



# Boston Inspectional Services Department

## Planning and Zoning Division

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1010 Massachusetts Avenue, 5th Floor, Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh  
Mayor

### MORE INFORMATION REQUEST LETTER

Sean Lydon  
Inspector of Buildings

February 19, 2021

TIM LONGDEN  
1A TREETOP CIR  
NORTHBOROUGH, MA 01532

RE: Application #: **ALT1129923**  
Location: 58 River ST, Ward 17  
Zoning District: Dorchester Neighborhood, NS  
Purpose: Change of occupancy from single-family dwelling to Multi-Family Dwelling (12-units). Construct new addition and roof deck to existing building with 18 parking spaces. [ePlan]

The following information shall be provided to Inspectional Services Department to complete the Building Permit Plan Review:

**1. Construction Documents (two sets and to scale):**

- Certified Plot Plan, stamped and signed by a MA Registered Land Surveyor
- Architectural, Structural, Mechanical, Plumbing, Electrical, Fire Alarm and Fire Protection Plans, stamped and signed by MA Registered Design Professional

**2. Supporting Documents:**

- Licensed Builder's Info (Construction License, Workers' Compensation Affidavit): and Mattock's-Higgins Affidavit
- Construction Cost Estimate with Breakdown: construction cost too low. See Commissioner's Fee Bulletin.
- Construction Control Documents Affidavit

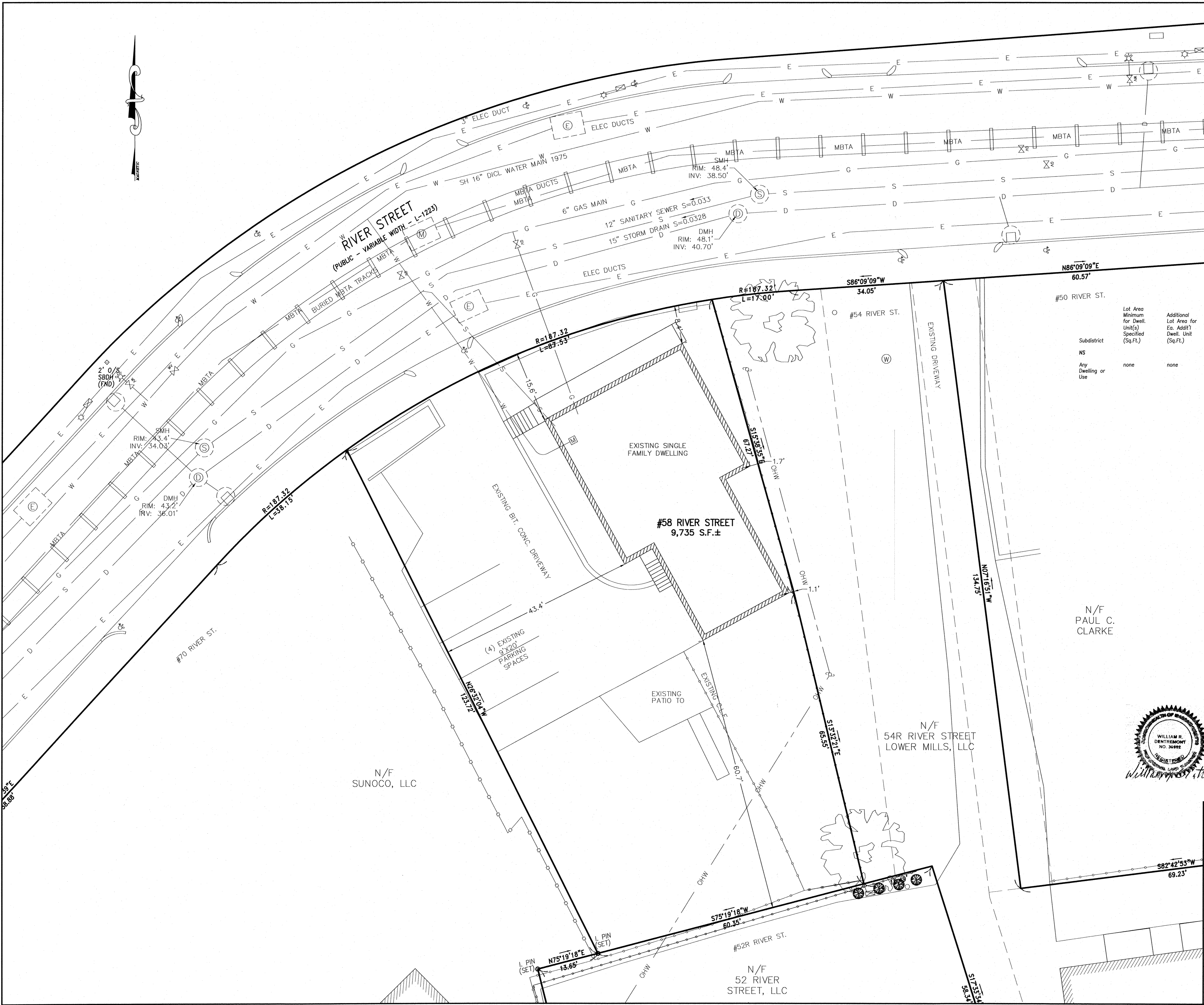
**3. City Agencies' Approvals:**

- Boston Planning and Development Agency: Two Sets of Approved Drawings: Due to Neighborhood Design Overlay

**4. Additional Information/Comments:**

- Provide COVID-19 Affidavit
- Off-street parking location shall comply with Article 10, Section 1
- Common Stair #1 shall not be used for any purposes other than as a mean of egress and circulation path (door to unfinished storage not permitted)
- Common Stair #2 exit discharge shall comply with Section 1028 and requires vehicle barriers @ ground level
- Notify me via email when all the above requested information are uploaded.

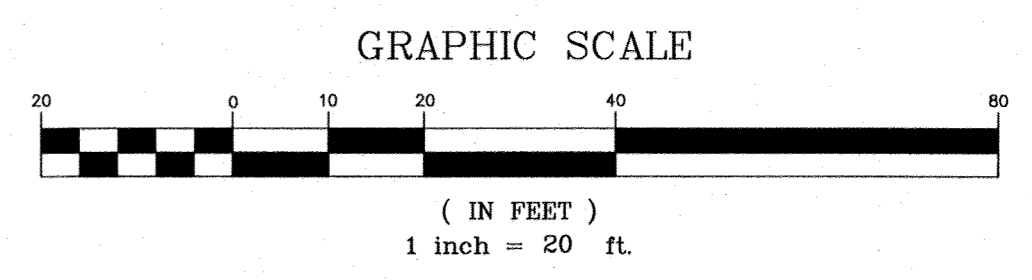
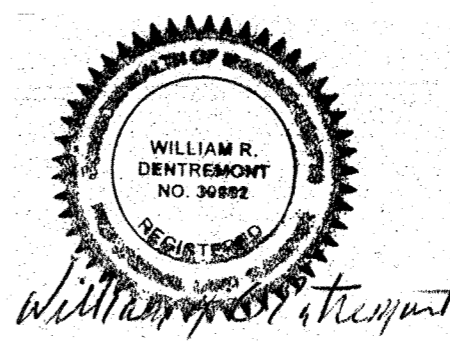
All construction documents shall be organized in two sets, submitted together (no partial information will be accepted), and dropped off at Inspectional Services Department with the above referenced application number or re-uploaded on the portal if it is an ePlan application. More information may be required. Please be advised that the time limitation of your application shall be 180 days, otherwise it shall be deemed abandoned per 780 CMR. Thank you for your assistance.



Dorchester Neighborhood District  
Dimensional Regulations in Neighborhood Business Subdistricts

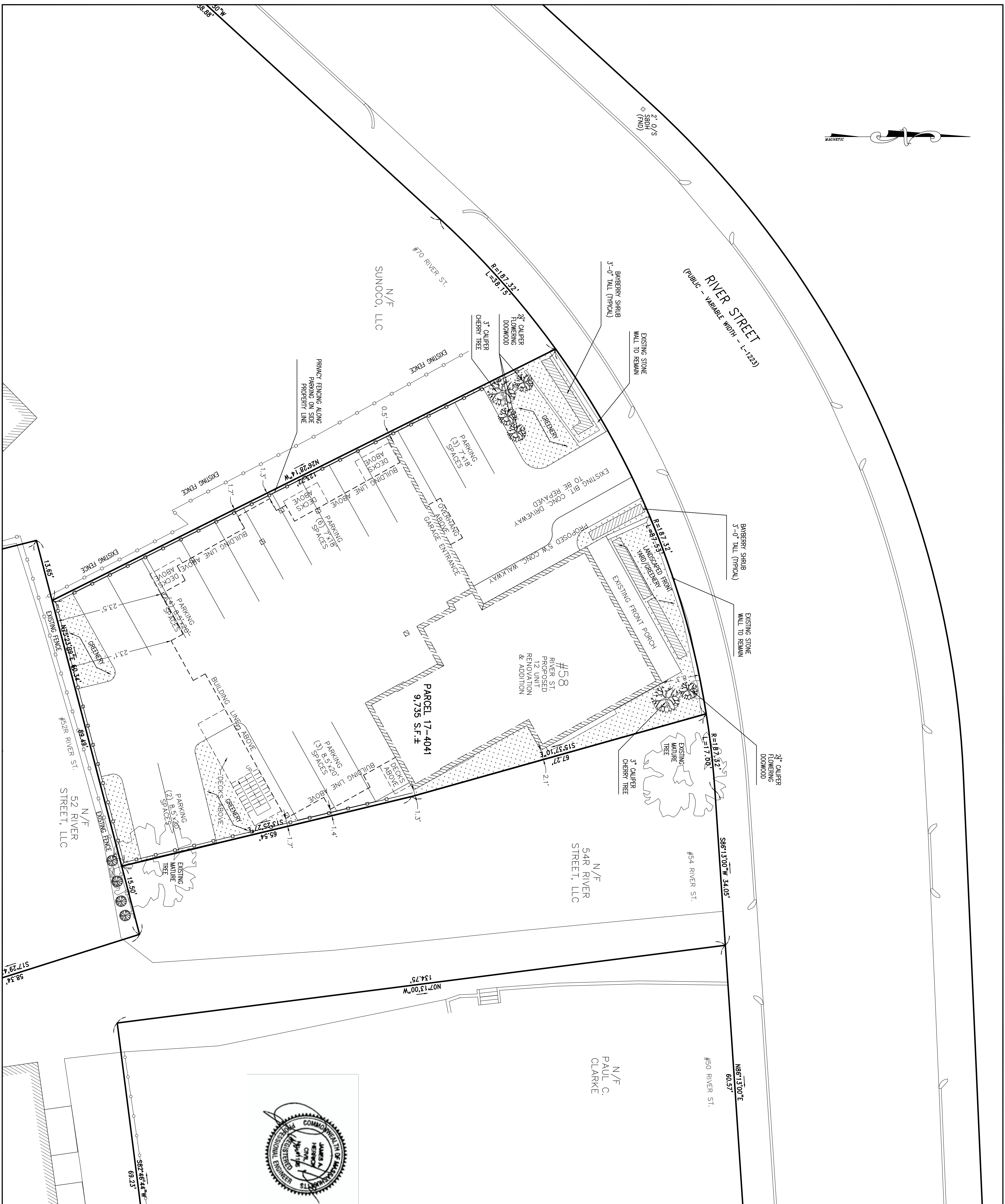
Subdistrict	Lot Width Minimum (Feet)	Lot Frontage Minimum (Feet)	Floor Area Ratio Maximum	Building Height Maximum (Feet)	Usable Open Space Minimum Sq. Ft. Per Dwelling Unit	Front Yard Minimum Depth (Feet)	Side Yard Minimum Width (Feet)	Rear Yard Minimum Depth (Feet)
NS	none	none	1.0	40	50	none	none	20

- REFERENCES:**
- ASSESSORS PARCEL 1704042010
  - SUFFOLK REGISTRY BK. 10724 PG. 80
  - " " BK. 48179 PG. 69
  - " " PL. BK. 6311 PG. 435
  - " " PL. BK. 10274 PG. 80
  - " " PL. BK. 15611 PG. 314
  - " " PL. BK. 17297 PG. END
  - CITY OF BOSTON STREET LAYOUT L-1223
  - CITY OF BOSTON DPW NOTES BK. 223 PG. 100-137
  - " " " " BK. 946 PG. 106-107
  - " " " " BK. 1080 PG. 116-124

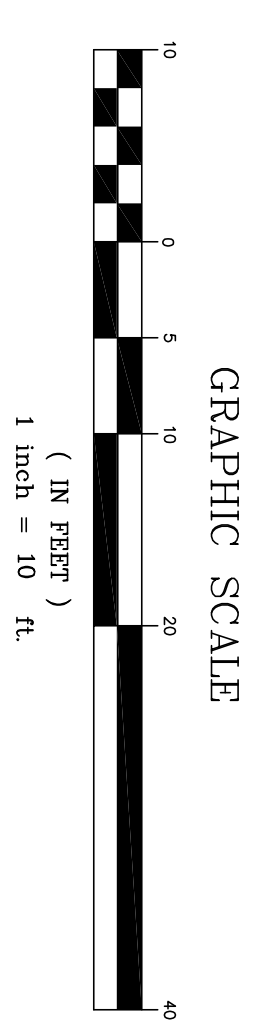


**EXISTING SITE PLAN**  
**58 RIVER STREET**  
**MATTAPAN, MA**  
 FOR  
**LONGDEN REALTY, LLC**  
 CIVIL ENVIRONMENTAL CONSULTANTS  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1      DATE: 2/3/2020      JOB: 4023  
 DRAWN BY: C.R.L.



- REFERENCES:**
- ASSESSORS PARCEL 1704042010.
  - SUFFOLK REGISTRY BK. 10724 PG. 80
  - "    "    "    BK. 48173 PG. 89
  - "    "    "    BK. 15811 PG. 435
  - "    "    "    PL. BK. 10274 PG. 80
  - "    "    "    PL. BK. 15811 PG. 314
  - "    "    "    PL. BK. 17297 PG. END
  - CITY OF BOSTON STREET LAYOUT L-1223
  - CITY OF BOSTON DPW NOTES BK. 223 PG. 100-137
  - "    "    "    BK. 946 PG. 106-107
  - "    "    "    BK. 1080 PG. 116-124



**PROPOSED LANDSCAPING PLAN**  
**58 RIVER STREET**  
**MATTAPAN, MA**  
**FOR**  
**LONGDEN REALTY, LLC**  
**CIVIL ENVIRONMENTAL CONSULTANTS**  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO. 1 OF 1      DATE: 12/8/2020      JOB: 4023  
 DRAWN BY: C.R.L.



# 58 River Street

Dorchester, Boston, Massachusetts 02126

Owner: Longden Realty, LLC -

Issued for ISD Comments: 12/01/2020

Existing Photo

Modifications from the original set dated 05/27/2020 included in this drawing set:

- Basement level: common stair #2 new location, entry lobby and parking dimensions. FAR calculation notations.
- First level: common stair #2 new location, new common laundry room. Level height changed. FAR calculation notations.
- Second level: common stair #2 new location, new common laundry room, new staircases to roof tops. Level height changed. FAR calculation notations.
- Roof level: deck dimensions adjusted.
- General: re-developed front facade, window opening and escape window opening re-calculated. Building height re-adjusted.

\*refer to modifications in bubbles

ELEVATION TARGET



INTERIOR ELEVATION TARGET



DETAIL TARGET

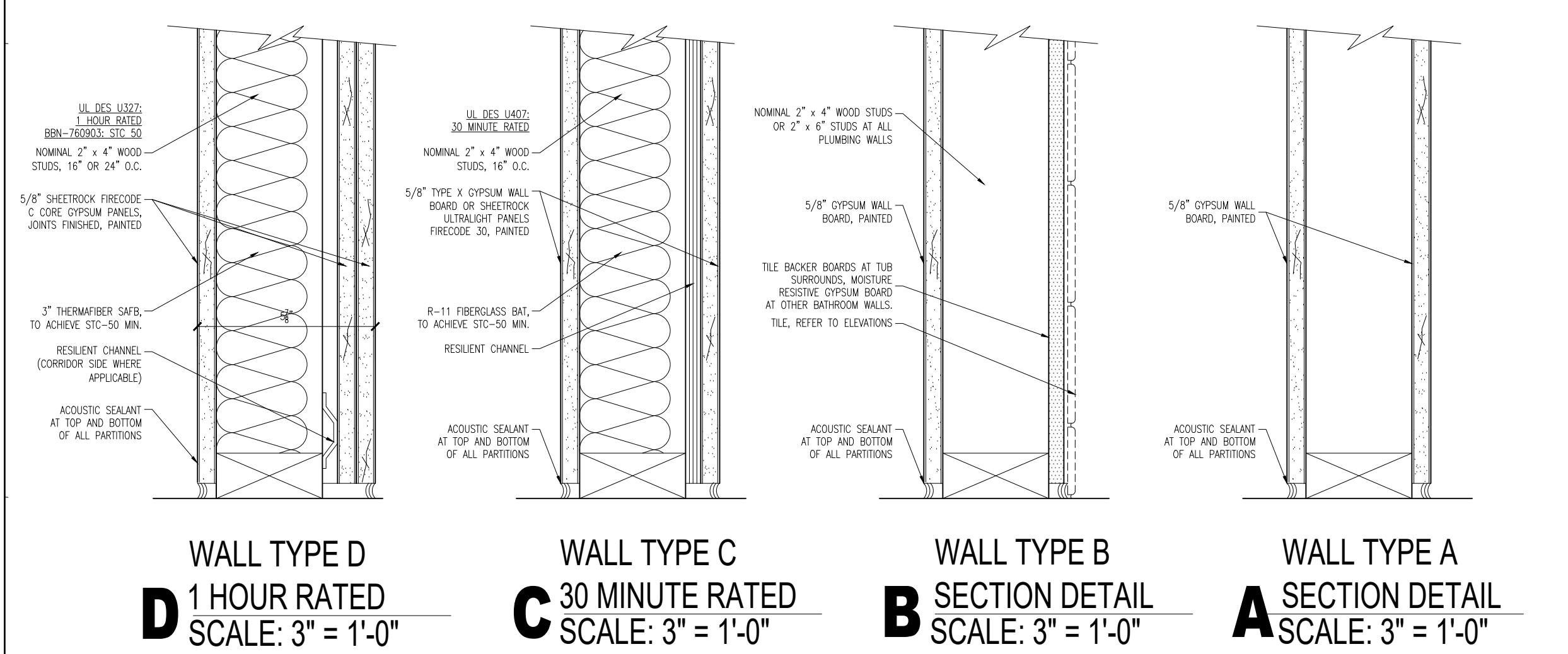


WINDOW TARGET



**GENERAL NOTES:**

- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES. THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.
- THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
- BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
- WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
  - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
  - DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
  - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 2 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT PERPENDICULAR WALL.
- CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
  - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
  - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
  - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
  - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
  - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
  - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
  - ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
- WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
  - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
  - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
- SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING. CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
  - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES



**1** LOCATION PLAN  
SCALE: NOT TO SCALE

**APPLICABLE CODES:**

- BUILDING CODE: CMR 780 MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
- ACCESSIBILITY: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD CMR 521 AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- FIRE PROTECTION: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE CMR 527 1.00 - 2012 NFPA 1: FIRE CODE WITH AMENDMENTS
- ELECTRICAL: 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2014 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- MECHANICAL: INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
- PLUMBING: 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
- ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2015 (IECC)
- AMERICANS WITH DISABILITIES ACT
- BOSTON ZONING CODE
- MGL CH. 148 SECTION 26G

**BUILDING DESCRIPTION:**

EXISTING ONE-FAMILY BUILDING TO BE RENOVATED TO A TWELVE-UNIT RESIDENTIAL BUILDING WITH EIGHTEEN PARKING SPACES. BUILDING TO BE SPRINKLERED AND HAVE ELEVATOR.

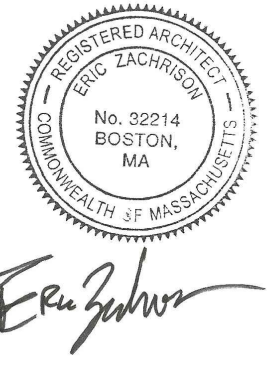
**CODE SUMMARY:**

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-2
  - OCCUPANT LOAD: (200 GROSS SF/PERSON PER 1004.1.1) APPROX. 9706 SF = 49 PERSONS
- CONSTRUCTION TYPE: V.B. - TABLE 504.4
  - PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE NOT REQUIRED TO BE RATED
  - MAX. AREA PER FLOOR IS UNLIMITED PER TABLE 506 AND MAXIMUM HEIGHT IS 3 STORIES ABOVE GRADE - 504.4
- PER TABLE 1006.3.2(1) FOR USE GROUP R-2 - ONLY ONE EXIT IS REQUIRED WHEN THERE ARE LESS THAN FOUR STORIES AND 4 DWELLING UNITS OR LESS PER STORY. TRAVEL DISTANCE IS LIMITED TO 125'
- MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
- MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
- FIRE RATED CONSTRUCTION:
  - PER TABLE 602, EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED.
  - DEMISING PARTITION/CORRIDORS MUST BE 1 HOUR IN A TYPE V.B BUILDING 420.2 AND 708.3
  - HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1 HOUR IN A TYPE V.B BUILDING PER 420 AND 711.2.4.3 - REFER TO DETAIL ON A-20
  - STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED. STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
  - PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS. 1 HOUR AND 1/2 HOUR CORRIDORS SHALL HAVE A MINIMUM 20 MIN. RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 90 MINUTE RATED DOORS.
- DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2
- ACCESSIBILITY REQUIREMENTS:
  - CMR 521 9.3 - EXISTING BUILDINGS RENOVATED FOR RESIDENTIAL USE ARE EXEMPT FROM MAAB REQUIREMENTS PER 521 CMR, ARCHITECTURAL ACCESS BOARD, PARAGRAPH 9.2.1

ZONING ANALYSIS:	NS	PROPOSED	COMMENTS
MAXIMUM FLOOR AREA RATIO	1.0	9706 / 9707 = .99	
MAXIMUM BUILDING HEIGHT/STORIES	40/3	37/UNCHANGED	
MINIMUM LOT SIZE	-	-	
USABLE OPEN SPACE	50 SF	1410 SF	
MIN. LOT WIDTH	-	-	
MIN. LOT FRONTAGE	-	-	
MIN. FRONT YARD SETBACK	-	-	
MIN. SIDE YARD SETBACK	-	-	
MIN. REAR YARD SETBACK	20'	23'	
ADDTL. LOT AREA	N/A	-	
PARKING REQUIREMENT	1.5/UNIT	18 TOTAL	

**LIST OF DRAWINGS**

- A-01 ANALYSIS, DRAWING LIST AND NOTES
- A-02 SITE PLAN
- A-10 PROPOSED PLANS
- A-11 PROPOSED PLANS
- A-12 ROOF PLAN, SECTION AND WINDOW SCHEDULE
- A-20 DETAILS
- A-30 PROPOSED ELEVATIONS
- A-31 PROPOSED ELEVATIONS
- A-32 PROPOSED ELEVATIONS
- A-33 PROPOSED ELEVATIONS
- A-40 PROPOSED SECTION
- A-41 CODE COMPLIANCE DIAGRAM
- A-42 CODE COMPLIANCE DIAGRAM
- XA-1 EXISTING PLANS
- XA-2 EXISTING ELEVATIONS
- XA-3 EXISTING ELEVATIONS
- XA-4 EXISTING ELEVATIONS



**58 River Street**  
Longden Realty, LLC

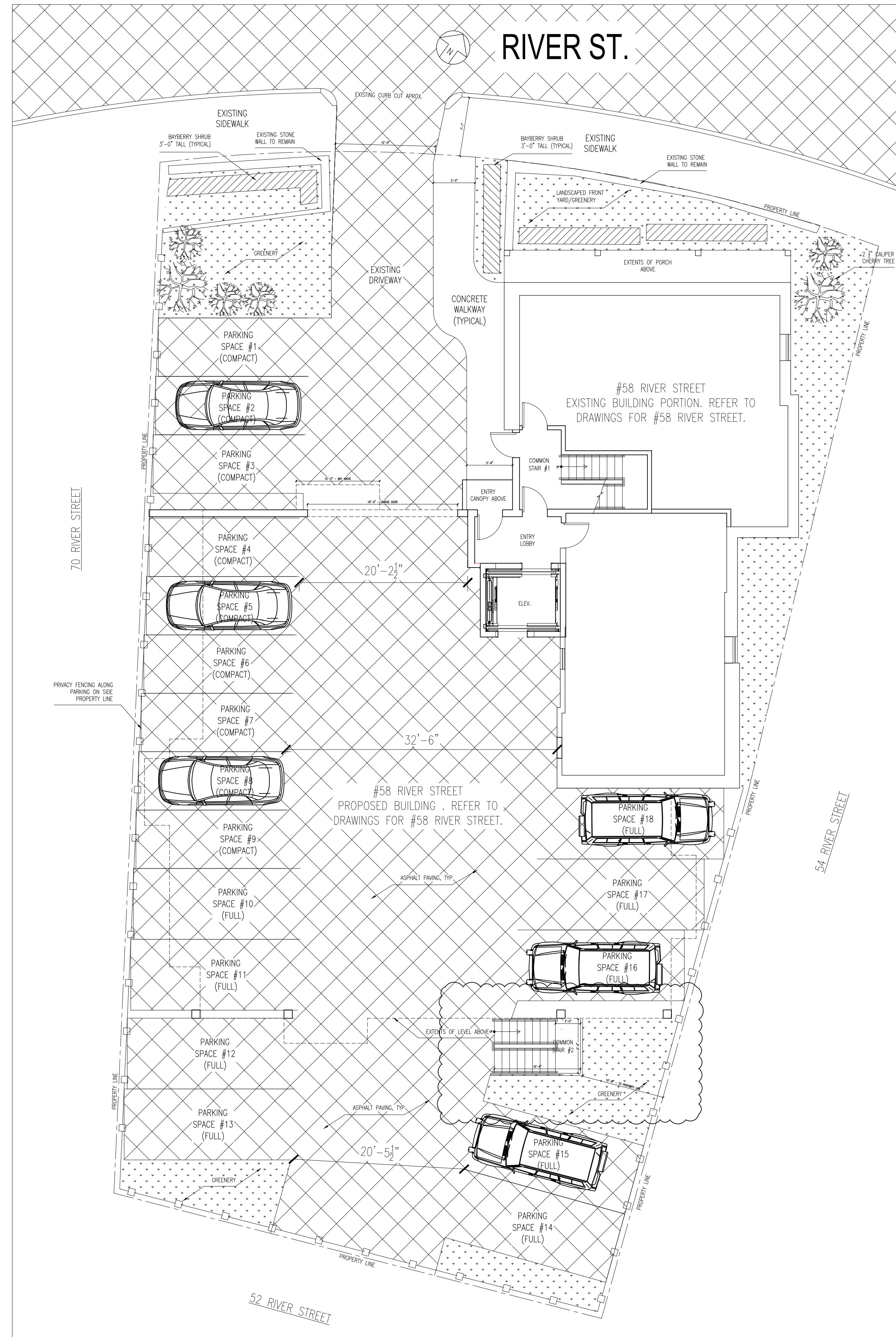
**context**  
a collaborative design workshop

Mattapan, Boston  
Massachusetts,  
02126

01 Issued for Permit Set 05/27/2020  
01 ISD Comments 12/01/2020

No. Description Date  
Drawing Title: ANALYSIS, DWG LIST, NOTES  
Project No.: 263 Checked by: EZ

**A-01**



**1** PROPOSED SITE PLAN  
SCALE: 1/4" = 1'-0"



*Erin Johnson*

**58 River Street**  
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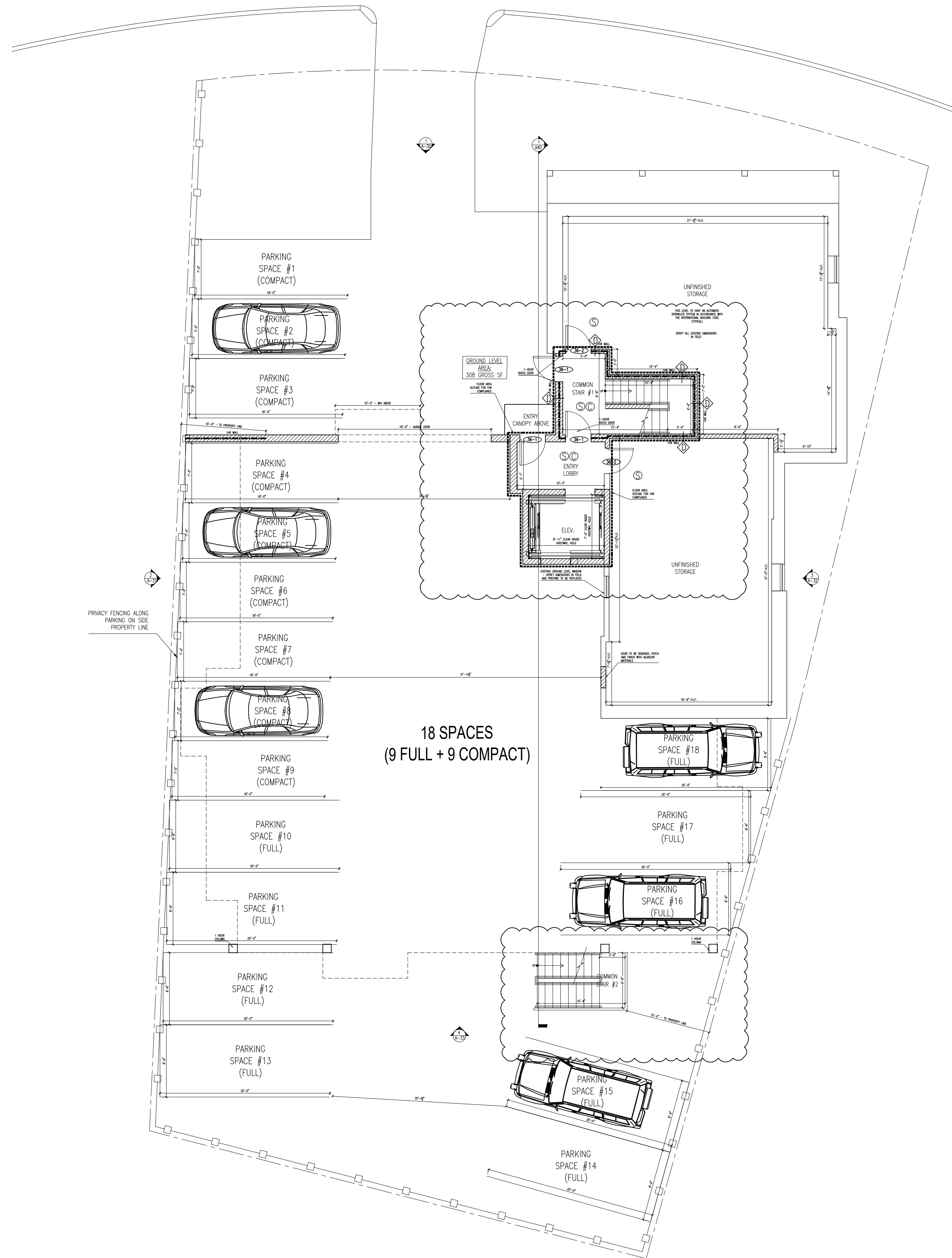
**No.**      **Description**      **Date**

Drawing Title: Proposed Site Plan

Project No.: 263      Checked by: EZ

A-02

# RIVER ST.

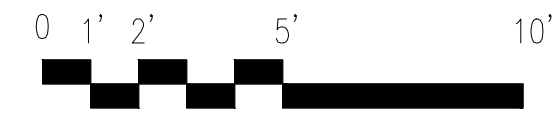


18 SPACES  
(9 FULL + 9 COMPACT)

**1** PROPOSED GROUND FLOOR  
SCALE: 1/8" = 1'-0"

### LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- RATED PARTITION
- PARTITION RATING
- EXISTING DOOR TO REMAIN
- NEW DOOR
- 4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE
- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED
- WALL TYPE, REFER TO DRAWING A-01

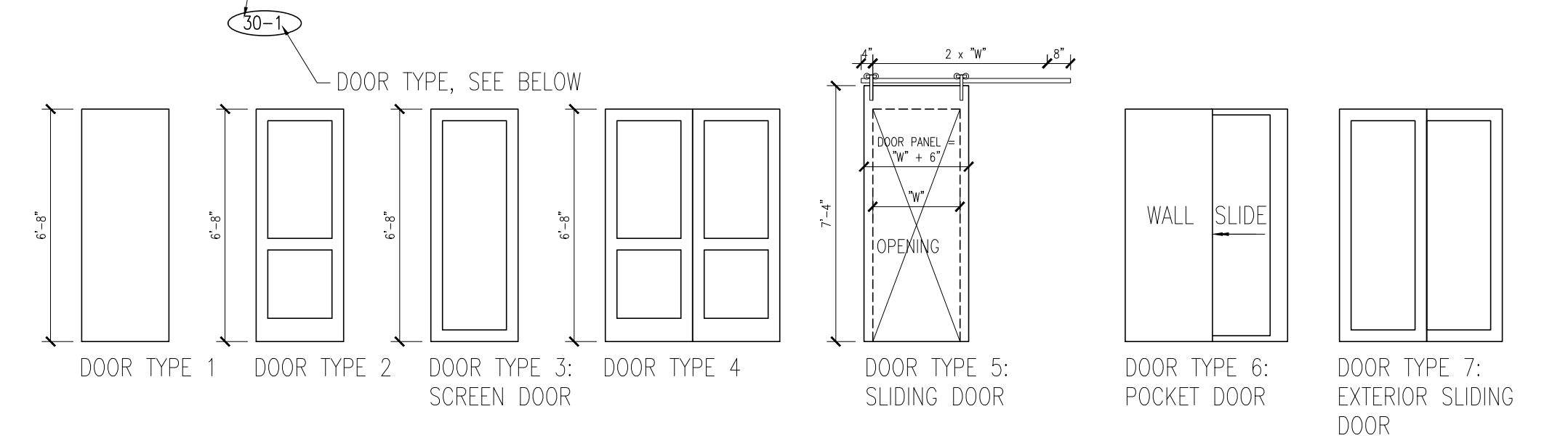


### FINISH NOTES:

1. ALL WALLS TO BE PAINTED GWB, (WHITE TO MATCH ARCHITECT'S SAMPLE)
2. FLOORS TO BE HARDWOOD UNLESS NOTED OTHERWISE.

### DOOR NOTES:

1. ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES.
2. INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
3. DOOR TARGETS: DOOR WIDTH



*Eric Johnson*

**58 River Street**  
Longden Realty, LLC

**context**  
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Massachusetts,  
02126

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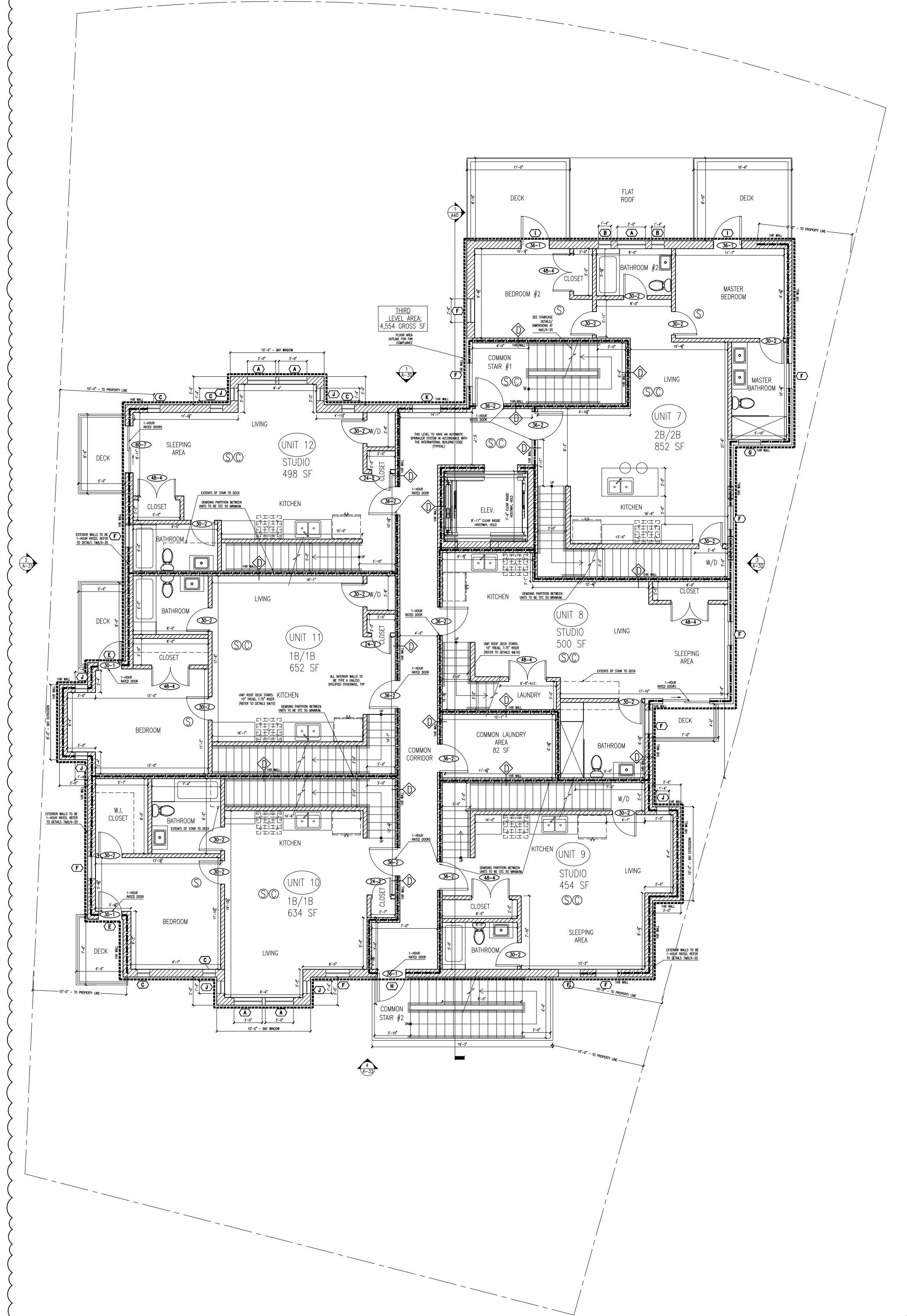
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Drawing Title: Proposed Plans

Project No.: 263 Checked by: EZ

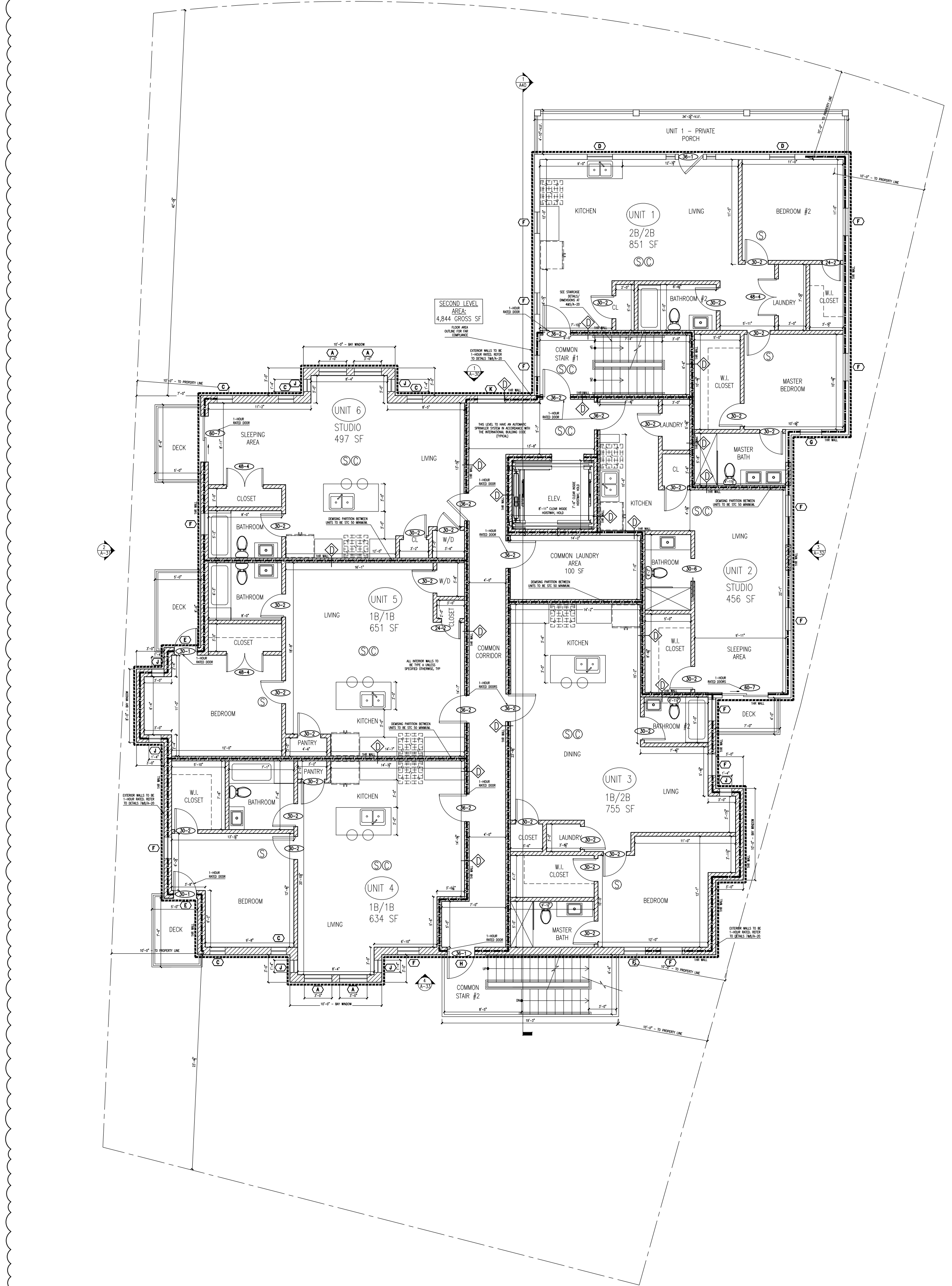
**A-10**

RIVER ST.



**3** PROPOSED LEVEL 3  
SCALE: 1/8" = 1'-0"

RIVER ST.



**2** PROPOSED LEVEL 2  
SCALE: 1/8" = 1'-0"



*Eric Johnson*

**58 River Street**  
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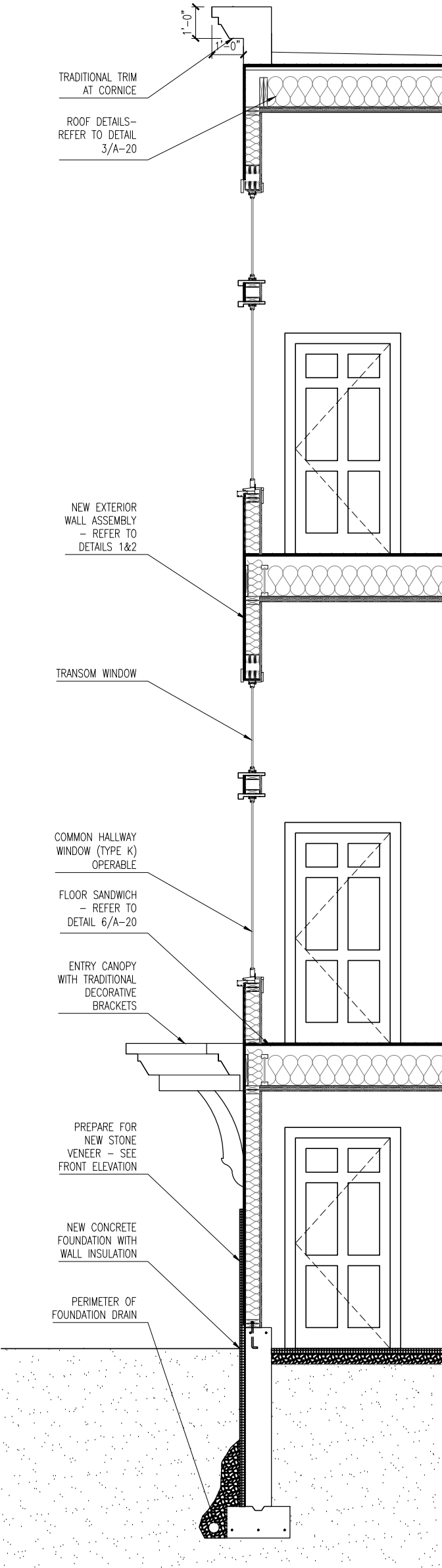
Project No.: 263      Checked by: EZ

RIVER ST.

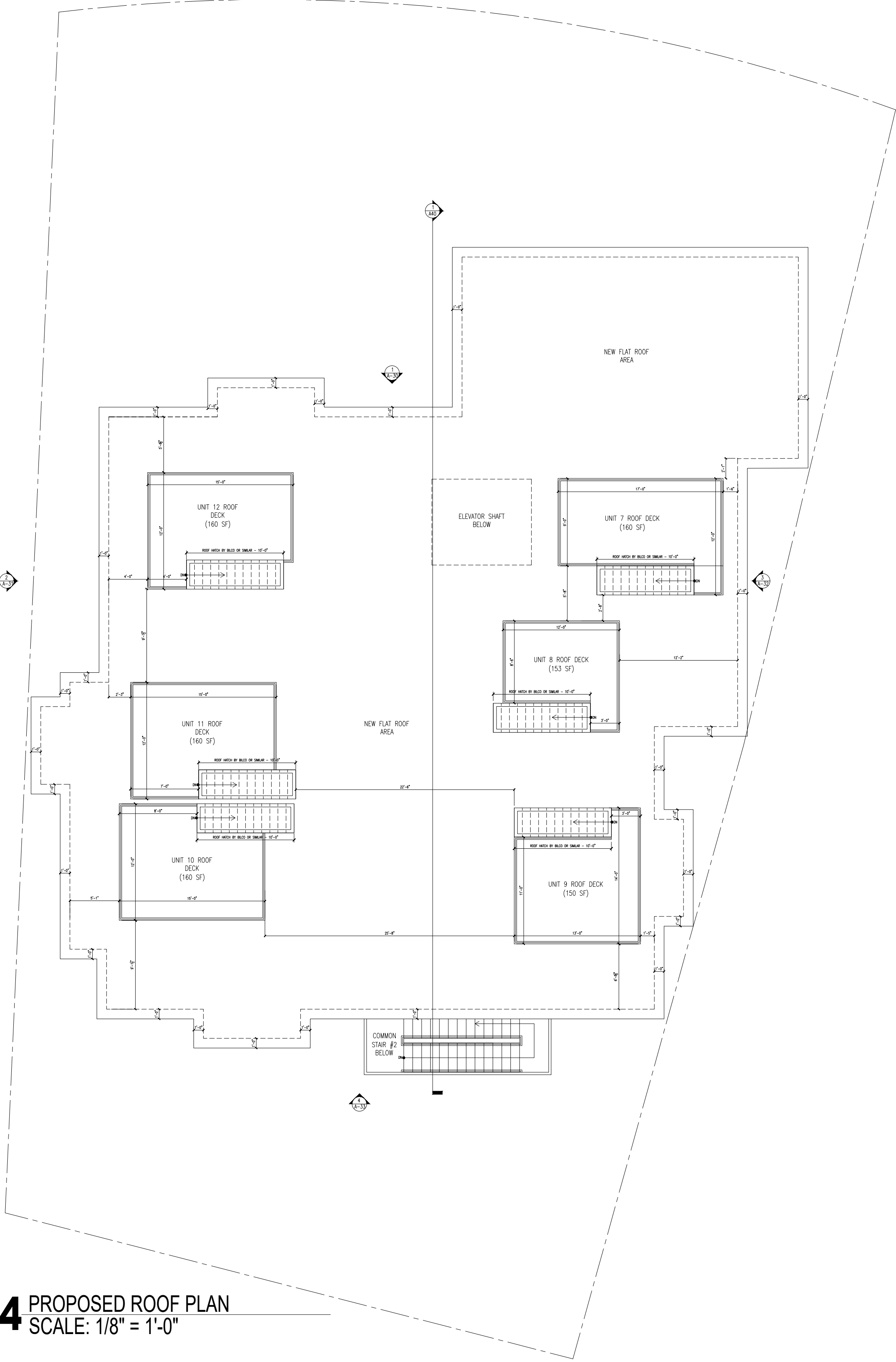
WINDOW SCHEDULE

TAG	TOTAL	TOP WINDOW	BOTTOM WINDOW	DESCRIPTION	COMMENTS
A	12	3'-0" x 6'-0"	3'-0" x 2'-10"	FIXED TOP WINDOW WITH OPERABLE BOTTOM WINDOW	ALUMINUM CLAD
B	2	1'-4" x 6'-0"	3'-0" x 2'-10"	FIXED TOP AND BOTTOM WINDOW	ALUMINUM CLAD
C	10	1'-4" x 2'-10"	1'-4" x 6'-0"	FIXED TOP WINDOW WITH OPERABLE BOTTOM WINDOW	ALUMINUM CLAD
D	2	N/A	2'-8" x 4'-6"	DOUBLE-HUNG	ALUMINUM CLAD
E	4	2'-6" x 2'-10"	N/A	TRANSOM WINDOW	AT DECK DOORS
F	20	2'-4" x 6'-0"	2'-4" x 2'-10"	FIXED TOP WINDOW WITH OPERABLE BOTTOM WINDOW	
G	4	2'-4" x 6'-0"	N/A	OPERABLE WINDOW	AT BATHROOMS
H	2	3'-0" x 2'-10"	N/A	TRANSOM WINDOW	TO REAR COMMON STAIRS
I	2	2'-8" x 2'-10"	N/A	TRANSOM WINDOW	AT FRONT DECK DOORS
J	10	1'-4" x 6'-0"	3'-0" x 2'-10"	FIXED TOP WINDOW WITH OPERABLE BOTTOM WINDOW	
K	2	3'-0" x 2'-10"	3'-0" x 6'-0"	FIXED TOP WINDOW WITH OPERABLE BOTTOM WINDOW	

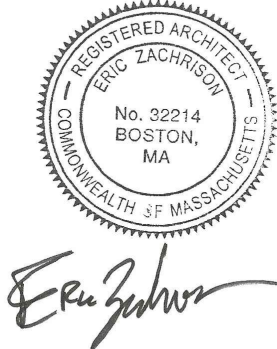
\*\*ALL WINDOWS TO BE U=0.30 OR BETTER



5 WALL SECTION  
SCALE: 1/4" = 1'-0"



4 PROPOSED ROOF PLAN  
SCALE: 1/8" = 1'-0"



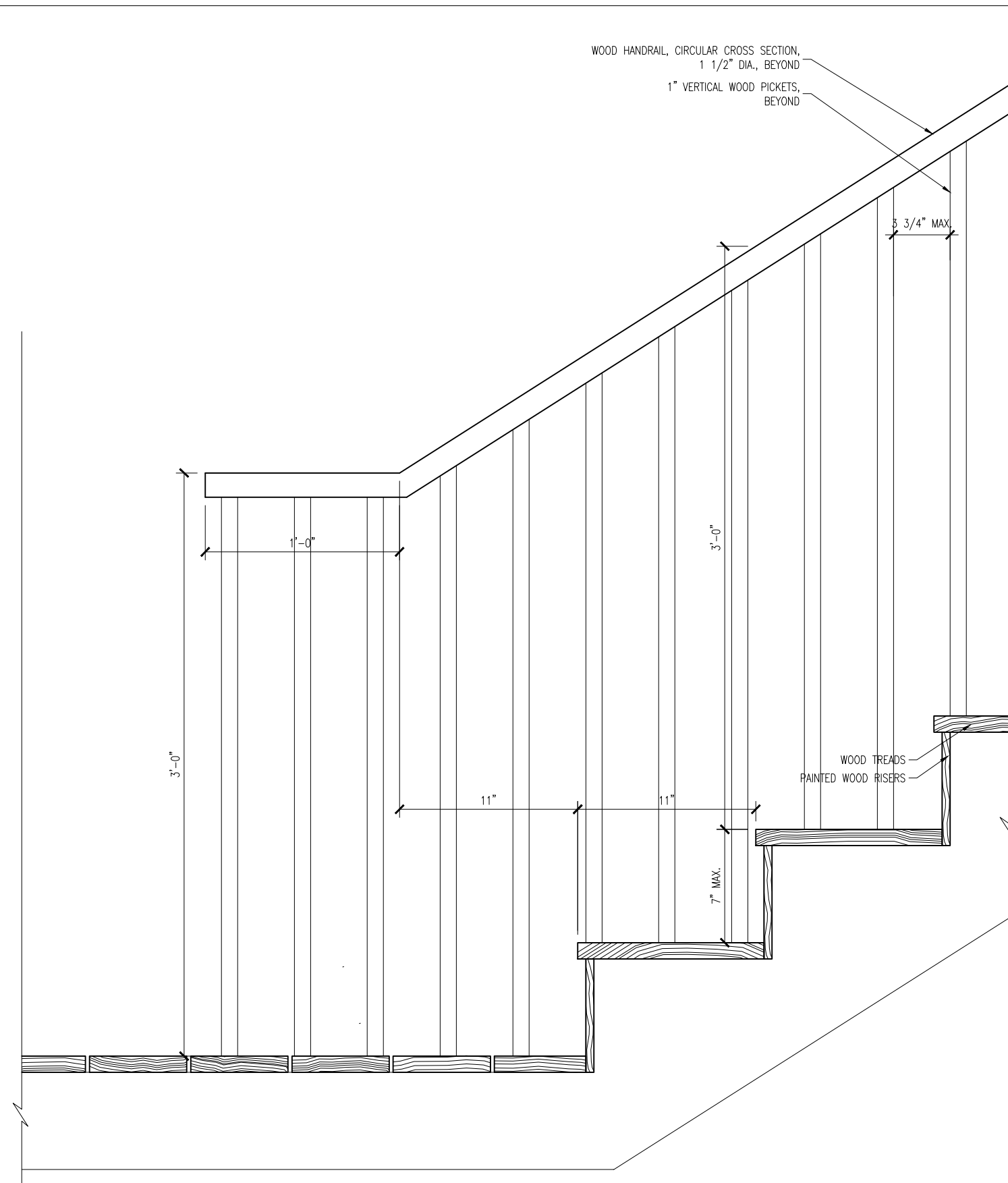
58 River Street  
Longden Realty, LLC

**context**  
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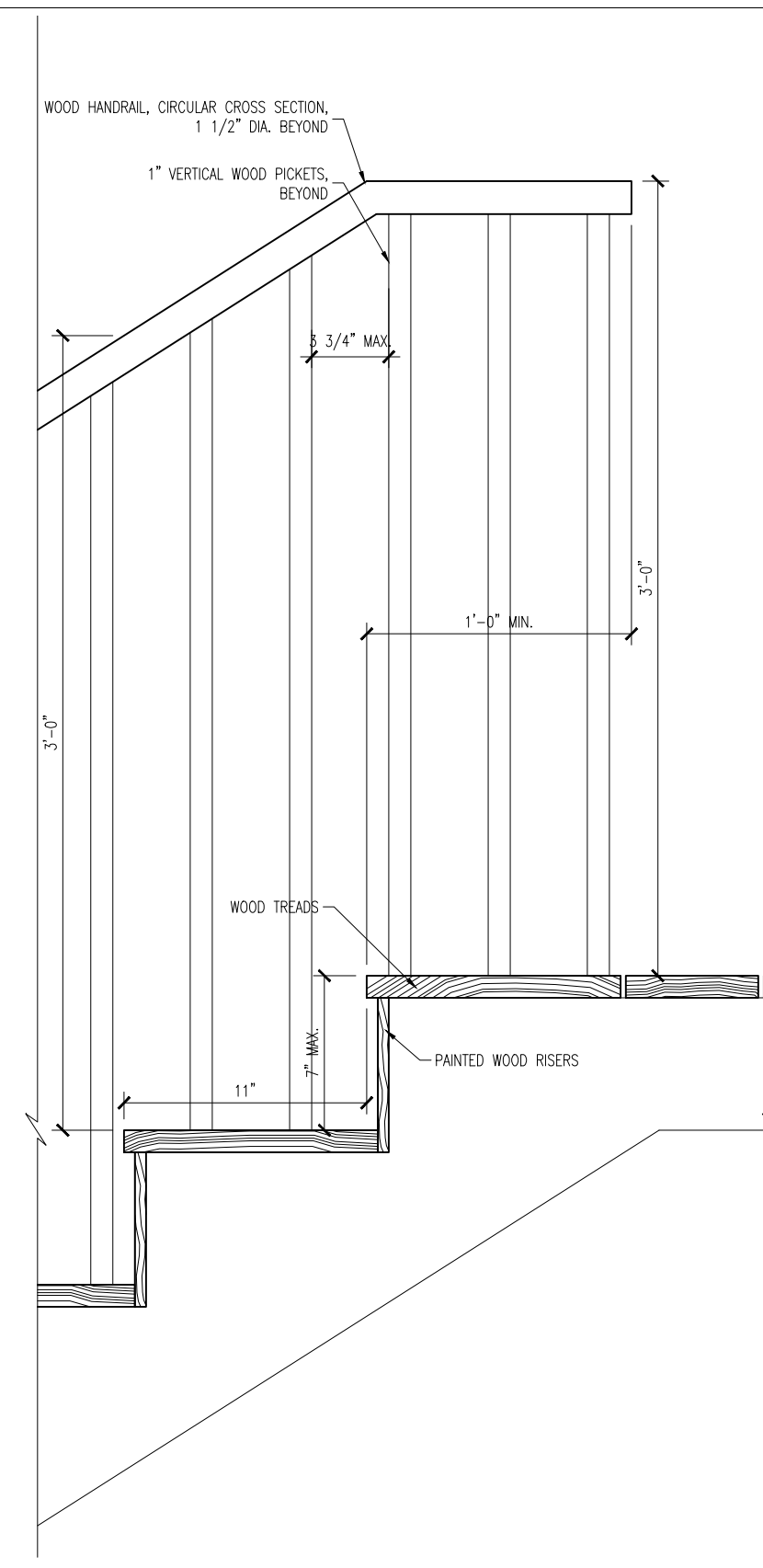
Mattapan, Boston  
Massachusetts,  
02126

01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020
No.	Description	Date
Drawing Title: Roof Plan, Section and Window Schedule		
Project No.: 263 Checked by: EZ		

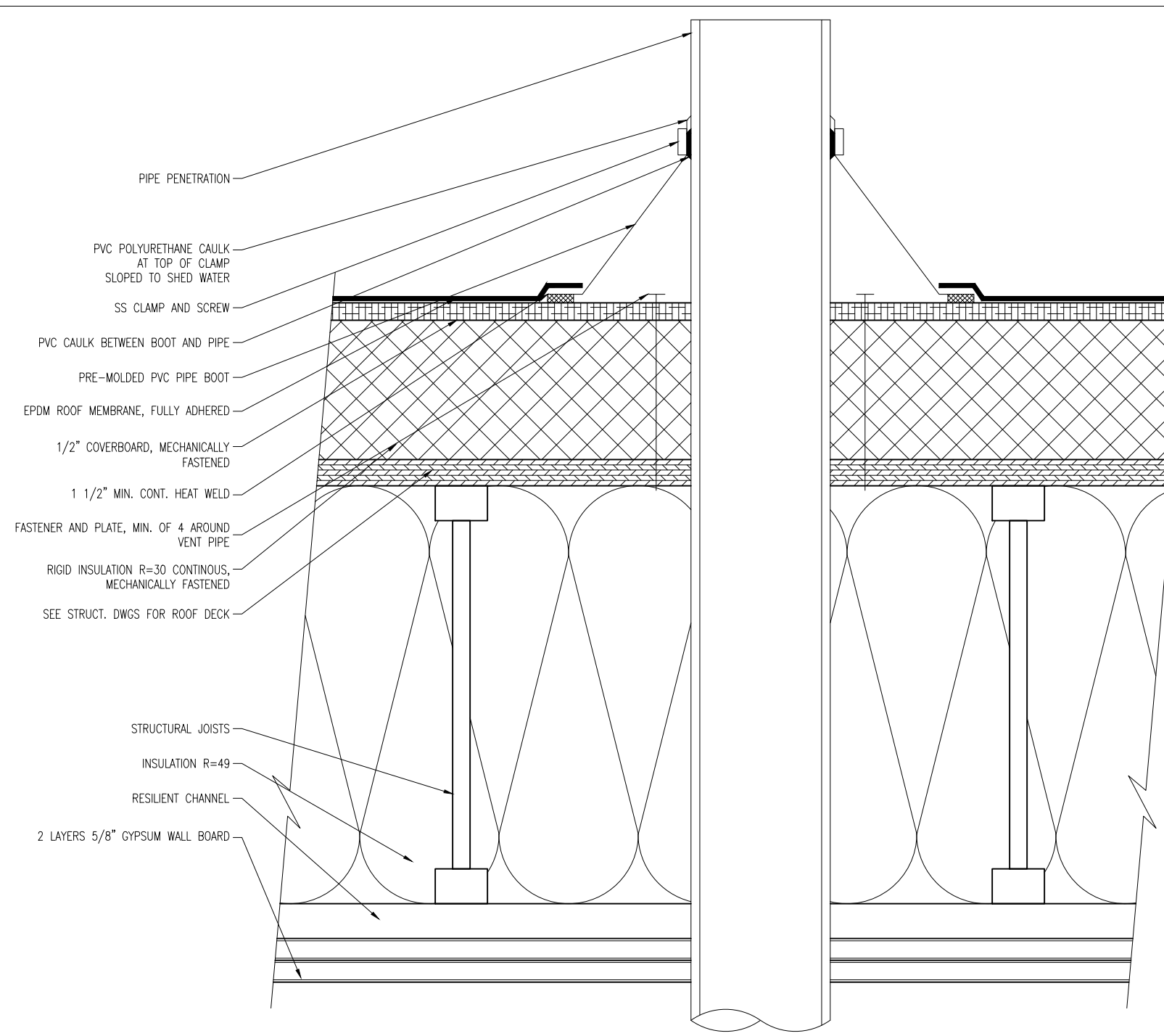




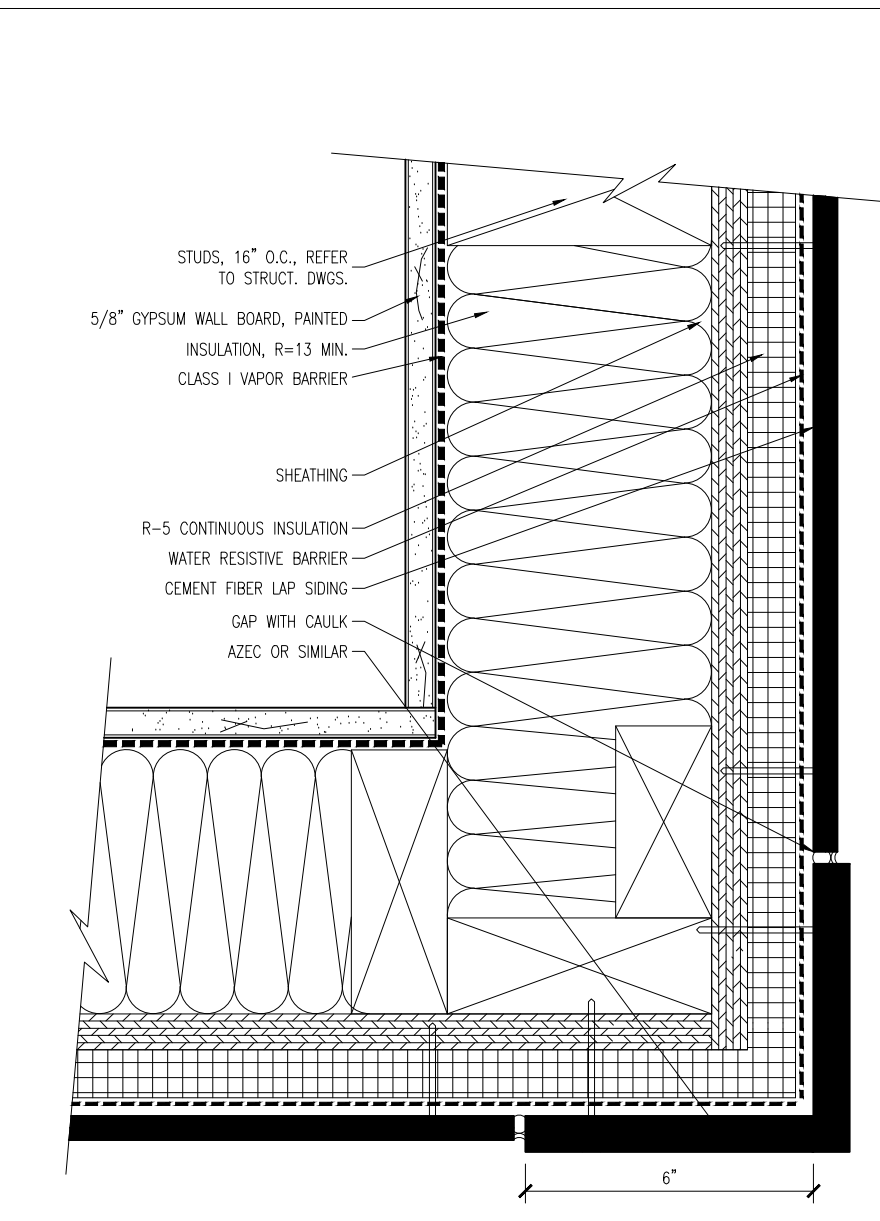
**4** SECTION DETAIL AT BOTTOM OF STAIRCASE  
SCALE: 1 1/2" = 1'-0"



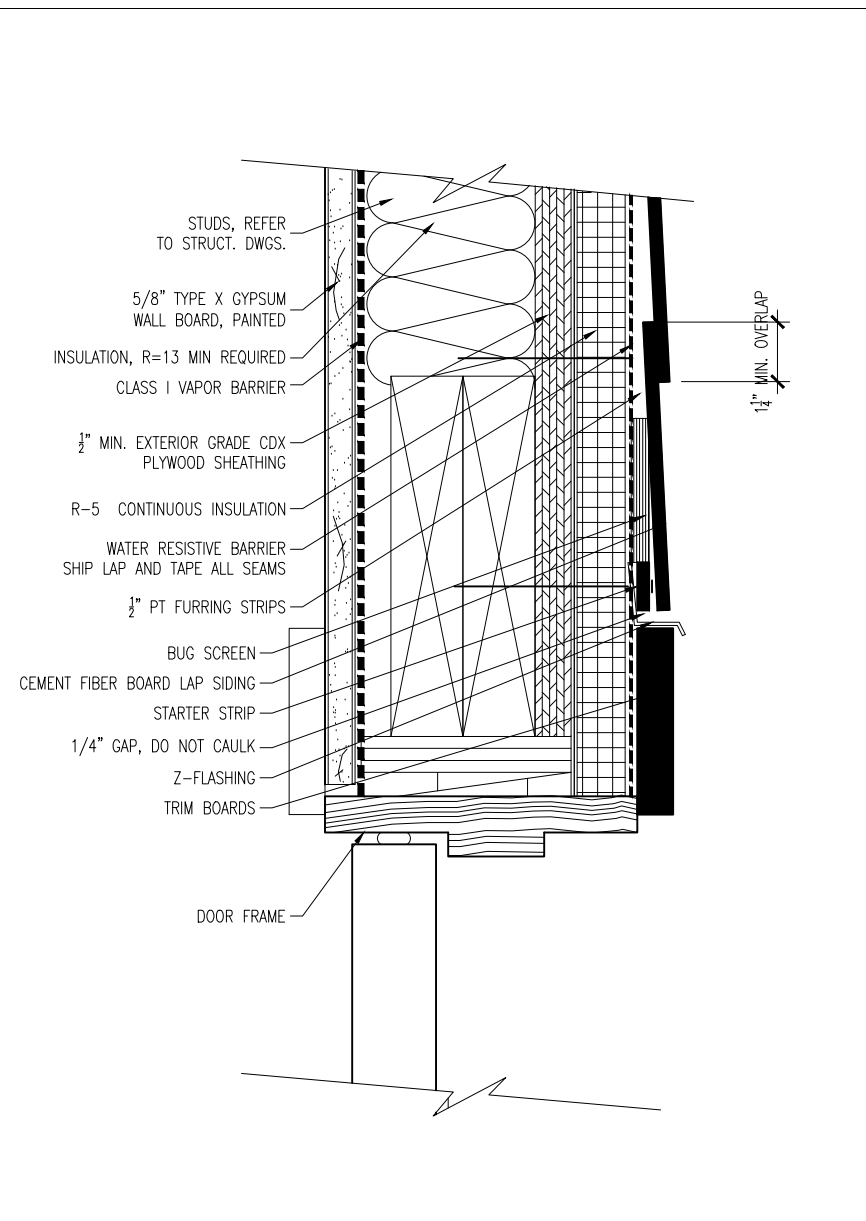
**5** SECTION DETAIL AT TOP OF STAIRCASE  
SCALE: 1 1/2" = 1'-0"



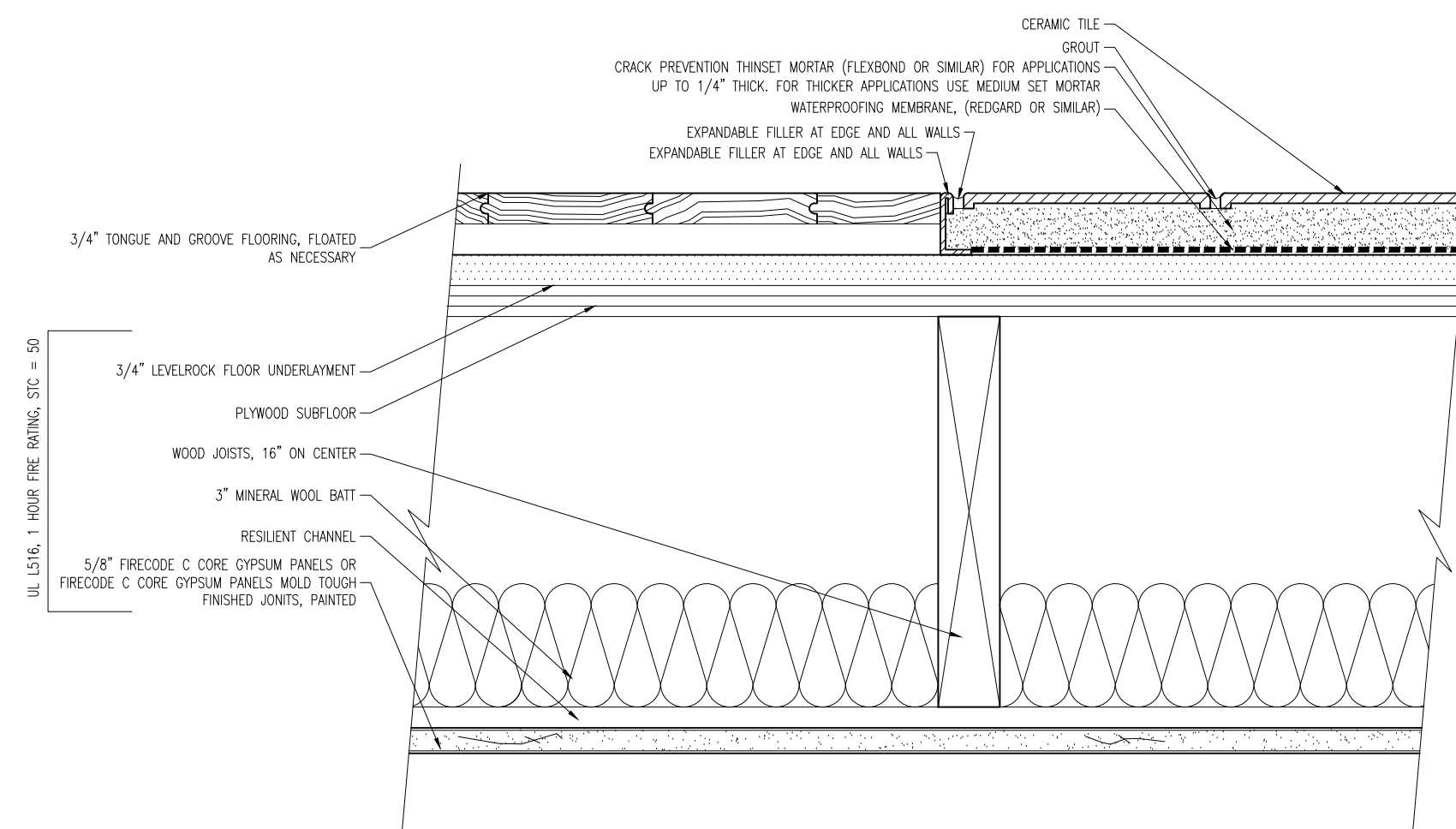
**3** EXTERIOR ROOF SECTION DETAIL  
SCALE: 3" = 1'-0"



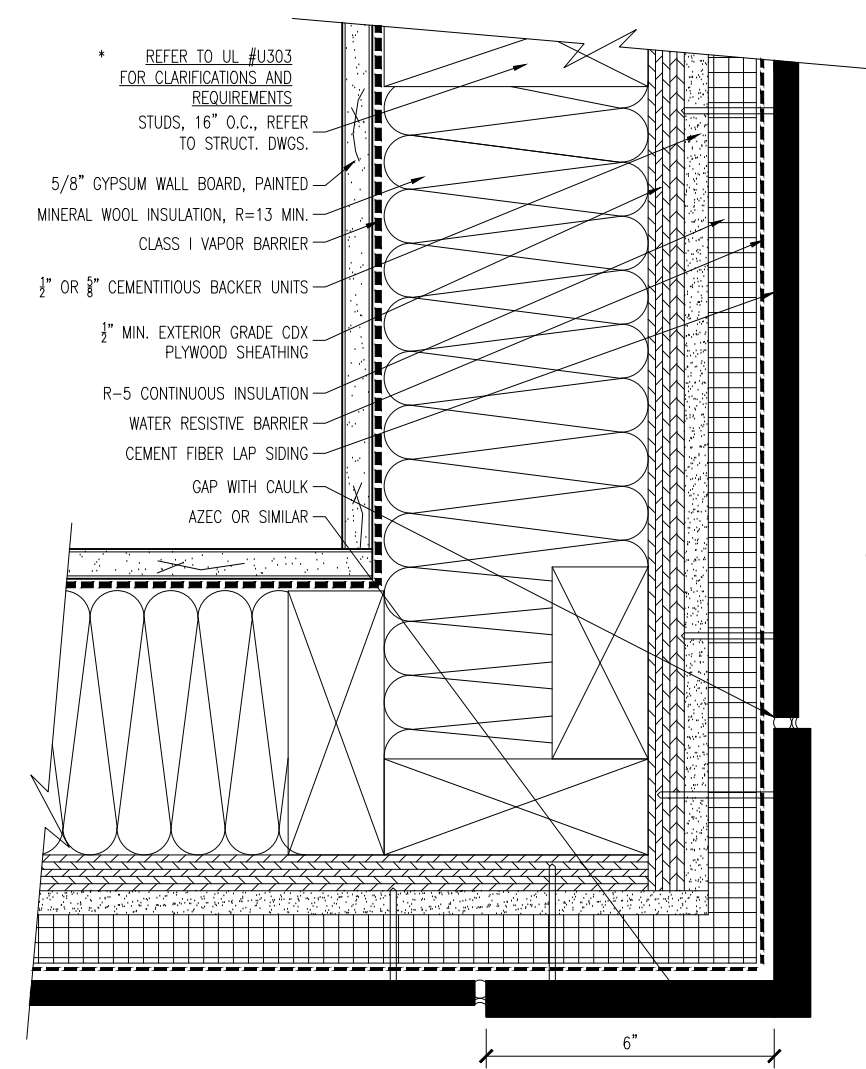
**2** EXTERIOR WALL SECTION DETAIL  
SCALE: 3" = 1'-0"



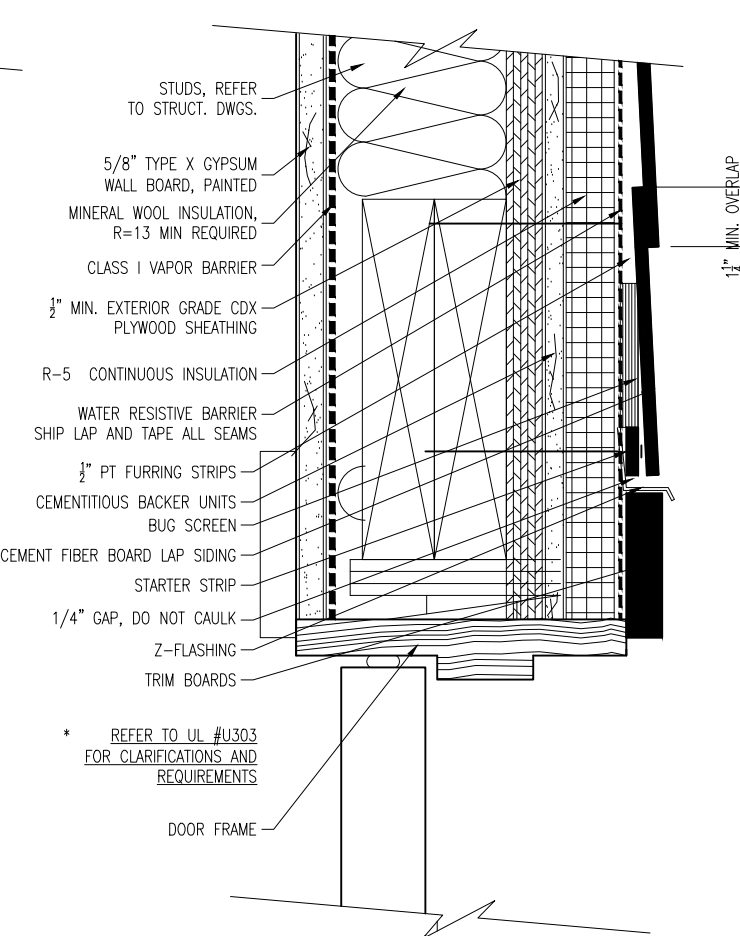
**1** EXTERIOR WALL SECTION DETAIL  
SCALE: 3" = 1'-0"



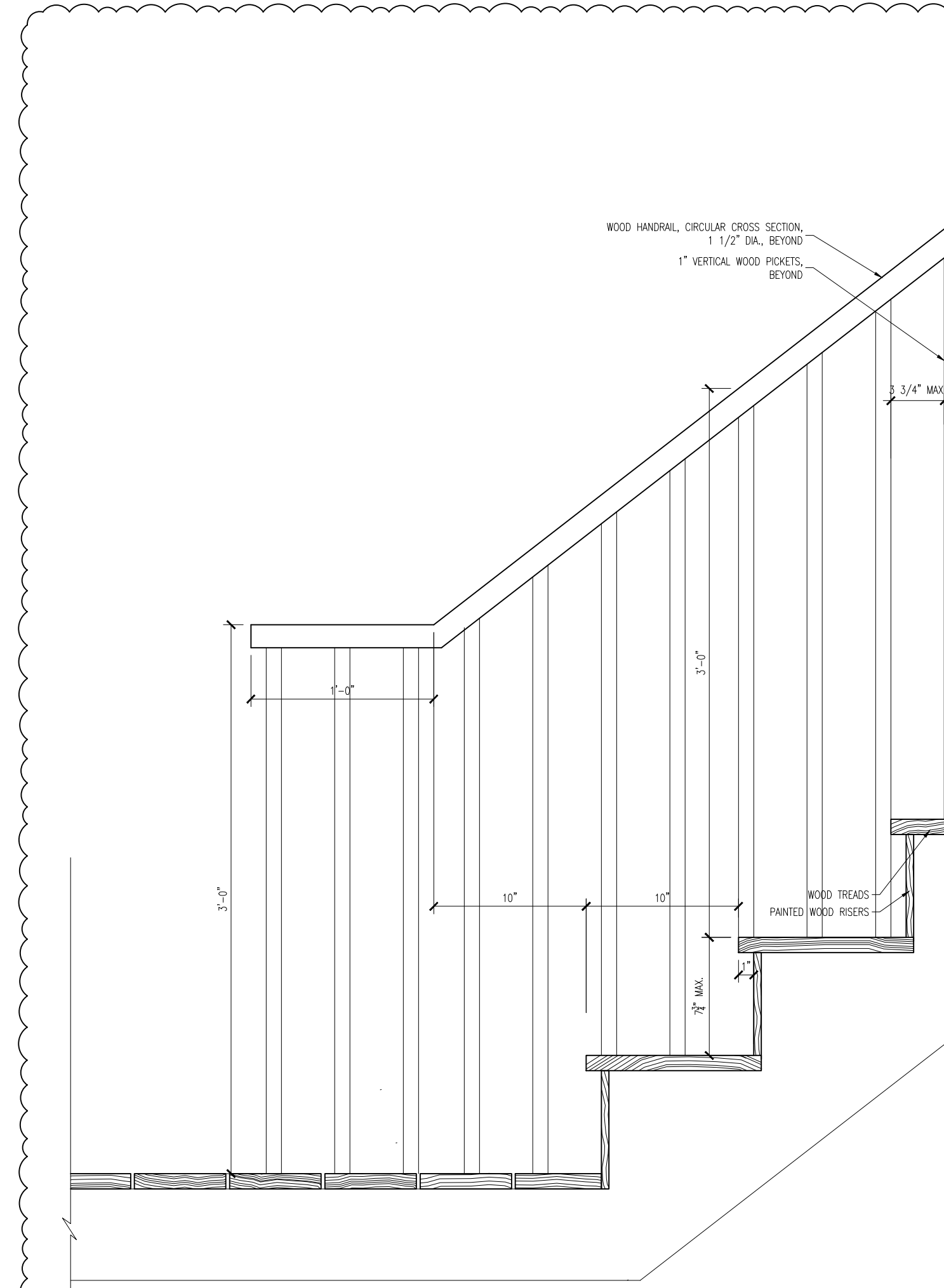
**6** SECTION DETAIL @ FLOOR SANDWICH  
SCALE: 3" = 1'-0"



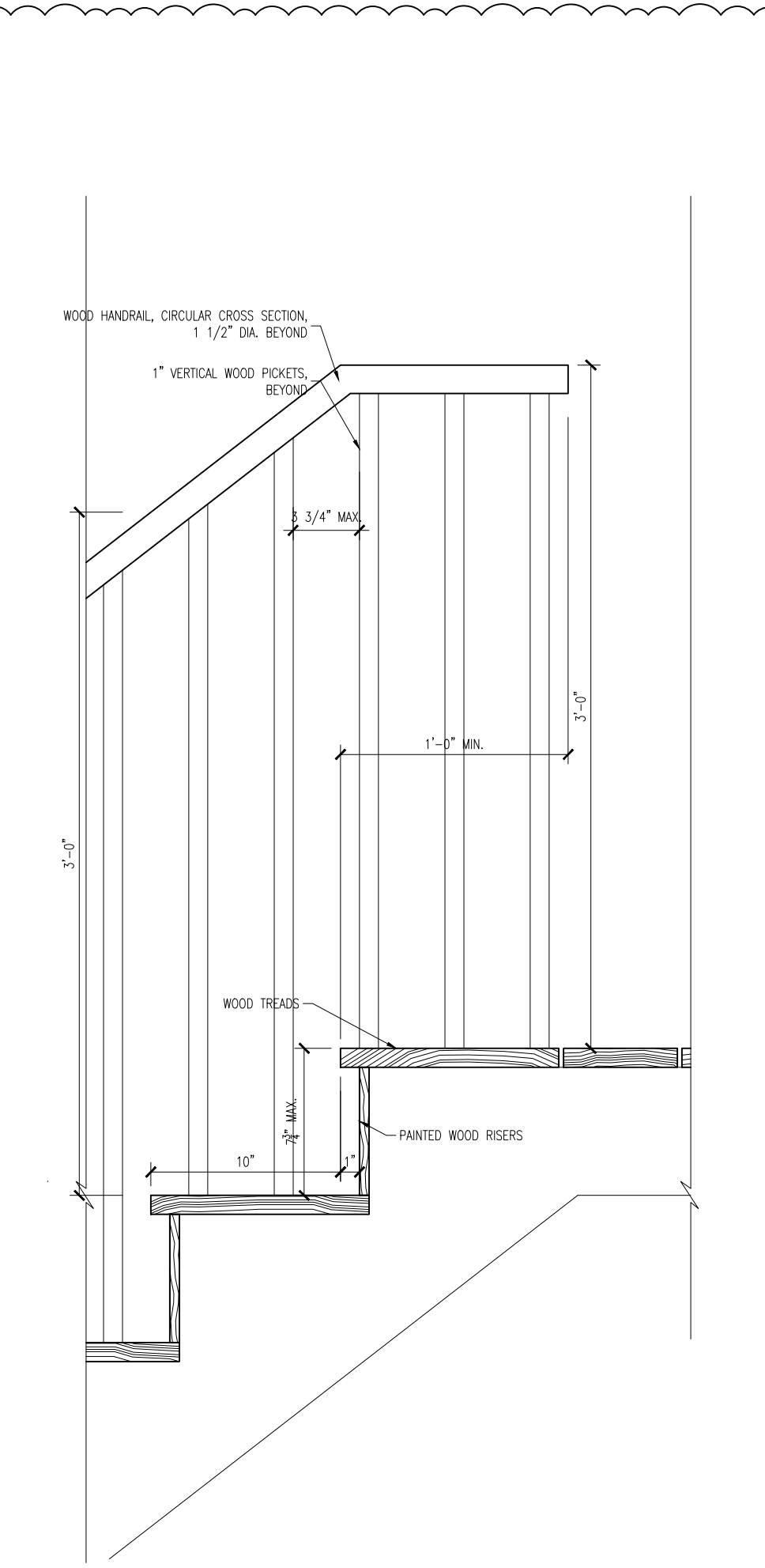
**7** EXTERIOR WALL SECTION DETAIL - 1HR UL #U303  
SCALE: 3" = 1'-0"



**8** EXTERIOR WALL SECTION DETAIL - 1HR UL #U303  
SCALE: 3" = 1'-0"



**9** SECTION DETAIL AT BOTTOM OF STAIRCASE  
SCALE: 1 1/2" = 1'-0"



**10** SECTION DETAIL AT TOP OF STAIRCASE  
SCALE: 1 1/2" = 1'-0"



*Eric Johnson*

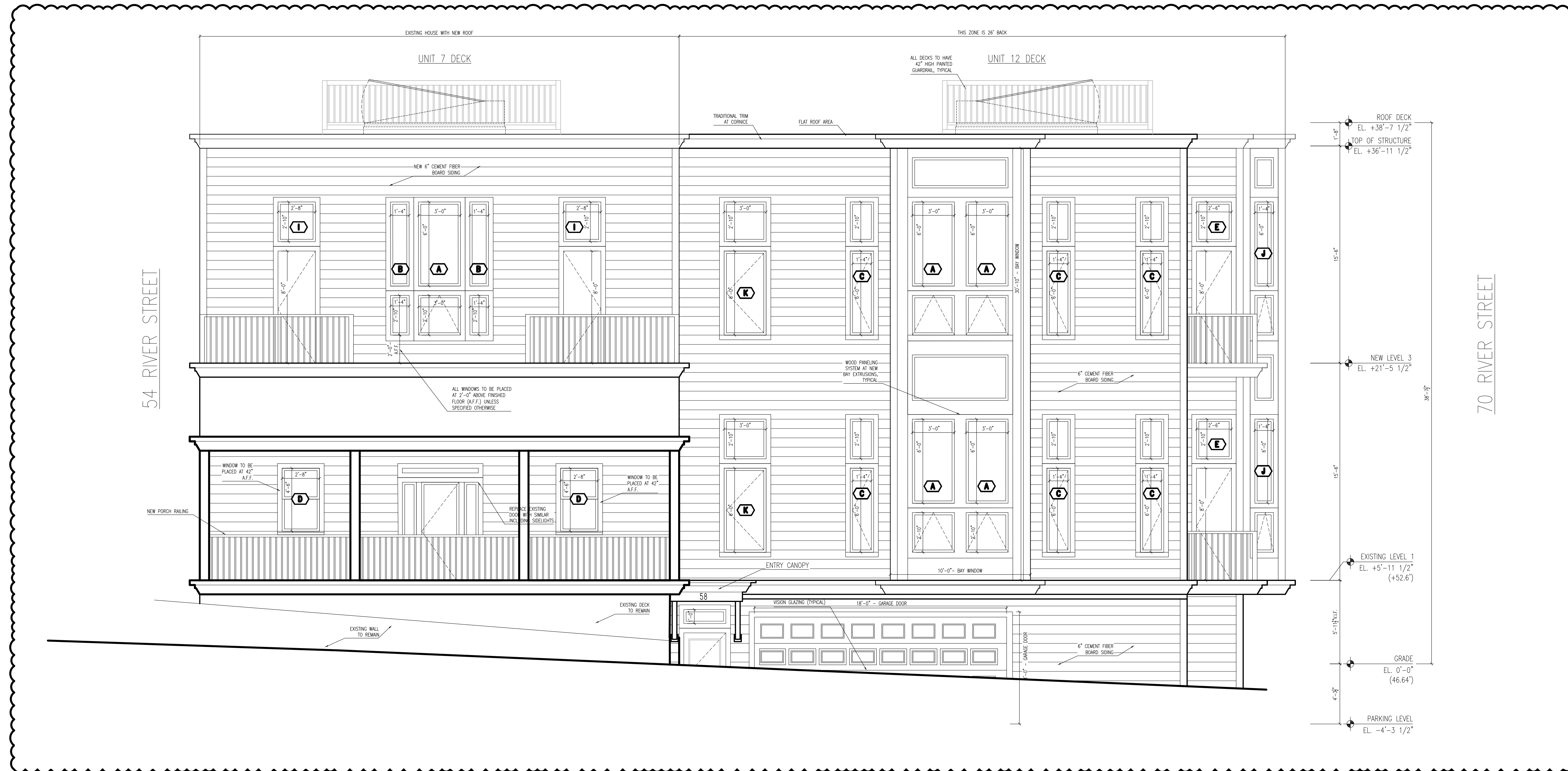
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Massachusetts,  
02126

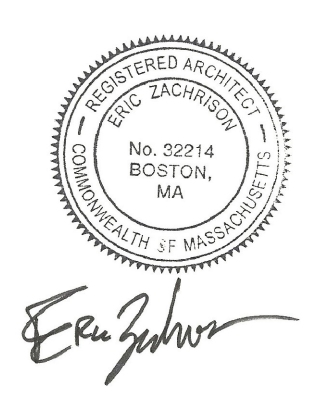
01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020
No.	Description	Date
Drawing Title: Details		
Project No.: 263	Checked by: EZ	

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1 PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

2/6/2021



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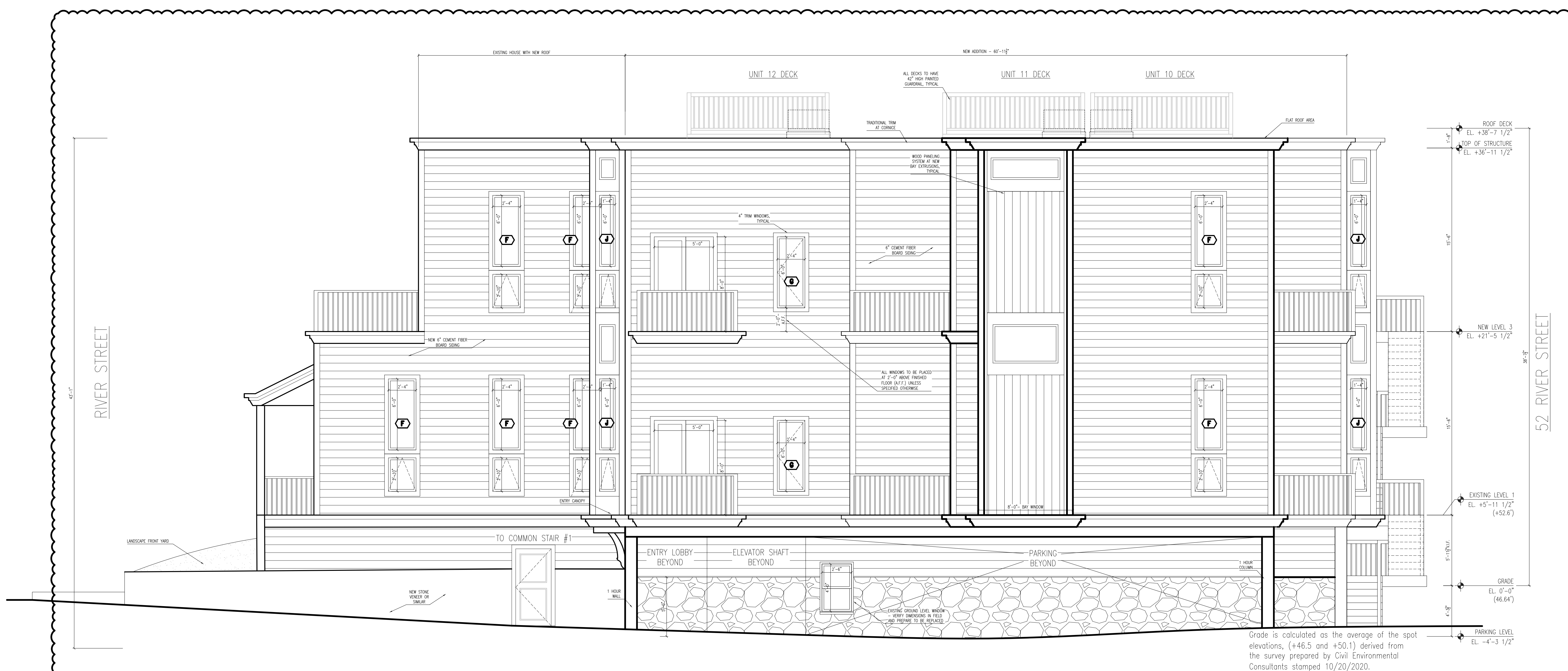
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01	ISD Comments	12/01/2020
No.	Description	Date
Drawing Title: Proposed Elevations		
Project No.: 263	Checked by: EZ	

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© Context 2020



**2** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

Grade is calculated as the average of the spot elevations, (+46.5 and +50.1) derived from the survey prepared by Civil Environmental Consultants stamped 10/20/2020.

2/6/2021



*Eric Johnson*

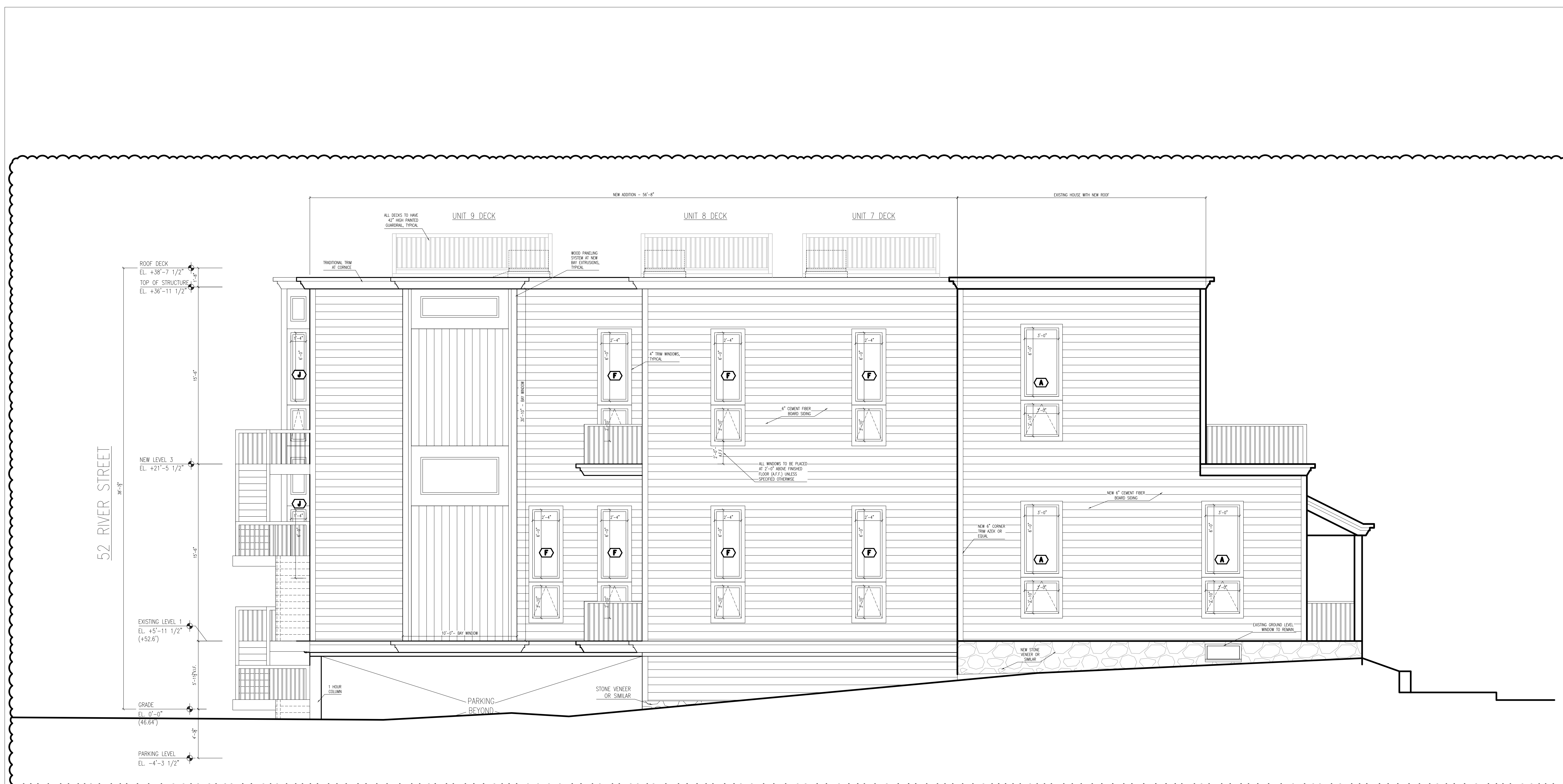
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01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020
No.	Description	Date
Drawing Title: Proposed Elevations		
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**3** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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*Eric Zachary*

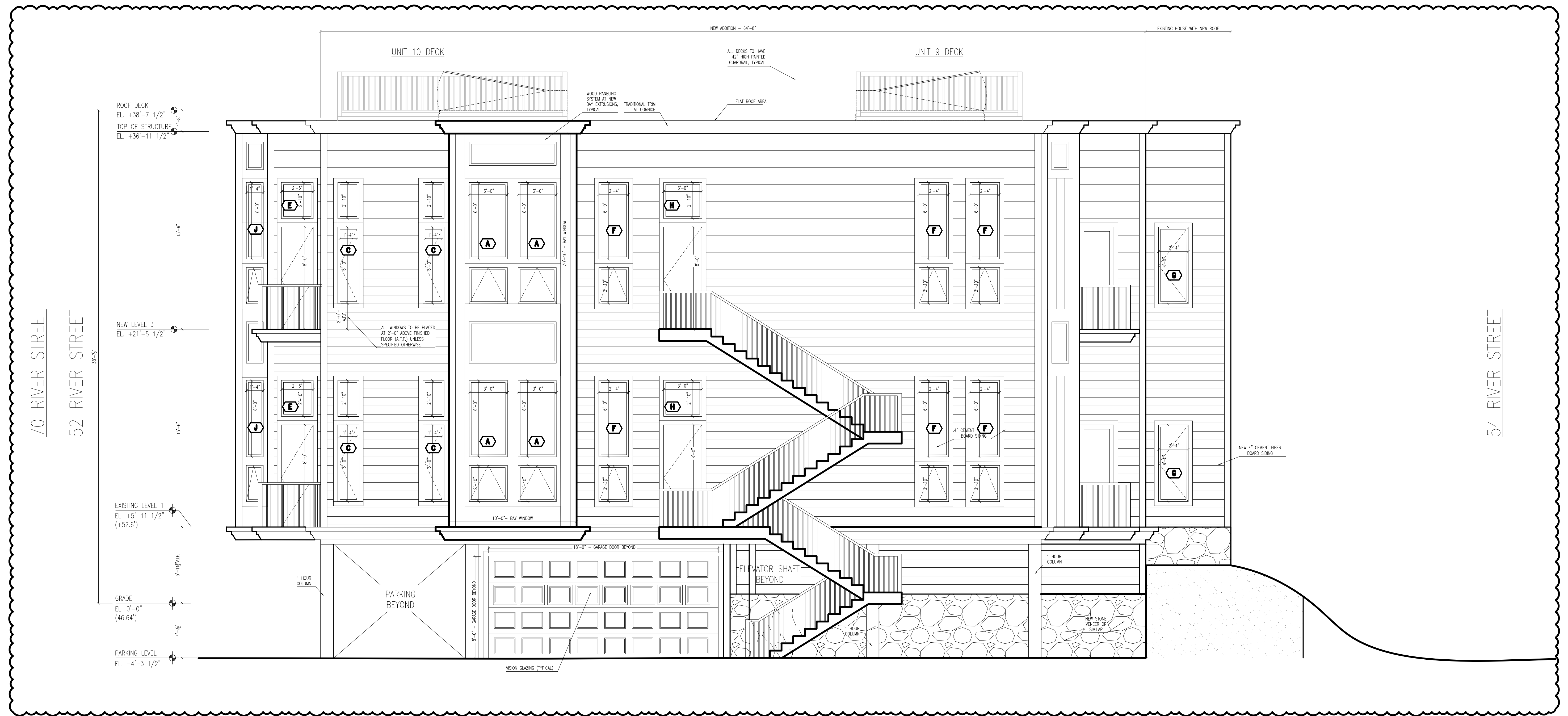
01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020

No.	Description	Date
Drawing Title: Proposed Elevations		

Project No.: 263 Checked by: EZ

2/6/2021

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**4** PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"

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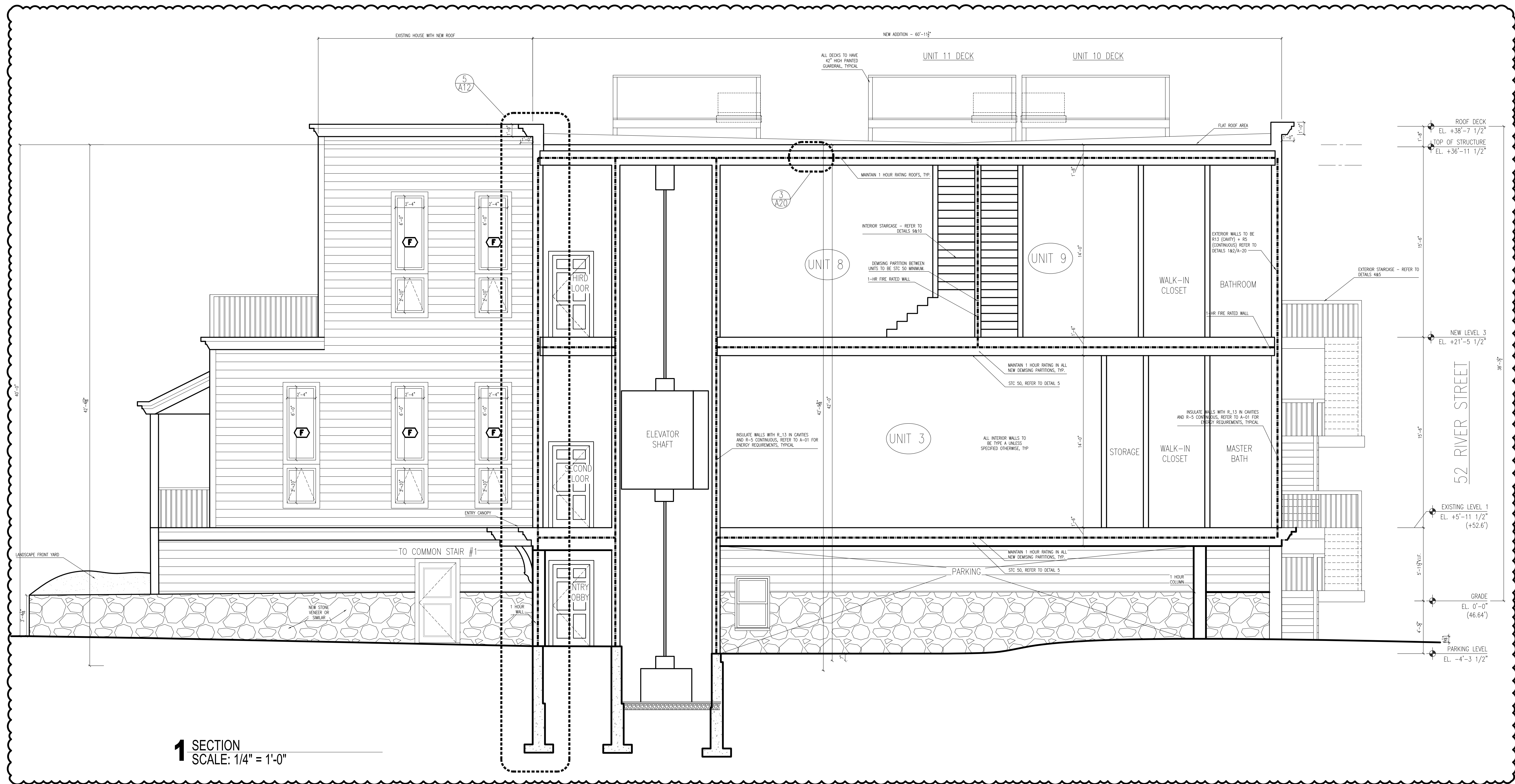
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01	ISD Comments	12/01/2020
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Drawing Title: Proposed Elevations		
Project No.: 263		
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**A-33**



**1** SECTION  
SCALE: 1/4" = 1'-0"



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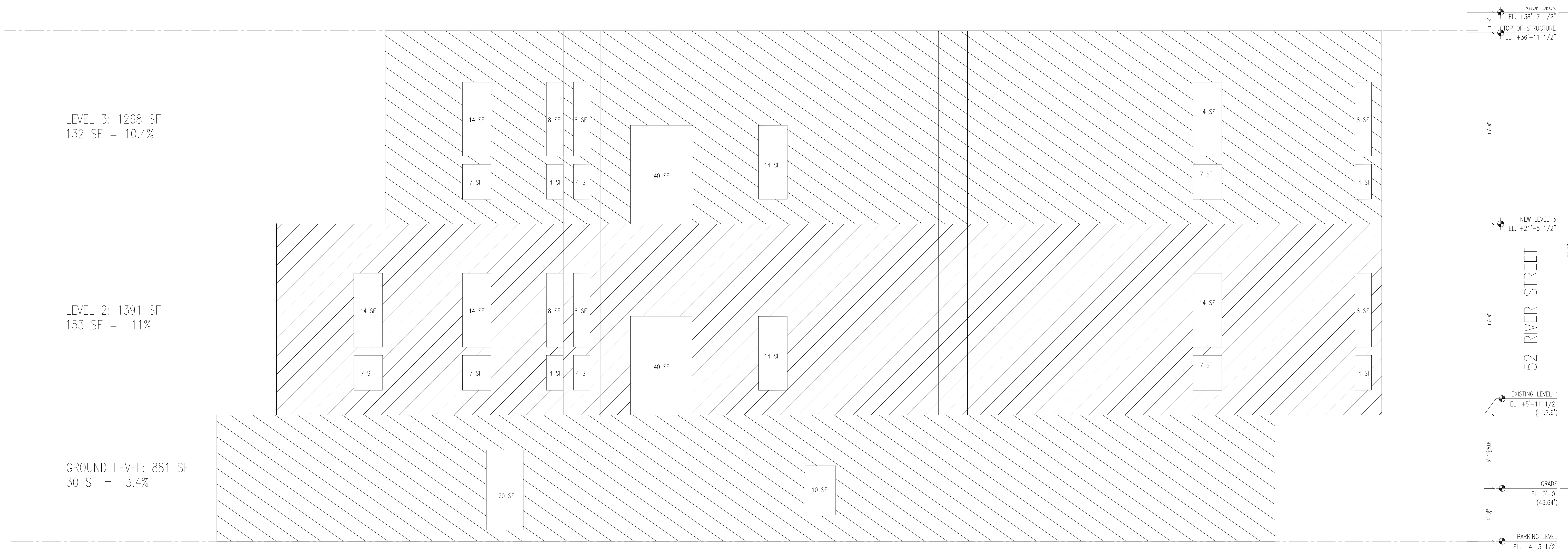
01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020

No.	Description	Date
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Drawing Title: Proposed Section

Project No.: 263 Checked by: EZ

**A-40**



**2** CODE COMPLIANCE DIAGRAM - RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

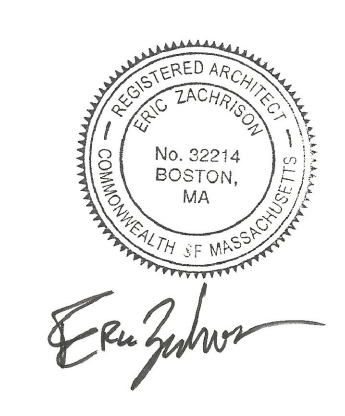
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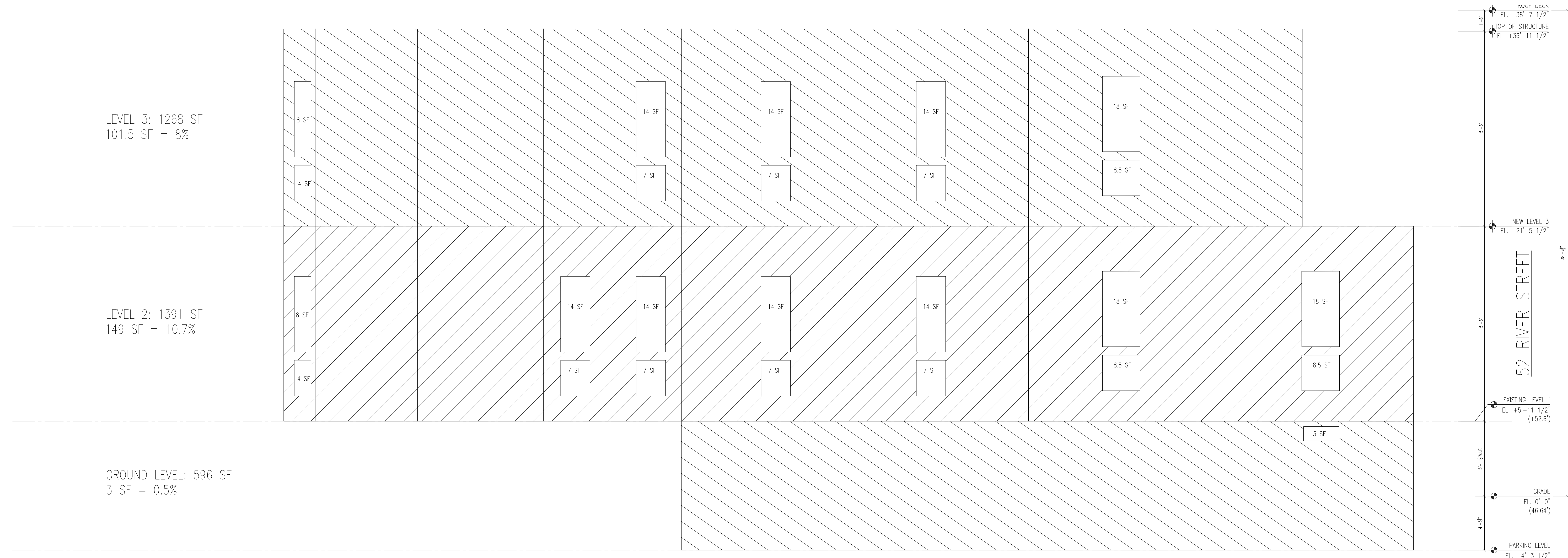
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No.	Description	Date
Drawing Title: Code Compliance Diagram		
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**3** CODE COMPLIANCE DIAGRAM - LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



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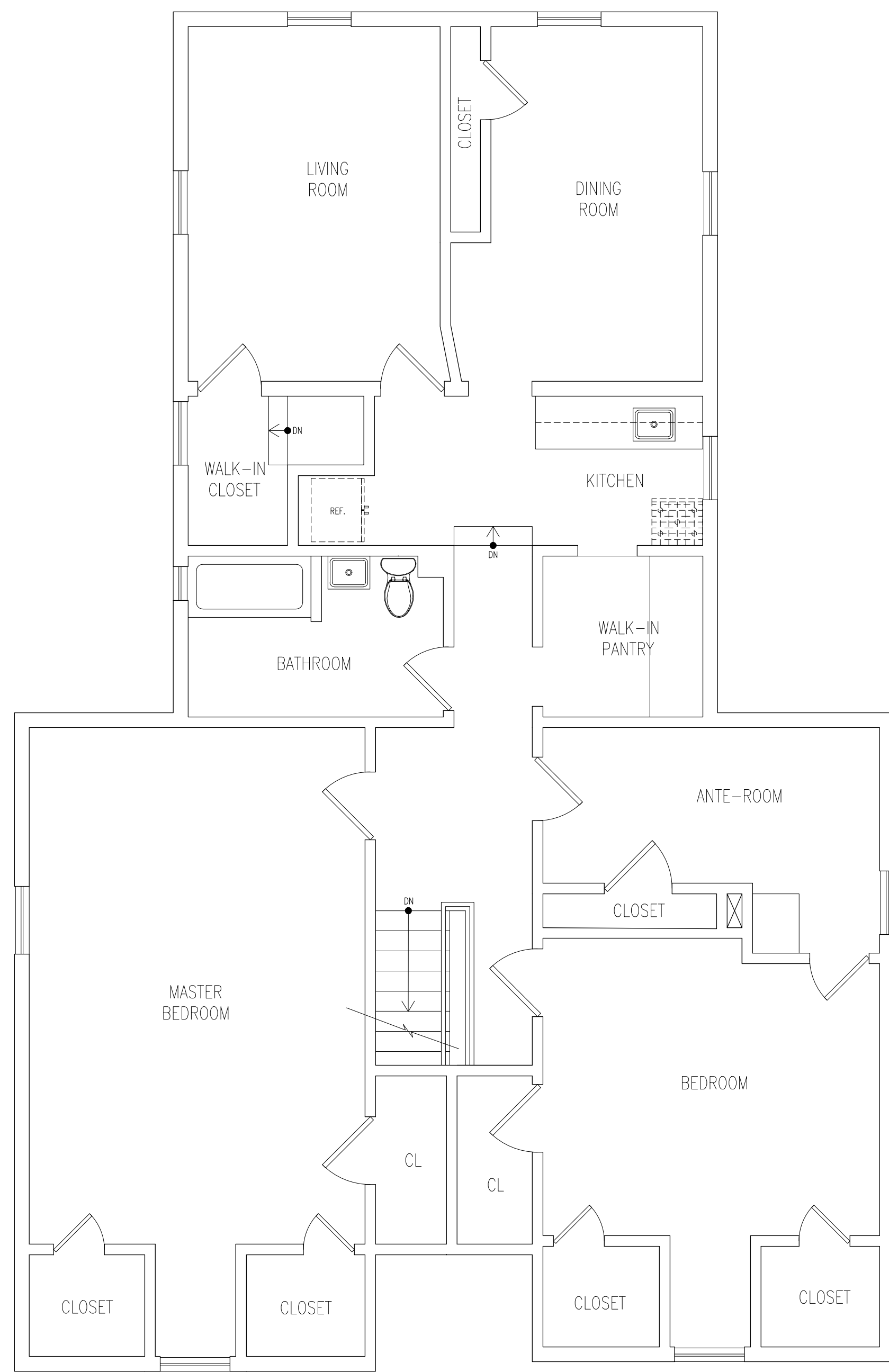
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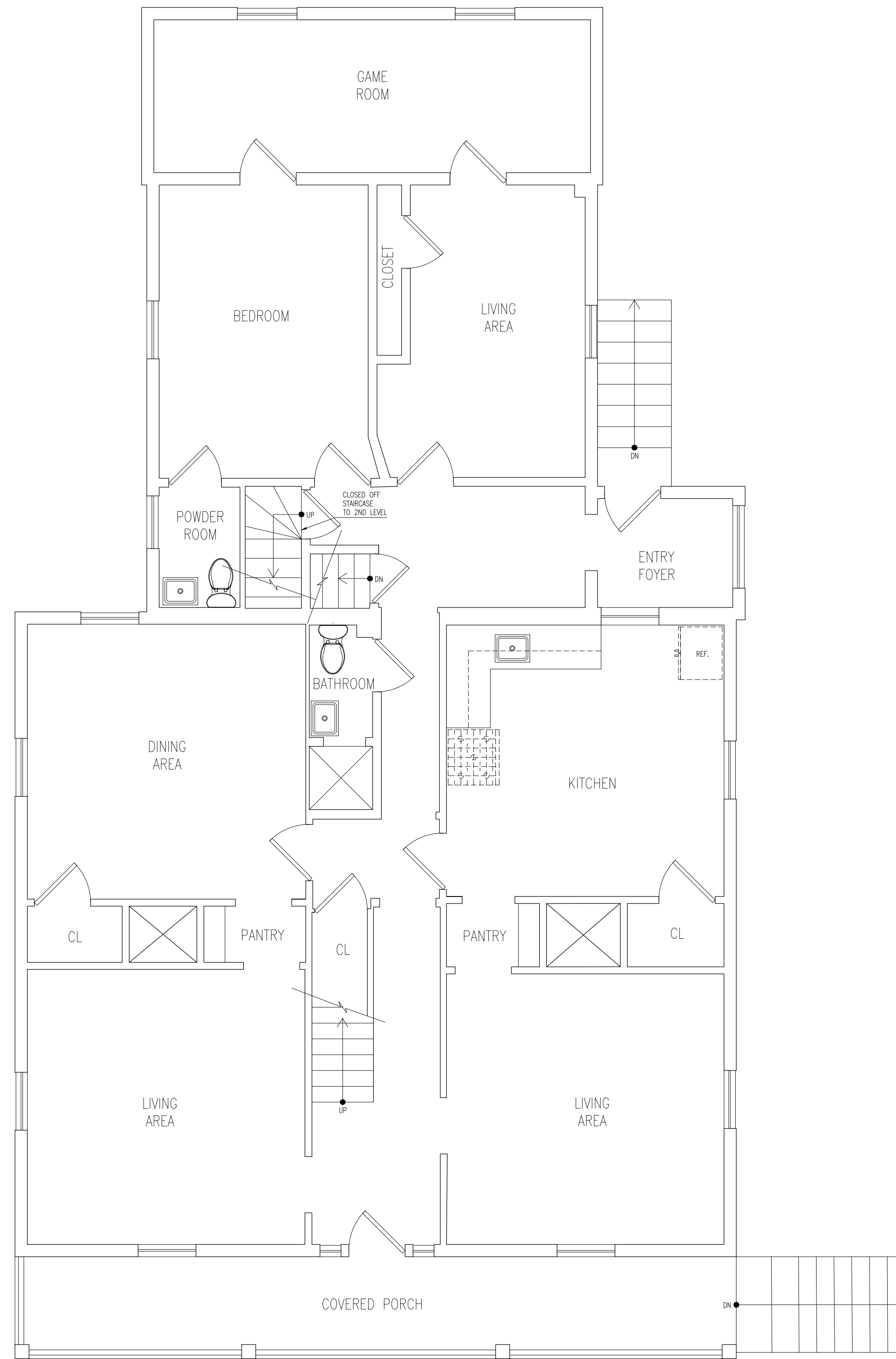
01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020
No.	Description	Date
Drawing Title: Code Compliance Diagram		
Project No.: 263		Checked by: EZ

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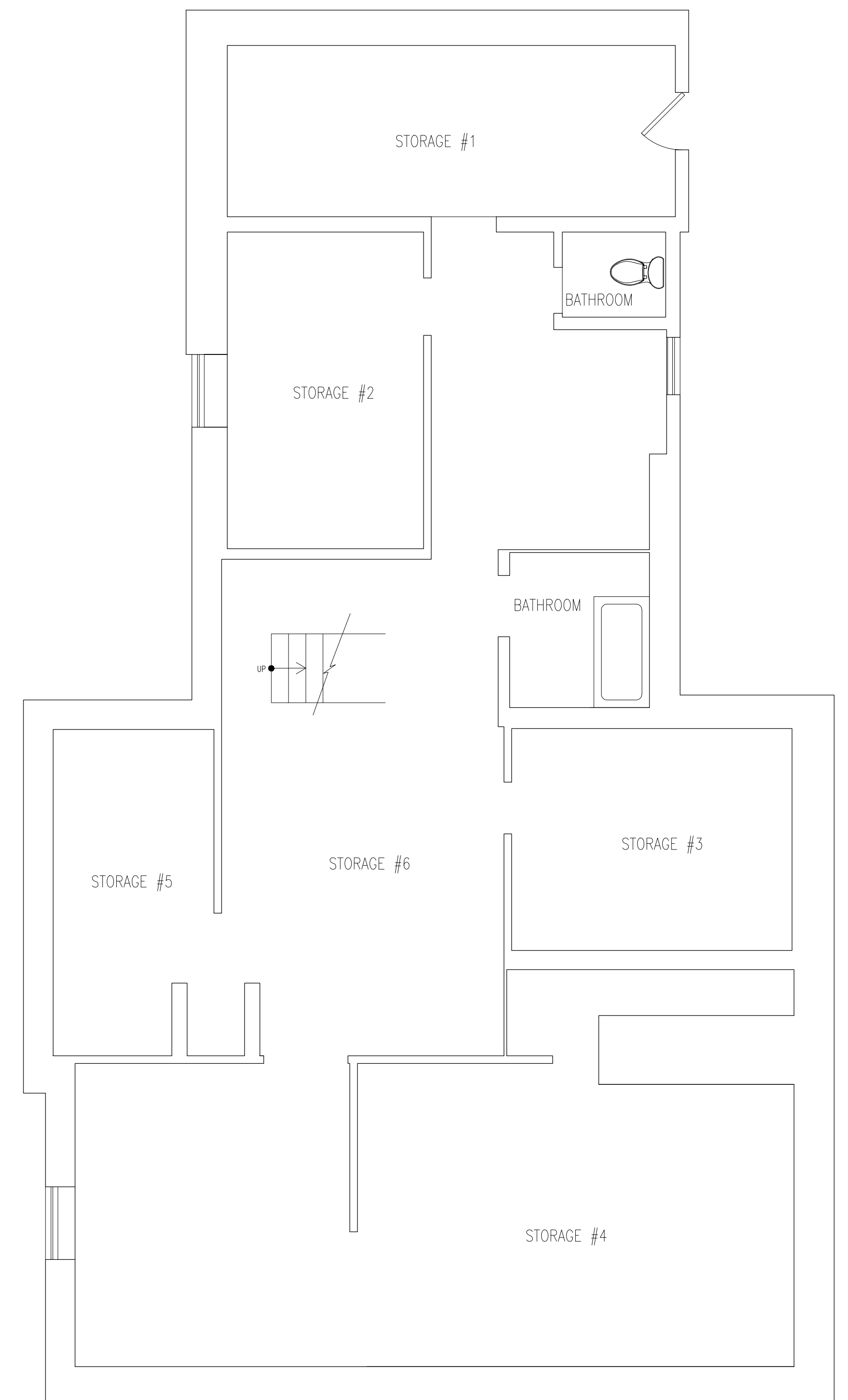




**2** SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**B** BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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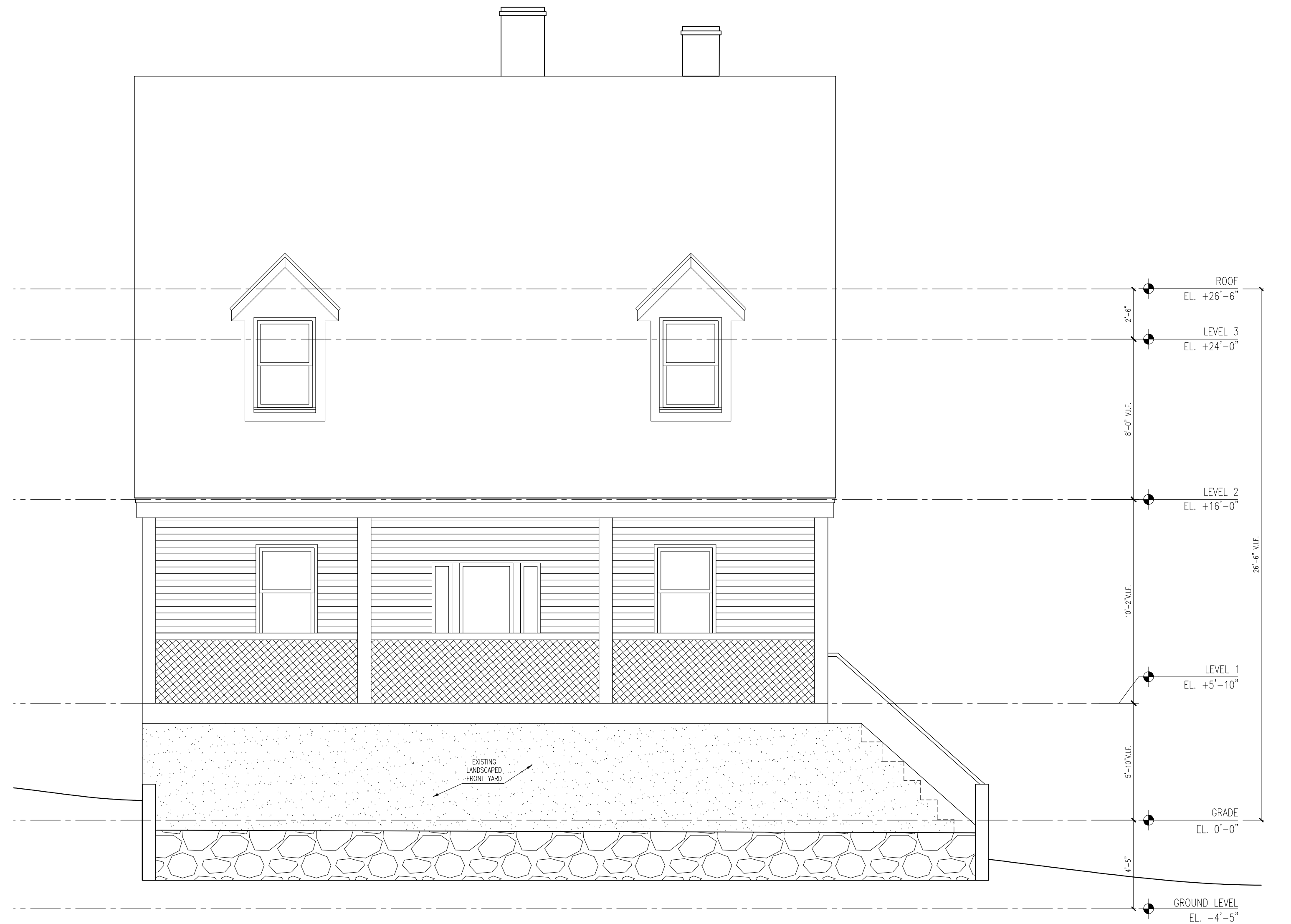
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01	Issued for Permit Set	05/27/2020
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No.	Description	Date
Drawing Title: Existing Plans		
Project No.: 263		Checked by: EZ

**XA-1**



**2** BACK ELEVATION  
SCALE: 1/4" = 1'-0"



**1** FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



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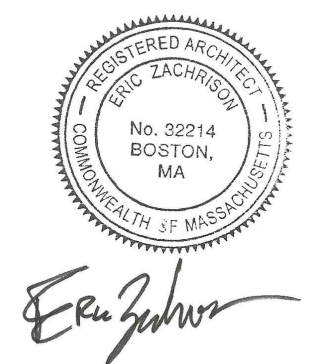
01	Issued for Permit Set	05/27/2020
01	ISD Comments	12/01/2020
No.	Description	Date

Drawing Title: Existing Elevations  
Project No.: 263      Checked by: EZ

**XA-2**



**3** RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



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No.	Description	Date
Drawing Title: Existing Elevations		
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**XA-3**



**4** LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

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**No.**      **Description**      **Date**

**Drawing Title:** Existing Elevations

**Project No.:** 263      **Checked by:** EZ

**XA-4**