sharp & Dohme Corp., f/k/a Merck and Co., Inc ("Merck"), a New Jersey corporation, is a global research-driven pharmaceutical company that delivers, develops, manufactures, and markets a broad range of human and animal health products, directly and through its joint ventures.

On August 30, 2000, the Boston Redevelopment Authority ("BRA") approved an Institutional Master Plan for the Emmanuel College ("Emmanuel") Campus ("Emmanuel 2000 IMP"). The Emmanuel 2000 IMP included plans for development of a three-parcel "Endowment Campus" which was envisioned to be developed in such a way that it would support the development proposed on Emmanuel's Academic Campus. In conjunction with the Emmanuel 2000 IMP, Merck obtained approvals for an approximately 300,000 square feet research and development building with below-grade parking developed by Merck, located on Endowment Campus Parcel B, which Merck ground leases from Emmanuel. The zoning for this Merck building, which was

completed and occupied in 2004, was established pursuant to the Emmanuel 2000 IMP. The Emmanuel 2000 IMP expired in 2010.

At this time, Emmanuel and Merck have determined that it is appropriate for Parcel B to be designated as a Planned Development Area ("PDA") pursuant to Article 80C of the Boston Zoning Code ("Code"). Merck does not intend to make any changes to the permitted uses or dimensions of Parcel B. Rather, it is pursuing PDA approval as a technical means of ratifying the zoning for Parcel B obtained through the Emmanuel 2000 IMP.

PROJECT SITE AND MERCK PROJECT

The PDA Project Site is an approximately 51,415 square foot parcel of land located off Avenue Louis Pasteur. It is directly adjacent to the Emmanuel College academic campus and the Longwood Medical and Academic Area ("LMA"). The Merck Project as built is comprised of approximately 300,000 square feet of gross floor area and below-grade parking on 5 levels for up to 249 cars. The building is 11 stories, 187 feet in height, with a 30-foot penthouse for mechanical systems necessary for the operation of laboratory facilities within the building. A Building Permit was issued on April 11, 2002 and a Certificate of Occupancy was issued by the Inspectional Services Department ("ISD") for the City of Boston on June 24, 2004.

PDA REVIEW

Merck submitted ITS Development Plan for Planned Development Area No. 88, Merck Research Laboratory, 33 Avenue Louis Pasteur ("PDA No. 88") on March 7, 2012, initiating a public comment period ending on April 21, 2012. Notice of the receipt by the BRA of PDA No. 88 was published in the Boston Herald on March 7, 2012. PDA No. 88 was discussed at joint Emmanuel College/ Brigham and Women's Hospital Task Force meetings on January 18, 2012 and March 19, 2012. Merck presented PDA No. 88 at the LMA Forum on March 26, 2012.

RECOMMENDATION

BRA staff recommends that the Boston Redevelopment Authority ("BRA" or "Authority"): (a) approve pursuant to Section 80C-5.4 of the Boston Zoning Code (the "Code") the Development Plan for Planned Development Area No. 88, Merck Research Laboratory, 33 Avenue Louis Pasteur ("PDA No. 88"); (b) petition the Boston Zoning Commission for approval of the PDA No. 88 and the associated map amendment; and (c) take all actions and execute any and all documents deemed necessary and appropriate by the Director, in connection with PDA No. 88.

Appropriate votes follow:

VOTED: That in connection with the Development Plan for Planned Development Area No. 88, Merck Research Laboratory, 33 Avenue Louis Pasteur ("PDA No. 88"), presented at a public hearing held at the offices of the Boston Redevelopment Authority ("BRA") on May 15, 2012, and after consideration of evidence presented at, and in connection with the Merck Research Laboratory project described in PDA No. 88, the BRA hereby finds that in accordance with Article 80C of the Boston Zoning Code (the "Code"): (i) PDA No. 88 is not for a location or Proposed Project for which Planned Development Areas ("PDAs") are forbidden by the underlying zoning; (ii) the Merck Research Laboratory project described in PDA No. 88, complies with any provisions of the underlying zoning that establish use, dimensional, design, or other requirements for proposed projects in PDAs; (iii) PDA No. 88 complies with any provisions of the underlying zoning that establish planning and development criteria for PDAs; (iv) PDA No. 88 conforms to the plan for the district, subdistrict, or similar geographic area in which PDA No. 88 is located, and to the general plan for the City as a whole; and (v) on balance, nothing in PDA No. 88 will be injurious to the neighborhood or otherwise detrimental to the public welfare, weighing all the benefits and burdens; and

FURTHER

VOTED: That, pursuant to Article 80D of the Code, the BRA hereby authorizes the Director to petition the Boston Zoning Commission for approval of PDA No. 88 and the associated map amendment to amend "Map 1, Boston Proper" of the series of maps entitled "Zoning Districts City of Boston," dated August 15, 1962 by adding the designation "D," indicating a Planned Development Area to the property to be known as PDA No. 88, in substantial accord with PDA No. 88 and the associated map amendment presented to the BRA at its hearing on May 15, 2012; and

FURTHER

VOTED: That, the Director be, and hereby is, authorized to execute and deliver any and all documents deemed necessary and appropriate by the Director in connection with PDA No. 88 and the Merck Research Laboratory project described therein.

Map Amendment Application No. 613
Boston Redevelopment Authority
Planned Development Area No. 88
Map 1, Boston Proper

MAP AMENDMENT NO. 547

THE COMMONWEALTH OF MASSACHUSETTS

CITY OF BOSTON

IN ZONING COMMISSION

The Zoning Commission of the City of Boston, acting under Chapter 665 of the Acts of 1956, as amended, after due report, notice and hearing, does hereby approve the Development Plan for Planned Development Area No. 88, Merck Research Laboratory, Boston, and amends "Map 1, Boston Proper", of the series of maps entitled "Zoning Districts City of Boston," dated August 15, 1962, as amended, as follows:

1. By deleting the designation "IMP," indicating an Institutional Master Plan overlay district, as established by Map Amendment No. 381, from approximately 51,415 square feet (approximately 1.18 acres) of land in Boston as described on Exhibit A and shown on Exhibit B hereto.
2. By adding the suffix "D", indicating a Planned Development Area overlay district, to approximately 51,415 square feet (approximately 1.18 acres) of land of in Boston, as described on Exhibit A and shown in Exhibit B hereto.

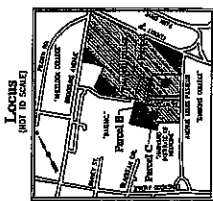
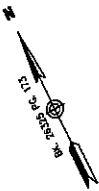
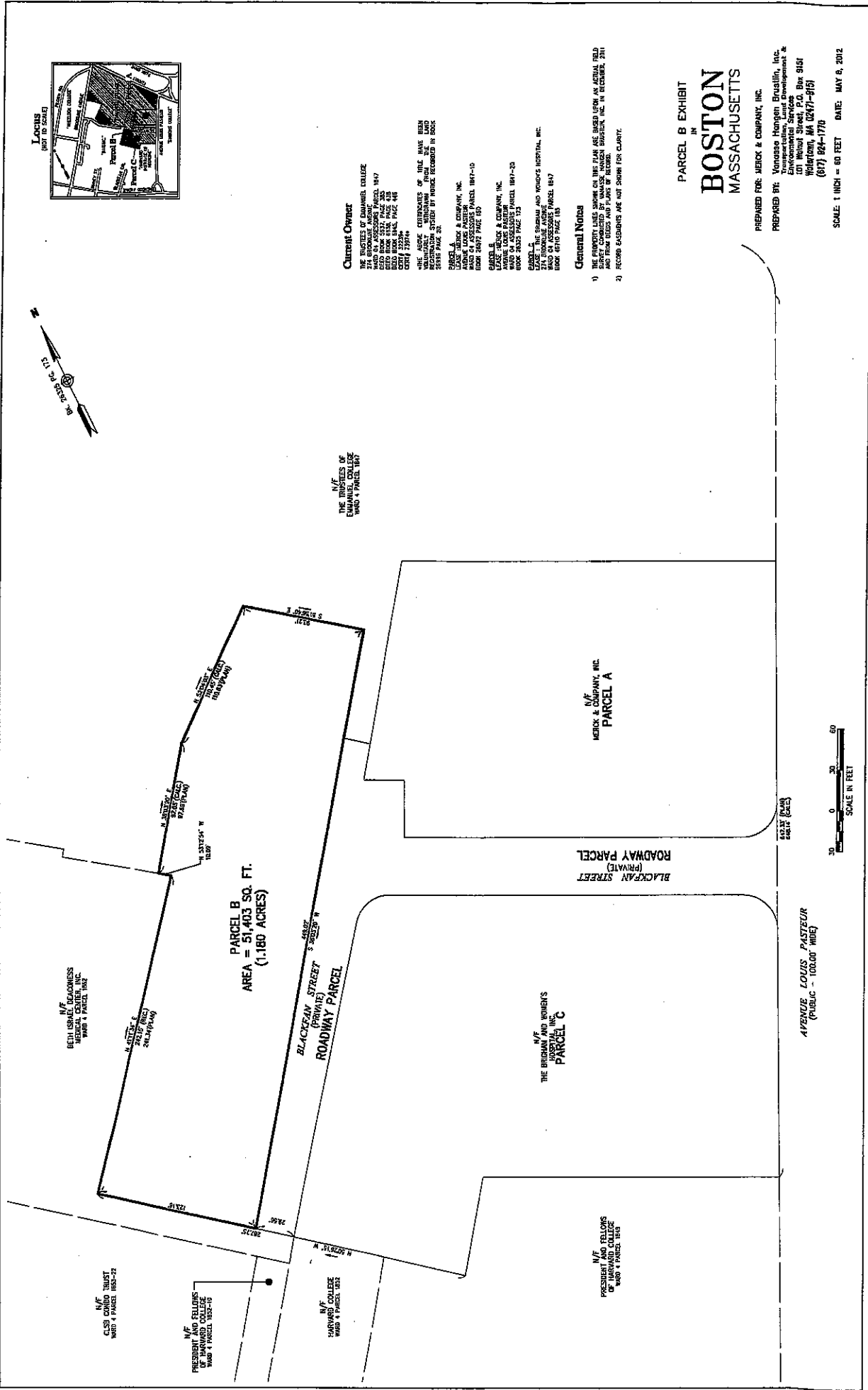
Legal Description – Parcel B

A certain parcel of land located on the west side of Fenway and north of Avenue Louis Pasteur in the City of Boston, in the County of Suffolk and the Commonwealth of Massachusetts bounded and described as follows:

Beginning at a point at the northerly sideline of a private way known as Blackfan Street, said point being N 50°26'15" W and a distance Twenty Nine and Fifty-six Hundredths feet (29.56') from southwesterly corner of land now or formerly Beth Israel Deaconess Medical Center, Inc.; thence

- | | |
|---------------|--|
| N 50°26'15" W | a distance of One Hundred Twenty Three and Sixteen Hundredths feet (123.16') to a point; thence |
| N 41°11'34" E | a distance of Two Hundred Forty Two and Sixteen Hundredths feet (242.16') to a point; thence |
| N 53°12'54" W | a distance of Ten and Nine Hundredths feet (10.09') to a point; thence |
| N 38°03'20" E | a distance of Ninety Seven and Five Hundredths feet (97.05') to a point; thence |
| N 52°04'03" E | a distance of One Hundred Ten and Forty Five Hundredths feet (110.45') to a point; thence |
| S 51°56'40" E | a distance of Ninety Three and Twenty One Hundredths feet (93.21') to a point; thence |
| S 38°03'20" W | a distance of Four Hundred Forty Nine and Two Hundredths feet (449.02') to the point of beginning. |

The above described parcel contains 51,403 square feet or 1.180 acres more or less in the City of Boston, MA



N/F
THE OFFICES OF
EMANUEL COLLEGE
WARD 4 PARCEL 187

N/F
MEEK & COMPANY, INC.
PARCEL A

BLACKMAN STREET
(PRIVATE)
ROADWAY PARCEL

N/F
THE BRIGMAN AND WOMEN'S
HOSPITAL, INC.
PARCEL C

AVENUE LOUIS PASTEUR
(PUBLIC - 100.00' WIDE)



Current Owner

THE TRUSTEES OF DANIEL COLLEGE
274 BROADWAY, 4TH FLOOR
CAMBRIDGE, MASSACHUSETTS 02142
TEL: 617 495 7100 FAX: 617 495 7101
BELL BLDG. 4TH FLOOR, PAGE 448
OFFICE 229794

THE ABOVE CERTIFICATES OF TITLE HAVE BEEN
RECORDED IN THE PUBLIC RECORDS OF THE
REGISTERED OFFICE OF THE REGISTRAR IN 2002
2003 PAGE 20.

PARCEL A
MEEK & COMPANY, INC.
100 STATE STREET, 4TH FLOOR
BOSTON, MASSACHUSETTS 02109
PAGE 24 ASSESSORS PARCEL 187-10
BOOK 2433 PAGE 100

PARCEL B
MEEK & COMPANY, INC.
100 STATE STREET, 4TH FLOOR
BOSTON, MASSACHUSETTS 02109
PAGE 24 ASSESSORS PARCEL 187-10
BOOK 2433 PAGE 100

PARCEL C
THE BRIGMAN AND WOMEN'S HOSPITAL, INC.
775 STATE STREET, 4TH FLOOR
BOSTON, MASSACHUSETTS 02116
PAGE 24 ASSESSORS PARCEL 187
BOOK 2433 PAGE 100

General Notes

- 1) THE RECORDS OF THE REGISTRAR IN 2002 AND 2003 SHOW AN ORIGINAL TITLE
SHEET COVERING PARCELS A, B, C AND D, PARCEL 187-10, IN REGISTER, 2001
AND FROM DEEDS AND PLANS OF RECORD.
- 2) RECORDS AND PLANS ARE NOT SHOWN FOR CLARITY.

PARCEL B EXHIBIT
IN
BOSTON
MASSACHUSETTS

PREPARED FOR: MEEK & COMPANY, INC.
PREPARED BY: Vanessa Horgan Braslin, Inc.
Environmental Services
101 Mutual Street, P.O. Box 9151
ROSLINDEN, MA 02471-9151
(617) 924-1770

SCALE: 1 INCH = 60 FEET DATE: MAY 8, 2012

Robert Jordan
Chairman

Vice Chairman

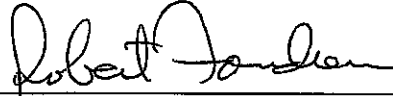
Jim Gray Bryer
Jay Hurley
Jim Hatton
Alvin A. Washburn
[Signature]
[Signature]
Webster

In Zoning Commission

Adopted: June 27, 2012

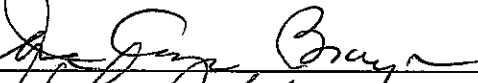
Attest: [Signature]
Secretary

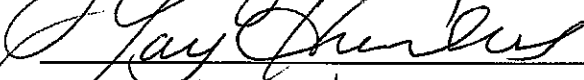
Development Plan for Planned Development Area No. 88, Merck Research Laboratory

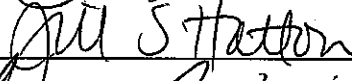


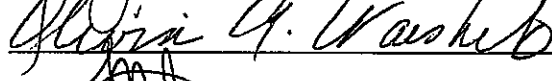
Chairman

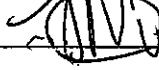
Vice-Chairman











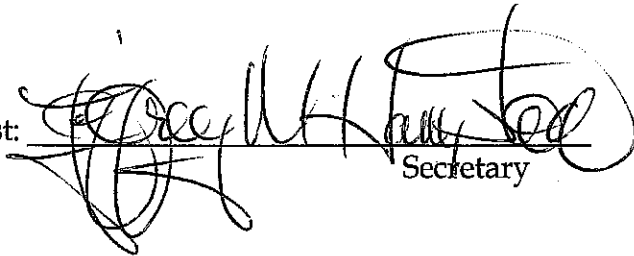




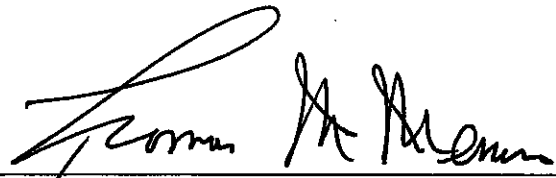
In Zoning Commission

Adopted: June 27, 2012

Attest:



Secretary



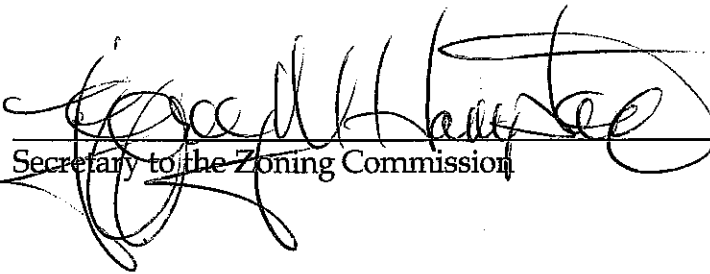
Mayor, City of Boston

Date:

6/27/12

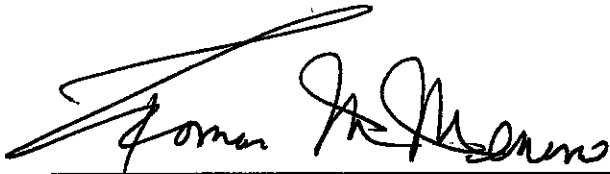
The foregoing amendment was presented to the Mayor on JUNE 27, 2012, and was signed by him on JUNE 27, 2012, whereupon it became effective on JUNE 27, 2012, in accordance with Section 3 of Chapter 665 of the Acts of 1956, as amended.

Attest:



Secretary to the Zoning Commission

Development Plan for Planned Development Area No. 88, Merck Research Laboratory,
Boston

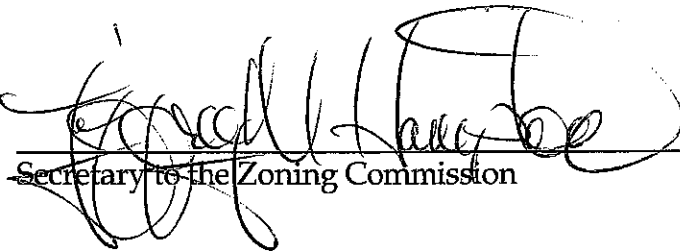


Mayor, City of Boston

Date: 6/27/12

The foregoing Development Plan, was presented to the Mayor on JUNE 27, 2012,
and was signed by him on JUNE 27, 2012, whereupon it became effective on
JUNE 27, 2012, in accordance with Section 3 of Chapter 665 of the Acts of 1956, as
amended.

Attest:



Secretary to the Zoning Commission