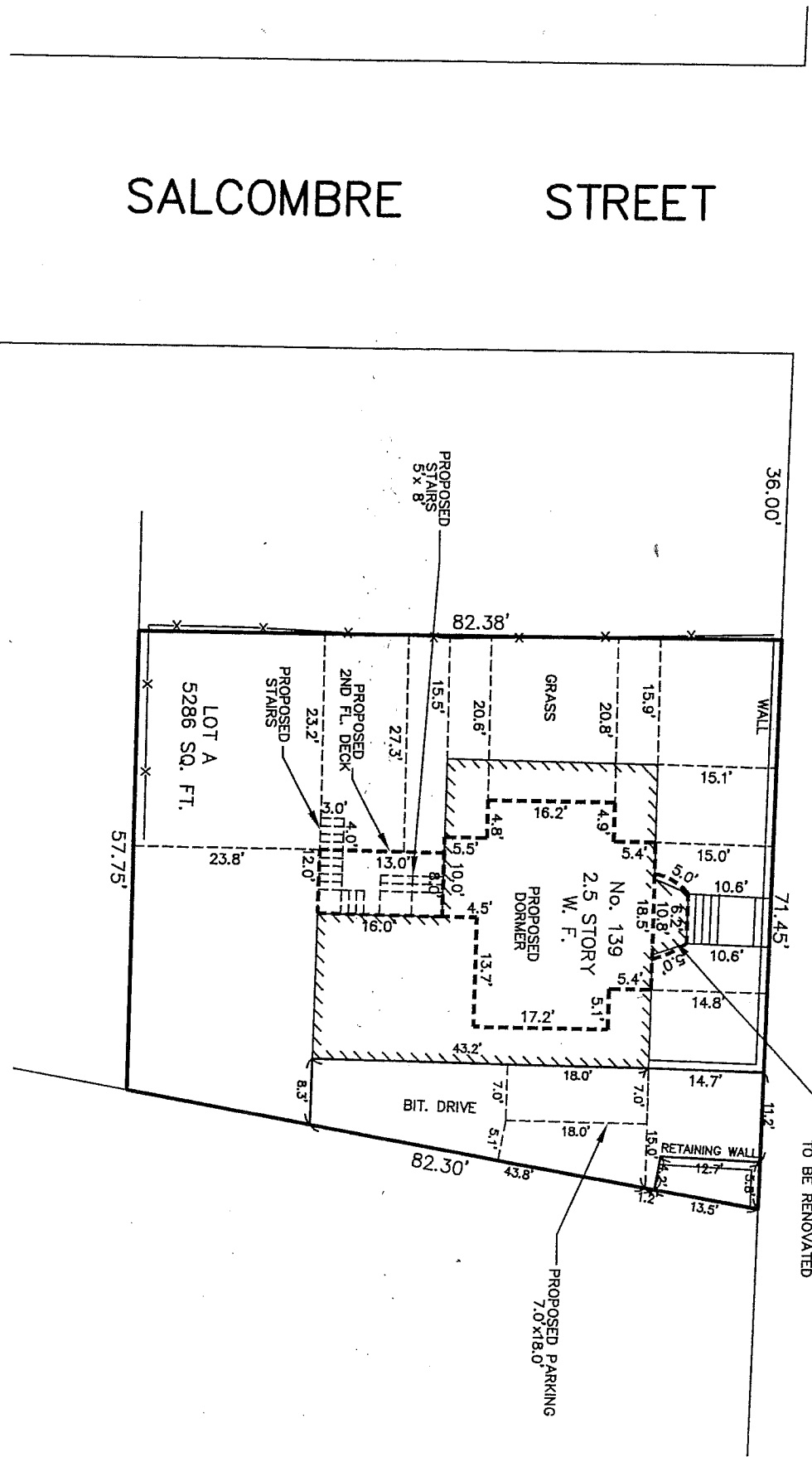




# STOUGHTON STREET



**Article 65-Dorchester Neighborhood District**

**Section 65-41 subsection 2.** Pre-Code Structures. If a structure existing on the effective date of this Article is altered or extended so as to increase its Gross Floor Area or the number of Dwelling Units, only the additional Gross Floor Area or the additional number of Dwelling Units shall be counted in computing off-street parking facilities required.

**Section 65-41 subsection 5d.** Each car space shall be located entirely on the Lot. Fifty percent (50%) of the required spaces may be no less than seven (7) feet in width and eighteen (18) in length, and the remainder shall be no less than eight and one half (8.5 ft) in width and twenty (20 ft) in length, in both instances exclusive of maneuvering areas and access drives.

*Antoni Szeszujnowicz*



## PLOT PLAN 139 STOUGHTON STREET BOSTON, MASS.

SCALE : 1" = 20'

SEPTEMBER 14, 2016

**AGH ENGINEERING**

166 WATER STREET

STOUGHTON, MA 02072

PHONE: (781)344-2386

GRAPHIC SCALE



# 2 FAMILY DWELLING ADDITION & ALTERATIONS FOR NICOYA PARTNERS

139 STOUGHTON STREET  
DORCHESTER BOSTON, MA



\*\*\* CONSTRUCTION SET ISSUED FOR PERMIT 05/10/16 \*\*\*

## SCHEDULE OF DRAWINGS

- T1 TITLE SHEET & FAR CALCULATIONS
- T2 CODE SUMMARY & GENERAL NOTES
- T3 DRAFT STOPPING DETAILS
- E1 BASEMENT LEVEL & FIRST FLOOR EXISTING PLANS
- E2 SECOND & THIRD FLOOR EXISTING PLANS
- E3 EXISTING ELEVATIONS
- E4 EXISTING SECTIONS
- D1 DEMOLITION PLANS
- A1 BASEMENT FOUNDATION & FIRST FLOOR CONSTRUCTION PLANS
- A2 SECOND & THIRD FLOOR CONSTRUCTION PLANS
- A3 SECOND FLOOR + HIGH & LOW ROOF FRAMING PLANS
- A4 ELEVATIONS
- A5 SYSTEM NOTES & BUILDING SECTIONS

DO NOT SCALE FROM DRAWINGS

## FAR AREA CALCULATIONS

TOTAL LOT AREA = 5286 SF

FAR ALLOWABLE SF = 5286 x 0.5 = 2643 GSF

FIRST FLOOR GSF = 1294 GSF

LAUNDRY & STORAGE CLOSET DEDUCTION - 123 NETSF

TOTAL FIRST FLOOR ADJUSTED AREA = 1171 SF

SECOND FLOOR GSF = 1162 GSF

LAUNDRY & STORAGE CLOSET DEDUCTION - 130 NETSF

TOTAL SECOND FLOOR ADJUSTED AREA = 1129 SF

THIRD FLOOR GSF PER UNIT = 581 GSF

STORAGE CLOSET & STAIR OPENING DEDUCTION - 239 NETSF

TOTAL THIRD FLOOR ADJUSTED AREA = 342 SF

TOTAL ADJUSTED AREA = 2633

COMPLIES WITH FAR REQUIREMENTS: 2642 < 2643

# CL<sup>2</sup> + associates

GOUTINHO LAURIN & LANGLAIS

30 NEWBURY STREET BOSTON, MA 02116

## ABBREVIATIONS

ASBO. AS SPECIFIED BY OWNER	DR DOOR	GC GENERAL CONTRACTOR	MFR MANUFACTURER	R.D. ROOF DRAIN
AB. ANCHOR BOLT	DH DOUBLEHUNG	GL GLASS/GLAZING	M.O. MASONRY OPENING	RM. ROOM
AF.F. ABOVE FINISH FLOOR	DI DRAWER	GR GRADING	MAT. MATERIAL	R.O. ROUGH OPENING
ACT. ACOUSTICAL TILE	DWG(S) DRAWING(S)	GYP.BD. GYPSUM BOARD	MAX. MAXIMUM	SECT. SECTION
ALUM ALUMINUM	DF DRINKING FOUNTAIN	HDBD HARDBOARD	MECH. MECHANICAL	SCHED. SCHEDULE
ANOD ANODIZED	DW DISHWASHER	HWD HARDWOOD	MIN. MINIMUM	SPEC. SPECIFICATIONS
@ AT	ELC. ELECTRIC(AL)	HVAC HEATING, VENTILATING, & AIR CONDITIONING	MNT. MOUNTED	STD. STANDARD
BSMT BASEMENT	EL ELEVATION	HDWR HARDWARE	NO. NUMBER	S&P SHELF&POLE
BHT BITUMINOUS	ELEV. ELEVATOR	HGT HEIGHT	NOM. NOMINAL	STL. STEEL
BLK BLOCK	EMER EMERGENCY	EQ. EQUAL	N.I.C. NOT IN CONTRACT	SUSP. SUSPENDED
BLKG BLOCKING	EXIST. EXISTING	INSUL. INSULATION	N.T.S. NOT TO SCALE	THK THICK
BOTT BOTTOM	EXST. EXISTING	INT. INTERIOR	O.C. ON CENTER	TBD TO BE DETERMINED
B.O.W. BOTTOM OF WALL	EXP. EXPOSED	JT JOINT	O.F. OUTSIDE FACE	T&B TOP&BOTTOM
BM BEAM	EJ EXPANSION JOINT	LAM. LAMINATE	OPNG. OPENING	T&G TONGUE&GROOVE
BLDG BUILDING	EXT. EXTERIOR	LAV. LAVATORY	PTD. PAINTED	T.O.F. TOP OF FOUNDATION
CFT CARPET	FIN FINISHED	L. LENGTH	PANL. PANEL	T.O.W. TOP OF WALL
CSMT CASEMENT	FA FIRE ALARM	MFR MANUFACTURER	PART. PARTITION	T TREAD
CK CAULKING	F.B.O. FURNISHED BY OWNER	MAT. MATERIAL	PL. PLATE	TYP. TYPICAL
CLE CEILING	FE FIRE EXTINGUISHER	M.O. MASONRY OPENING	PLAS. PLASTER	UNFIN. UNFINISHED
CLOS CLOSET	FL FLOORING	MAX. MAXIMUM	P.LAM. PLASTIC LAMINATE	VIN. VINYL
COL COLUMN	FLOR FLOORING	M.ECH. MECHANICAL	PLWB. PLUMBING	V.I.F. VERIFY IN FIELD
CONC. CONCRETE	FT FOOT	INSUL. INSULATION	PLYWD. PLYWOOD	VCT. VINYL COMPOSITION TILE
CMU CONCRETE MASONRY UNIT	FTG FOOTING	INT. INTERIOR	P.T. PRESSURE TREATED	VWC VINYL WALL COVERING
CONSTR. CONSTRUCTION	CF CONTROL/CONSTR. JOINT	INT. INTERIOR	Q.T. QUARRY TILE	WC WATER CLOSET
CONT. CONTINUOUS	FND FOUNDATION	I.F. INSIDE FACE	REQD. REQUIRED	W. WIDTH
CF CONTROL/CONSTR. JOINT	FURR FURREDDING	LAM. LAMINATE	REF. REFRIGERATOR	W/W. WITH
DET. DETAIL	G GAS	LAV. LAVATORY	REV. REVISIONS	W/O. WITHOUT
DIA. DIAMETER	GALV. GALVANIZED	L. LENGTH	R RISER	W.W.M. WELDED WIRE MESH
DM. DIMENSION				WD. WOOD

## SYMBOLS

	NORTH ARROW		INTERIOR ELEVATION		WELDED WIRE MESH
	SECTION INDICATOR - LETTER IN TOP HALF OF CIRCLE INDICATES THE SPECIFIC SECTION. THE NUMBER AND LETTER IN THE BOTTOM HALF INDICATES THE DWG. ON WHICH THE SECTION APPEARS		CONCRETE - PLAN OR SECTION		PROPERTY LINE
	+ 45.5 NEW SPOT ELEVATION		CONCRETE BLOCK PLANS OR SECTIONS		CENTER LINE
	45.5 E EXISTING SPOT ELEVATION		PLYWOOD, LARGE SCALE		1 HOUR FIRE RATED ASSEMBLY
	~ 45 NEW CONTOURS		STEEL, LARGE SCALE		
	~ 45 EXISTING CONTOUR		ROUGH LUMBER		
	ELEVATION MARK		FINISH LUMBER		
	COLUMN COORDINATES & REFERENCE GRID LINES		INSULATION - RIGID		
	ROOM NUMBER		INSULATION - BATT		
	DOOR NUMBER		INSULATION - CLOSED CELL SPRAY		
	WINDOW TYPE		EARTH		
	WALL TYPE		COMPACT GRAVEL		

2 FAMILY DWELLING FOR  
NICOYA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA

CL<sup>2</sup> + associates  
GOUTINHO LAURIN & LANGLAIS  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWN BY:

TITLE SHEET & FAR CALCULATIONS

DATE: 05/10/16

CONSTRUCTION SET ISSUED FOR PERMIT 05/10/16

PROJECT No. 1613

SHEET No.

# T1

DO NOT SCALE FROM DRAWINGS

**GENERAL REQUIREMENTS**  
 1. ALL WORK SHALL COMPLY WITH FEDERAL AND LOCAL BUILDING CODES & REGULATIONS  
 2. MECHANICAL, ELECTRICAL AND PLUMBING WORK REQUIRED OF THIS PERMIT APPLICATION TO BE PERFORMED BY SUBCONTRACTOR LICENSED IN THE STATE IN WHICH WORK IS BEING PERFORMED  
 3. SUBCONTRACTOR SHALL PROVIDE VERIFICATION OF GENERAL LIABILITY INSURANCE AND WORKMAN'S COMPENSATION COVERAGE, AS REQUIRED BY GENERAL CONTRACTOR  
 4. CONTRACTOR SHALL COORDINATE AND/OR OBTAIN ALL BUILDING PERMITS REQUIRED FOR CONSTRUCTION AND CERTIFICATES OF OCCUPANCY  
 5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES  
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY  
 7. ALL DIMENSIONS AND SITE CONDITIONS TO BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE THE START OF WORK  
 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER INDICATED ON THE PLANS OR NOT, AND PROTECT THEM FROM DAMAGE  
 9. ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL  
 10. DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS, AND/OR DEVIATIONS FROM THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT AND OBTAIN APPROVAL FROM THE GOVERNING BUILDING OFFICIAL BEFORE PROCEEDING WITH THE WORK  
 11. THE MANUFACTURER'S, PRODUCTS AND EQUIPMENT LISTED ESTABLISH PERFORMANCE REQUIREMENTS. SUBSTITUTIONS OF EQUAL PERFORMANCE MAY BE SUBMITTED FOR THE ARCHITECT'S APPROVAL  
 12. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT  
 13. SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS

**GENERAL CIVIL NOTES**  
**DEBRIS**  
 - REMOVE ALL DEBRIS WITHIN 2'-0" OF THE BUILDING  
**GRADE**  
 - SLOPE EXTERIOR GRADE MIN. 5% TO DRAIN AWAY FROM BUILDING  
**SOIL GAS CONTROL**  
 - ALL WALLS, ROOF, AND FLOORS IN CONTACT WITH THE GROUND SHALL BE CONSTRUCTED TO RESIST THE LEAKAGE OF SOIL GAS FROM THE GROUND TO THE BUILDING PASSIVE SUB-SLAB DEPRESSURIZED SYSTEM IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES SHALL BE PROVIDED: 1 VENT PIPE, MIN. 3" DIAMETER, PER 1500 SQUARE FOOT OF FLOOR AREA VENTED STRAIGHT UP THROUGH ROOF

**GENERAL MECHANICAL & ELECTRICAL NOTES**  
 1. ALL MECHANICAL SYSTEMS, LIGHTING, AND MAJOR APPLIANCES MUST MEET OR EXCEED THE REQUIRED EFFICIENCIES SCHEDULE ON THE HOME ENERGY RATING CERTIFICATE ATTACHED TO THIS SHEET  
 2. ALL COMBUSTION APPLIANCES (EXCEPT GAS STOVE RANGE, COOKTOP OR OVEN) IN THE CONDITION SPACE MUST BE SEALED COMBUSTION. SPECIFICALLY, ANY FURNACE INSIDE CONDITIONED SPACE MUST BE SEALED COMBUSTION, ANY WATER HEATER INSIDE CONDITIONED SPACE MUST BE DIRECTLY EXHAUSTED, ANY BOILER INSIDE CONDITIONED SPACE MUST BE SEALED COMBUSTION  
 3. GAS RANGE TOPS MUST BE ACCOMPANIED BY A DIRECT-VENTED HOOD OR EQUAL  
 4. ALL DUCTS AND AIR HANDLING EQUIPMENT MUST BE IN THE CONDITIONED SPACE  
 5. CARBON MONOXIDE DETECTORS (HARD WIRED UNITS) MUST BE INSTALLED AT ONE PER EVERY APPROXIMATE 1000 SQUARE FEET IN ANY HOUSE CONTAINING COMBUSTION APPLIANCES OR ATTACHED GARAGE  
 6. ALL MECHANICAL SYSTEMS, LIGHTING, AND MAJOR APPLIANCES MUST MEET OR EXCEED THE REQUIRED EFFICIENCIES REQUIRED BY THE STRETCH ENERGY CODE  
**EXHAUST FANS** - VENT TO EXTERIOR  
**RANGE HOODS** - VENT TO EXTERIOR W/ NON COMBUSTIBLE DUCT  
**DRYER VENT** - CAPPED AND SCREWED DRYER VENT, DUCTING INSTALLED TO SLOPE TO EXTERIOR  
**SMOKE DETECTORS** - LOCATE ON EACH FLOOR LEVEL AND INTERCONNECTED  
**CARBON MONOXIDE DETECTORS** - LOCATE IN EACH BEDROOM

**GENERAL ARCHITECTURAL NOTES**  
**DRIP EDGE**  
 - PROVIDE 1" DRIP EDGE ON FLASHING OVER OPENINGS IN EXTERIOR WALLS  
**WOOD PROTECTION**  
 - WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH A WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 6 MIL. POLY FILM OR EQUAL  
**STAIR DIMENSIONS** (ALL INTERIOR AND EXTERIOR STAIRS - REFER TO DRAWINGS FOR ACTUAL STAIR DIMENSIONS)  
 - MAX RISE: 8 1/4"  
 - MIN TREAD: 9"  
 - MAX NOISING: 1 1/2"  
 - MIN WIDTH: 3'-0"  
 - MIN. HEADROOM: 6'-8"  
**HANDRAILS & GUARDS**  
 - MIN. HEIGHT - 2'-10" (HANDRAILS), 3'-0" (GUARDS)  
 - MAX HEIGHT - 3'-2" (HANDRAILS)  
 - A CLEARANCE OF NOTE LESS THAN 1 1/2" SHALL BE PROVIDED BETWEEN HANDRAILS AND ANY SURFACE BEHIND IT.  
**COAT CLOSET**  
 - (1) ROD AND (1) SHELF  
 - LINEN CLOSET (4) SHELVES MIN  
**MIN. HEADROOM**  
 - 6'-4" BELOW ALL BEAMS, & DUCTS

LIFE SAFETY SUMMARY	
<b>FIRE PROTECTION SYSTEMS</b>	<b>REQUIRED:</b> ONE-HOUR FIRE SEPARATION BETWEEN UNITS WHEN TESTED IN ACCORDANCE WITH ASTM E-119 OR UL 263
<b>R312 AMENDED</b>	<b>SPRINKLER SYSTEM NOT REQUIRED:</b> ONE AND TWO FAMILY DWELLINGS WITH AN AGGREGATE BUILDING AREA LESS THAN 14,400 SF. ARE NOT REQUIRED TO INSTALL A SPRINKLER SYSTEM.
<b>CONCEALED SPACES</b>	FIREBLOCKING AND DRAFTSTOPPING AS PER SECTION R302.11 AND R302.12
<b>EGRESS/OCCUPANCY R311</b>	UNIT #1 = 1131 SF/200 = 6 OCCUPANTS UNIT #2 = 1502 SF/200 = 8 OCCUPANTS 8'(15")x12" - LESS THAN 36" DOORS 36"/0.15x240 PEOPLE PER LEAF
<b>EMERGENCY ESCAPE R310</b>	480 IS GREATER THAN 8 OCCUPANTS.
<b>R301 DESIGN CRITERIA</b>	<b>EMERGENCY ESCAPE AND RESCUE OPENINGS ARE BEING INSTALLED.</b>
<b>R302 FIRE RATING</b> 302.2.3 - TWO FAMILY DWELLING TABLE 302.1	DESIGN TO COMPLY W/ IRC DESIGN CRITERIA. SEE STRUCTURAL
302.2.1	TWO FAMILY DWELLINGS TO BE TREATED AS SEPARATE BLDGS, WALLS RATED PER TABLE 302.1
302.2.2	EXT WALL LESS THAN 5' SEPARATION = 1 HR RATED.
302.2.4	RATING TO EXTEND TO EXTERIOR SHEATHING.
302.4	ONE HOUR SEPARATION PROVIDED PER TABLE 302.1 AND R302.3
302.5 302.6	PENETRATIONS THROUGH RATED ASSEMBLIES SHALL COMPLY WITH THIS SECTION WALL AND CEILING FINISHES - FLAME SPREAD INDEX NOT GREATER THAN 200 - SMOKE-DEVELOPED INDEX NOT GREATER THAN 450
302.9	FIREBLOCKING TO BE PROVIDED IN COMPLIANCE WITH THIS SECTION. DRAFTSTOPPING TO BE PROVIDED IN COMPLIANCE WITH THIS SECTION.
302.11	PROVIDE COMBUSTIBLE INSULATION W/ 3" CLEARANCE FOR AT HEAT PRODUCING FIXTURES
302.12	
302.13	
<b>R303 LIGHT / HVAC</b> 303.1	HABITABLE ROOMS TO PROVIDE GLAZING AT 8% FLOOR AREA. 4% SHALL BE OPERABLE.
303.3	TOILET ROOMS SHALL BE MECHANICALLY VENTED
303.4	INTAKE AND EXHAUST OPENINGS SHALL COMPLY
303.5	OPENING PROTECTION SHALL BE PROVIDED
303.6	STAIRWAYS SHALL BE ILLUMINATED. CONTROLS TO BE LOCATED PER THIS SECTION
303.7	GLAZED OPENINGS SHALL OPEN TO A PUBLIC ALLEY OR YARD.
303.8	A HEATING SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THIS CODE. COORD W/ D/B HEATING SUB-CONTRACTOR
<b>R304 MIN AREA</b> 304.1	PROJECT COMPLIES
<b>R305 CEILING HT</b> 305.1	MIN. HABITABLE CEILING HEIGHTS WILL CONFORM WITH THIS SECTION - 7'-0" HABITABLE SPACE - 5'-0" MIN AT SLOPED ROOFS - 6'-8" AT RESTROOMS AND BASEMENT - 6'-4" B.O. BEAMS, GIRDERS, OR DUCTS
<b>R307 SANITATION</b> 307.1	TOILET FIXTURE CLEARANCES SHALL CONFORM W/ FIGURE R307.1 COORD. W/ 248 CMR 10
307.2	NON-ABSORBANT SHOWER ENCLOSURES SHALL EXTEND TO 6'-0" AFF.
<b>R308 GLAZING</b> 308.1 - 308.6.3	GLAZING TO CONFORM WITH THESE SECTIONS
<b>R309 GARAGE</b> 309.1	GARAGE FLOOR TO BE NON-COMBUSTIBLE AND SLOPED TO DRAIN TOWARD CAR ENTRANCE
309.3	GARAGES IN FLOOD HAZARD AREAS SHALL CONFORM W/ THIS SECTION
<b>R310 EMERGENCY ESCAPE</b>	BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AN EMERGENCY EXIT IN CONFORMANCE WITH THIS SECTION AS AMENDED.
<b>R311 EGRESS</b> 311.1	EACH DWELLING TO PROVIDE TWO MEANS OF EGRESS - 2 PROVIDED
311.2	MIN CLEAR EGRESS DOOR WIDTH: 32" MIN CLEAR INTERIOR DOOR WIDTH: 30" (6'-8")
311.3	36" LANDING AT EACH SIDE OF DOOR MIN.
311.4	VERTICAL EGRESS TO CONFORM WITH R311.7 AND R311.8 (STAIR OR RAMP)
311.6	HALLWAYS: 36" MIN WIDTH
311.7	STAIRWAYS SHALL BE MIN. 36" & CONFORM W/ THIS SECTION THE EXISTING UNIT # 2 ENTRY STAIRS ARE PROPOSED TO BE EXISTING NON CONFORMING TO REMAIN. THE EXISTING STAIR WIDTHS AND UNDER TREADS ARE INCOMPLIANT WITH REQUIREMENTS OF THE 2009 IRC AS AMENDED. THE STAIR WIDTHS ARE 21" & 11" TOO NARROW. THE EXISTING BEARING WALL LOCATIONS TO REMAIN IMPEDE THE ALTERATIONS TO COMPLY WITH THE 36" MIN. REQUIREMENT. CONSIDERING THE EXISTING BEARING WALL LOCATIONS & OCCUPANT LOAD OF UNIT # 2 WE WOULD LIKE TO PROPOSE TO LEAVE THE NONE COMPLYING STAIRS AS EXISTING TO REMAIN.
<b>R312 GUARDS</b> 312.1	GUARD: REQUIRED AT STAIRS, LANDINGS, PORCHES, ECT GREATER THAN 30" HIGH
312.2	GUARD: 36" MIN. HIGH TYP. GUARD: 34" MIN. AT OPEN STAIR, 34" TO 38" WHEN USED AS HANDRAIL.
312.3	4" MAX OPENING IN GUARD TYP. (SEE EXCEPTIONS)
<b>R314 SMOKE ALARM</b> 314.1	PROVIDE PHOTOELECTRIC SMOKE ALARMS IN COMPLIANCE WITH THIS SECTION
314.3	TYP. LOCATIONS: IN EACH SLEEPING ROOM OUTSIDE, IN THE VICINITY OF, EACH SLEEPING AREA AT EACH HABITABLE LEVEL AT BASE OF STAIRS LEADING TO A HABITABLE AREA FOR EACH 1200 SF. OF AREA.
<b>R315 CARBON MONOXIDE</b>	PROVIDE ALARMS IN COMPLIANCE WITH THIS SECTION

SCOPE / ZONING SUMMARY			
<b>DEFINITION</b>	<b>TWO FAMILY DWELLING</b>		
100 CMR 1012	DETACHED ONE AND TWO-FAMILY DWELLINGS AND MULTIPLE SINGLE-FAMILY DWELLINGS (TOWNHOUSES) NOT MORE THAN THREE STORIES ABOVE GRADE PLANE IN HEIGHT WITH A SEPARATE MEANS OF EGRESS AND THEIR ACCESSORY STRUCTURES SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE. (R-3 USE GROUP PER MA AMENDMENTS)		
<b>SCOPE OF WORK SUMMARY</b>	THE EXISTING VACANT FUNERAL HOME IS TO BE CONVERTED INTO A 2 FAMILY DWELLING WITH HORIZONTALLY DIVIDED UNITS. THE STRUCTURE IS EXISTING TO REMAIN WITH ALTERATIONS. THERE IS TO BE AN ADDITION IN THE REAR OVER THE EXISTING KITCHEN. 4 TWO 3RD FLOOR DORMER ADDITIONS, THE EXISTING VESTIBULE WILL BE ALTERED TO SERVE AS AN ENTRY PORTICO FOR THE TWO DWELLINGS. A 2ND FLOOR DECK WILL BE ADDED IN THE REAR AND SERVE AS A SECOND MEANS OF EGRESS		
<b>LOT AREA MINIMUM</b>	REQUIRED	ACTUAL	
	5,000 SF FOR 1 OR 2	5,286 SF COMPLIES	
<b>LOT WIDTH MINIMUM</b>	REQUIRED	ACTUAL	
	40'	51' COMPLIES	
<b>LOT FRONTAGE MINIMUM</b>	REQUIRED	ACTUAL	
	40'	71' COMPLIES	
<b>FLOOR AREA RATIO MAXIMUM</b>	ALLOWED	PROPOSED	SEE FAR CALCS ON TITLE SHEET
	26.43'	26.42' COMPLIES	
<b>BUILDING STORIES</b>	ALLOWED	ACTUAL	HALF STORY REQUIREMENTS = FLOOR AREA AT 4' ABOVE FLOOR IS LESS THAN 1/2 FLOOR AREA BELOW & FLOOR AREA AT 7'-4" ABOVE FLOOR IS MORE THAN 1/2 THE HALF STORY AREA 2ND FLOOR NET SF = 1171 1171 X .5 = 585.5 568 = 3RD FLOOR NET SF AT 4' ABOVE FLOOR 568 IS LESS THAN 588 = PROJECT COMPLIES  208 = 3RD FLOOR NET SF AT 7'-4" ABOVE FLOOR 568X .33 = 187 = 1/3 3RD FLOOR AREA 208 IS GREATER THAN 187 = PROJECT COMPLIES
	2 1/2	2 1/2 COMPLIES	
<b>BUILDING HEIGHT MAXIMUM</b>	ALLOWED	ACTUAL	
	35	30'-3" COMPLIES	
<b>USABLE OPEN SPACE PER DWELLING</b>	REQUIRED	PROPOSED	
	750 PER DWELLING	103 EACH COMPLIES	
<b>FRONT YARD MIN DEPTH</b>	REQUIRED	ACTUAL/PROPOSED	
	15'	EXISTING MAIN BUILDING = 14.7'-15' EXISTING NON CONFORMING TO REMAIN EXISTING VESTIBULE FOUNDATION TO REMAIN & SERVE AS ENTRY PORTICO + 3.5' EXISTING NON CONFORMING TO REMAIN	
<b>SIDE YARD MIN WIDTH</b>	REQUIRED	ACTUAL/PROPOSED	
	10'	EXISTING 1 STORY MAIN BUILDING = 14.8'-8.2' EXISTING NON CONFORMING TO REMAIN NEW SECOND FLOOR ADDITION = 15' COMPLIES	
<b>REAR YARD MIN</b>	ALLOWED	ACTUAL	
	20	23.6 COMPLIES	
<b>REAR YARD MAX OCCUPANCY</b>	ALLOWED	ACTUAL	
	25 PERCENT	EXISTING COMPLIES	
<b>PARKING</b>	REQUIRED	PROVIDED	
	2	2	

**2 FAMILY DWELLING FOR  
 NICOLEY PARTNERS  
 139 STOUGHTON AVE  
 DORCHESTER, MA**

**CL + associates**  
 30 NEWBURY STREET  
 BOSTON, MA 02116

**DRAWING TITLE:**  
 CODE SUMMARY & GENERAL REQUIREMENTS

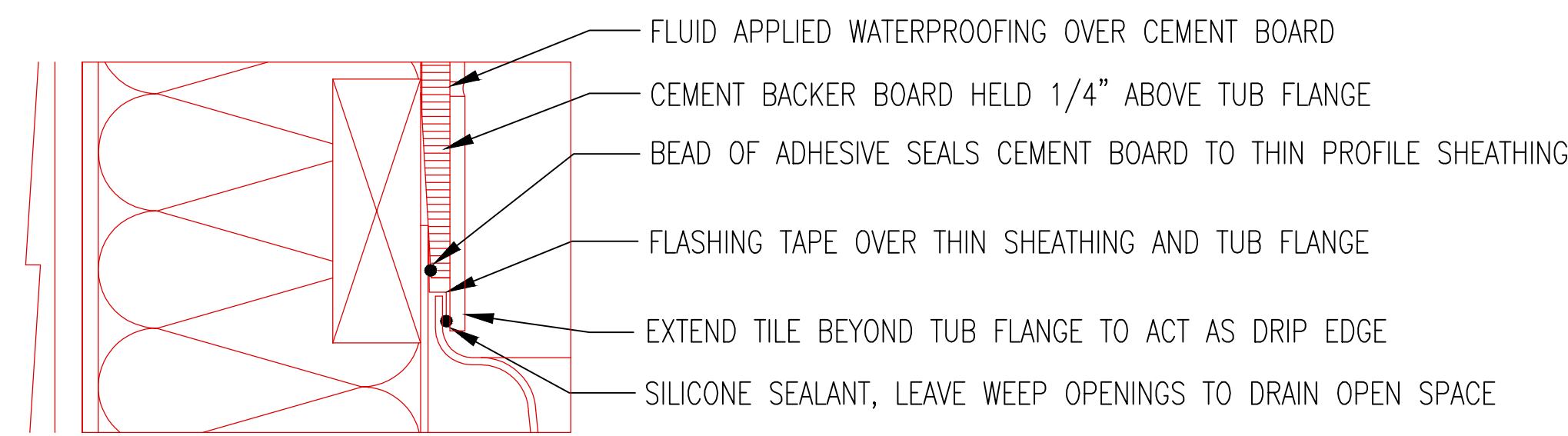
**DATE:** 05/10/18

**CONSTRUCTION SET ISSUED FOR PERMIT** 05/10/18

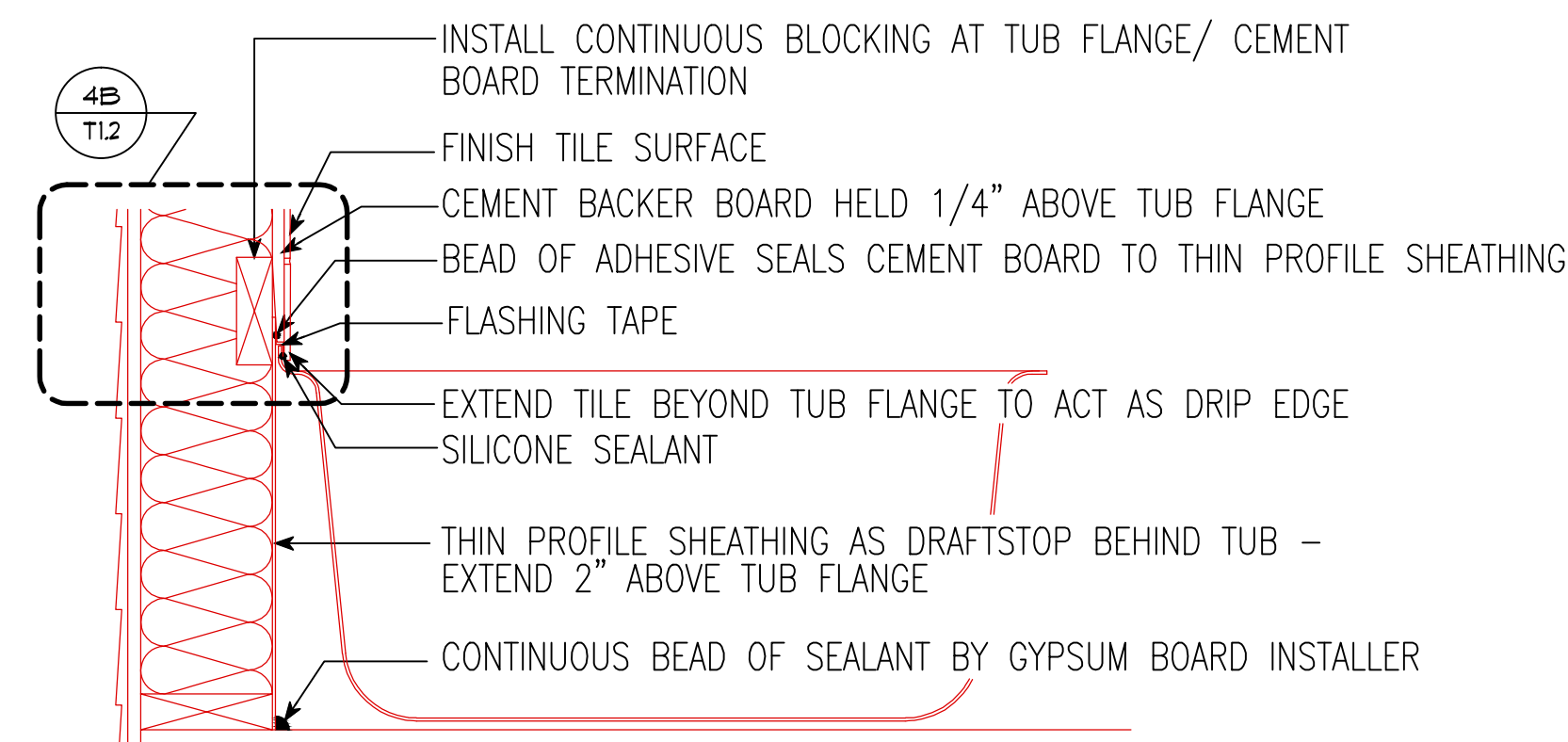
**PROJECT NO.** 1613

**SHEET NO.**

T2



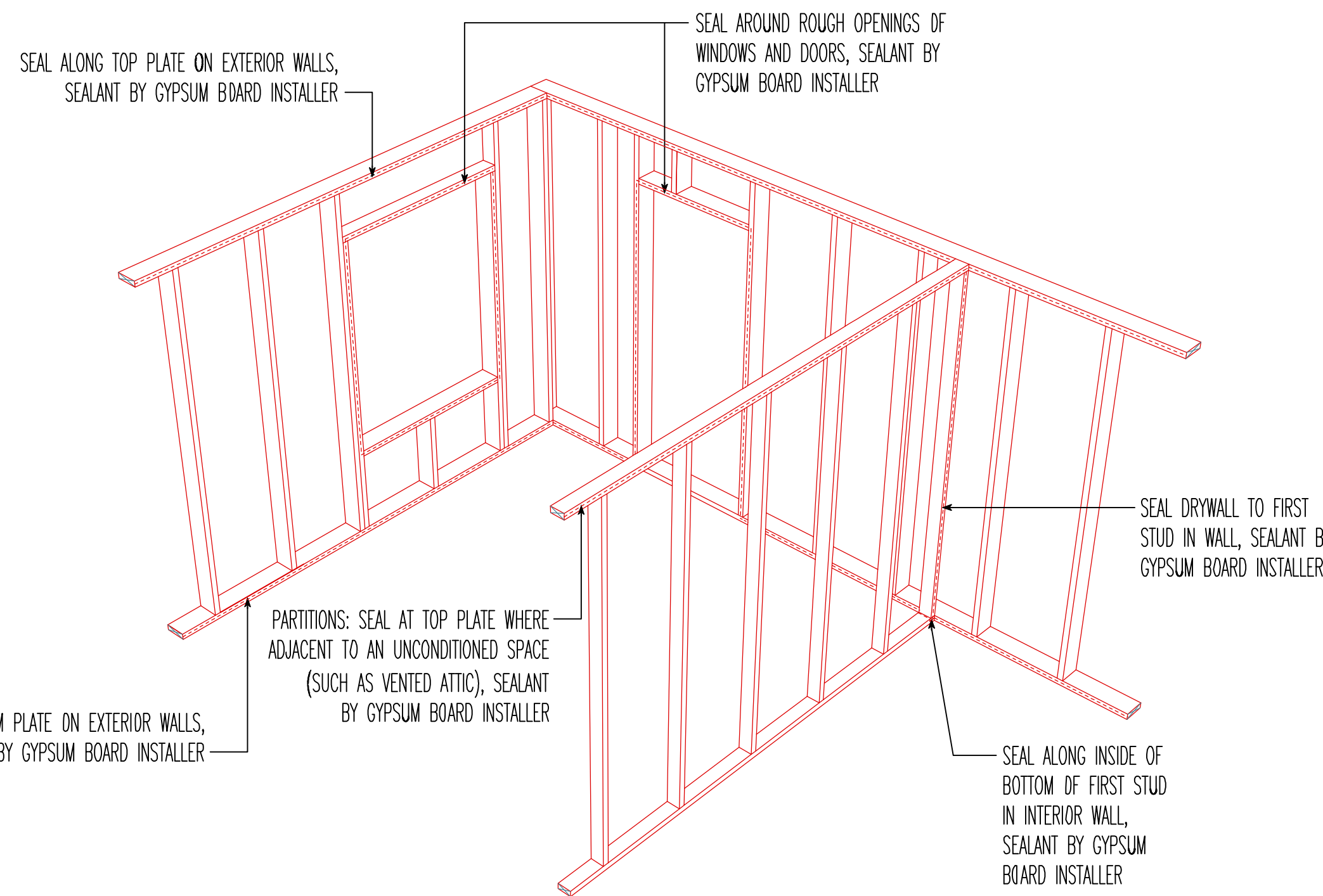
**B**



**A** NOTE: AT FULL HEIGHT TUB ENCLOSURES, EXTEND THIN PROFILE SHEATHING TO TOP PLATE OF FRAMED WALL.

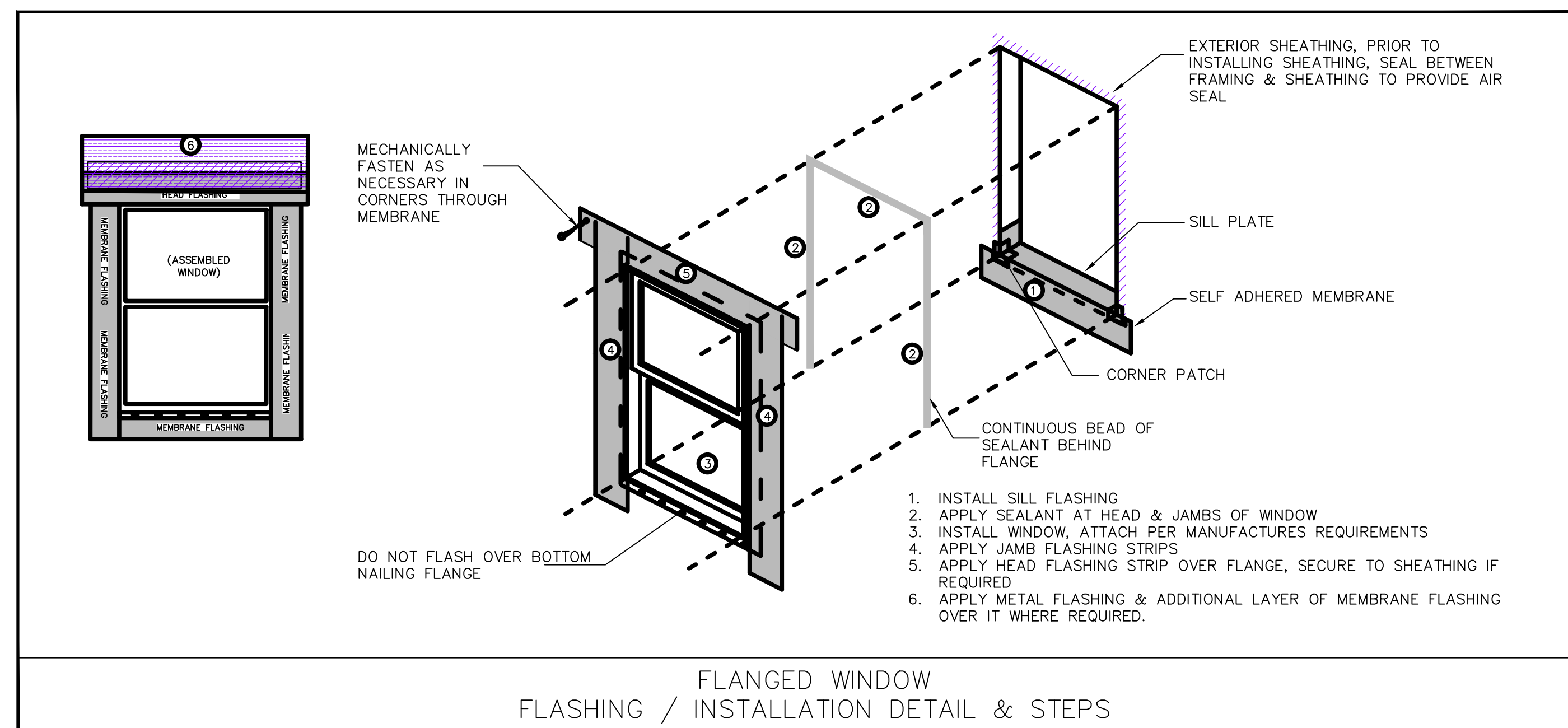
**4 AIR BARRIER @ TUB ENCLOSURE**

SCALE: NTS



**2 GWB AIR BARRIER @ WALLS & CEILING PERSPECTIVE**

SCALE: NTS



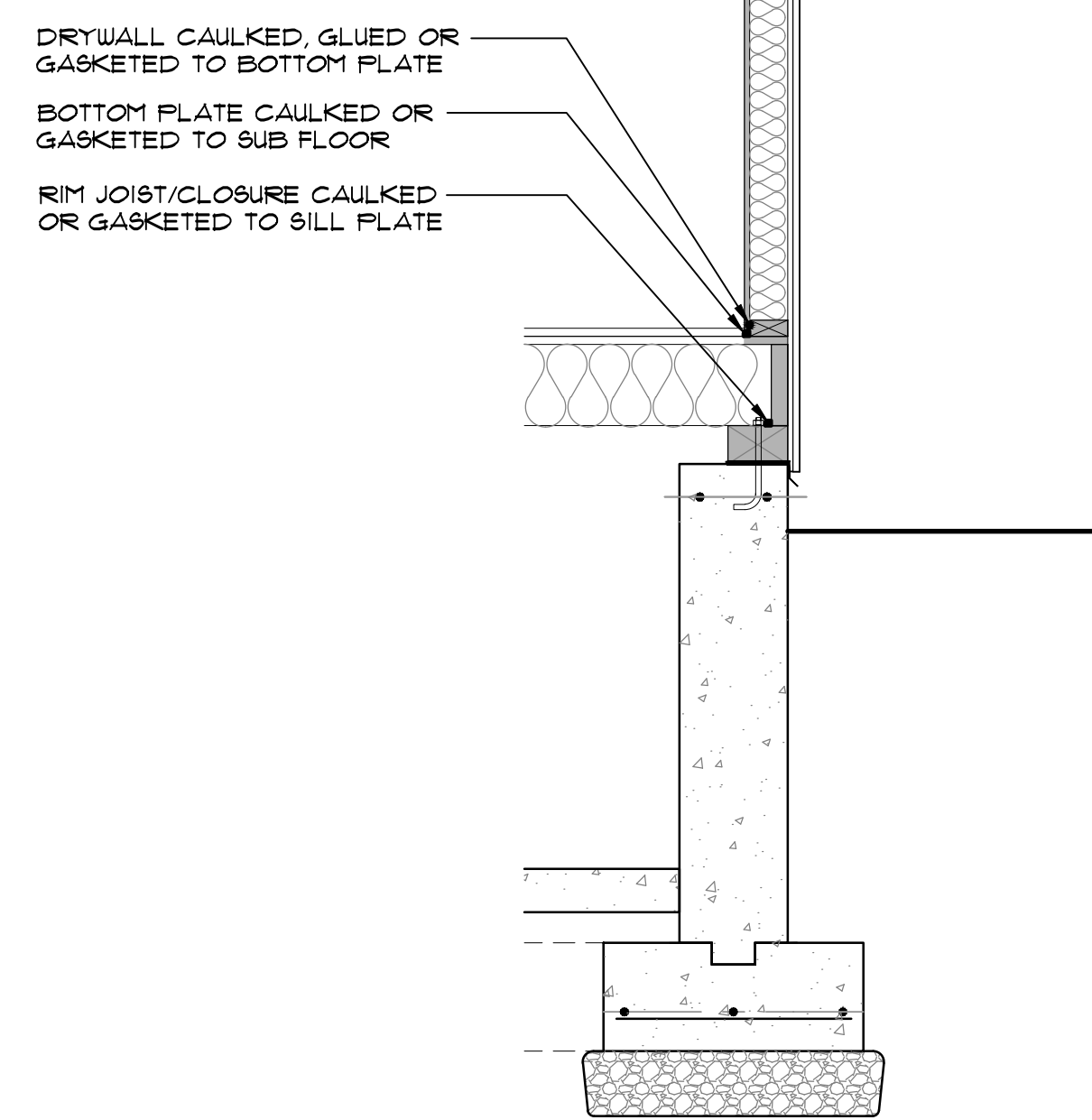
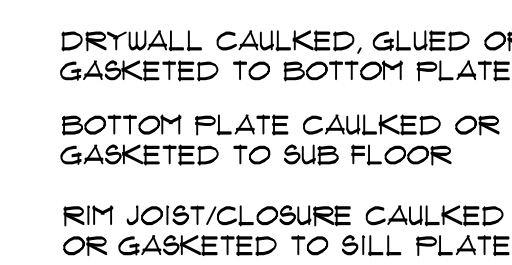
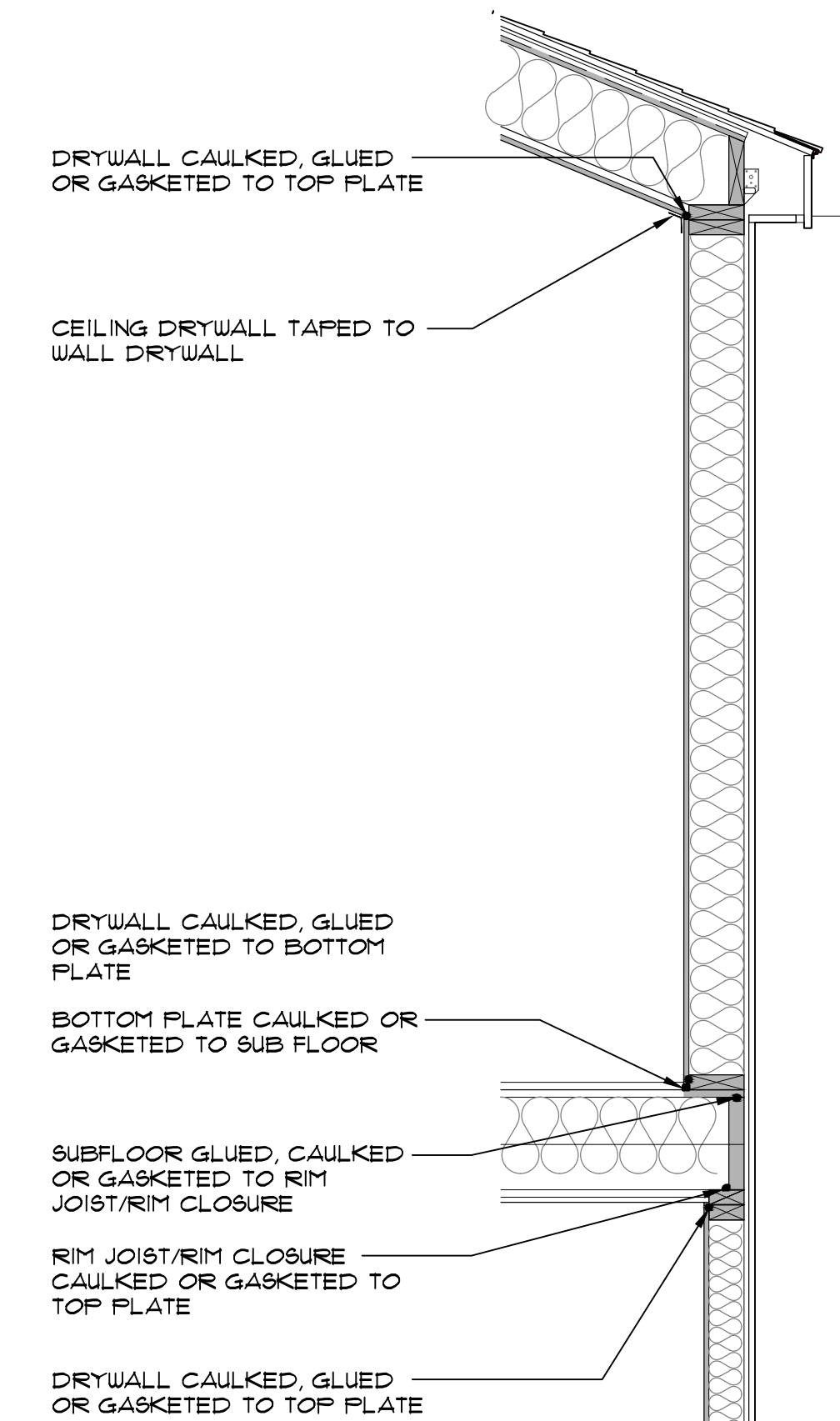
FLANGED WINDOW FLASHING / INSTALLATION DETAIL & STEPS

**3 GWB AIR BARRIER @ WALLS & CEILING PERSPECTIVE**

SCALE: NTS

**ADDITION SEALANT / DRAFT STOPPING LOCATIONS**

- REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED SEALANT / DRAFT STOPPING LOCATIONS
- ALL DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED AND WEATHER-STRIPPED
- CAULK THE BOTTOM PLATES OF EXTERIOR WALLS, KNEE WALLS, AND GARAGE WALLS,
- SEAL ALL DUCT BOOTS TO SUBFLOOR AND CEILING
- SEAL ALL PIPES TO INTERSECTING ROUGH FRAMING
- TAPE ALL FLANGED VENTS TO SHEATHING
- SEAL THE FLANGE OF ALL RECESSED LIGHTING FIXTURES TO AIR BARRIER
- SEAL ALL WIRING AND ELECTRICAL BOXES TO ROUGH FRAMING & AIR BARRIER



\*\*\*\* NOTES: WALL SECTION FOR TYPICAL INTERIOR DRAFT STOPPING REFERENCE ONLY \*\*\*\*

**EXAMPLE EXTERIOR WALL SECTION SHOWING TYP. SEALANT LOCATIONS**

SCALE: 3/4" = 1'-0"

NOTES: (1) PROVIDE BLOCKING & SHEATHING AS REQUIRED FOR SEALING SURFACE

**2 FAMILY DWELLING FOR  
NICOLA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA**

**CL<sup>2</sup> + associates**  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWING TITLE:  
TYPICAL DRAFT STOPPING DETAILS

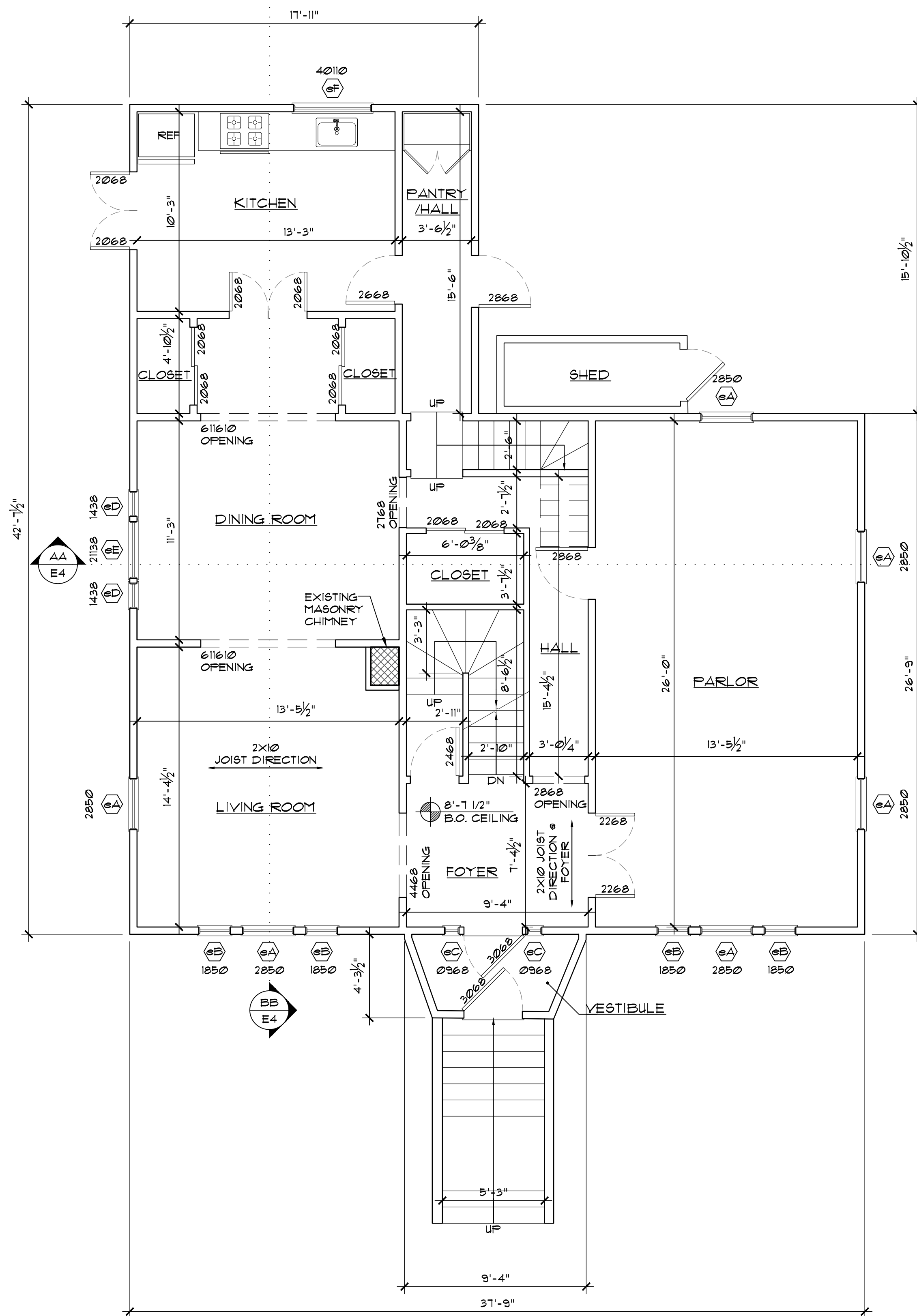
DATE: 05/10/16

CONSTRUCTION SET  
ISSUED FOR PERMIT 05/10/16

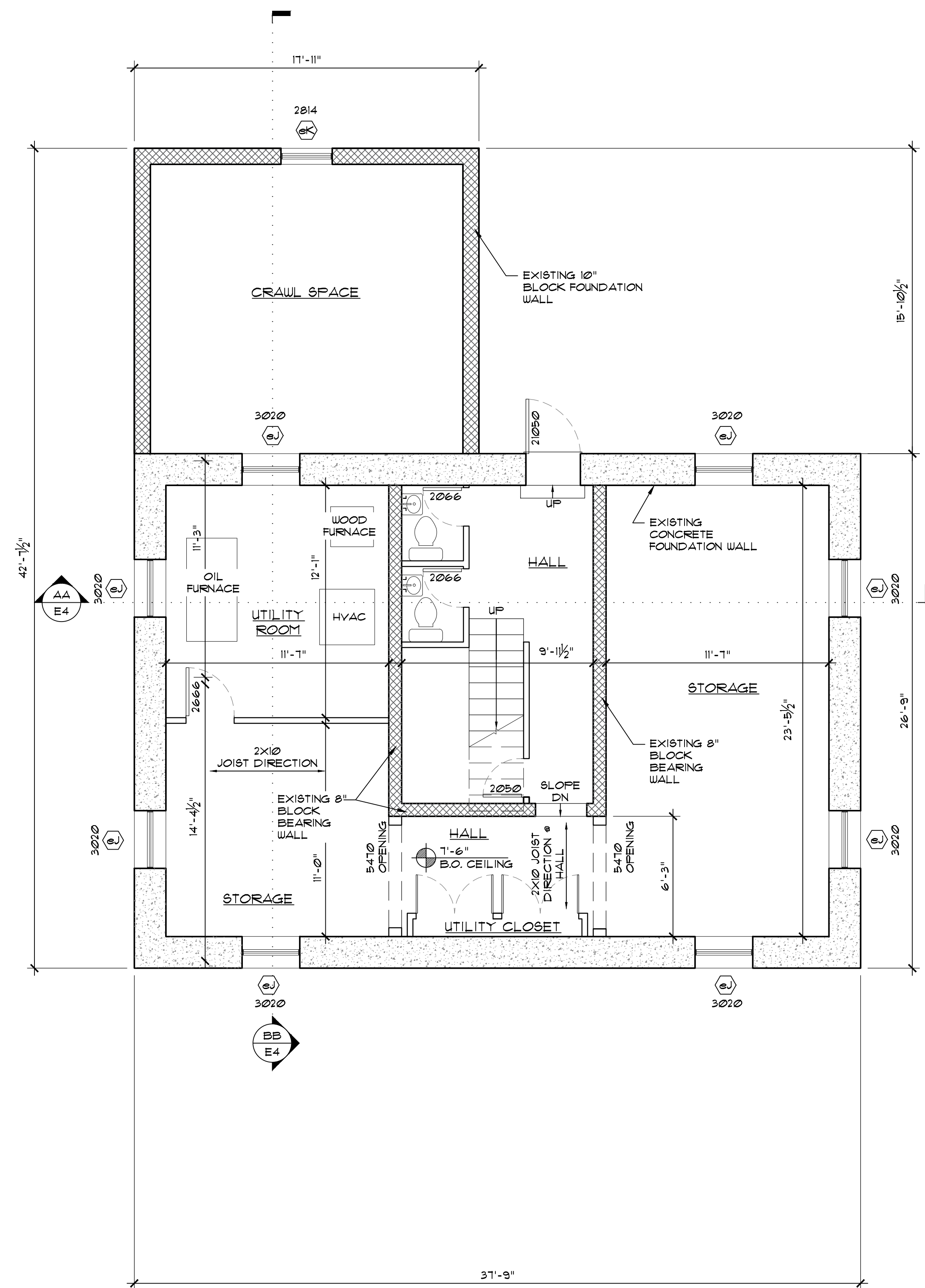
PROJECT NO. 1613

SHEET NO.

**T3**



**2** EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**1** EXISTING BASEMENT LEVEL PLAN  
SCALE: 1/4" = 1'-0"

**2 FAMILY DWELLING FOR  
NICOYA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA**

**CL<sup>2</sup> + associates**  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWING TITLE:  
**EXISTING  
BASEMENT  
LEVEL & FIRST  
FLOOR PLAN**

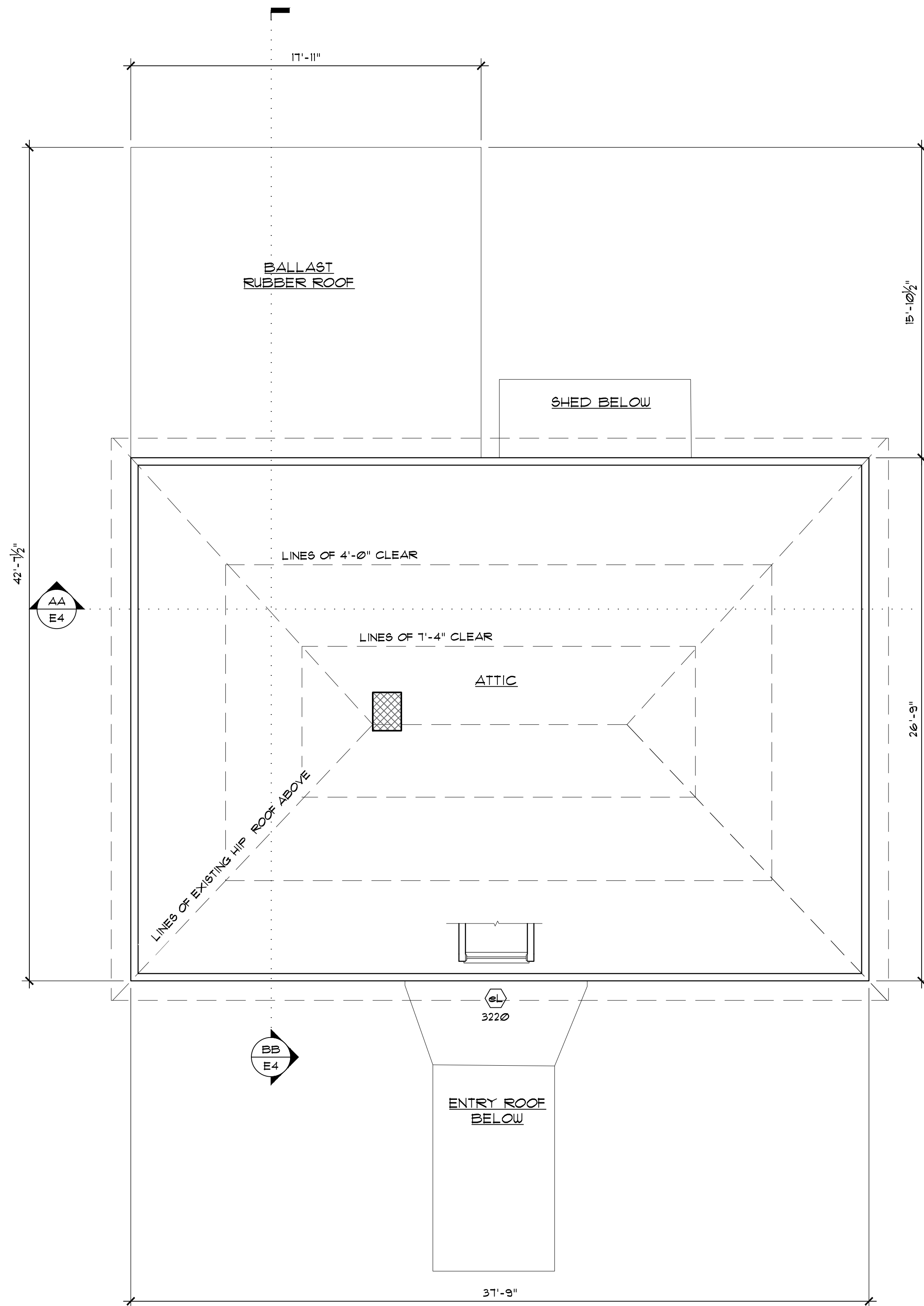
DATE: 05/10/16

CONSTRUCTION SET  
ISSUED FOR PERMIT 05/10/16

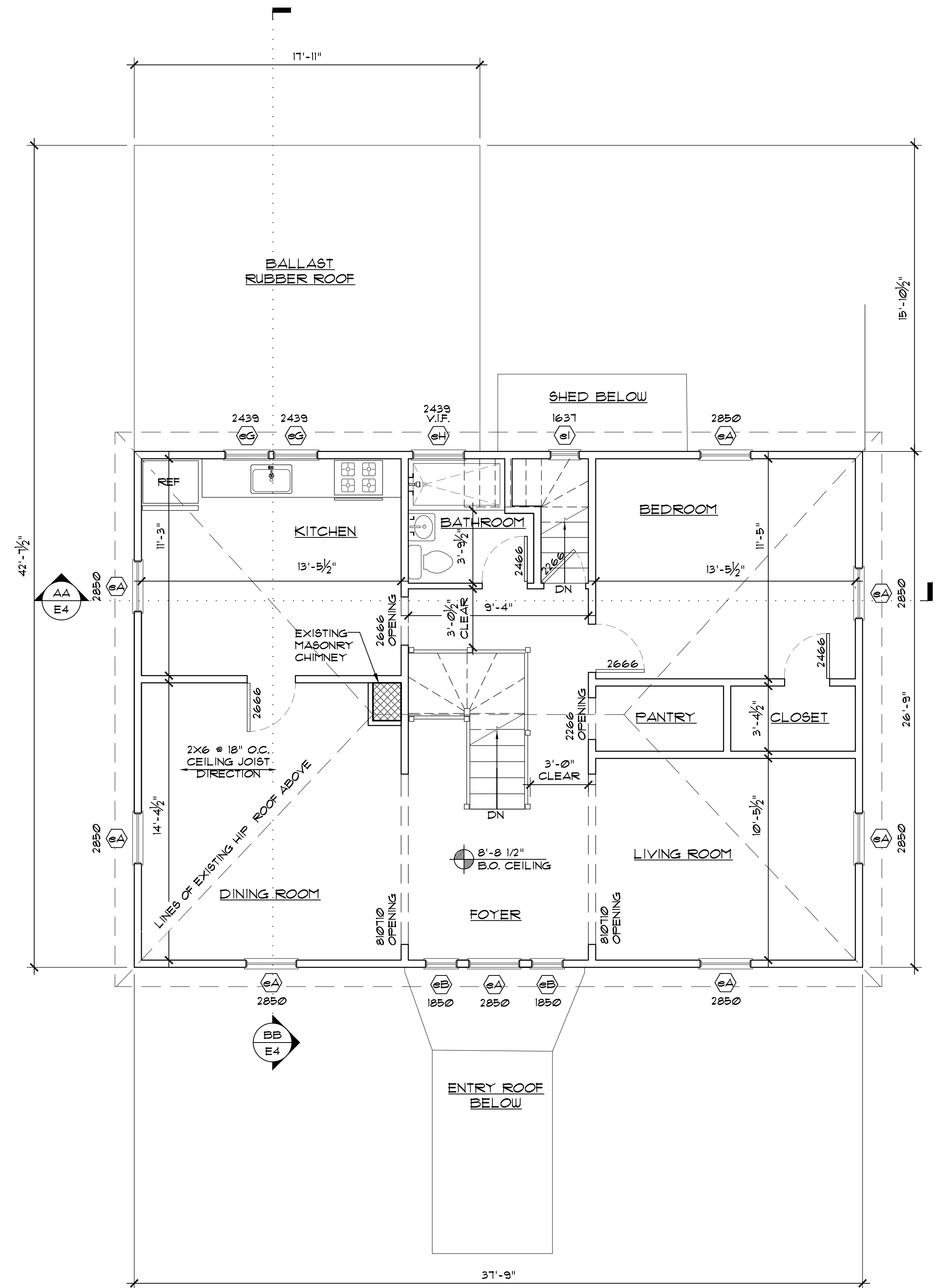
PROJECT NO. 1613

SHEET No.

**E1**



**2** EXISTING THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**1** EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**2 FAMILY DWELLING FOR  
NICOLA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA**

**CL<sup>2</sup> + associates**  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWING TITLE:  
**EXISTING  
SECOND &  
THIRD FLOOR  
PLAN**

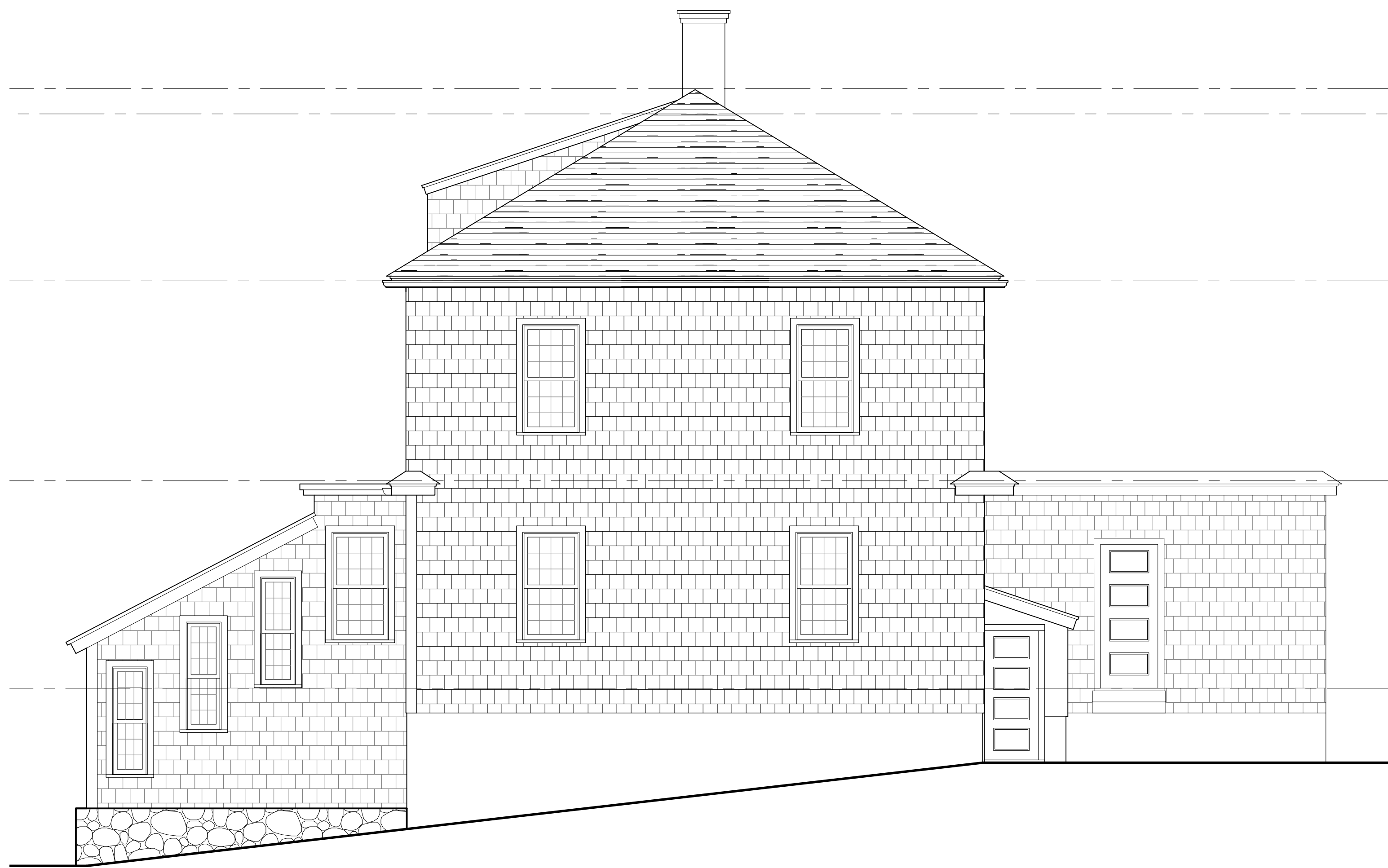
DATE: 05/10/16

CONSTRUCTION SET  
ISSUED FOR PERMIT 05/10/16

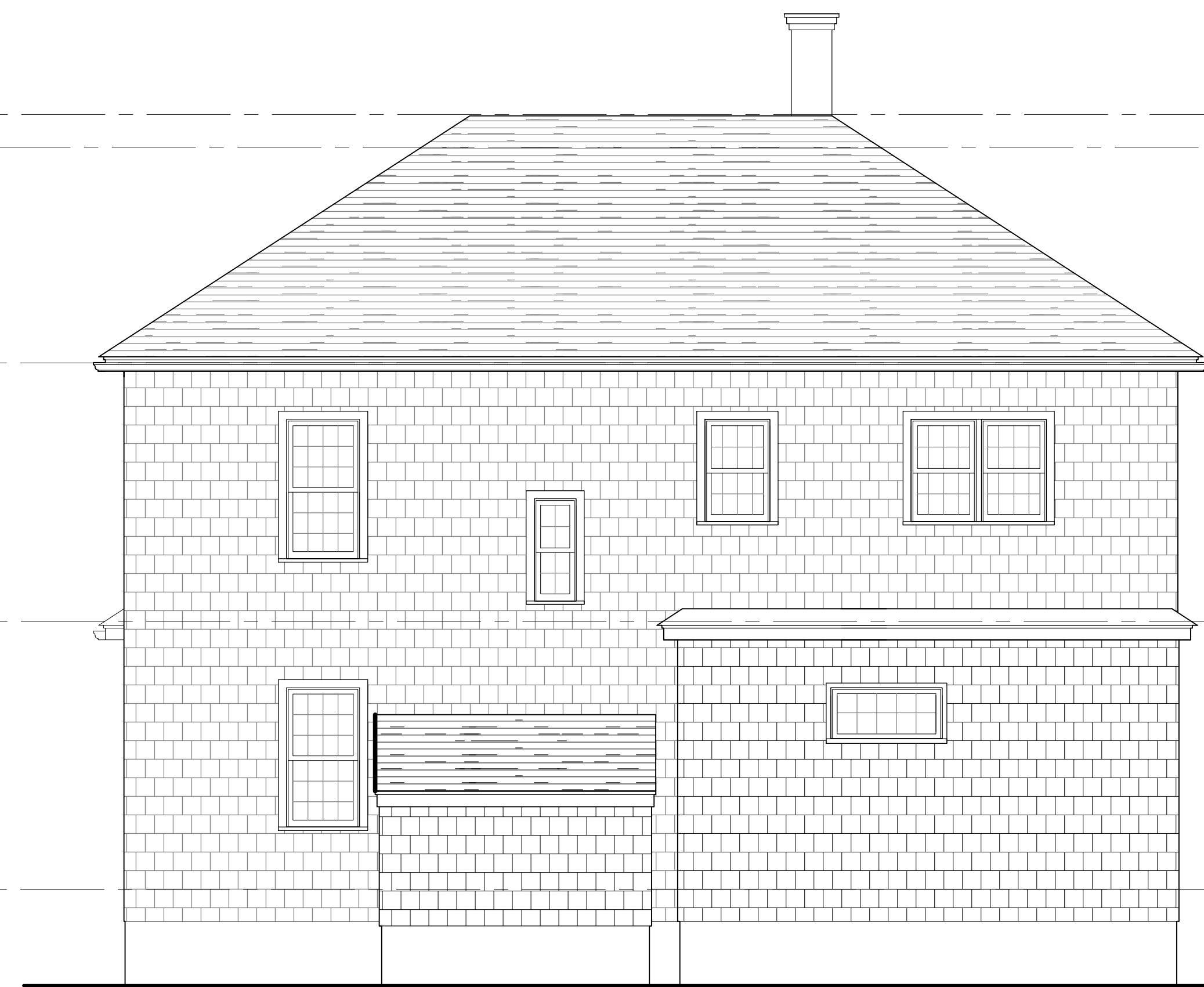
PROJECT NO. 1613

SHEET No.

**E2**

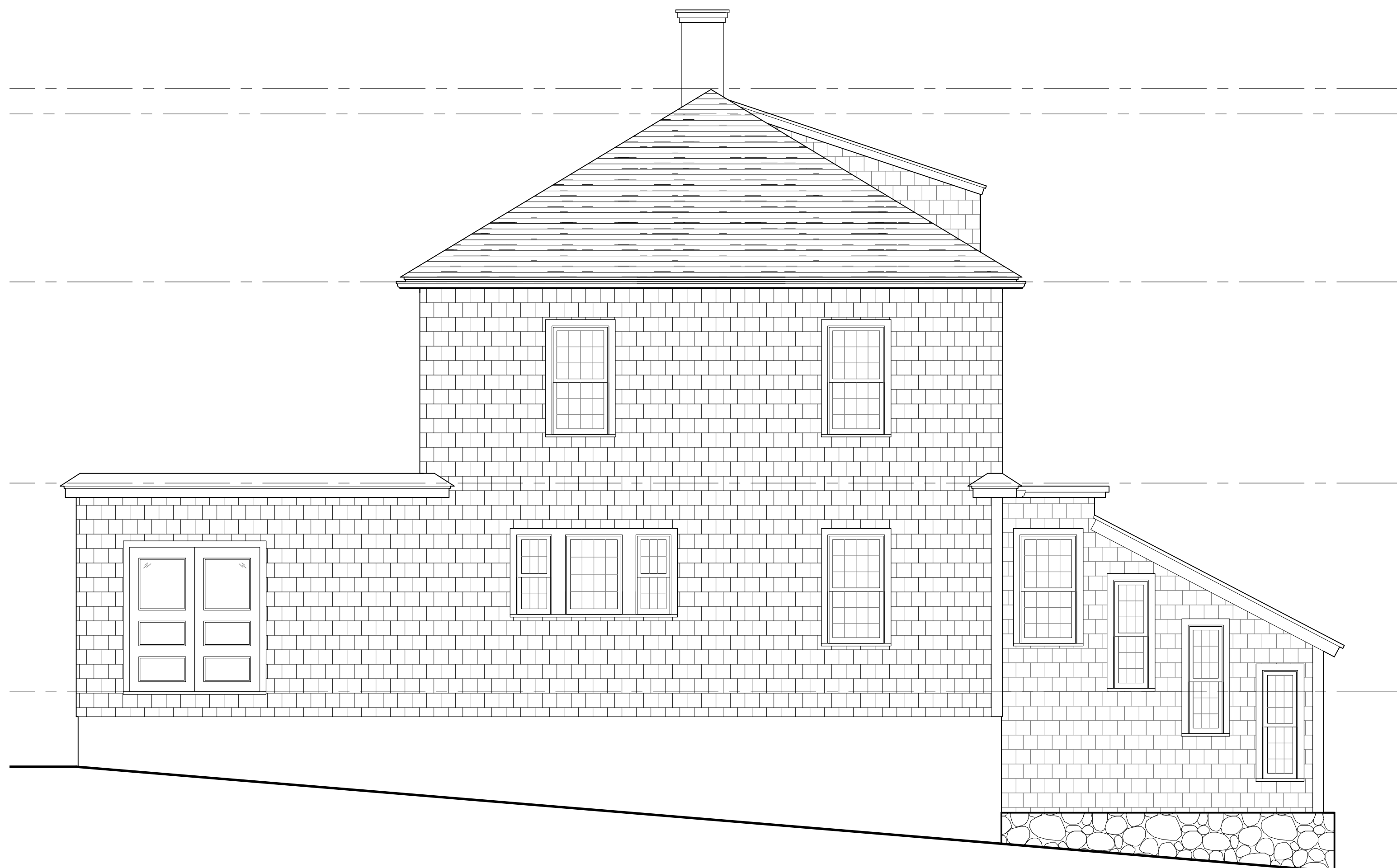


**4** EXISTING RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



**3** EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"

- 10'-3" T.O. ROOF HIGH POINT
- 29'-4 3/4" B.O. RIDGE BEAM
- 10'-6"
- 18'-10 3/4" T.O. SECOND FLOOR CEILING JOIST
- 9'-3 3/4"
- 9'-1 1/2" SECOND FLOOR FINISH FLOOR
- 9'-1 1/2"
- 0'-0" FIRST FLOOR FINISH FLOOR
- 8'-6"
- 8'-6" BASEMENT LEVEL SLAB ON GRADE



**2** EXISTING LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



**1** EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

- 10'-3" T.O. ROOF HIGH POINT
- 29'-4 3/4" B.O. RIDGE BEAM
- 10'-6"
- 18'-10 3/4" T.O. SECOND FLOOR CEILING JOIST
- 9'-3 3/4"
- 9'-1 1/2" SECOND FLOOR FINISH FLOOR
- 9'-1 1/2"
- 0'-0" FIRST FLOOR FINISH FLOOR
- 8'-6"
- 8'-6" BASEMENT LEVEL SLAB ON GRADE

**2 FAMILY DWELLING FOR  
NICOLA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA**

**CL<sup>2</sup> + associates**  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWING TITLE:  
**EXISTING ELEVATIONS**

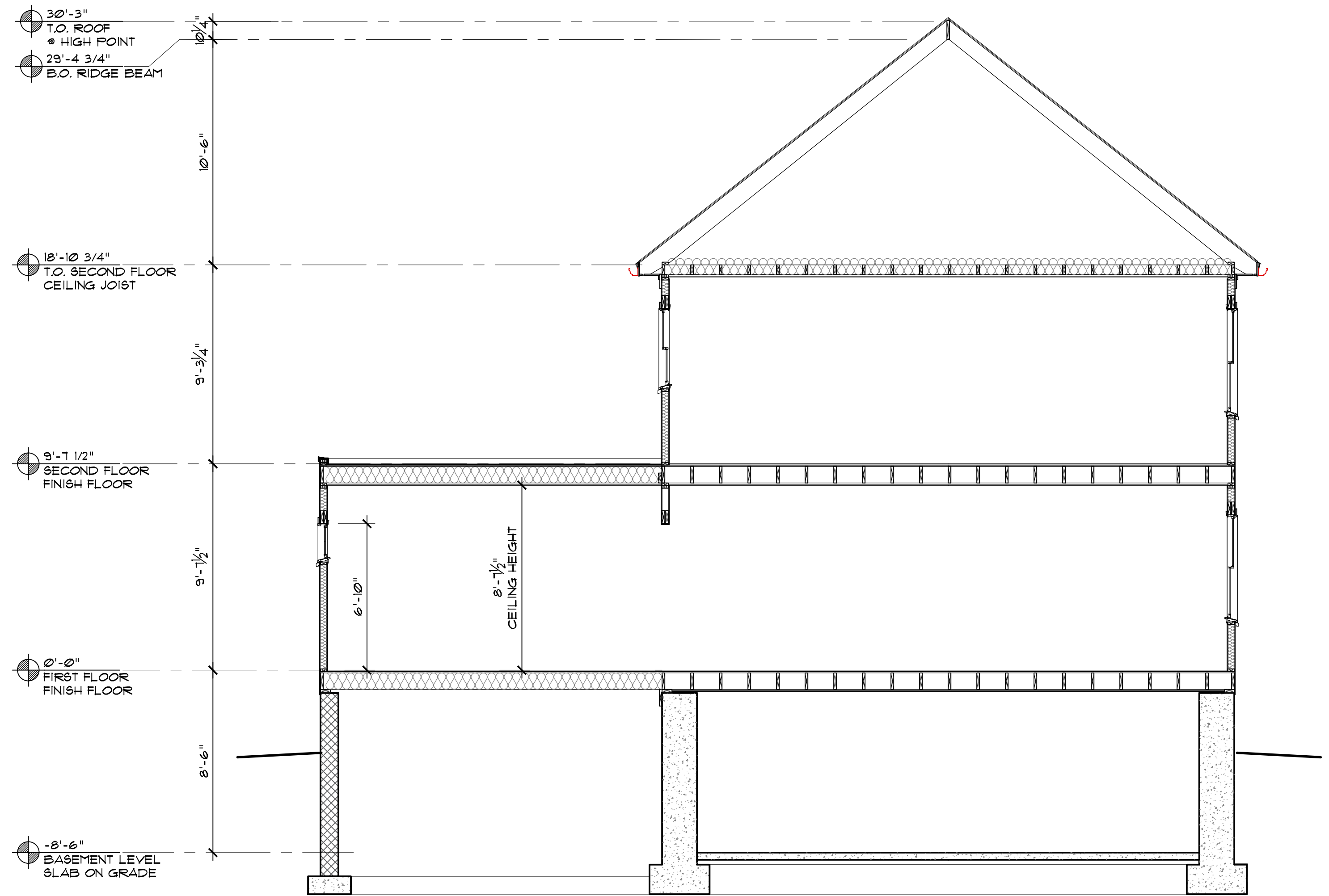
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CONSTRUCTION SET  
ISSUED FOR PERMIT 05/10/16

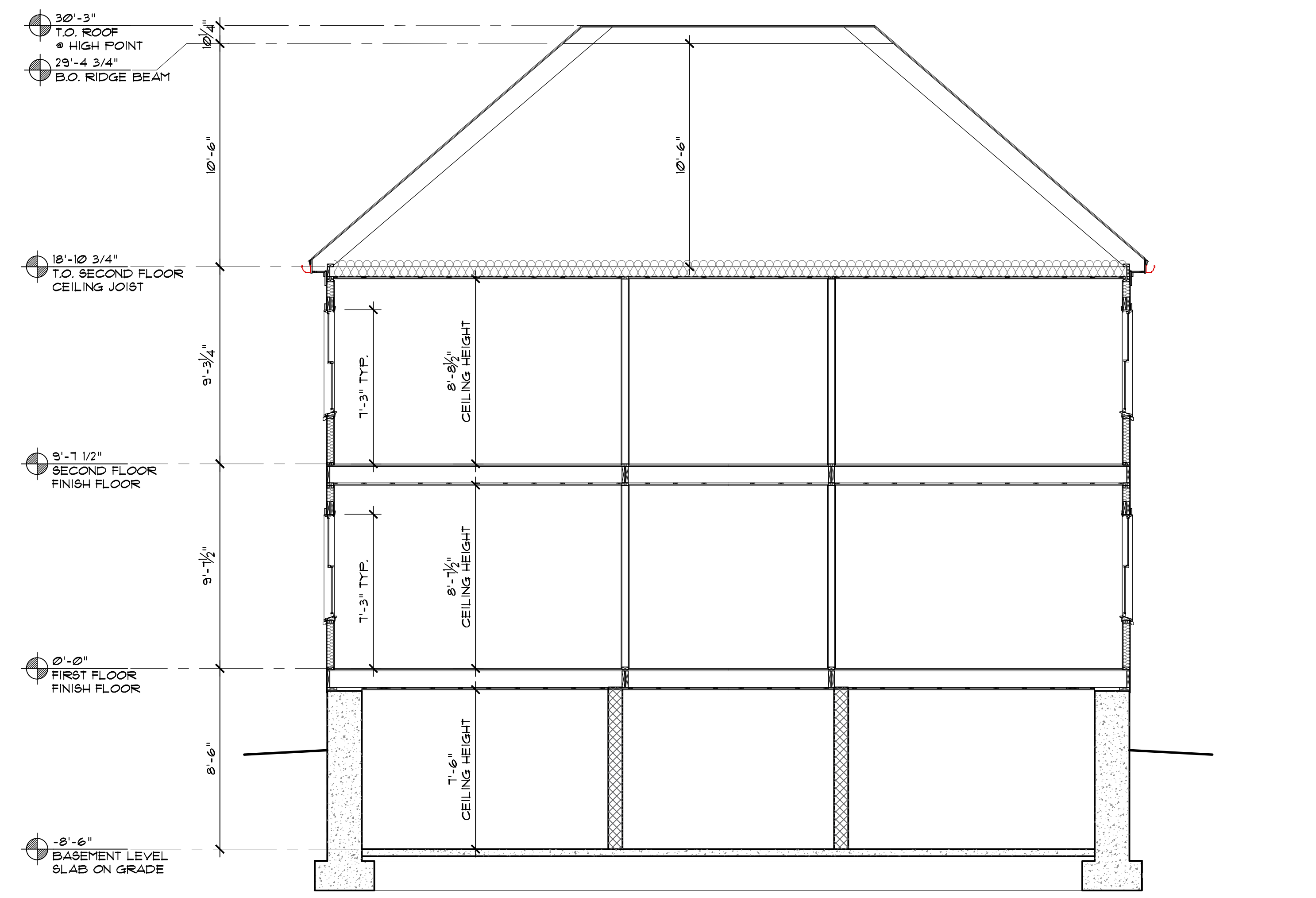
PROJECT NO. 1613

SHEET NO.

**E3**



**BB** EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



**AA** EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"

2 FAMILY DWELLING FOR  
NICOYA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA

CL<sup>2</sup> + associates  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWING TITLE:  
EXISTING BUILDING SECTIONS

DATE: 05/10/16

CONSTRUCTION SET  
ISSUED FOR PERMIT 05/10/16

PROJECT NO. 1613

SHEET No.

**E4**



2 FAMILY DWELLING FOR  
 NICOLEY PARTNERS  
 139 STOUGHTON AVE  
 DORCHESTER, MA

CL<sup>2</sup> + associates  
 30 NEWBURY STREET  
 BOSTON, MA 02116

DRAWING TITLE:  
 DEMOLITION  
 PLANS

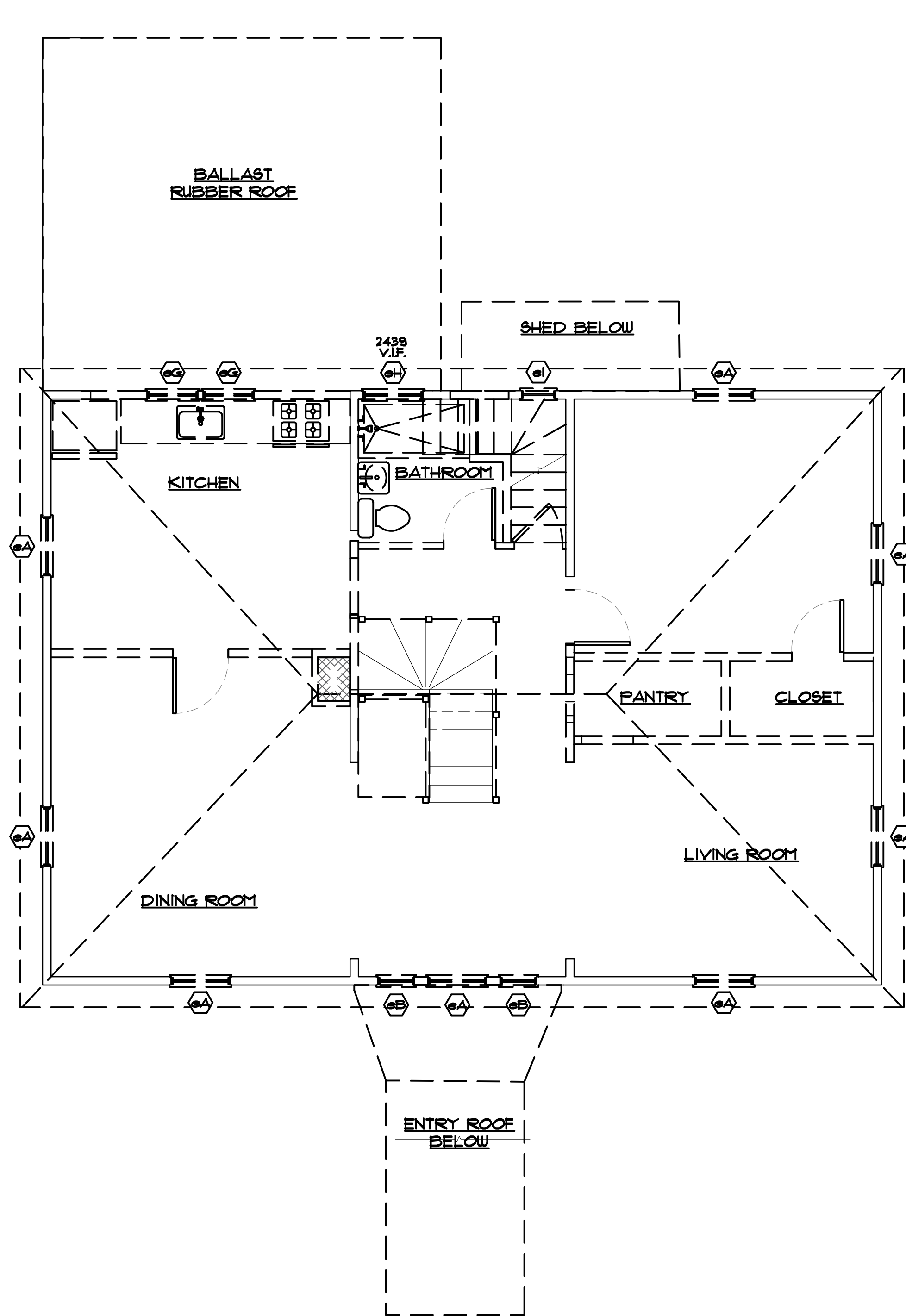
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CONSTRUCTION SET  
 ISSUED FOR PERMIT 05/10/16

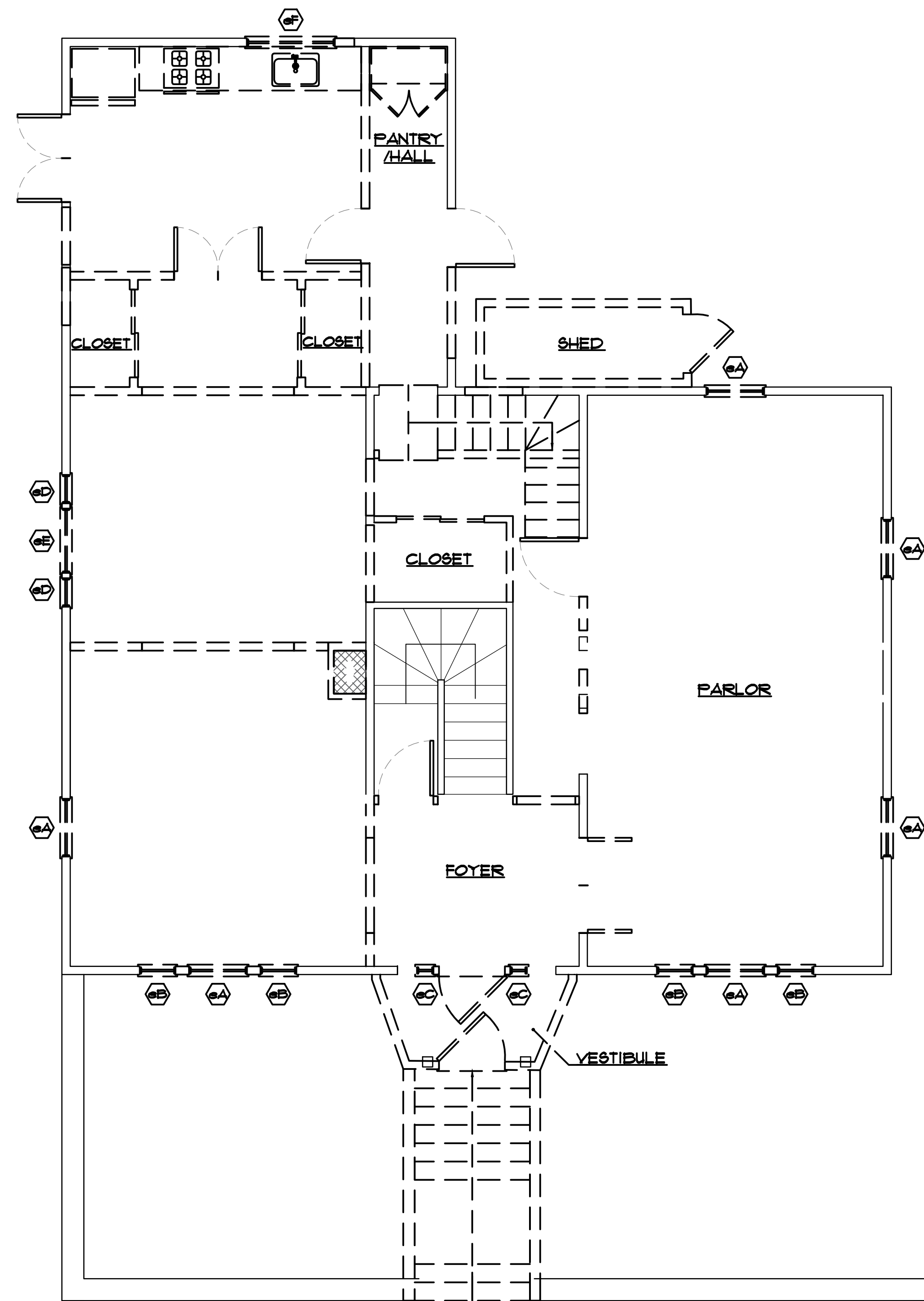
PROJECT NO. 1613

SHEET No.

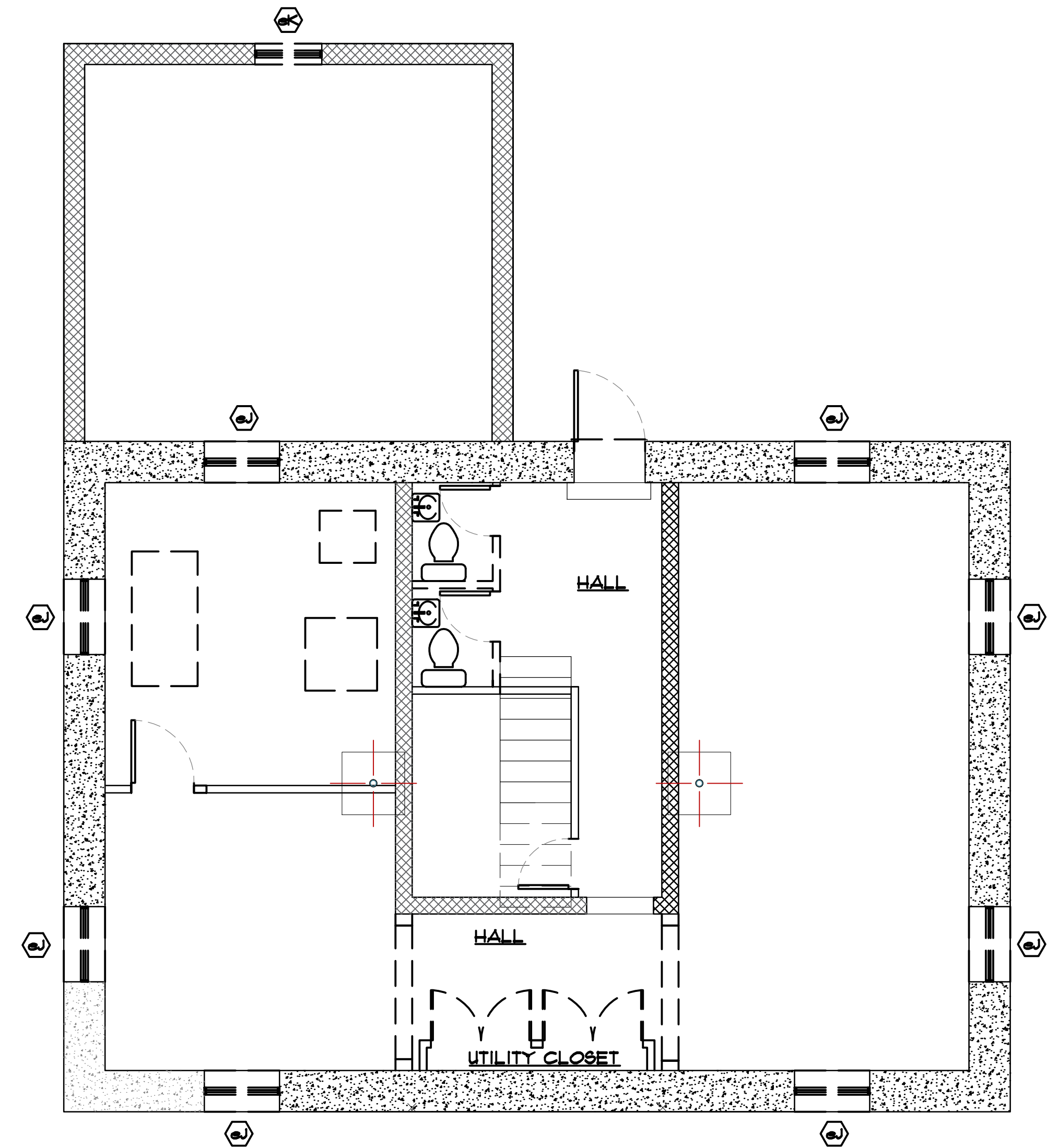
**D1**



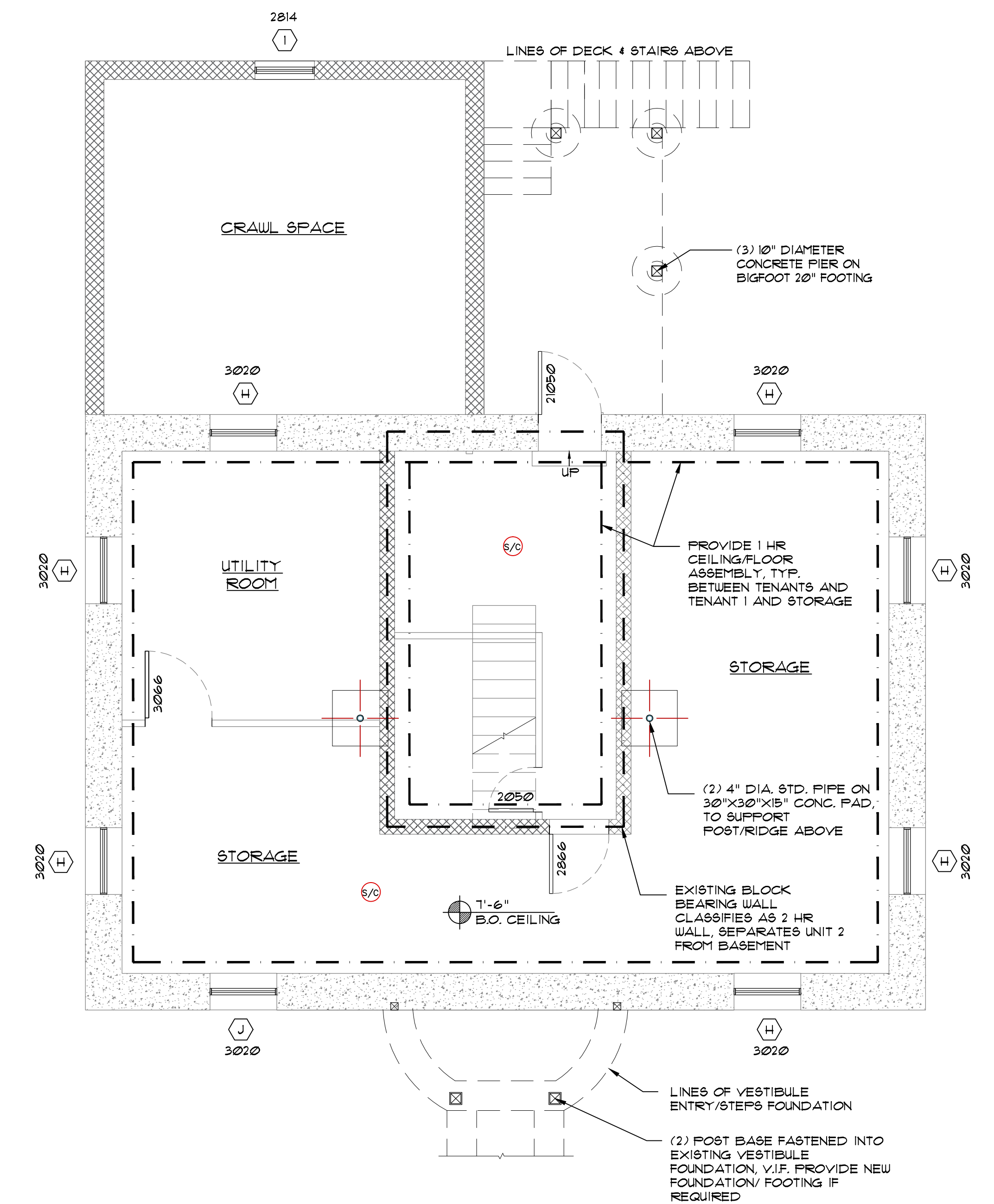
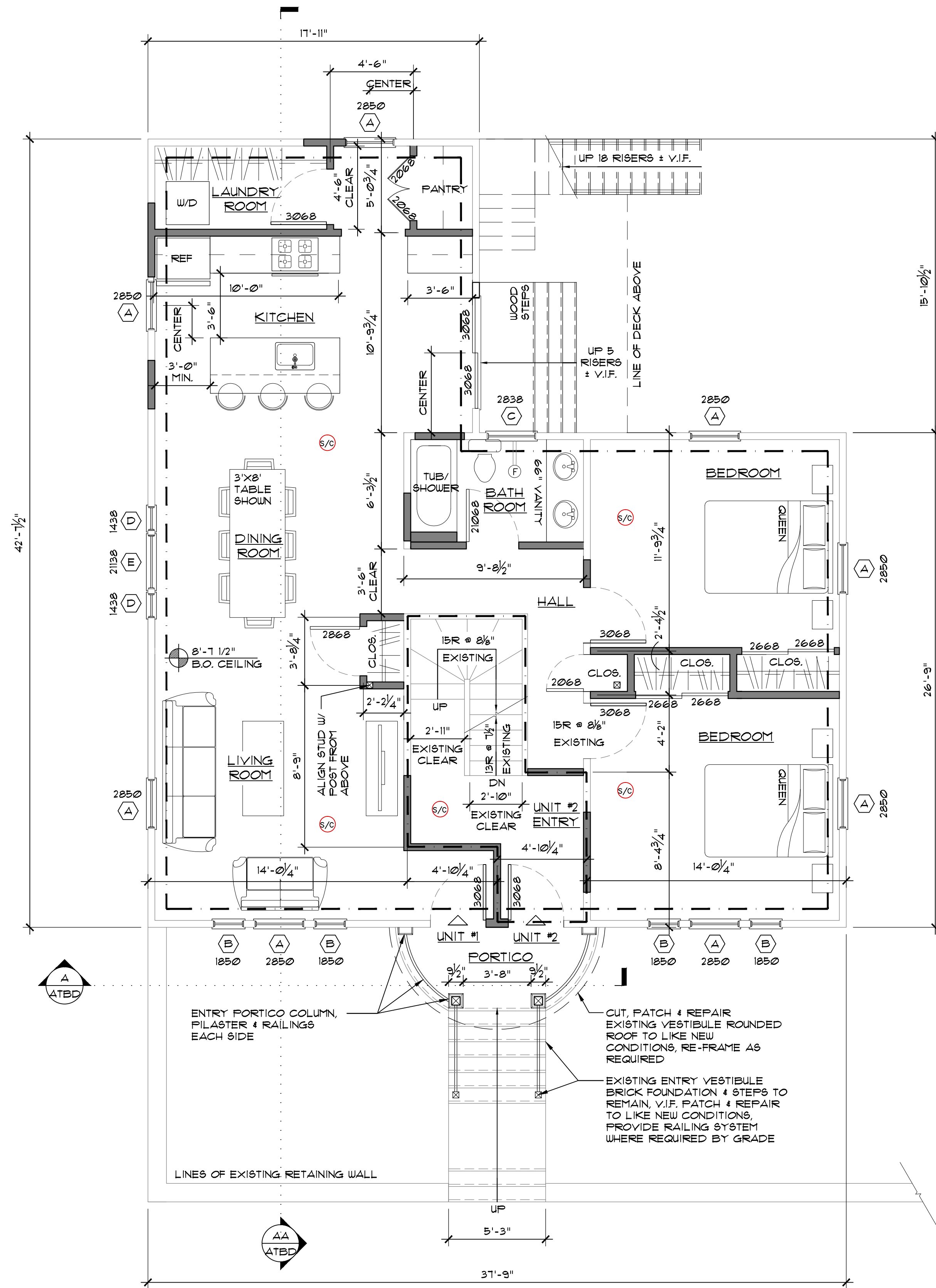
3 EXISTING SECOND FLOOR DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"  
 ITEMS TO BE DEMOLISHED [---]



2 FIRST FLOOR DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"  
 ITEMS TO BE DEMOLISHED [---]



1 BASEMENT LEVEL DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"  
 ITEMS TO BE DEMOLISHED [---]



LEGEND			
	NEW CONSTRUCTION		SMOKE/CARBON MONOXIDE DETECTOR
	EXISTING CONSTRUCTION TO REMAIN, PATCH & REPAIRED AS REQUIRED		FAN VENT
	NEW DOOR		NEW WINDOW
	CALL OUT		CALL OUT

NOTES:  
 ALL NEW WINDOWS & DOORS ARE TO MEET ENERGY STAR QUALIFICATION CRITERIA FOR RESIDENTIAL WINDOWS & DOORS (ATTACHED) AS PER THE MASSACHUSETTS STRETCH CODE (180 CMR 11B.00) & SECTION 401B PRESCRIPTIVE OPTION FOR ALTERATIONS, RENOVATIONS OR REPAIRS

2 FAMILY DWELLING FOR  
 NICOYA PARTNERS  
 139 STOUGHTON AVE  
 DORCHESTER, MA

CL<sup>2</sup> + associates  
 30 NEWBURY STREET  
 BOSTON, MA 02116

DRAWING TITLE:  
 FIRST FLOOR &  
 BASEMENT/  
 FOUNDATION  
 CONSTRUCTION  
 PLANS

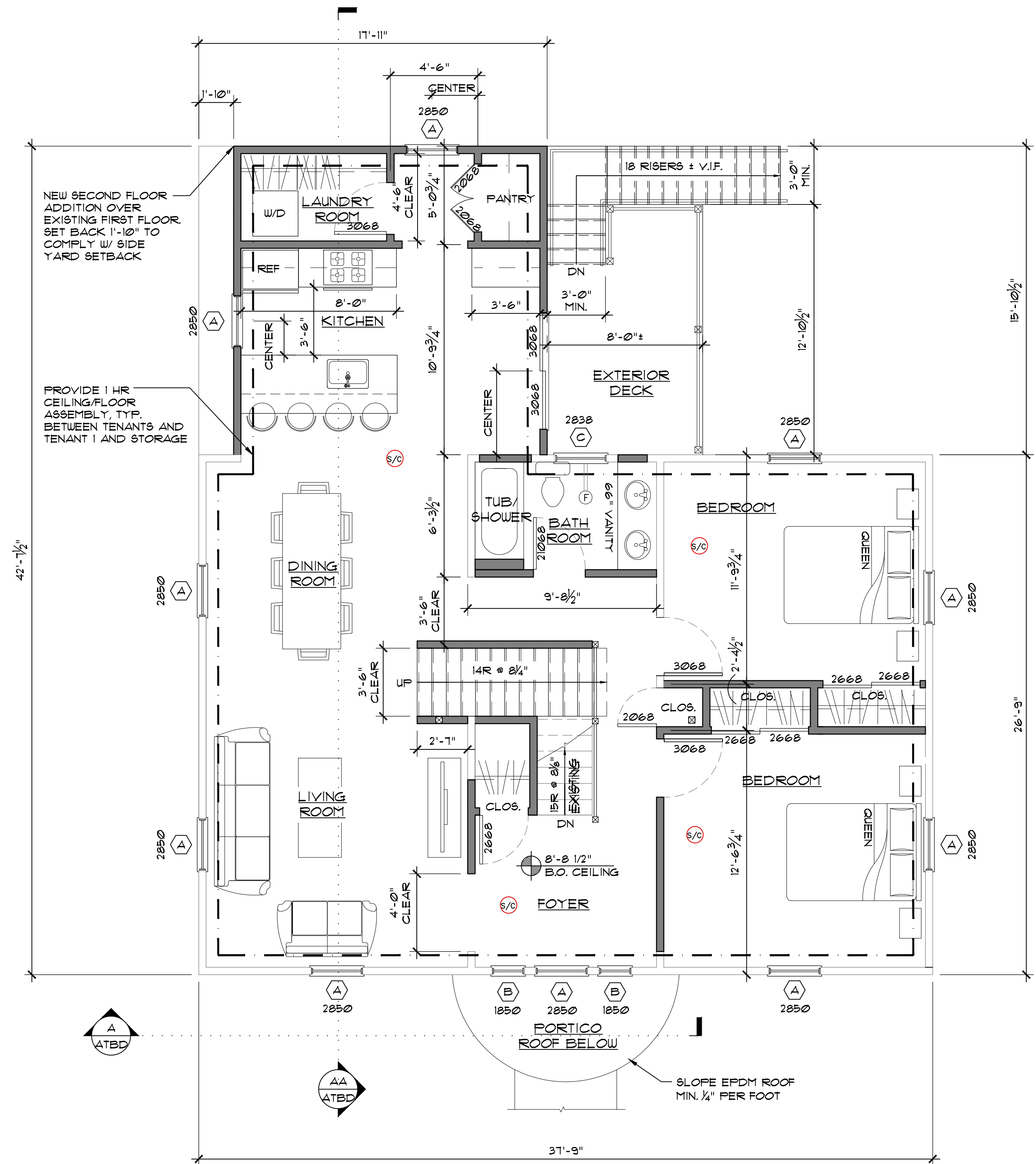
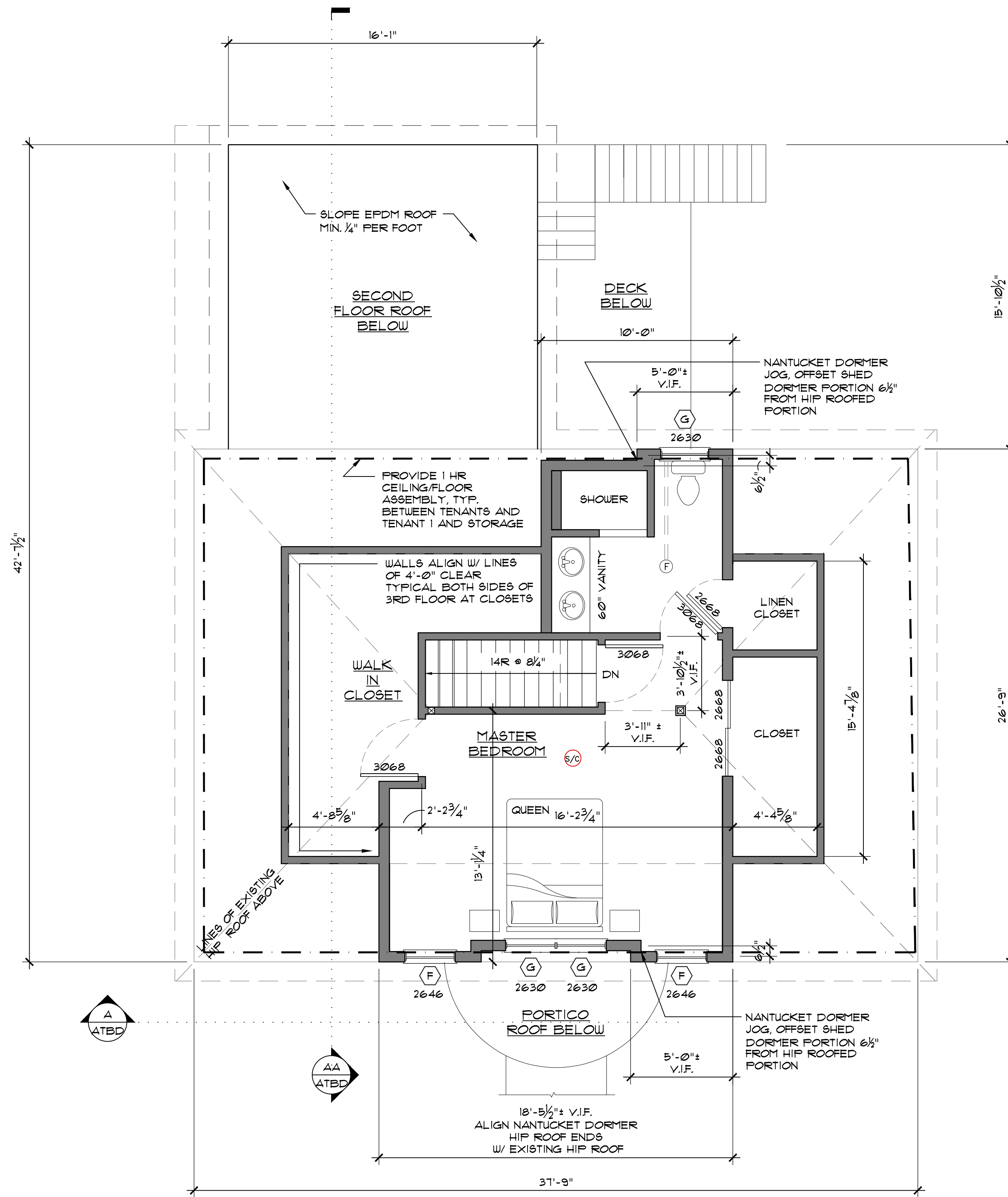
DATE: 05/10/16

CONSTRUCTION SET  
 ISSUED FOR PERMIT 05/10/16

PROJECT NO. 1613

SHEET No.

**A1**



LEGEND	
NEW CONSTRUCTION	SMOKE/CARBON MONOXIDE DETECTOR
EXISTING CONSTRUCTION TO REMAIN, PATCH & REPAIR AS REQUIRED	FAN VENT
NEW DOOR	NEW WINDOW

NOTES:  
ALL NEW WINDOWS & DOORS ARE TO MEET ENERGY STAR QUALIFICATION CRITERIA FOR RESIDENTIAL WINDOWS & DOORS (ATTACHED) AS PER THE MASSACHUSETTS STRETCH CODE (180 CMR 11B.00) & SECTION 401.5 PRESCRIPTIVE OPTION FOR ALTERATIONS, RENOVATIONS OR REPAIRS

2 FAMILY DWELLING FOR  
NICOYA PARTNERS  
139 STOUGHTON AVE  
DORCHESTER, MA

CL<sup>2</sup> + associates  
30 NEWBURY STREET  
BOSTON, MA 02116

DRAWING TITLE:  
SECOND & THIRD FLOOR CONSTRUCTION PLANS

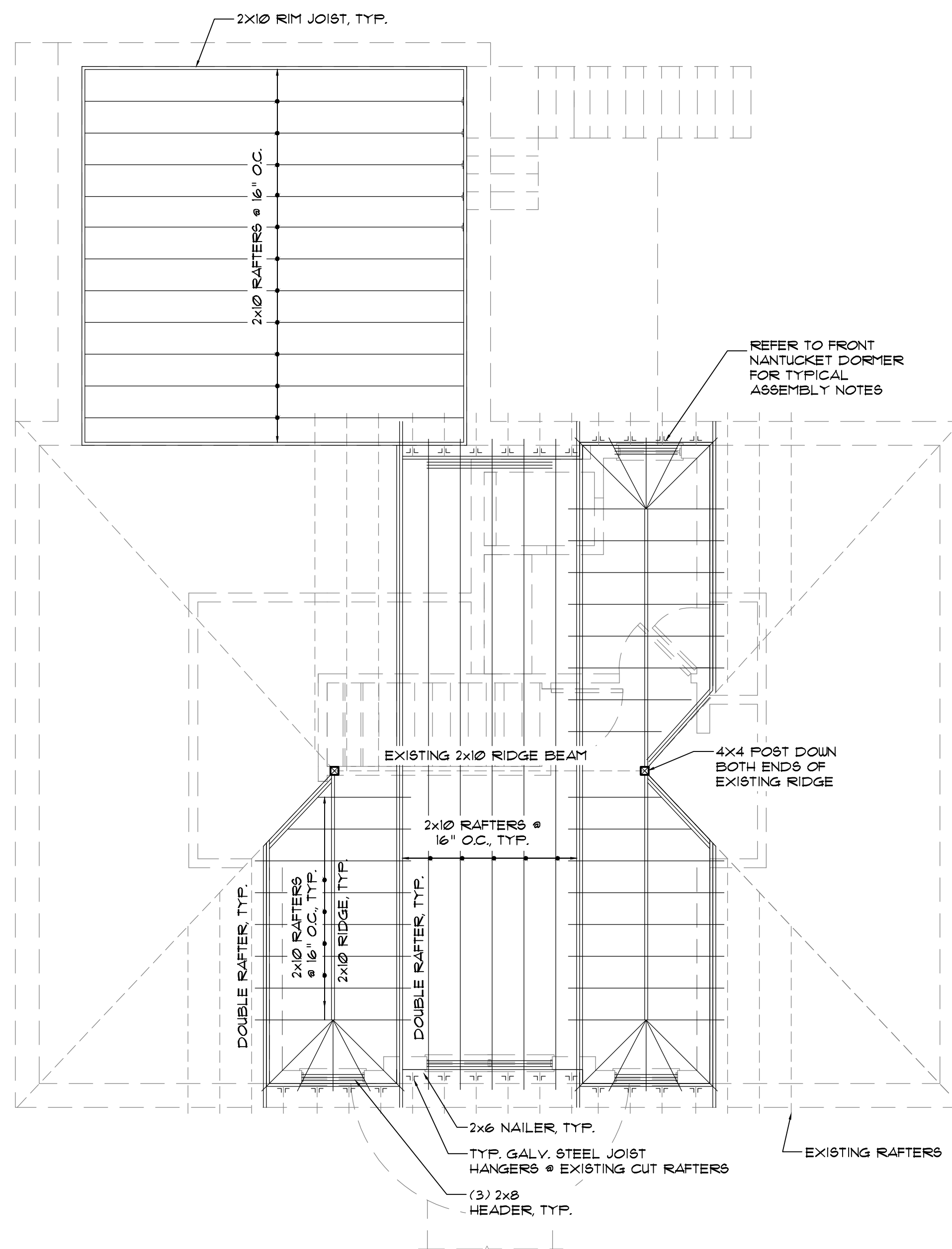
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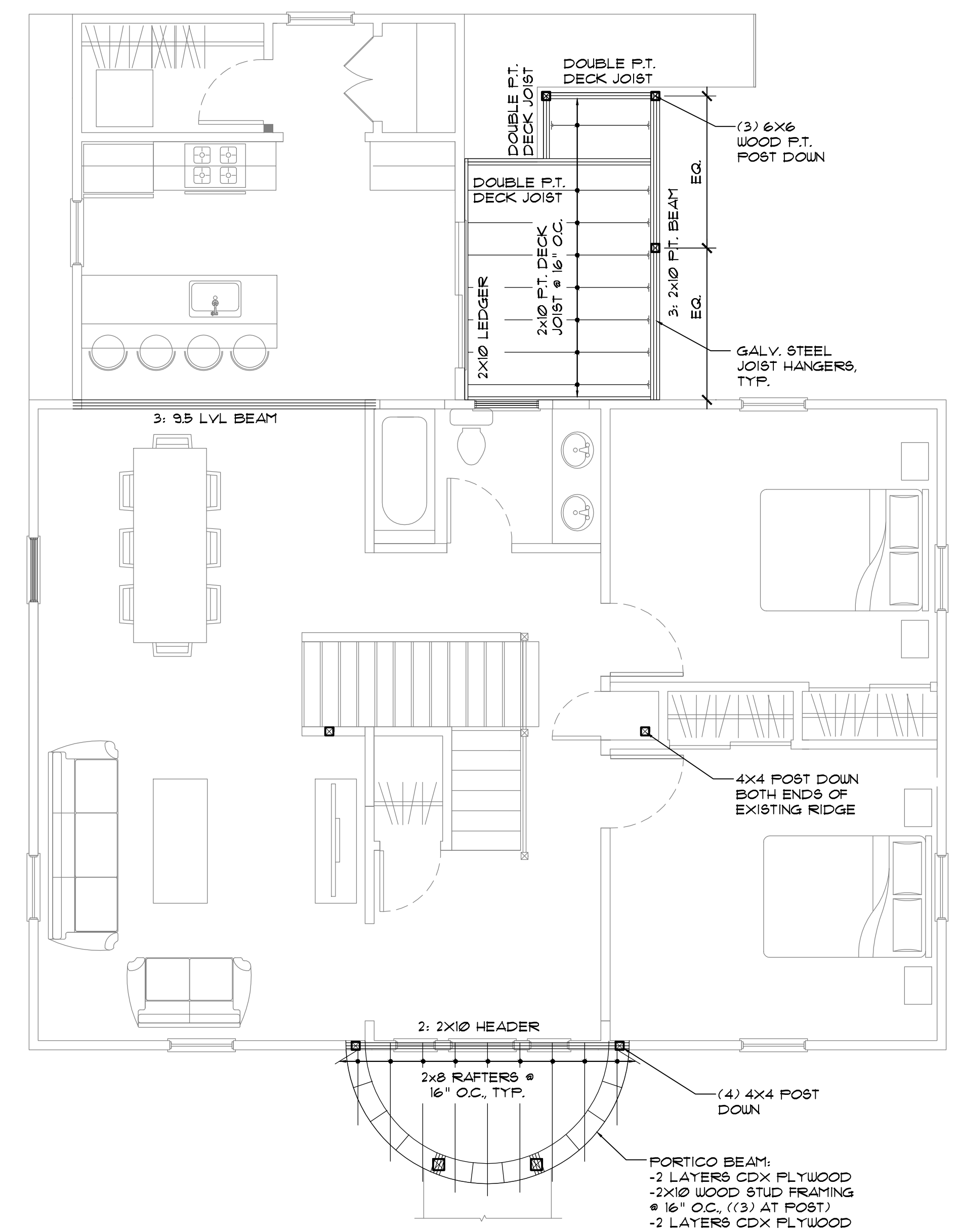
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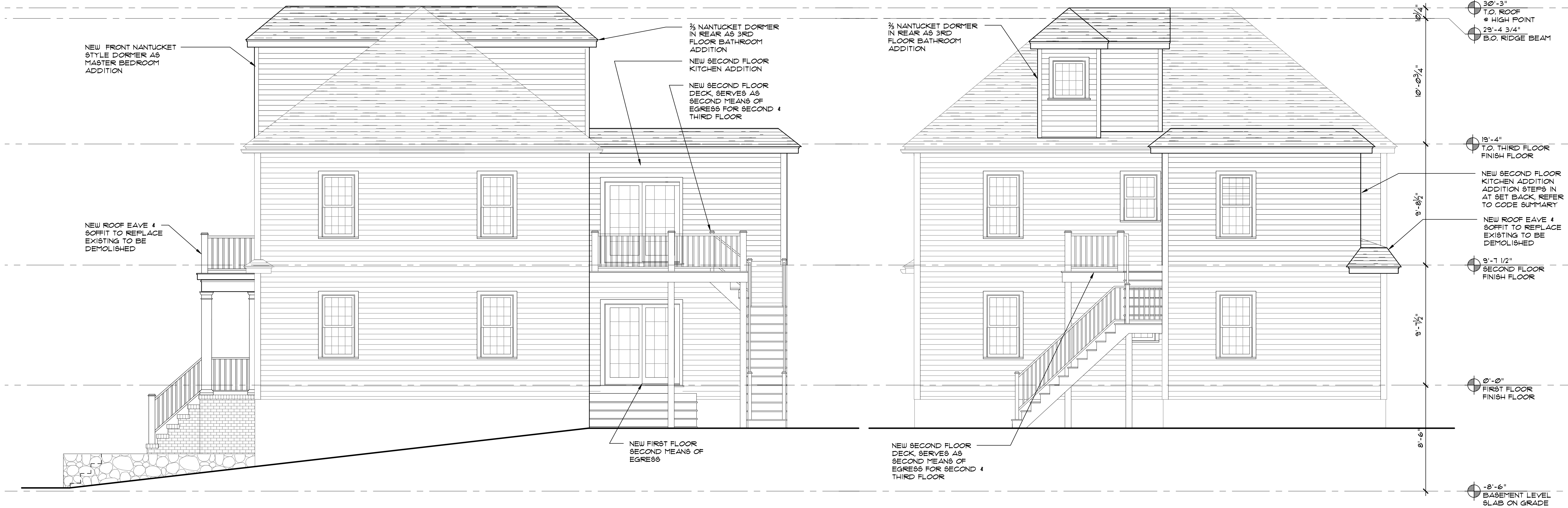
**A2**



2 LOW & HIGH ROOF FRAMING PLAN  
 SCALE: 1/4" = 1'-0"

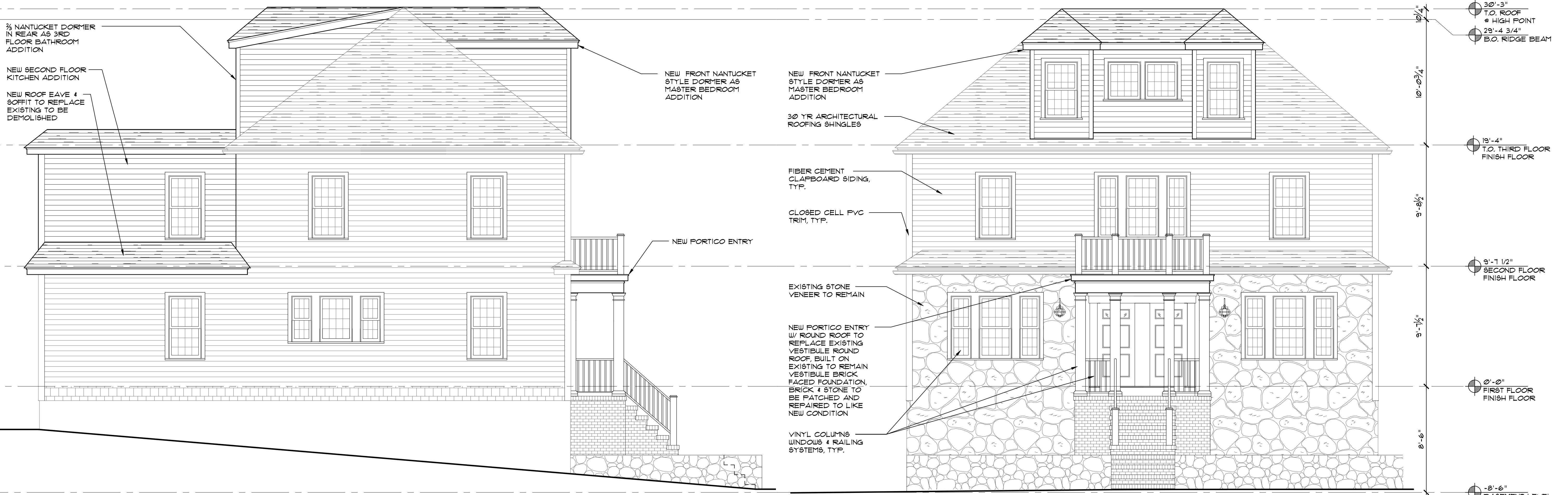


2 SECOND FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"

3 REAR ELEVATION  
 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"

1 FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"

SYSTEM NOTES

NOTE:

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE & COORDINATE W/ DESIGNER PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL BEARING LINES ARE CONTINUOUS & PROPERLY TRANSFERRED TO FOUNDATION.
- ALL DIMENSIONAL FRAMING LUMBER USED SHALL BE SFF NO. 2 WITH MIN. E+ 14E6 OR AS FURTHER SPECIFIED.
- DOUBLE ALL JOISTS UNDER PARTITIONS.
- ALL FASTENING SHALL COMPLY WITH PERMIT DRAWINGS. ANY CONNECTION NOT SPECIFICALLY DETAILED SHALL BE INSTALLED IN COMPLIANCE WITH THE REQUIREMENTS OF THE 8TH EDITION MASSACHUSETTS RESIDENTIAL BUILDING CODE, IRC 2009 WITH MASSACHUSETTS AMENDMENTS.

TYPICAL FIBER CEMENT CLAPBOARD EXTERIOR WALL SYSTEM

- HARDIE BOARD CLAPBOARD SIDING
- CLOSED CELL PVC TRIM
- TYVEK HOUSE WRAP O.A.E.
- 1/2" CDX PLYWOOD SHEATHING
- EXISTING EXISTING 2X4 STUD FRAMING WITH 3.5" W/ FIBERGLASS BATTS INSULATION PER INCH PER STRETCH CODE
- NEW 2X6 STUD FRAMING TO BE #2 GRADE SFRUCE FINE-FIR OR BETTER @ 16" O.C. W/R-21 FIBERGLASS BATTS INSULATION
- 1/2" BLUE BOARD W/ VENEER PLASTER (SMOOTH), PAINTED TYP. (INTERIOR FINISH)

TYPICAL MODIFIED EXISTING ROOF SYSTEM

- ROOFING SYSTEM TO COMPLY W/10 MPH WIND GUST
- MIN. 30 YEAR ARCHITECTURAL ROOF SHINGLES T.M.E.
- 30# FELT PAPER
- ICE & WATER SHIELD AS RECOMMENDED BY MFR
- EXISTING PLYWOOD SHEATHING PATCH W/ NEW AS REQUIRED
- AIR CIRCULATOR FROM SOFFIT VENT TO ROOF VENT
- R32 MIN. ROXUL BATTS INSULATION, AS PER STRETCH CODE (3.5 PER INCH)
- HURRICANE CLIPS AS REQUIRED
- 1X3 WOOD STRAPPING
- 1/2" BLUE BOARD W/ VENEER PLASTER (SMOOTH), PAINTED TYP. (INTERIOR FINISH)

TYPICAL ROOF SYSTEM @ DORMERS

- ROOFING SYSTEM TO COMPLY W/10 MPH WIND GUST
- MIN. 30 YEAR ARCHITECTURAL ROOF SHINGLES T.M.E.
- 30# FELT PAPER
- ICE & WATER SHIELD AS RECOMMENDED BY MFR
- 5/8" CDX PLYWOOD ROOF SHEATHING
- 2X10 ROOF RAFTERS @ 16" O.C. (UNO.)
- 2X10 CEILING JOIST @ 16" O.C. (UNO.) W/ R32 ROXUL BATTS INSULATION, AS PER STRETCH CODE
- HURRICANE CLIPS AS REQUIRED
- 1X3 WOOD STRAPPING
- 1/2" BLUE BOARD W/ VENEER PLASTER (SMOOTH), PAINTED TYP. (INTERIOR FINISH)
- PRE-FINISHED ALUMINUM DRIP EDGE
- GUTTERS W/ DOWNSPOUTS (NOT SHOWN), LOCATIONS AS INDICATED BY CONTRACTOR & INSTALLER.

TYPICAL ROOF SYSTEM @ 2ND FLOOR KITCHEN ADDITION

- ROOFING SYSTEM TO COMPLY W/10 MPH WIND GUST
- EPDM ROOF SYSTEM AS SPECIFIED BY OWNER
- R21 TAPERED RIGID INSULATION SLOPPED MIN 1/4" TO DRAIN AS PER STRETCH CODE
- 5/8" CDX PLYWOOD ROOF SHEATHING
- 2X10 ROOF RAFTERS @ 16" O.C. (UNO.)
- HURRICANE CLIPS AS REQUIRED
- 1X3 WOOD STRAPPING
- 1/2" BLUE BOARD W/ VENEER PLASTER (SMOOTH), PAINTED TYP. (INTERIOR FINISH)
- PRE-FINISHED ALUMINUM DRIP EDGE
- GUTTERS W/ DOWNSPOUTS (NOT SHOWN), LOCATIONS AS INDICATED BY CONTRACTOR & INSTALLER.

TYPICAL PORTICO ROOF SYSTEM & LINTEL BEAM

- ROOFING SYSTEM TO COMPLY W/10 MPH WIND GUST
- EPDM ROOF SYSTEM AS SPECIFIED BY OWNER
- 5/8" CDX PLYWOOD ROOF SHEATHING
- 2X8 ROOF RAFTERS @ 16" O.C. (UNO.) SLOPED A MIN 1/4" PER FOOT
- HURRICANE CLIPS AS REQUIRED
- PRE-FINISHED ALUMINUM DRIP EDGE
- GUTTERS W/ DOWNSPOUTS (NOT SHOWN), LOCATIONS AS INDICATED BY CONTRACTOR & INSTALLER.
- PORTICO BEAM
- 2 LAYERS CDX PLYWOOD
- 2X10 WOOD STUD FRAMING @ 16" O.C. ((3) AT POST)
- 2 LAYERS CDX PLYWOOD

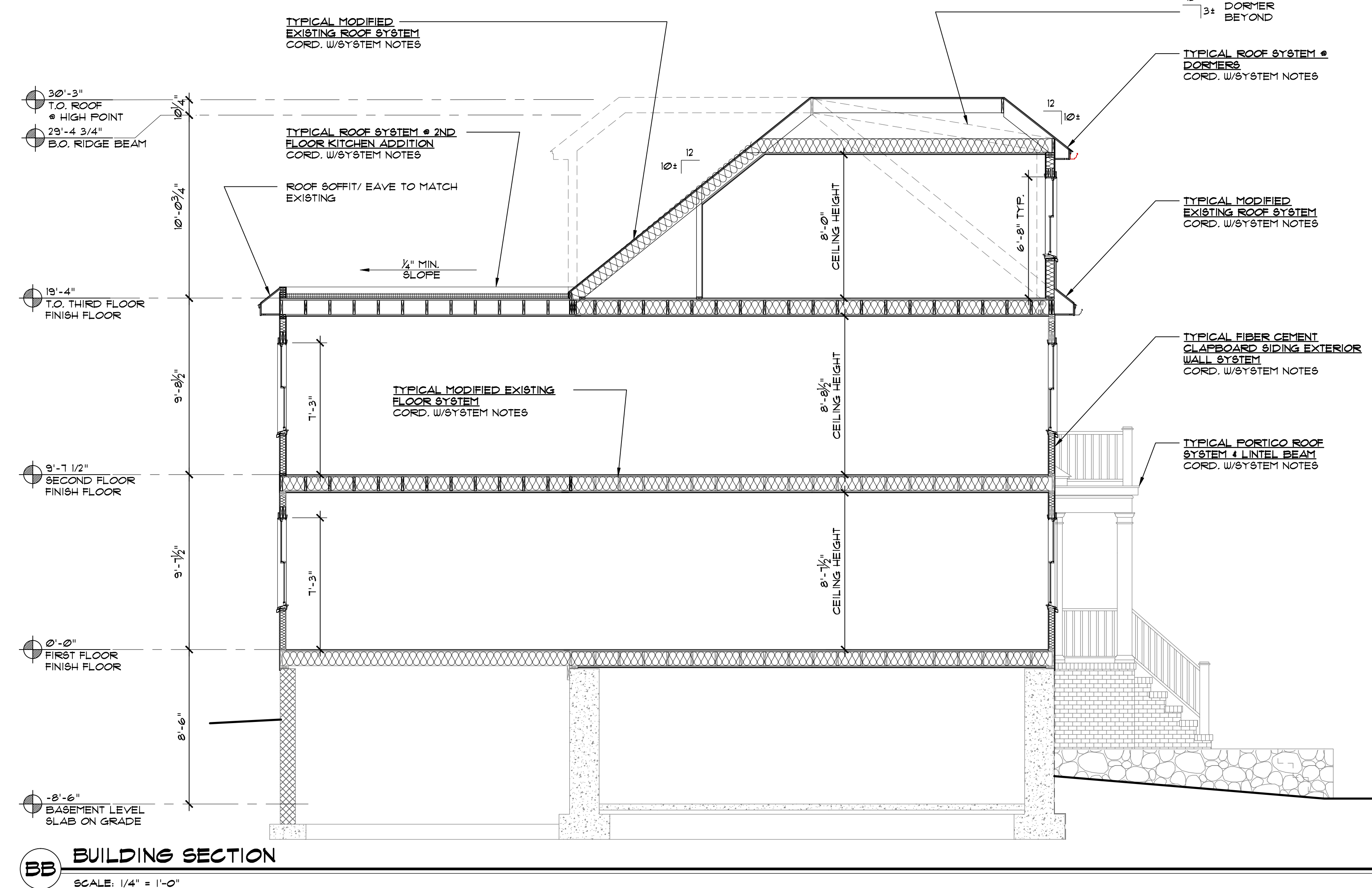
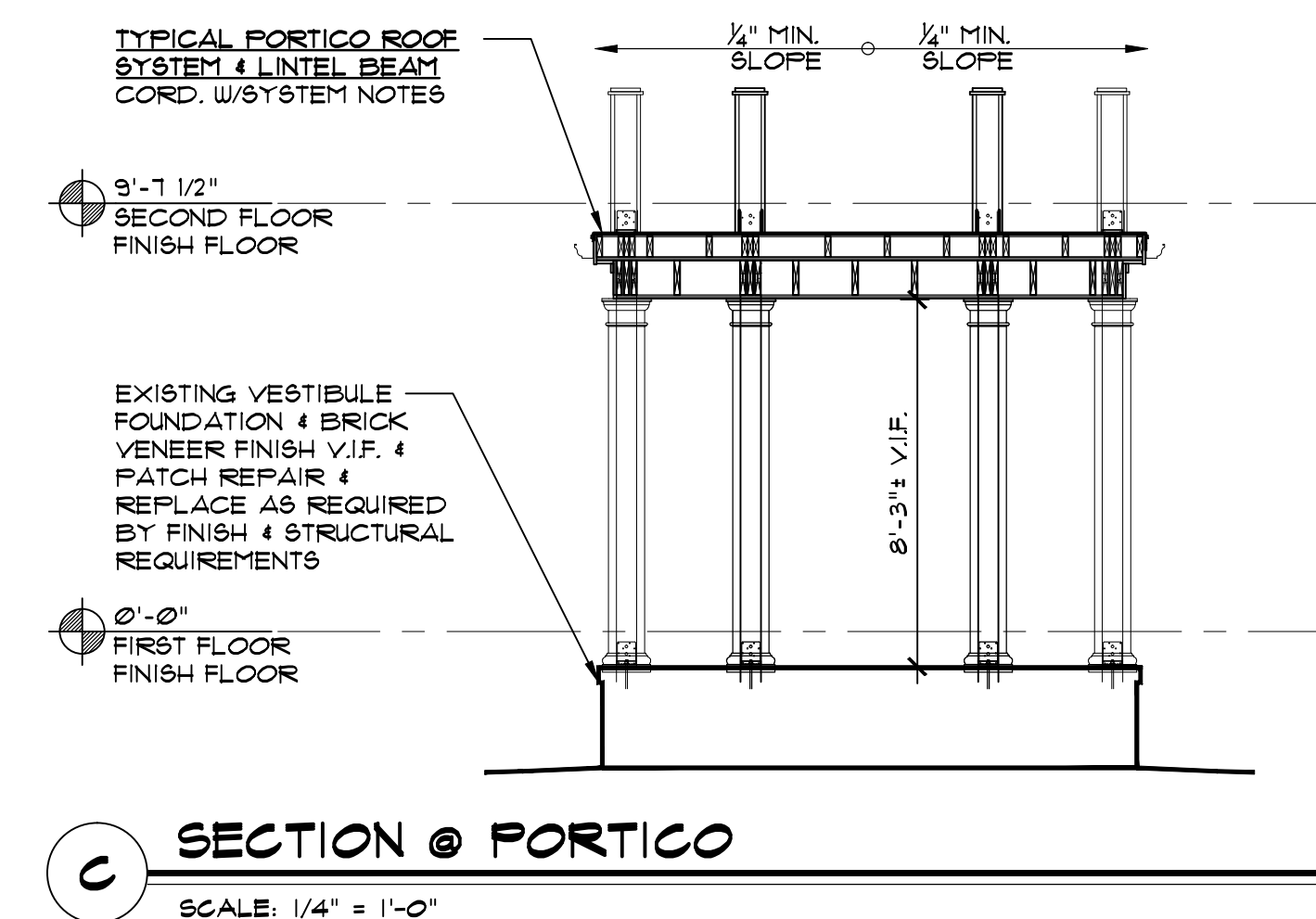
TYPICAL MODIFIED EXISTING FLOOR SYSTEM

- FINISH FLOOR AS SPECIFIED BY OWNER
- V.I.F. EXTENT OF REQUIRED NEW SUBFLOOR T4G ADVANTECH "VIF" SUB-FLOOR GLUED & NAILLED
- MODIFIED EXISTING 2X10 FLOOR FRAMING AS REQUIRED BY NEW WORK
- 1X3 WOOD STRAPPING
- TYPE X FIRE CORE G.W.B. CEILING SHEATHING
- FORMALDEHYDE FREE FIBERGLASS BATT INSULATION AT ALL WOOD FLOORS 3.5R PER INCH AS PER STRETCH CODE

\*\*\* PROVIDE REQUIRED LAYERS & THICKNESS OF FLOOR COMPONENTS AS REQUIRED BY 1 HR UL ASSEMBLY CHOSEN, CORD. W/ ARCHITECT FOR APPROVAL \*\*\*

TYPICAL INTERIOR WALL SYSTEM

- 2X4 SILL W/ (2) 2X4 TOP PLATE & 2X4 WALL STUDS @ 16" O.C. (UNO.)
- REFER TO CONSTRUCTION PLAN NOTES FOR ADDITIONAL REQUIREMENTS
- FORMALDEHYDE FREE FIBERGLASS SOUND BATT INSULATION AT ALL INTERIOR BATHROOM & INTERIOR BEDROOM WALLS
- 1/2" BLUE BOARD W/ VENEER PLASTER (SMOOTH), PAINTED TYP.
- PROVIDE 3/8" TYPE X FIRE CORE G.W.B. SHEATHING AT ALL 1 HR WALL ASSEMBLIES, INSTALL AS PER UL ASSEMBLY REQUIREMENTS



SCALE: 1/4" = 1'-0"