

PREPARED FOR:
 EAGLE HILL CAPITAL
 200 FALCON STREET
 EAST BOSTON, MA 02128

REFERENCES:
 OWNERS OF RECORD:
 THOMAS F. McNULTY
 GRACE E. McNULTY
 12 PROSPECT STREET
 CHARLESTOWN, MA 02129

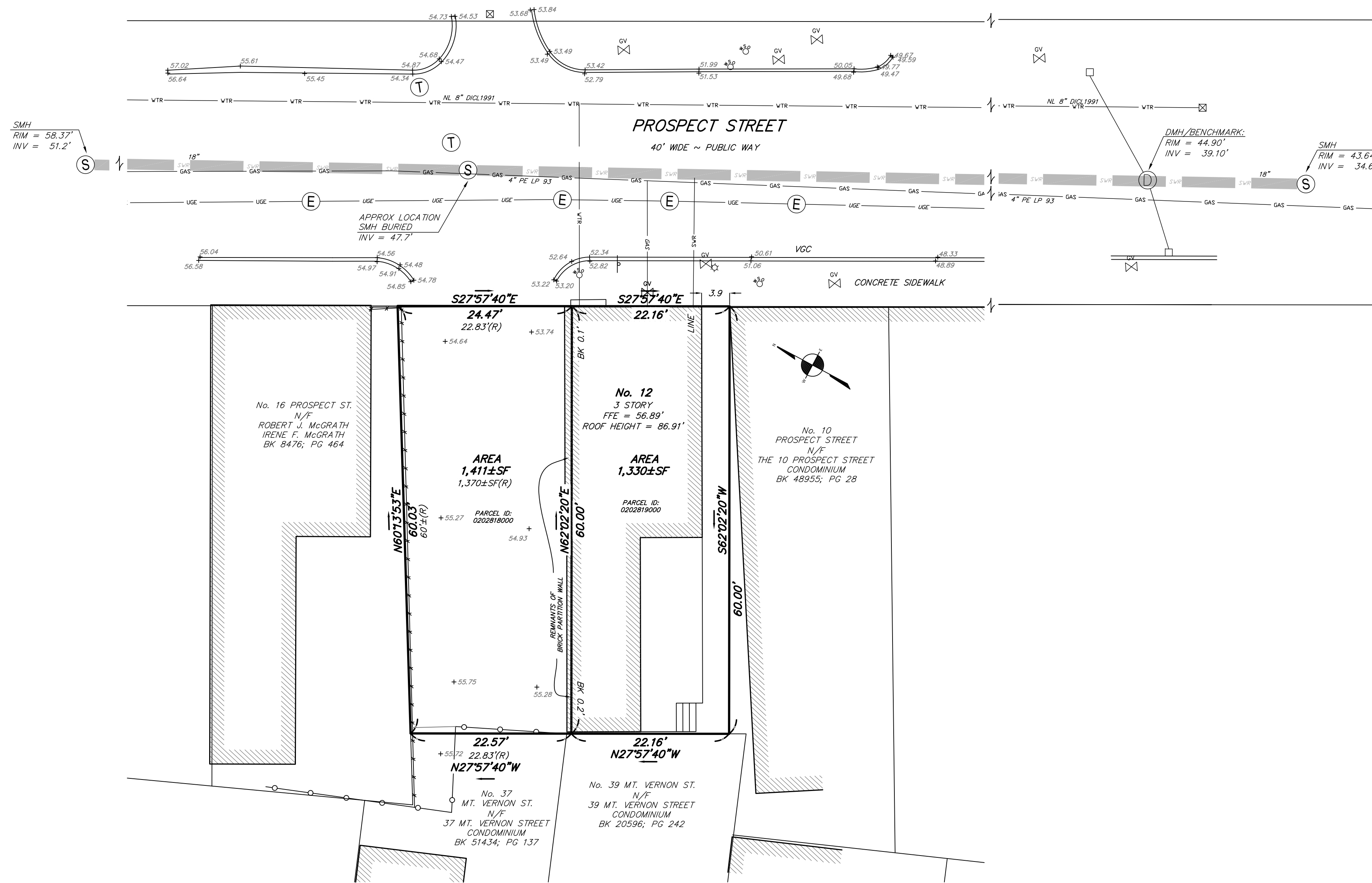
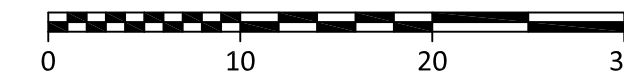
DEED: BK 46727, PG 31
 BK 4460, PG 381
 PLAN: BK 8395, PG 272 (E)
 BK 8396, PG 618
 BK 9699, PG 242
 PL BK 2B, PL 63 (S. MIDDLESEX)
 BK 20596, PG 242
 BK 24793, PG 171
 #25 OF 2012

CITY OF BOSTON ENGINEERING RECORDS
 FB 490, PGS 114-117
 FB 555, PG 118-119
 FB 712, PGS 62-63
 FB 909, PGS 80-81
 FB 1144, PGS 82-85
 YUNITS: SHEET 5-13

NOTES:
 PARCEL ID: 0202819000 (#12)
 0202818000 (#14)

UTILITY SITE PLAN
 LOCATED AT
12-14 PROSPECT STREET
CHARLESTOWN, MA

DATE: MAY 8, 2024 SCALE: 1.0 INCH = 10.0 FEET



LEGEND

- BOUND □
- IRON PIPE/IRON ROD ○
- DRILL HOLE ●
- BENCHMARK ⊕
- GAS VALVE ⊕
- HYDRANT ⊕
- WATER SHUTOFF ⊕
- WATER VALVE ⊕
- CATCH BASIN ⊕
- DRAIN MANHOLE ⊕
- SEWER MANHOLE ⊕
- ELECTRIC MANHOLE ⊕
- TELEPHONE MANHOLE ⊕
- SIGN ⊕
- LIGHT POLE ⊕
- UTILITY POLE ⊕
- DRAIN LINE — DRN —
- SEWER LINE — SWR —
- GAS LINE — GAS —
- WATER LINE — WTR —
- UNDERGROUND ELECTRIC LINE — UGE —
- CHAIN LINK FENCE — X — X —
- INVERT INV
- PVC PVC
- VITRIFIED CLAY VC
- REINFORCED CONCRETE PIPE RCP
- FOUND FND
- CONCRETE BOUND CB
- STONE BOUND SB

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF OCTOBER 19, 2017 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ARE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

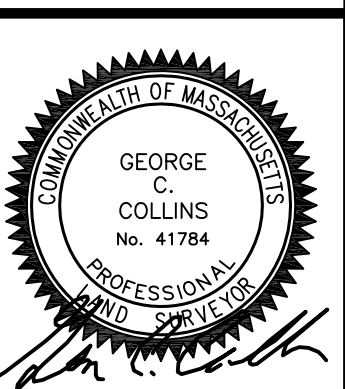
VERTICAL DATUM
 THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO BOSTON CITY BASE AND WERE DETERMINED FROM A RIM ELEVATION COMPILED FROM PLANS OBTAINED FROM BOSTON WATER AND SEWER COMMISSION.

BENCHMARK
 1) RIM OF DRAIN MANHOLE
 ELEVATION = 44.90'

UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE PRIOR TO ANY EXCAVATIONS.

FEMA
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE: X
 COMMUNITY PANEL: 25025C0018J
 EFFECTIVE DATE: 03/16/2016

FIELD: JH
 DRAFT: RAP, SAP
 CHECK: GCC
 DATE: 05/08/24
 JOB # 17-00576



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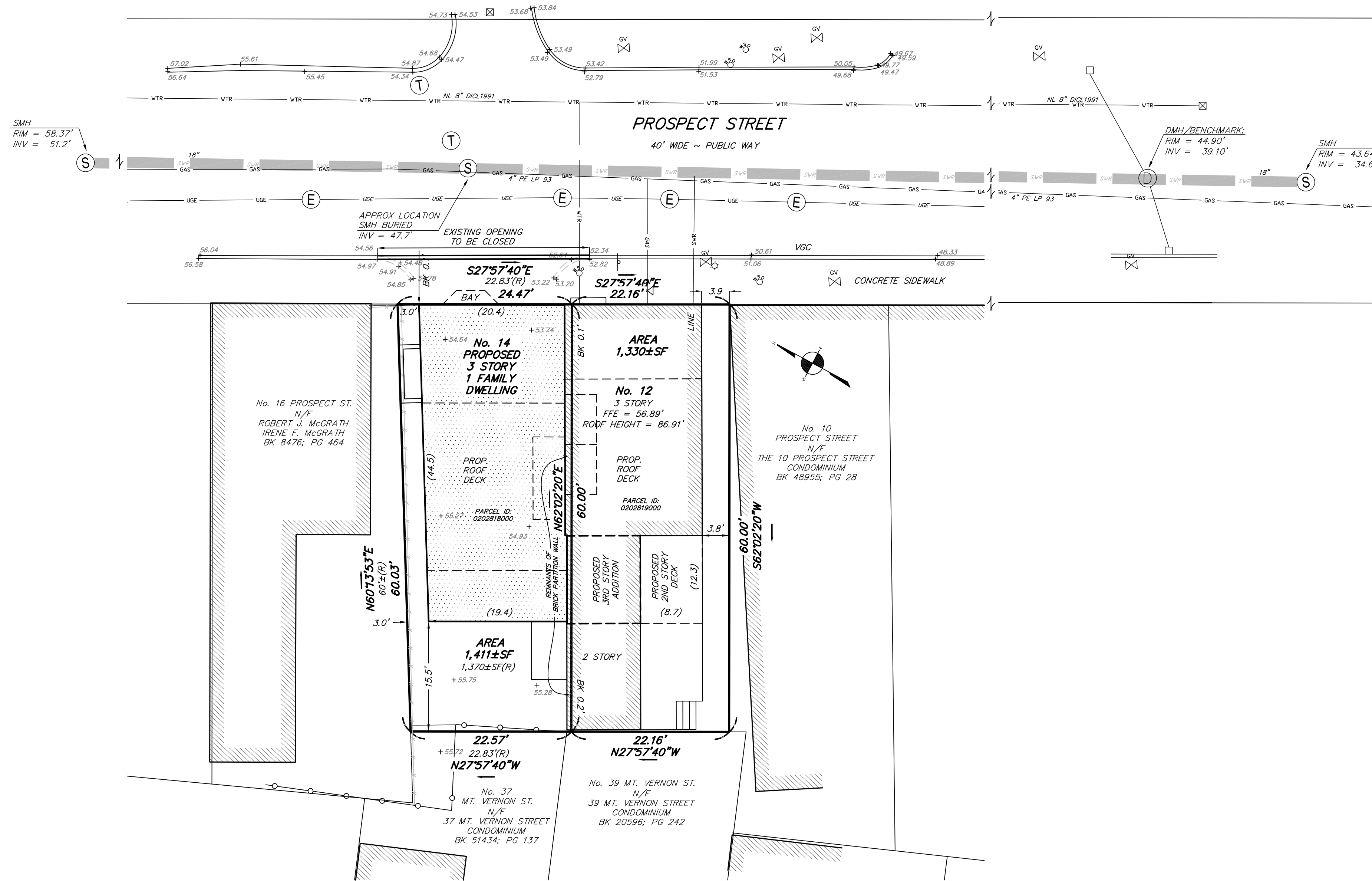
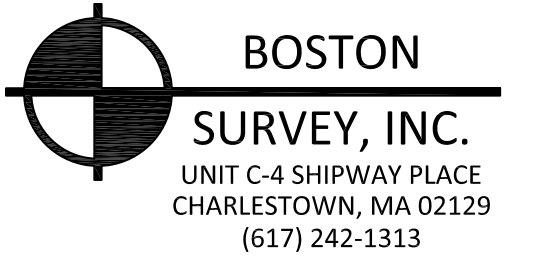
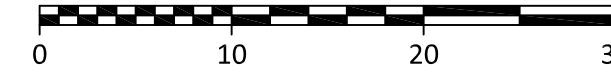
NOTES:
PARCEL ID: 0202819000 (#12)
0202818000 (#14)

MODAL SETBACK = 0.0' ON PROSPECT STREET

SITE PLAN OF LAND

LOCATED AT
12-14 PROSPECT STREET
CHARLESTOWN, MA

DATE: SEPTEMBER 19, 2024 SCALE: 1.0 INCH = 10.0 FEET



LEGEND

BOUND	□
IRON PIPE/IRON ROD	○
DRILL HOLE	●
BENCHMARK	⊕
GAS VALVE	⊗
HYDRANT	⊕
WATER SHUTOFF	⊕
WATER VALVE	⊕
CATCH BASIN	⊕
DRAIN MANHOLE	⊕
SEWER MANHOLE	⊕
ELECTRIC MANHOLE	⊕
TELEPHONE MANHOLE	⊕
SIGN	⊕
LIGHT POLE	⊕
UTILITY POLE	⊕
DRAIN LINE	— DRN —
SEWER LINE	— SWR —
GAS LINE	— GAS —
WATER LINE	— WTR —
UNDERGROUND ELECTRIC LINE	— UGE —
CHAIN LINK FENCE	— X X X —
INVERT	INV
PVC	PVC
VITRIFIED CLAY	VC
REINFORCED CONCRETE PIPE	RCP
FOUND	FND
CONCRETE BOUND	CB
STONE BOUND	SB

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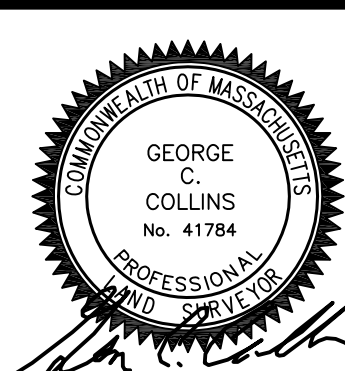
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FIELD:	JJH
DRAFT:	RAP, SAP
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DATE:	09/19/24
JOB #	17-00576



TWO-FAMILY RENOVATION & ADDITION

12 PROSPECT STREET, CHARLESTOWN, MASSACHUSETTS 02129



IMAGE FROM GOOGLE STREET VIEW

Location

TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129

ZONING SUMMARY

ZONING CODE ANALYSIS 12 PROSPECT ST.
 Governing Article: Article 62 Charlestown
 Subdistrict: 3F-2000, OS-UP

Use Regulations: Section Table	
Existing	Proposed
2 Family	2 Family

Dimensional Regulations: Table					
	Code Requirement		Existing Condition	Proposed Project	Notes
	Any Other Dwelling				
Lot Area Minimum	1,000 SF				
Min Lot Area for Additional Units	1,000 SF				
Total Required Lot Size	1,000 SF		1,330 SF	1,330 SF	
Min Required Lot Width and Frontage	20' / 20'		22.2' / 22.2'	22.2' / 22.2'	NO CHANGE
Max FAR	2.00		2.32	2.32	3,080 SF EX'G NO CHANGE
Max Building Height / Stories	3 STORIES / 35'		3 STORIES / 34.8'	3 STORIES / 34.8'	NO CHANGE
Usable Open Space	433 SF / DU		172 SF / DU	229 SF / DU	343 SF YARD & 114 SF ROOF DECK
Min Front Yard	MODAL / 0'		0'	0'	NO CHANGE
Min Side Yard	2.5'		0' / 3.9'	0' / 3.9'	
Min Rear Yard	15'		2'	2'	62-30.10
Max Use of Rear Yard	25%				

Overlays:
NDOD
Parks Design Review

Parking:
EX'G PARK'G - 0 SPACES
REQ'D PARK'G - 0 SPACES (G2.29.2)
PROP PARK'G - 0 SPACES

Other Non-Dimensional Zoning Issues:

Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 Fax 617-786-7715

No.	Description	Date

Project No: 2024109
 Scale: AS NOTED
 Date: 10-10-2024
 Drawn By: DF

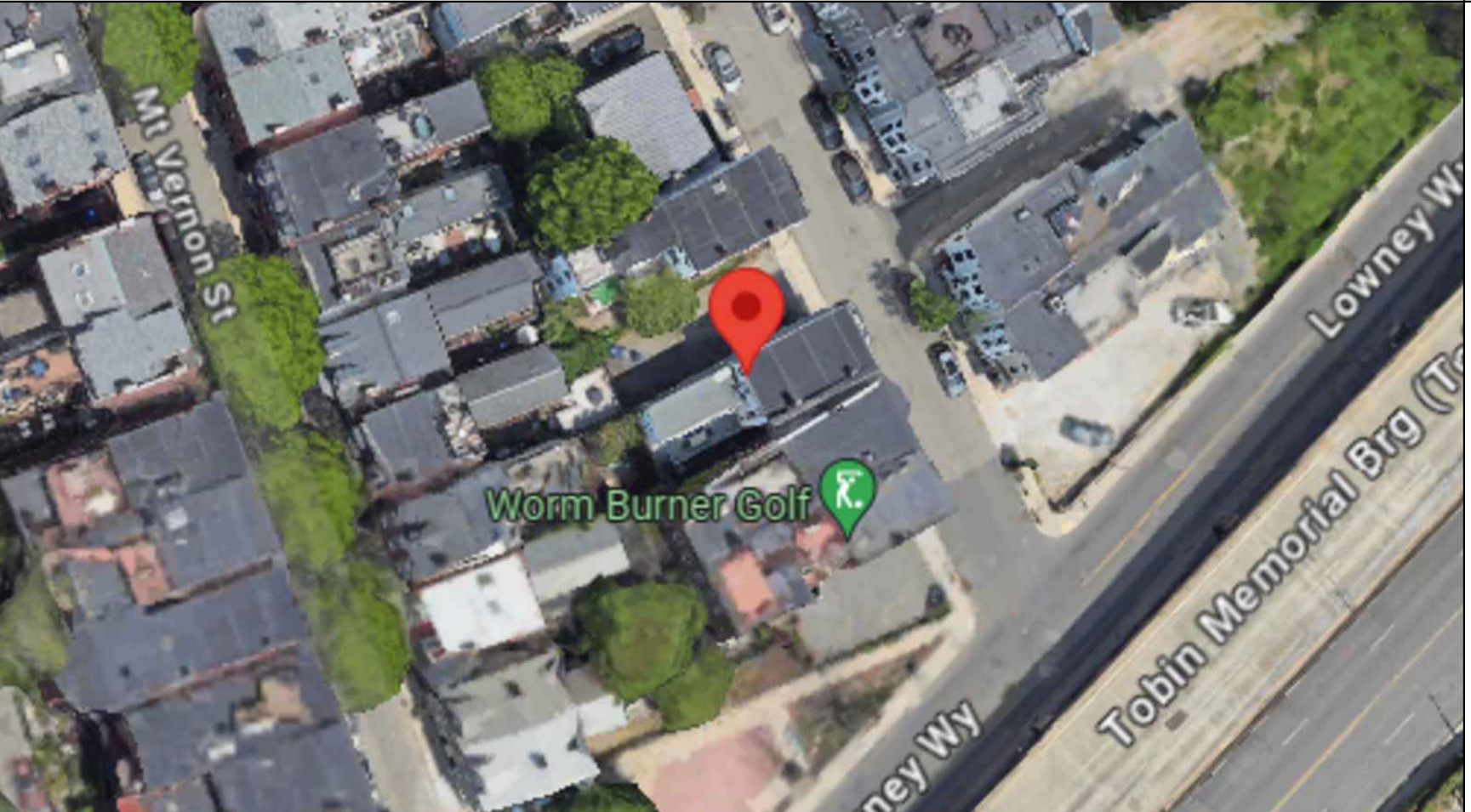
Drawing Name
COVER SHEET

Sheet No.
CS

BPDA ZONING VIEWER



GOOGLE MAPS



KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- 1 HOUR WALL
- FAN
- 45 MIN. DOOR
- WINDOW TYPE
- 1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
- NEW WALL
- EX'G WALL TO REMAIN
- WALL TO BE REMOVED

CODE SUMMARY

PROPOSED TYPE 5B CONSTRUCTION
 PROPOSED R-3 USE GROUP (SINGLE-FAMILY)
 PROPOSED 3 STORIES & BASEMENT

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY- CONTRACTOR IS SOLELY RESPONSIBLE FOR:

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

FOUNDATION NOTES:

- ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
- ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
- NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 5 DAYS AFTER THEY WERE POURED.
- THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
- LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
- ALL REINFORCEMENT: ASTM A615-60, WWF A185.

CONCRETE NOTES:

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
- **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
- MAXIMUM SLUMP SHALL NOT EXCEED 3", AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - FOOTINGS 3 INCHES
 - SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES
 - INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
 - TOP STEEL OF INTERIOR SLABS 1 INCHES
- MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT
- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT
WITH SNOW DRIFT
WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR
SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD Lintel SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DEMO NOTES

- DEMOLITION CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES. CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION BEFORE STARTING DEMOLITION.
- ALL EXISTING UNUSED WALL PENETRATIONS IN INTERIOR AND EXTERIOR WALLS ALONG WITH PENETRATIONS LEFT AFTER SELECTIVE DEMOLITION ACTIVITIES SHALL BE INFILLED TO MATCH ADJACENT WALL FINISHES AND THICKNESS AS DIRECTED.
- MAINTAIN CLEAR EXIT PATHS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED DURING DEMOLITION.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC.. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.
- ALL STRUCTURAL FLOOR SHOULD BE REMOVE AND REPLACE ONE FLOOR AT A TIME.
- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING THAT ARE NOT AFFECTED BY THE DEMOLITION.
- ALL WORK WILL BE PERFORMED IN THE BEST WORKMANSHIP POSSIBLE IN ACCORDANCE WITH THAT TRADE'S BEST INDUSTRY STANDARDS.
- G.C. TO MAINTAINING FIRE SEPARATION BETWEEN ATTACHED BUILDING.

EXTERIOR:

- REMOVE ALL WINDOWS, SKYLIGHTS, AND DOORS SHOWN DASHED.
- REMOVE ALL EXISTING ROOFING MATERIALS. EXISTING FLASHING TO REMAIN WERE POSSIBLE.
- REMOVE ALL ROOF PENETRATION ELEMENTS. PROVIDE TEMPORARY UNIT AS NEEDED WITH COMMON ELEMENTS.
- REMOVE EXISTING REAR WALLS SHOWN DASHED, INCLUDING ALL MECHANICAL, ELECTRICAL AND PLUMBING ITEMS THERE IN. PROVIDE TEMPORARY SUPPORT AS NEEDED.

INTERIOR:

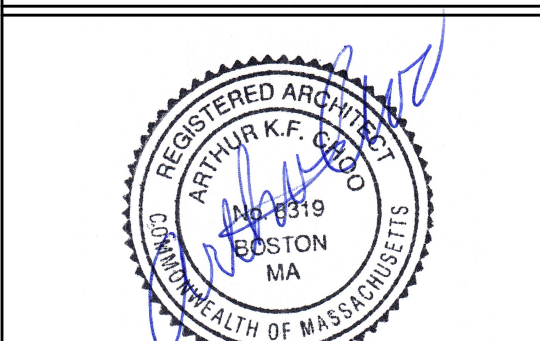
- REMOVE ALL EXISTING NON-LOAD BEARING WALLS, DOORS, AND PARTITIONS SHOWN DASHED, INCLUDING ALL MECHANICAL, ELECTRICAL AND PLUMBING ITEMS THERE IN.
 - REMOVE EXISTING MEZZANINE STAIR.
 - EXISTING MEZZANINE TO BE REMOVED OVER KITCHEN AND BACK TO THE STEP UP AT THE ENTRY WALL.
 - REMOVE ALL FLOOR AND CEILING FINISHES BACK TO SUBSTRATE.
 - CONTRACTOR RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF APPLIANCES AND PLUMBING FIXTURES, ACCESSORIES AND ASSOCIATED HARDWARE.
 - CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF ALL CEILINGS, FURRING STRIPS AND FASTENERS DOWN TO EXPOSED STRUCTURE AT EXISTING PITCHED ROOF AREA.
 - G.C. IS RESPONSIBLE FOR PATCHING AND FINISHING ANY REMAINING WALLS. G.C. IS RESPONSIBLE TO MAINTAIN FIRE WALL & SEPARATION AND PATCH ANY OPENINGS OR GAPS IN KIND AFFECTED BY THE DEMOLITION TO MATCH EXISTING EXACTLY OR PER INTERIOR SPECS.
 - G.C. SHALL BE FULLY RESPONSIBLE FOR PROTECTING ALL EXISTING SURFACES AND ITEMS TO REMAIN, TYPICAL THROUGHOUT.
 - COORDINATE ALL DEMOLITION WITH STRUCTURAL DRAWINGS. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - GC IS RESPONSIBLE FOR PROVIDING DEMOLITION ENGINEERING IF REQUIRED.
 - EXISTING INTERIOR PARTITIONS ARE ASSUMED 2x4 WOOD STUDS WITH PLASTER OR GWB FINISH.
 - REMOVE AND PROPERLY DISPOSE OF ALL BASE TRIM, WAINSCOTING, CASING, AND MOLDING UNLESS OTHERWISE NOTED.
- #### MEP NOTES
- G.C. IS RESPONSIBLE FOR THE REMOVAL OF ALL PLUMBING FIXTURES.
 - G.C. IS RESPONSIBLE FOR KEEPING AND CAPPING OFF ANY PIPING WITHIN WALLS NOT BEING DEMOLISHED.
 - G.C. TO COORDINATE CAREFUL REMOVAL OF EXISTING LIGHTING WITH NEW LIGHTING PLANS.
 - G.C. TO MAKE OBSOLETE ALL EXISTING KNOB AND TUBE WIRING (IF APPLICABLE) . REMOVE WHERE DEMOLITION ALLOWS.
 - G.C. IS RESPONSIBLE FOR CAPPING ANY GAS OR ELECTRICAL LINES.

Location

**TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

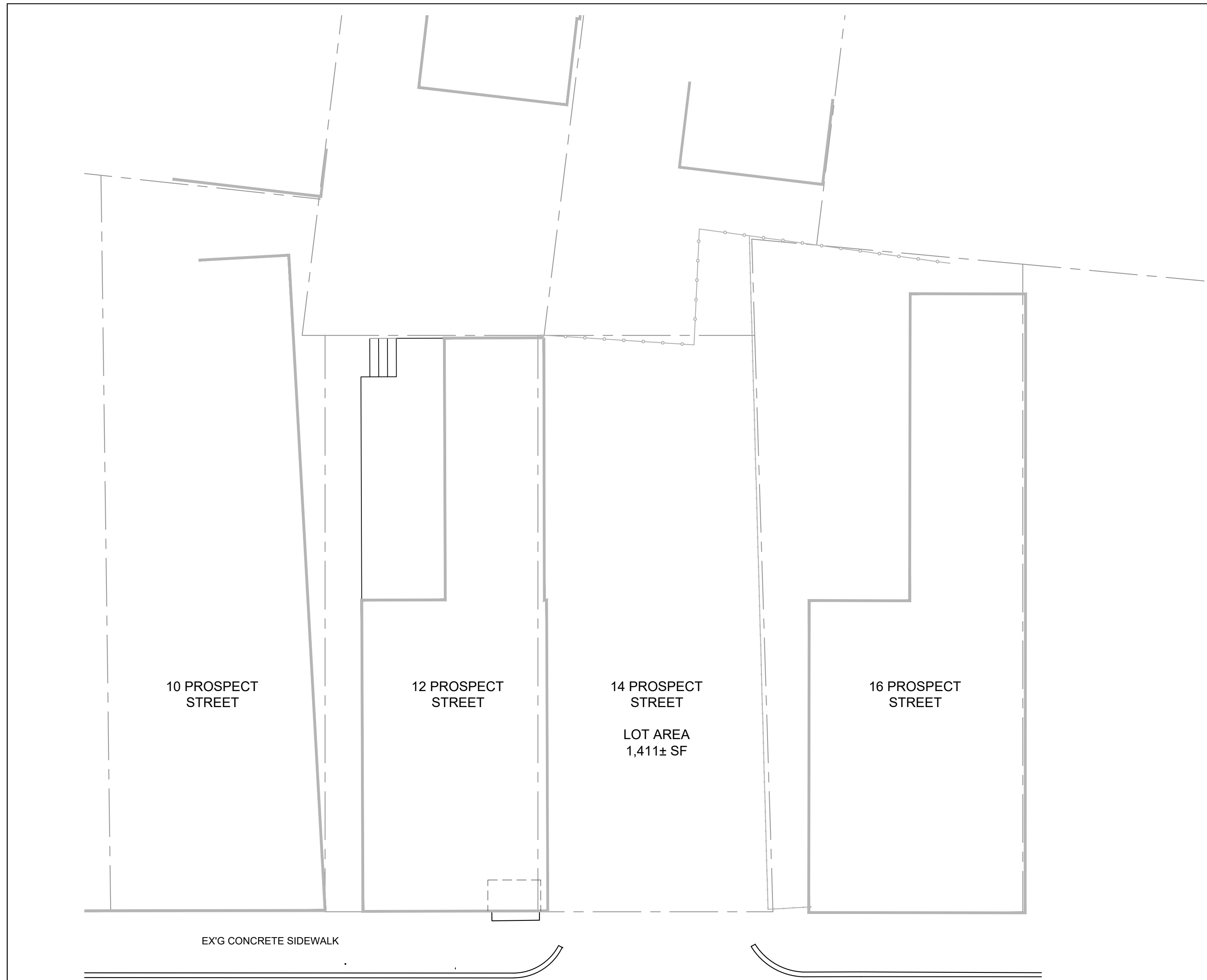
Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

Drawing Name

**GENERAL
NOTES**

Sheet No.

A-0.1



PROSPECT STREET

1 EXISTING LANDSCAPE PLAN
1/4" = 1'-0"



PROSPECT STREET

2 PROPOSED LANDSCAPE PLAN
1/4" = 1'-0"

THIS DRAWING WAS PRODUCED FROM A UNDERLAY UTILITY SITE PLAN DATED 05/08/24 PREPARED BY BOSTON SURVEY INC., UNIT C-4 SHIPWAY PLACE, CHARLESTOWN, MA 02129.

Location
TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129



No.	Description	Date

Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

Drawing Name
PROPOSED LANDSCAPE PLAN

Sheet No.
L-1.0

DEMOLITION KEYNOTES

- D1 PORTION OF (E) WALL TO BE REMOVED FOR NEW OPENING
- D2 EXIST. INTERIOR WALL TO BE REMOVED
- D3 EXIST. DOOR / FRAMES TO BE REMOVED
- D4 EXIST CASEWORK TO BE REMOVED
- D5 EXIST. LAVATORY COUNTER TO BE REMOVED
- D6 EXIST. FLOORING TO BE REMOVED
- D7 EXIST. PLUMBING FIXTURE TO BE REMOVED
- D8 EXIST. EQUIPMENT TO BE REMOVED
- D9 EXIST. WINDOW TO BE REMOVED
- D10 CUT OUT NEW OPENING, PREP AREA FOR NEW WINDOW OR DOOR CONSTRUCTION
- D11 REMOVE (E) WOOD STAIR, PREP ARE FOR NEW CONSTRUCTION
- D12 REMOVE (E) WINDOW AND INFILL WITH MATCHING MATERIALS
- D13 REMOVE EXISTING ROOF, PREP AREA FOR NEW CONSTRUCTION
- D14 REMOVE EXISTING FINISH SIDING, PREP AREA FOR NEW CONSTRUCTION
- D15 REMOVE EXISTING CHIMNEY

DEMOLITION GENERAL NOTES:

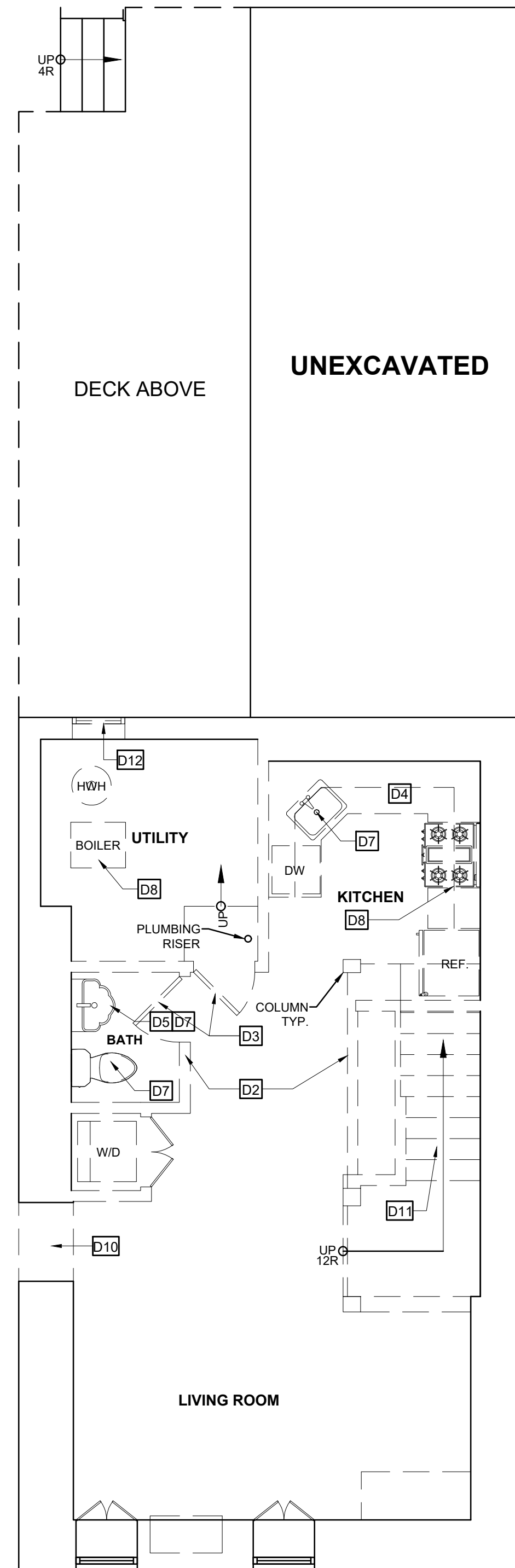
1. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER IF MATERIALS CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED
2. CONFORM APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL AND DISPOSAL OF MATERIALS
3. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS
4. DEMOLISH EXISTING WORK IN AN ORDERLY AND CAREFUL MANNER AS REQ'D TO ACCOMMODATE NEW WORK, PREVENT MOVEMENT OR SETTLEMENT OF STRUCT. PROVIDE BRACING AND / OR SHORING AS REQUIRED TO MAINTAIN SAFETY
5. COORDINATE ALL DEMOLITION WORK WITH OWNER AS NECESSARY
6. GENERAL CONTRACTOR TO NOTIFY OWNER REPRESENTATIVE AND ARCHITECT OF ANY DISCREPANCIES OR IRREGULARITIES DISCOVERED DURING CONSTRUCTION
7. CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING (E) FLOOR SLAB AND WALLS AFTER COMPLETION OF DEMOLITION AND PRIOR TO THE COMMENCEMENT OF NEW CONSTRUCTION
8. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING AND INTEGRITY OF EXISTING WALLS AND CEILING
9. DEMOLITION CONTRACTOR SHALL REMOVE ALL (E) FLOOR COVERING AND/OR FINISHES, UNDERLAYMENT, GLUE AND ANY OTHER ADHESIVE AND SHALL PREPARE THE FLOOR SLAB FOR THE NEW FLOOR FINISHES OR COVERINGS AS SPECIFIED BY MANUFACTURER
10. DEMOLITION CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING DEMOTION WORK WITH PLANS PRIOR TO THE COMMENCEMENT OF ANY WORK AND COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS AS NECESSARY
11. CONTRACTOR TO COORDINATE THE REMOVAL, DISCONNECTION AND /OR CAPPING OF ANY UTILITIES WITH OWNER AS NECESSARY. ALL UNDER-SLAB UTILITY LINES TO BE CUT, CAPPED AND SEALED PER STATE AND LOCAL CODES
12. REMOVAL AND CAPPING OF PLUMBING FIXTURES TO BE COORDINATED PER PLAN AND WITH GENERAL CONTRACTOR TO MAINTAIN REQUIRED MINIMUM USAGE DURING CONSTRUCTION (WHEN APPLICABLE)

NOTE:ENERGY CODE COMPLIANCE

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERS RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

GENERAL NOTES - NOTE: GC TO COORD. R. VALUES W/ HERS REPORT

1. PROVIDE R-30 INSULATION IN ALL FLOOR JOIST CAVITIES.
2. PROVIDE R-38.5 INSULATION IN ALL NEW EXTERIOR WALL CAVITIES.
3. PROVIDE R-60 INSULATION IN ALL ROOF JOIST CAVITIES, TYPICAL.
4. PROVIDE R-19 INSULATION IN BASEMENT WALL EXTERIOR STUD WALL CAVITIES.
5. PROVIDE R-10 INSULATION UNDER SLAB
6. PROVIDE R-15 CI IN NEW CRAWL SPACE WALLS.

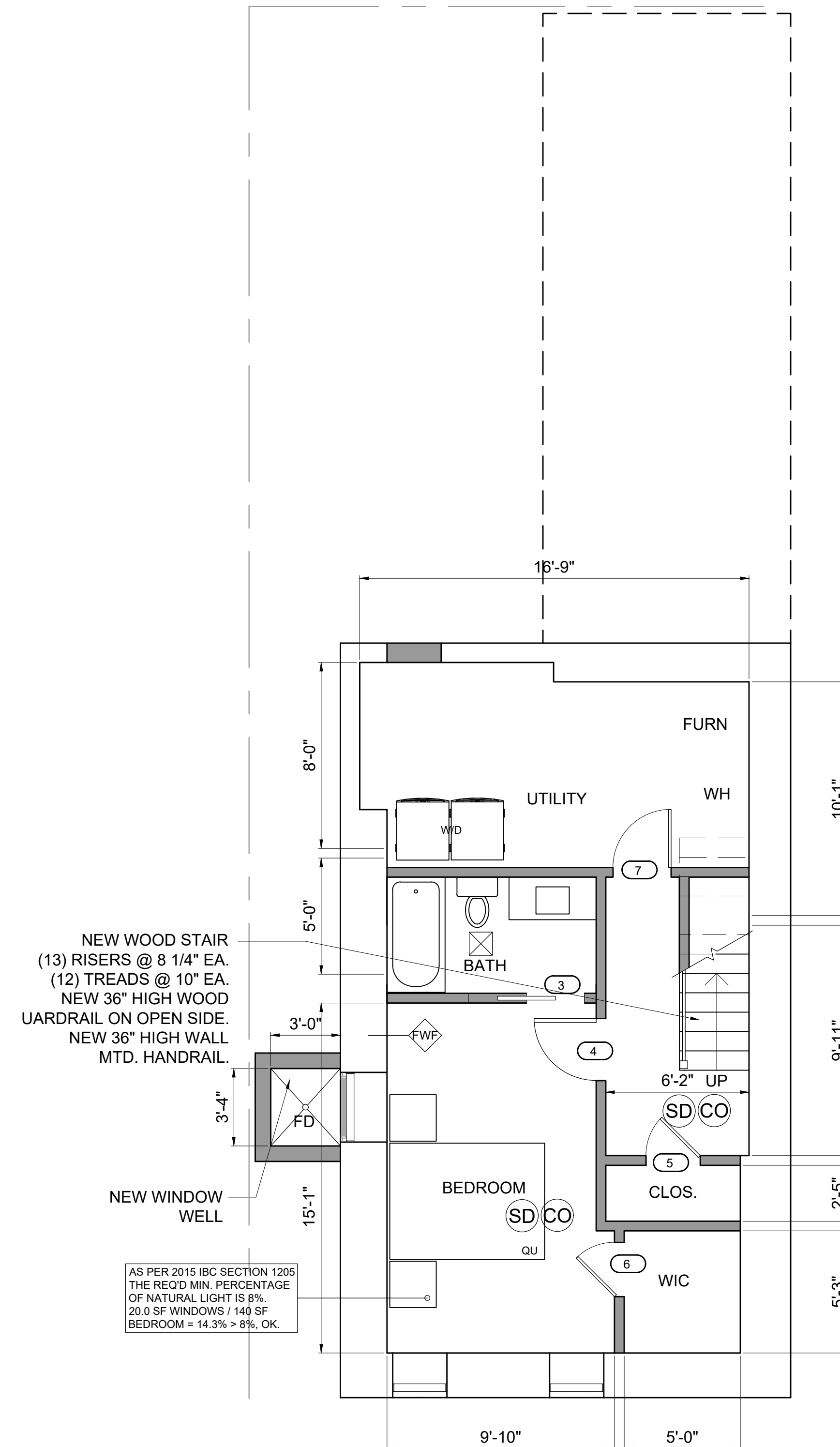


PROSPECT STREET

1

EXISTING BASEMENT FLOOR PLAN - 629 GSF

1/4" = 1'-0"



PROSPECT STREET

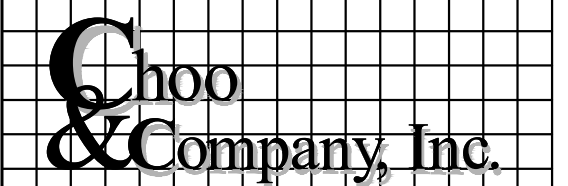
2

PROPOSED BASEMENT FLOOR PLAN - 458 GSF

1/4" = 1'-0"

Location

TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



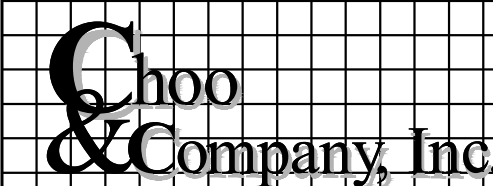
No.	Description	Date

Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

Drawing Name
EXISTING & PROPOSED BASEMENT FLOOR PLANS

Sheet No.
A-1.0

TWO-FAMILY RENOVATION & ADDITION 12 PROSPECT STREET CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

Project No: 2024109
 Scale: AS NOTED
 Date: 10-10-2024
 Drawn By: DF

EXISTING & PROPOSED FIRST FLOOR PLANS

Sheet No.

A-1.1

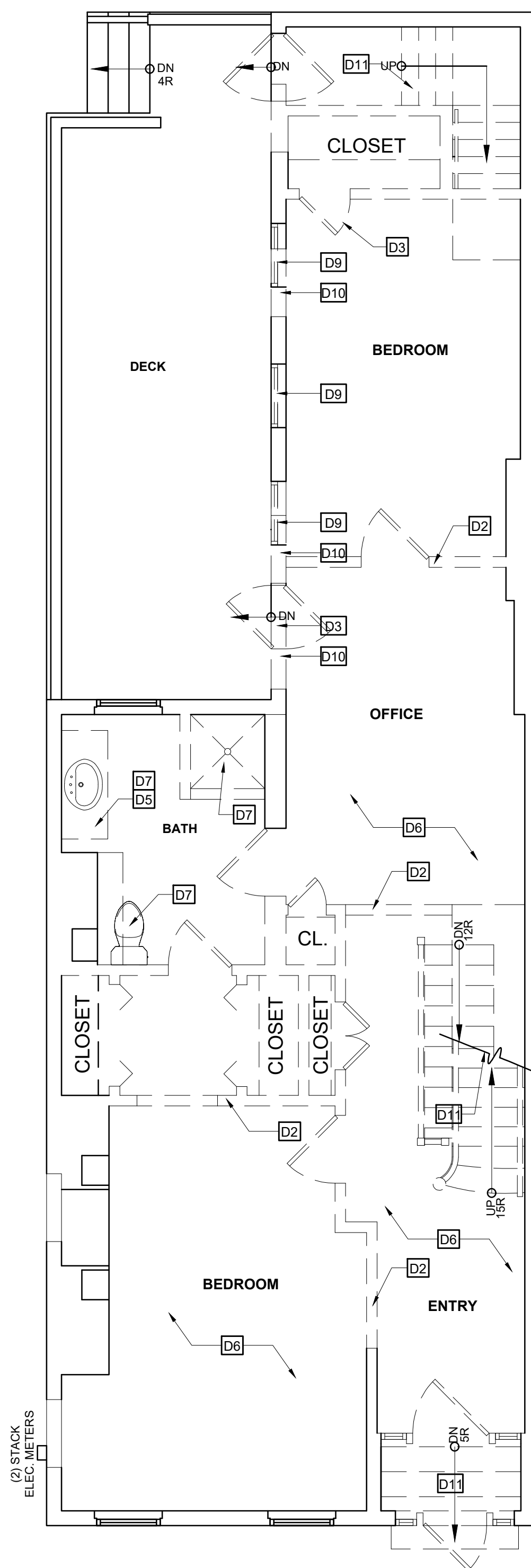
DEMOLITION KEYNOTES

- D1 PORTION OF (E) WALL TO BE REMOVED FOR NEW OPENING
- D2 EXIST. INTERIOR WALL TO BE REMOVED
- D3 EXIST. DOOR / FRAMES TO BE REMOVED
- D4 EXIST CASEWORK TO BE REMOVED
- D5 EXIST. LAVATORY COUNTER TO BE REMOVED
- D6 EXIST. FLOORING TO BE REMOVED
- D7 EXIST. PLUMBING FIXTURE TO BE REMOVED
- D8 EXIST. EQUIPMENT TO BE REMOVED
- D9 EXIST. WINDOW TO BE REMOVED
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- D13 REMOVE EXISTING ROOF, PREP AREA FOR NEW CONSTRUCTION
- D14 REMOVE EXISTING FINISH SIDING, PREP AREA FOR NEW CONSTRUCTION
- D15 REMOVE EXISTING CHIMNEY

NOTE: ENERGY CODE COMPLIANCE

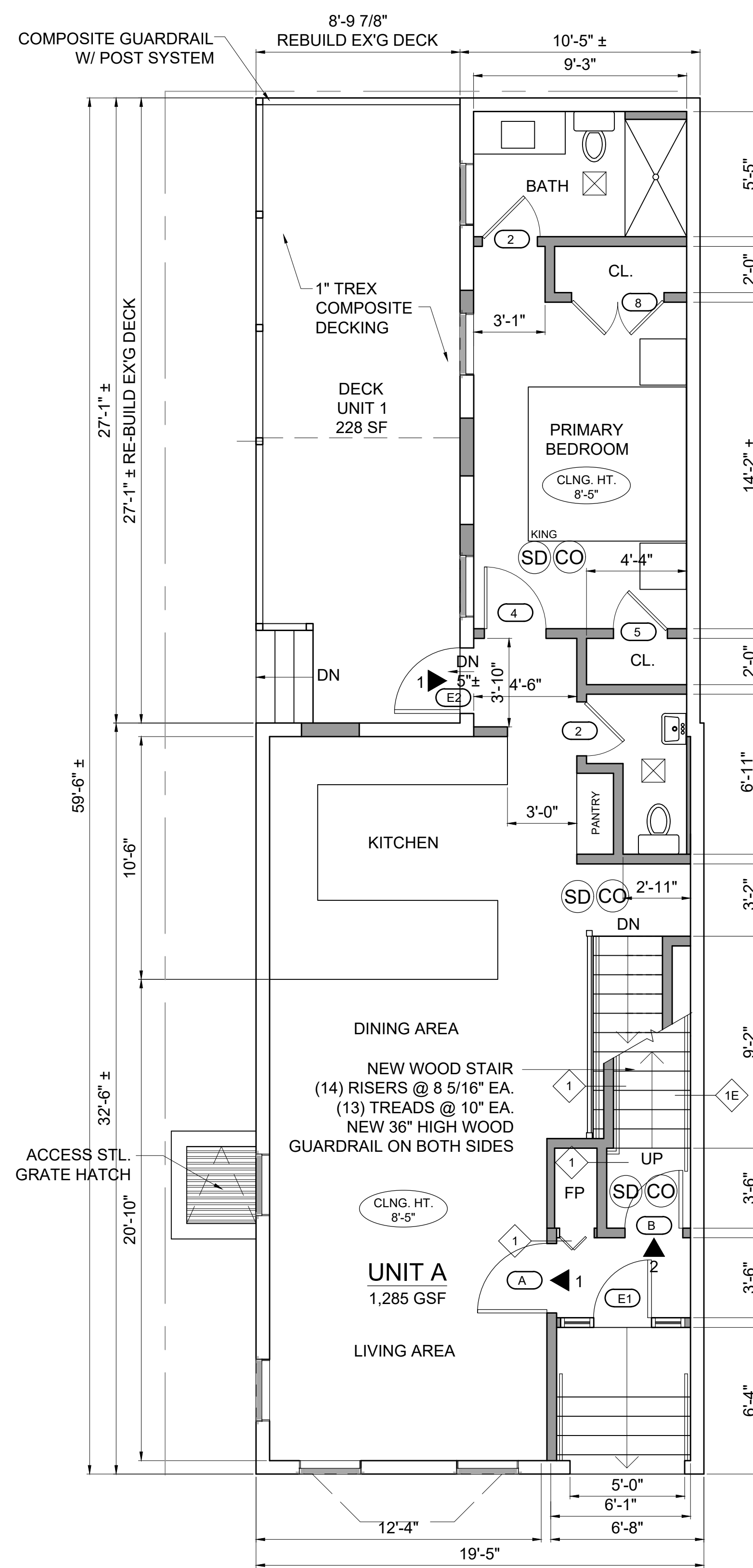
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERs RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

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 - 2. PROVIDE R-38.5 INSULATION IN ALL NEW EXTERIOR WALL CAVITIES.
 - 3. PROVIDE R-60 INSULATION IN ALL ROOF JOIST CAVITIES, TYPICAL.
 - 4. PROVIDE R-19 INSULATION IN BASEMENT WALL EXTERIOR STUD WALL CAVITIES.
 - 5. PROVIDE R-10 INSULATION UNDER SLAB
 - 6. PROVIDE R-15 CI IN NEW CRAWL SPACE WALLS.



PROSPECT STREET

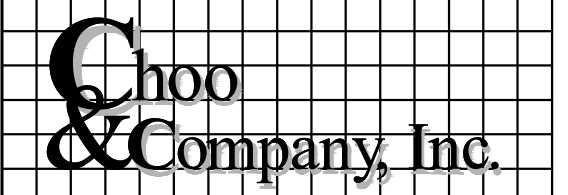
1 EXISTING FIRST FLOOR PLAN - 910 GSF
 1/4" = 1'-0"



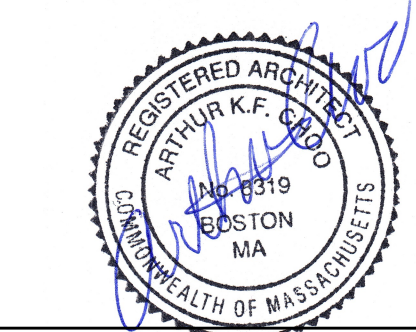
PROSPECT STREET

2 PROPOSED FIRST FLOOR PLAN - 869 GSF
 1/4" = 1'-0"

**TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129**



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

Project No: 2024109
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Drawing Name

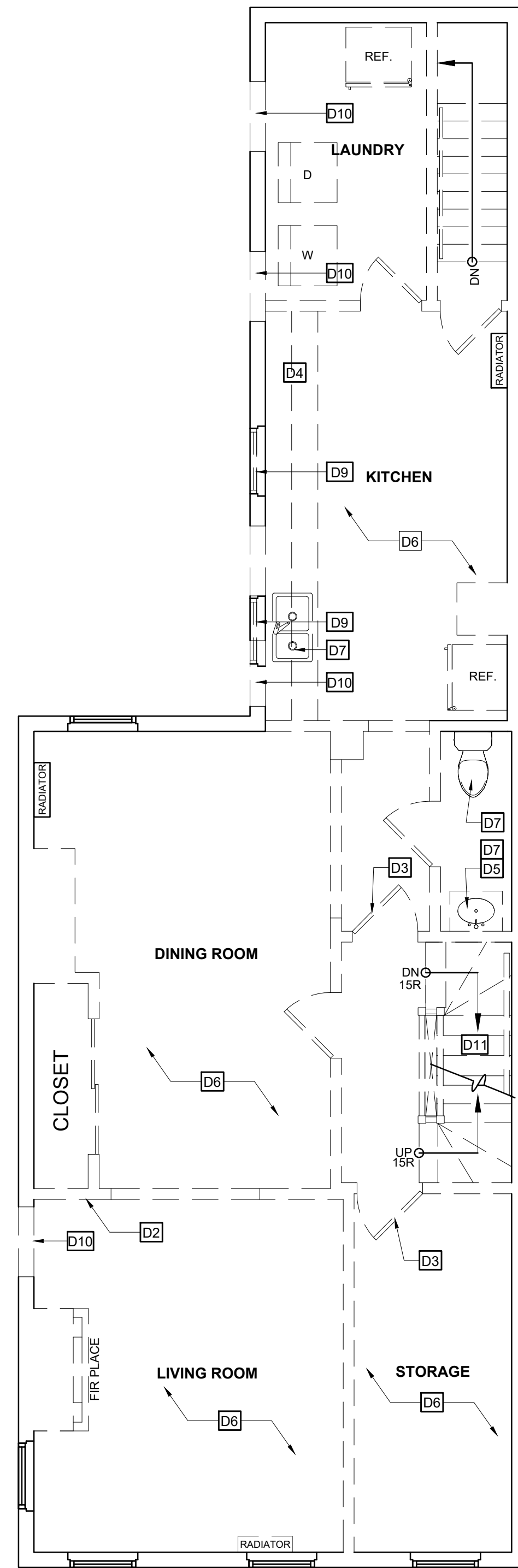
**EXISTING & PROPOSED
SECOND FLOOR
PLANS**

Sheet No.

A-1.2

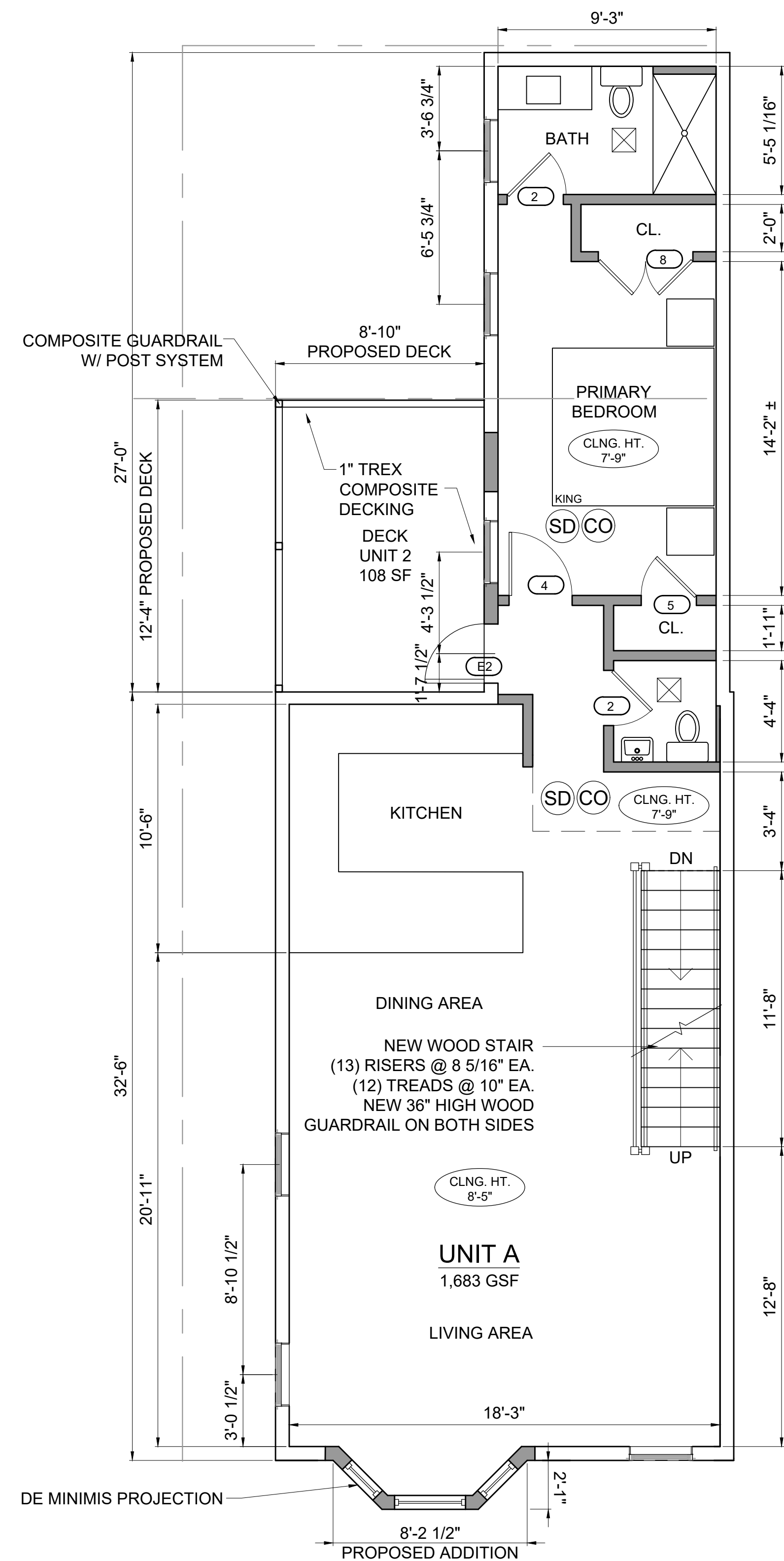
DEMOLITION KEYNOTES

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- D14 REMOVE EXISTING FINISH SIDING, PREP AREA FOR NEW CONSTRUCTION
- D15 REMOVE EXISTING CHIMNEY



PROSPECT STREET

1 EXISTING SECOND FLOOR PLAN - 910 GSF
1/4" = 1'-0"



PROSPECT STREET

2 PROPOSED SECOND FLOOR PLAN - 910 GSF
1/4" = 1'-0"

NOTE:ENERGY CODE COMPLIANCE

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- 5. PROVIDE R-10 INSULATION UNDER SLAB
- 6. PROVIDE R-15 CI IN NEW CRAWL SPACE WALLS.

TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

EXISTING & PROPOSED
THIRD FLOOR
PLANS

Sheet No.

A-1.3

DEMOLITION KEYNOTES

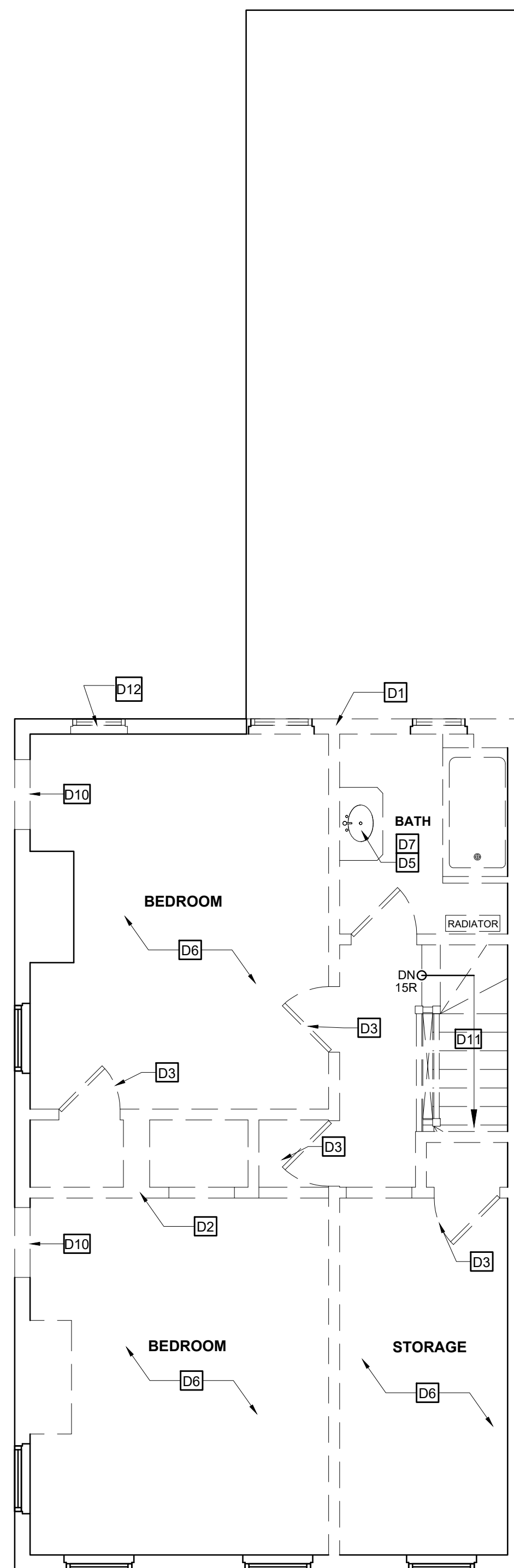
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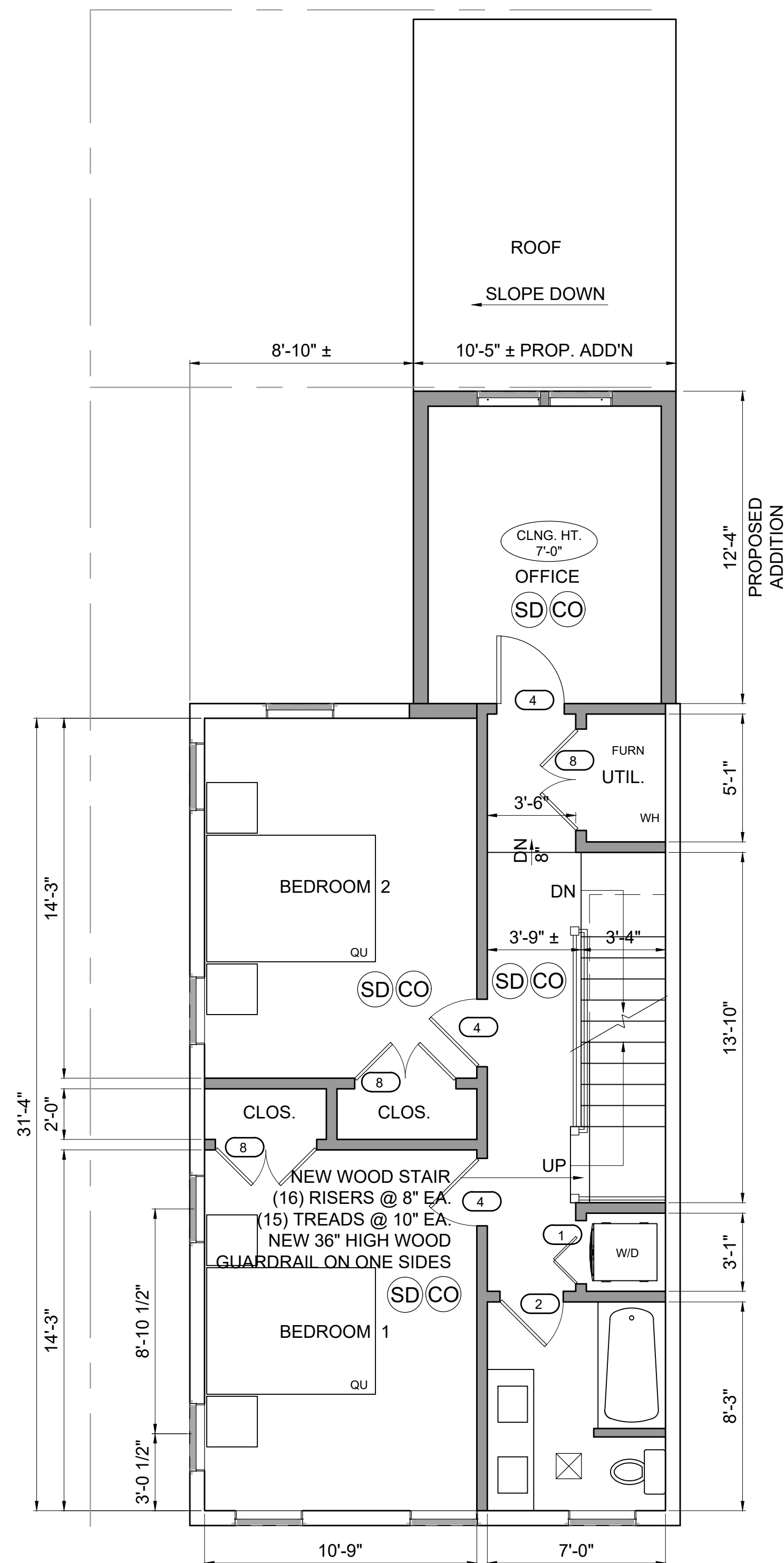
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PROSPECT STREET

1 EXISTING THIRD FLOOR PLAN - 629 GSF
1/4" = 1'-0"



PROSPECT STREET

2 PROPOSED THIRD FLOOR PLAN - 757 GSF
1/4" = 1'-0"

DEMOLITION KEYNOTES

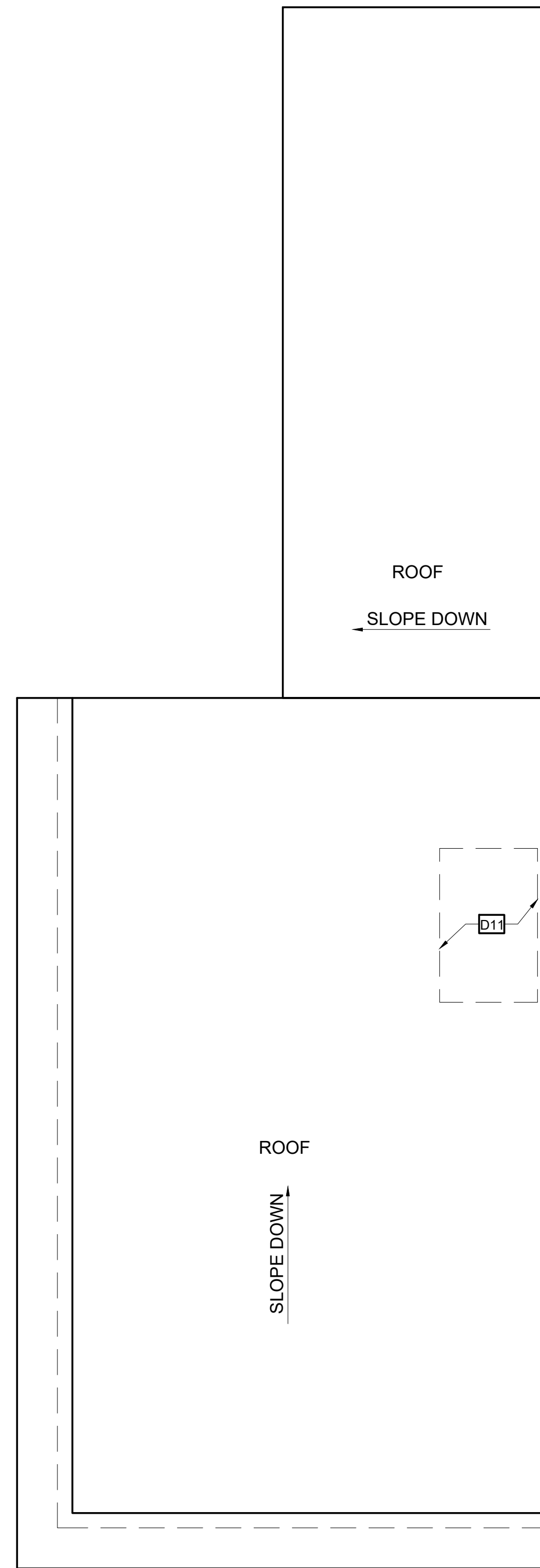
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NOTE: ENERGY CODE COMPLIANCE

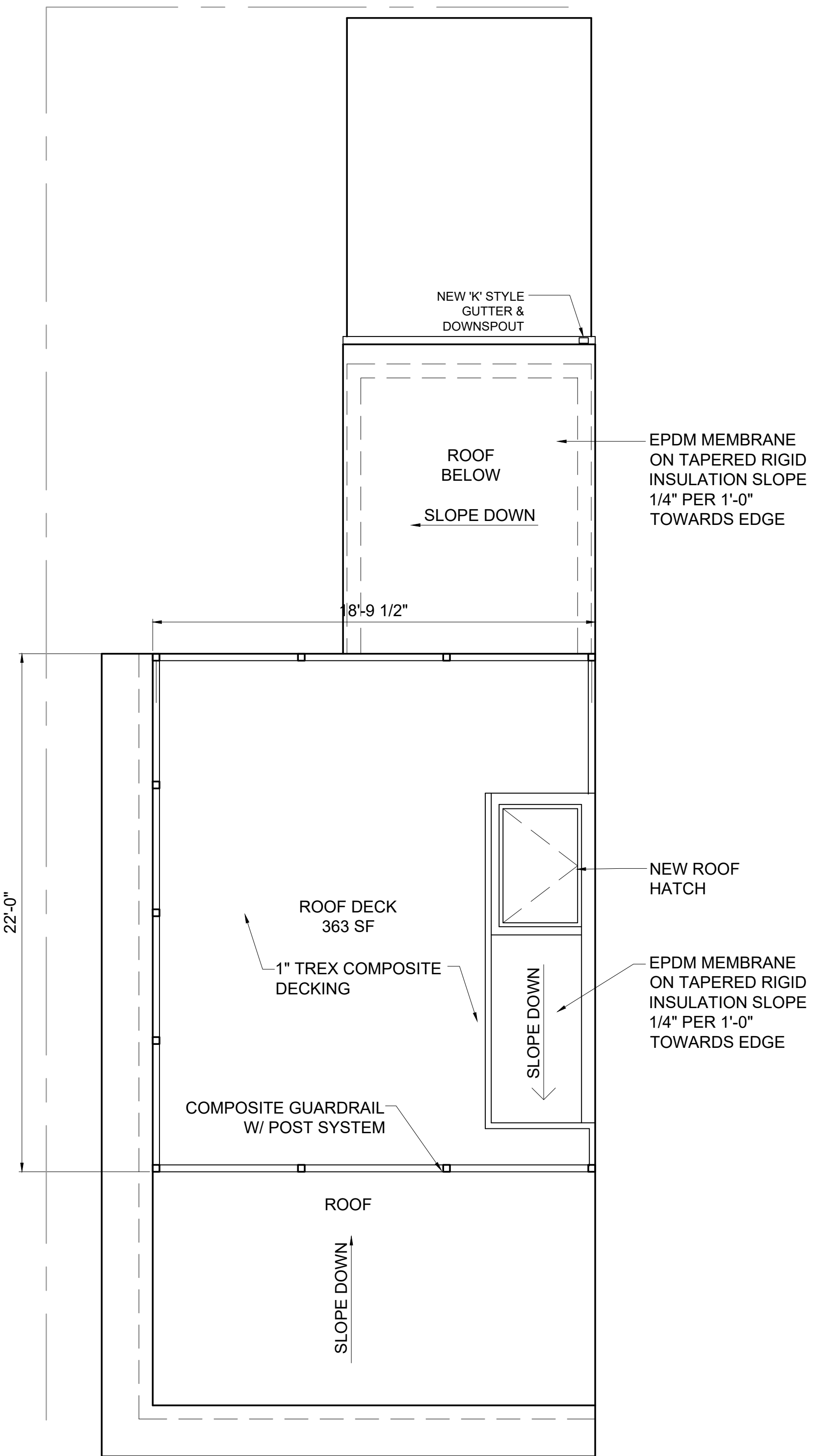
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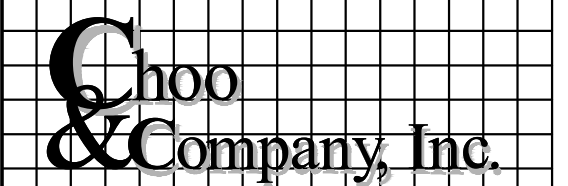
1 EXISTING ROOF PLAN
1/4" = 1'-0"



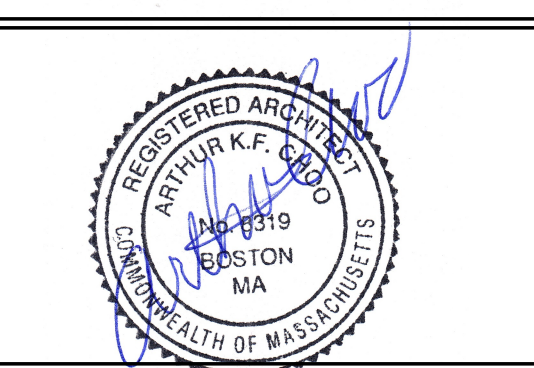
2 PROPOSED ROOF PLAN
1/4" = 1'-0"

Location

**TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129**



One Billings Road Quincy, MA 02171
617-786-7727 Fax 617-786-7715



No.	Description	Date

Project No: 2024109
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Drawn By: DF

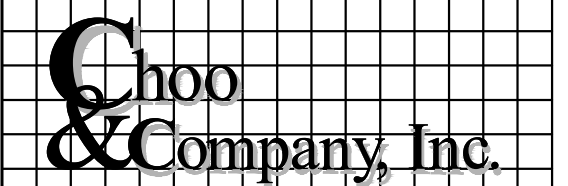
Drawing Name
EXISTING & PROPOSED ROOF PLANS

Sheet No.

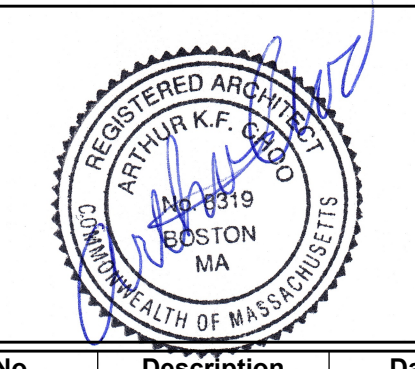
A-1.4

Location

TWO-FAMILY RENOVATION & ADDITION 12 PROSPECT STREET CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

Project No: 2024109
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Drawing Name

EXISTING/DEMO & PROPOSED FRONT ELEVATIONS

Sheet No.

A-2.1

- GENERAL EXTERIOR FINISH NOTES:**
1. THERE CAN BE NO EXPOSED PRESSURE TREATED WOOD (PT). ALL PT MEMBERS NEED TO BE CLAD W/ 1x TRIM.
 2. TRIM MATERIAL IS TO BE EITHER FIBER CEMENT OR POLY-ASH (BORAL) TRIM PRODUCT. AZEK & VINYL IS NOT ALLOWED.
 3. THE EXPOSED CONCRETE FOUNDATION IS TO HAVE A PORTLAND CEMENT STUCCO FINISH, (TRADITIONAL HARD-COAT EXTERIOR SYSTEM). EIFS (SYNTHETIC STUCCO) IS NOT PERMITTED.



1 EXISTING/DEMO FRONT ELEVATION
1/4" = 1'-0"

2 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



Location

**TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.F. CHOO
No. 8319
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Description	Date

Project No: 2024109
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Drawing Name

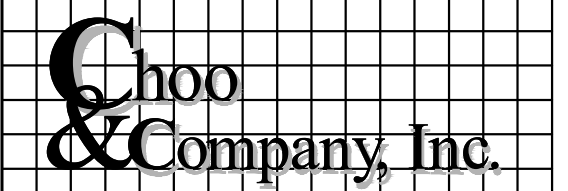
**EXISTING/DEMO
& PROPOSED
LEFT SIDE
ELEVATIONS**

Sheet No.

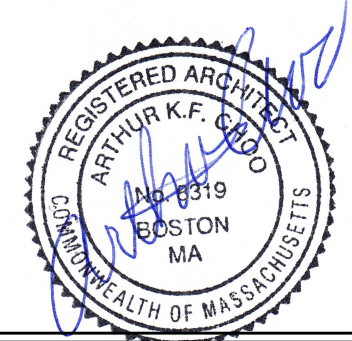
A-2.2

Location

TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129



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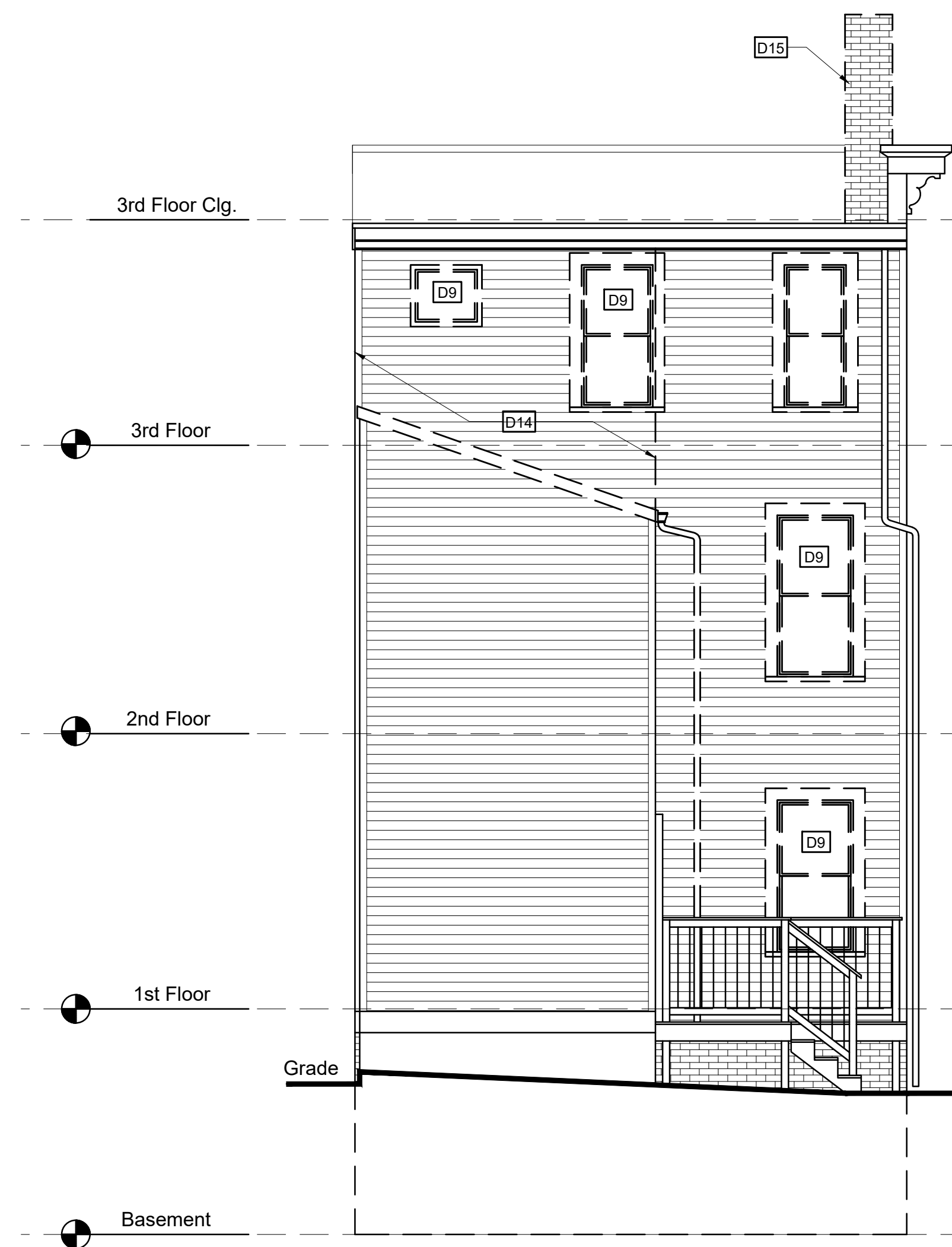


No.	Description	Date

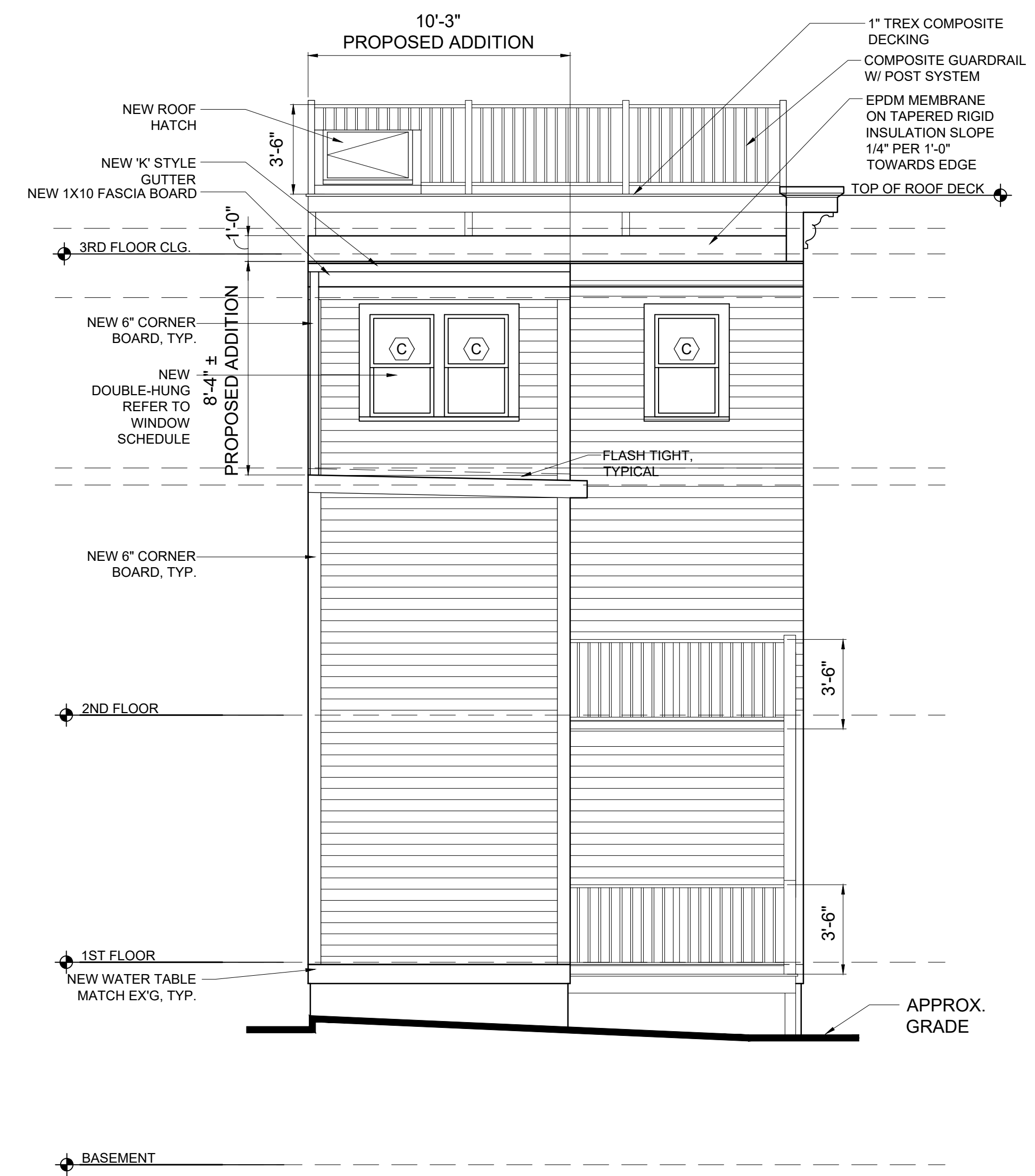
Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

Drawing Name
**EXISTING/DEMO
& PROPOSED
REAR
ELEVATIONS**

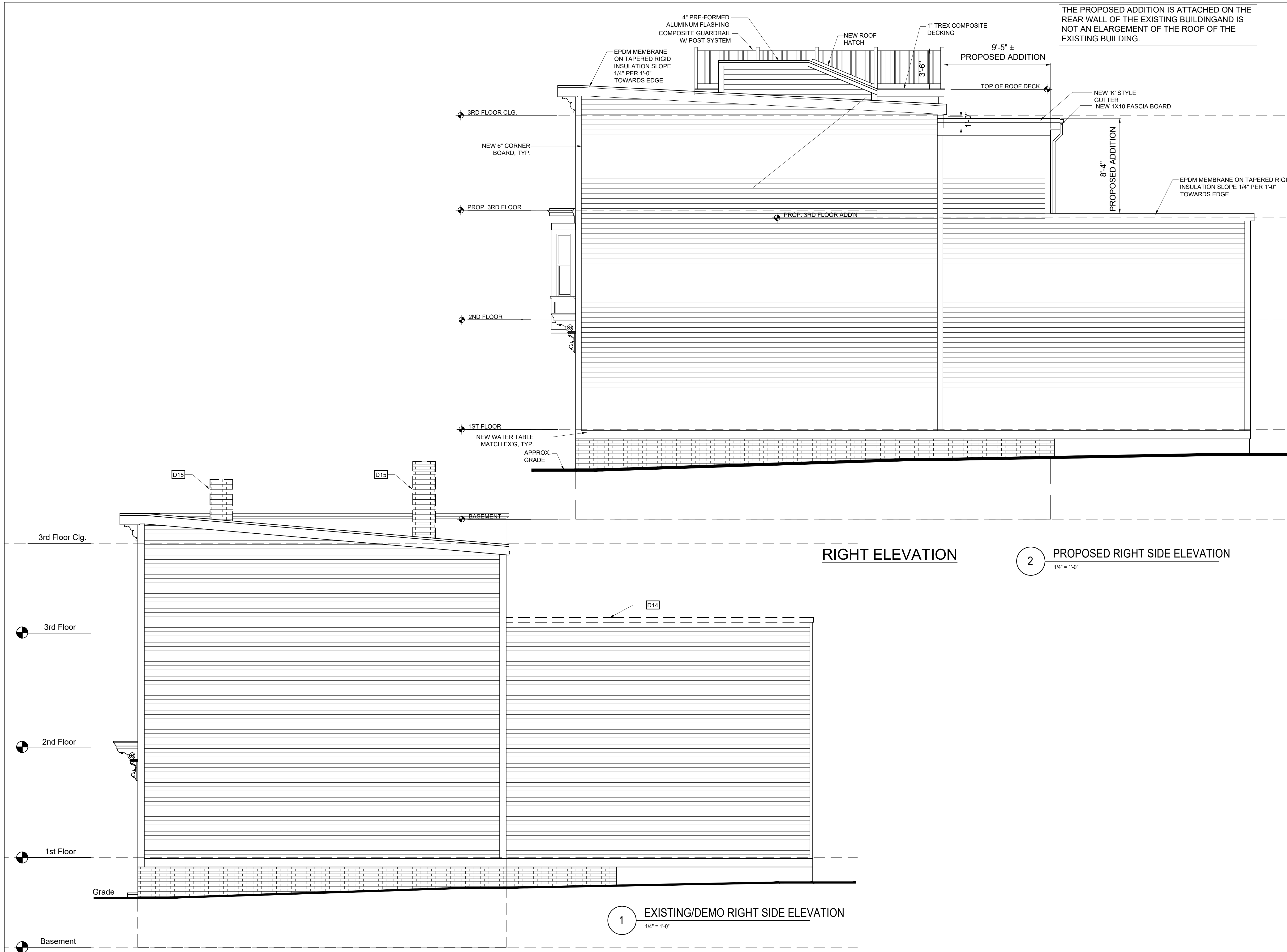
Sheet No.
A-2.3



1 EXISTING/DEMO REAR ELEVATION
1/4" = 1'-0"

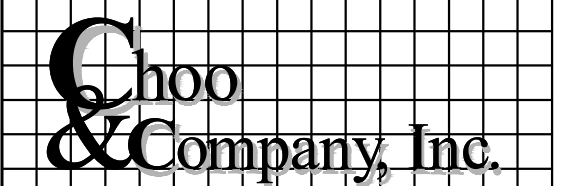


1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

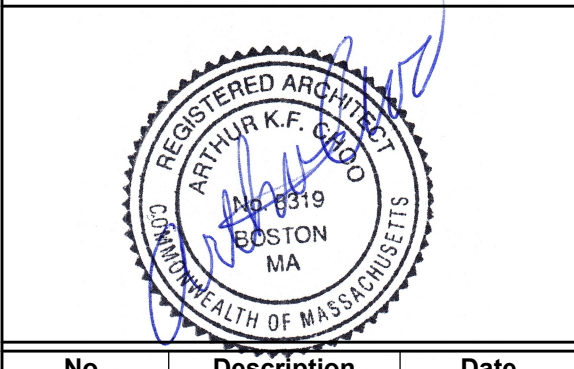


THE PROPOSED ADDITION IS ATTACHED ON THE REAR WALL OF THE EXISTING BUILDING AND IS NOT AN ELARGEMENT OF THE ROOF OF THE EXISTING BUILDING.

Location
TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129



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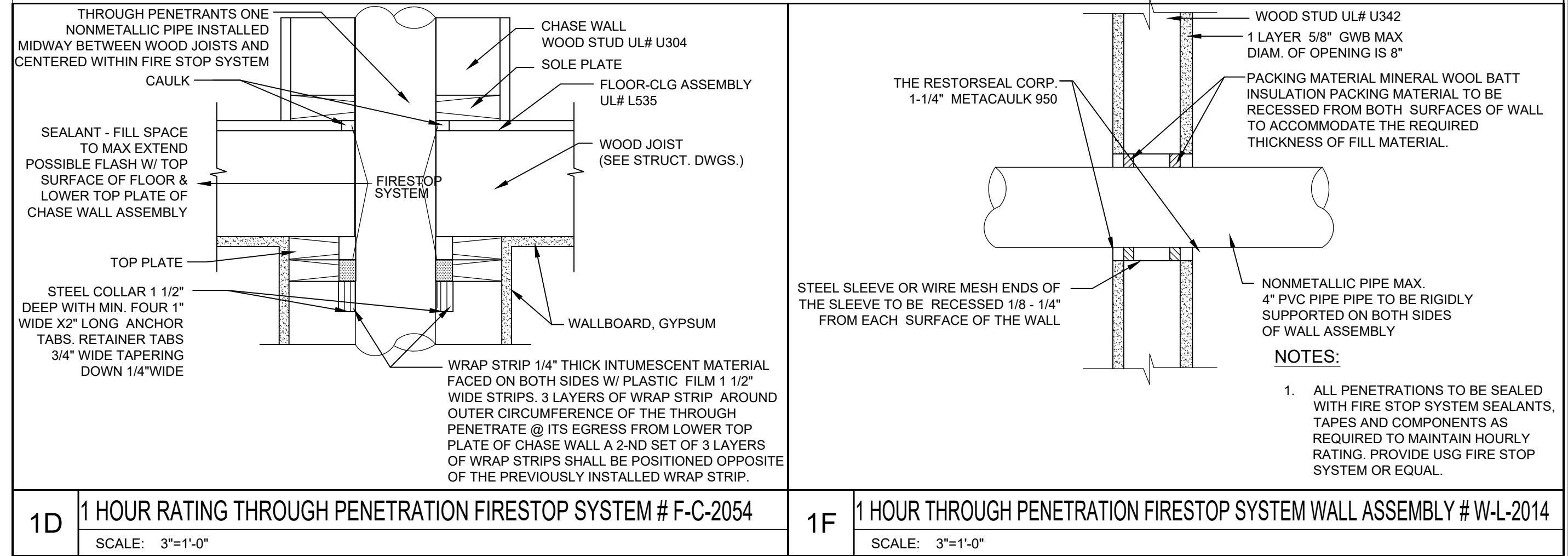
No.	Description	Date

Project No: 2024109
 Scale: AS NOTED
 Date: 10-10-2024
 Drawn By: DF

Drawing Name
EXISTING/DEMO & PROPOSED RIGHT SIDE ELEVATIONS

Sheet No.
A-2.4

PENETRATIONS



Location
TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129

Shoo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

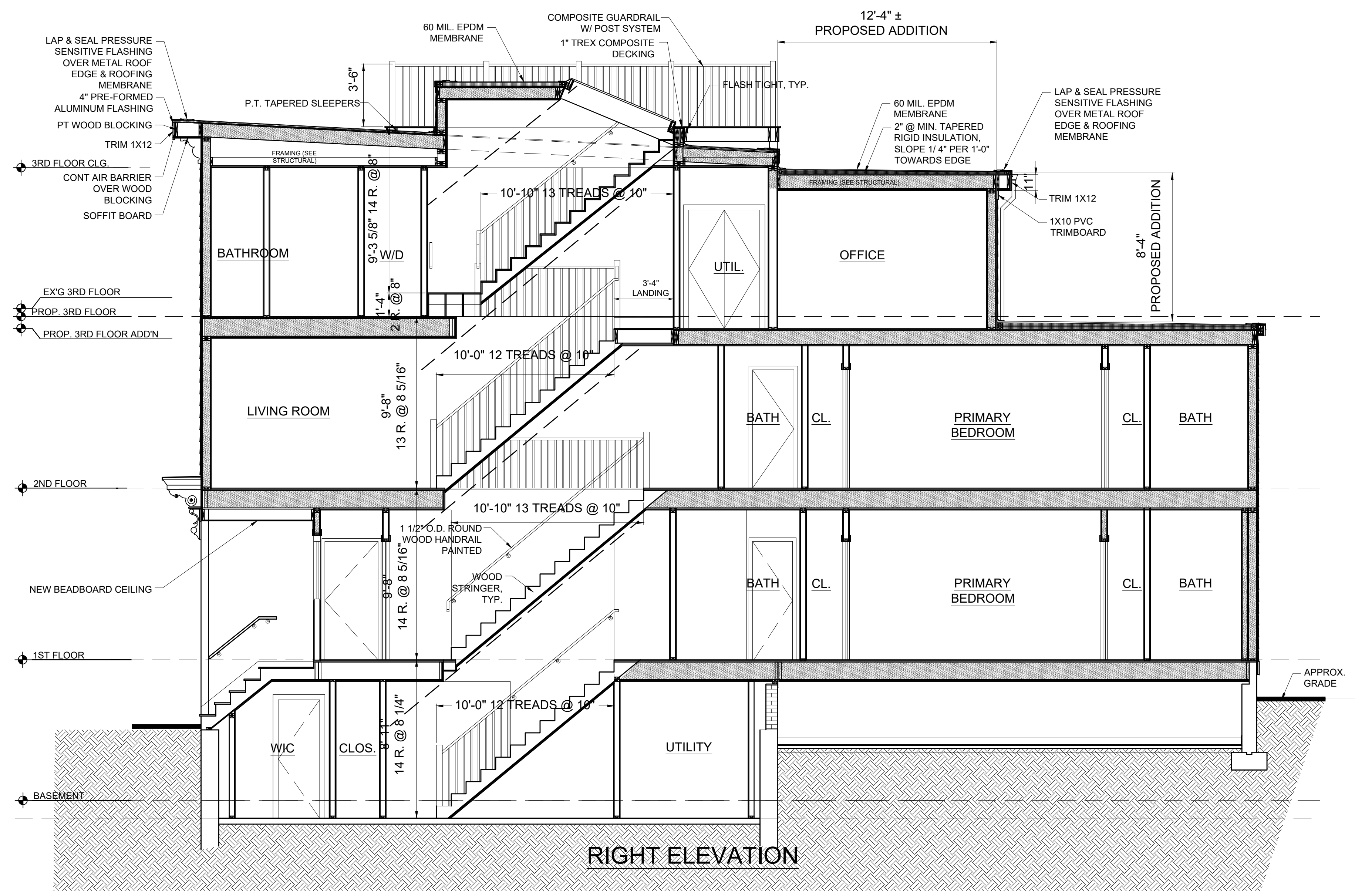
REGISTERED ARCHITECT
ARTHUR K.F. SHOO
No. 2319
BOSTON MA
COMMONWEALTH OF MASSACHUSETTS

No.	Description	Date

Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

Drawing Name
BUILDING SECTION (STAIR) & PENETRATION DETAILS

Sheet No.
A-3.0



1 **STAIR SECTION**
1/4" = 1'-0"

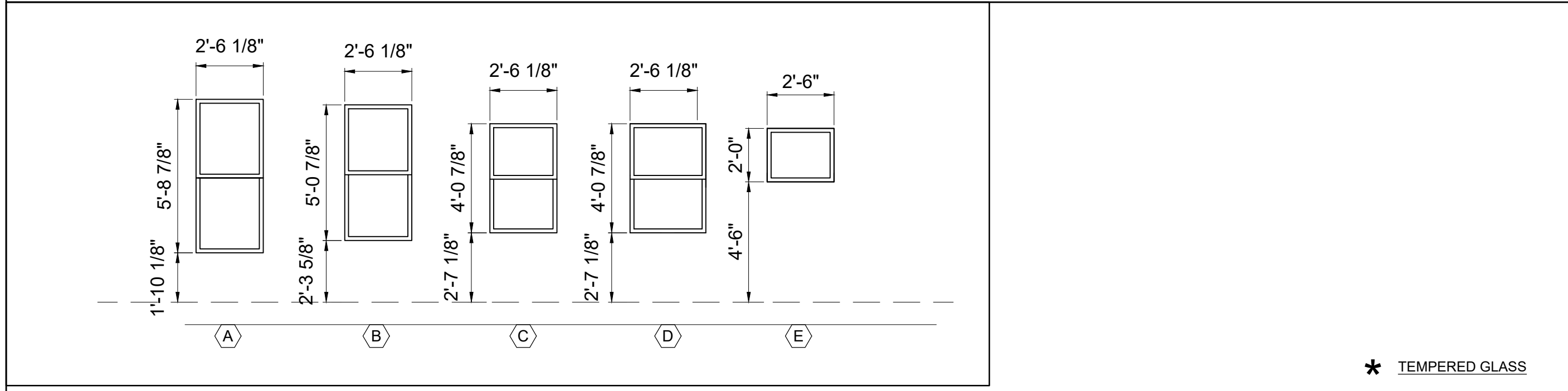
WINDOW SCHEDULE					
NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	ANDERSEN 400	TW2456	12	2'-6 1/8" X 5'-8 7/8"	DOUBLE HUNG, SIMULATED DIVIDED LITES 2 OVER 1 LITES, PRIMED INTERIOR, WHITE HARDWARE
B	ANDERSEN 400	TW24410	10	2'-6 1/8" X 5'-0 7/8"	DOUBLE HUNG, SIMULATED DIVIDED LITES 2 OVER 1 LITES, PRIMED INTERIOR, WHITE HARDWARE
C	ANDERSEN 400	TW24310	3	2'-6 1/8" X 4'-0 7/8"	DOUBLE HUNG, SIMULATED DIVIDED LITES 2 OVER 1 LITES, PRIMED INTERIOR, WHITE HARDWARE
D	ANDERSEN 400	TW28310	1	2'-6 1/8" X 4'-0 7/8"	DOUBLE HUNG, SIMULATED DIVIDED LITES 2 OVER 1 LITES, PRIMED INTERIOR, WHITE HARDWARE
E	ANDERSEN 400	ESAWN2620	2	2'-6" X 2'-0"	AWNING, PRIMED INTERIOR.
F					

* NOTE THIS SCHEDULE IS BASED ON STANDARD SIZES WHEN AVAILABLE.
 * PROVIDE WINDOW FALL PREVENTION DEVICES PER ASTM F2090 ON ALL WINDOWS W/ SILL HEIGHT BELOW 3' A.F.F.

- WINDOW NOTES:
- GC IS RESPONSIBLE FOR VERIFYING SIZES & QUANTITIES PRIOR TO ORDERING.
 - ALL WINDOWS ARE BASED ON ANDERSEN WINDOW BUILDING PRODUCTS.
 - WINDOWS ARE TO HAVE SDL & INSULATED GLASS WITH ARGON GAS & A LOW-E TYPE COATING, U-VALUE .3 MINIMUM.
 - ALL WINDOWS TO INCLUDE INSECT SCREENING PER MANUFACTURER.
 - SIZES SHOWN ARE BASED ON STANDARD WINDOW SIZES, AND DIMENSIONS. G.C. TO COORDINATE ROUGH OPENINGS WITH WINDOW MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE WINDOW OPENING CONTROL DEVICES WHICH COMPLY WITH ASTM F2090 ON ALL WINDOWS.

- WINDOW HEAD HEIGHTS:
- BASEMENT FINISHED HEIGHT IS 6'-8" A.F.F.
 - FIRST FLOOR FINISHED HEIGHT IS 7'-0" A.F.F.
 - SECOND FLOOR FINISHED HEIGHT IS 7'-0" A.F.F.
 - THIRD FLOOR FINISHED HEIGHT IS 6'-8" A.F.F.

WINDOW TYPES



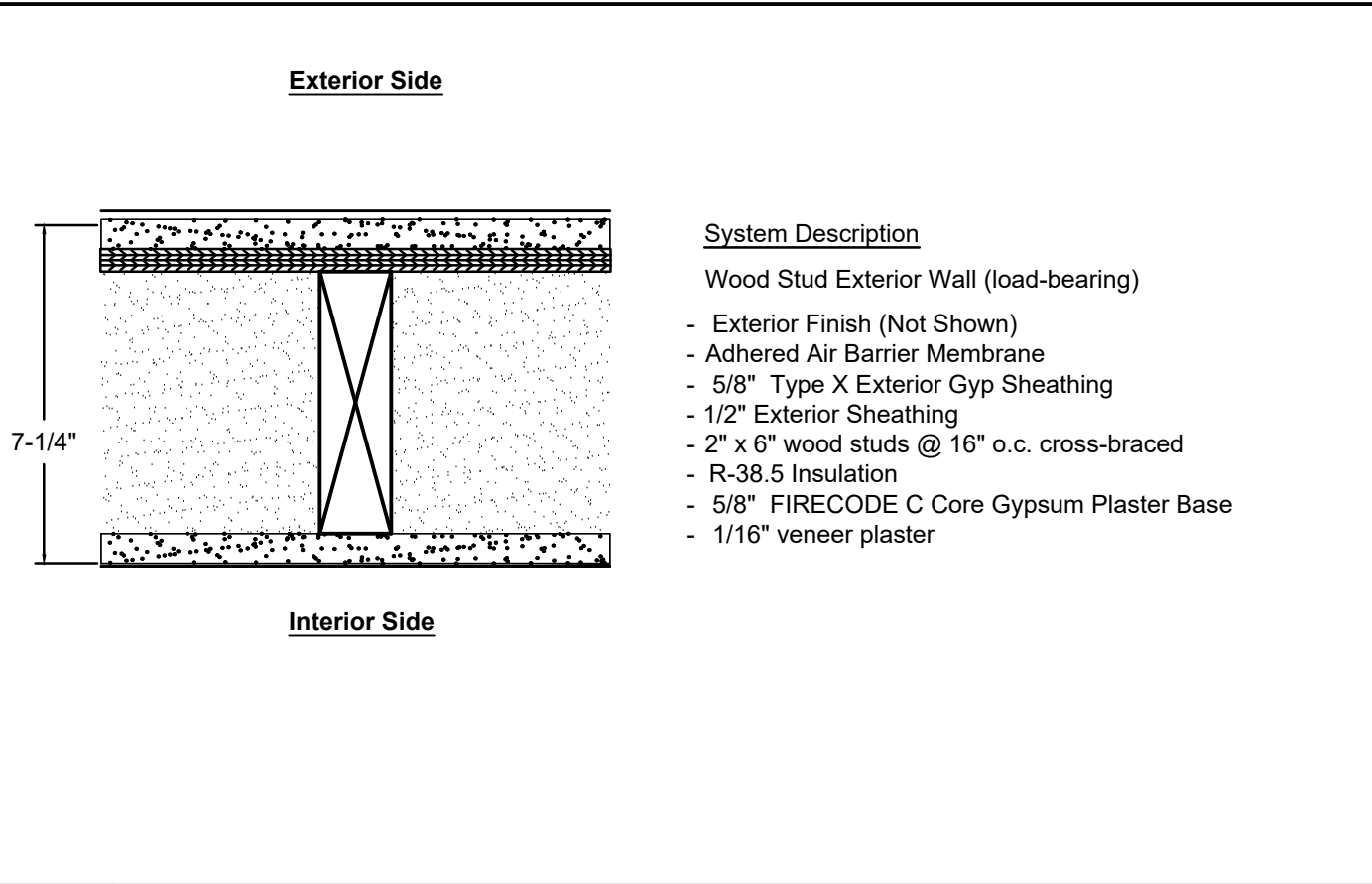
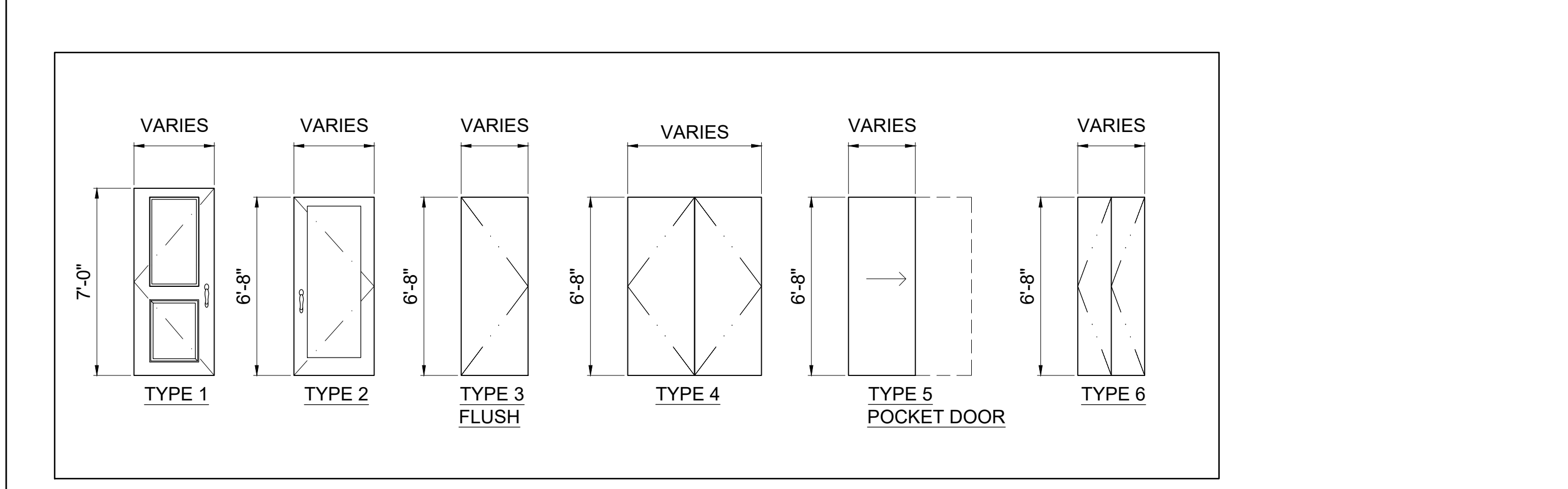
DOOR SCHEDULE

NOTE: GC TO CONFIRM SIZES & QUANTITIES PRIOR TO ORDERING

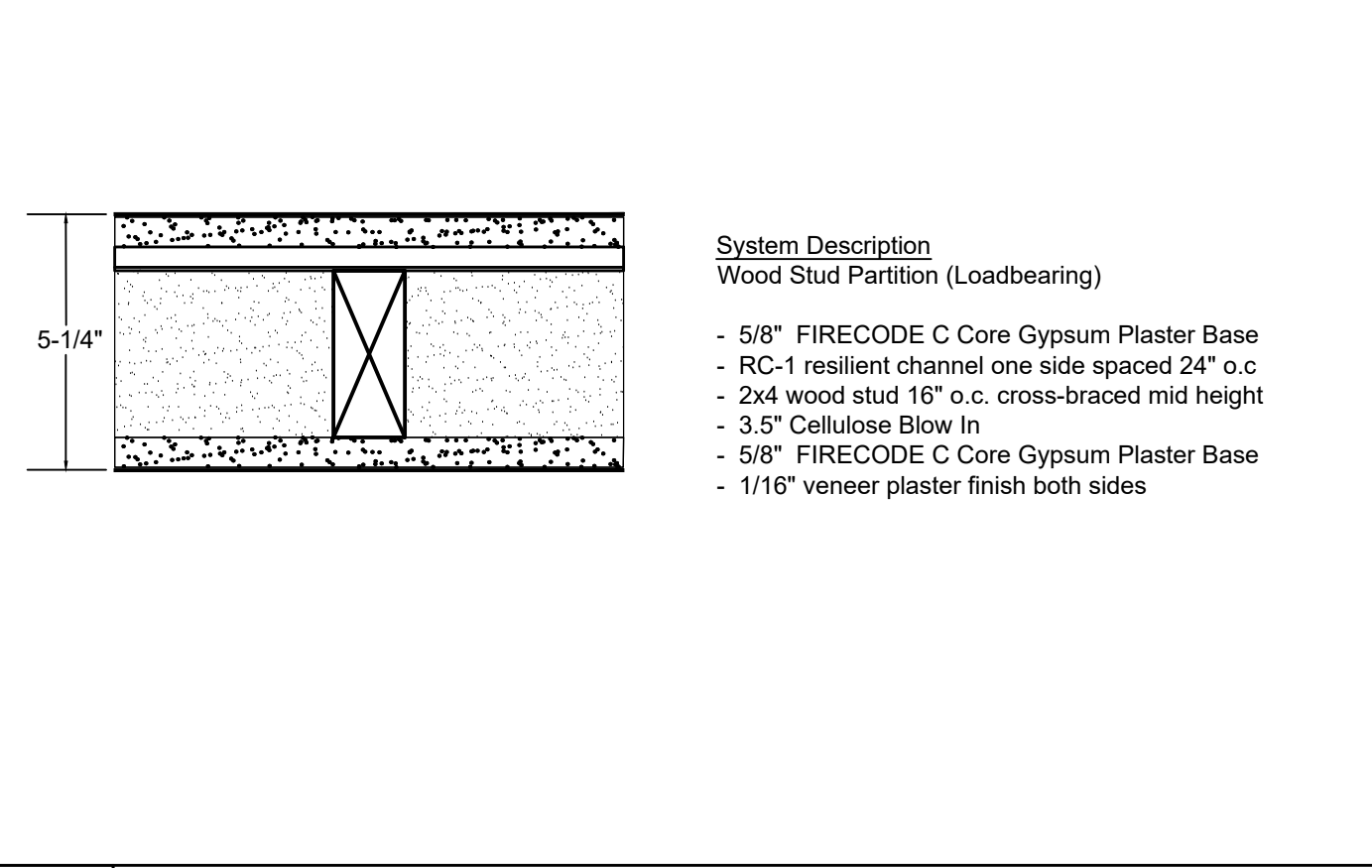
NO.	SIZE	MATERIAL	RATING	FRAME	TYPE	HARDWARE	REMARKS
E1	3'-0" x 7'-0" x 1 3/4"	WOOD/GL	45 MIN.	WOOD	1	ENTRANCE	DOOR UNIT W/ 3'-0"x 7'-0" EGRESS DOOR & 1'-4"x7'-0" SIDELIGHT, PROVIDE DEADBOLT
E2	3'-0" x 6'-8" x 1 3/4"	WOOD/GL	-	WOOD	2	ENTRANCE	DECK EXTERIOR DOOR
A	3'-0" x 6'-8" x 1 3/4"	WOOD	45 MIN.	WOOD	3	ENTRANCE	DOOR UNIT W/ 3'-0"x 6'-8" EGRESS DOOR, PROVIDE DEADBOLT
B	2'-6" x 6'-8" x 1 3/4"	WOOD	45 MIN.	WOOD	3	ENTRANCE	DOOR UNIT W/ 3'-0"x 6'-8" EGRESS DOOR, PROVIDE DEADBOLT
1	2'-6" x 8'-0" x 1 3/8"	WOOD	-	WOOD	6	ENTRY CLOSET	BI-FOLD PANEL DOOR
2	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	3	BATHROOM	PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL, THRESHOLD
3	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	5	BATHROOM	POCKET PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL, THRESHOLD
4	2'-8" x 6'-8" x 1 3/8"	WOOD	-	WOOD	3	BED	PANEL DOOR, PROVIDE PRIVACY LATCH & ASTRAGAL
5	2'-4" x 6'-8" x 1 3/8"	WOOD	-	WOOD	3	SINGLE DUMMY	CLOSET, PANEL DOOR, PROVIDE ASTRAGAL
6	2'-4" x 6'-8" x 1 3/8"	WOOD	-	WOOD	3	SINGLE DUMMY	WALK IN CLOSET, PANEL DOOR, PROVIDE ASTRAGAL
7	2'-6" x 6'-8" x 1 3/8"	WOOD	-	WOOD	3	SINGLE DUMMY	UTILITY, PANEL DOOR, PROVIDE ASTRAGAL
8	(2) 2'-0" x 6'-8" x 1 3/8"	WOOD	-	WOOD	4	SINGLE DUMMY	PAIR OF PANEL DOORS

NOTE: ALL DOORS TO BE PRE-HUNG. DOOR STYLE, HARDWARE & FINISHES TO BE SELECTED BY OWNER, ALL DOORS ARE BASED ON ANDERSON 400 OR EQUAL.

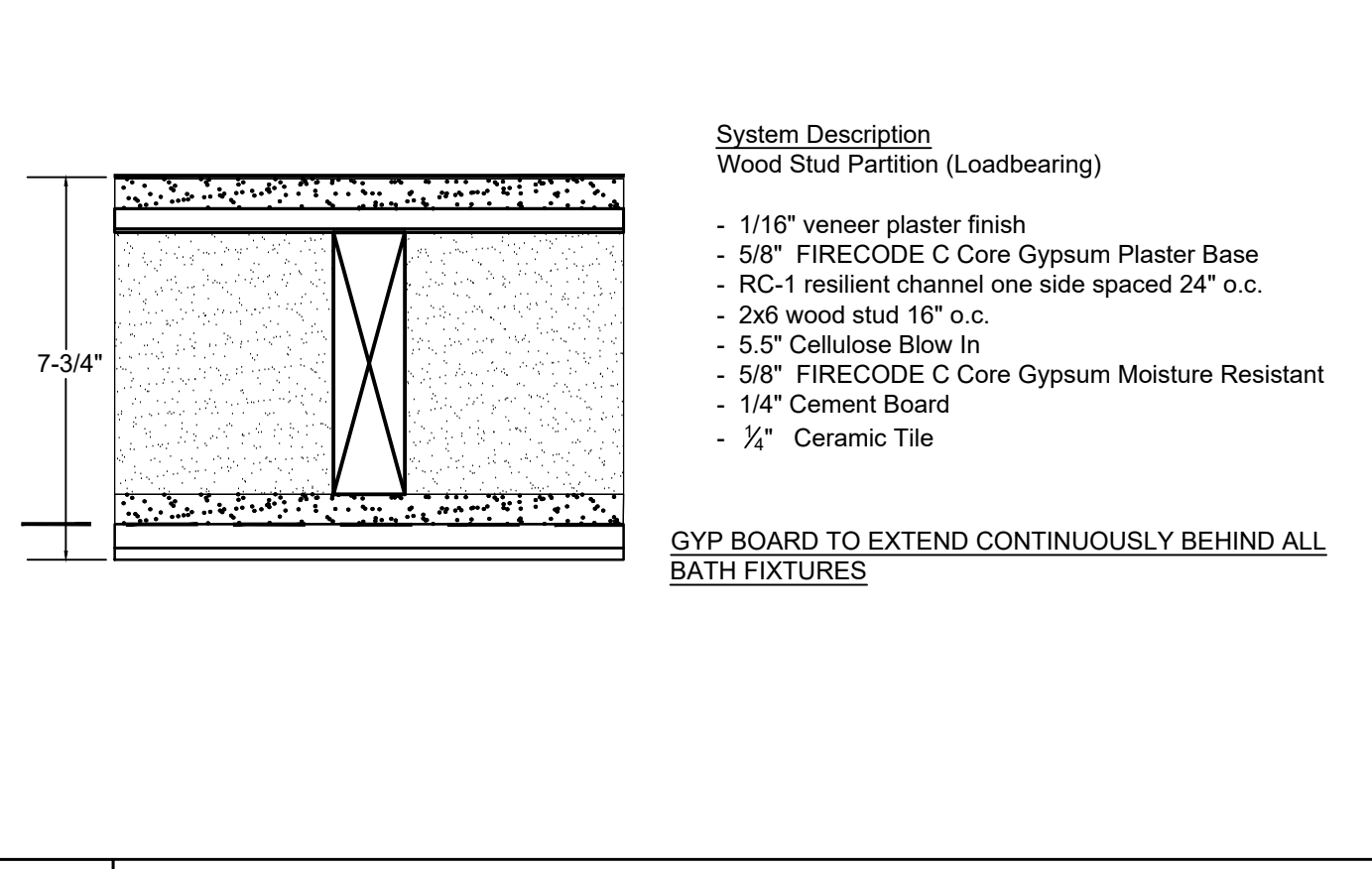
DOOR TYPES



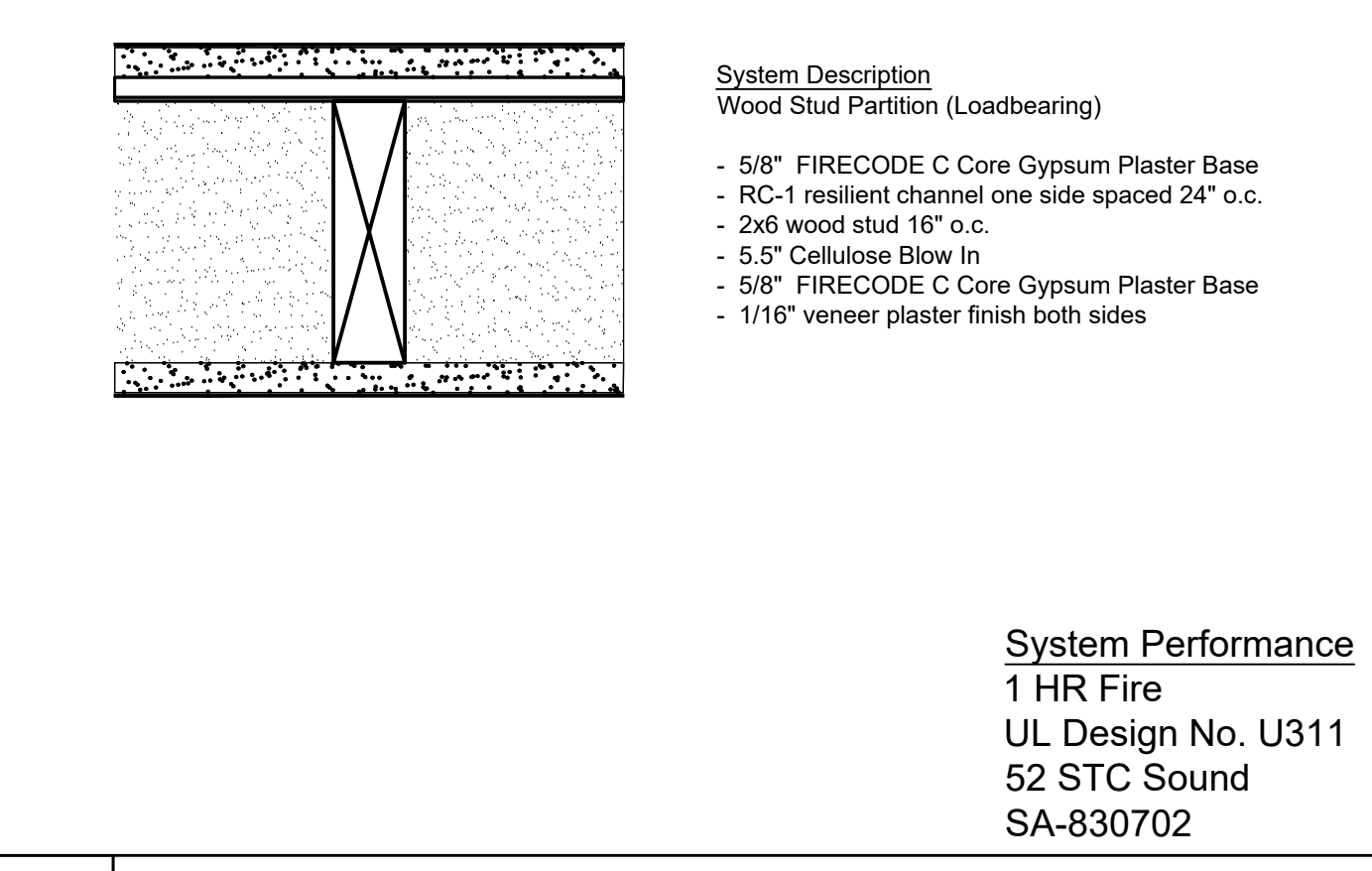
1E 1 HR EXT PARTITION -WOOD LOAD BEARING
SCALE: 3"=1'-0"



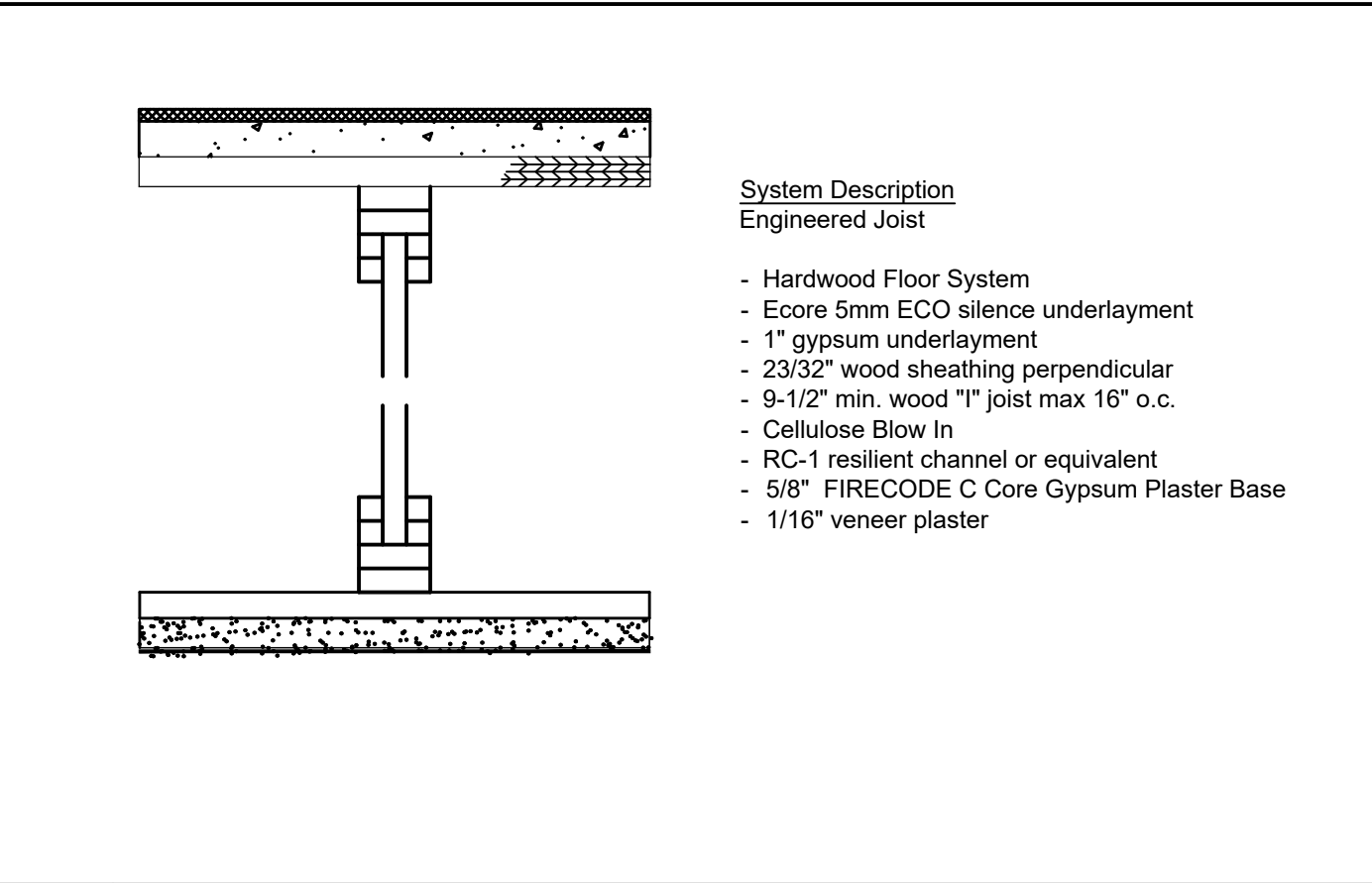
0 PARTITION -WOOD LOAD BEARING
SCALE: 3"=1'-0"



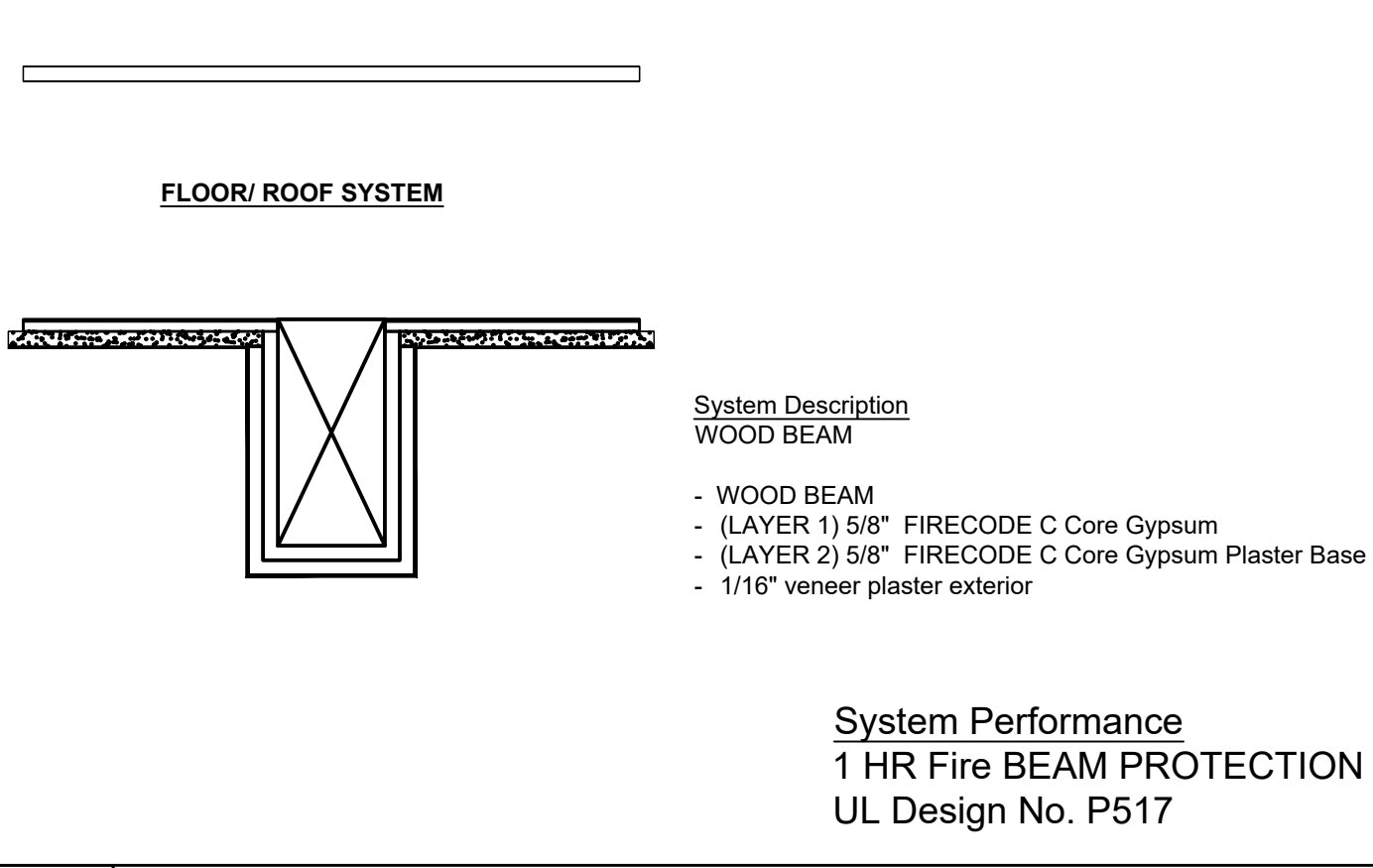
0B NON RATED PARTITION BATH / WOOD BEARING
SCALE: 3"=1'-0"



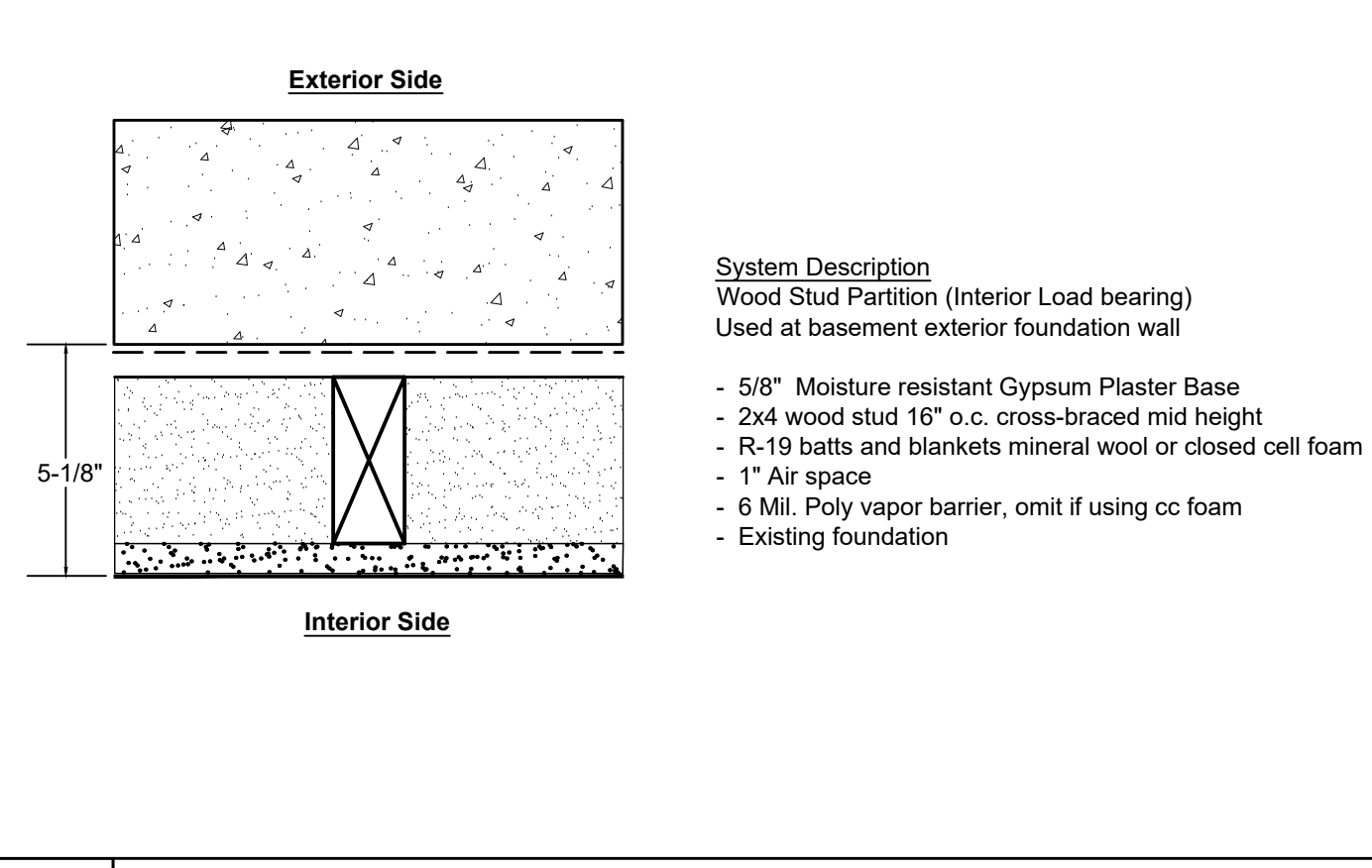
1 1 HR PARTITION -WOOD LOAD BEARING +50
SCALE: 3"=1'-0"



1F 1 HR FLOOR ASSEMBLY - +59 STC
SCALE: 3"=1'-0"

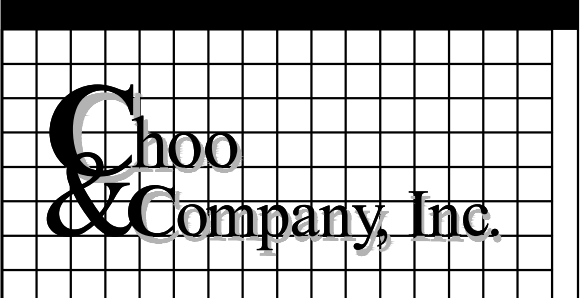


1BE 1 HR BEAM PROTECTION
SCALE: 1.5"=1'-0"



FWF FURRED WALL AT EXISTING FOUNDATION
SCALE: 3"=1'-0"

Location
**TWO-FAMILY RENOVATION
 & ADDITION
 12 PROSPECT STREET
 CHARLESTOWN, MA 02129**



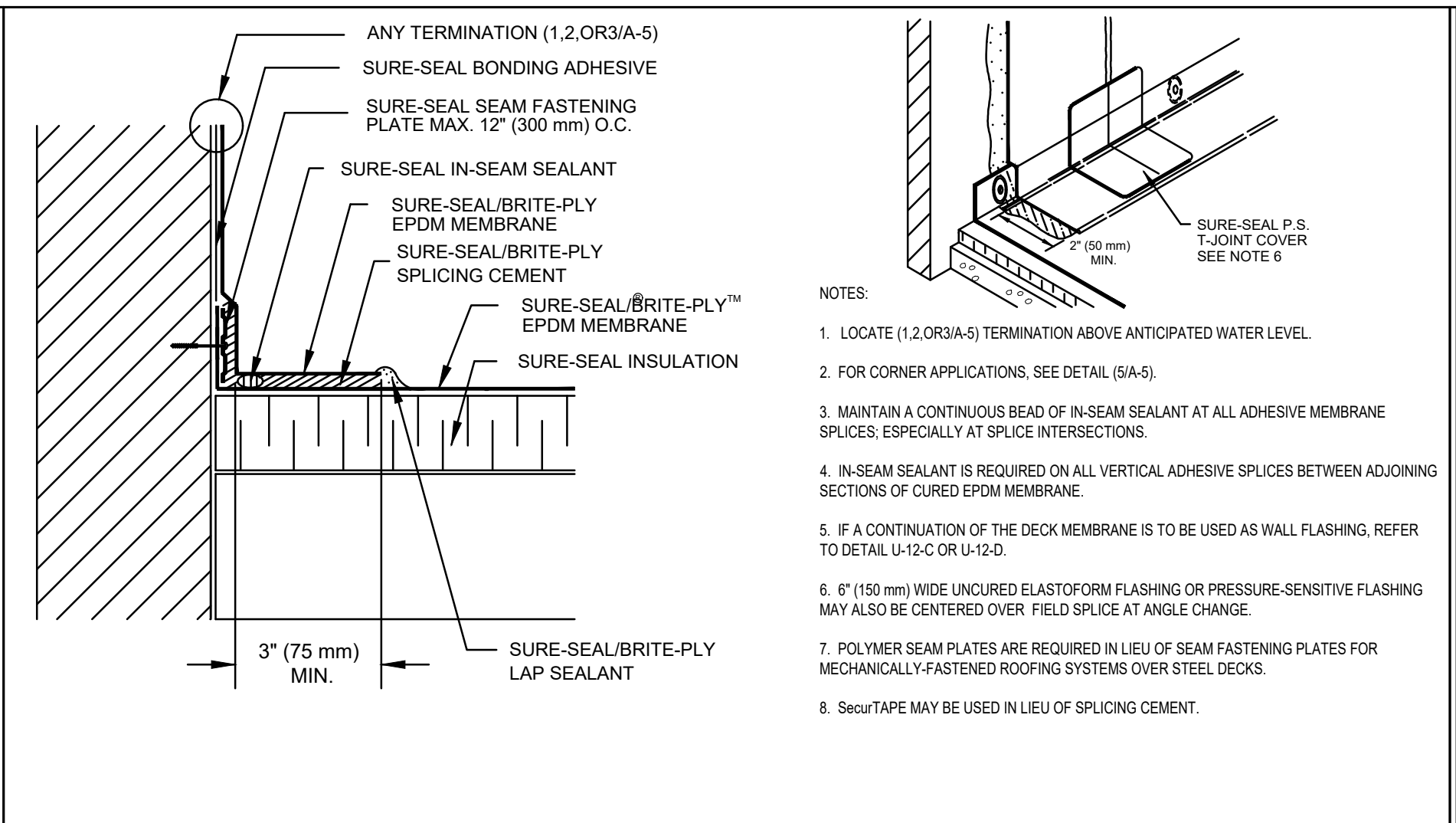
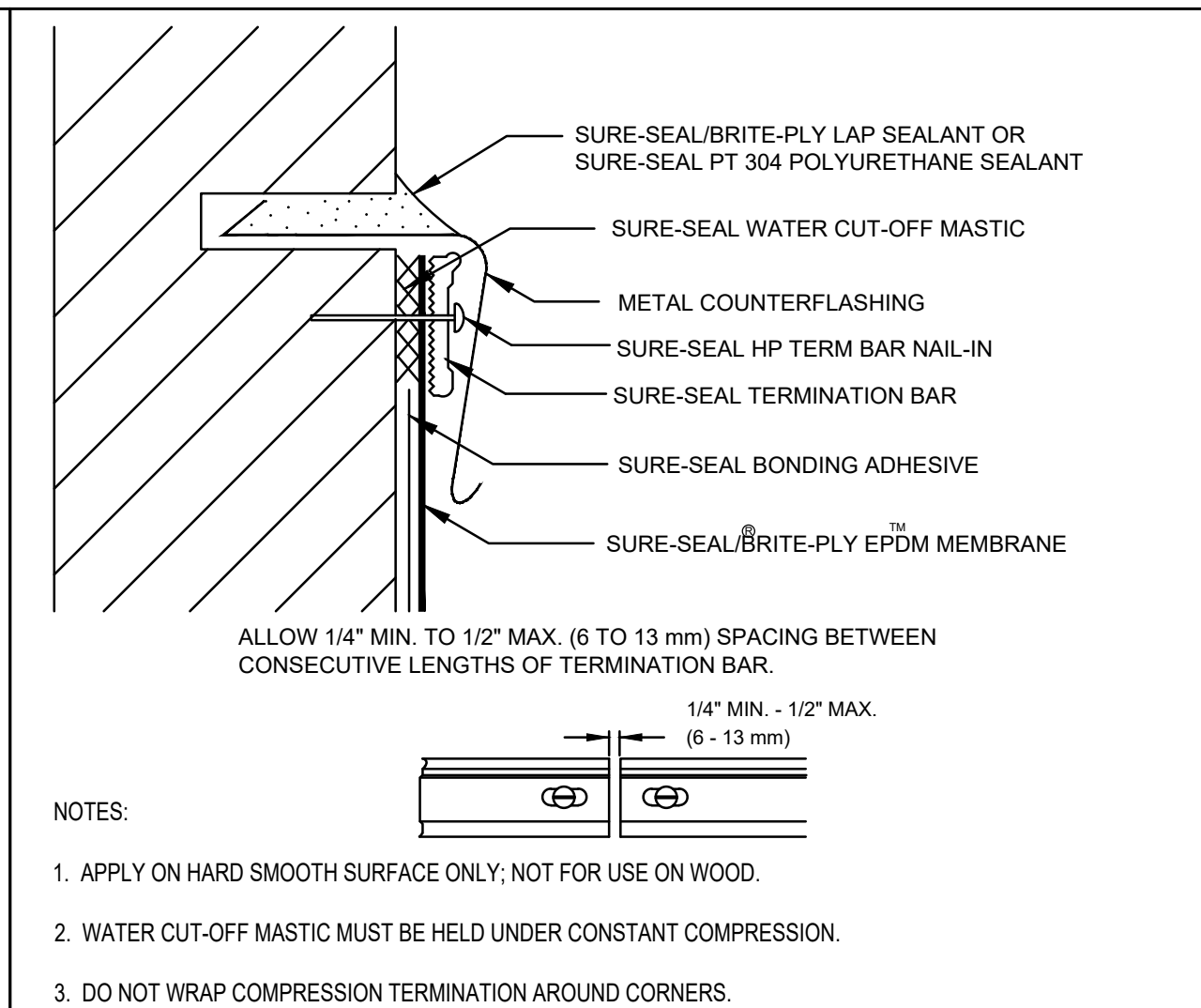
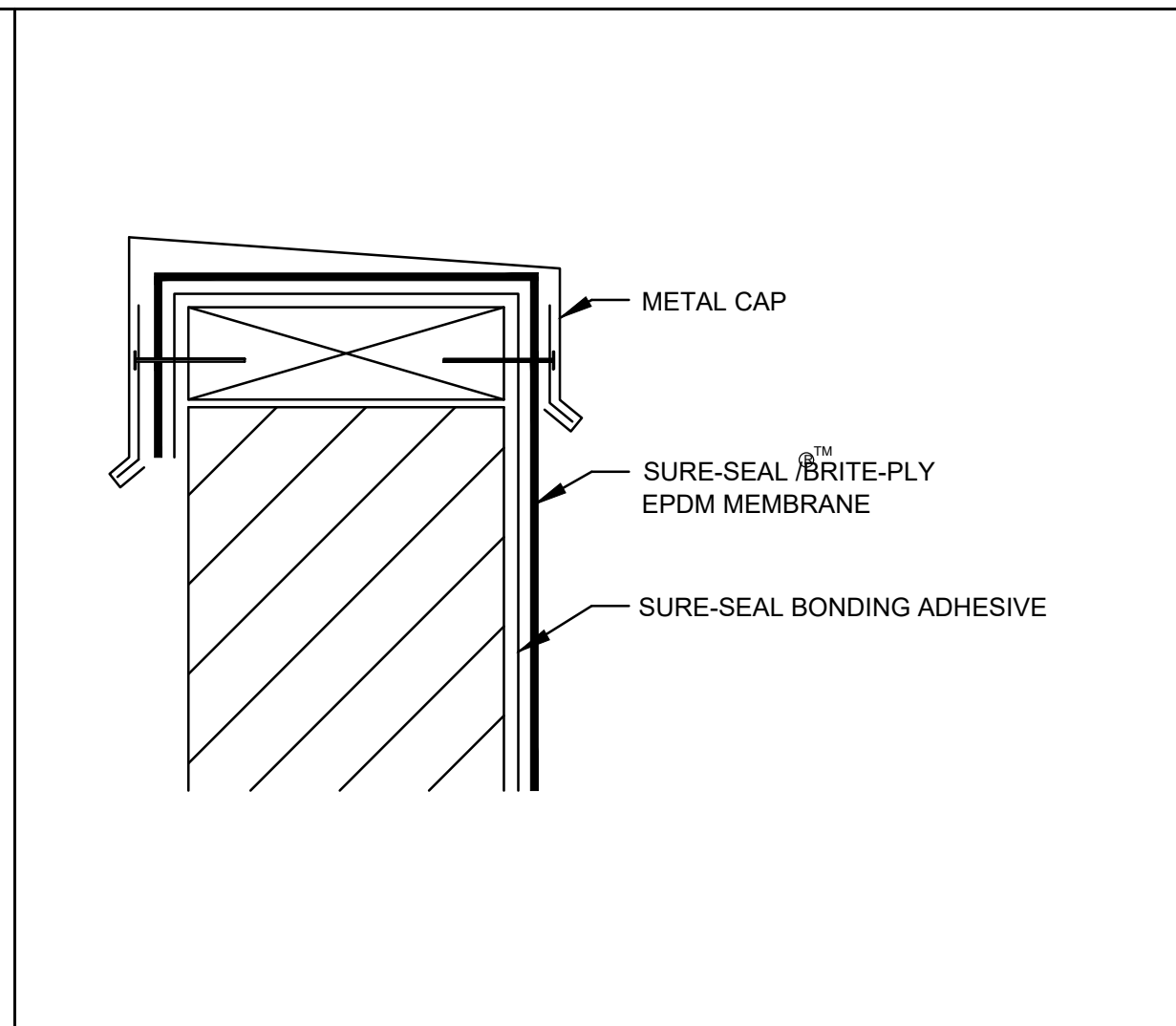
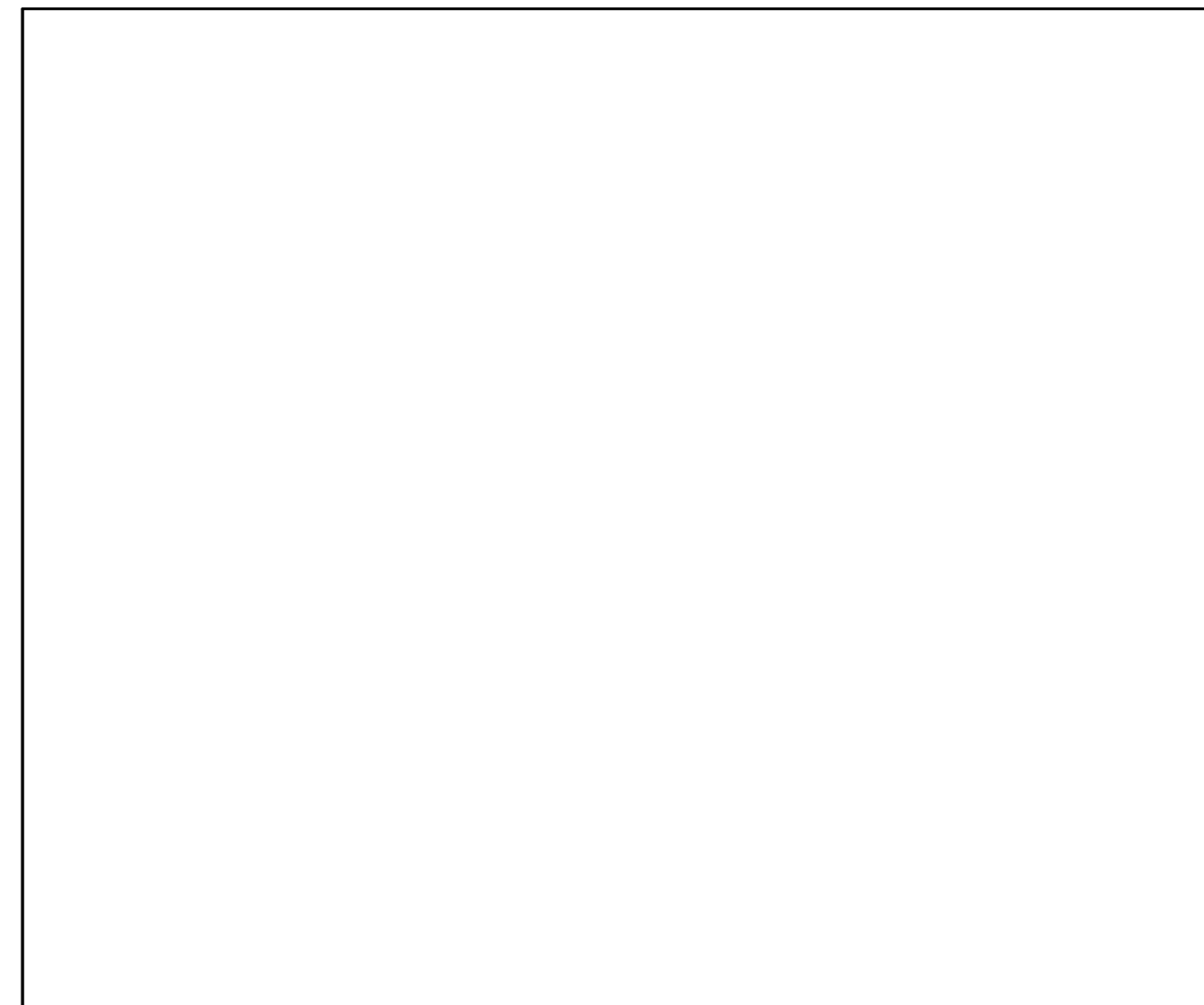
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: 2024109
 Scale: AS NOTED
 Date: 10-10-2024
 Drawn By: DF

Drawing Name
**WALL TYPES
 & SCHEDULES**

Sheet No.
A-3.1



- NOTES:
- LOCATE (1,2,OR3/A-5) TERMINATION ABOVE ANTICIPATED WATER LEVEL.
 - FOR CORNER APPLICATIONS, SEE DETAIL (5A-6).
 - MAINTAIN A CONTINUOUS BEAD OF IN-SEAM SEALANT AT ALL ADHESIVE MEMBRANE SPLICES, ESPECIALLY AT SPLICE INTERSECTIONS.
 - IN-SEAM SEALANT IS REQUIRED ON ALL VERTICAL ADHESIVE SPLICES BETWEEN ADJOINING SECTIONS OF CURED EPDM MEMBRANE.
 - IF A CONTINUATION OF THE DECK MEMBRANE IS TO BE USED AS WALL FLASHING, REFER TO DETAIL U-12-C OR U-12-D.
 - 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MAY ALSO BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
 - POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
 - SecurTAPE MAY BE USED IN LIEU OF SPlicing CEMENT.

CAP FLASHING TERMINATION

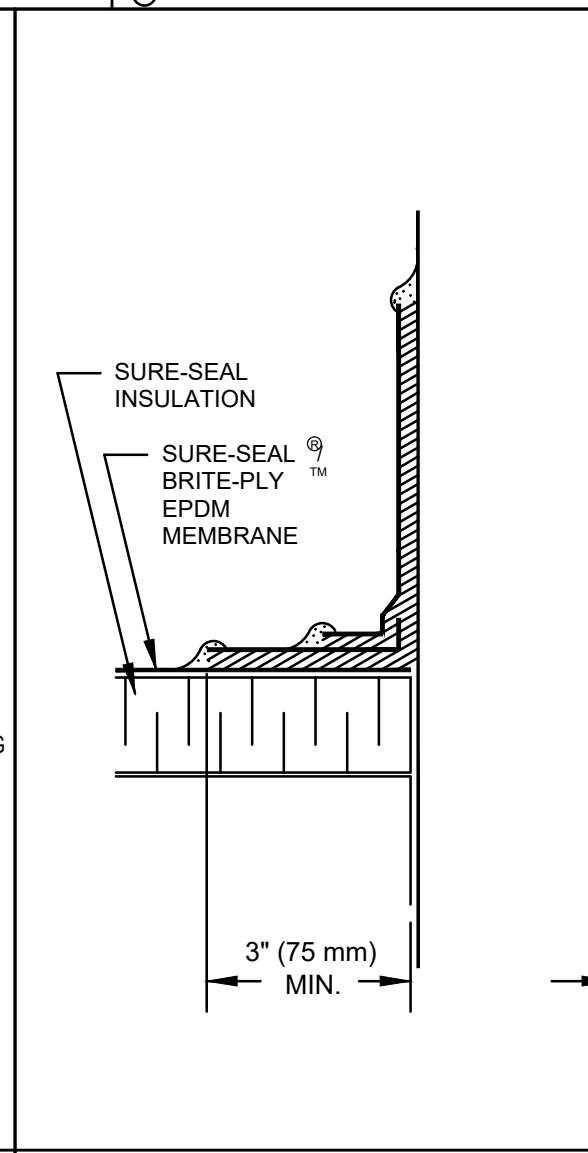
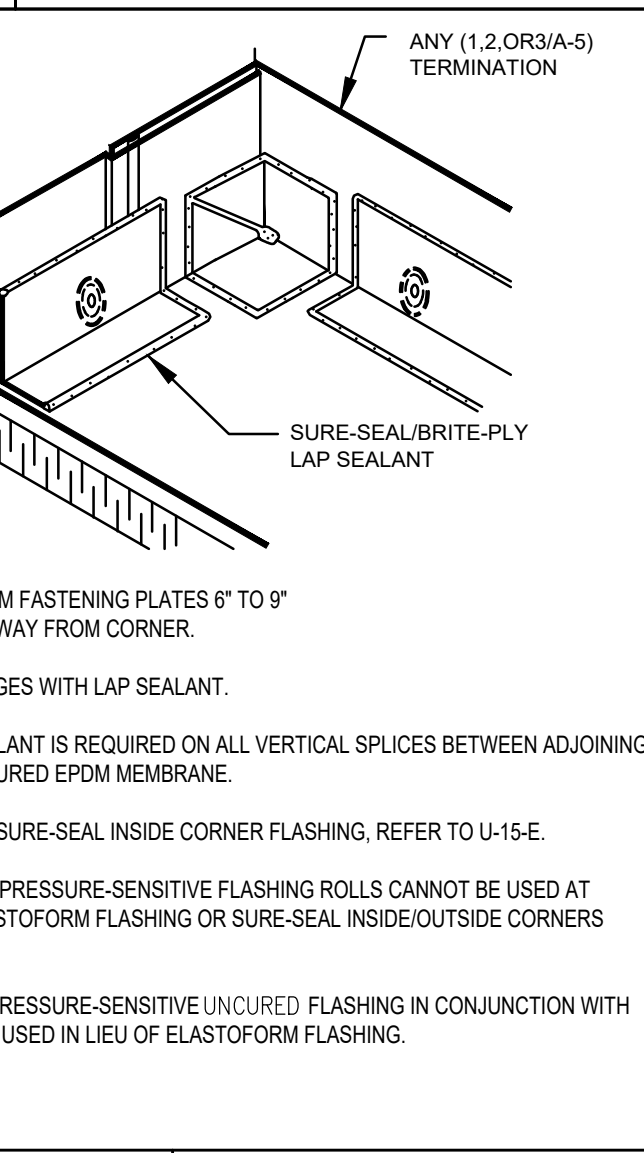
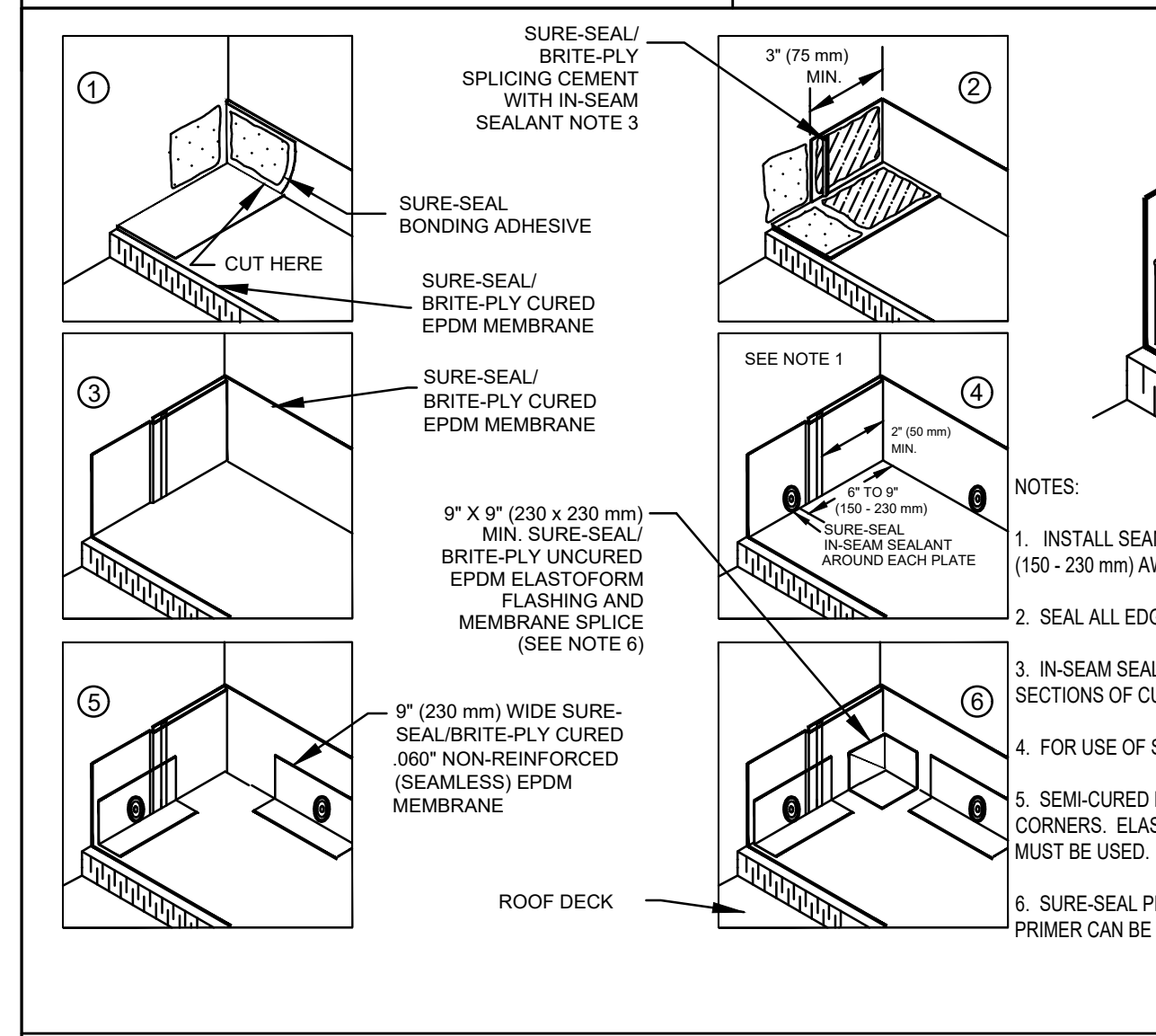
2

COUNTERFLASHING TERMINATION

3

PARAPET/CURB CURED EPDM

4



- NOTES:
- REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
 - SECUREMENT REQUIRED AROUND ALL PIPES GREATER THAN 18 INCHES (500 mm) IN DIAMETER.
 - UNCURED ELASTOFORM FLASHING WRAPPED AROUND THE PIPE SHALL HAVE 3" (75 mm) MINIMUM SPLICE.
 - A HEAT GUN MUST BE USED WHEN FORMING BRITE-PLY FLASHING.
 - ON MECHANICALLY-FASTENED ROOFING SYSTEMS, ADDITIONAL MEMBRANE SECUREMENT IS REQUIRED. REFER TO DETAIL MFS-14.
 - SURE-SEAL PRESSURE-SENSITIVE UNCURED FLASHING IN CONJUNCTION WITH PRIMER CAN BE USED IN LIEU OF ELASTOFORM FLASHING.

INSIDE CORNER CONTINUOUS EPDM WALL FLASHING

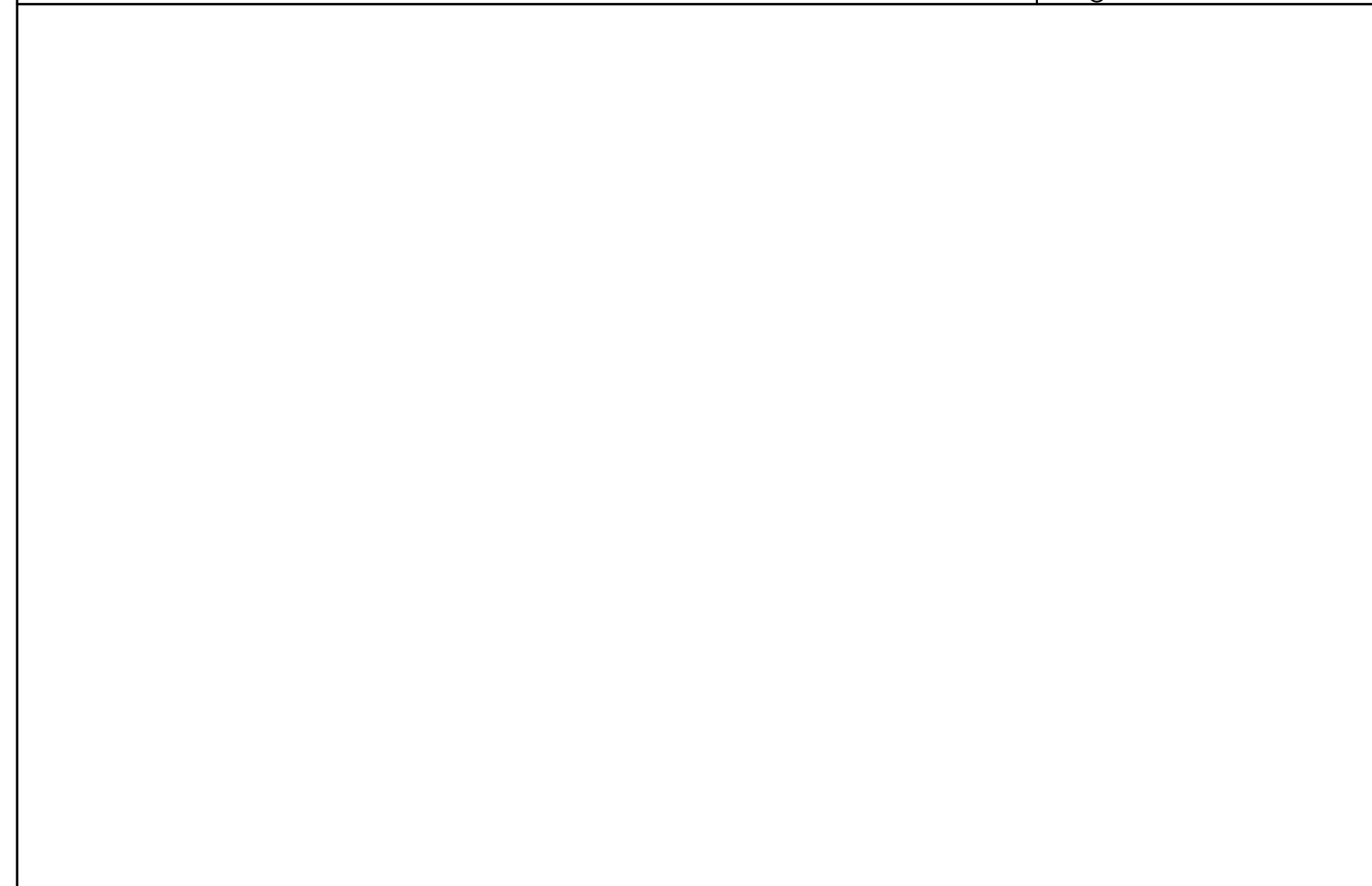
5

FIELD FABRICATED PIPE SEAL

6

MEMBRANE SPLICE WITH SPlicing CEMENT

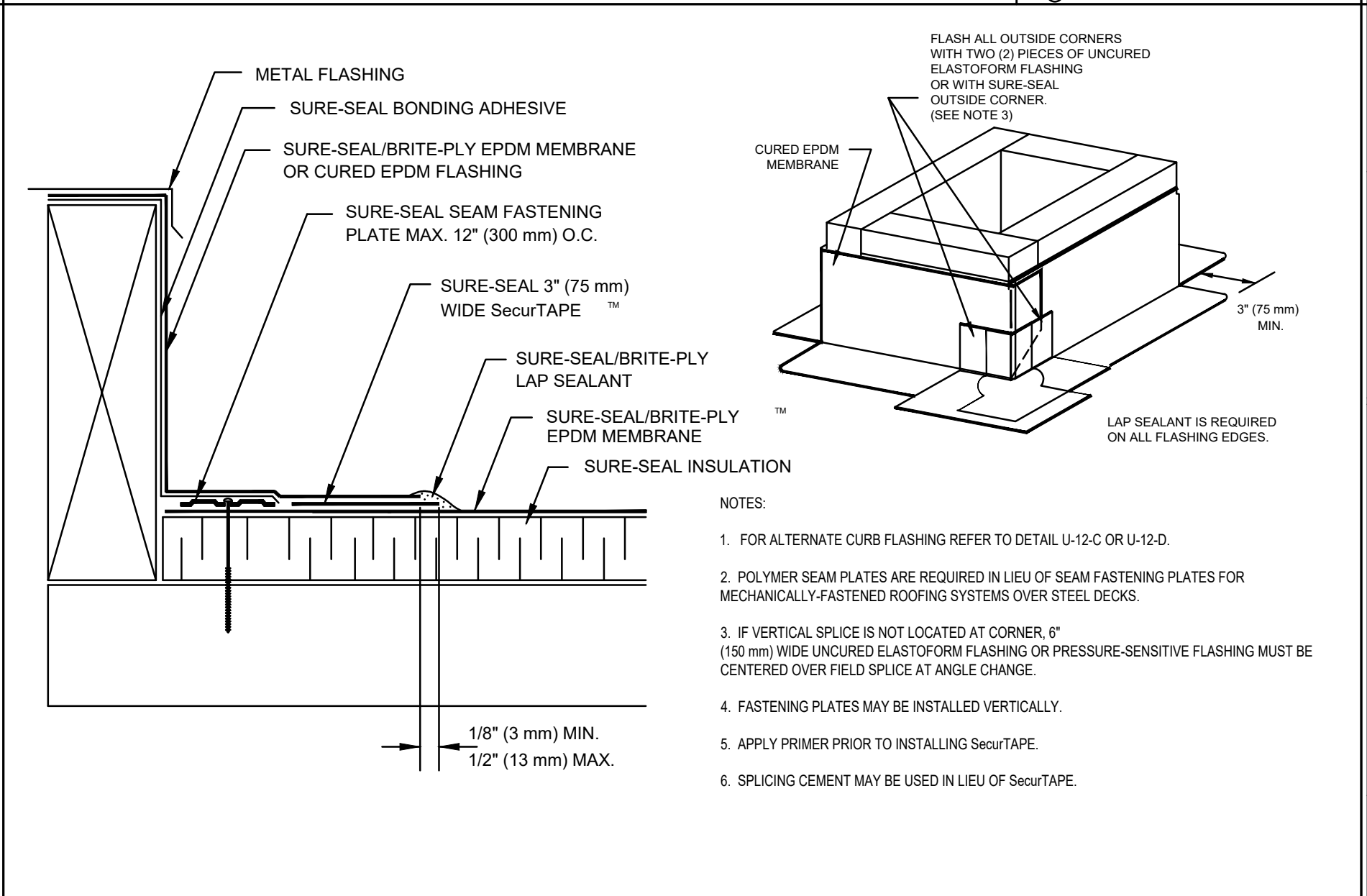
7



- NOTES:
- FASTENER PATTERN OF METAL BAR MUST PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
 - WHEN REINFORCED MEMBRANE IS USED, ENSURE FASTENER PENETRATES REINFORCEMENT.

METAL BAR TERMINATION

9



- NOTES:
- FOR ALTERNATE CURB FLASHING REFER TO DETAIL U-12-C OR U-12-D.
 - POLYMER SEAM PLATES ARE REQUIRED IN LIEU OF SEAM FASTENING PLATES FOR MECHANICALLY-FASTENED ROOFING SYSTEMS OVER STEEL DECKS.
 - IF VERTICAL SPLICE IS NOT LOCATED AT CORNER, 6" (150 mm) WIDE UNCURED ELASTOFORM FLASHING OR PRESSURE-SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
 - FASTENING PLATES MAY BE INSTALLED VERTICALLY.
 - APPLY PRIMER PRIOR TO INSTALLING SecurTAPE.
 - SPlicing CEMENT MAY BE USED IN LIEU OF SecurTAPE.

CURB FLASHING

10

Location
TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Description	Date

Project No: **2024109**
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Drawn By: **DF**

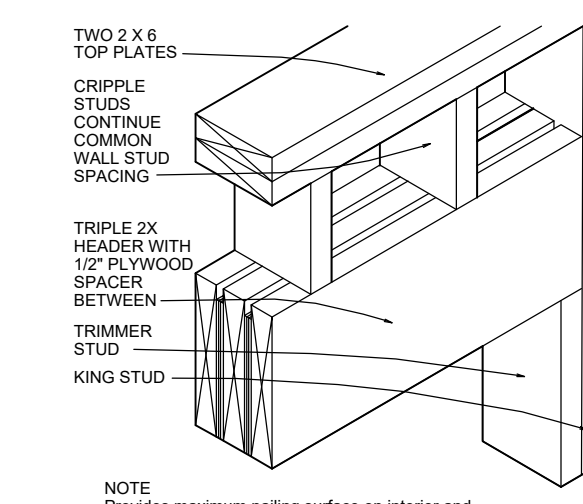
MEMBRANE ROOF DETAILS

Sheet No.
A-4.1

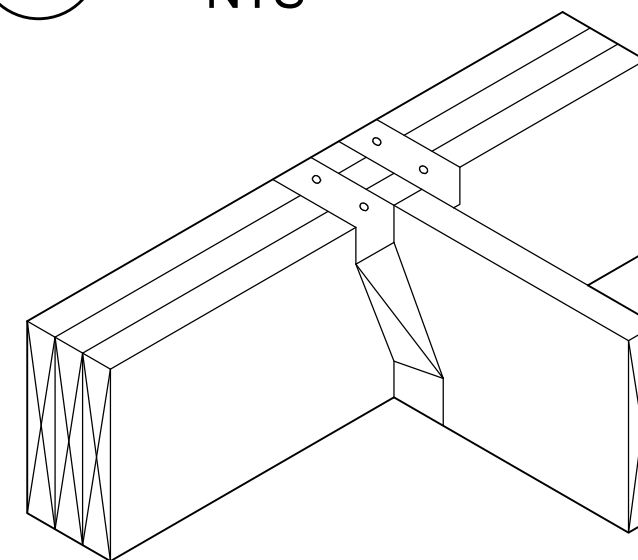
RECOMMENDED FASTENING SCHEDULE

BUILDING ELEMENT	NAIL SIZE AND TYPE	NUMBER AND LOCATION
STUD TO SOLE PLATE	8D COMMON 16D COMMON	4 TOE-NAIL OR 2 DIRECT-NAIL
STUD TO CAP PLATE	16D COMMON	2 TOE-NAIL OR 2 DIRECT-NAIL
DOUBLE STUDS	10D COMMON	12" O.C. DIRECT
CORNER STUDS	16D COMMON	24" O.C. DIRECT
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	16" O.C.
DOUBLE CAP PLATE	10D COMMON	16" O.C. DIRECT
CAP PLATE LAPS	10D COMMON	2 DIRECT-NAIL
RIBBON STRIP, 6" OR LESS	10D COMMON	2 EACH DIRECT BEARING
RIBBON STRIP, 6" OR MORE	10D COMMON	3 EACH DIRECT BEARING
ROOF RAFTER TO PLATE	8D COMMON	3 TOE-NAIL
JACK RAFTER TO RIDGE	16D COMMON	2 TOE-NAIL OR DIRECT-NAIL
JACK RAFTER TO HIP	10D COMMON 16D COMMON	3 TOE-NAIL OR 2 DIRECT-NAIL
FLOOR JOISTS TO STUDS (NO CEILING JOISTS)	10D COMMON 10D COMMON	5 DIRECT OR 3 DIRECT
FLOOR JOISTS TO STUDS (WITH CEILING JOISTS)	10D COMMON	2 DIRECT
FLOOR JOISTS TO SILL OR GIRDER	3D COMMON	3 TOE-NAIL
LEDGER STRIP	16D COMMON	3 EACH DIRECT
CEILING JOISTS TO PLATE	16D COMMON	3 TOE-NAIL
CEILING JOISTS (LAPS OVER PARTITION)	10D COMMON	3 DIRECT-NAIL
CEILING JOISTS (PARALLEL TO RAFTER)	10D COMMON	3 DIRECT
COLLAR BEAM	10D COMMON	3 DIRECT
BRIDGING TO JOISTS	8D COMMON	2 EACH DIRECT END
DIAGONAL BRACE (TO STUD AND PLATE)	8D COMMON	2 EACH DIRECT BEARING
TAIL BEAMS TO HEADERS (WHEN NAILING PERMITTED)	20D COMMON	1 EACH END 4 SQ. FT. FLOOR AREA
HEADER BEAMS TO TRIMMERS	20D COMMON	1 EACH END 8 SQ. FT. FLOOR AREA
1" ROOF DECKING (OVER 6" IN WIDTH)	8D COMMON 8D COMMON	2 EACH DIRECT RAFTER 3 EACH DIRECT RAFTER
1" SUBFLOORING (6" OR LESS)	8D COMMON	2 EACH DIRECT JOIST
1" SUBFLOORING (8" OR MORE)	8D COMMON	3 EACH DIRECT JOIST
2" SUBFLOORING	16D COMMON	2 EACH DIRECT JOIST
1" WALL SHEATHING (8" OR LESS IN WIDTH)	8D COMMON	2 EACH DIRECT STUD
1" WALL SHEATHING (OVER 8" IN WIDTH)	8D COMMON	3 EACH DIRECT STUD
PLYWOOD ROOF & WALL SHEATHING (1/2" OR LESS) (5/8" OR GREATER) (5/8", 3/8", OR 1/2") (OVER 6" IN WIDTH)	8D COMMON 8D COMMON 16 GAUGE GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN; LENGTH OF 1" PLUS PLYWOOD THICKNESS SAME AS IMMEDIATELY ABOVE	6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 12" O.C. INTERMEDIATE 4" O.C. EDGES & 8" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 5" O.C. INTERMEDIATE
PLYWOOD SUBFLOORING (1/2") (3/8", 3/4") (1", 1 1/8") (1/2") (3/8")	6D COMMON OR 6D ANNULAR OR SPIRAL THREAD 8D COMMON OR 8D ANNULAR OR SPIRAL THREAD 10D COMMON OR 8D RING SHANK OR 8D ANNULAR OR SPIRAL THREAD 16D GALVANIZED WIRE STAPLES 3/8" MINIMUM CROWN; 1 3/8" LENGTH	6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 10" O.C. INTERMEDIATE 6" O.C. DIRECT EDGES & 6" O.C. INTERMEDIATE 4" O.C. EDGES & 7" O.C. INTERMEDIATE 2 1/2" O.C. EDGES & 4" O.C. INTERMEDIATE
BUILT-UP GIRDERS AND BEAMS	20D COMMON	32" O.C. DIRECT
CONTINUOUS HEADER TO STUD	8D COMMON	4 TOE-NAIL
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. DIRECT
1/2" FIBER BOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
25/32" FIBER BOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL OR 8D COMMON NAIL OR 16 GAUGE STAPLE, 1 1/2" LONG WITH MIN. CROWN OF 7/16"	3" O.C. EXTERIOR EDGE 6" O.C. INTERMEDIATE
GYPSUM SHEATHING	12 GAUGE 1 3/4" LARGE HEAD CORROSION- RESISTANT	4" O.C. EDGE 8" O.C. INTERMEDIATE
PARTICLE BOARD UNDERLAYMENT (1/4"-3/4")	6D ANNULAR THREADED	6" O.C. DIRECT EDGES 10" O.C. INTERMEDIATE
PARTICLE BOARD ROOF AND WALL SHEATHING 1/2" OR LESS	6D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
5/8" OR GREATER	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
PARTICLE BOARD SUBFLOORING (5/8" OR GREATER)	8D COMMON	6" O.C. DIRECT EDGES 12" O.C. INTERMEDIATE
SHINGLES, WOOD*	NO. 14 B&S GAGE CORROSION RESISTIVE	2 EACH BEARING
WEATHER BOARDING	8D CORROSION	2 EACH BEARING

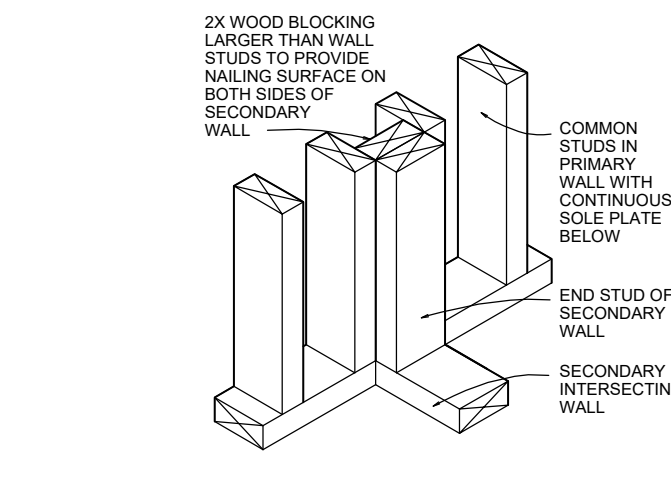
NOTE *: SHINGLE NAILS SHALL PENETRATE NOT LESS THAN 3/4" INTO NAILING STRIPS, SHEATHING OR SUPPORTING CONSTRUCTION EXCEPT AS OTHERWISE PROVIDED IN 780 CMR 1225.4.4.



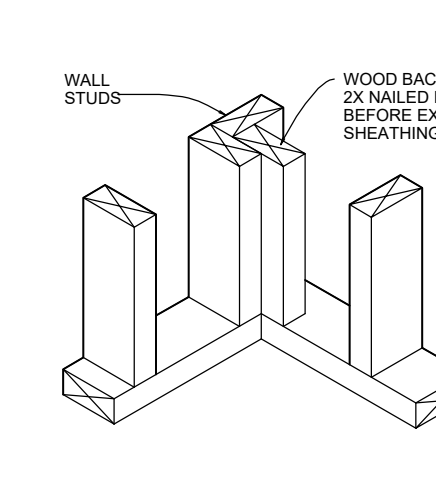
2X6 BEARING HEADER DETAIL NTS



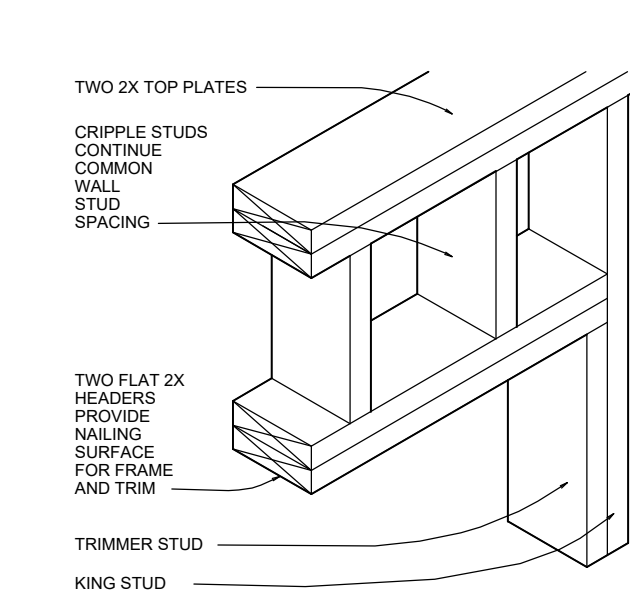
WOOD JOISTS SUPPORTED ON WOOD GIRDERS 1"=1'-0"



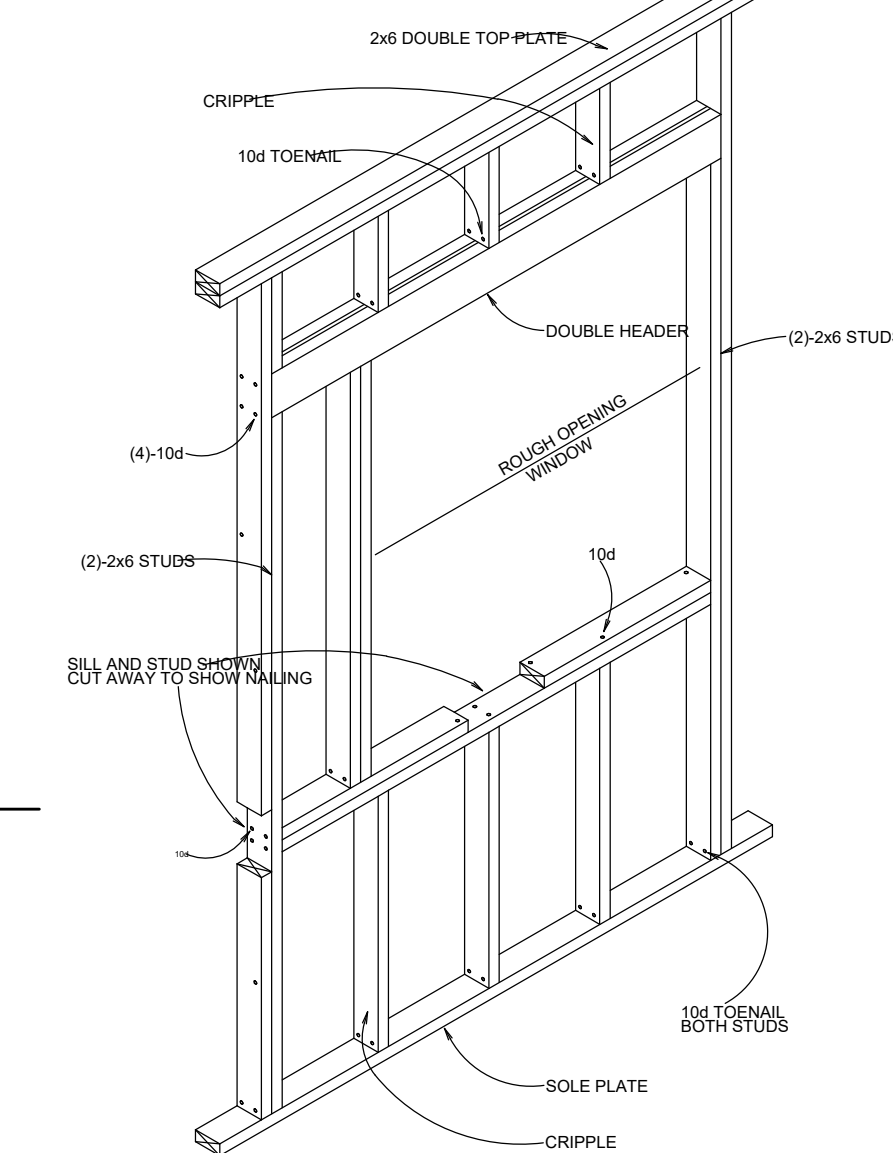
INSULATED WALL DETAILS 1"=1'-0"



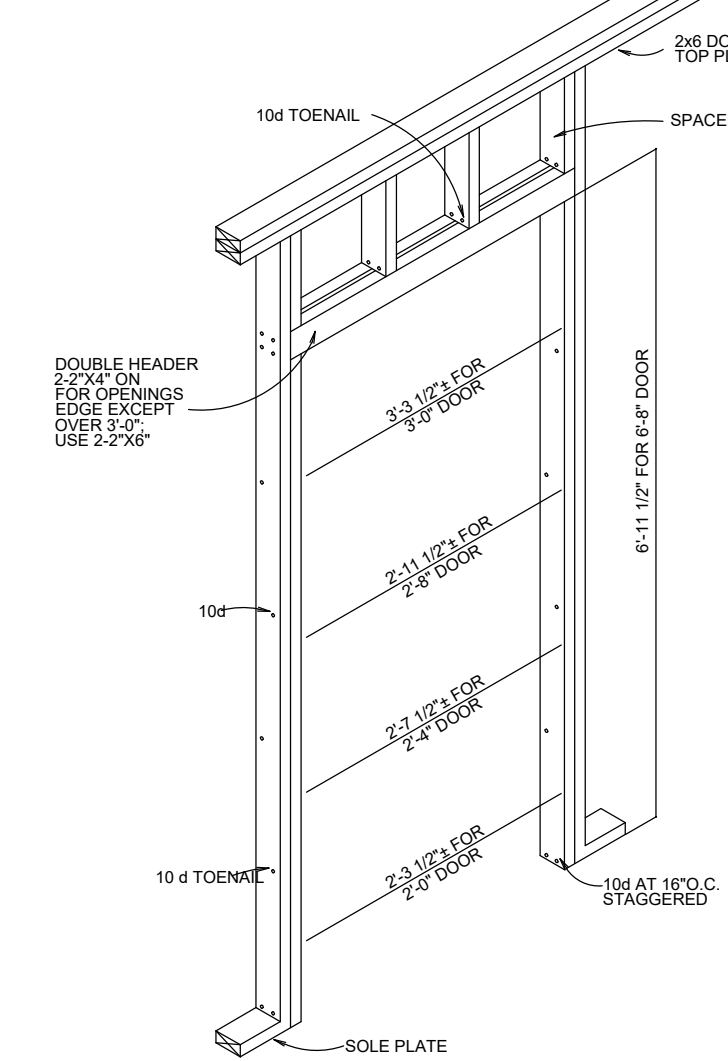
INSULATED WALL DETAILS 1"=1'-0"



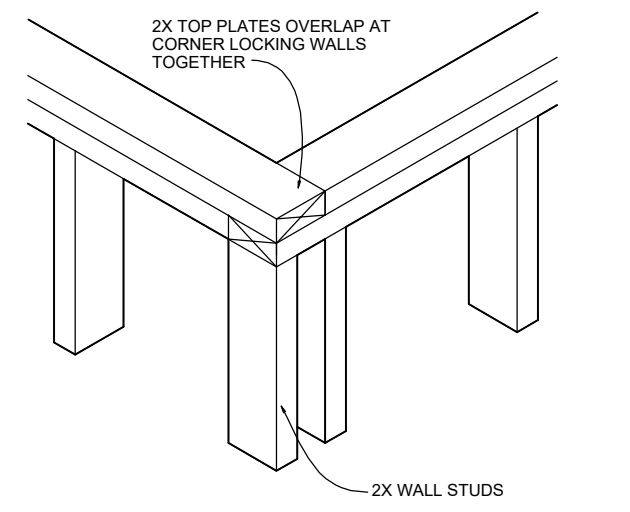
2X PARTITION WALL HEADER DETAIL NTS



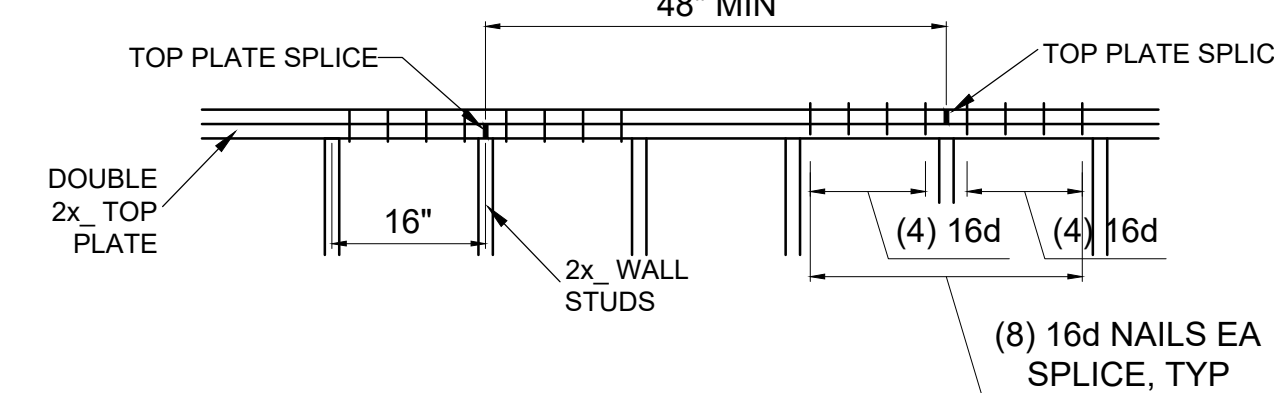
WINDOW OPENING DETAIL 1"=1'-0"



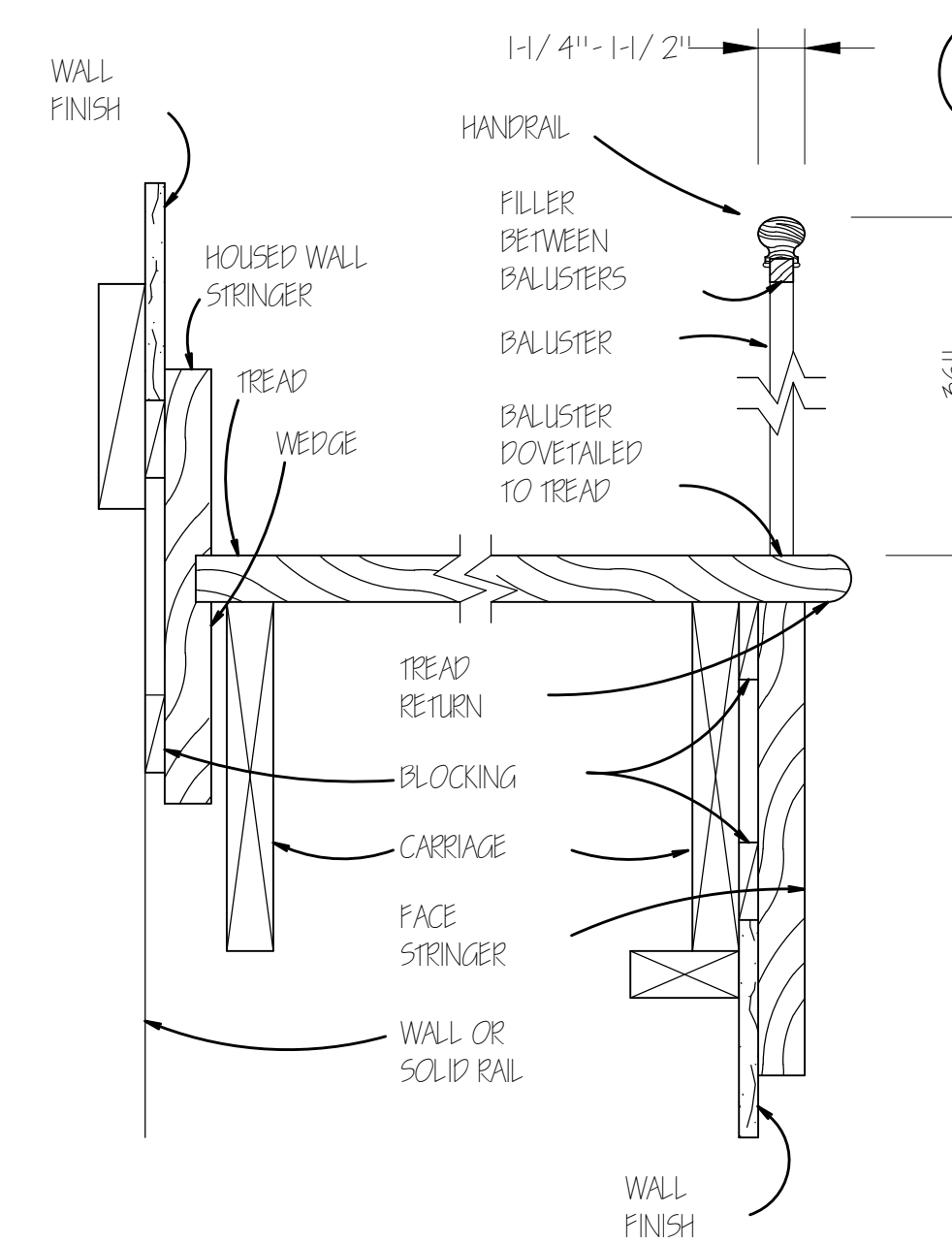
DOOR OPENING DETAIL 1"=1'-0"



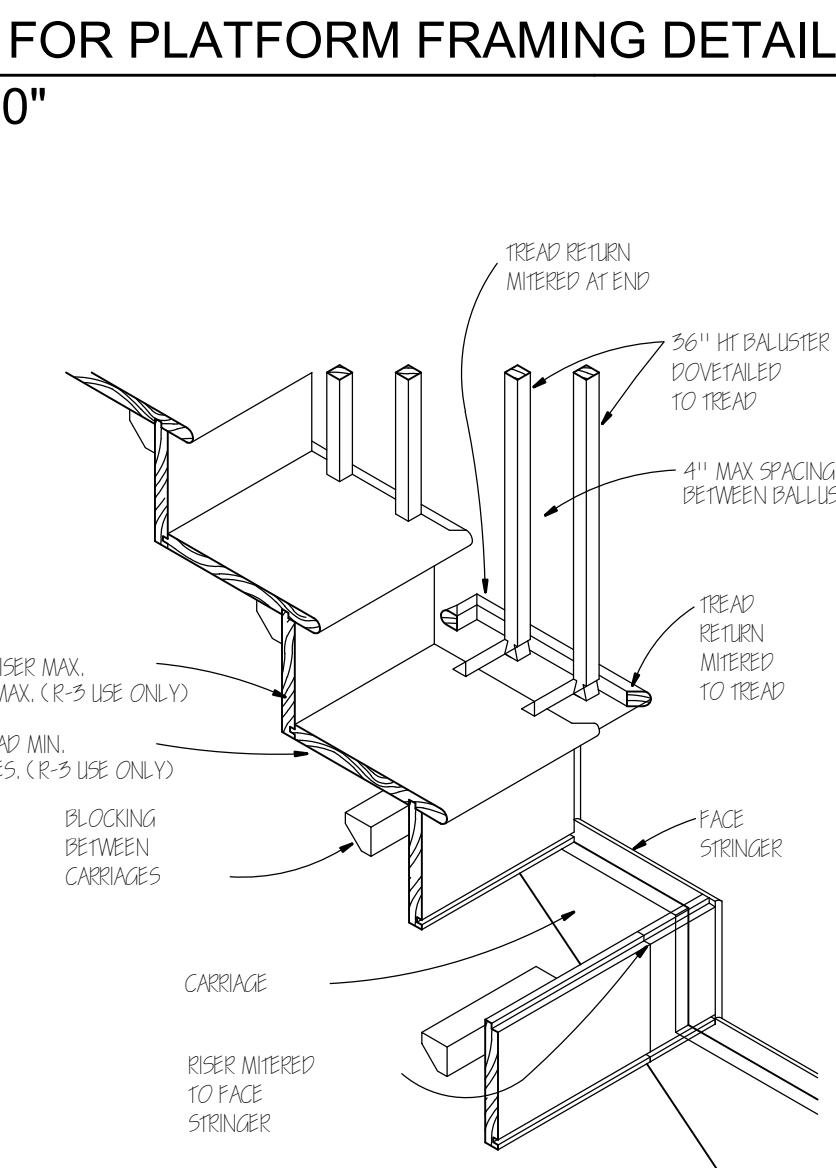
TOP PLATE FRAMING DETAIL NTS



TYPICAL DOUBLE TOP PLATE SPLICE DETAIL NTS



STAIR DETAIL NTS



SILL FOR PLATFORM FRAMING DETAIL 1"=1'-0"

Location
TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
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REGISTERED ARCHITECT
ARTHUR K.F. CHOO
LICENSE NO. 28319
REBOSTON MA
COMMONWEALTH OF MASSACHUSETTS

No.	Description	Date

Project No: 2024109
Scale: AS NOTED
Date: 10-10-2024
Drawn By: DF

FASTENING SCHEDULE & FRAMING DETAILS

Sheet No.
A-4.2

FOUNDATION NOTES:

1. THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
2. ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
3. ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
4. PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
5. FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
6. VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
7. DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
8. CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
9. CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
10. ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS OTHERWISE NOTED ON PLANS.
11. COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
12. ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
13. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
14. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
15. WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
16. ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
17. SEE THE REQUIREMENTS OF THE SPECIFICATIONS FOR BACKFILLING UNDER OR ADJACENT TO ANY PORTION OF THE BUILDING.
18. PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
19. SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNTERED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
20. WHERE BEDROCK IS ENCOUNTERED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
 - **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:

A. FOOTINGS	3 INCHES
B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE	2 INCHES
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER	1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS	1 INCHES
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
 - FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
3. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
5. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
9. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
11. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD	= 40 POUNDS PER SQUARE FOOT
	- FLOORS
	- PRIVATE DECK
DESIGN SNOW LOAD	= 40 POUNDS PER SQUARE FOOT
	WITH SNOW DRIFT
	WHERE APPLICABLE.
WIND LOAD	= 128 MILES PER HOUR
SEISMIC:	Ss = 0.217
	S1 = 0.069

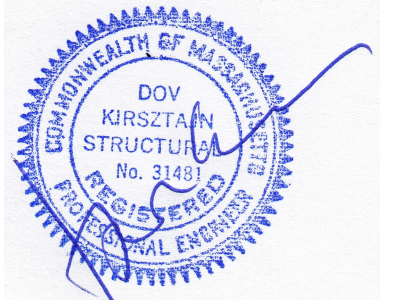
ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

Location

**TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129**

**Choo
& Company, Inc.**

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

Project No: 2024109
Scale: AS NOTED
Date: 09-16-2024
Drawn By: RB

Drawing Name

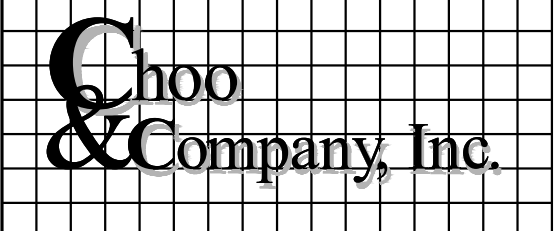
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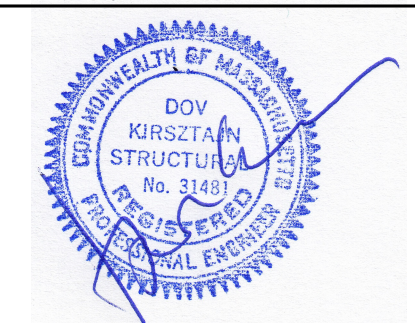
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Location

TWO-FAMILY RENOVATION & ADDITION 12 PROSPECT STREET CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

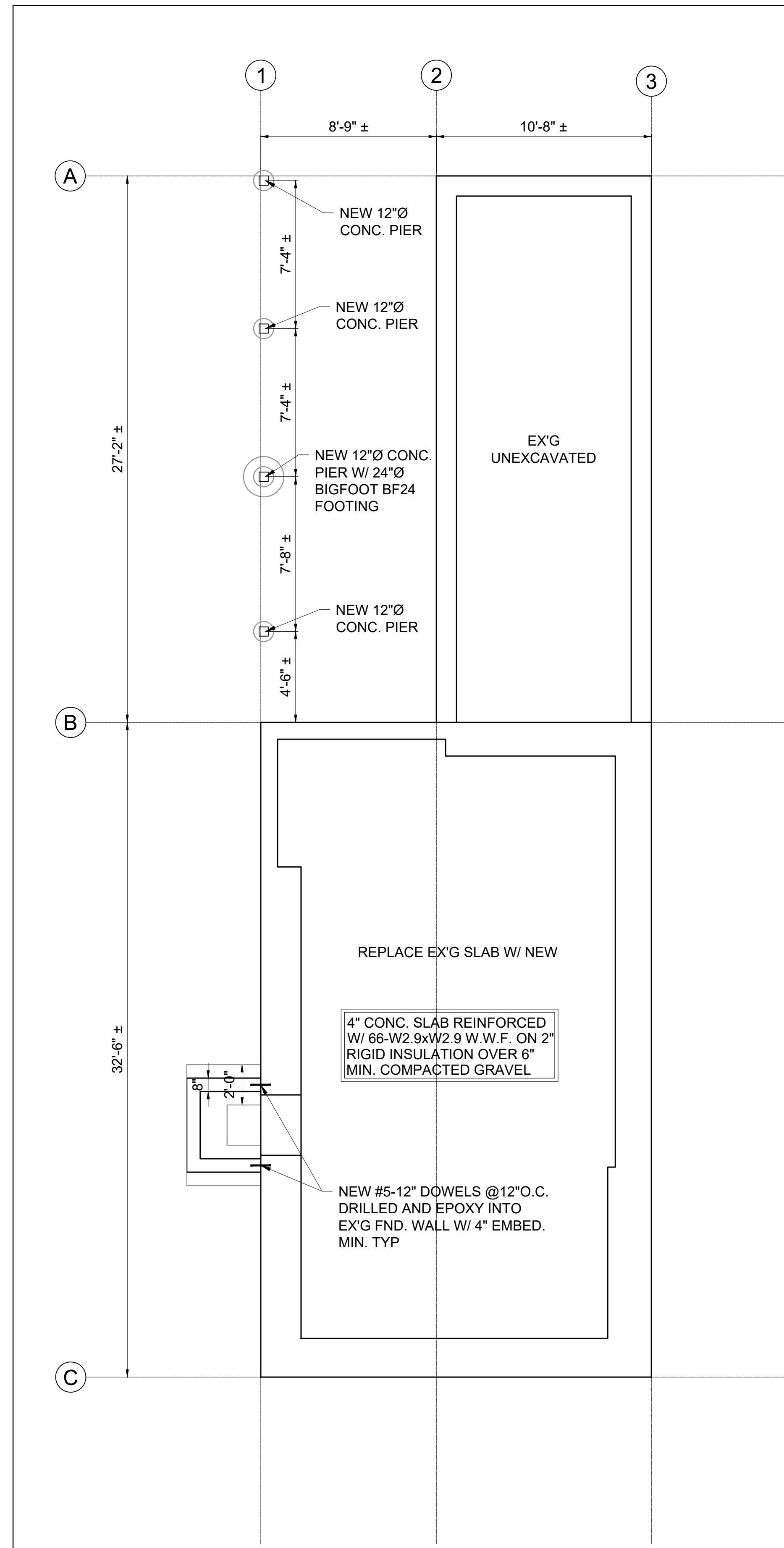
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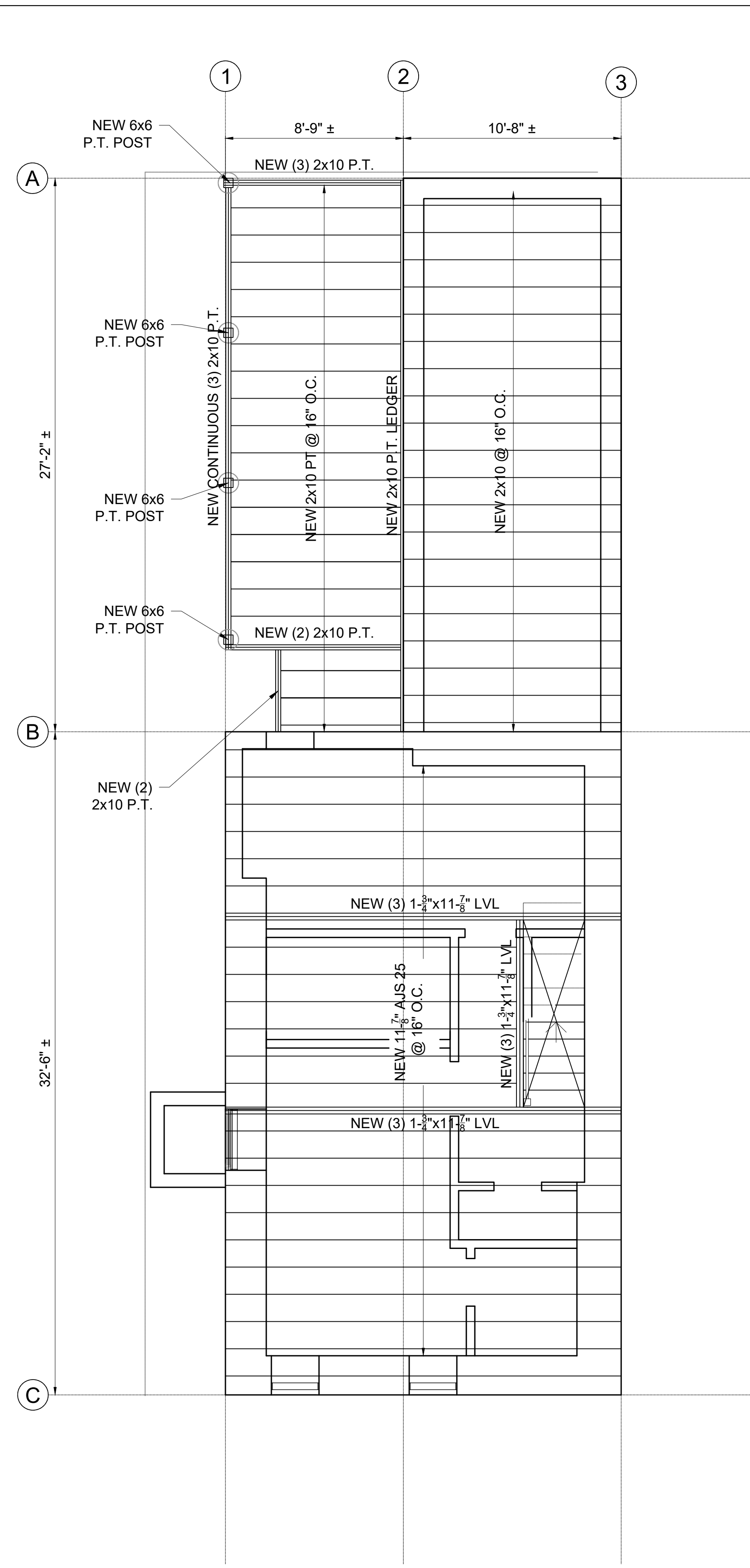
FOUNDATION, FIRST & SECOND FLOOR FRAMING PLANS

Sheet No.

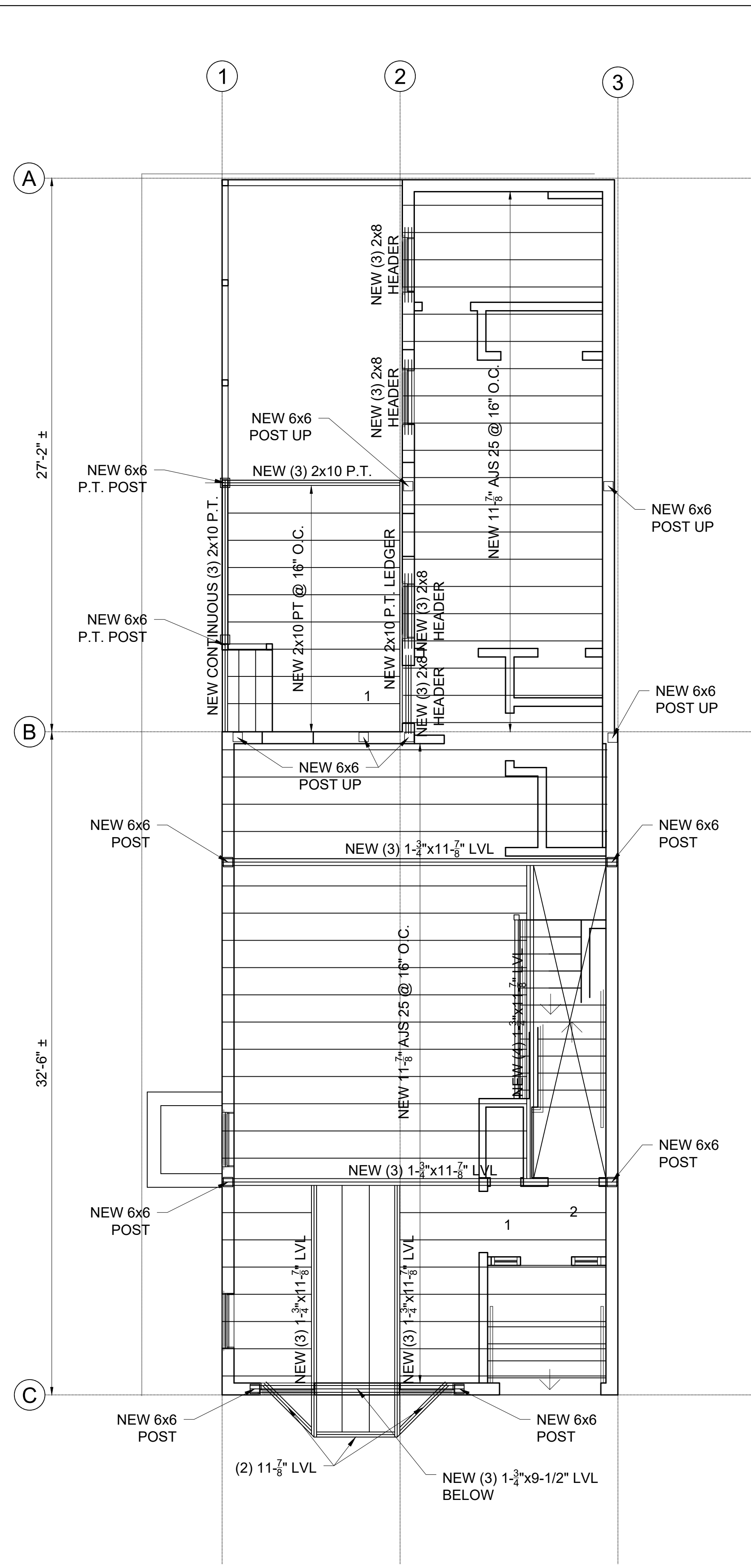
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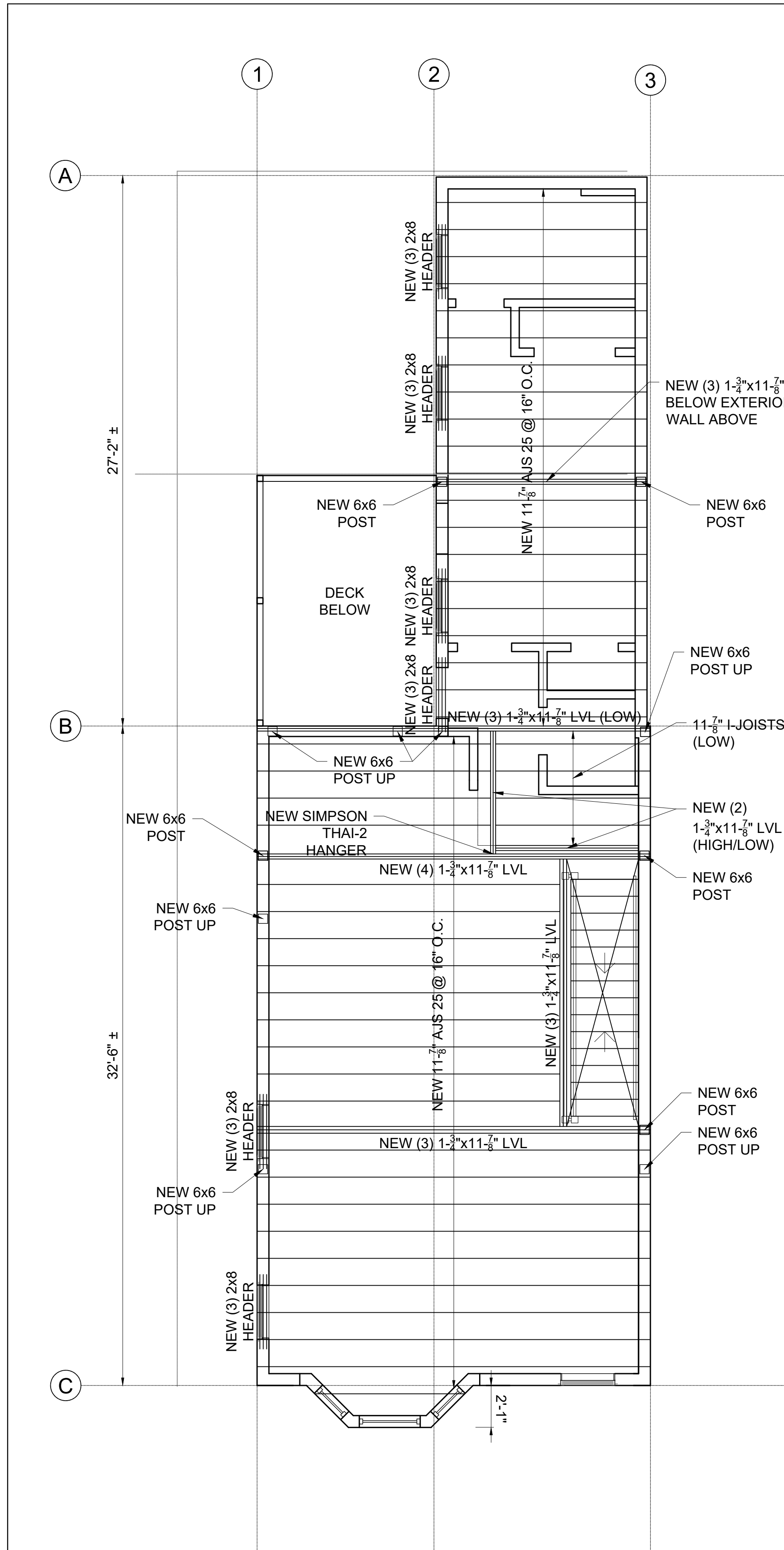
1 FOUNDATION PLAN
1/4" = 1'-0"



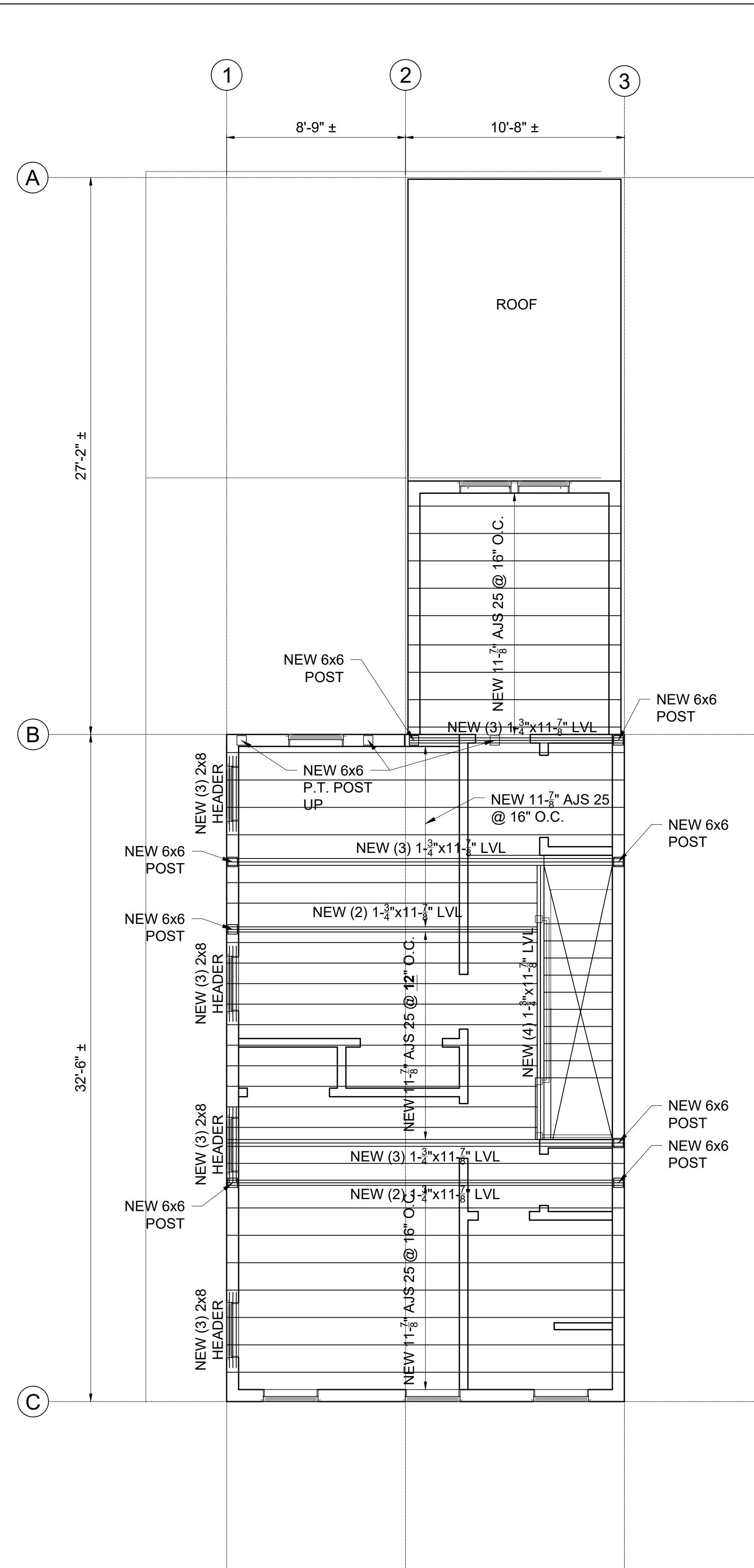
2 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



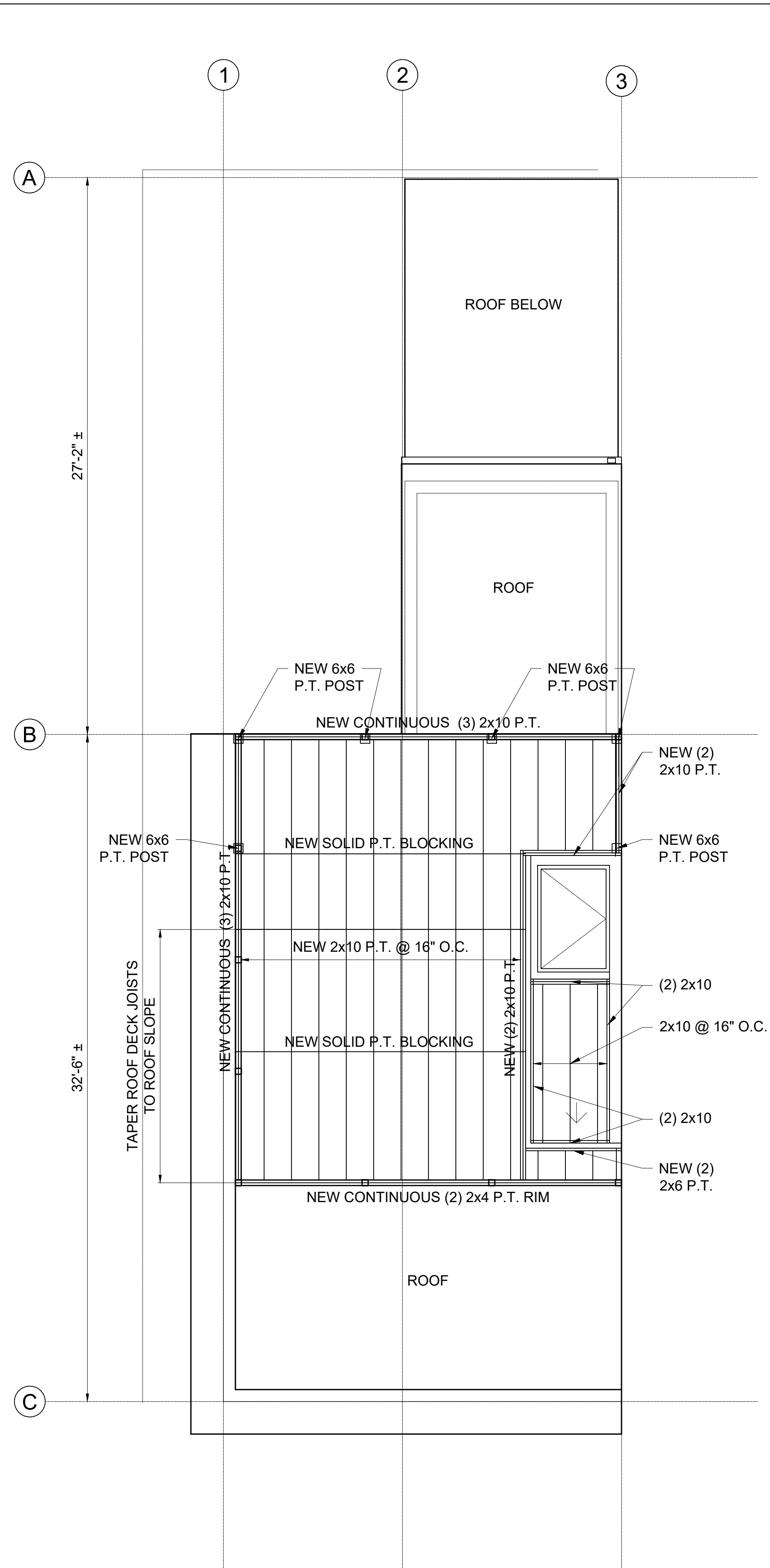
3 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



1 THIRD FLOOR FRAMMING PLAN
1/4" = 1'-0"



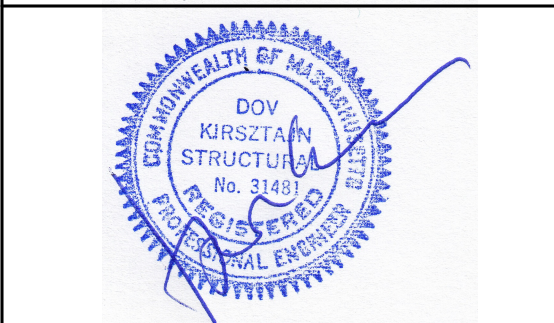
2 ROOF FRAMING PLAN
1/4" = 1'-0"



3 ROOF DECK FRAMMING PLAN
1/4" = 1'-0"

Location

**TWO-FAMILY RENOVATION
& ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129**

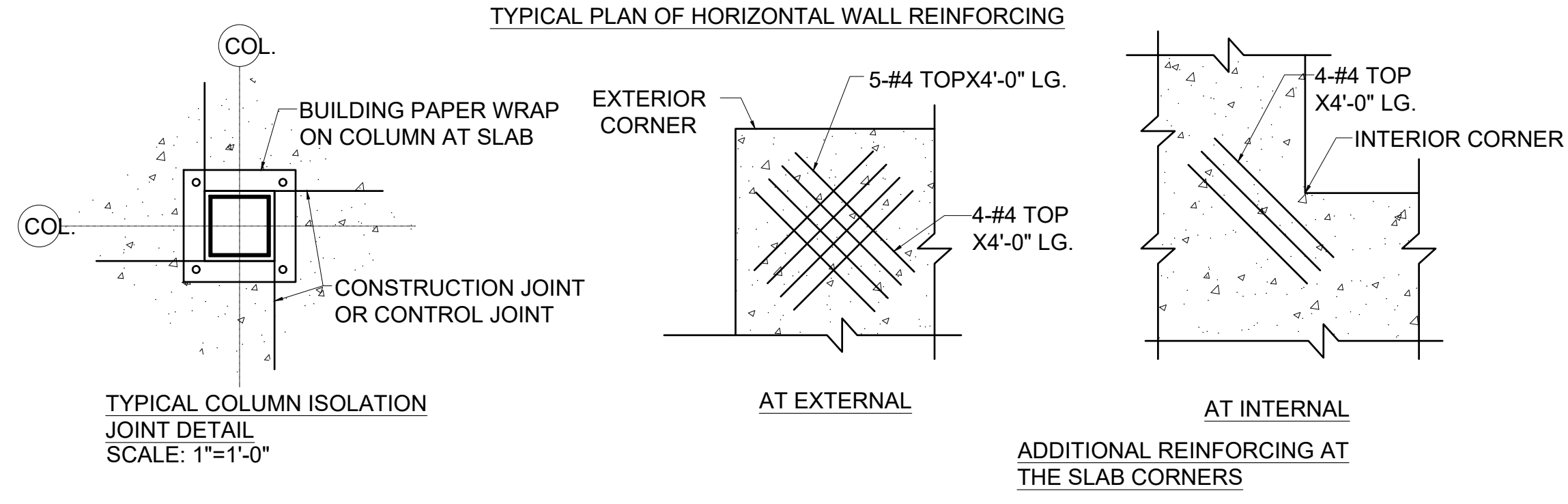
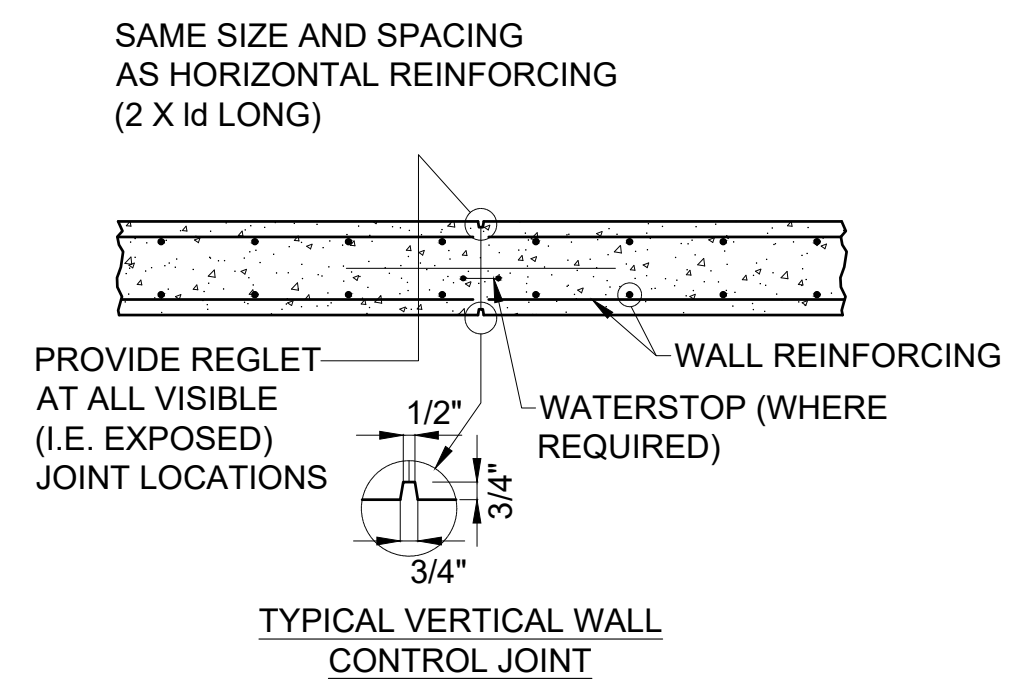
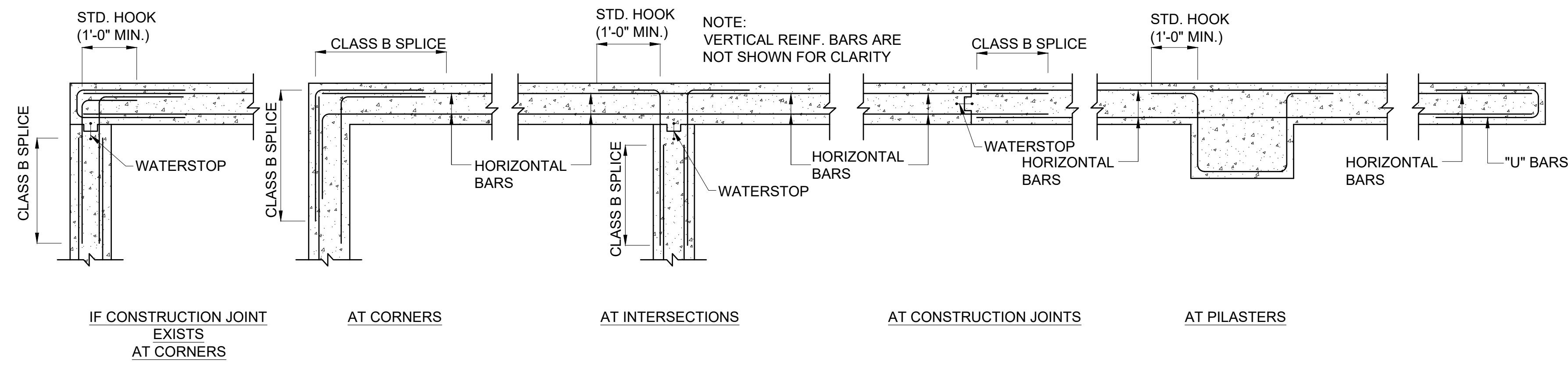


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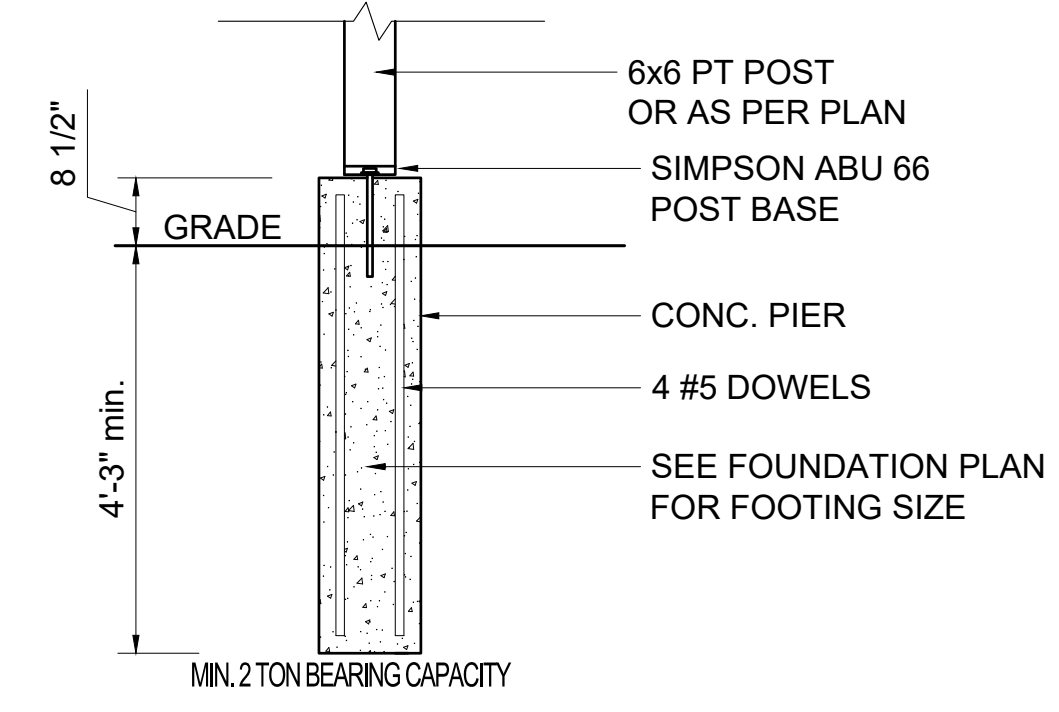
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Scale: AS NOTED
Date: 09-16-2024
Drawn By: RB

Drawing Name
**THIRD,
ROOF &
ROOF DECK
FRAMMING PLANS**

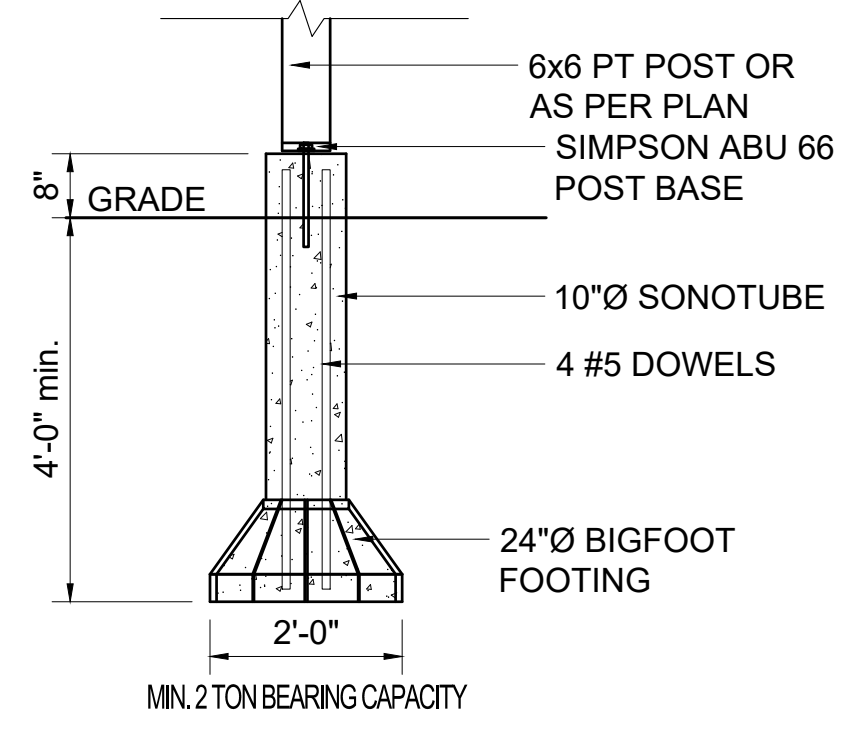
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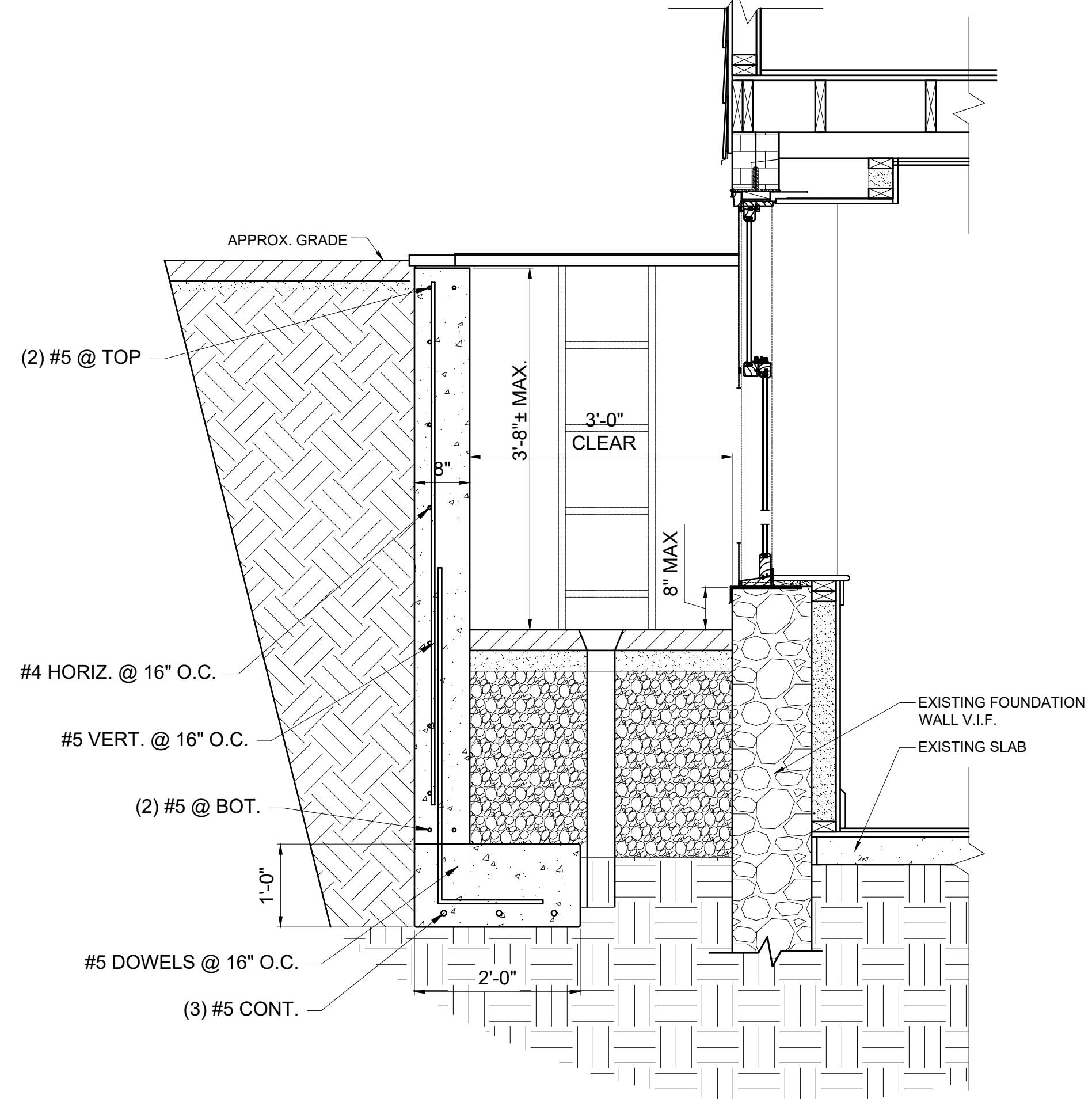
1 TYPICAL CONCRETE DETAILS
1/2" = 1'-0"



1 TYPICAL CONCRETE PIER DETAIL
1/2" = 1'-0"



2 BIGFOOT BF24 CONCRETE PIER DETAIL
1/2" = 1'-0"



2 WINDOW WELL DETAIL
3/4" = 1'-0"

Location

TWO-FAMILY RENOVATION & ADDITION
12 PROSPECT STREET
CHARLESTOWN, MA 02129

Shoo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



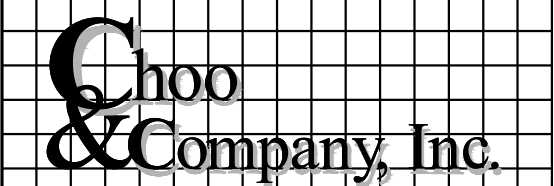
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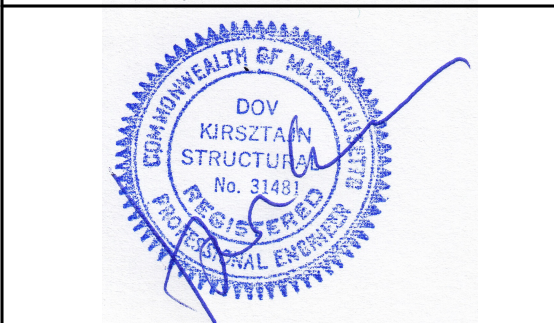
Drawing Name
CONCRETE DETAILS

Sheet No.
S-2.1

TWO-FAMILY RENOVATION & ADDITION 12 PROSPECT STREET CHARLESTOWN, MA 02129



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Description	Date

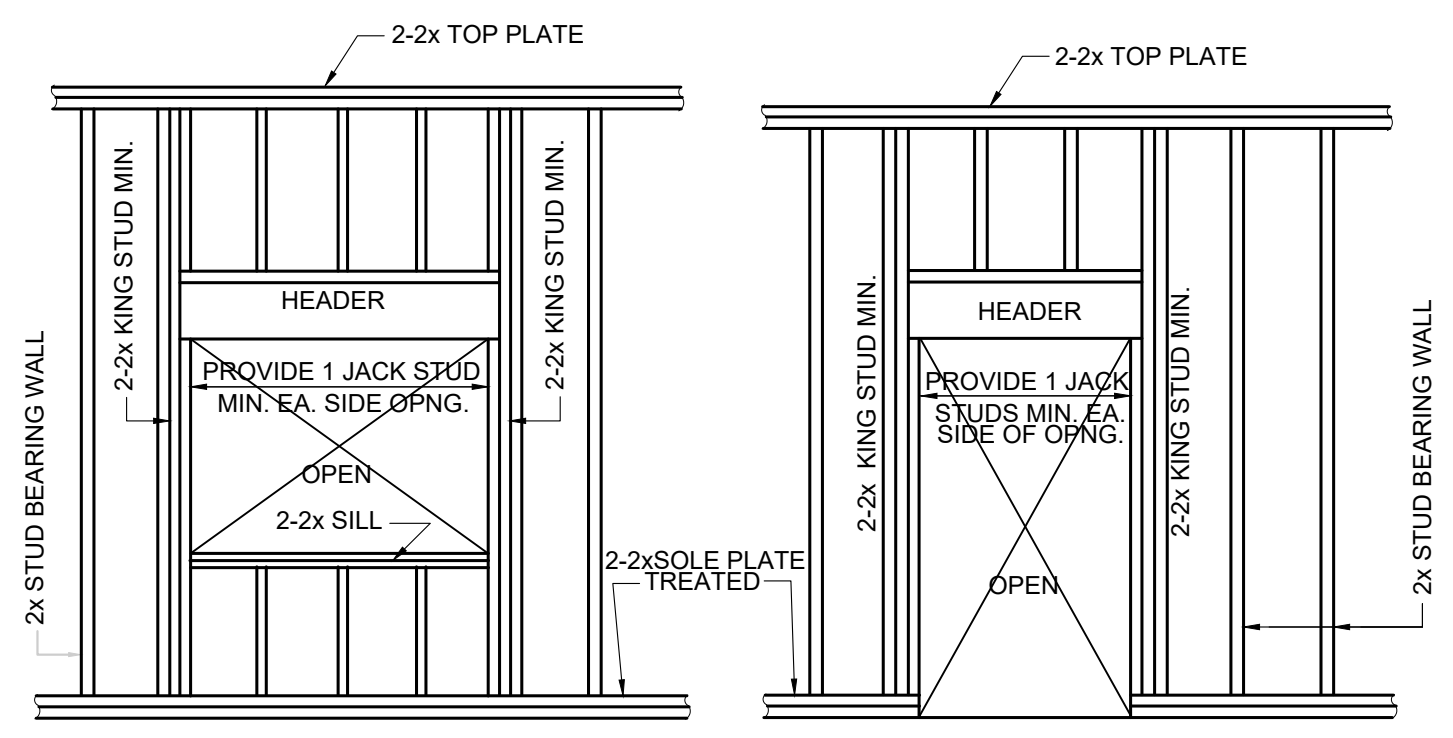
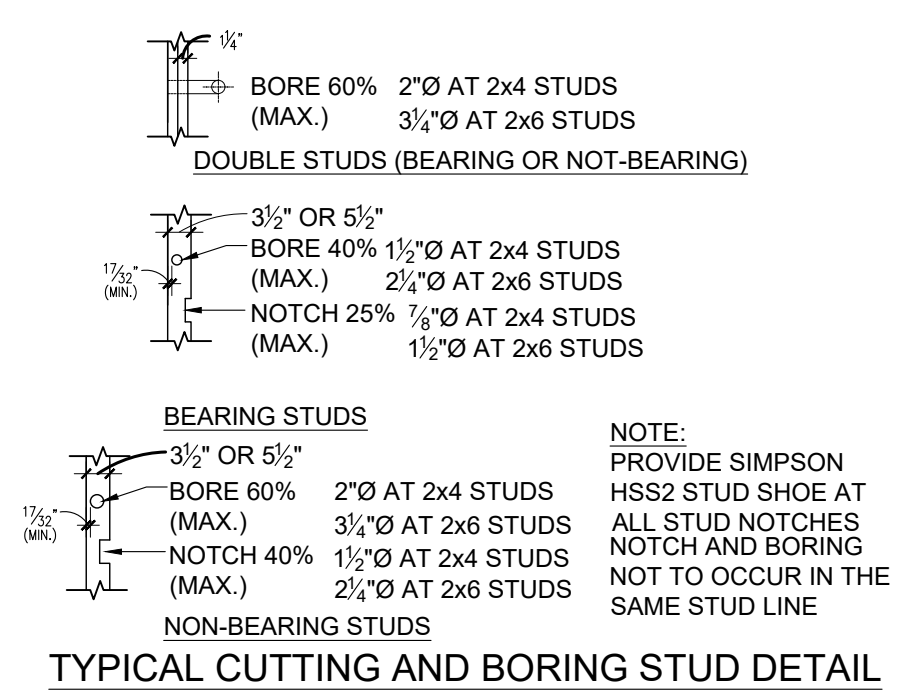
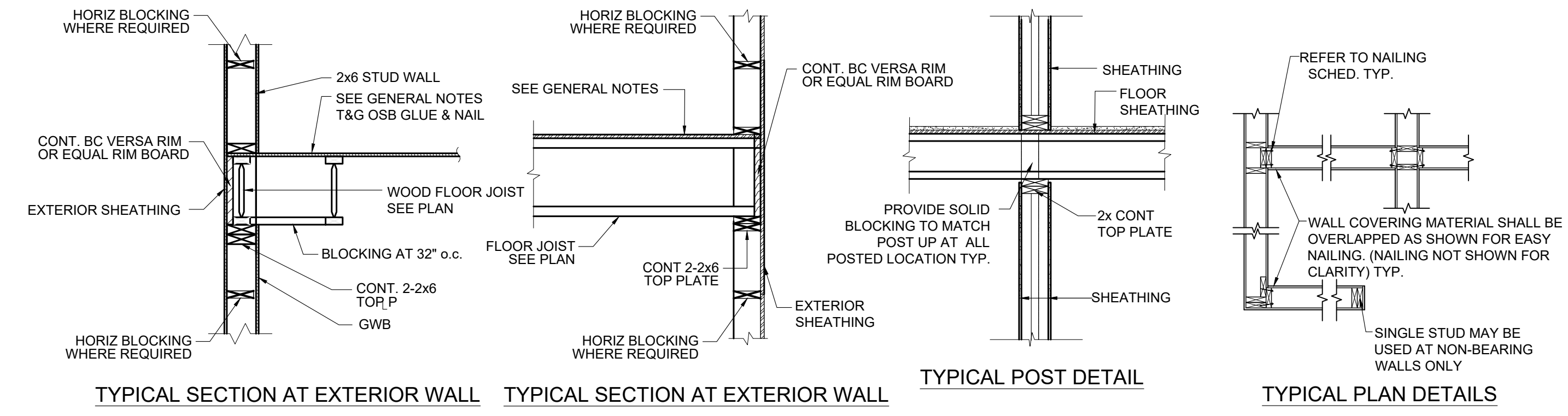
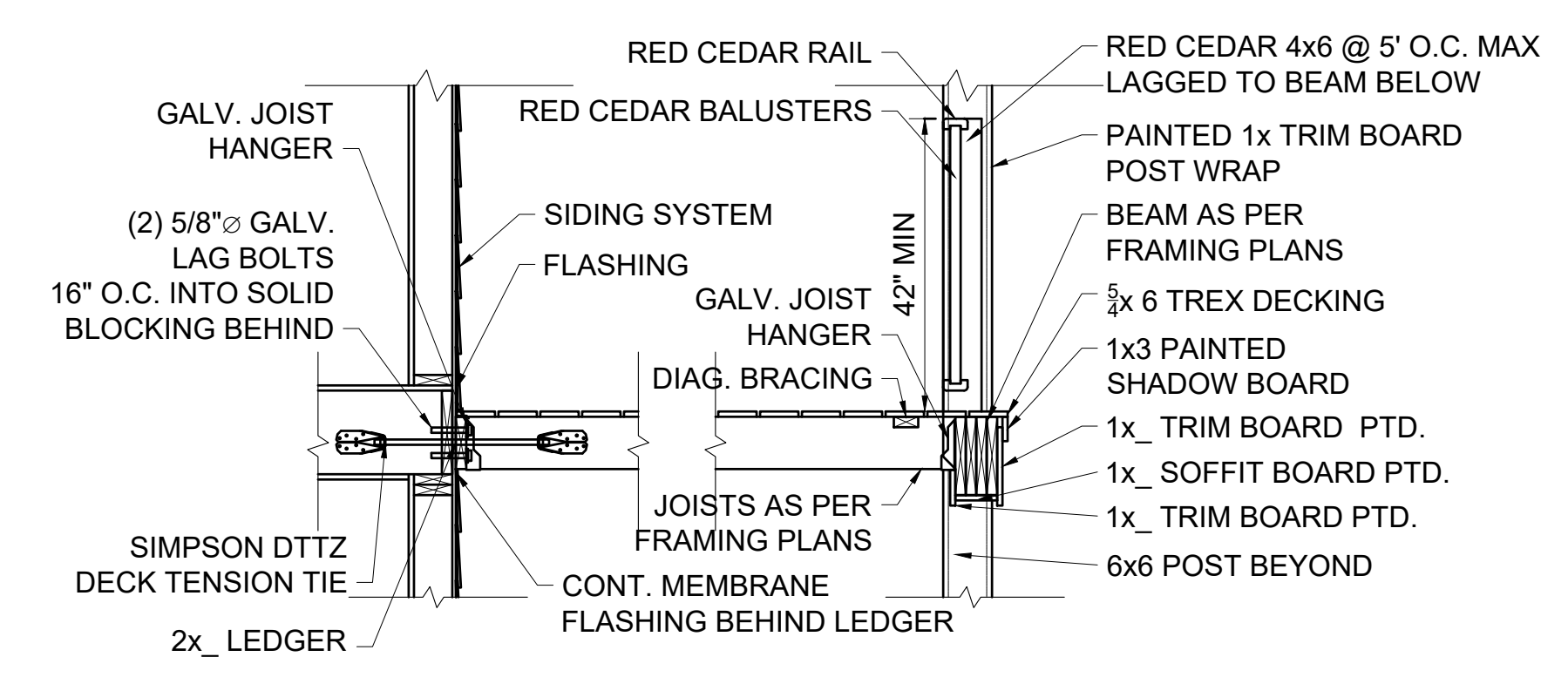
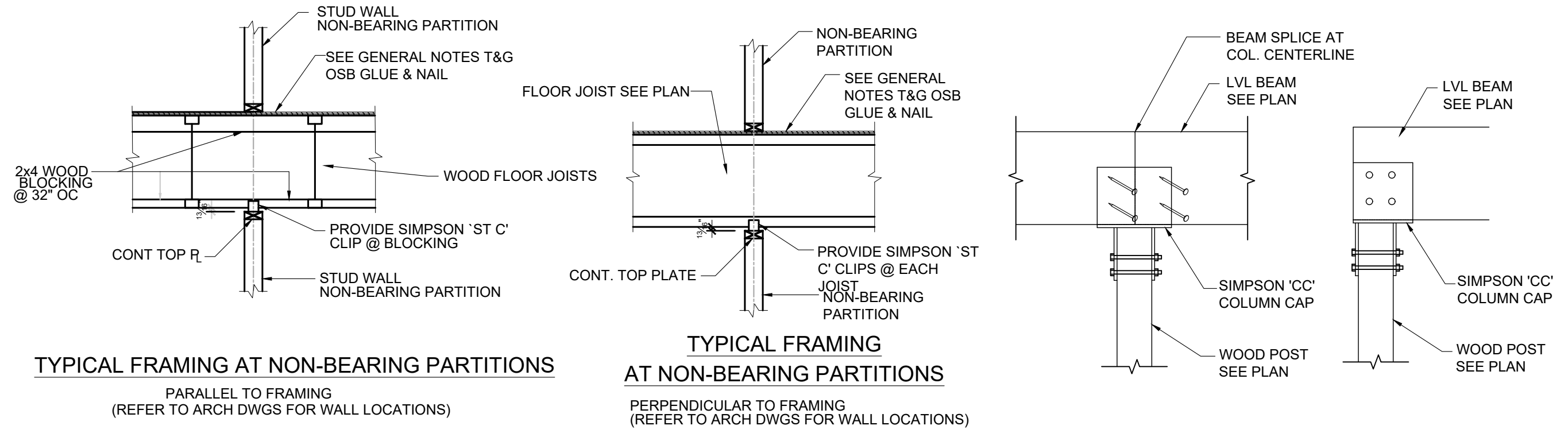
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Drawn By: RB

Drawing Name

WOOD DETAILS

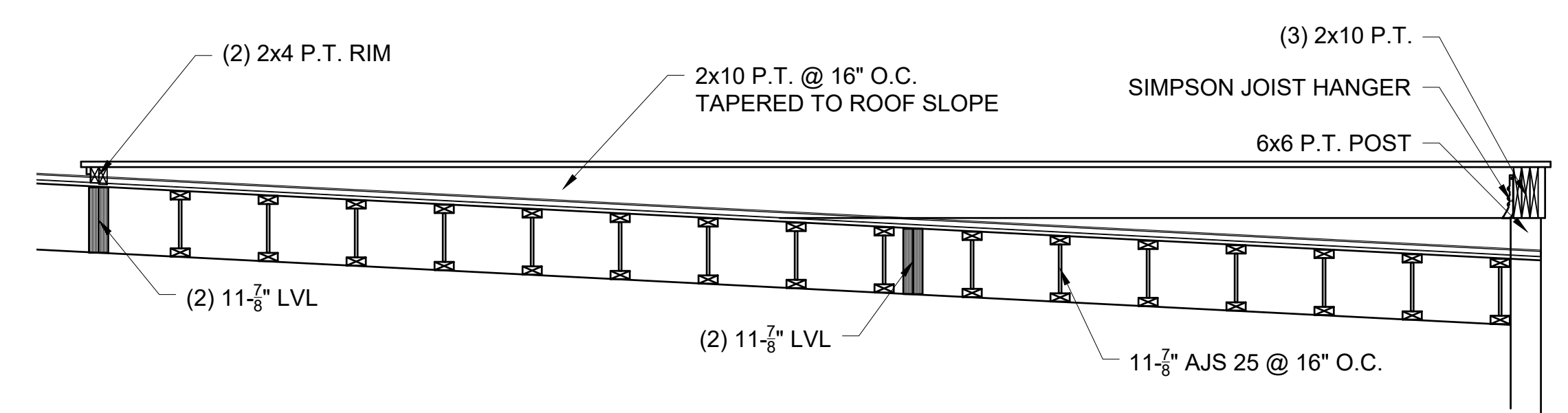
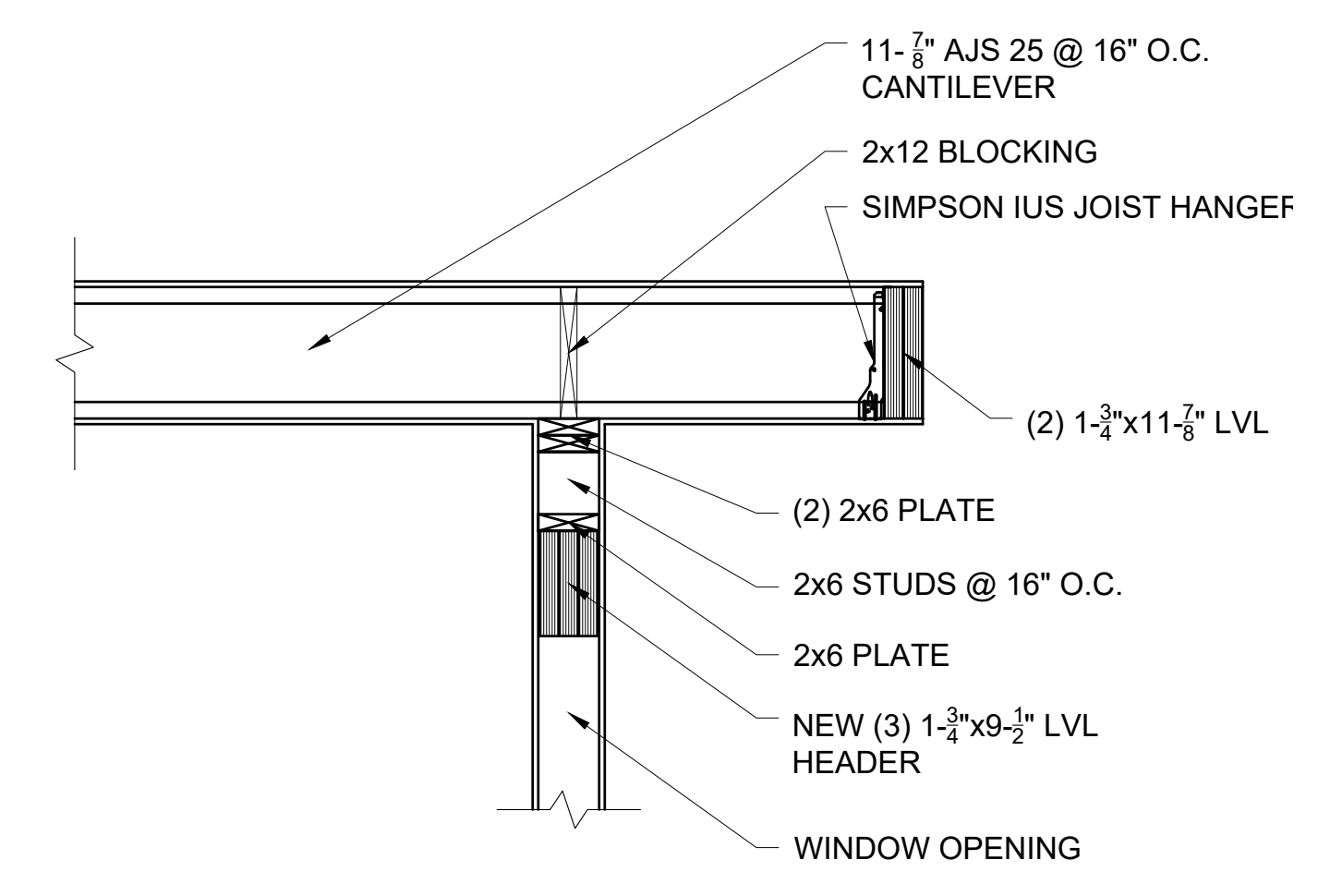
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HEADER SCHEDULE (I.N.O.)			
BEARING WALLS			
OPNG. WIDTH	HDR. DEPTH	KING STUDS	TRIMMER
3'-6" OR LESS	6"	2-2x6	1-2x6
3'-6" TO 8'-6"	6"	3-2x6	1-2x6
8'-6" TO 8'-0"	SEE PLAN	5-2x6	2-2x6
8'-6" TO 16'-0"	SEE PLAN	7-2x6	3-2x6
NON-BEARING WALLS			
OPNG. WIDTH	HDR. DEPTH	KING STUDS	TRIMMER
4'-0" OR LESS	6"	2-2x6	1-2x6
4'-0" TO 7'-8"	6"	3-2x6	1-2x6
7'-8" TO 10'-0"	10"	5-2x6	2-2x6
10'-0" TO 14'-0"	12"	6-2x6	3-2x6

TYPICAL WOOD DETAILS
1/2" = 1'-0"

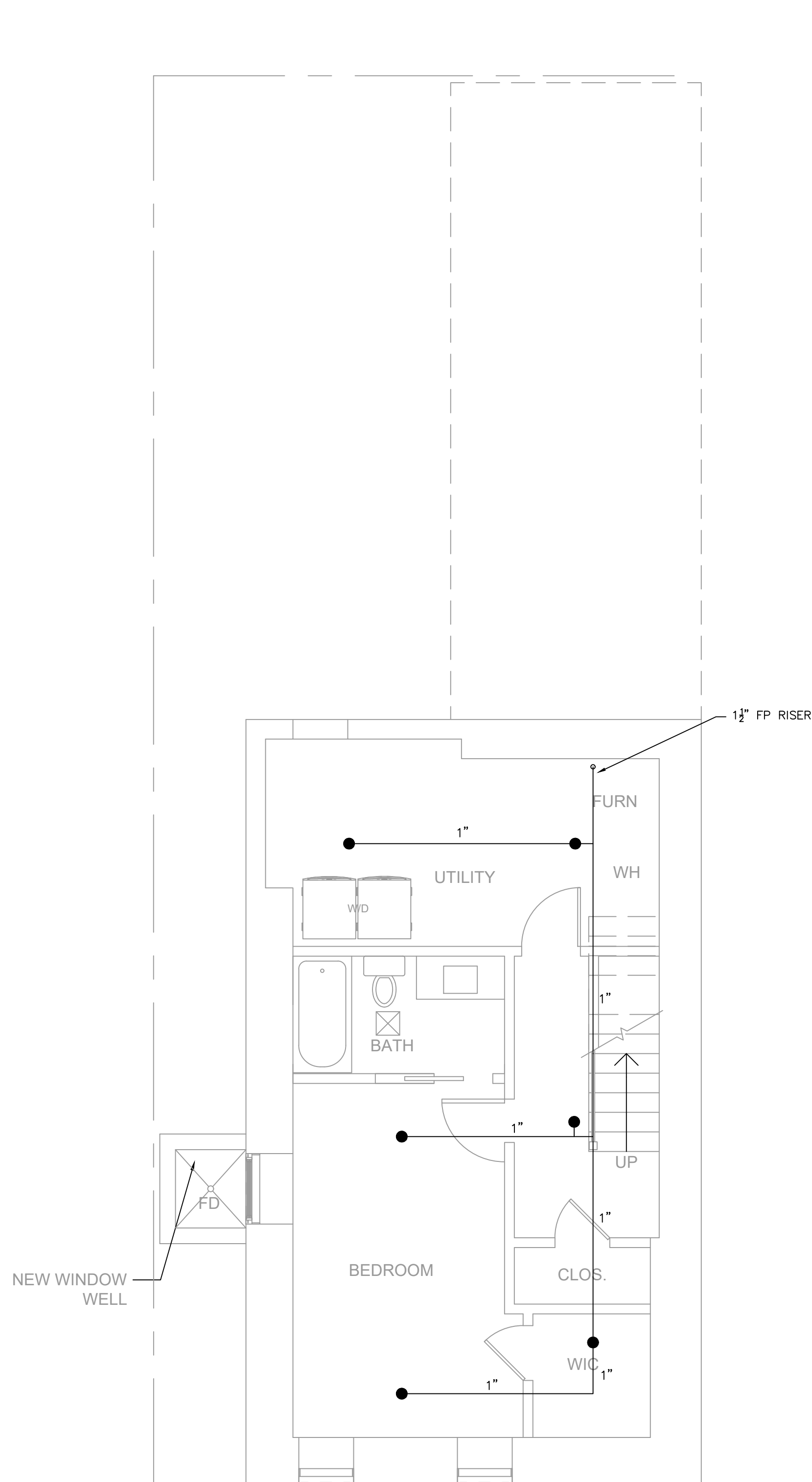


FIRE PROTECTION NOTES:

SPRINKLER HEAD LAYOUT BASED ON LIGHTING NOT TO EXCEED 12" BELOW THE GWB CEILING

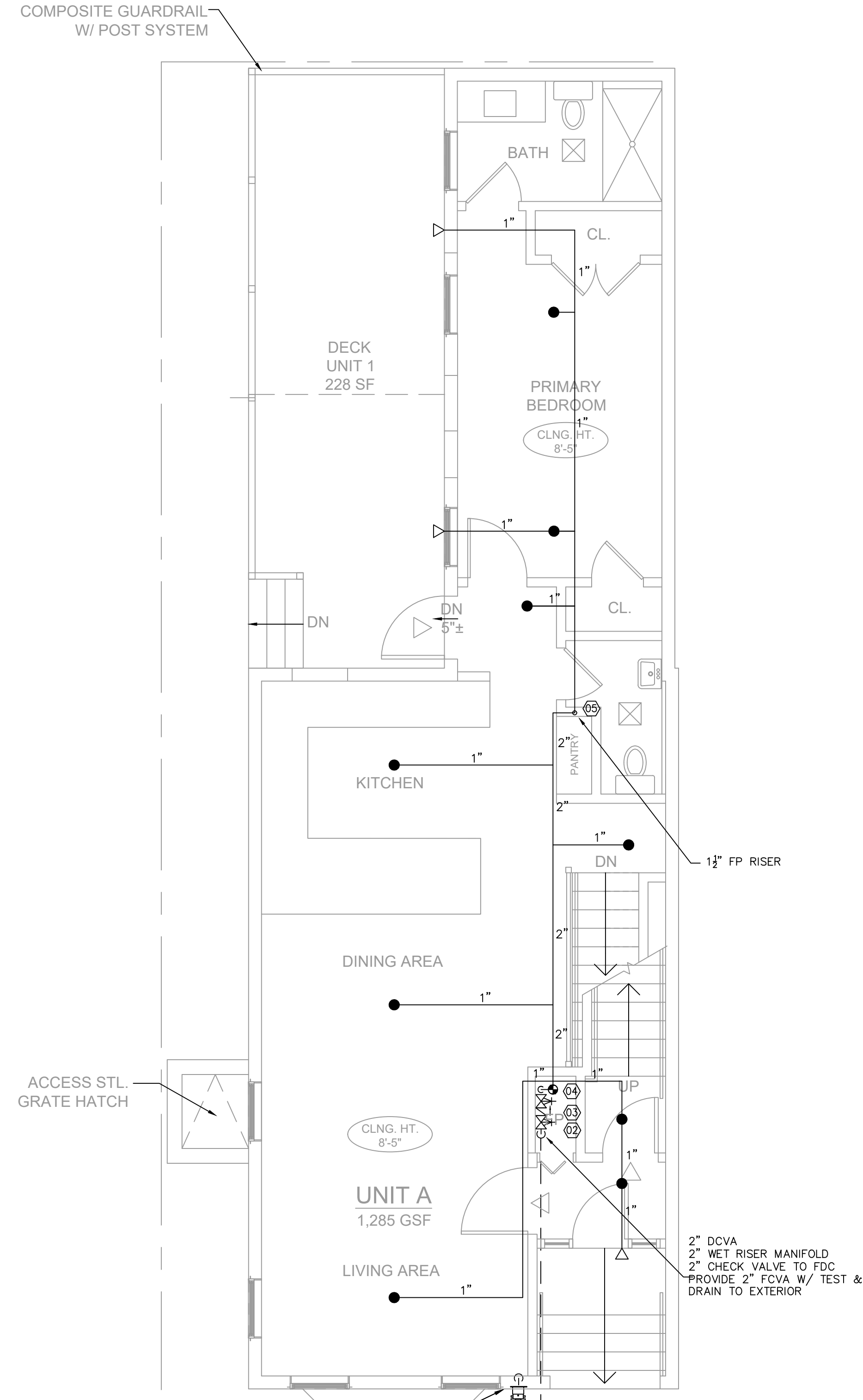
SPRINKLER CONTRACTOR IS RESPONSIBLE FOR COORDINATING PIPE ROUTING WITH OTHER TRADES AND STRUCTURAL COMPONENTS

DRY SIDEWALL SPRINKLER HEADS ARE REQUIRED AT ALL BUILDING OVERHANGS EXCEEDING 4'-FT



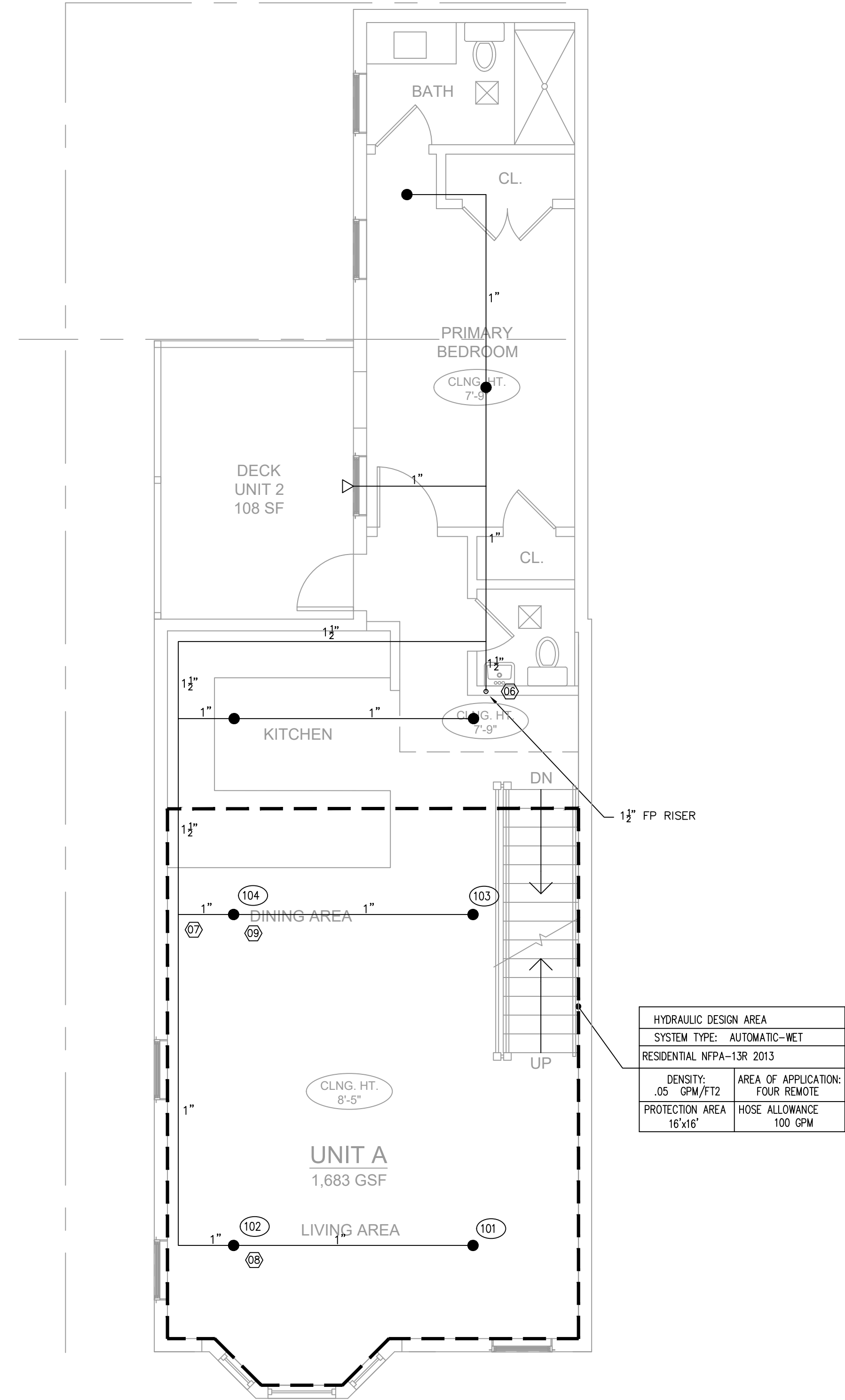
PROSPECT STREET

Scale: 1/4" = 1'-0"



PROSPECT STREET

Scale: 1/4" = 1'-0"



PROSPECT STREET

Scale: 1/4" = 1'-0"

2 1/2" SIAMSESE TYPE FIRE DEPT. CONNECTION WITH BRASS WALL COLLAR BRANDED "AUTO-SPRKR" 8" ELECTRIC SPRINKLER BELL 24/V MOUNTED 10'-FT ABOVE GRADE BY FIRE SPRINKLER CONTRACTOR AND WIRED BY GENERAL CONTRACTOR. COORDINATE SIGNAGE WITH BFD

2" DCVA 2" WET RISER MANIFOLD 2" CHECK VALVE TO FDC PROVIDE 2" FCVA W/ TEST & DRAIN TO EXTERIOR

HYDRAULIC DESIGN AREA	
SYSTEM TYPE: AUTOMATIC-WET	
RESIDENTIAL NFPA-13R 2013	
DENSITY: .05 GPM/FT ²	AREA OF APPLICATION: FOUR REMOTE
PROTECTION AREA 16'x16'	HOSE ALLOWANCE 100 GPM

ZADE ENGINEERING LLC

CONSULTING ENGINEERS
ONE BILLINGS RD. QUINCY, MA
TEL. (617) 338-4406
FAX. (617) 451-2540
E-MAIL: Zade@ZadeEngineering.com

Project:
12 PROSPECT ST.
BOSTON, MA 02129

Title:
FIRE PROTECTION PLAN

Revisions:	
NO.	DATE

Project No.: Drawn: JD
Date: 10/11/2024 Checked: MM
Scale: AS NOTED Approved: MM

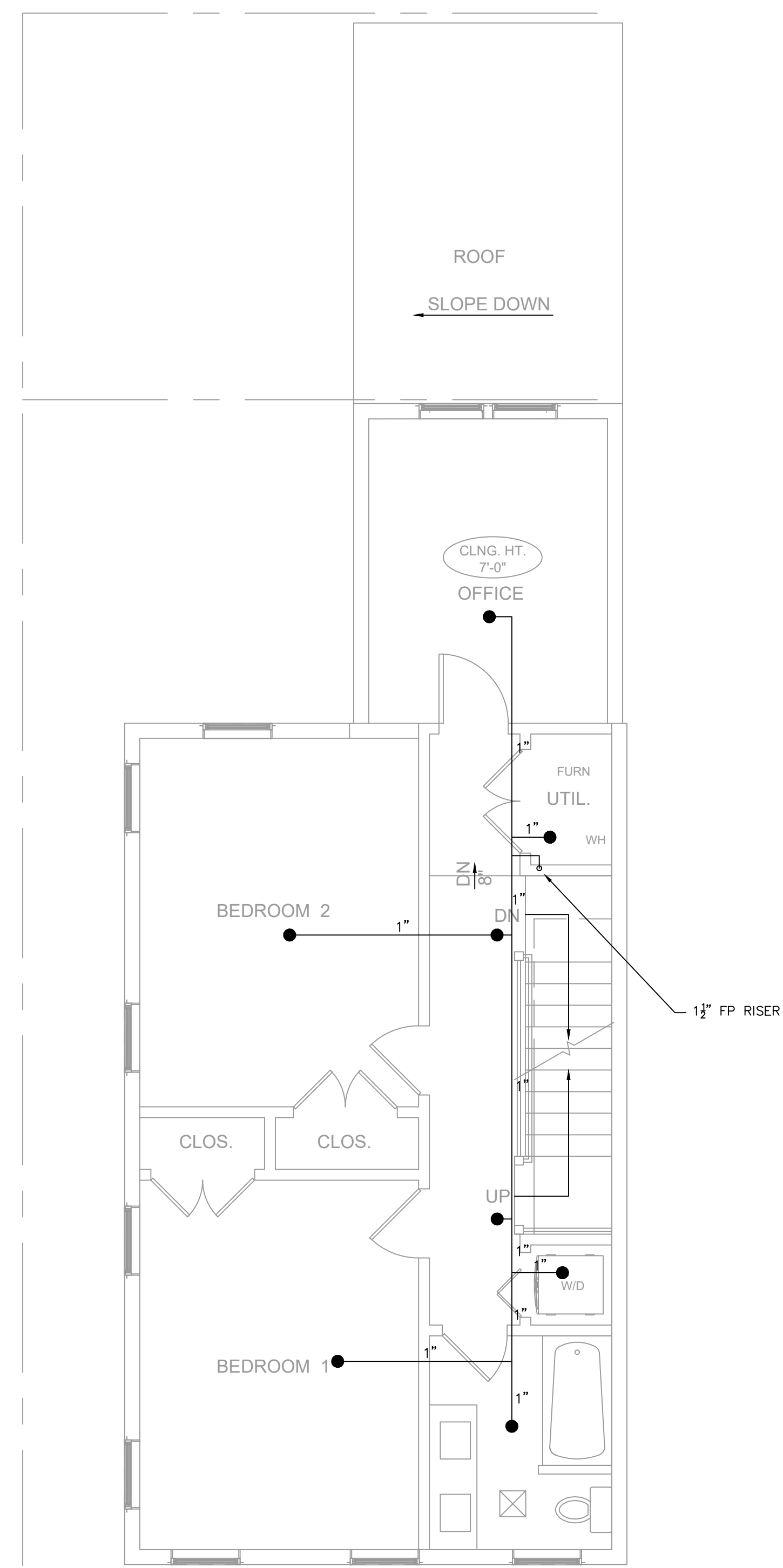
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FIRE PROTECTION NOTES:

SPRINKLER HEAD LAYOUT BASED ON LIGHTING NOT TO EXCEED 13' BELOW THE GWB CEILING

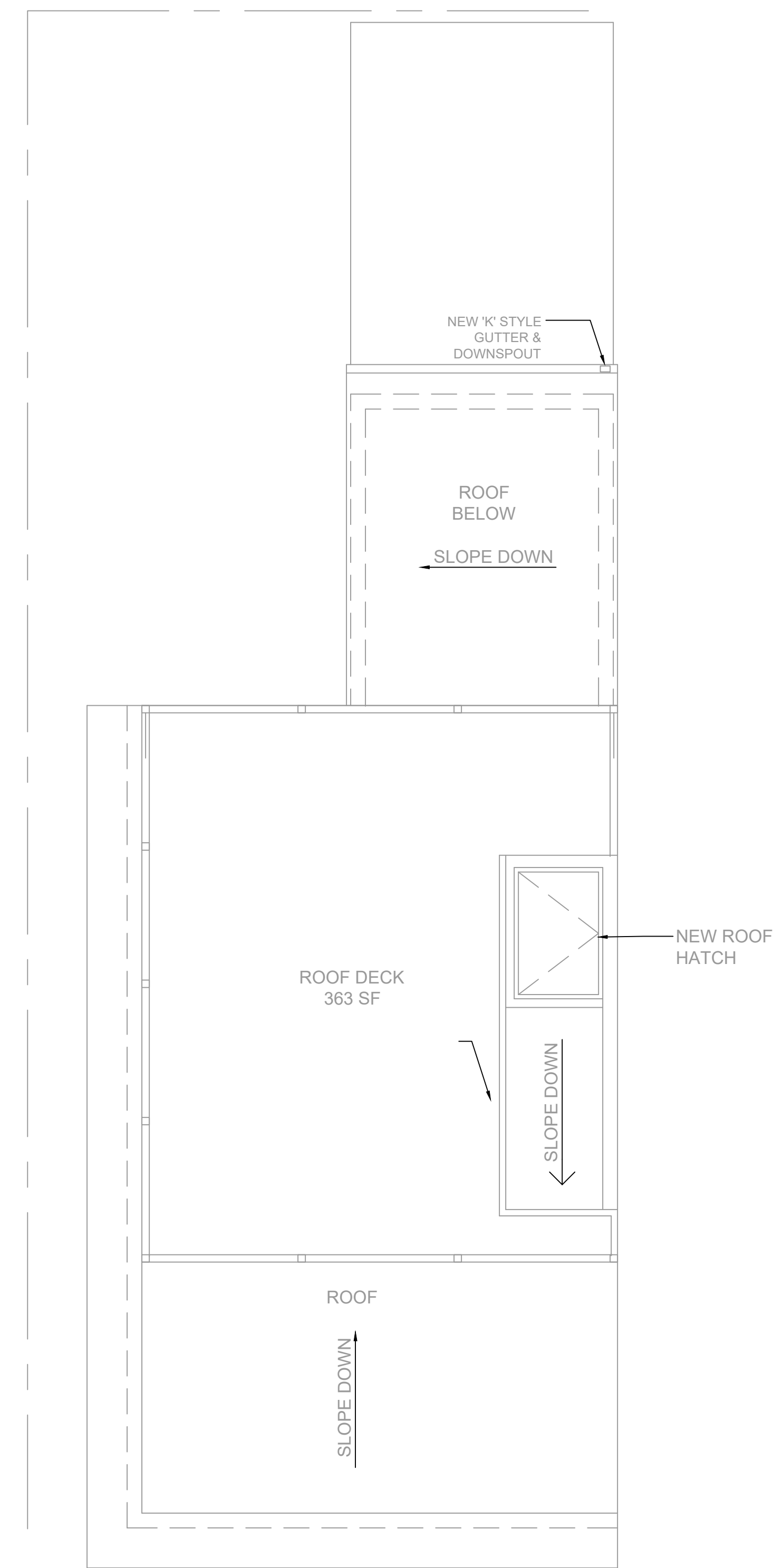
SPRINKLER CONTRACTOR IS RESPONSIBLE FOR COORDINATING PIPE ROUTING WITH OTHER TRADES AND STRUCTURAL COMPONENTS

DRY SIDEWALL SPRINKLER HEADS ARE REQUIRED AT ALL BUILDING OVERHANGS EXCEEDING 4-FT



PROSPECT STREET

Scale: 1/4" = 1'-0"



PROSPECT STREET

Scale: 1/4" = 1'-0"


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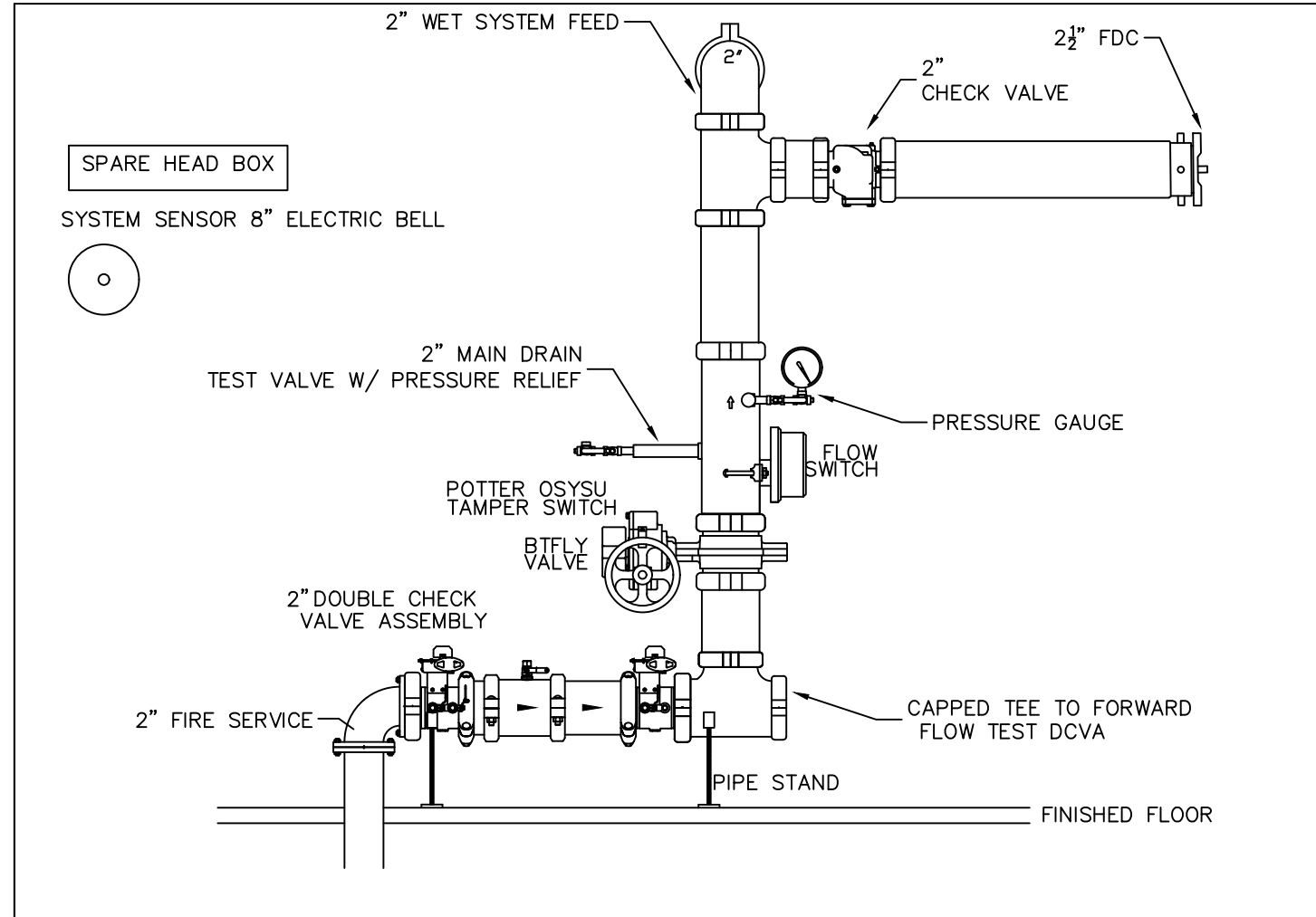
Project:
 12 PROSPECT ST.
 BOSTON, MA 02129

Title:
 FIRE PROTECTION PLAN

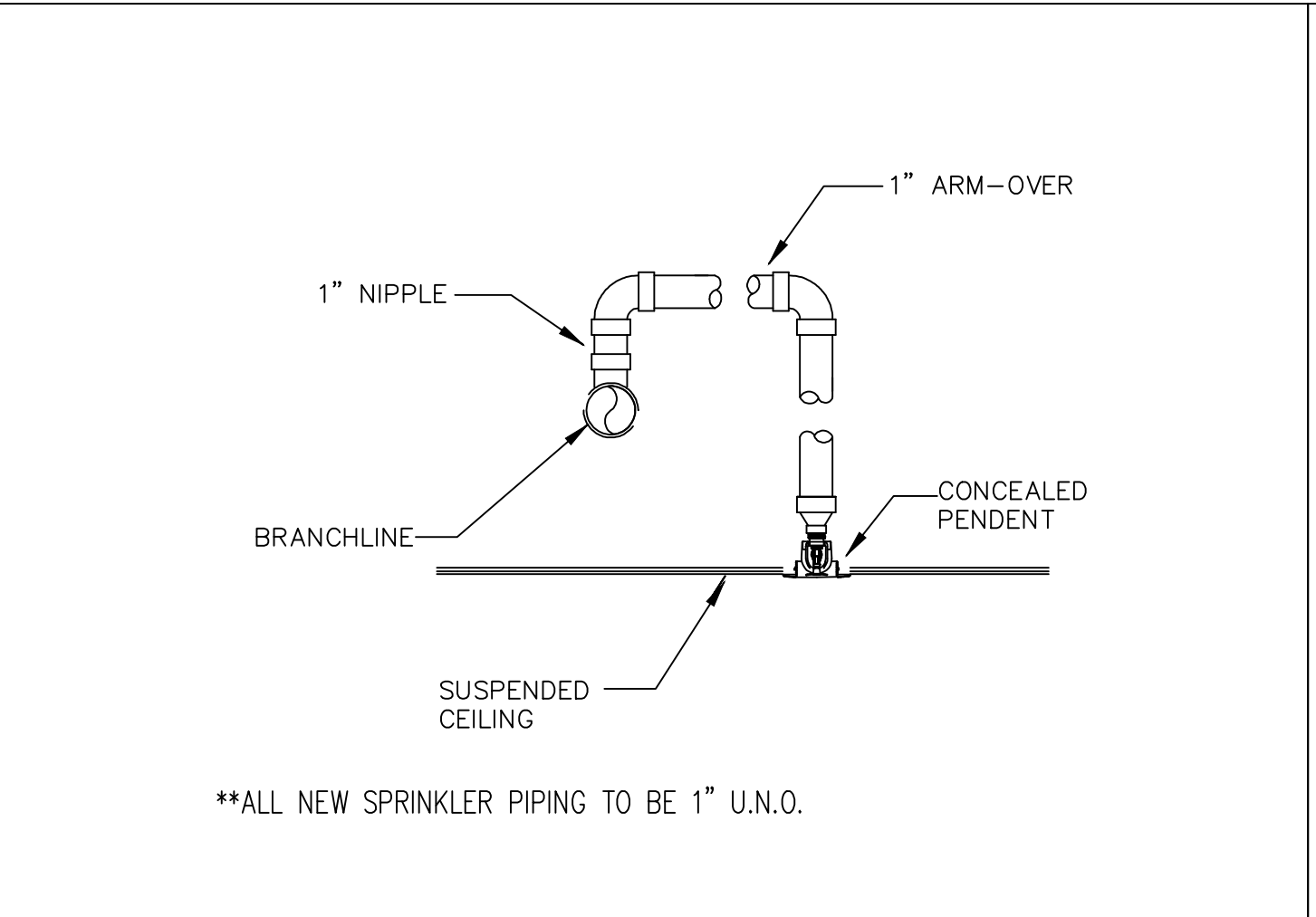
Revisions:	
NO.	DATE

Project No.: Drawn: JD
 Date: 10/11/2024 Checked: MM
 Scale: AS NOTED Approved: MM

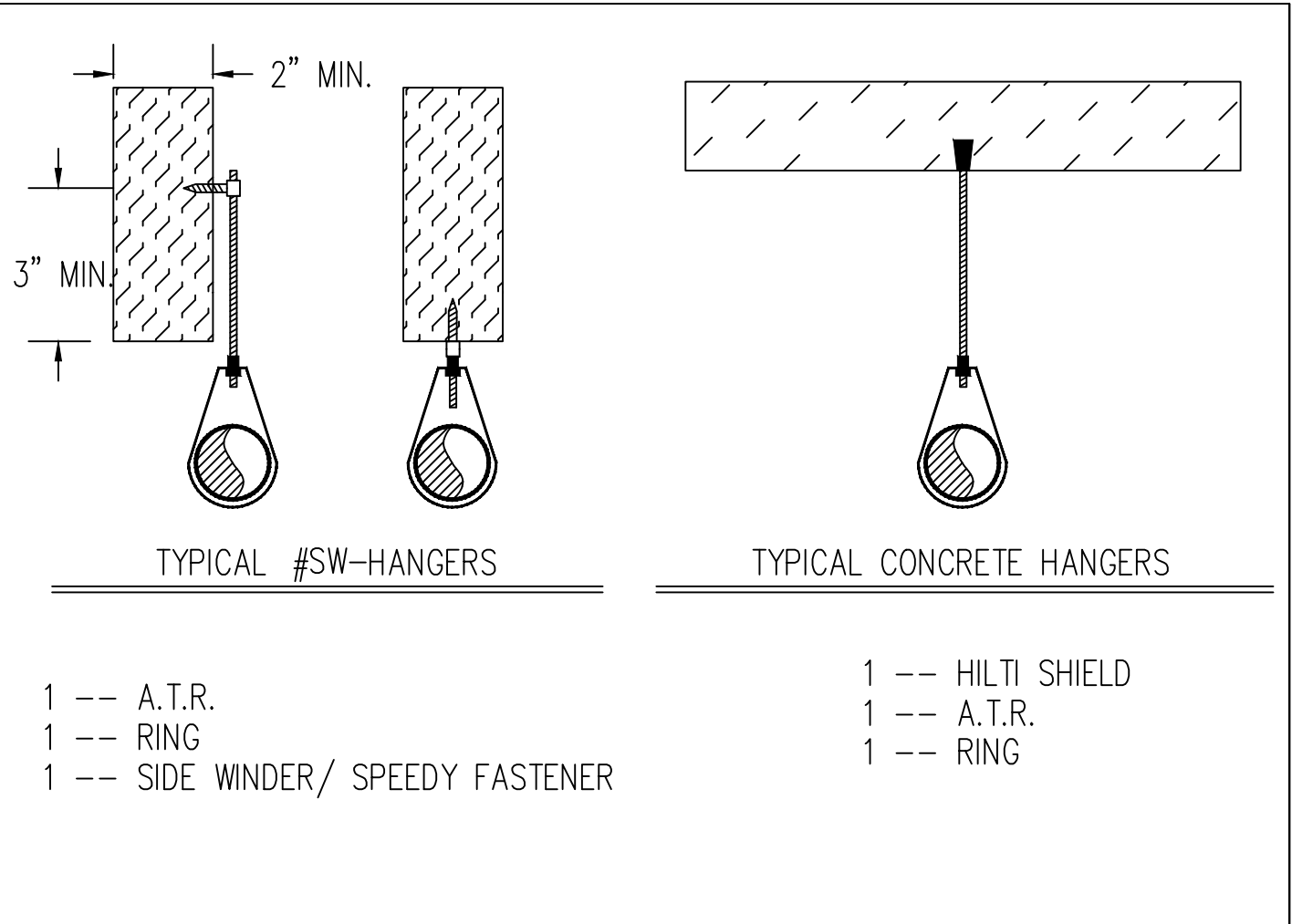
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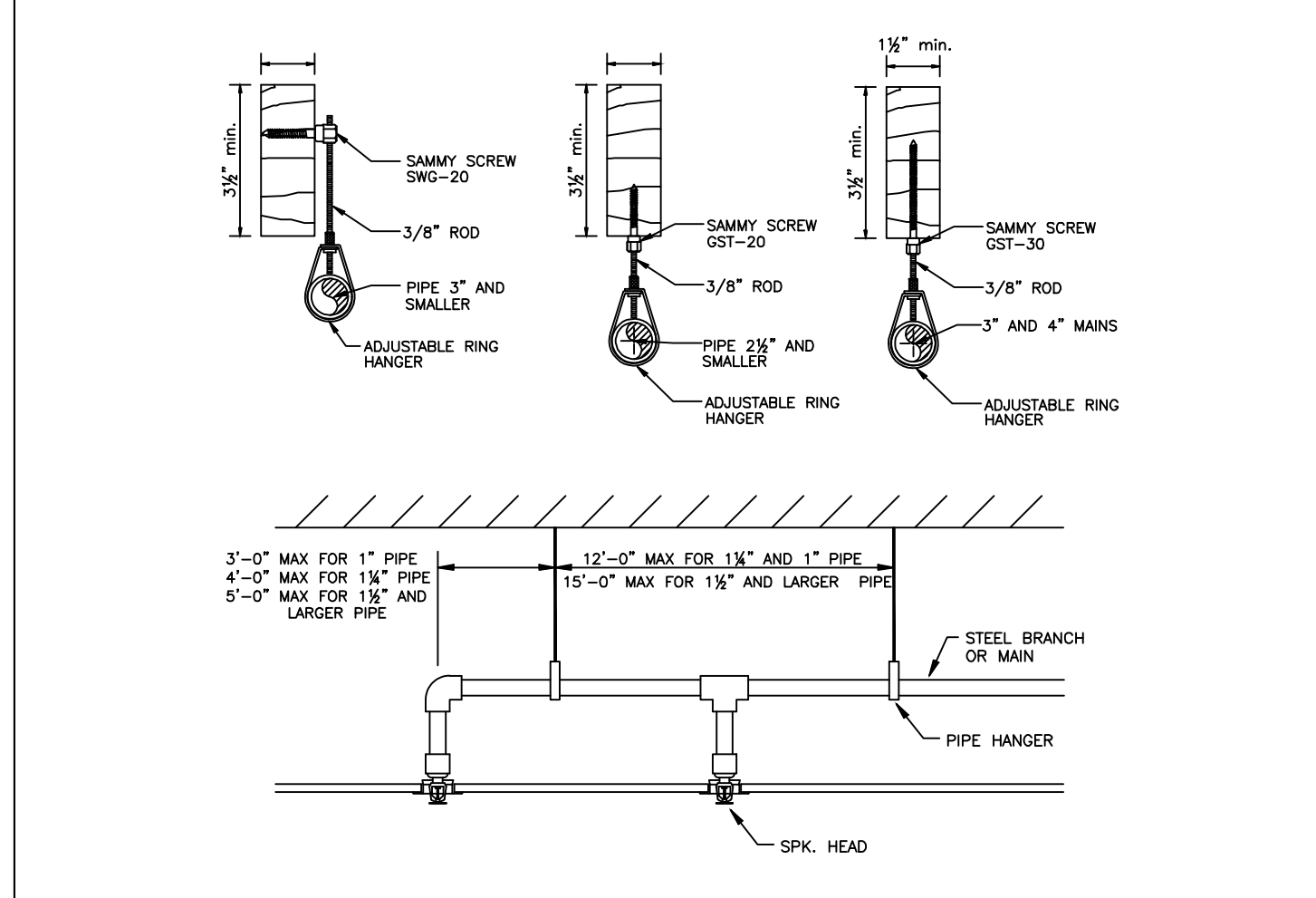
SPRINKLER SUPPLY MANIFOLD NTS



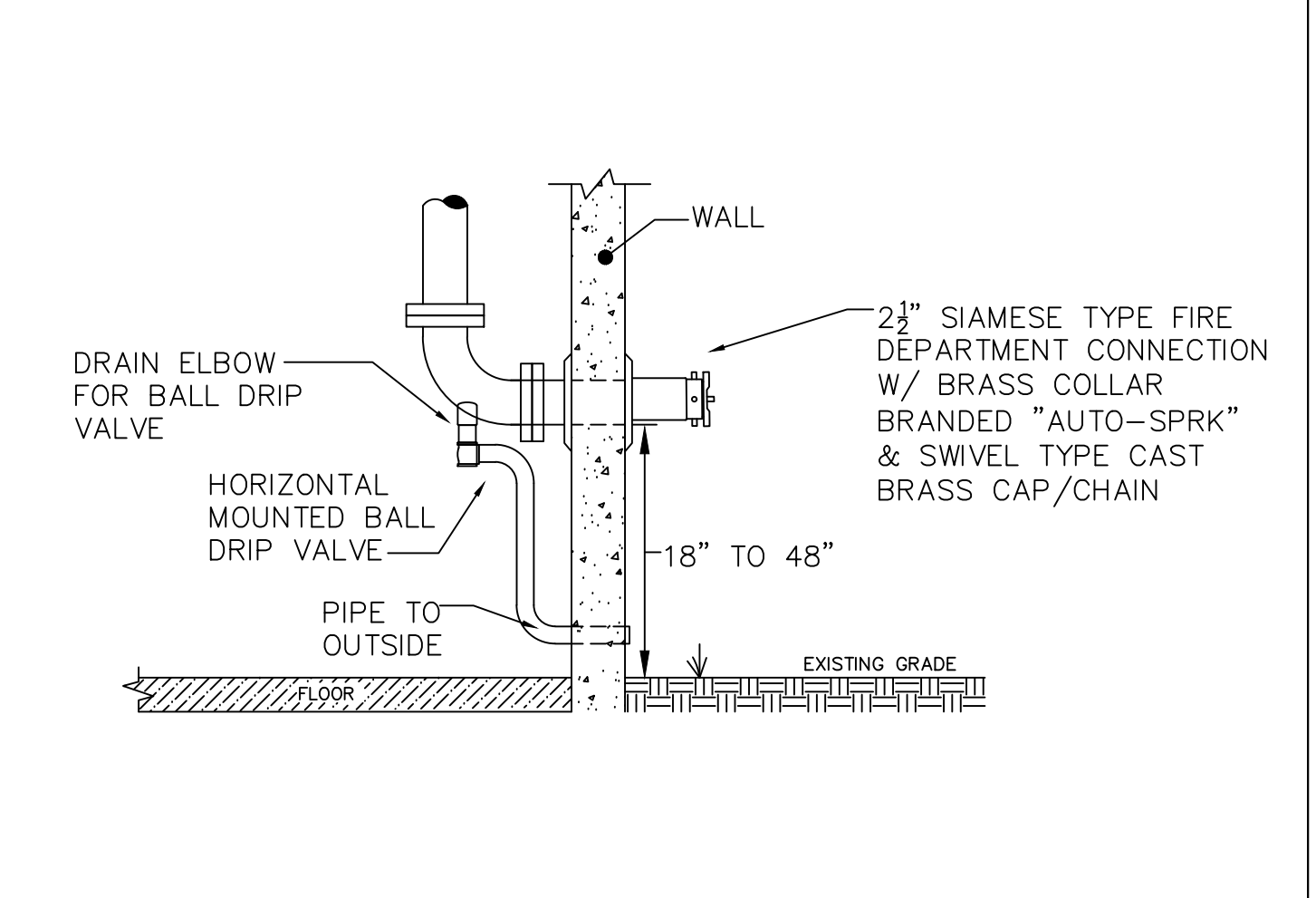
TYPICAL PENDENT SPRINKLER INSTALLATION NTS



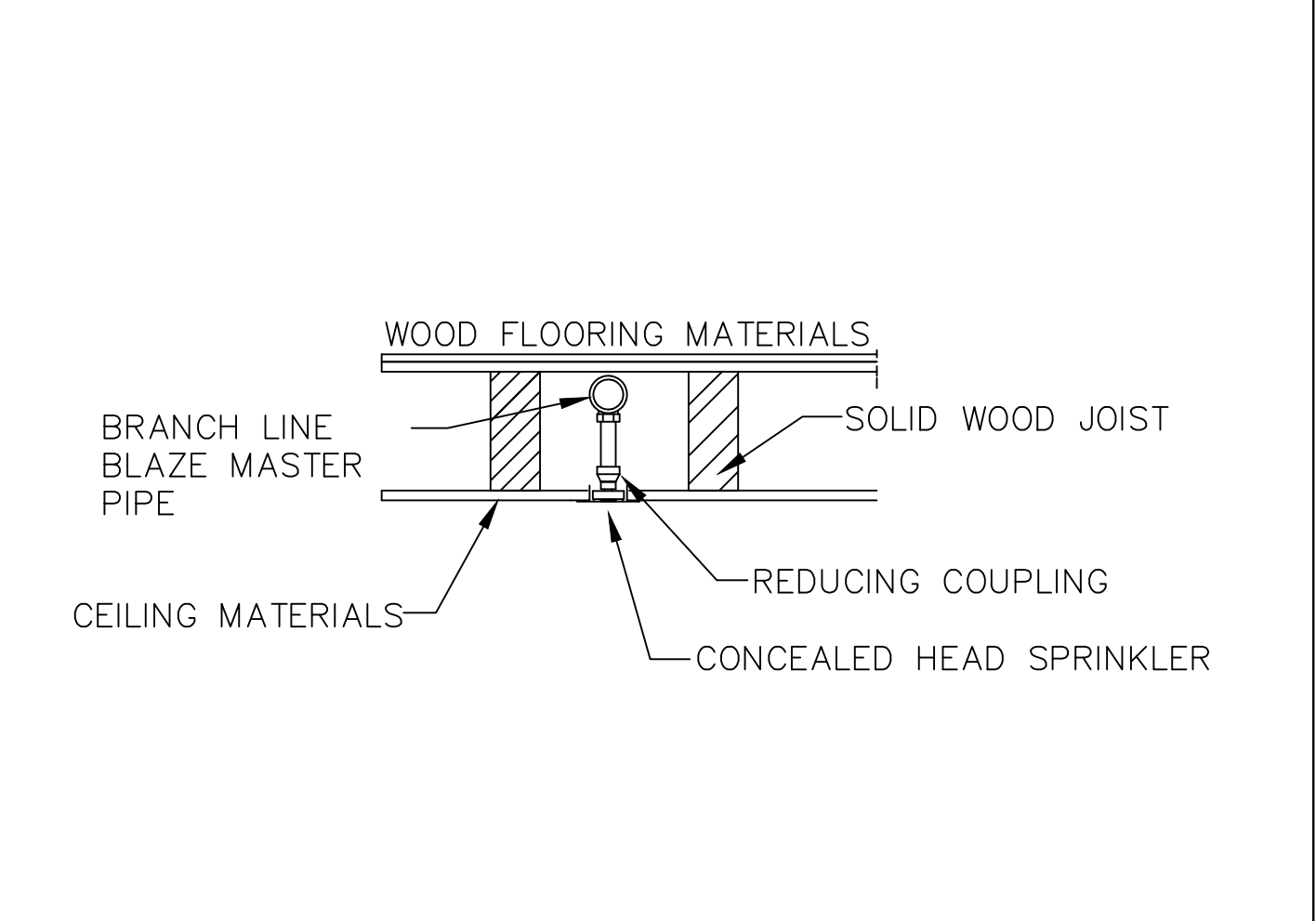
TYPICAL HANGER DETAILS NTS



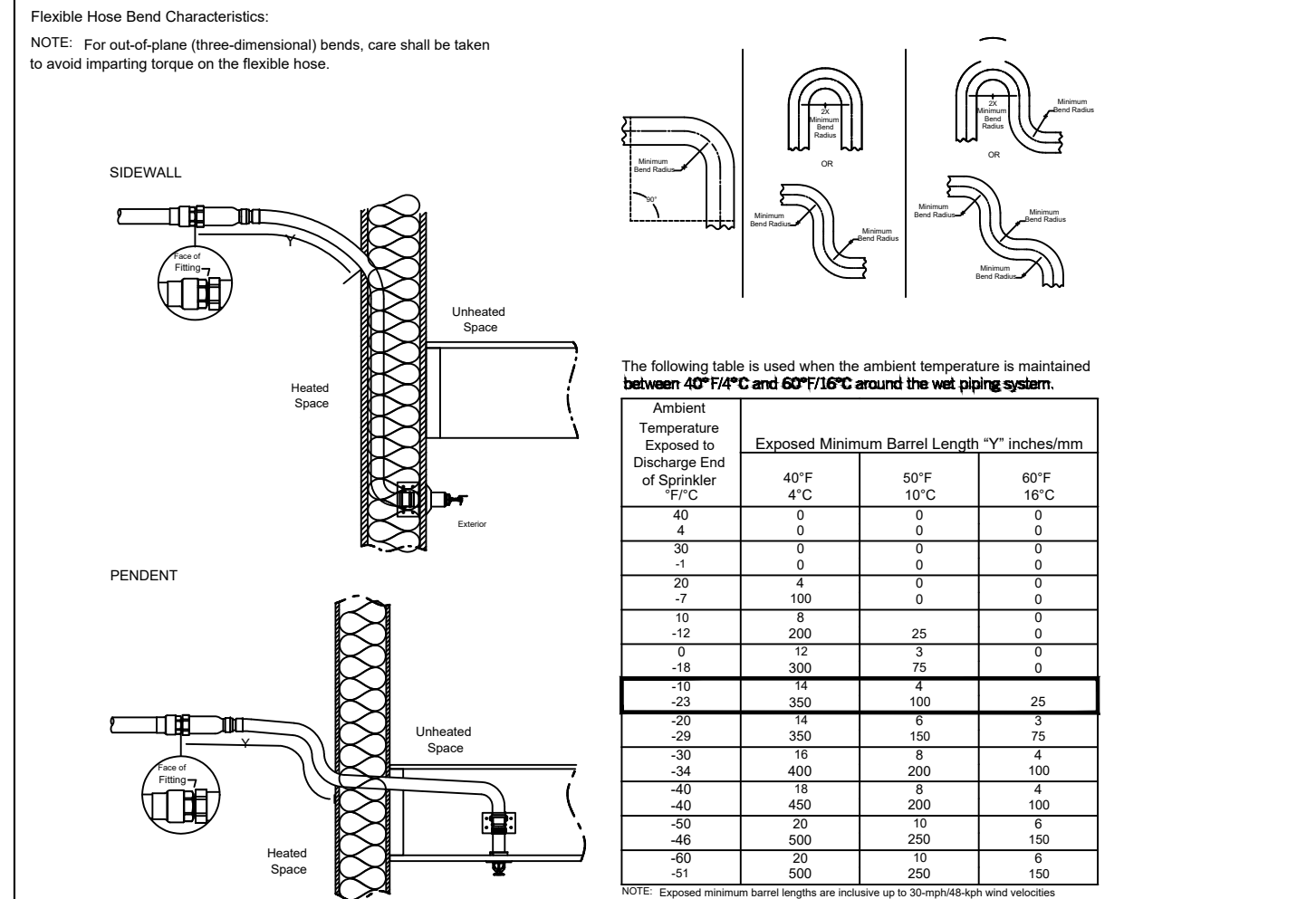
PIPE HANGER SPACING NTS



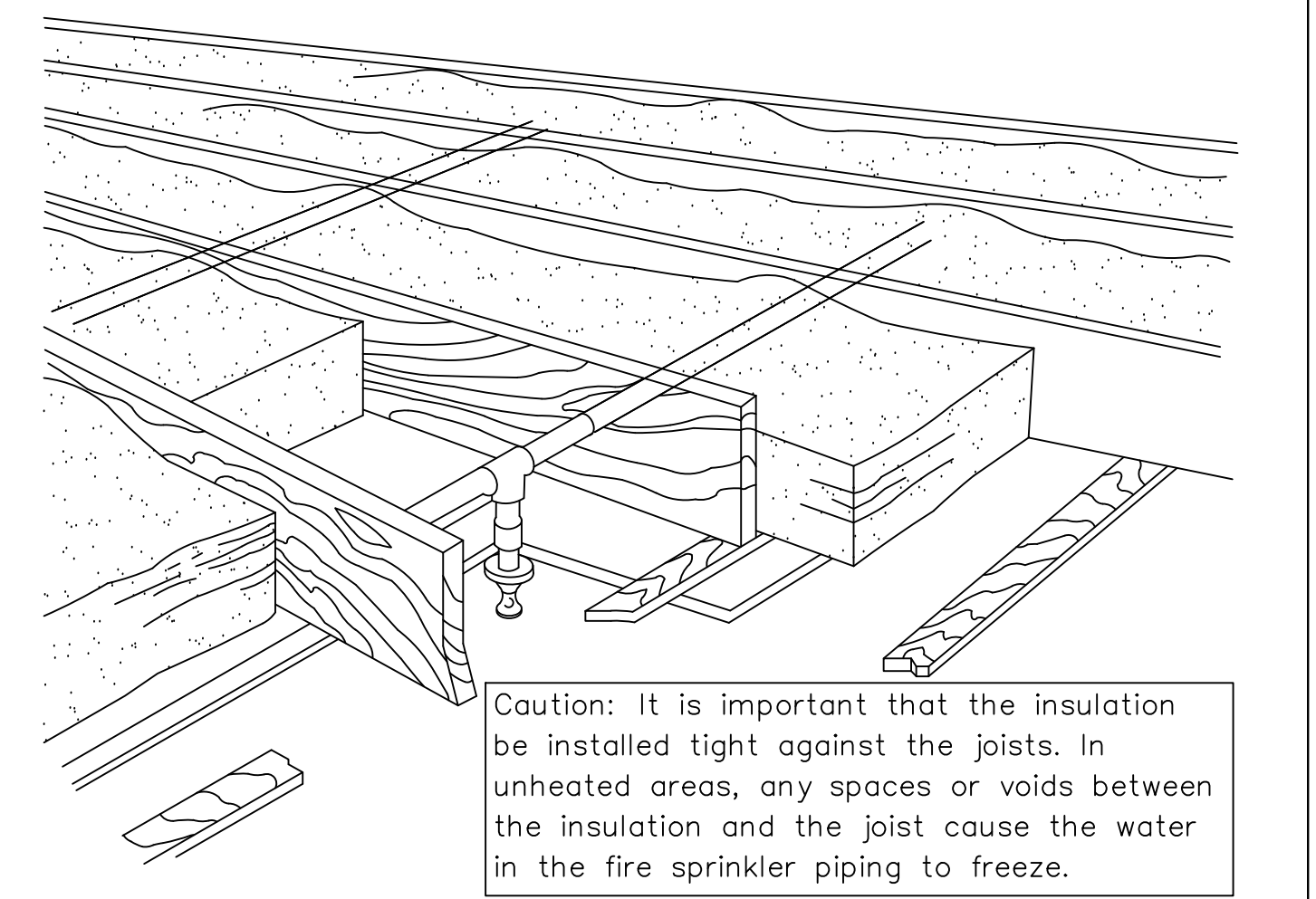
FIRE DEPARTMENT CONNECTION NTS



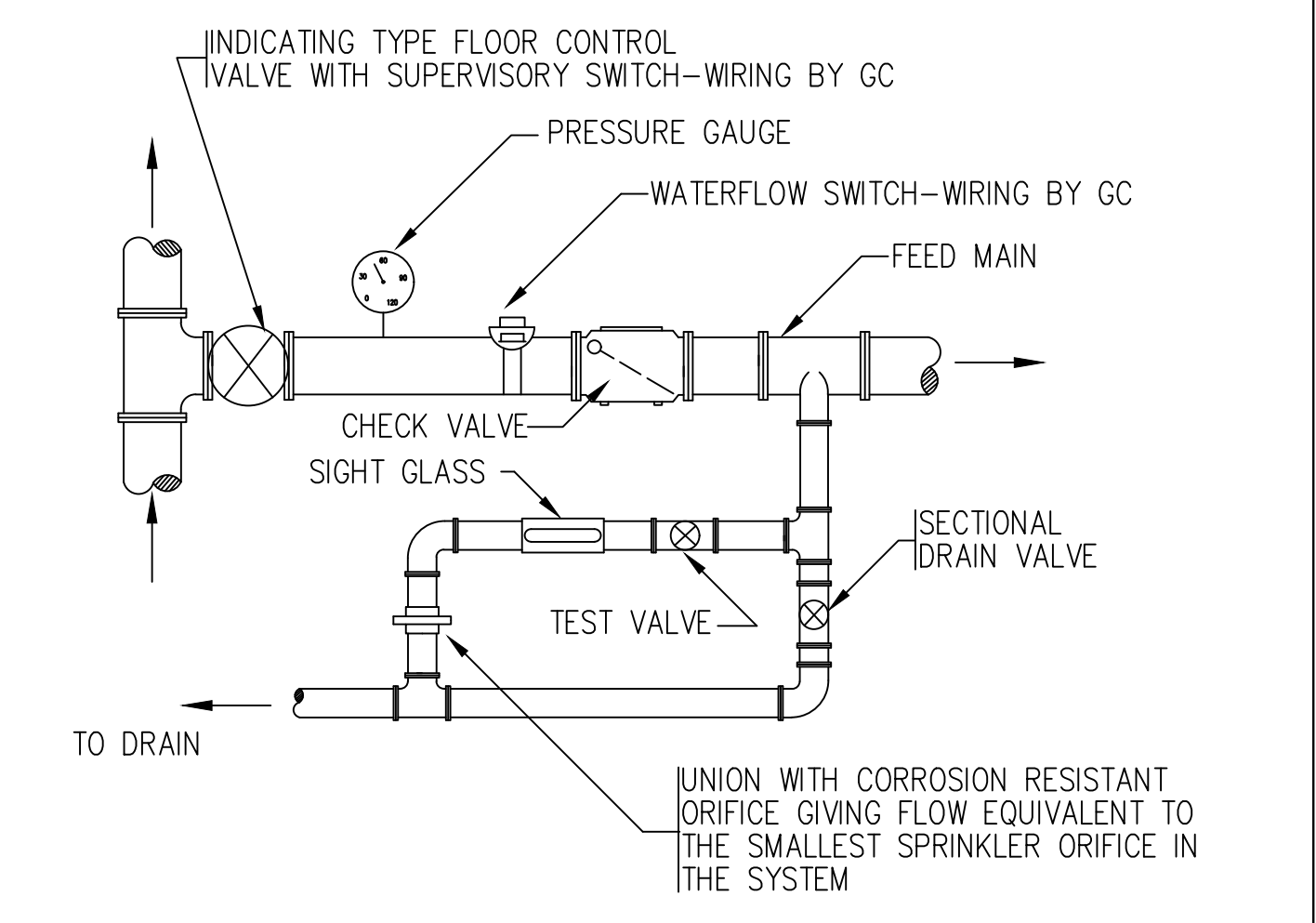
SPRINKLER PIPING AT CEILING PLENUM NTS



DRY SIDEWALL SPRINKLER DETAIL NTS



INSULATION DETAIL NTS



UNIT CONTROL VALVE ASSEMBLY NTS

ZADE ENGINEERING LLC
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Project:
12 PROSPECT ST.
BOSTON, MA 02129

Title:
FIRE PROTECTION DETAILS

Revisions:

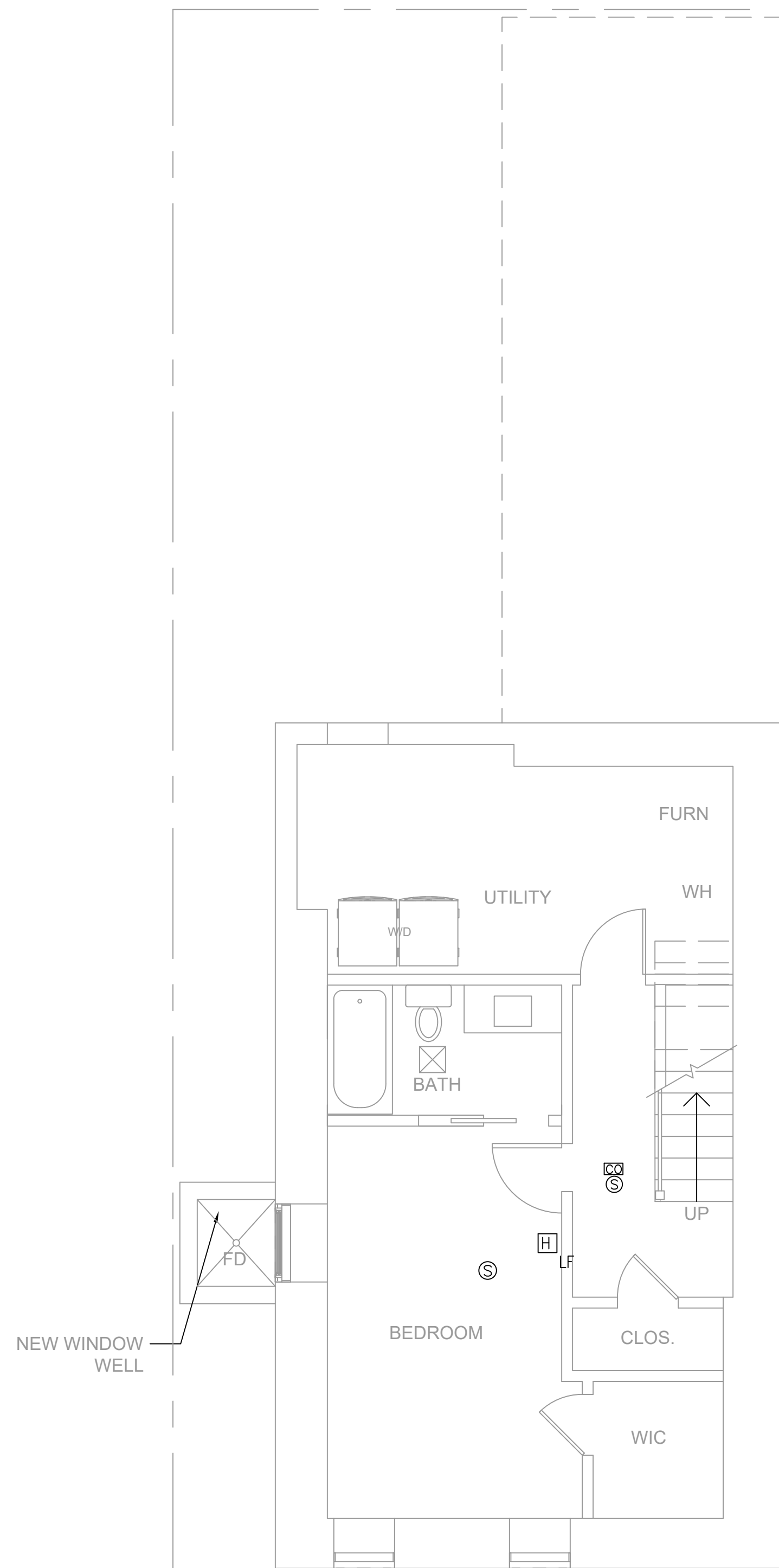
NO.	DATE

Project No.:
Date: 10/11/2024
Scale: AS NOTED

Drawn: JD
Checked: MM
Approved: MM

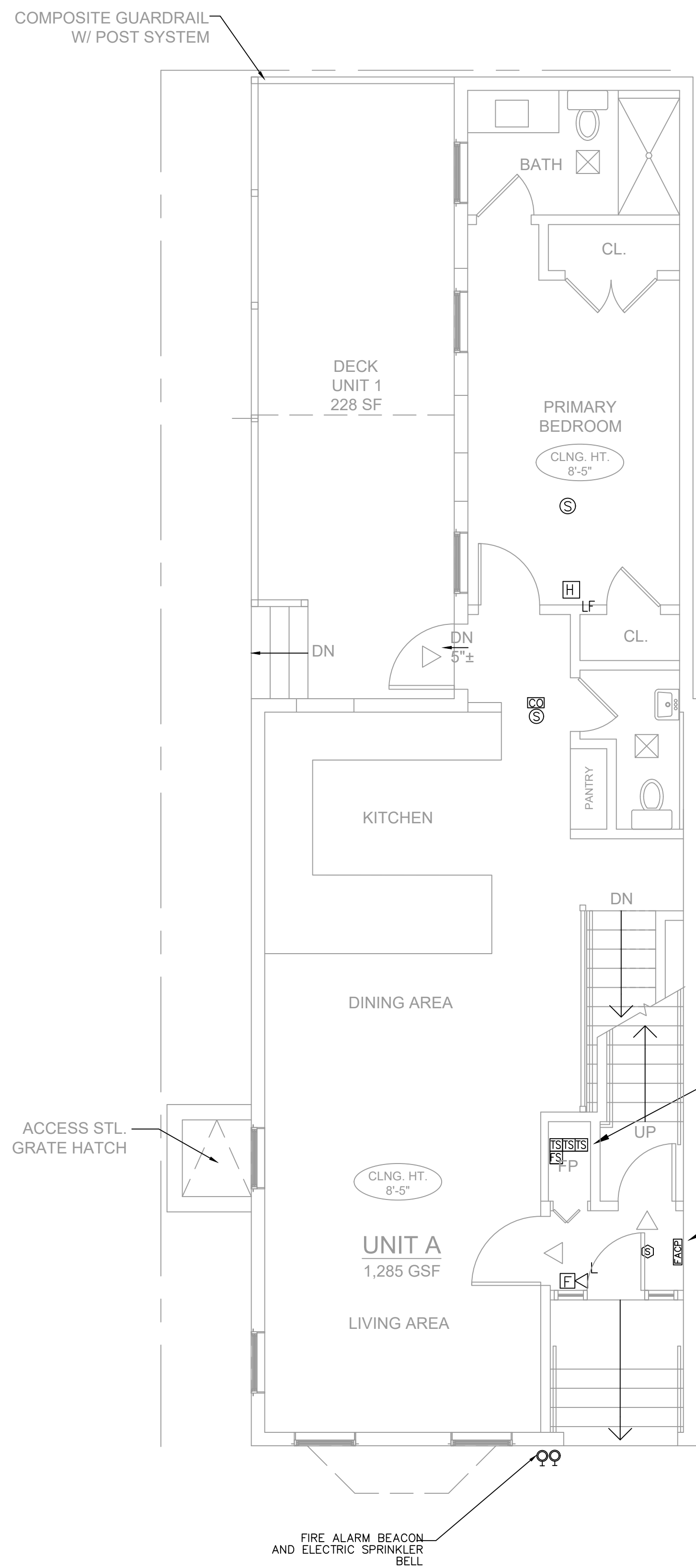
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FP3

Verify All Dimensions in Field Do Not Scale



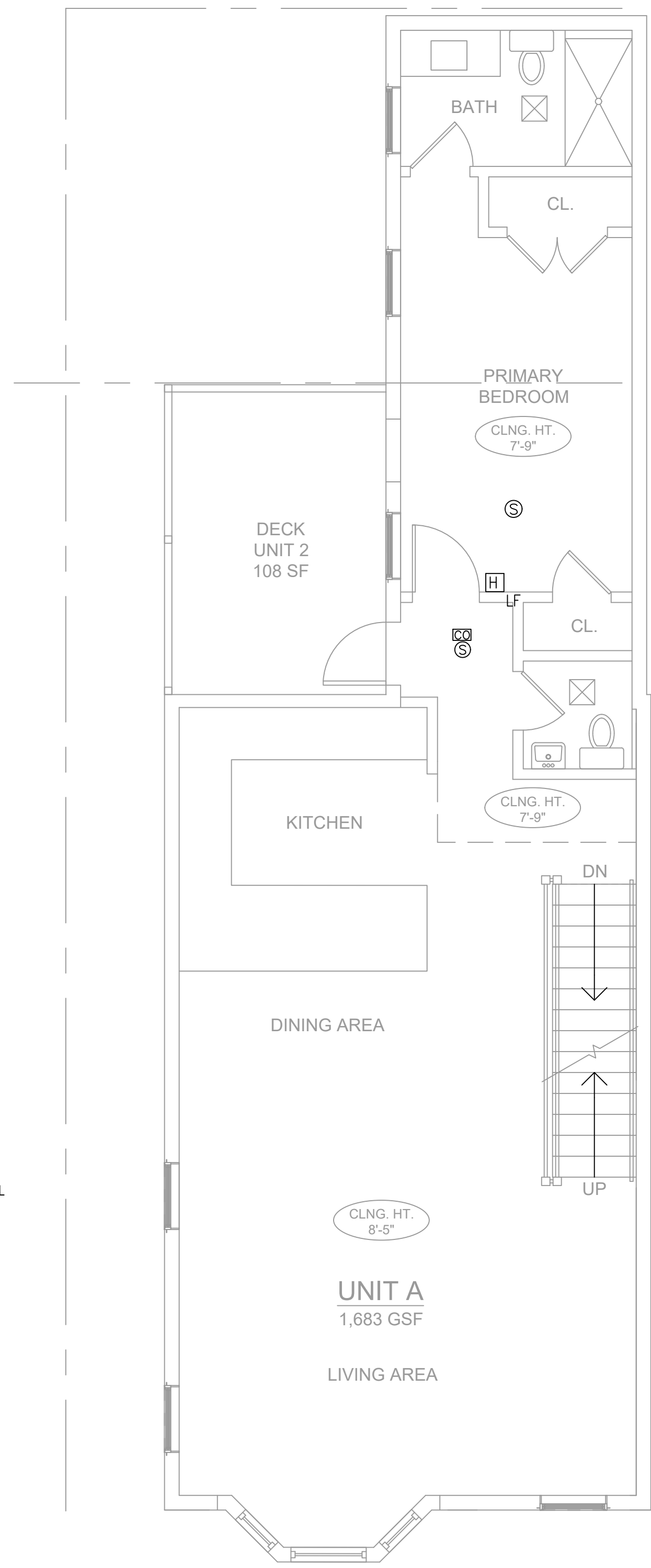
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Scale: 1/4" = 1'-0"



PROSPECT STREET

Scale: 1/4" = 1'-0"



PROSPECT STREET

Scale: 1/4" = 1'-0"

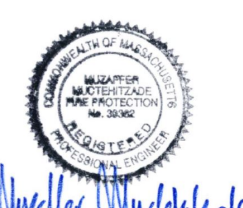
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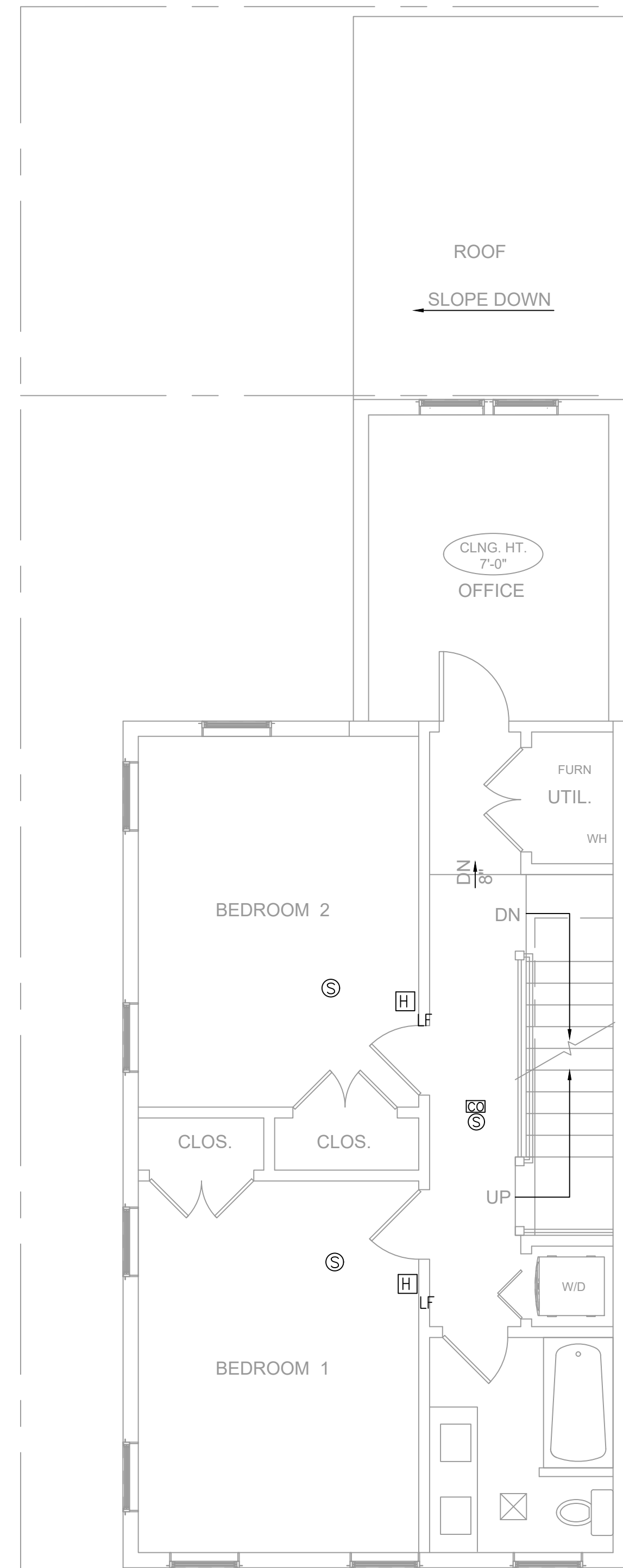
Project:
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Title:
 FIRE ALARM PLAN

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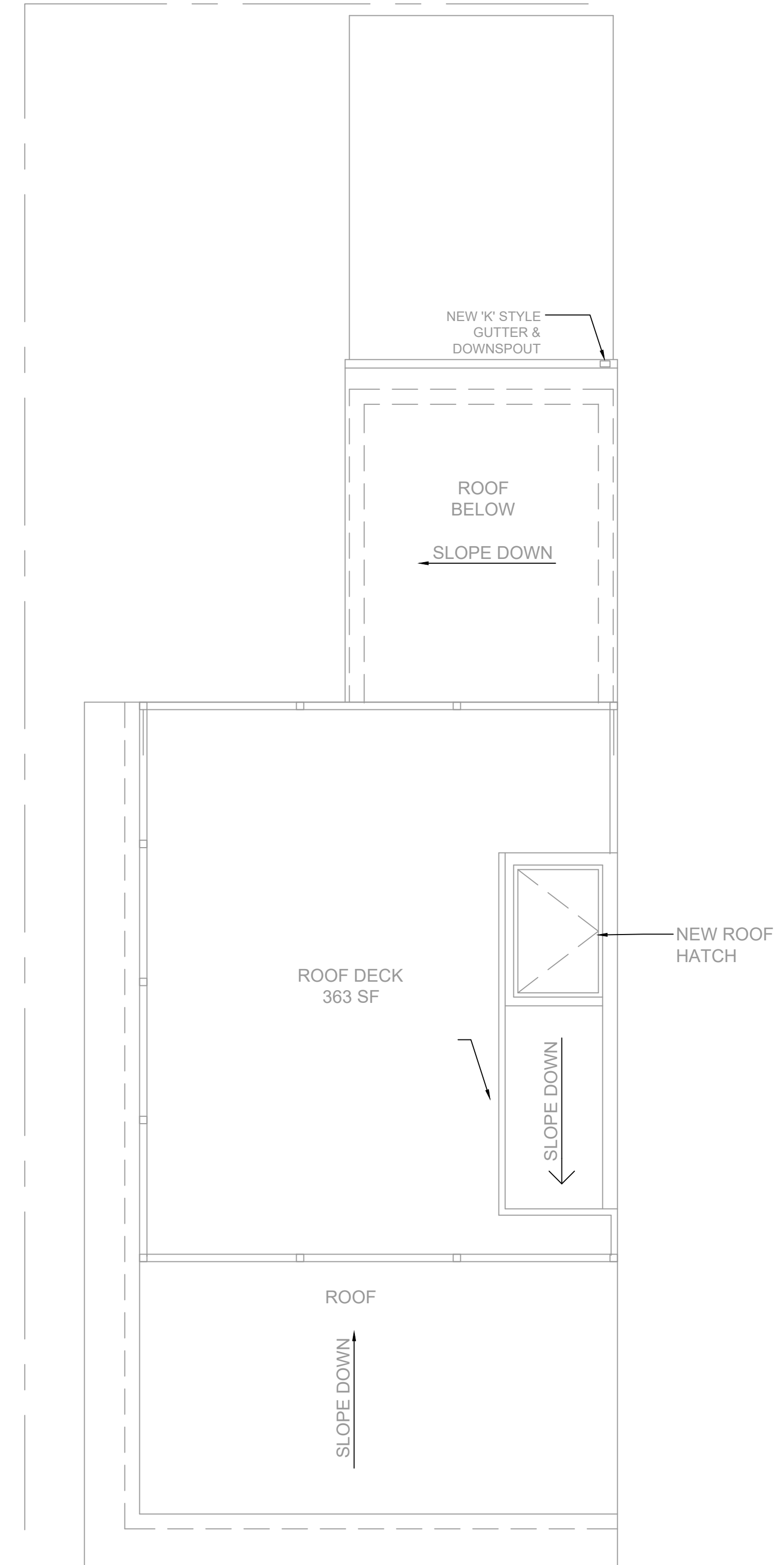
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Zade Engineering LLC
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PROSPECT STREET

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PROSPECT STREET

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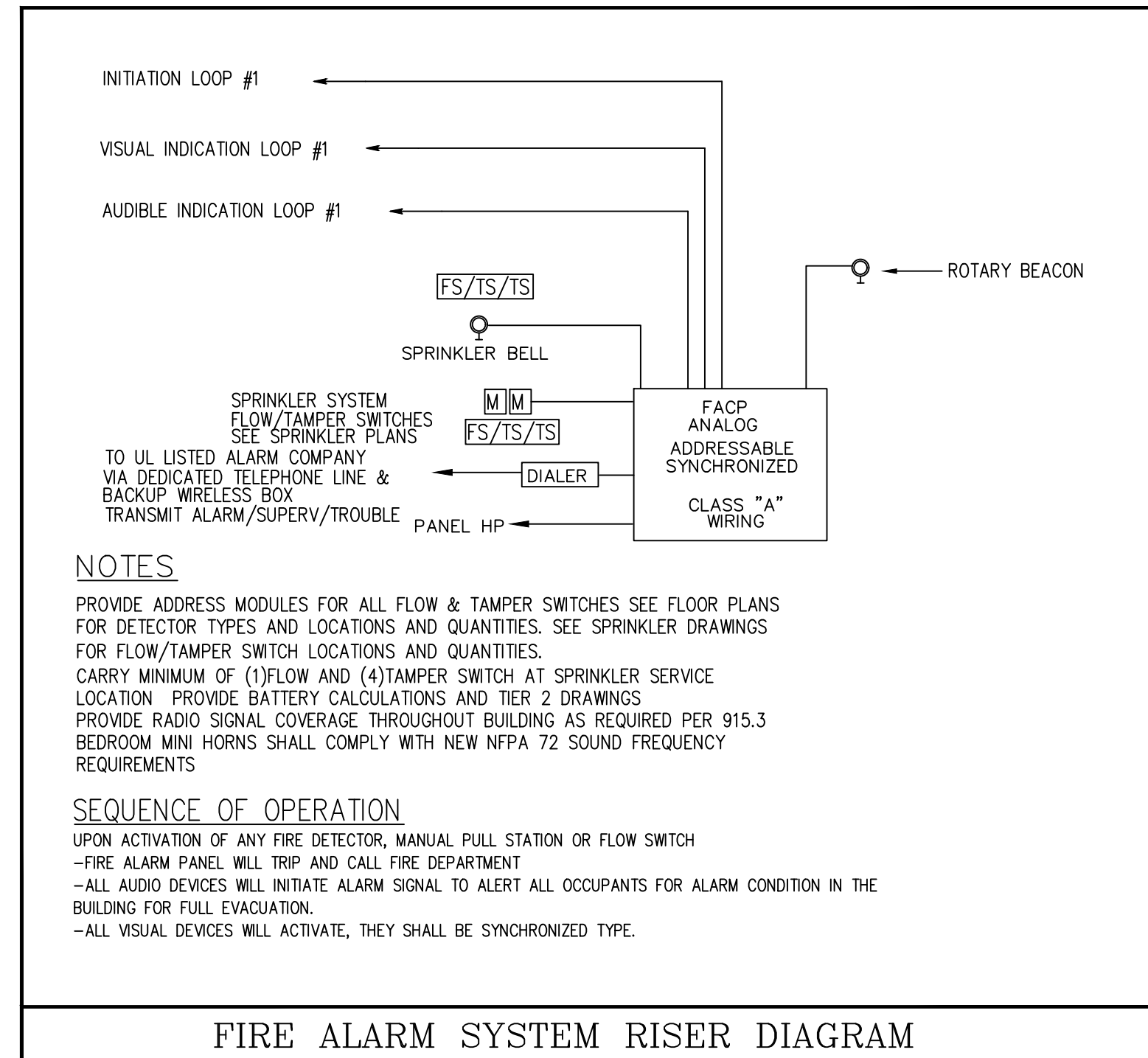
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LEGEND	
	SYSTEM TYPE SMOKE DETECTOR, ANALOG ADDRESSABLE
	HEAT DETECTOR, ADDRESSABLE TYPE
	FIRE ALARM PULL AND HORN/LIGHT DEVICE, PER NFPA 72/SYNCHRONIZED, 15CD IN CORR., 60CD IN COMMON AREAS
	FIRE ALARM PULL STATION, ADDRESSABLE, MOUNTED AT 4'-0" AFF.
	FIRE ALARM HORN/LIGHT(SYNCHRONIZED), MTD AT 6'-8" AFF, 15 CD IN CORRIDORS, 60 CD IN COMMON AREAS
	FIRE ALARM LIGHT ONLY(SYNCHRONIZED), MTD AT 6'-8" AFF, 15 CD IN CORRIDORS, 60 CD IN COMMON AREAS
	SPRINKLER SYSTEM FLOW SWITCH, WIRING ONLY.
	SPRINKLER SYSTEM TAMPERSwitch, WIRING ONLY.
	LOW PRESSURE SWITCH WIRED AS SUPERVISORY
	FIRE ALARM CONTROL PANEL.
	FIRE ALARM REMOTE ANNUNCIATOR WITH TROUBLE BUZZER.
	DIALER BY E.C. WIRED TO UL LISTED ALARM CO.
	LOCAL TYPE 110V SMOKE DETECTOR, PHOTOELECTRIC TYPE WITH BATTERY BACK-UP, "L" INDICATES BUILT-IN STROBE (777CD) TANDEM WIRED WITH OTHER LOCAL DETECTORS IN THE UNIT. WIRED TO LIGHTING CIRCUIT
	LOW FREQUENCY MINI HORN
	LOCAL TYPE CO DETECTOR
	ALARM MODULE



PROVIDE ALL NECESSARY STRUCTURE AND RACEWAYS TO BE ABLE TO INSTALL BDA SYSTEM PER IBC 915.2&3 UPON COMPLETION OF THE BUILDING AND AFTER ESTABLISHING THE NEED TO INSTALL HEAD END EQUIPMENT OF A BDA SYSTEM TO MEET EMERGENCY SERVICES COMMUNICATION NEEDS AS TO BE DETERMINED BY THE FD.

PROVIDE ADD ALTERNATE COST FOR ALL HARDWARE COMPONENTS AND INSTALLATION OF FOR EACH BUILDING (EACH BUILDING MAY HAVE DIFFERENT NEEDS) RUN CONDUITS IN 2HR RATED ENCLOSURE. IF EQUIPMENT IS TO BE INSTALLED IT WILL BE HOUSED IN 2HR ENCLOSURE. CARRY THE COST OF TESTING THE BUILDING UPON COMPLETION OF INTERIOR PARTITIONS

REGARDLESS SHOWN ON PLANS OR NOT PROVIDE CARBON MONOXIDE DETECTORS AT

- OUTSIDE EACH BEDROOM WIRED TO SMOKE DETECTOR CIRCUIT AND
- IN THE ROOM HOUSING THE GAS APPLIANCE.

DETECTORS SHALL BE UL LISTED. DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP. CO DETECTORS SHALL BE AS MANUFACTURED BY BRK CO 5120BN, VOICE TYPE

AUDIBLE APPLIANCES PROVIDED FOR THE SLEEPING AREAS TO AWAKEN OCCUPANTS SHALL PRODUCE A LOW FREQUENCY ALARM SIGNAL THAT COMPLIES WITH THE FOLLOWING.

(1) THE ALARM SIGNAL SHALL BE A SQUARE WAVE OR PROVIDE EQUIVALENT AWAKENING ABILITY.

(2) THE WAVE SHALL HAVE A FUNDAMENTAL FREQUENCY OF 520 HZ +/- 10 PERCENT.

IN RESIDENTIAL BUILDINGS, FOR ALL GAS FIRED VENTILATION/AIR CIRCULATION EQUIPMENT, PROVIDE DUCT MOUNTED CO DETECTOR COMPLETE WITH HOUSING AND SAMPLING TUBE AS MANUFACTURED BY MACURCO CM 15A OR EQUAL AND CONNECT TO FIRE ALARM PANEL VIA MONITOR MODULE

ALL CO DETECTORS MUST "LATCH" AT THE PANEL; THAT IS TO SAY, THE RESPONDER TO A CO DETECTOR SUPERVISORY ALARM MUST BE LEAD TO MITIGATE THE CO ISSUE AT THE DETECTOR AND THEN CLEAR/RESET THE FIRE ALARM PANEL. THIS WILL MEAN THE CO SUPERVISORY ALARM CANNOT BE MITIGATED AT THE POINT LOCATION, BUT REQUIRES A COMPETENT RESPONDER TO ADDRESS THE PANEL IN THE FIRE COMMAND CENTER.

ALARM MONITORING SERVICE RECEIVES A SUPERVISORY CARBON MONOXIDE SIGNAL; THAT IS TO SAY, LITERALLY THE WORDS "CARBON MONOXIDE" MUST BE PRESENT AT ALARM COMPANY, THE LETTERS "CO" ARE NOT ACCEPTABLE.

-ALL SMOKE DETECTOR LOCATIONS SHALL BE COORDINATED WITH REFLECTED CEILING PLANS IN FIELD SO THAT DETECTORS SHALL BE MINIMUM 3FT AWAY FROM SUPPLY DIFFUSER.

-DUCT SMOKE DETECTORS SHALL BE INSTALLED IN HEATED AREAS AT THE SUPPLY SIDE BEFORE THE FIRST TAKE OFF, MINIMUM 5FT AWAY FROM THE UNIT COIL. REMOTE TEST/INDICATOR LOCATIONS SHALL BE NEXT TO FACP PANEL OR AS DIRECTED BY THE FIRE DEPARTMENT.

-A/V DEVICE LOCATIONS ARE SHOWN BASED ON DISTANCE REQUIREMENTS. CONTRACTOR SHALL COORDINATE PHYSICAL STRUCTURES SO THAT VISIBILITY WILL BE MAINTAINED. PROPOSED CHANGES SHALL BE FORWARDED TO ARCHITECT/ENGINEER FOR APPROVAL.

	CONTROL UNIT ANN	NOTIFICATION	FIRE SAFETY SYSTEM CONTROLS
1	ACTUATE COMMON ALARM SIGNAL		
2	ACTUATE AUDIBLE ALARM-GLOBAL		
3	ACTUATE COMMON SUPERVISORY SIGNAL ALARM		
4	ACTUATE AUDIBLE SUPERVISORY ALARM		
5	ACTUATE COMMON SUPERVISORY TROUBLE SIGNAL		
6	ACTUATE AUDIBLE TROUBLE SIGNAL		
7	ACTUATE APPROPRIATE LOCATION INDICATOR		
8	ACTUATE ALL AUDIBLE EVACUATION SIGNALS		
9	ACTUATE ALL VISIBLE ALARM SIGNALS		
10	DISPLAY CHANGE OF STATUS		
11	TRANSMIT ALARM SIGNAL TO SUPERVISORY STATION		
12	TRANSMIT TROUBLE SIGNAL TO SUPERVISORY STATION		
13	TRANSMIT SUPERVISORY SIGNAL TO SUPERVISORY STATION		
14	ACTUATE EXTERIOR SPRINKLER BELL		
15	ACTUATE EXTERIOR BEACON		
16			

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 FIRE ALARM NOTES/DETAILS

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