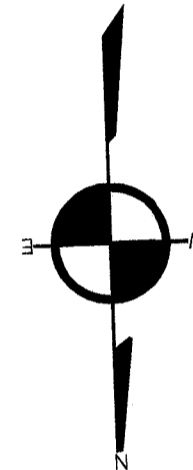


PLAN OF LAND

LOCATED AT
1084-1086 CANTERBURY STREET
BOSTON, MA

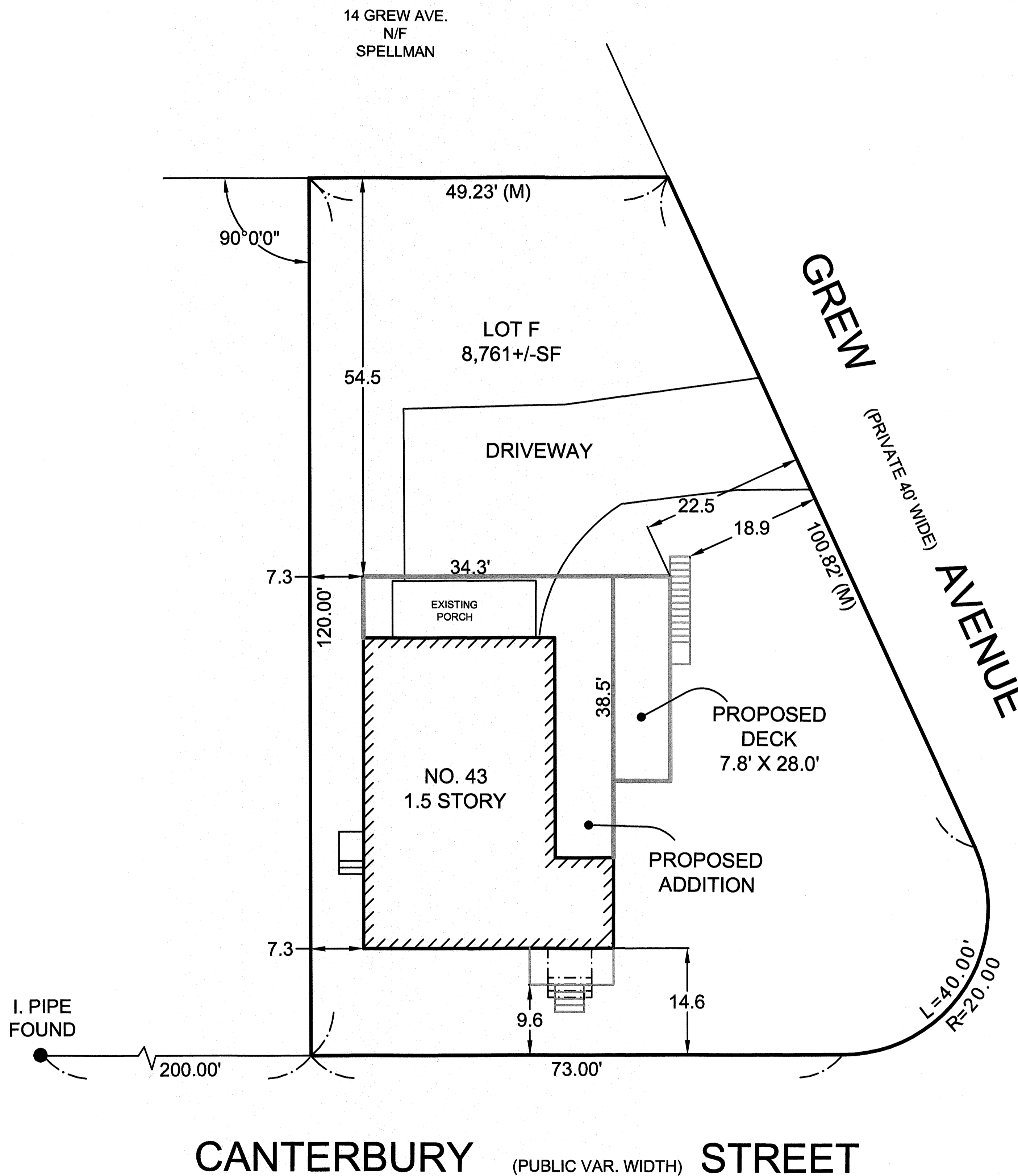
SCALE: 1 INCH = 20 FEET



1082 CANTERBURY ST.
 N/F
 ESPINAL

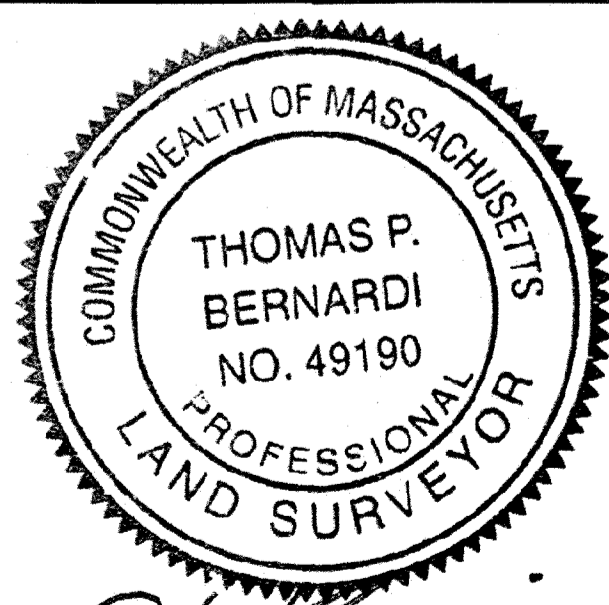
MASSACHUSETTS SURVEY CONSULTANTS

14 SUMNER STREET
 GLOUCESTER, MA 01930
 617 899-0703
 WWW.MASSACHUSETTSSURVEY.COM



REFERENCES

DEED: BOOK 14204, PAGE 339
 PLAN: BOOK 5005-END



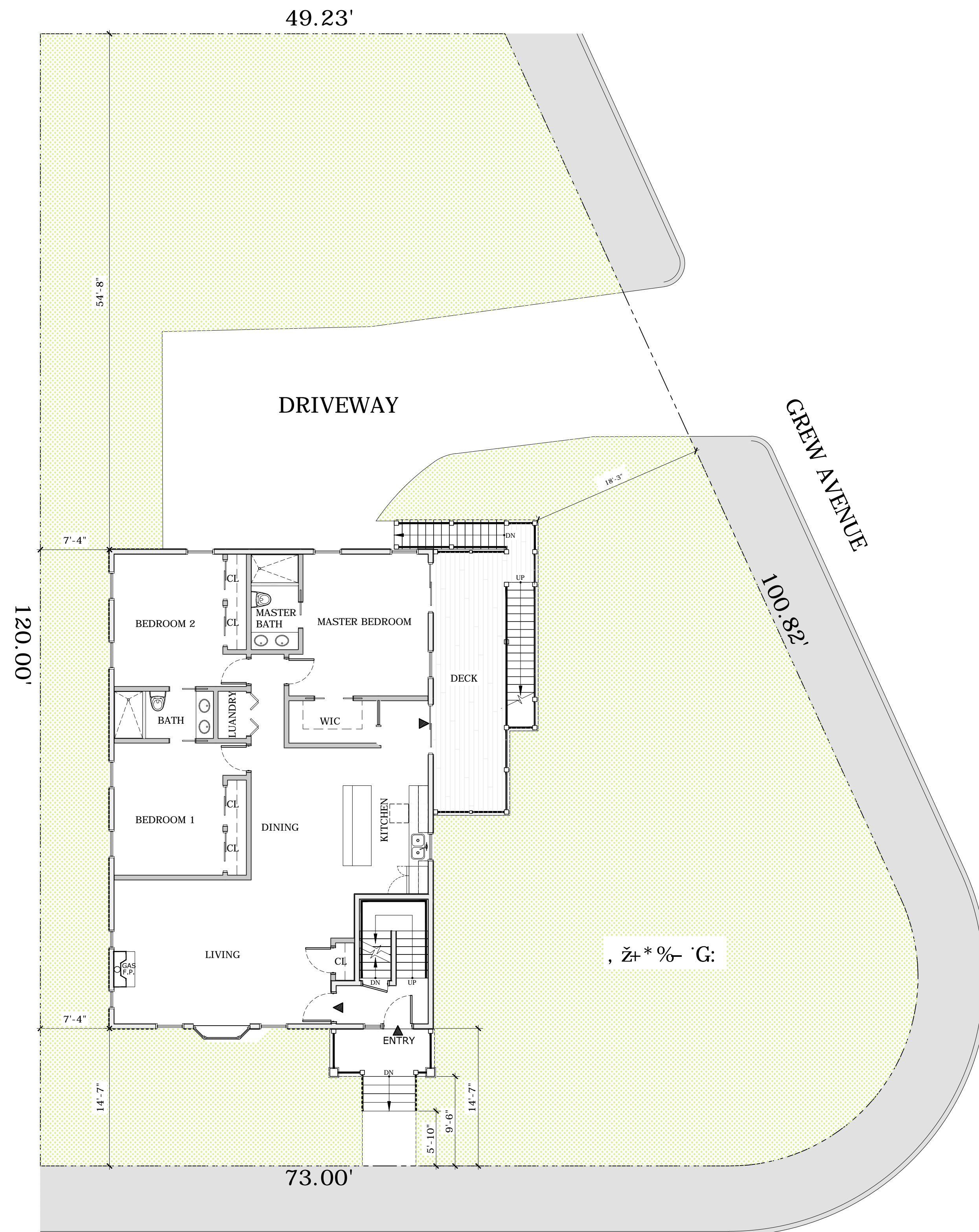
CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF APRIL 15 AND APRIL 29, 2018 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THOMAS BERNARDI P.L.S.

DATE: MAY 3, 2018

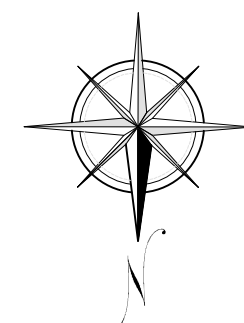


1084-1086 CANTERBURY STREET

ARCHITECTURAL SITE PLAN

1/4" = 1'-0"

1ST FLOOR: 1,744 SF
 2ND FLOOR: 1,744 SF
 3RD FLOOR: 872 SF
 TOTAL SF 4,360 SF



SHEET INDEX:

TITLE:

A-0 COVER SHEET - GENERAL NOTES - ZONING

SURVEY:

C-CPP CERTIFIED PLOT PLAN

ARCHITECTURAL:

- A-0 ARCHITECTURAL SITE PLAN
- A-1 ELEVATIONS I
- A-2 ELEVATIONS II
- A-3 FLOOR PLANS I
- A-4 FLOOR PLANS II
- A-5 FLOOR FRAMING & DETAILS
- A-6 FLOOR FRAMING & SECTION

CANTERBURY STREET ADDITION

1084-1086 STREET, ROSLINDALE, BOSTON, MA

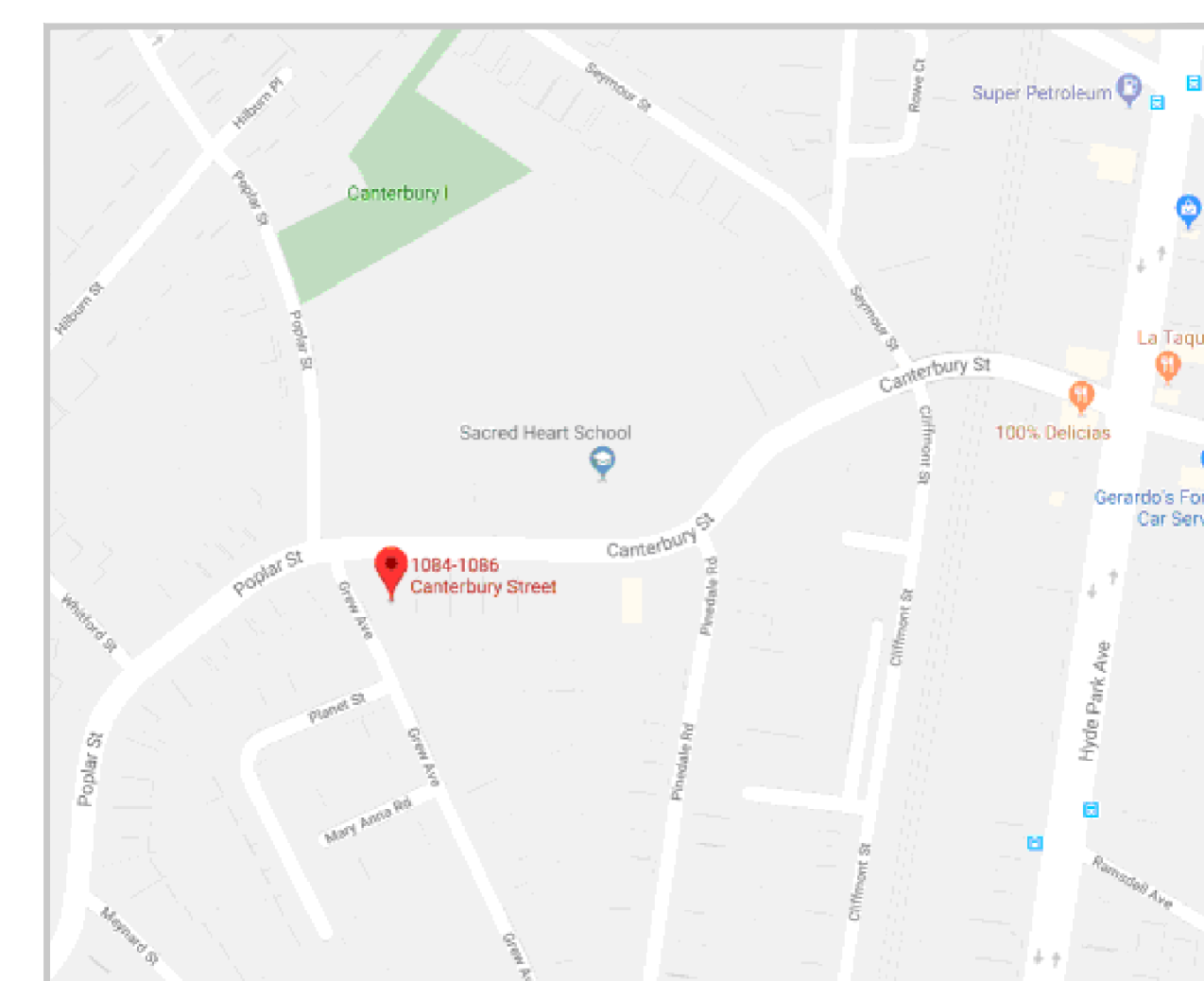
Article 67

Two Family Residential Subdistrict: Zoned 2F-5000

Current Property Use: Two Family Residential

Proposed Property Use: 2 Family Residential Units				
REGULATIONS	EXISTING	PROPOSED	REQUIRED	COMMENTS
Lot Area Min. (Dwelling units Specified (SF))	1 Lot @ 8,761	1 Lot @ 8,661	5,000 sf	COMPLY
Additional Lot Area/Dwelling units Specified (SF)	2,424 sf	1,932 sf	3,000 sf	COMPLY
Lot Width Min. (Ft)	92±	92±	50'	COMPLY
Lot Frontage Min. (Ft)	92±	92±	50'	COMPLY
FAR Max.	0.28	0.49	0.5	COMPLY
Building Height (Stories)	2½	2½	2½	COMPLY
Building Height (Ft)	33'-2"±	33'-2"±	35'	COMPLY
Open Space Min. SF per Dwelling unit	3,458±/Unit	3,150±/Unit	1,750/Unit	COMPLY
Front Yard Setback Min. (Ft)	4'-0"±	4'-0"±	20'	GRAND-FATHERED
Side Yard Setback Min. (Ft)	R-Side 7'-4" L-Side 40'-5"	R-Side 7'-4" L-Side 18'-10"	10'	GRAND-FATHERED
Rear Yard Setback Min. (Ft)	62'-11"	54'-6"	40'	COMPLY
Accessory Building %	0%	0%	25%	COMPLY

DIMENSIONAL CONTROL CHART:



LOCATION MAP:

N.T.S.

CITY OF BOSTON

ZONING EVALUATION:

2F/5000 USE:
Two Family Residential Subdistrict

GENERAL NOTES:

TWO FAMILY RENOVATION @ 1084-1086 Canterbury Street, Roslindale, Boston, MA.

Rear and side addition; conventional wood construction anchored to standard concrete foundation, interior remodeling with open floor layouts including; Kitchens, Bathrooms, Closets & Storage areas. Up to date, HVAC Mechanicals, Electrical, plumbing as regulated per current building regulations per Mass State Building Codes.

All renovations, repairs, alterations, additions, and demolition shall conform to the regulations of the Massachusetts State Building Code, 9th Edition 780 CMR. and all amendments to the 2015 International Building Codes. Including all Plumbing/Mechanical, Electrical, Life Safety, and Fire Protection Codes and regulations.

General Contractor to verify all dimensions and existing site conditions and is responsible for the coordination of all mechanical, electrical and demolition work, as well as the installation provided by these subcontractors, including; dumpster permits, fire department permits and general building permits.

Door & Window styles to be determined by contractor and owner. Windows @ bedrooms must meet egress requirements. All egress doors must be 3' x 6'-8" Min. Doors between heated & unheated spaces to be weather stripped and have bottom sweep.

All vents including baths, dryer & hood range to vent out 25'-0" min. duct length

Consult Massachusetts Building Code for all openings in framing including structural support, crippling studs, headers, sills, jack studs & blocking. Exterior deck framing tied to exterior wall structure with post securely fastened to resist wind lift.

ELECTRICAL NOTES:

All work to be performed by a licensed Electrician in compliance with the latest edition of the ICEC & National Electrical Codes, including switches, outlets and all other electrical fixtures.

MECHANICAL NOTES:

All work to be performed by a licensed Heating/AC/Mechanical Contractor and shall conform to the regulations of the Massachusetts State Building Code, 9th Edition 780 CMR. and all amendments to the 2015 IMC - International Building Codes.

DATE:	

ARCHITECT-OF-RECORD:

ARCHITECT:
DESIGNS BY OZ³

 TEL: 781-883-9628
 FAX: 216-803-9628
 OLimas3@DesignsByOZ.com

ENGINEER_OF_RECORD:

CANTERBURY STREET ADDITION
1084 - 1086 Canterbury Street
Roslindale, MA 02131

PROJECT:
 Canterbury Street Addition
 1084-86 Canterbury Street
 Roslindale, MA 02131

TITLE:
ARCHITECTURAL SITE PLAN & ZONING

DATE:	May 21, 2018
SCALE:	As Shown
DRAWN:	OL ³
CHECKED:	-
DRAWING NO.	A-0



PORCH FRAMING: 2x10 P.T. WOOD, INCLUDING RIM & FLOOR JOIST, BLOCKING & 6X6 POSTS. FINISH TBD BY OWNER G.C.; COMPOSITE RAILINGS SYSTEMS, & TRIM. CONNECTORS & FASTENERS ALL GALVANIZED, TYP. (RAILING BALUSTERS NOT SHOWN FOR CLARITY)

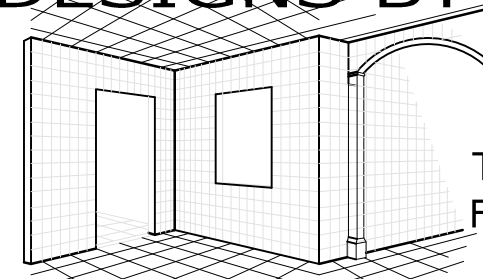
RIGHT ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

DATE:	

ARCHITECT-OF-RECORD:

ARCHITECT:
DESIGNS BY OZ³

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 FAX: 216-803-9628
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1084 - 1086 Canterbury Street
Roslindale, MA 02131

PROJECT:
 Canterbury Street Addition
 1084-86 Canterbury Street
 Roslindale, MA 02131
 TITLE:
ARCHITECTURAL ELEVATIONS I

DATE: May 21, 2018
 SCALE: As Shown
 DRAWN: OL³
 CHECKED: -
 DRAWING NO.
A-1



LEFT ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/4" = 1'-0"

- ARCHITECTURAL SHINGLES
- VINYL SIDING
- 4" COMPOSITE TRIM BOARD
- 6" TRIM COMPOSITE BOARD
- ARCHITECTURAL SHINGLES
- 10" COMPOSITE POSTS
- 42" MIN. HT. GUARD RAILING
- 34" MIN. HT. HAND RAILING

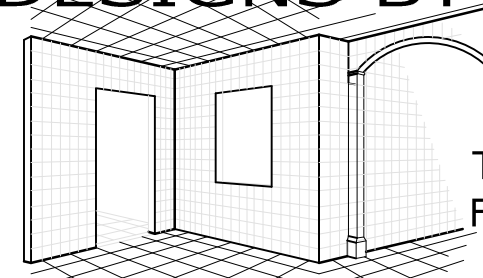
PORCH FRAMING: 2x10 P.T. WOOD, INCLUDING RIM & FLOOR JOIST, BLOCKING & 6X6 POSTS. FINISH TBD BY OWNER G.C.; COMPOSITE RAILINGS SYSTEMS, & TRIM. CONNECTORS & FASTENERS ALL GALVANIZED, TYP.

WINDOW SCHEDULE			
SYM	UNIT SIZE	QUANTITY	REMARKS
Ⓐ	3'-1 1/2" x 4'-5"	27	
Ⓑ	7'-3 3/4" x 4'-3 1/4"	2	() s 6UmK lbXck
Ⓒ	3'-5 1/4" x 4'-5 1/2"	2	@ Kitchens
Ⓓ	2' x 5'-11 1/2"	4	Flanking Fire Place
Ⓔ	32" x 19"	4	Basement addition

NOTE:
 HARVEY Windows: Rated U-0.30, sizes, styles, hardware & functionality TBD by Owner & G.C.

DATE:	

ARCHITECT-OF-RECORD:

ARCHITECT:
DESIGNS BY OZ³

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 OLimas3@DesignsByOZ.com

ENGINEER_OF_RECORD:

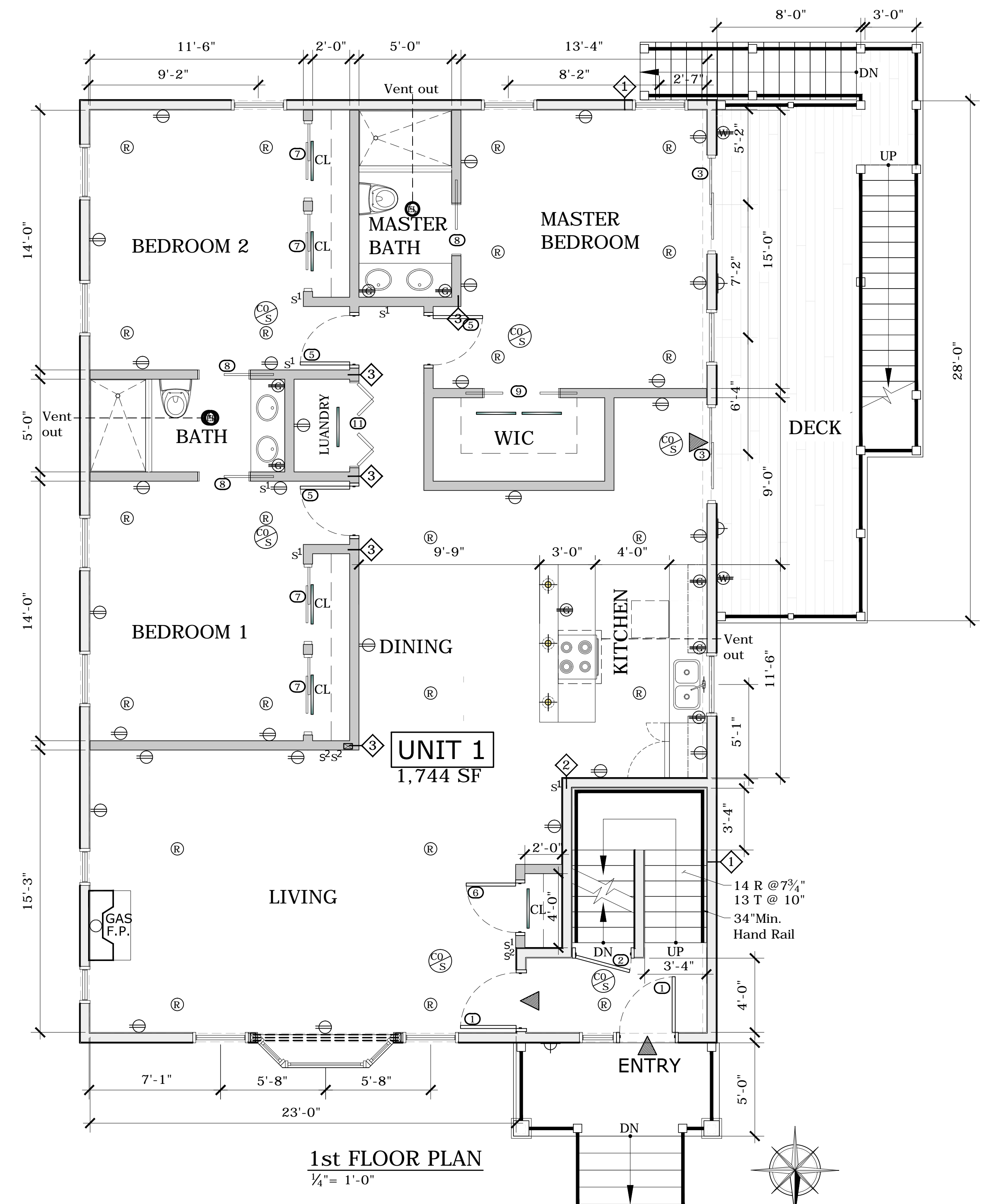
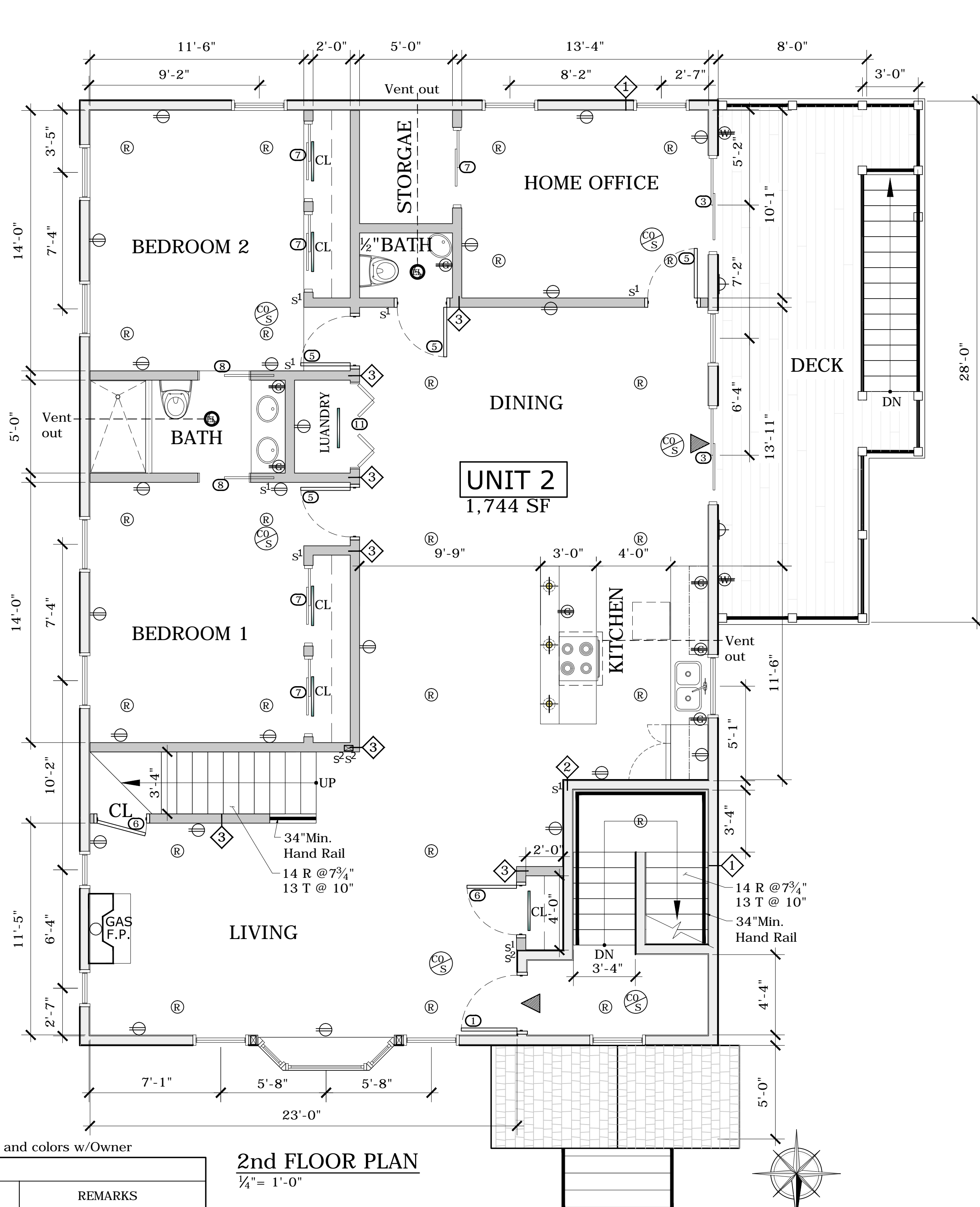
CANTERBURY STREET ADDITION
1084 - 1086 Canterbury Street
Roslindale, MA 02131

PROJECT:
 Canterbury Street Addition
 1084-86 Canterbury Street
 Roslindale, MA 02131
 TITLE:
 ARCHITECTURAL ELEVATIONS II

DATE: May 21, 2018
 SCALE: As Shown
 DRAWN: OL³
 CHECKED: -
 DRAWING NO.
A-2

ELECTRICAL LEGEND:

- ⊕ OVERHEAD
- Ⓡ RECESSED
- Ⓢ PENDANTS
- Ⓣ SCONCE
- FLORESCENT TUBE
- Ⓢ COMBO SMOKE/CO DETECTOR
- Ⓡ HEAT DETECTOR
- Ⓢ DUPLEX OUTLET
- Ⓢ GFI OUTLET
- Ⓢ WEATHERPROOF OUTLET
- Ⓢ SINGLE SWITCH
- Ⓢ 3-WAY SWITCH
- Ⓢ COMBO EXHAUST/LIGHT
- Ⓢ ELECTRICAL PANEL
- MECHANICAL VENTILATION TO NEAREST SIDE OR UP TO ROOF



NOTE:
Contractor to verify door dimensions, styles and colors w/Owner

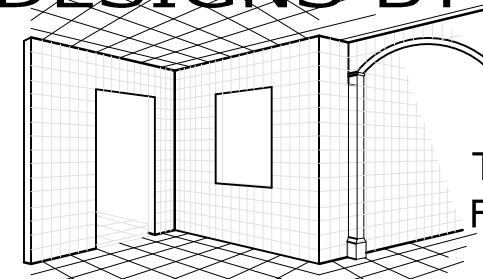
DOOR SCHEDULE			
TAG	LOCATION	SIZE	REMARKS
①	MAIN ENTRY	3'-0" x 6'-8" x 1 3/4"	1HR FIRE RATED
②	BASEMENT ACCESS	3'-0" x 6'-8" x 1 3/4"	1HR FIRE RATED/UTILITY ROOM
③	DECK ACCESS	(2) 2'-6" x 6'-8" x 1 3/4"	GLASS SLIDERS
④	DECK ACCESS	(2) 3'-0" x 6'-8" x 1 3/4"	GLASS SLIDERS
⑤	BEDROOM/BATH	2'-8" x 6'-8" x 1 3/4"	
⑥	COAT CLOSET	(2) 2'-8" x 6'-8" x 1 3/4"	
⑦	BEDROOM CLOSET	(2) 2'-0" x 6'-8" x 1 3/4"	WOOD SLIDERS
⑧	J & J BATHROOM	2'-8" x 6'-8" x 1 3/4"	POCKET DOOR - SINGLE
⑨	WALK-IN-CLOSET	(2) 2'-0" x 6'-8" x 1 3/4"	POCKET DOOR - DOUBLE
⑩	WALK-IN-CLOSET	(2) 2'-6" x 6'-8" x 1 3/4"	POCKET DOOR - DOUBLE
⑪	LAUNDRY ROOM	(2) 2'-3" x 6'-8" x 1 3/4"	DOUBLE BI-FOLD
⑫	HALL CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	WOOD SLIDERS
⑬	LINEN CLOSET	1'-3" x 6'-8" x 1 3/4"	DOUBLE BI-FOLD

2nd FLOOR PLAN
1/4" = 1'-0"

1st FLOOR PLAN
1/4" = 1'-0"

DATE:	

ARCHITECT-OF-RECORD:

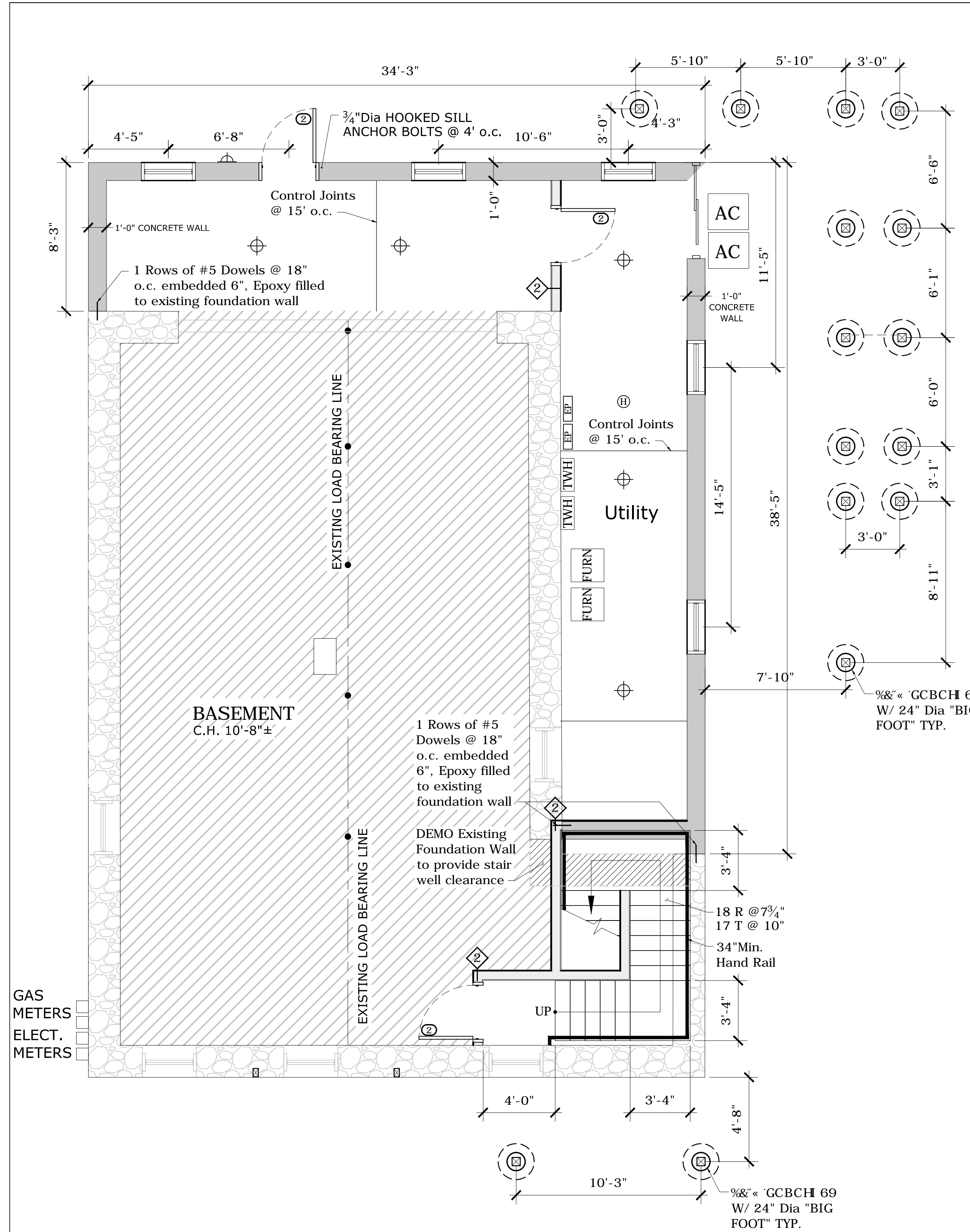
ARCHITECT:
DESIGNS BY OZ³

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 OLimas3@DesignsByOZ.com

ENGINEER_OF_RECORD:

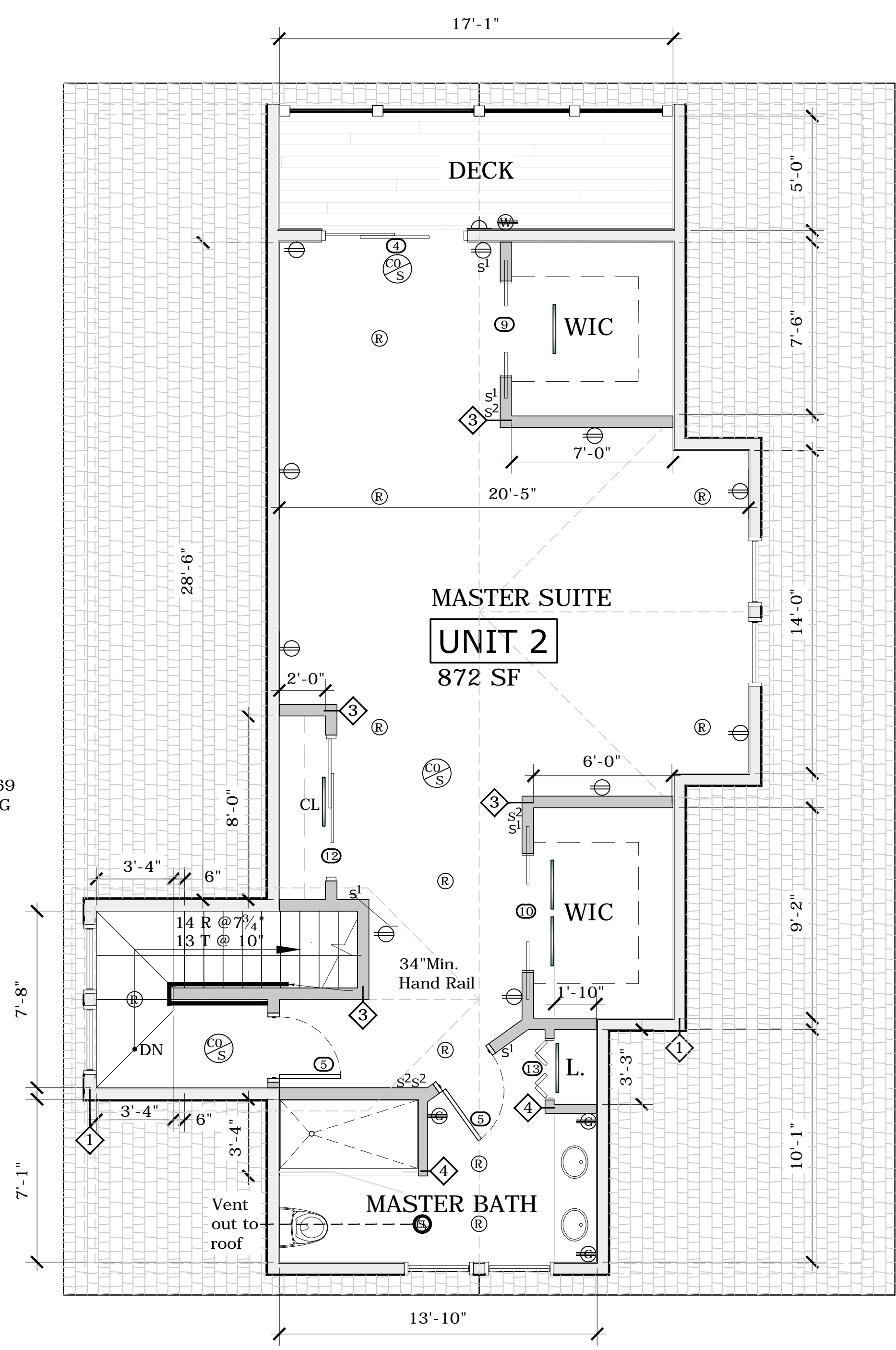
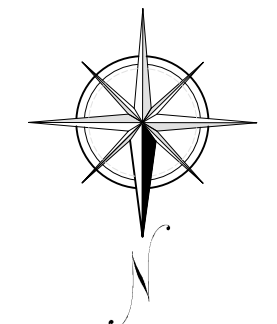
CANTERBURY STREET ADDITION
1084 - 1086 Canterbury Street
Roslindale, MA 02131

PROJECT:
 Canterbury Street Addition
 1084-86 Canterbury Street
 Roslindale, MA 02131
 TITLE:
ARCHITECTURAL FLOOR PLANS I

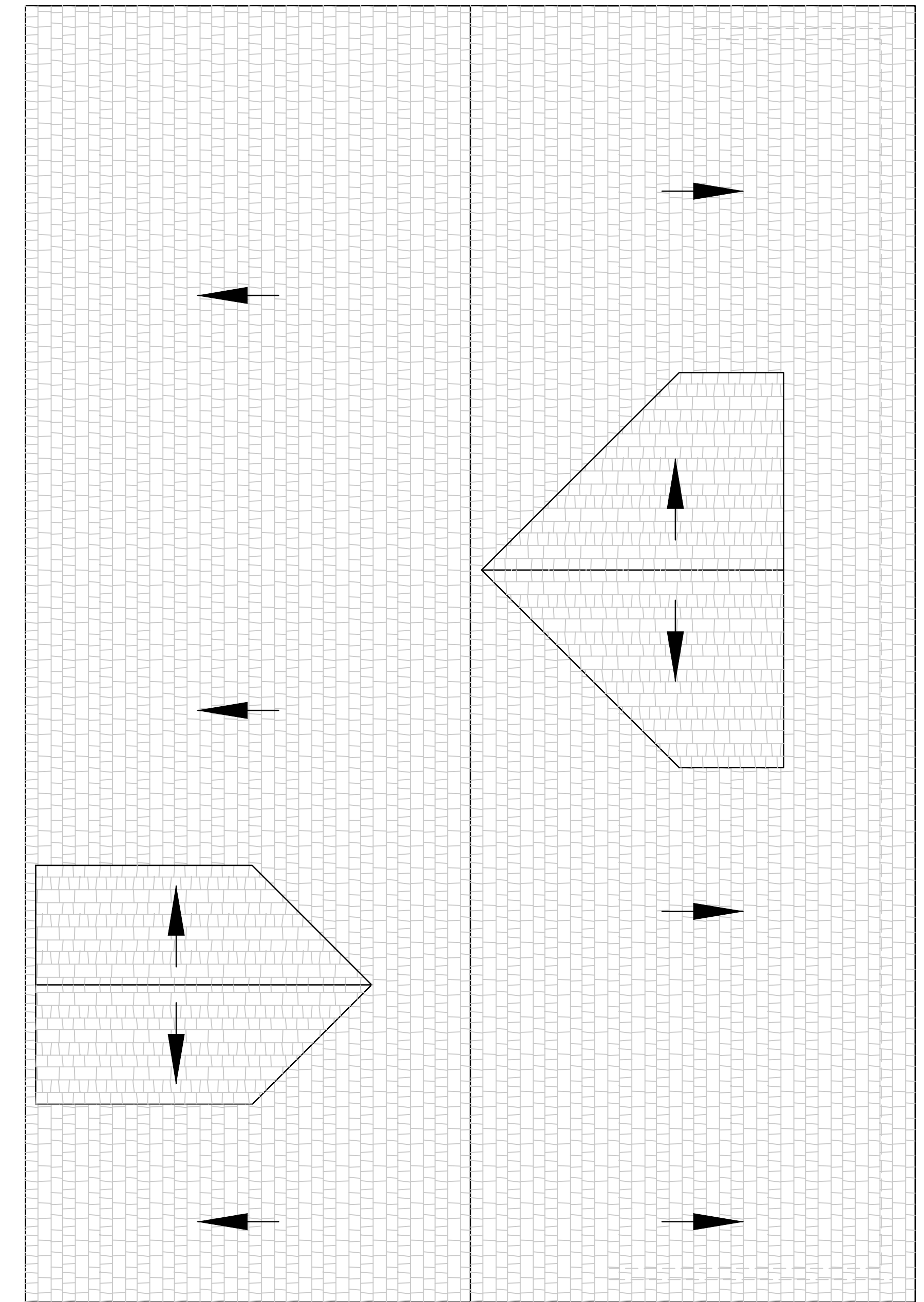
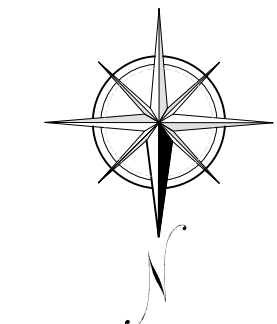
DATE: May 21, 2018
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 DRAWN: OL³
 CHECKED: -
 DRAWING NO.
A-3



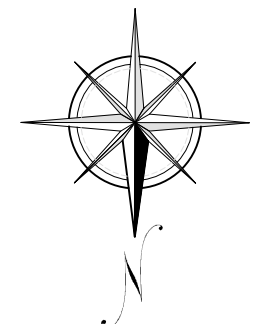
BASEMENT PLAN
1/4" = 1'-0"



3rd FLOOR PLAN
1/4" = 1'-0"

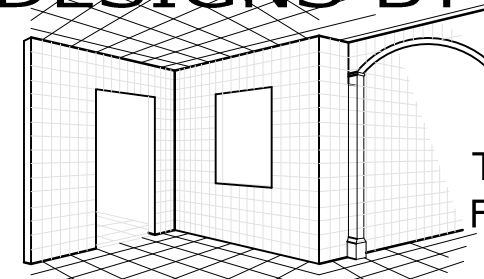


ROOF PLAN
1/4" = 1'-0"



DATE:	

ARCHITECT-OF-RECORD:

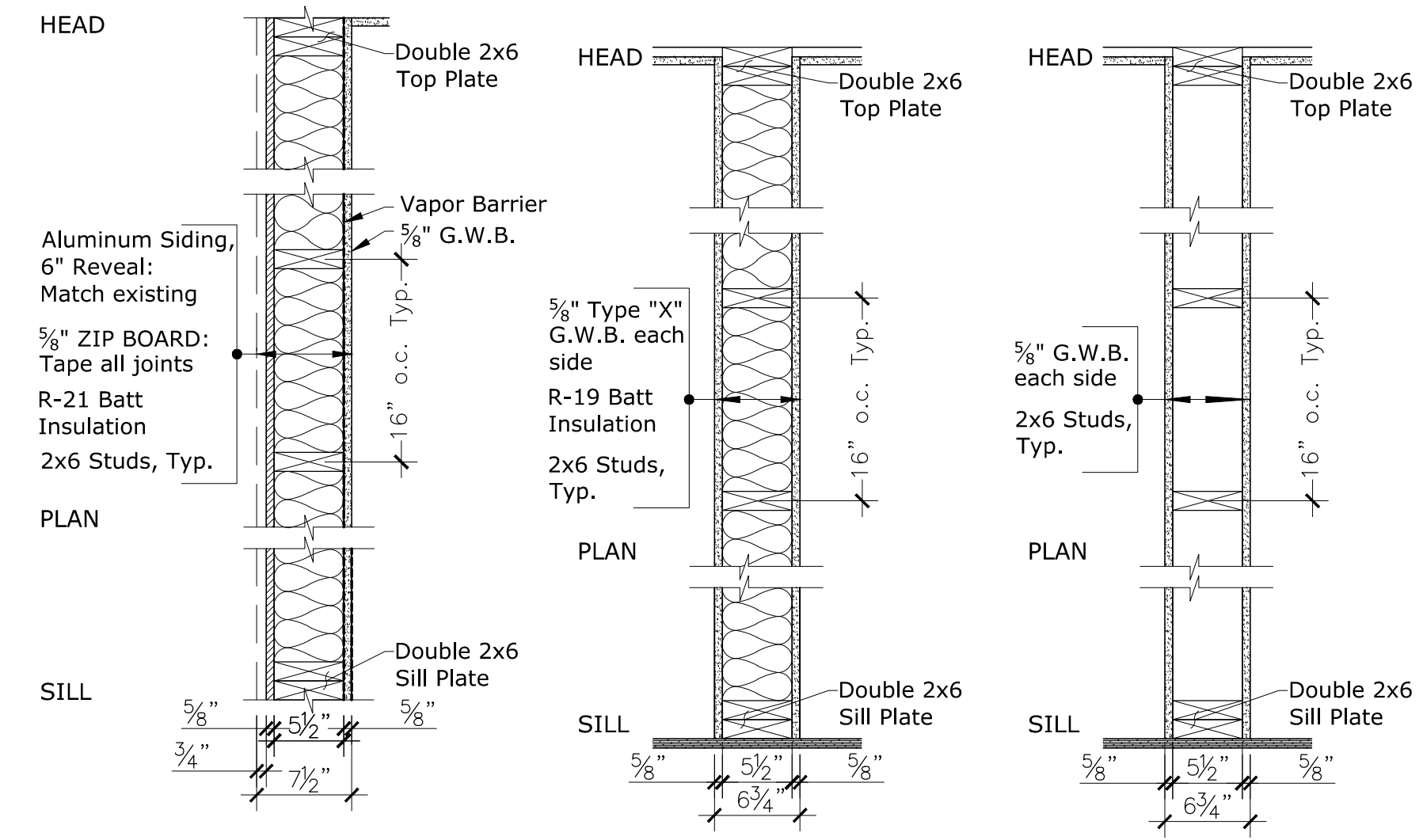
ARCHITECT:
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 OLimas3@DesignsByOZ.com

ENGINEER_OF_RECORD:

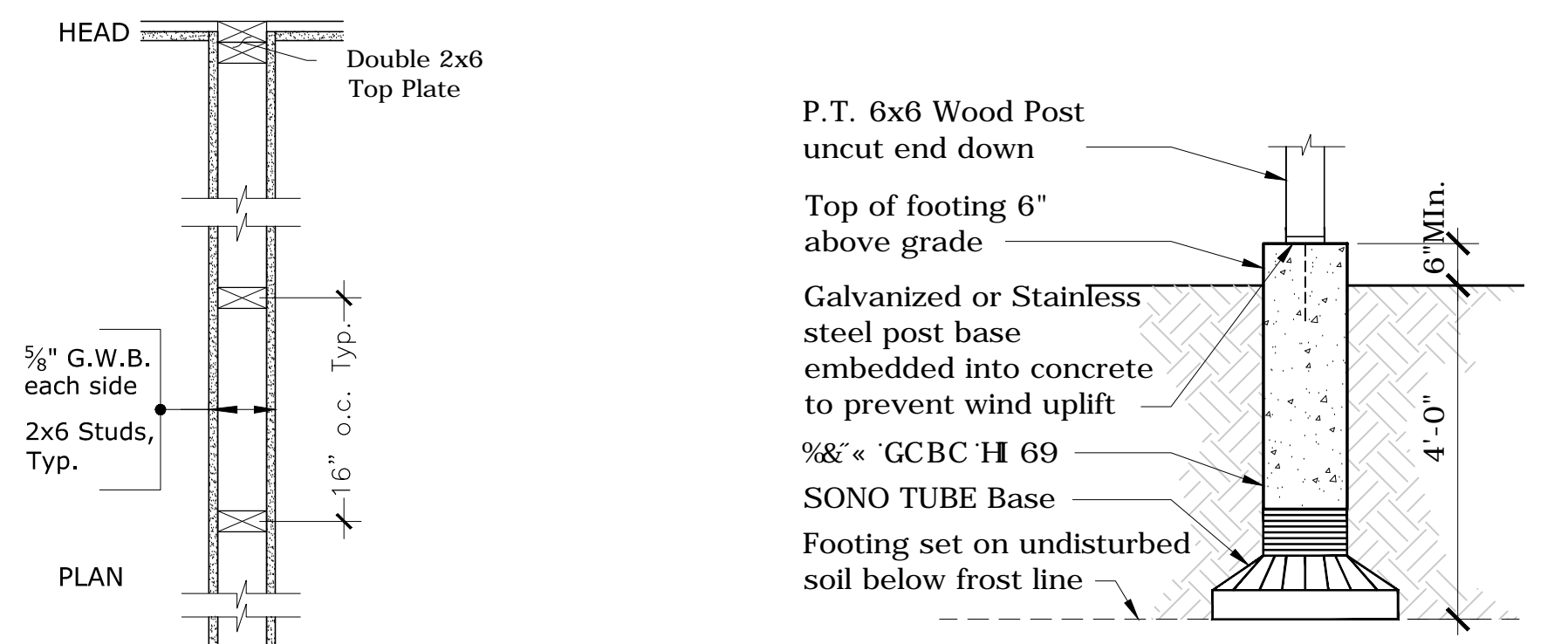
CANTERBURY STREET ADDITION
1084 - 1086 Canterbury Street
Roslindale, MA 02131

PROJECT:
 Canterbury Street Addition
 1084-86 Canterbury Street
 Roslindale, MA 02131
 TITLE:
ARCHITECTURAL FLOOR PLANS II

DATE: May 21, 2018
 SCALE: As Shown
 DRAWN: OL³
 CHECKED: -
 DRAWING NO.
A-4

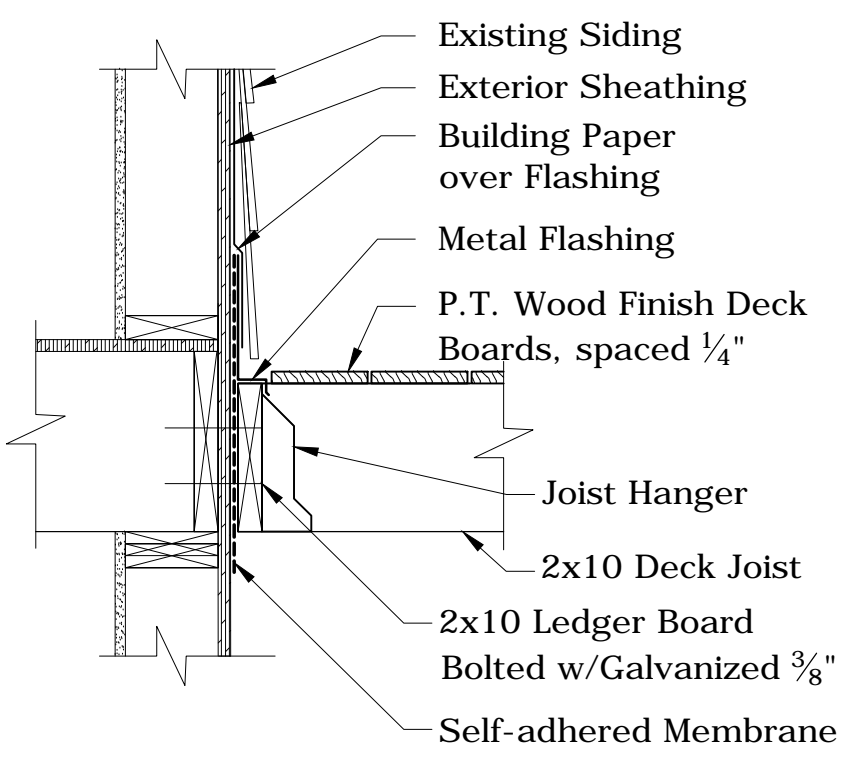


- 1 ALUMINIUM SIDING, 2X6 EXTERIOR INSULATED 1HR UL:305
- 2 2X6 INTERIOR WALL INSULATED 1HR UL:305 @ STAIR WELLS AND MECHANICAL ROOMS
- 3 2X6 INTERIOR WALL NOT INSULATED @ REMAINING INTERIOR WALLS

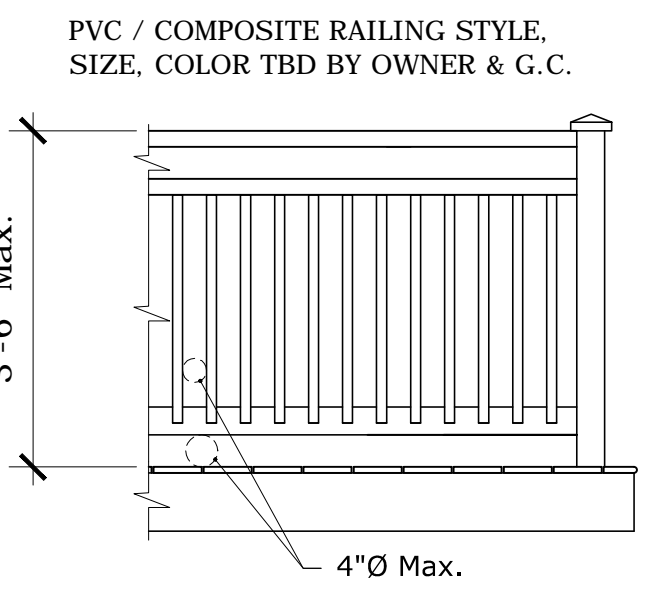


SONO TUBE DETAIL
1/2" = 1'-0"

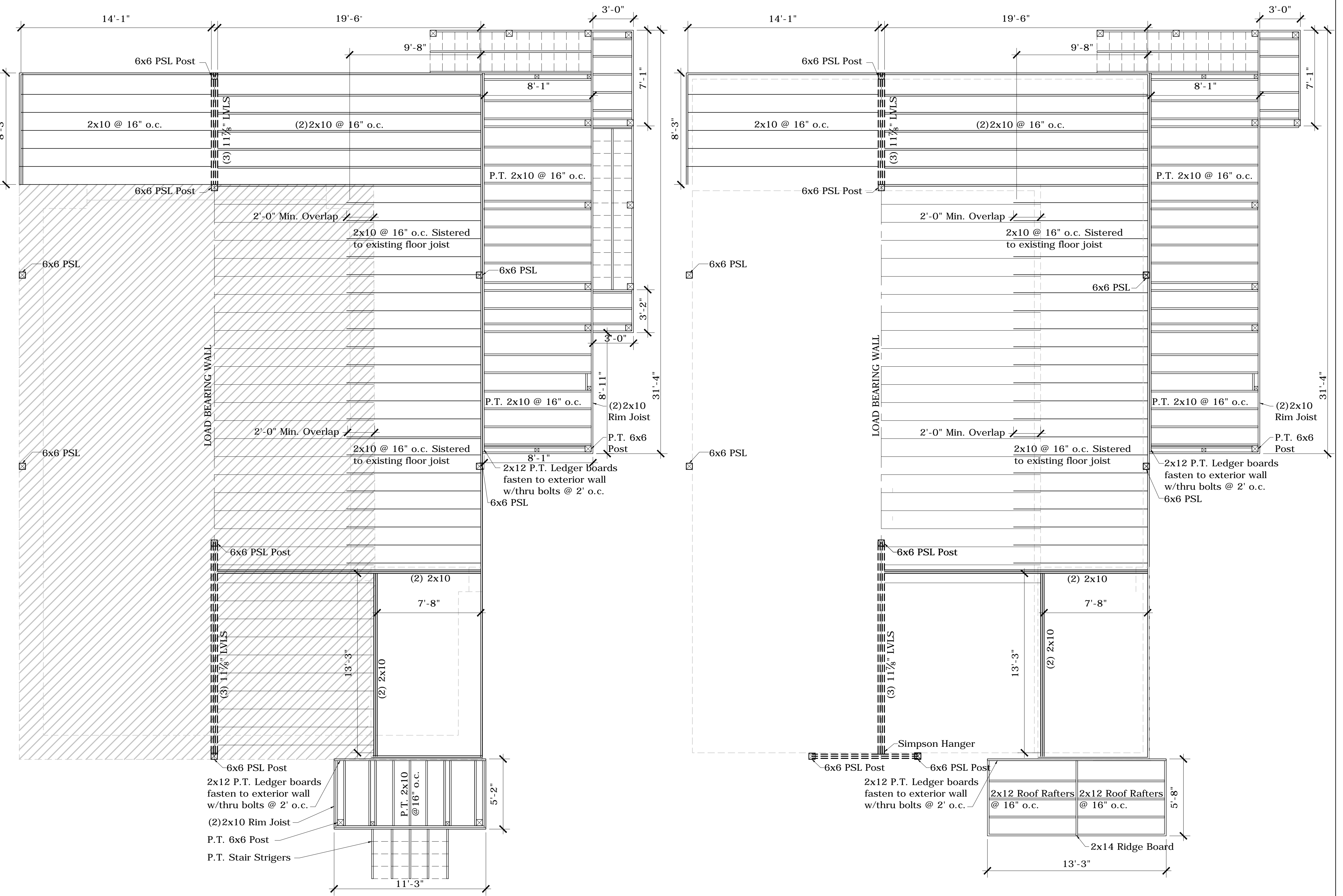
- 4 2X4 INTERIOR WALL NOT INSULATED @ REMAINING INTERIOR WALLS



FLASHING DETAIL
1" = 1'-0"



RAILING DETAIL
1/2" = 1'-0"



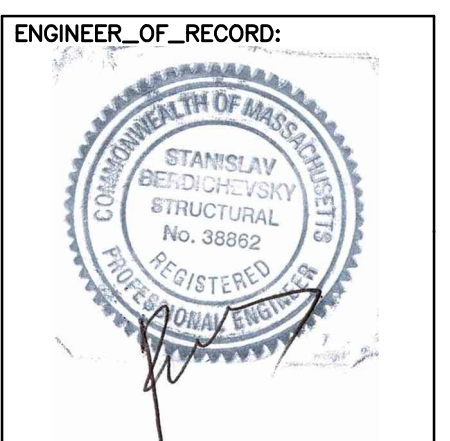
1st FLOOR FRAMING PLAN
1/4" = 1'-0"

2nd FLOOR FRAMING PLAN
1/4" = 1'-0"

DATE:	

ARCHITECT-OF-RECORD:

ARCHITECT:
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FAX: 216-803-9628
OLimas3@DesignsByOZ.com



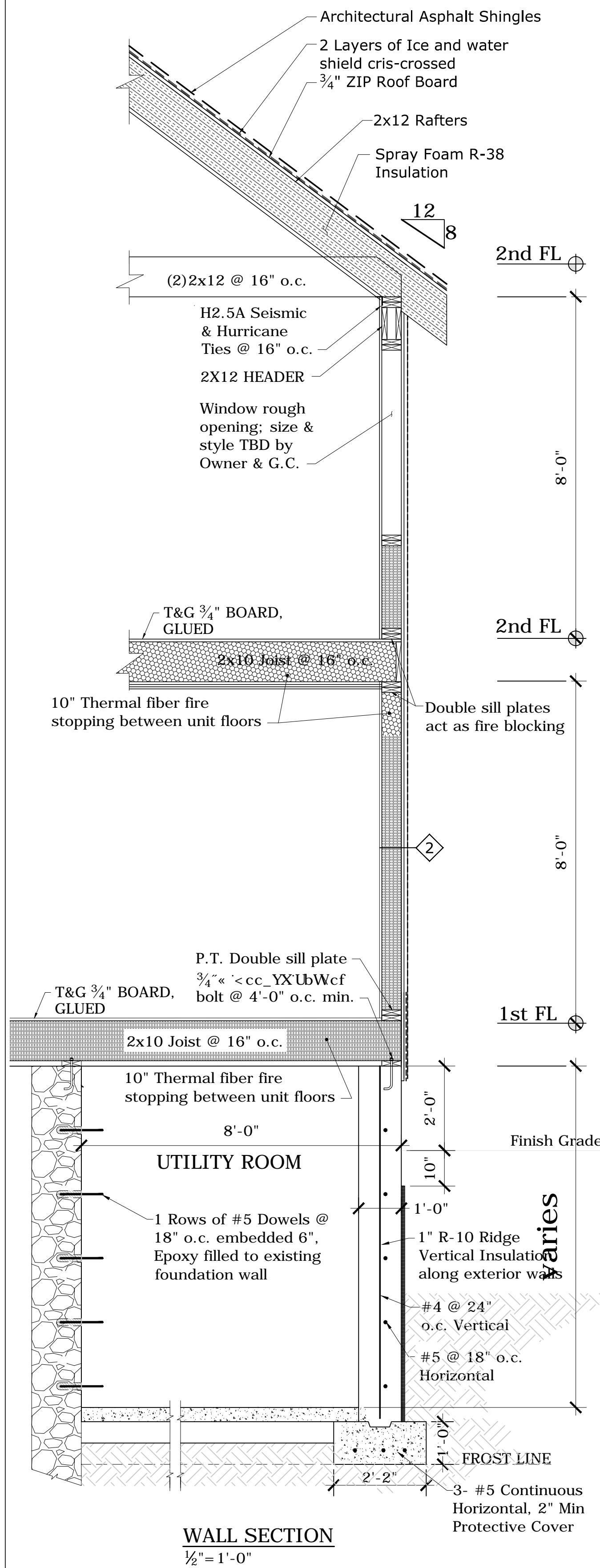
CANTERBURY STREET ADDITION

1084 - 1086 Canterbury Street Roslindale, MA 02131

PROJECT:
Canterbury Street Addition
1084-86 Canterbury Street
Roslindale, MA 02131

TITLE:
FLOOR FRAMING PLANS & DETAILS

DATE: May 21, 2018
SCALE: As Shown
DRAWN: OL³
CHECKED: -
DRAWING NO. **A-5**



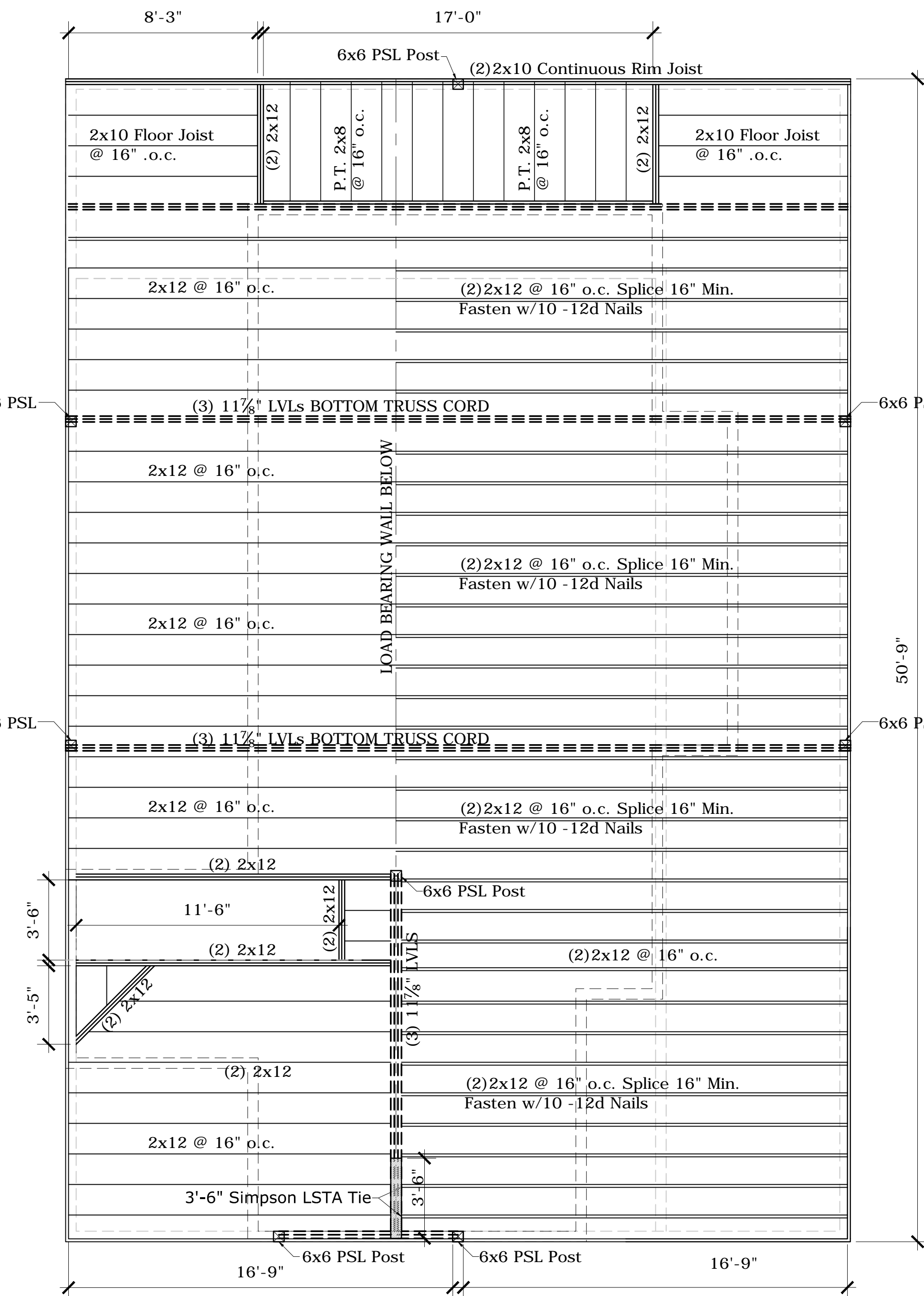
STRUCTURAL NOTES:

- All work shall be performed to be in conformance with the State Building Code and General Construction practice.
- Design Loads: All Design is as per the Latest Massachusetts State Building Code 9th edition, IBC 2015.
- Foundations shall be founded on well compacted soil with min. bearing capacity of 2000 psi.
If founded on ledge, pin the foundation to the ledge with #4 dowels at 24" o.c.
- Bottom of the footings shall be a min. of 4ft. below finish grade, unless founded on ledge.
- All concrete work shall conform to requirements for concrete & specifications (ACI 318) and Structural concrete for Buildings (ACI318).
- All concrete shall have a min. of 3000 psi compressive strength at 28 days. Contractor shall submit a Design Mix for approval (if required by the owner).
- Aluminum conduits shall not be embedded in concrete.
- Reinforcement: Steel reinforcement shall conform to ASTM815, GR 60.uno.
- Welded Wire fabric shall conform to ASTM A185.
- Fabrication & placement of reinforcement shall conform to ACI Building code requirements, ACI 315 & 318.
- Min. length of splice shall be 24 bar dia. but not less than Class B tension splice.
- Wood framing: All wood construction shall conform to Part II of Design Specifications for Wood Construction and National design specifications for Wood construction (NDS).
- New timber shall have a min. allowable compressive stress of 1,000 psi & Modulus elasticity of 1,300,000 psi.
- Laminated beams shall have a min. allowable bending stress of 3100 psi & Modulus of elasticity 2,000,000 psi. PSL post Fb=2650 psi.
- All Masonry work shall conform to Guidelines by National Concrete Masonry Association
- All nominal lumber for floor & roof construction shall be SPF#2 or better
- LVL plies shall be connected together per manufacturer specification for SIDE loaded assemblies
- All posts and columns shall be braced at every floor level they pass through.
- Apply double joists under partitions walls parallel to framing

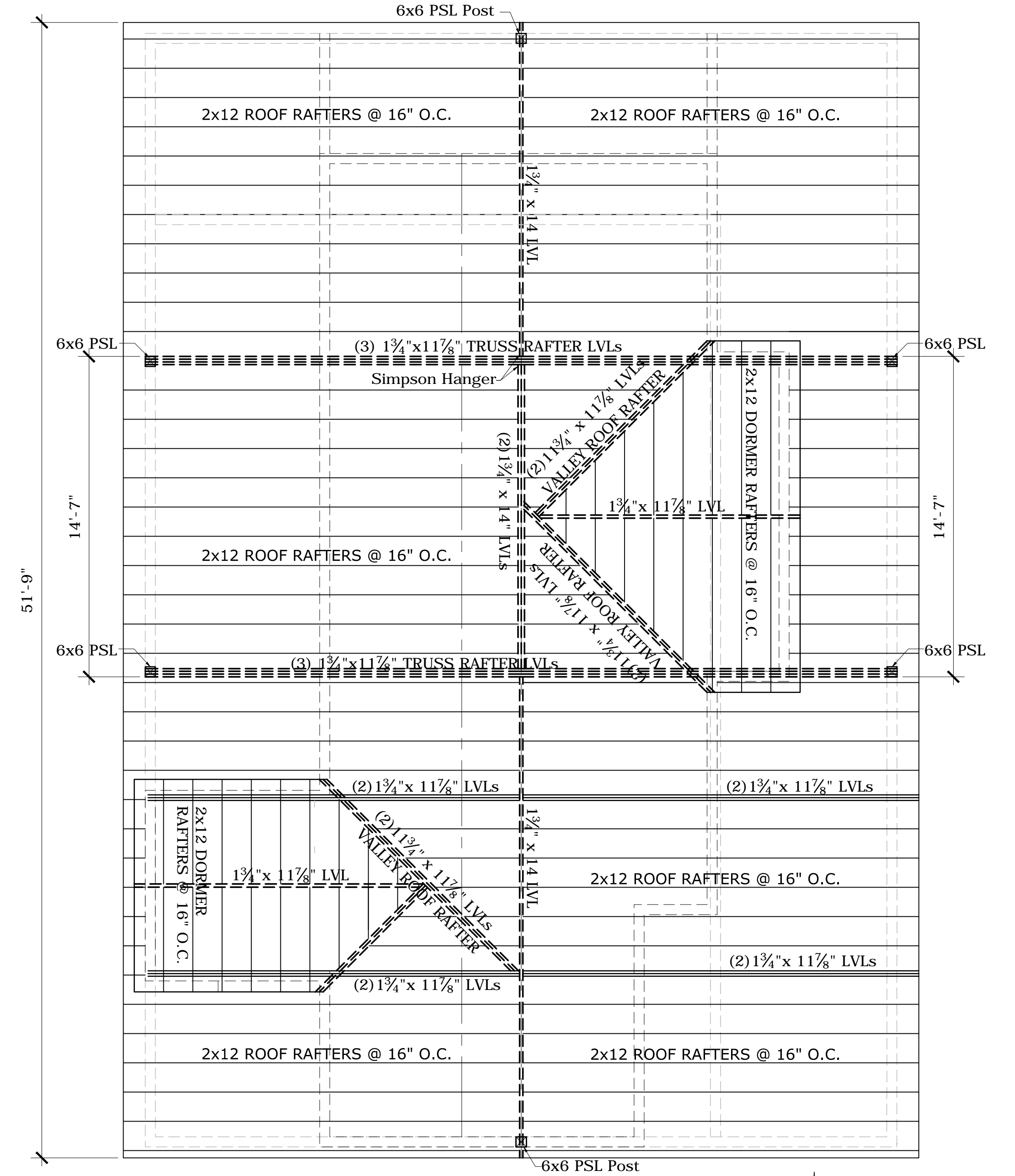
FRAMING NOTES:

Conventional wood construction anchored to standard concrete footings. All in compliance and conforming to the regulations of the Massachusetts State Building Code, 9th Edition 780 CMR. and all amendments to the 2015 International Building Codes.

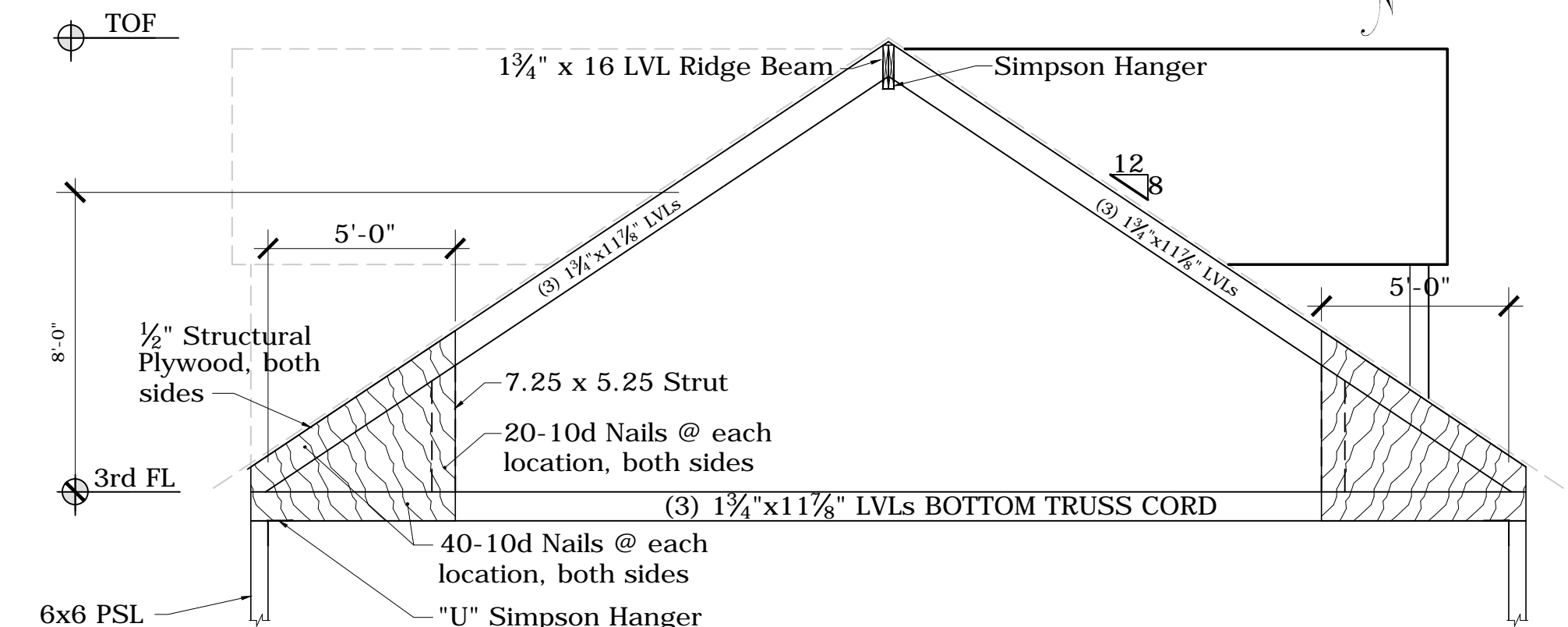
Use appropriate stainless steel or galvanized fasteners and connectors to protect against corrosion from pressure treated wood for all framing including structural support, blocking & Seismic & Hurricane Ties. Exterior deck framing tied to exterior wall structure with posts securely fastened to resist wind lift.



3rd FLOOR FRAMING PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

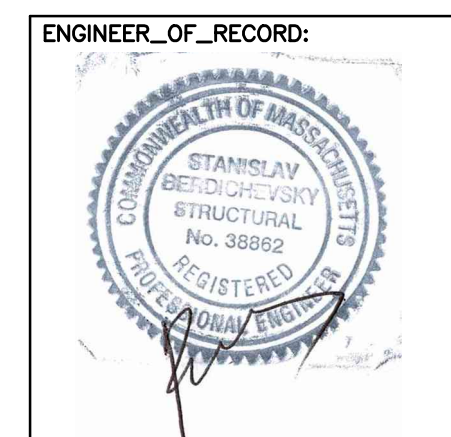


TRUSS DETAIL
1/4" = 1'-0"

DATE:	

ARCHITECT-OF-RECORD:

ARCHITECT:
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FAX: 216-803-9628
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CANTERBURY STREET ADDITION
1084 - 1086 Canterbury Street
Roslindale, MA 02131

PROJECT:
Canterbury Street Addition
1084-86 Canterbury Street
Roslindale, MA 02131

TITLE:
FRAMING PLANs & SECTION

DATE: May 21, 2018
SCALE: As Shown
DRAWN: OL³
CHECKED: -
DRAWING NO.
A-6