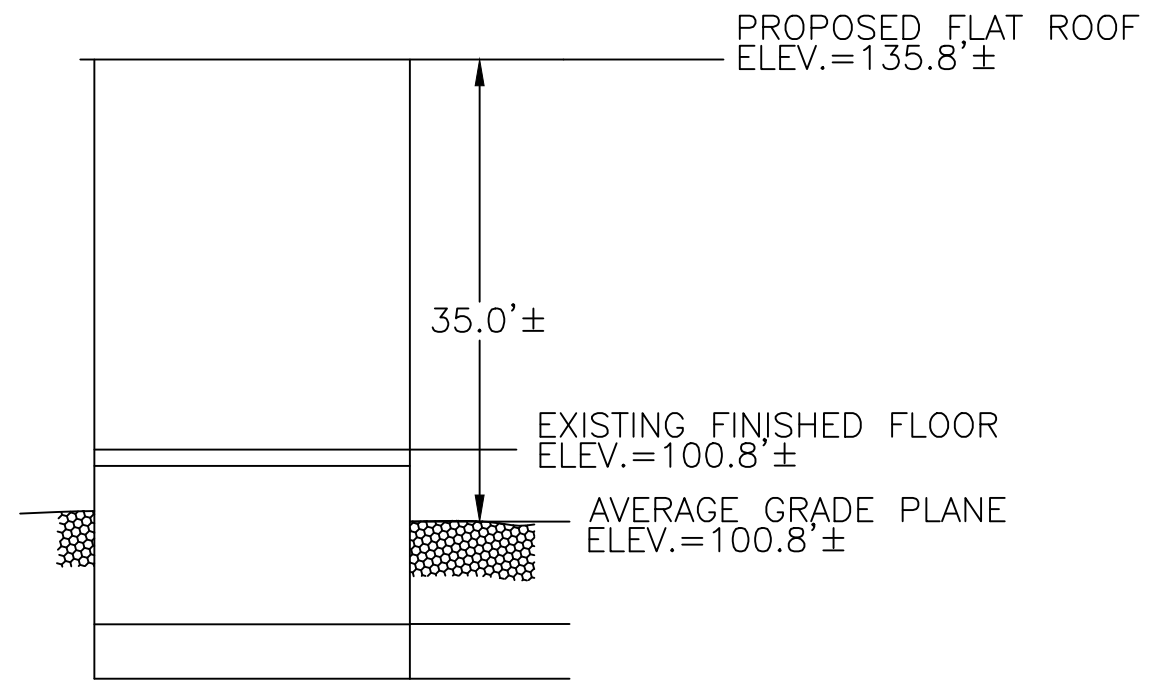
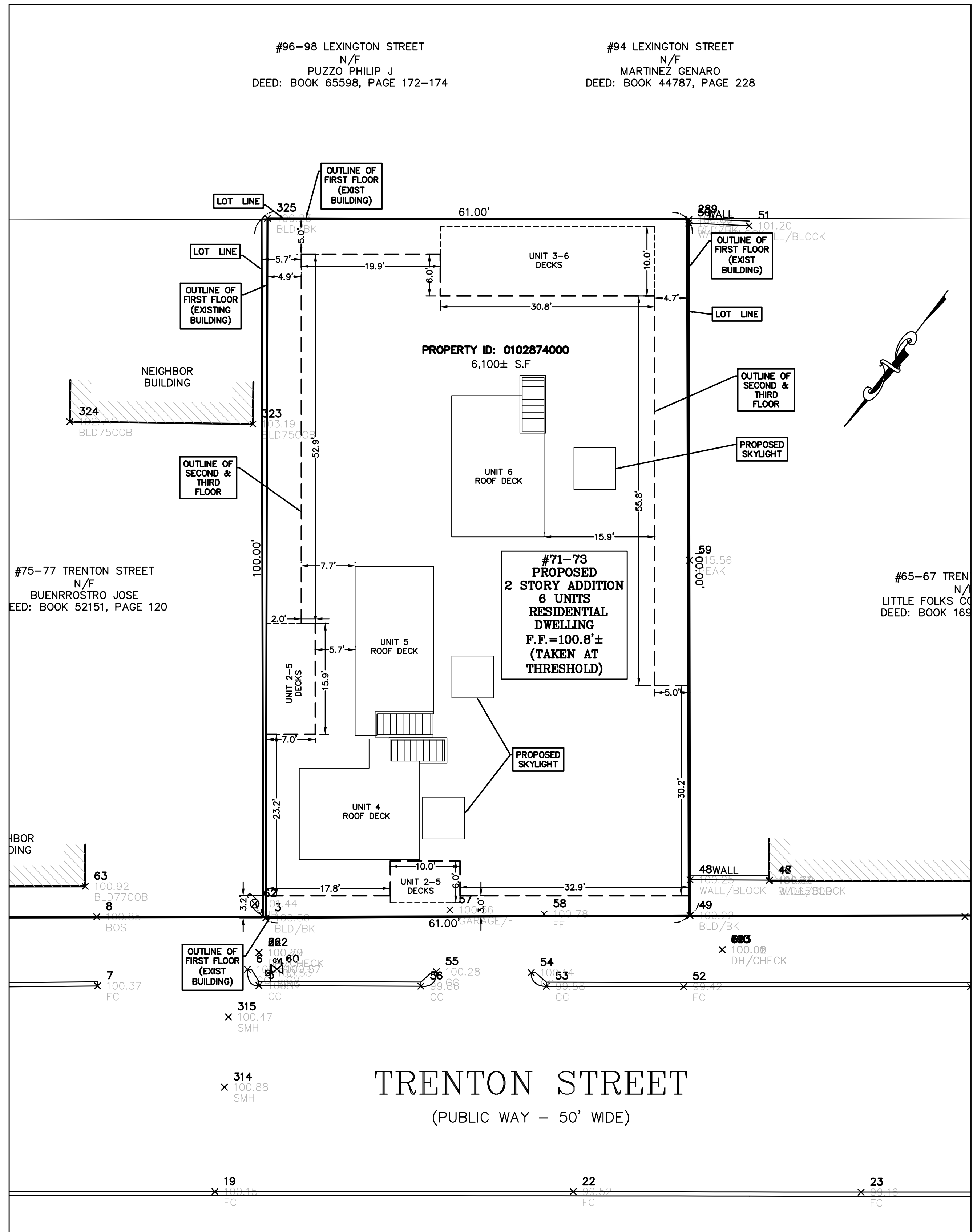


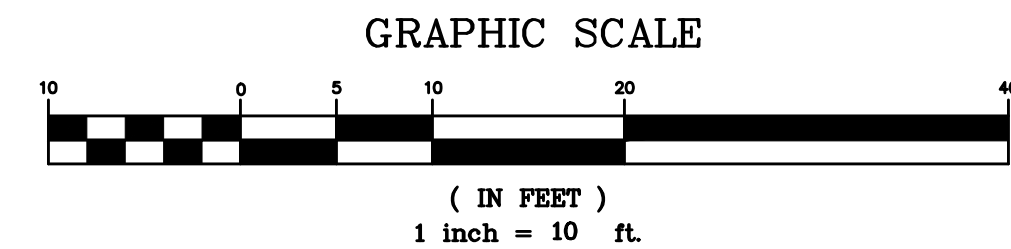
NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 07/03/2024.
2. DEED REFERENCE: BOOK 9186, PAGE 203
PLAN REFERENCE 1: REF PLAN LCC 6422 A
SUFFOLK COUNTY REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0018J, ON PANEL NUMBER 0018J, IN COMMUNITY NUMBER: 250286, DATED 03/16/2016.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM.
9. ZONING DISTRICT: EAST BOSTON NEIGHBORHOOD – EBR-3.

LEGEND	
[Symbol]	BOUND
[Symbol]	IRON PIN/PIPE
[Symbol]	STONE POST
[Symbol]	TREE
[Symbol]	TREE STUMP
[Symbol]	SHRUBS/FLOWERS
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	SEWER MANHOLE
[Symbol]	DRAIN MANHOLE
[Symbol]	CATCH BASIN
[Symbol]	WATER MANHOLE
[Symbol]	WATER VALVE
[Symbol]	HYDRANT
[Symbol]	GAS VALVE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC HANDHOLE
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	MANHOLE
[Symbol]	SPOT GRADE
[Symbol]	TOP OF WALL
[Symbol]	BOTTOM OF WALL
[Symbol]	EXISTING BUILDING
[Symbol]	RETAINING WALL
[Symbol]	STONE WALL
[Symbol]	FENCE
[Symbol]	TREE LINE
[Symbol]	SEWER LINE
[Symbol]	DRAIN LINE
[Symbol]	WATER LINE
[Symbol]	GAS LINE
[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	OVERHEAD WIRES
[Symbol]	CONTOUR LINE (MJR)
[Symbol]	CONTOUR LINE (MNR)



PROPOSED PROFILE
NOT TO SCALE



Spruhan Engineering, P.C.
80 JEWETT ST. (SUITE 1)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com

71-73 TRENTON STREET
EAST BOSTON
MASSACHUSETTS

SURVERY PLAN

REVISION BLOCK

BY	DESCRIPTION	DATE

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.



DATE:	8/15/2024
DRAWN BY:	L.P.
CHECKED BY:	E.S.
APPROVED BY:	C.C.

PROPOSED
PLOT PLAN

SHEET 1

71 TRENTON STREET

71 TRENTON ST, EAST BOSTON, MA

ISSUED FOR PERMIT SET 07-08-2024

71 TRENTON ST
EAST BOSTON, MA 02128

JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:

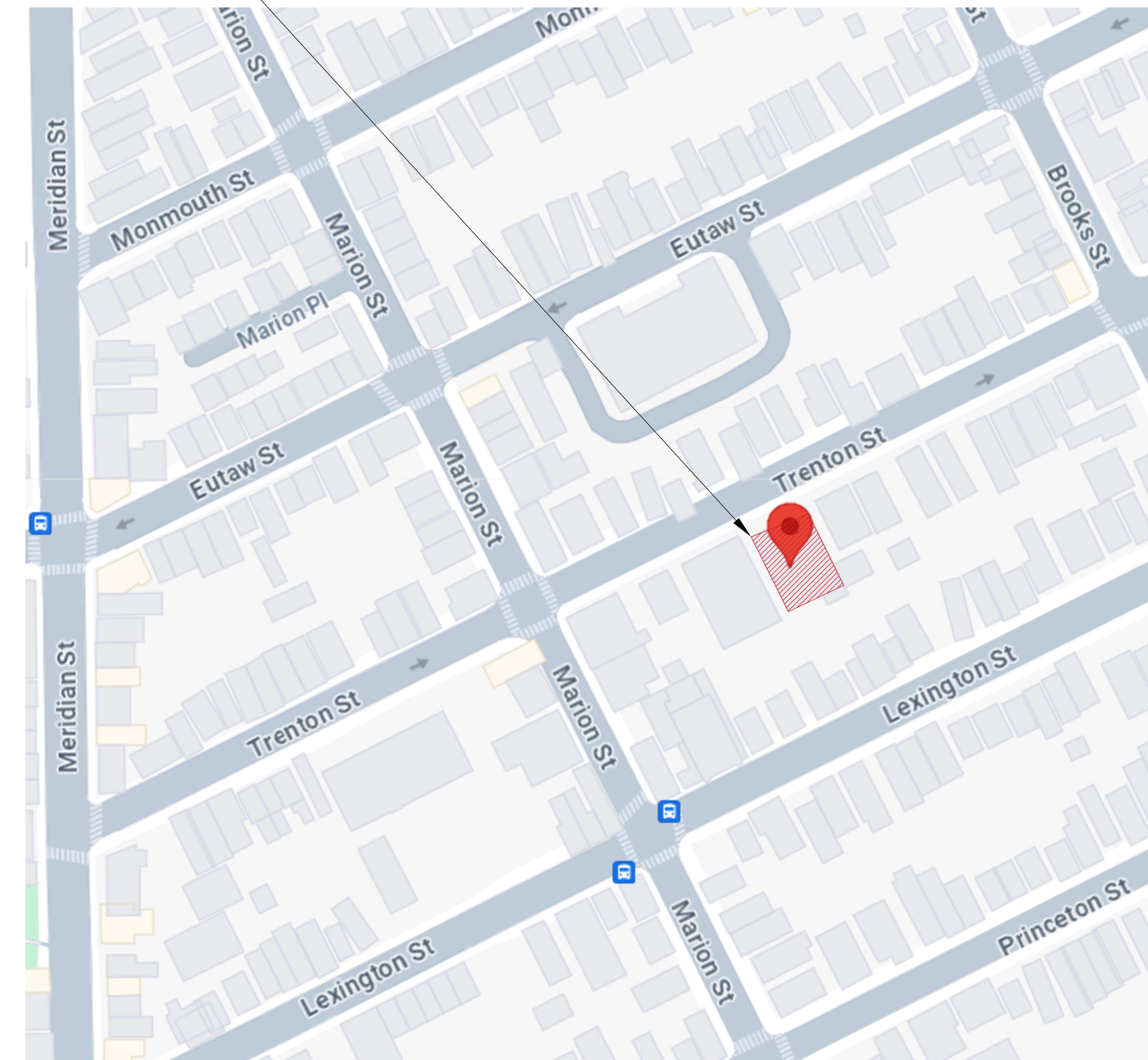
context

a collaborative design workshop

200 Portland Street, Boston, MA, 02114
(312) 780-9456

LOCATION PLAN

71 - 73 TRENTON ST



SCOPE OF WORK

ADAPTIVE RE-USE AND ADDITION OF 2 STORIES TO EXISTING 1 STORY BUILDING WITH 6 UNITS AND 6 ENCLOSED PARKING. BUILDING WILL HAVE AN ELEVATOR. BUILDING WILL BE SPRINKLERED

CODE ANALYSIS

OCCUPANCY TYPE: RESIDENCY (R-2) AND STORAGE (S-2)

TYPE OF CONSTRUCTION: TYPE V.B

ZONE: EBR-3

ZONING ANALYSIS

REGULATION	EBR-3	EXISTING	PROPOSED	COMMENTS
MIN. LOT AREA				
MAX BUILDING DEPTH	70'-0"	100'-0"	100'-0"	EXISTING UNCHANGED
MAX BUILDING WIDTH	50'-0"	61'-0"	61'-0"	EXISTING UNCHANGED
MAX. BUILDING LOT COVERAGE	60%	100%	100%	EXISTING UNCHANGED
MAX. HEIGHT (STORIES/FEET)	3/ 35'- 0"	1/ 14'-7"	3/ 35'- 0"	
OPEN SPACE				
FRONT YARD SETBACK	5'-0"	0'-0"	0'-0"	EXISTING UNCHANGED*
SIDE YARD SETBACK	3'-0"	0'-0"	0'-0"	EXISTING UNCHANGED*
REAR YARD SETBACK	33'-0"	0'-0"	0'-0"	EXISTING UNCHANGED*
PARKING REQUIREMENT	1/UNIT		1/UNIT (6)	

*Per 53-30 Exception 2, Nonconforming side and rear yards may be extended horizontally and nonconforming front, side and rear yards may be extended vertically.

APPLICABLE CODES

- BUILDING CODE:** 780 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
- ACCESSIBILITY:** MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- FIRE PROTECTION:** MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE 527 CMR 1.00 - 2015 NFPA 1: FIRE CODE WITH AMENDMENTS
- ELECTRICAL:** 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2020 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- MECHANICAL:** INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
- PLUMBING:** 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
- ENERGY:** INTERNATIONAL ENERGY CONSERVATION CODE 2021 (IECC)
- AMERICANS WITH DISABILITIES ACT**
- BOSTON ZONING CODE**
- MGL CH. 148 SECTION 26G**

CODE SUMMARY

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL (R-2)
 - OCCUPANT LOAD: (200 GROSS SF/PERSON PER TABLE 1004.1.2) APPROX. 10403 SF = 52 PERSONS
- CONSTRUCTION TYPE: V.B. - TABLE 504.4
 - PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE NOT REQUIRED TO BE RATED
 - MAX. AREA IS 7000 PER FLOOR PER TABLE 506 AND MAXIMUM HEIGHT IS 3 STORIES ABOVE GRADE - 504.4
- PER TABLE 1006.3.2(1): FOR USE GROUP R-2; ONLY ONE EXIT IS REQUIRED WHEN THERE ARE LESS THAN FOUR STORIES AND 4 DWELLING UNITS OR LESS PER STORY. TRAVEL DISTANCE IS LIMITED TO 125'
- MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
- MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
- FIRE RATED CONSTRUCTION:
 - PER TABLE 602, IN V.B CONSTRUCTION EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED.
 - DEMISING PARTITION/CORRIDORS MUST BE 1 HOUR IN A TYPE V.B BUILDING 420.2 AND 708.3
 - HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1/2 HOUR IN A FULLY SPRINKLERED TYPE V.B BUILDING, 1 HOUR IN A NON-SPRINKLERED TYPE V.B BUILDING PER 420.3 AND 711.2.4.3
 - STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED, STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
 - PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS. 1 HOUR AND 1/2 HOUR CORRIDORS SHALL HAVE A MINIMUM 1/3 HOUR RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1-1/2 HOUR RATED DOORS.
- DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2 AND MIN. 50 IIC BETWEEN FLOORS
- ACCESSIBILITY REQUIREMENTS:
 - ALL UNITS TO BE DESIGNED AS GROUP 1 ACCESSIBLE

ENERGY REQUIREMENTS

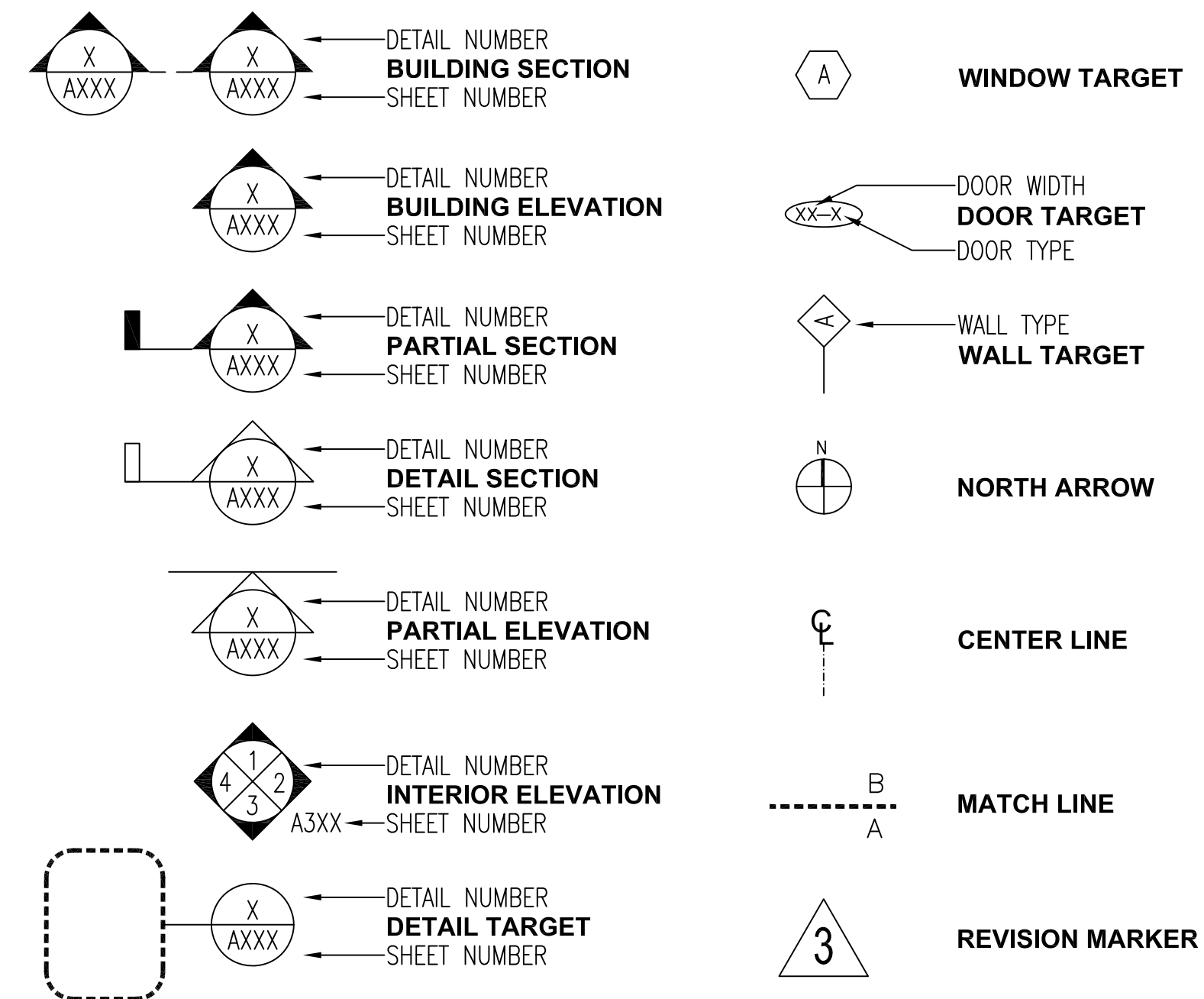
- MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021
- CLIMATE ZONE 5 PER TABLE 301.1
- EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 503.1
- PER IECC TABLE 402.4, FIXED FENESTRATION SHALL HAVE A U-FACTOR OF 0.36 OR BETTER; OPERABLE FENESTRATION SHALL HAVE A U-FACTOR OF 0.45 OR BETTER, AND SHGC 0.33 OR BETTER.
- SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.5 OR BETTER, SHGC OF 0.4 OR BETTER PER 402.4.
- VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
- R402.1.3 - CEILING: R=60; WOOD FRAME WALL: R-20 (CAVITY)+ 5 (CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10i TO 4"
- DEMAND RECIRCULATION WATER SYSTEMS SHALL HAVE CONTROLS THAT COMPLY WITH REQUIRED CODES
- REFER TO PLUMBING DRAWINGS FOR INSULATION AT PIPING.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES. THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.
- THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
 - BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
 - WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
 - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
 - DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
 - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 6 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT WALL.
- CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS

- SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
- SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
- ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
- ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
- ALL WOOD COMPONENTS SHALL BE FIRE TREATED
- CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
- ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
- WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
- MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
- COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
- SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
 - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES

SYMBOLS



PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JEW CHECKED BY: EZ

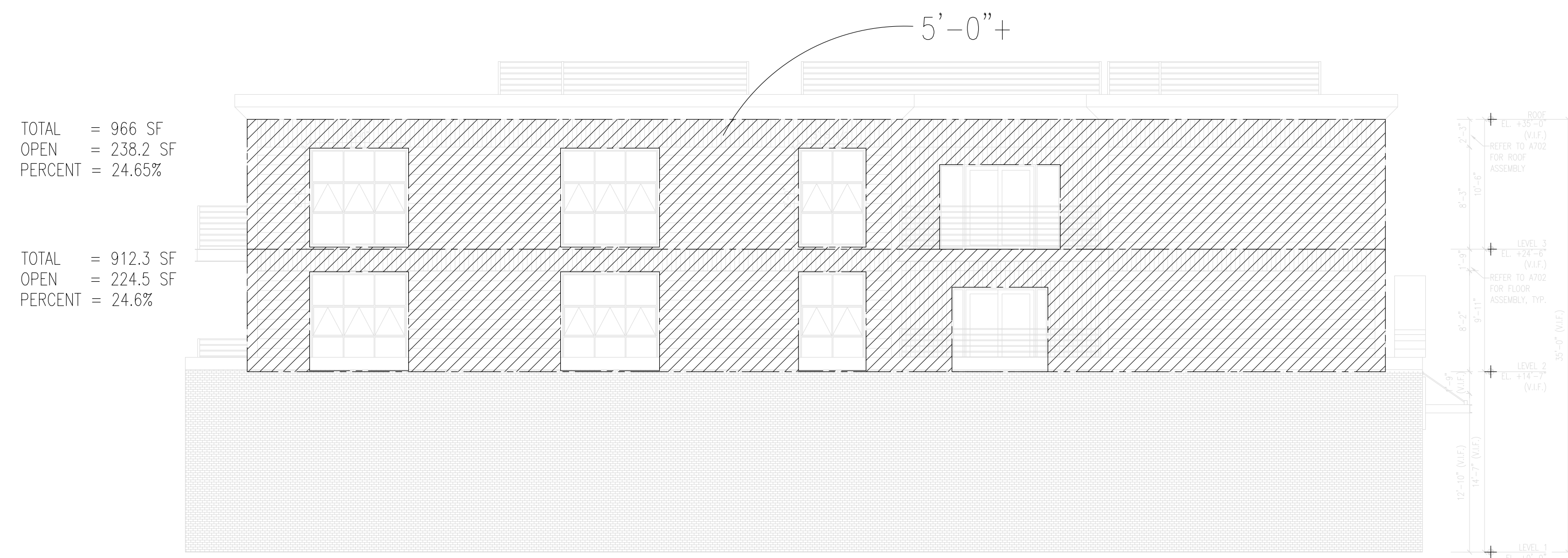
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COVER, ANALYSIS,
NOTES

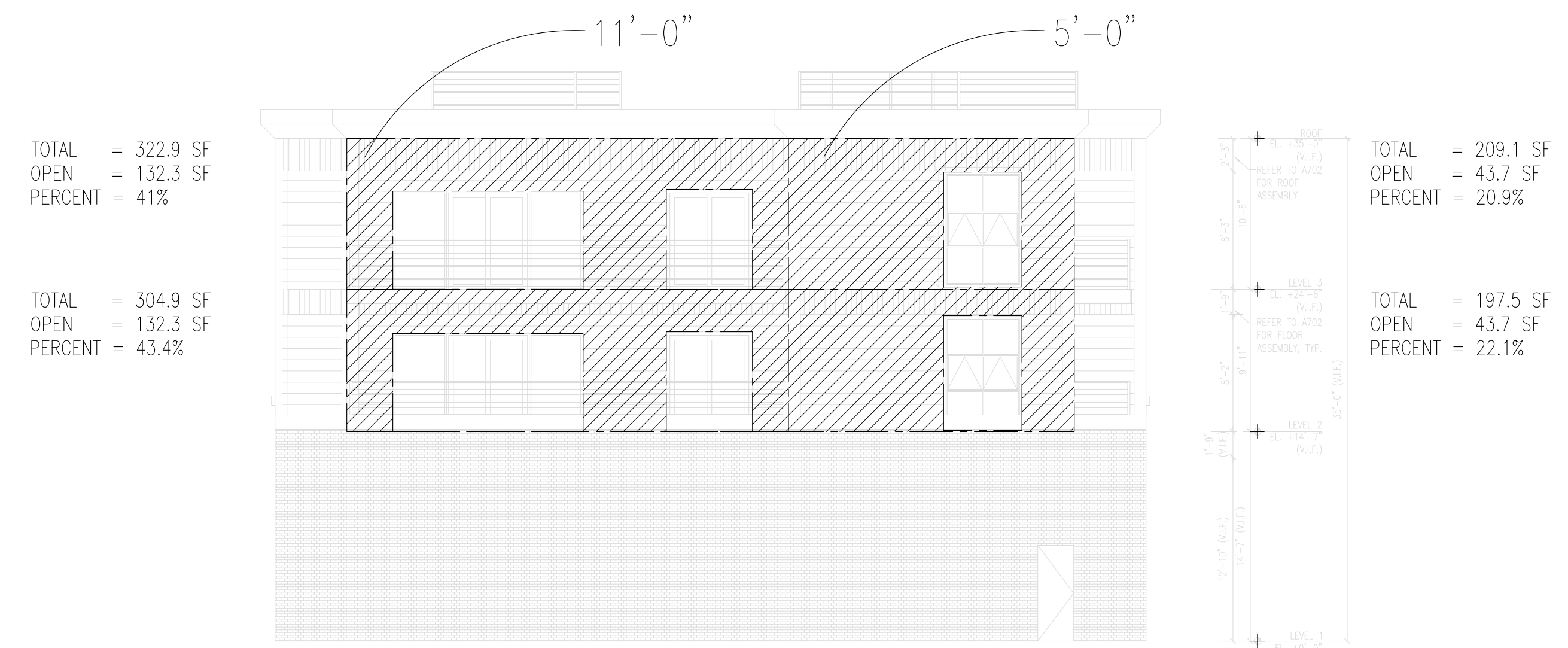
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DATE: 07-08-2024
SCALE: AS INDICATED

SHEET NOTES

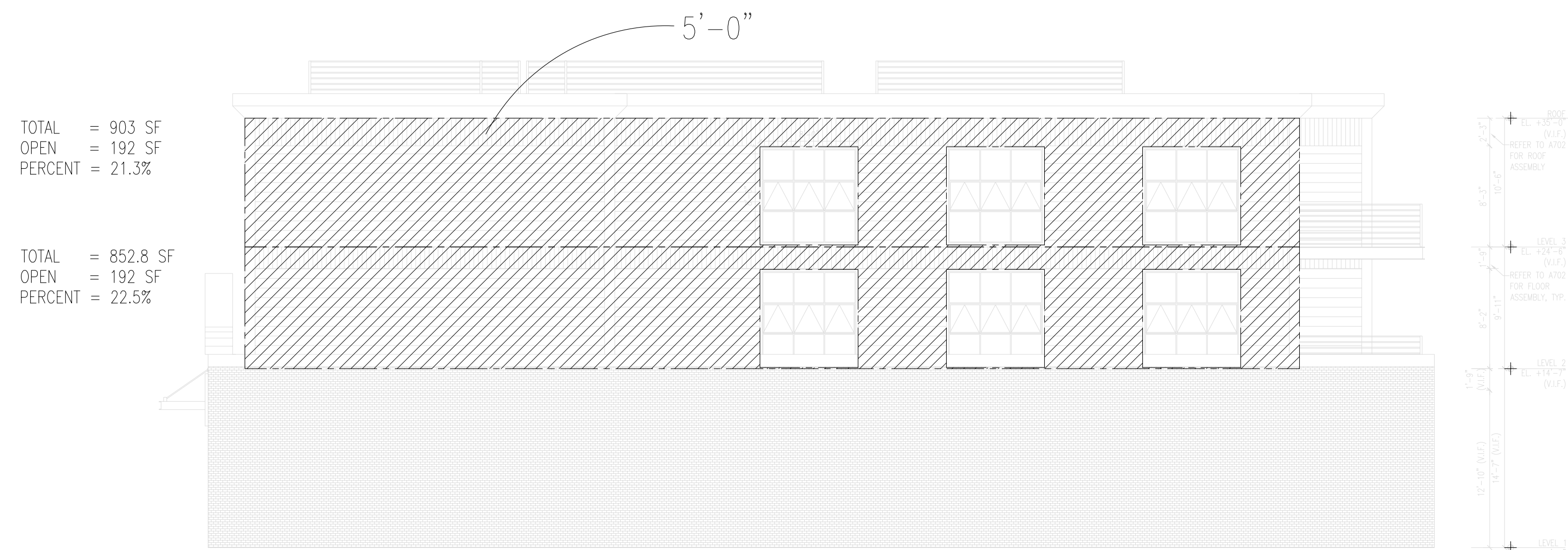
- PER 53-3- EXCEPTION 2, NONCONFORMING SIDE AND REAR YARDS MAY BE EXTENDED HORIZONTALLY AND NONCONFORMING FRONT, SIDE, AND REAR YARDS MAY BE EXTENDED VERTICALLY.



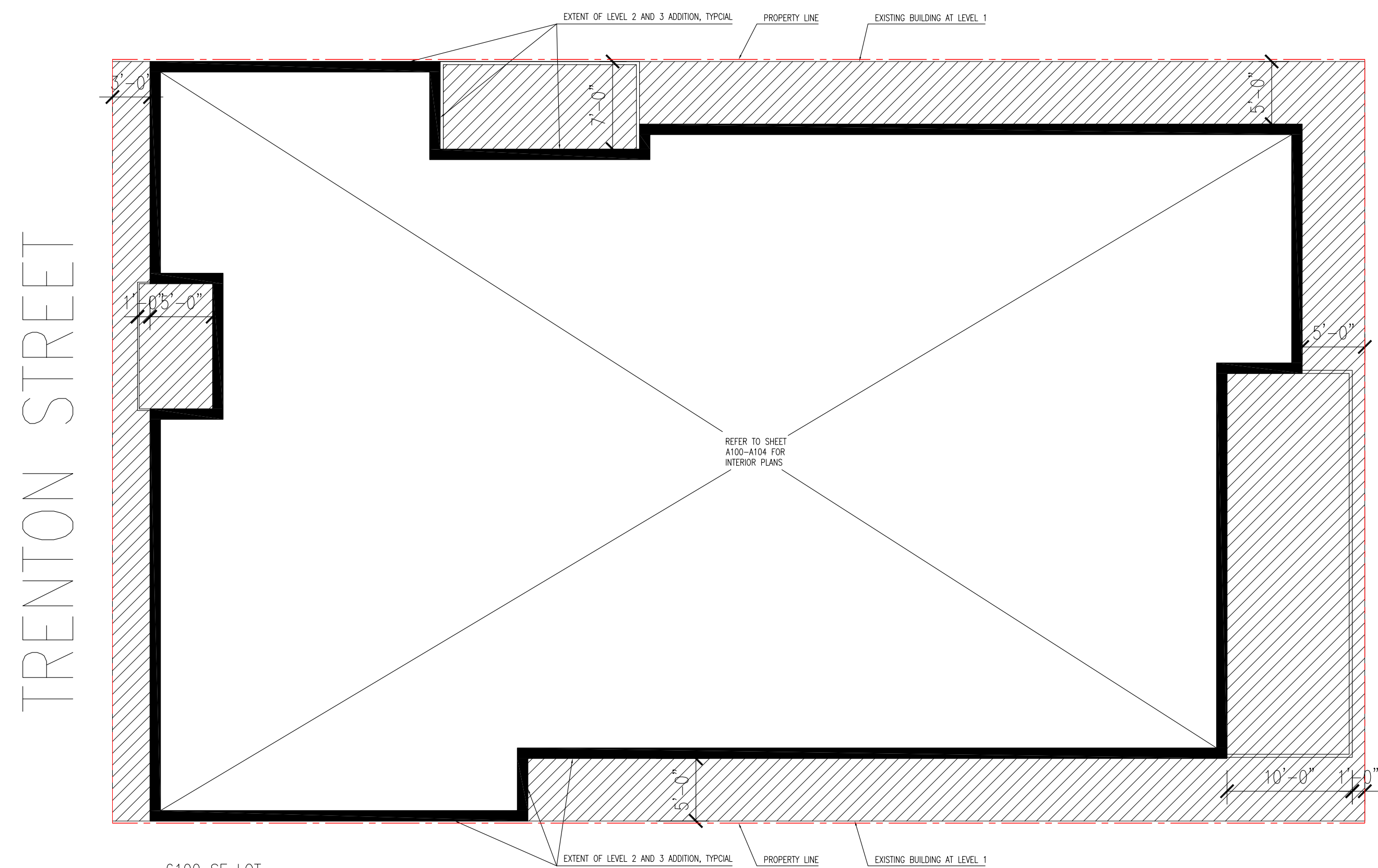
4 EAST ELEVATION
FACADE OPENING DIAGRAM
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
FACADE OPENING DIAGRAM
SCALE: 1/8" = 1'-0"

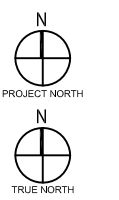


2 WEST ELEVATION
FACADE OPENING DIAGRAM
SCALE: 1/8" = 1'-0"



1 BUILDING SETBACKS DIAGRAM
SCALE: 1/8" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JRW

CHECKED BY: EZ

00 07-08-2024 ISSUED FOR PERMIT

DIAGRAMS

PROJECT No.: 0676
DATE: 07-08-2024
SCALE: AS INDICATED

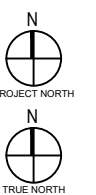
SHEET No.: **A002**

71 TRENTON ST
EAST BOSTON, MA 02128

JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

PROJECT KEY PLAN:



SEAL:



DRAWN BY: JBW CHECKED BY: EZ

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PLAN DIAGRAMS

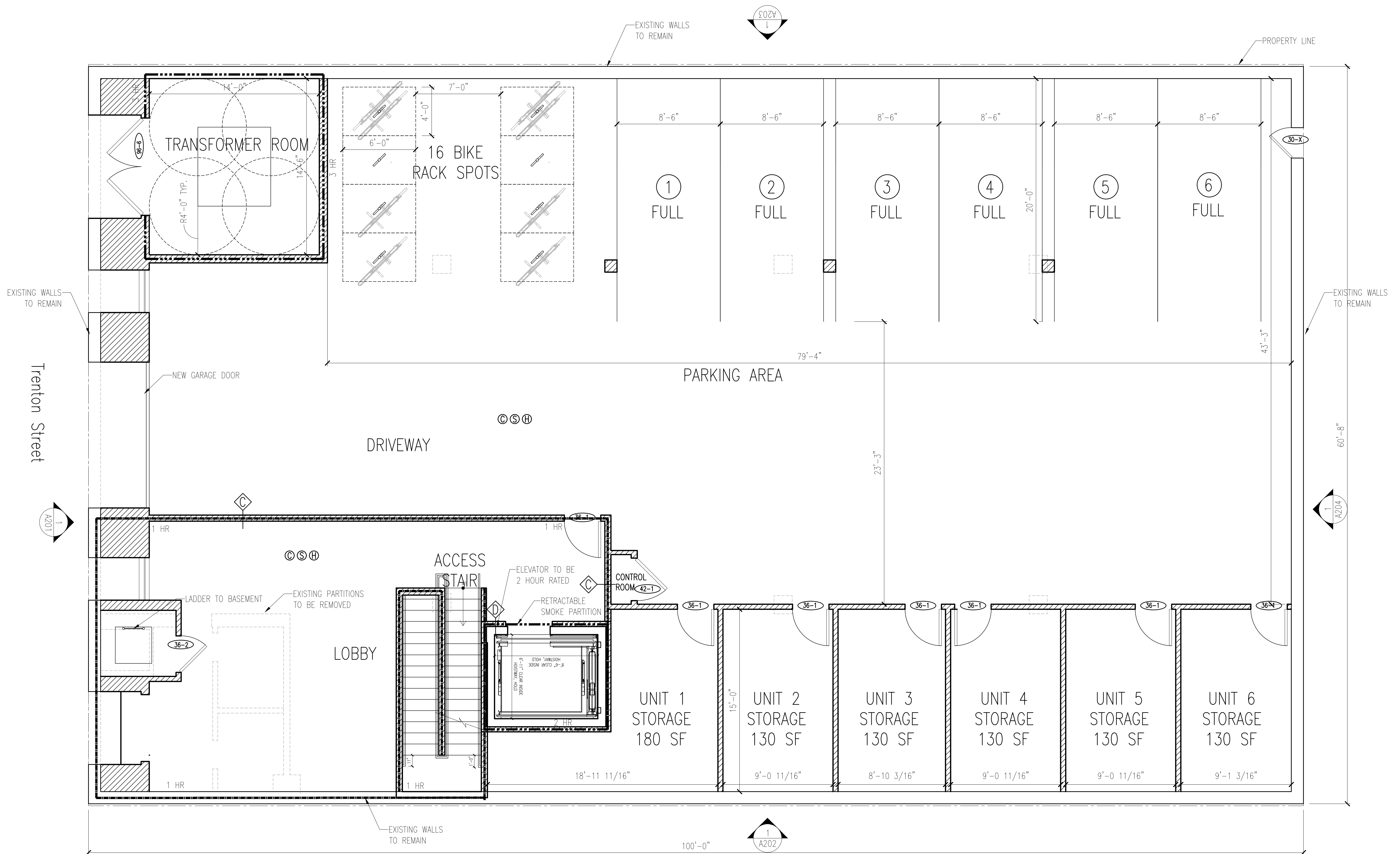
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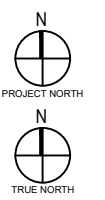
1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

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GENERAL NOTES:
ALL INTERIOR PARTITIONS
TO BE TYPE A UNLESS
OTHERWISE NOTED



PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

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PLAN DIAGRAMS

PROJECT No.: 0676 SHEET No.: **A101**
DATE: 07-08-2024
SCALE: AS INDICATED

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED

- 1 HR 1 HOUR RATED PARTITION
- 2 HR 2 HOUR RATED PARTITION
- 3 HR 3 HOUR RATED PARTITION

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
4" BETWEEN ADJACENT WALL AND
OPENING, UNLESS NOTED OTHERWISE

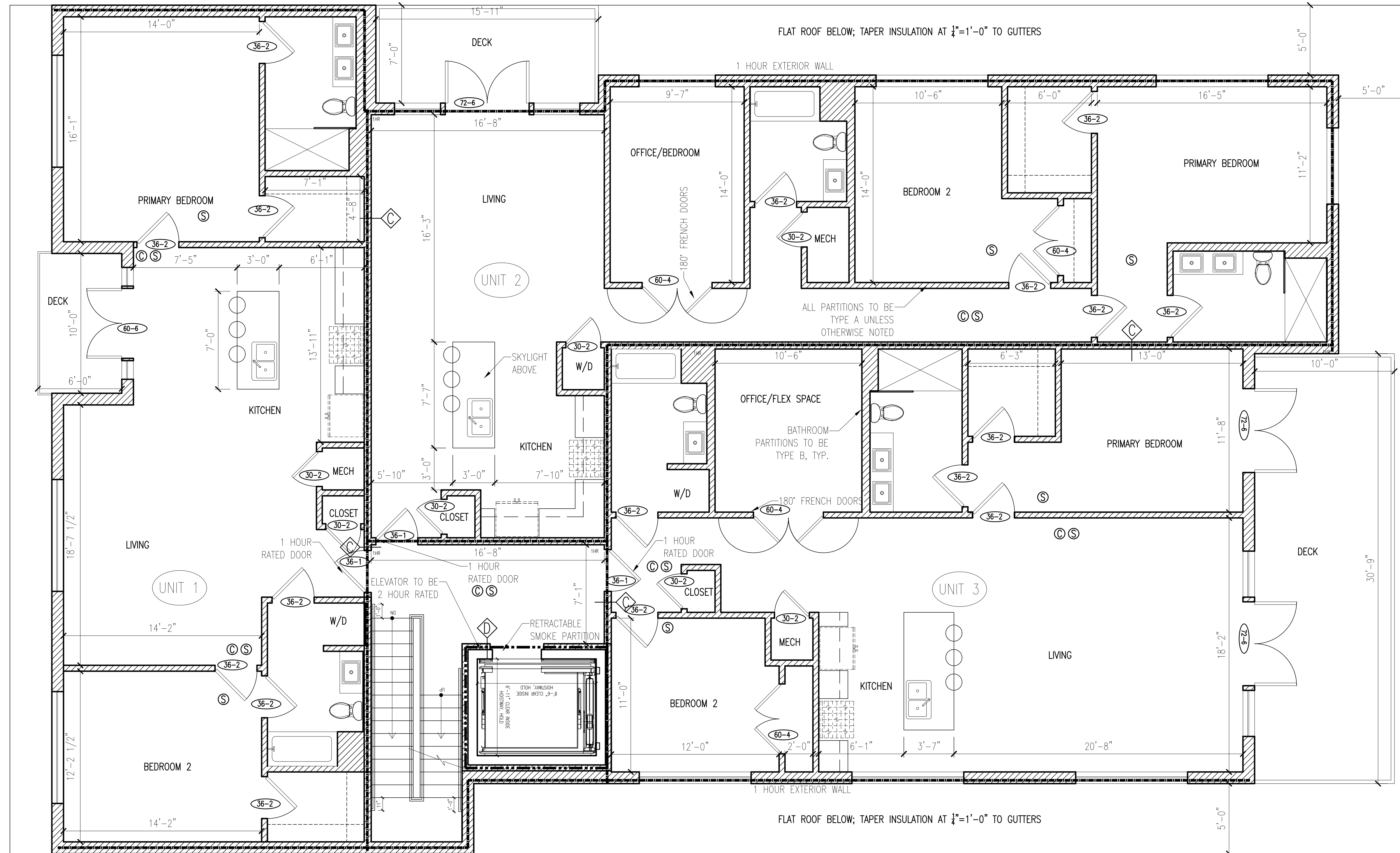
1 GROUND LEVEL PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

ALL INTERIOR PARTITIONS
TO BE TYPE A UNLESS
OTHERWISE NOTED

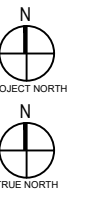
BATHTUBS TO BE 30"X60"
UNLESS OTHERWISE NOTED

SHOWERS TO BE 36"X72"
UNLESS OTHERWISE NOTED



2 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

00	07-08-2024	ISSUED FOR PERMIT
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PLAN DIAGRAMS

PROJECT No.: 0676 SHEET No.:
DATE: 07-08-2024
SCALE: AS INDICATED

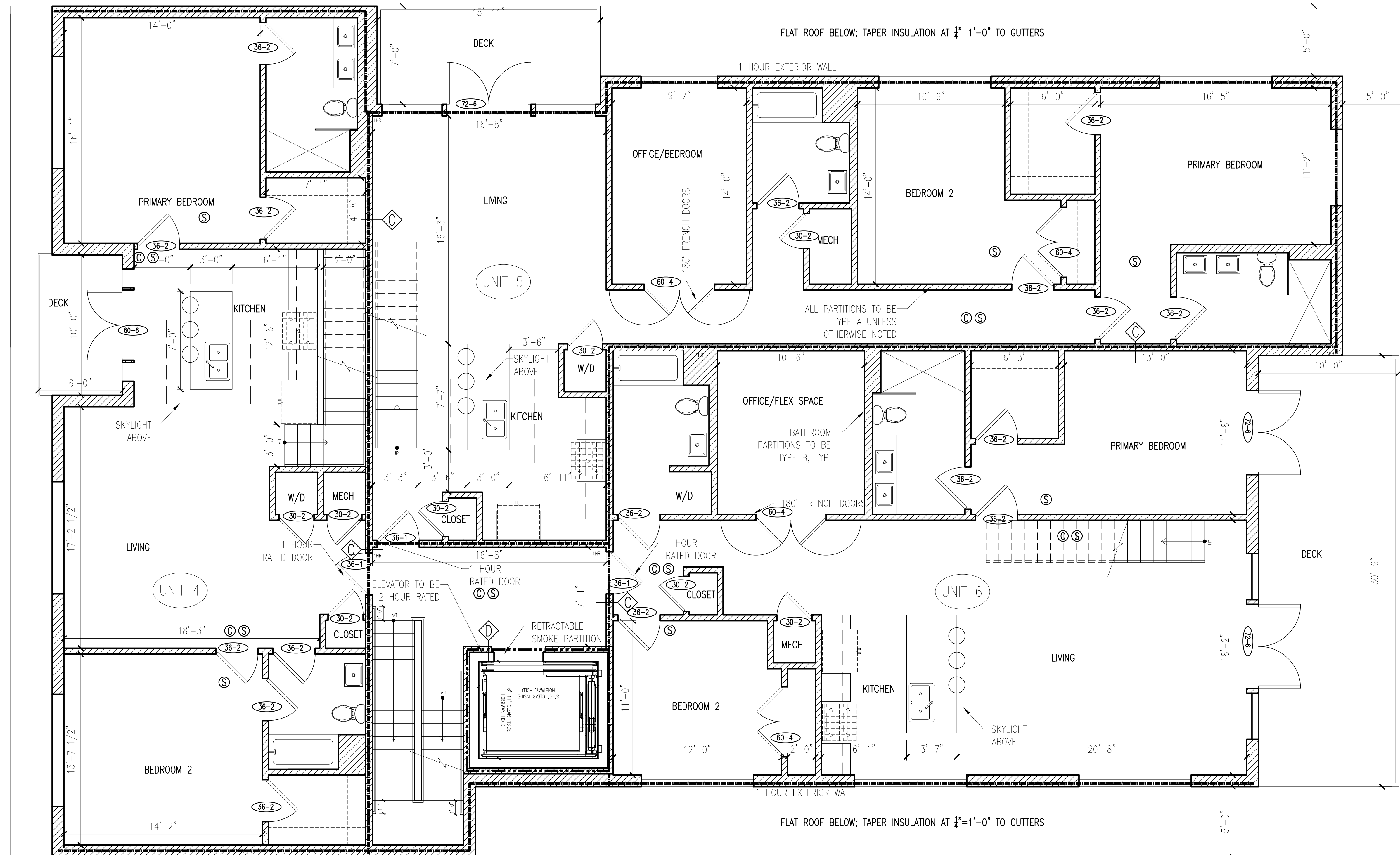
A102

GENERAL NOTES:

ALL INTERIOR PARTITIONS
TO BE TYPE A UNLESS
OTHERWISE NOTED

BATHTUBS TO BE 30"X60"
UNLESS OTHERWISE NOTED

SHOWERS TO BE 36"X72"
UNLESS OTHERWISE NOTED



3 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



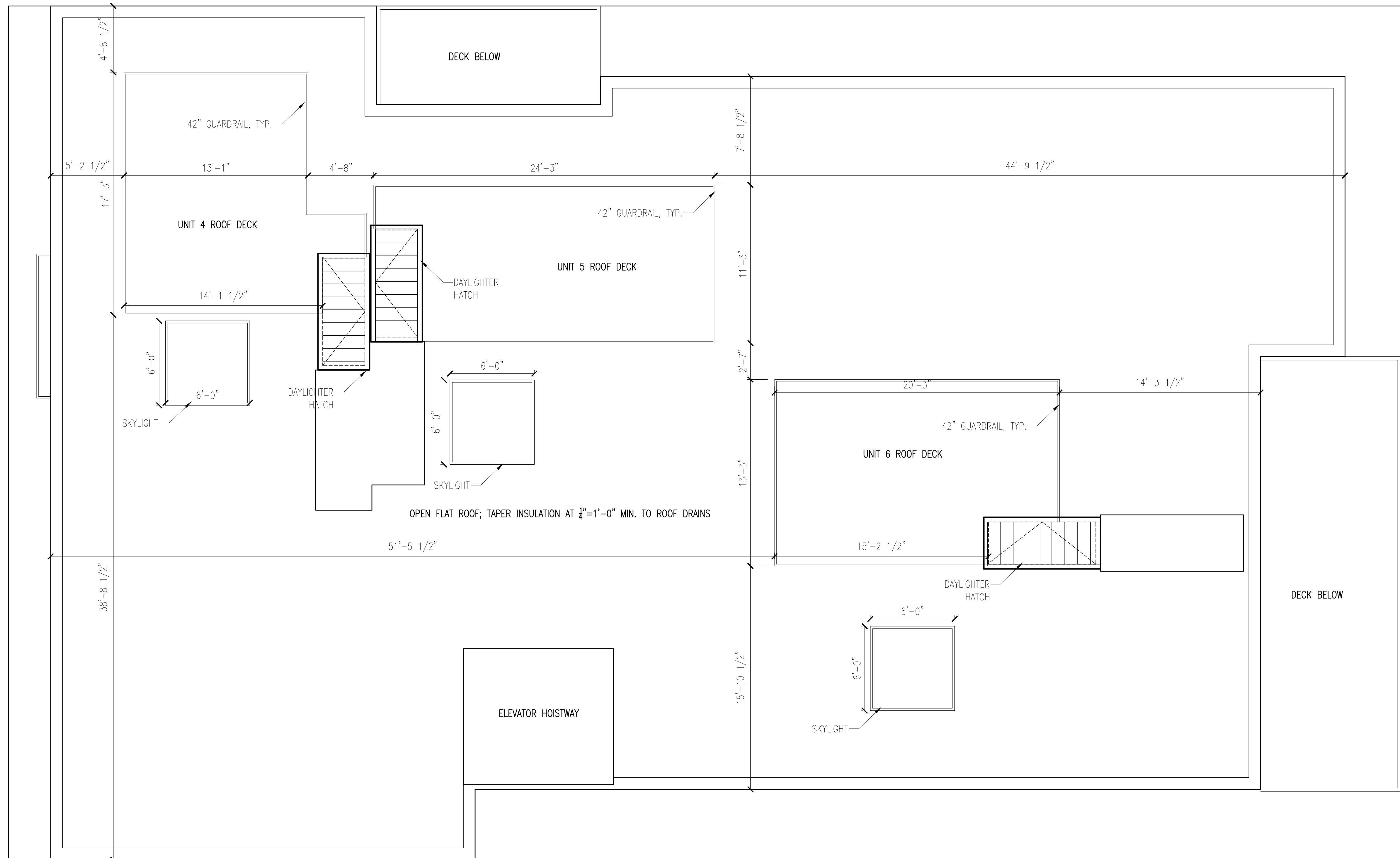
Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

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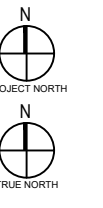
PLAN DIAGRAMS

PROJECT No.:	0676	SHEET No.:	A103
DATE:	07-08-2024		
SCALE:	AS INDICATED		



4 ROOF PLAN
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



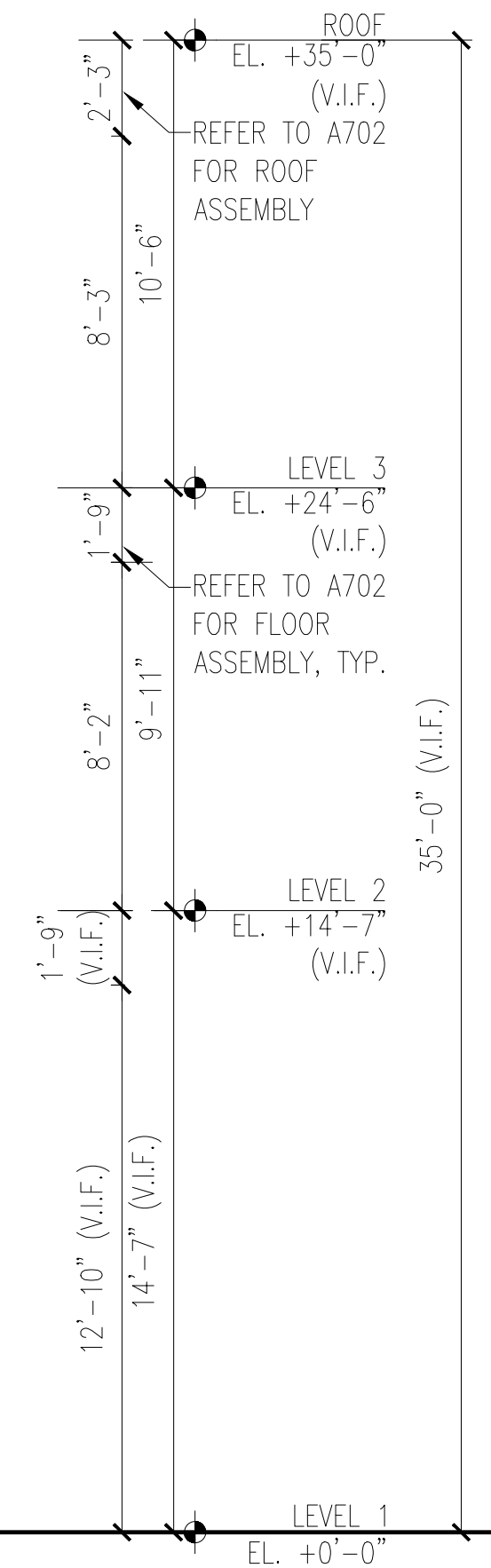
Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

00	07-08-2024	ISSUED FOR PERMIT
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PLAN DIAGRAMS

PROJECT No.:	0676	SHEET No.:	A104
DATE:	07-08-2024		
SCALE:	AS INDICATED		



PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW

CHECKED BY: EZ

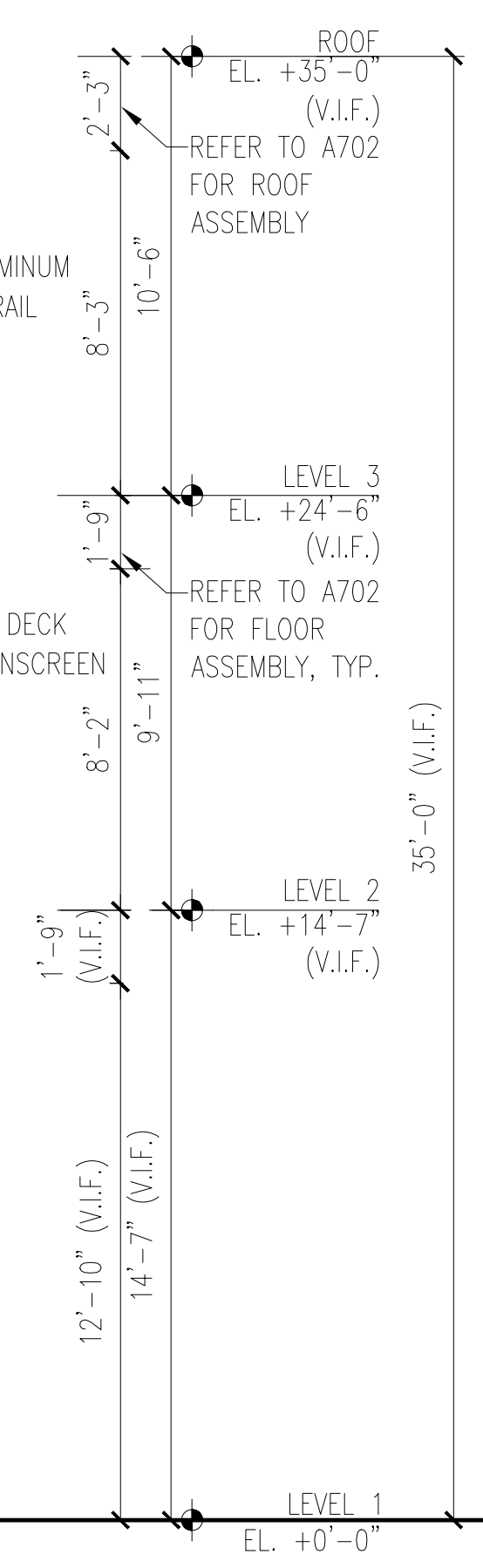
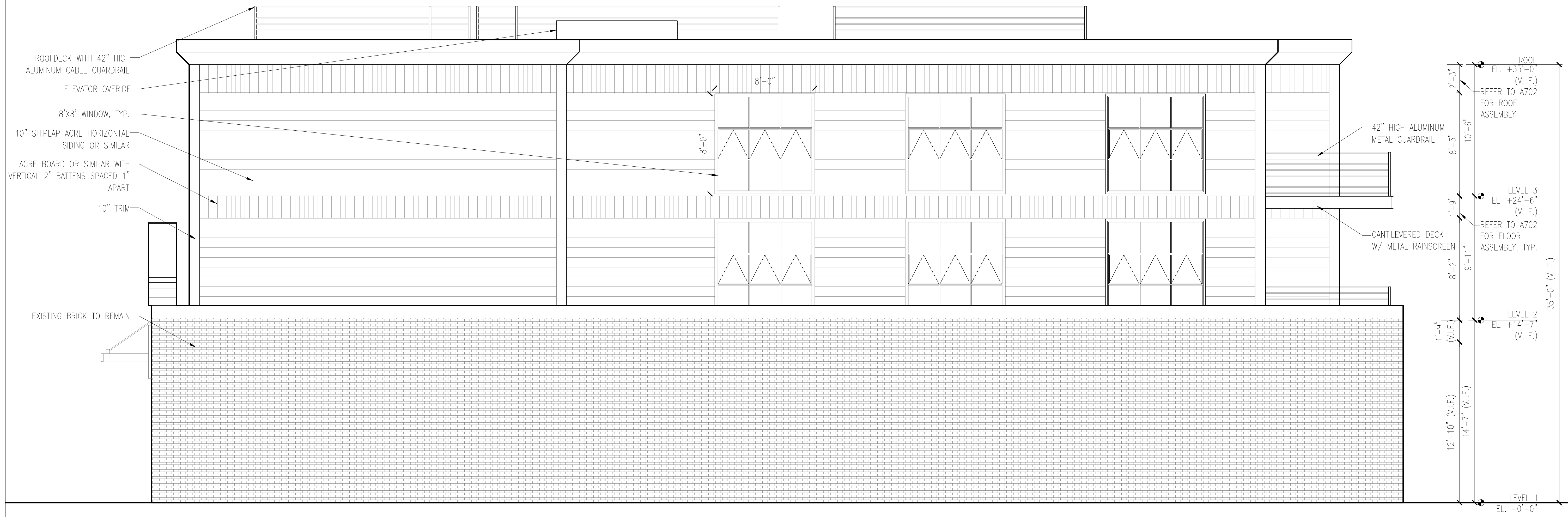
00	07-08-2024	ISSUED FOR PERMIT
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ELEVATION DIAGRAMS

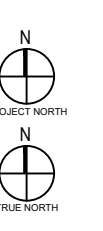
1 NORTH (TRENTON ST) ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT No.: 0676
DATE: 07-08-2024
SCALE: AS INDICATED

SHEET No.: **A201**



PROJECT KEY PLAN:



SEAL:



Eric Johnson

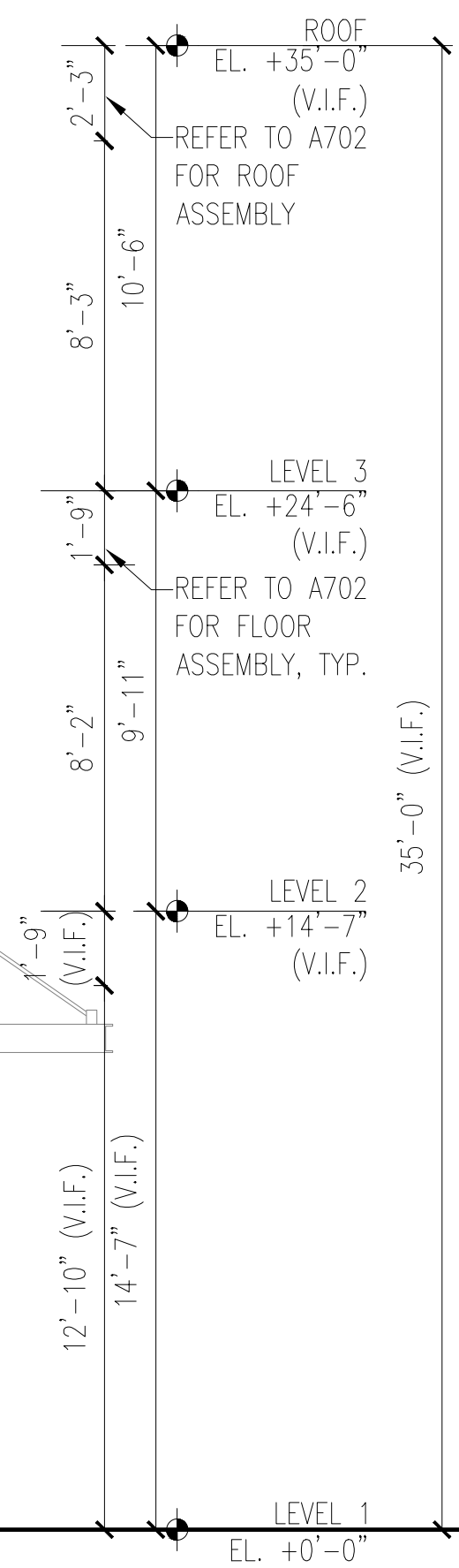
DRAWN BY: JBW CHECKED BY: EZ

00	07-08-2024	ISSUED FOR PERMIT
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ELEVATION DIAGRAMS

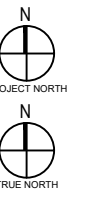
1 WEST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT No.:	0676	SHEET No.:	A202
DATE:	07-08-2024		
SCALE:	AS INDICATED		



- ROOFDECK WITH 42" HIGH ALUMINUM CABLE GUARDRAIL
- ELEVATOR OVERRIDE
- ACRE BOARD OR SIMILAR WITH VERTICAL 2" BATTENS SPACED 1" APART
- 8'X8' WINDOW, TYP.
- 10" SHIPLAP ACRE HORIZONTAL SIDING OR SIMILAR
- 42" HIGH ALUMINUM METAL GUARDRAIL
- CANTILEVERED DECK W/ METAL RAINSCREEN
- 10" TRIM
- EXISTING BRICK TO REMAIN

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

00	07-08-2024	ISSUED FOR PERMIT
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ELEVATION DIAGRAMS

1 EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT No.:	0676	SHEET No.:	A203
DATE:	07-08-2024		
SCALE:	AS INDICATED		



PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

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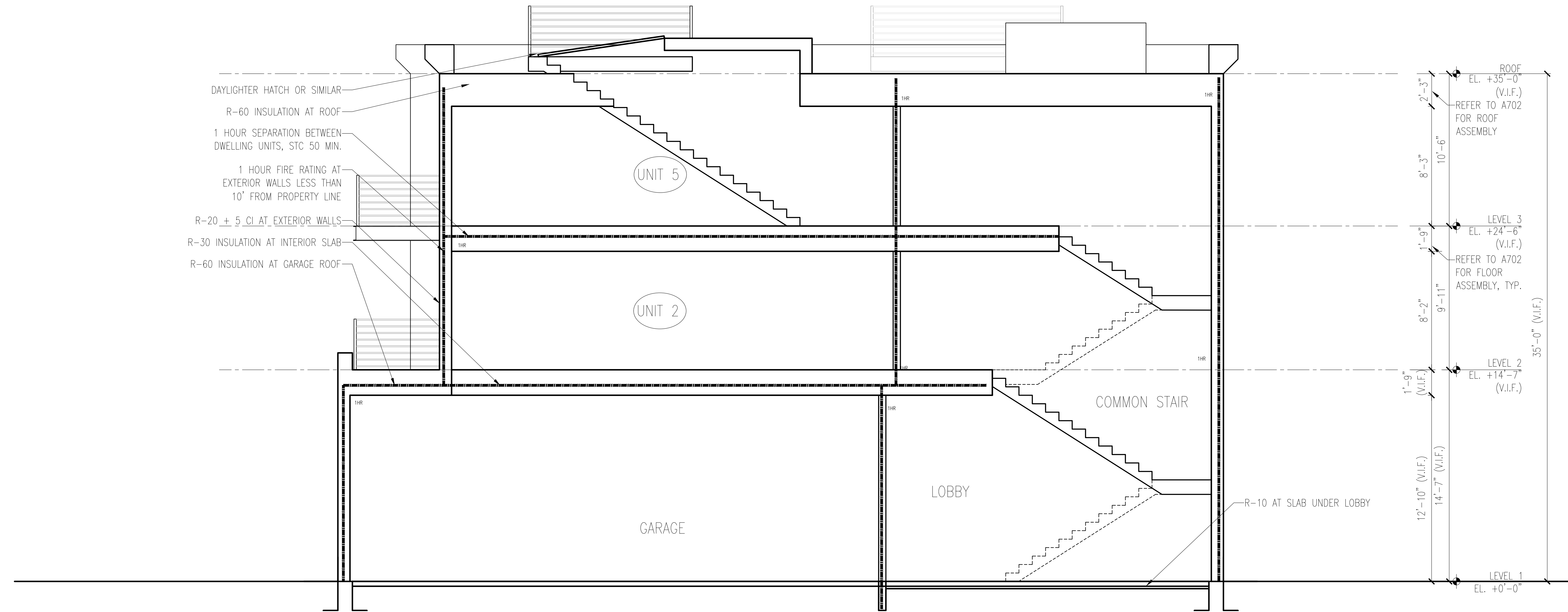
ELEVATION DIAGRAMS

1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

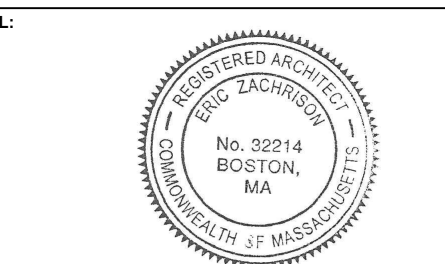
PROJECT No.: 0676 SHEET No.:
DATE: 07-08-2024
SCALE: AS INDICATED **A204**

SHEET NOTES

1. REFER TO PLANS ON SHEETS A101-A103 FOR FIRE-RATED WALL TYPE AND LOCATION
2. REFER TO SHEET A702 FOR TYP. FLOOR, ROOF, & CEILING ASSEMBLIES
3. ELEVATION MARKERS INDICATE ELEVATIONS AT TOP OF FINISH FLOOR
4. CONTRACTOR TO CONFIRM FLOOR AND ROOF MEMBER DEPTHS WITH FRAMING PLAN



PROJECT KEY PLAN:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

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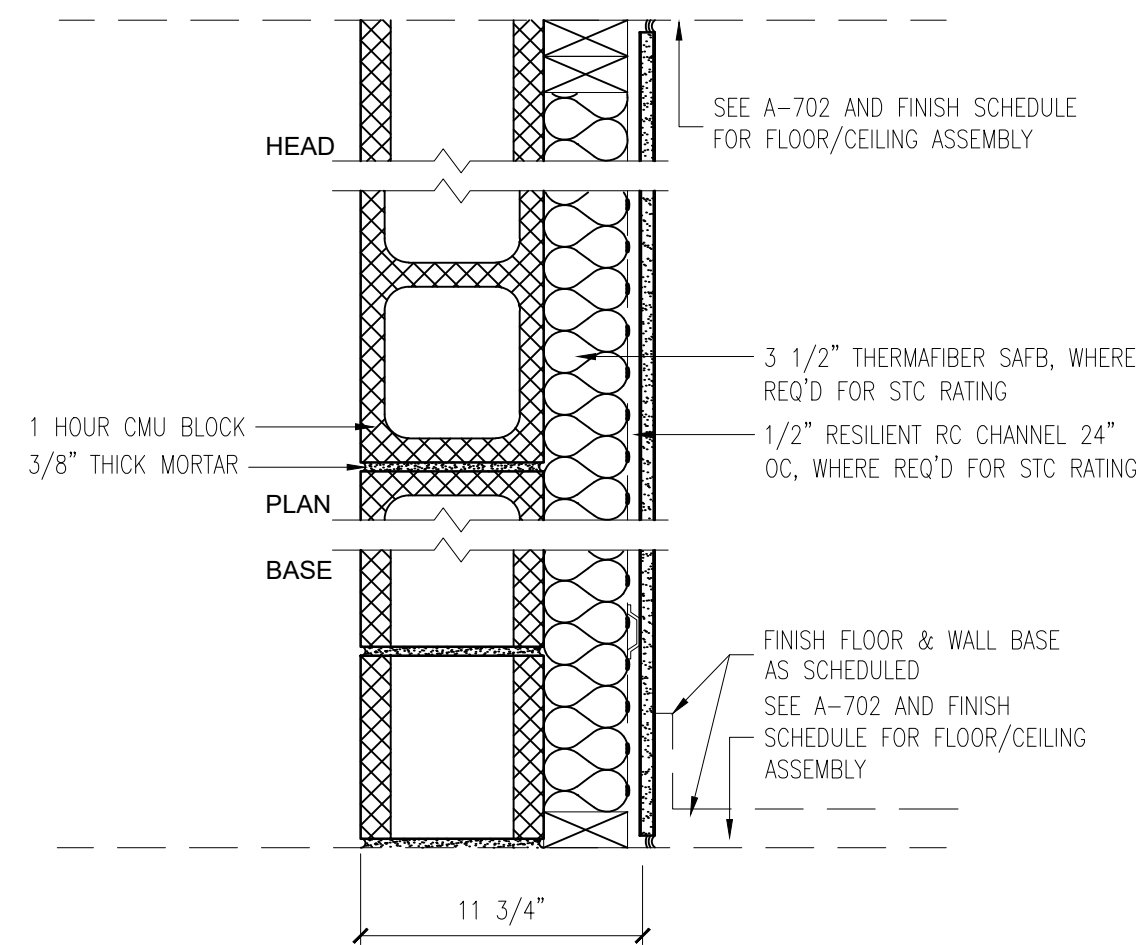
BUILDING SECTION
DIAGRAM

1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

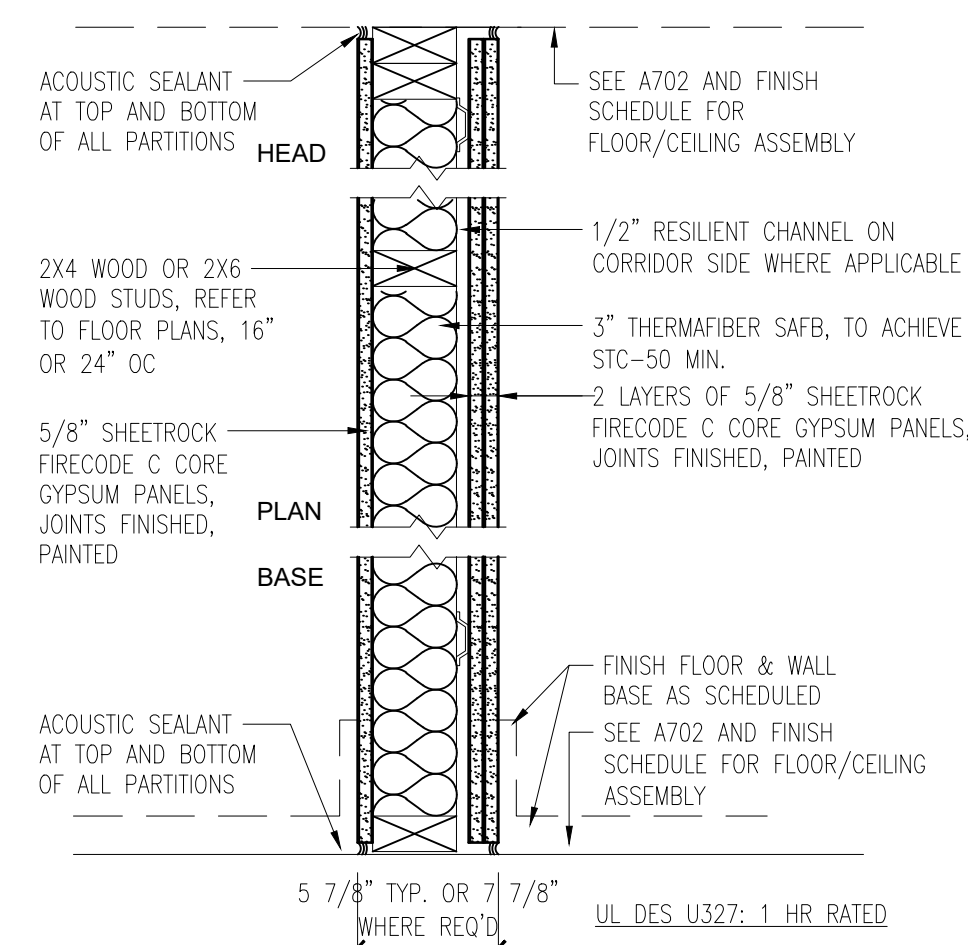
PROJECT No.: 0676 SHEET No.: **A251**
DATE: 07-08-2024
SCALE: AS INDICATED

SHEET NOTES

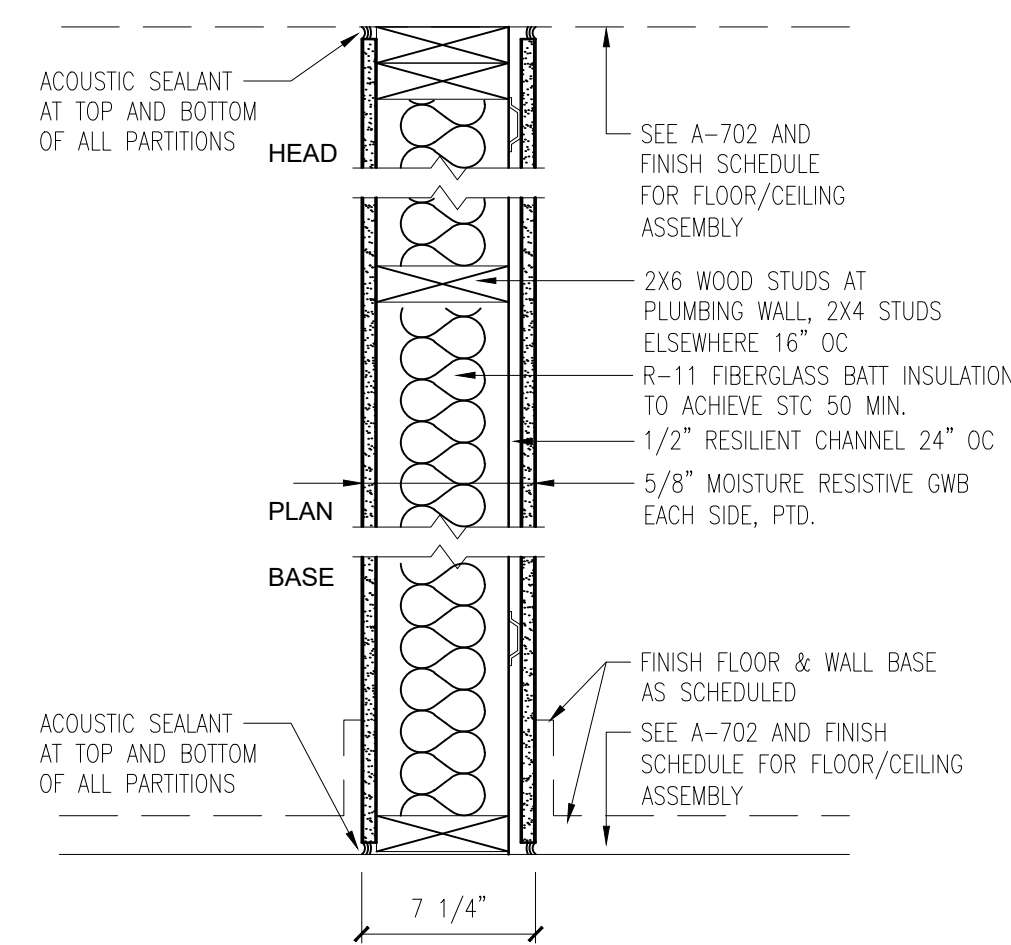
1. EWA = EXTERIOR WALL ASSEMBLY
2. IP = INTERIOR PARTITION
3. NR = NOT RATED



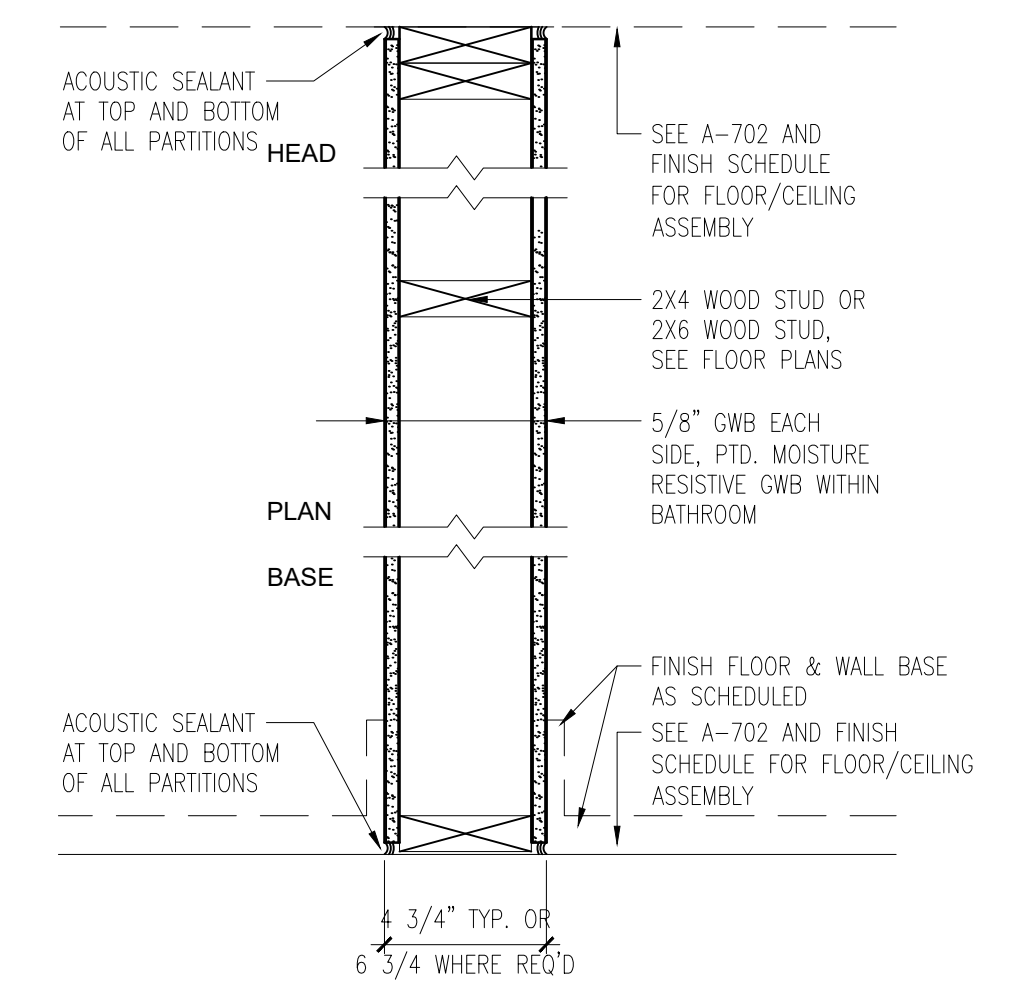
D IP: ELEVATOR WALL (1HR)
SCALE: 1 1/2" = 1'-0"



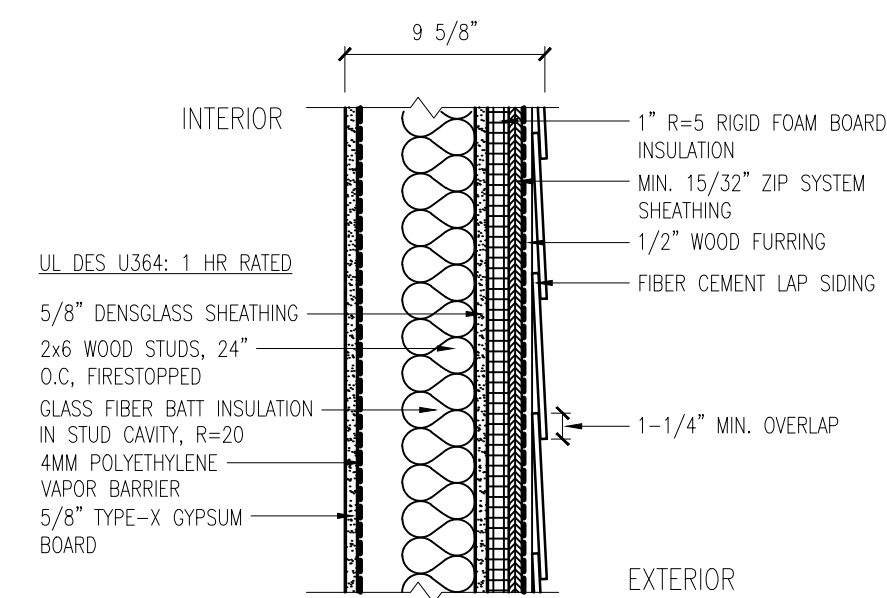
C IP: UNIT DEMISING WALL (1HR)
SCALE: 1 1/2" = 1'-0"



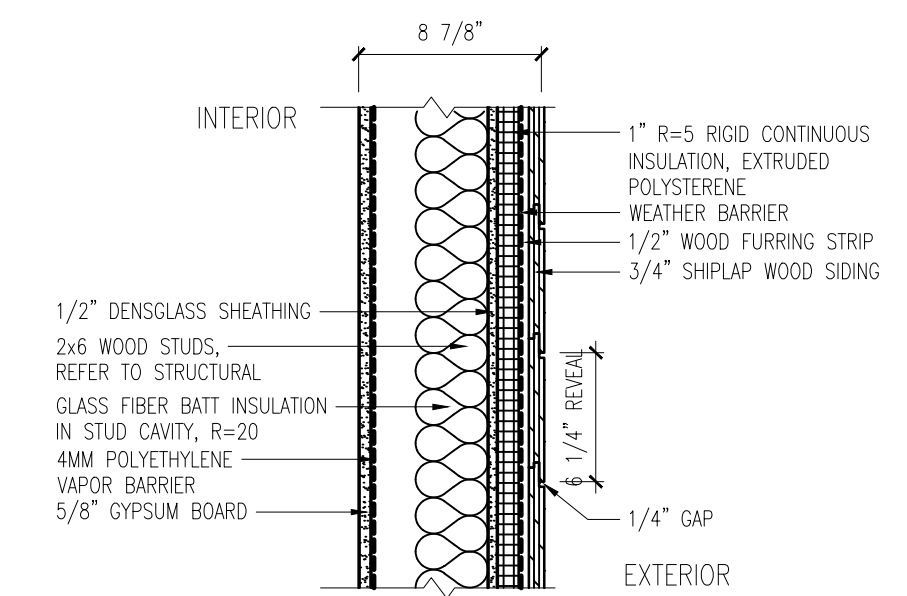
B IP: BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"



A IP: INTERIOR PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

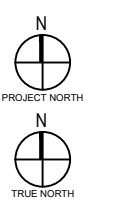


2 EWA: LAP SIDING (1HR)
SCALE: 1 1/2" = 1'-0"



1 EWA: LAP SIDING
SCALE: 1 1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

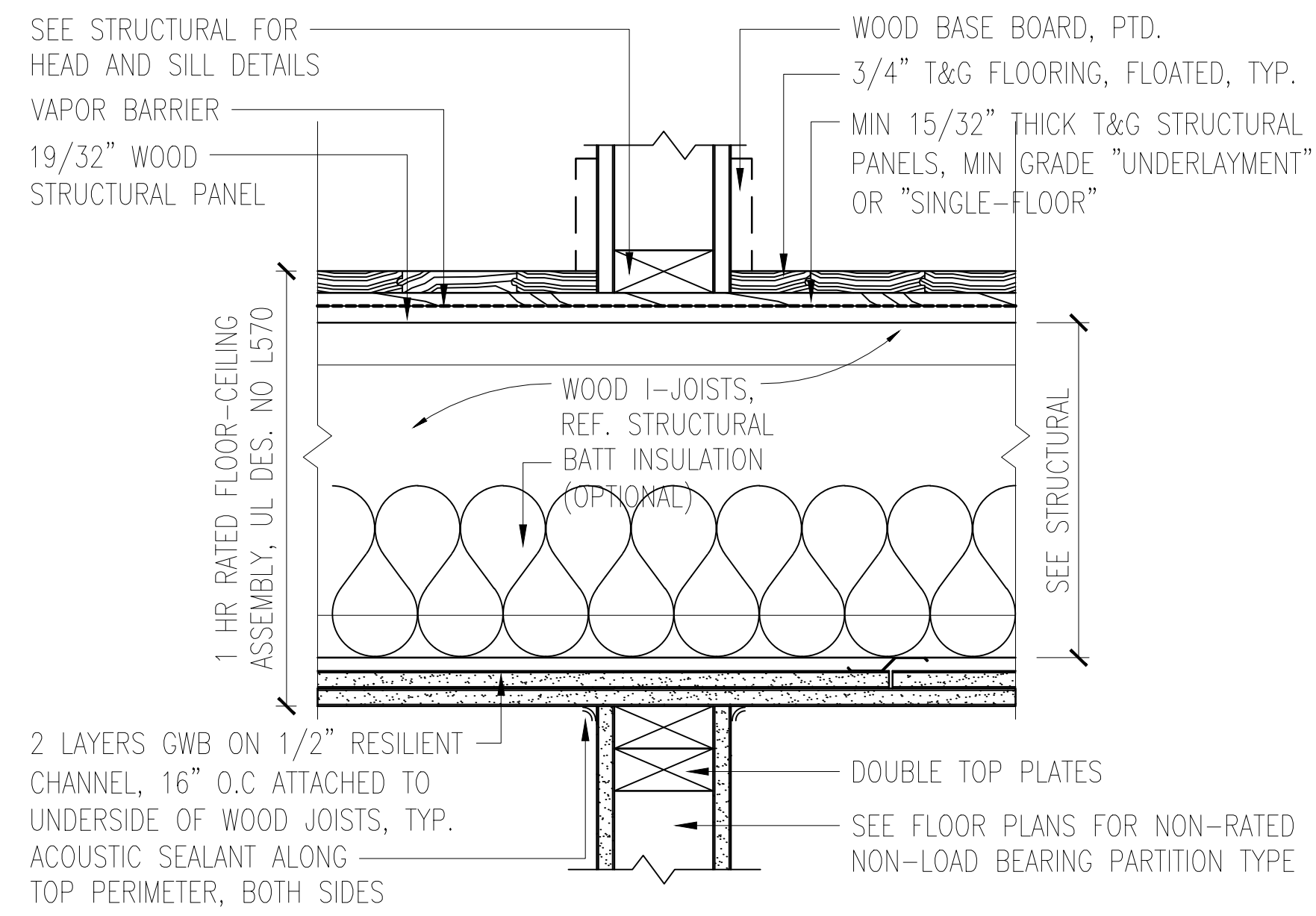
DRAWN BY: JBW CHECKED BY: EZ

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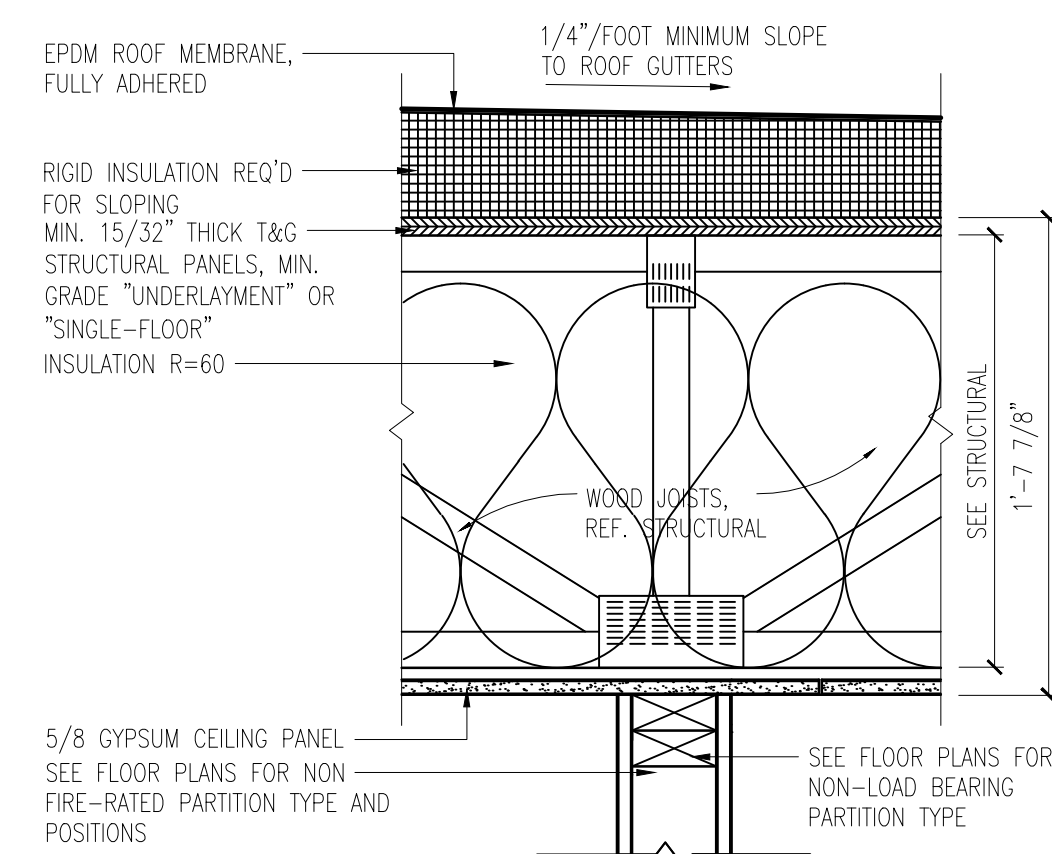
EXTERIOR WALL & INTERIOR PARTITION ASSEMBLIES

PROJECT No.: 0676 SHEET No.: **A701**
DATE: 07-08-2024
SCALE: AS INDICATED

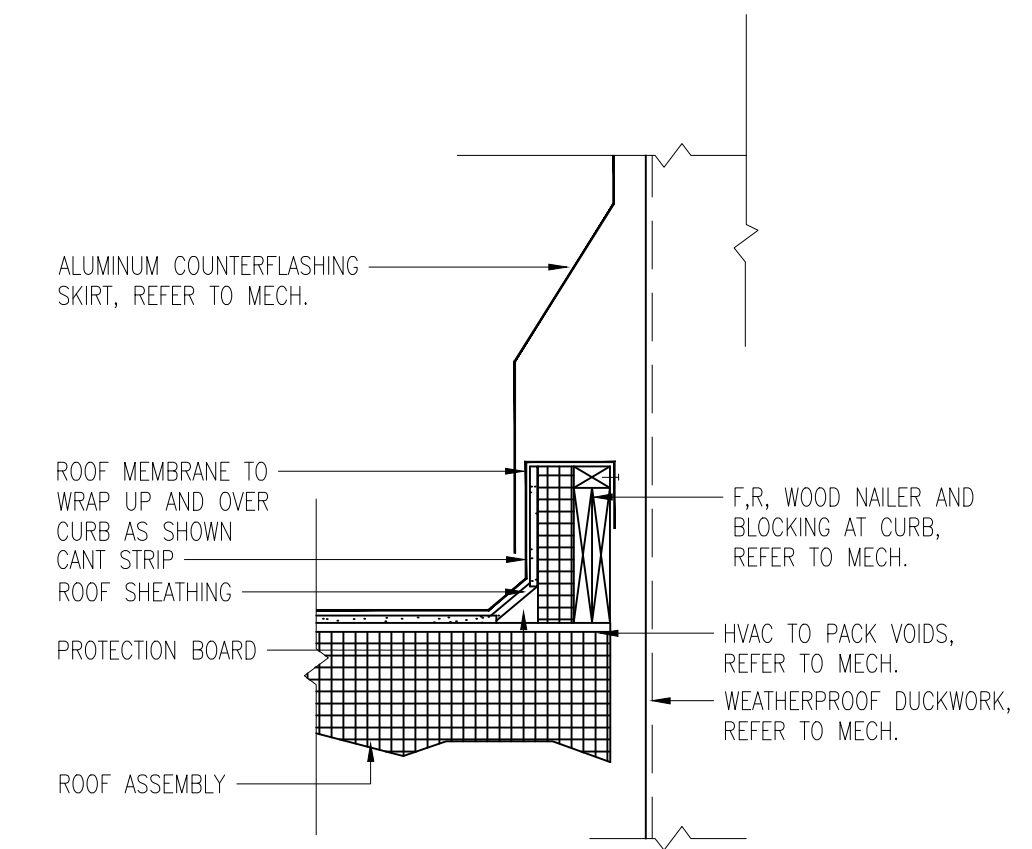
- SHEET NOTES**
1. FCA = FLOOR-CEILING ASSEMBLY
 2. RCA = ROOF-CEILING ASSEMBLY
 3. NR = NOT RATED



FCA1 TYP. FLOOR-CEILING ASSEMBLY (1HR)
SCALE: 1 1/2" = 1'-0"

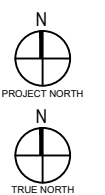


RCA1 ROOF-CEILING ASSEMBLY (NR)
SCALE: 1 1/2" = 1'-0"



1 ROOF PENETRATION SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



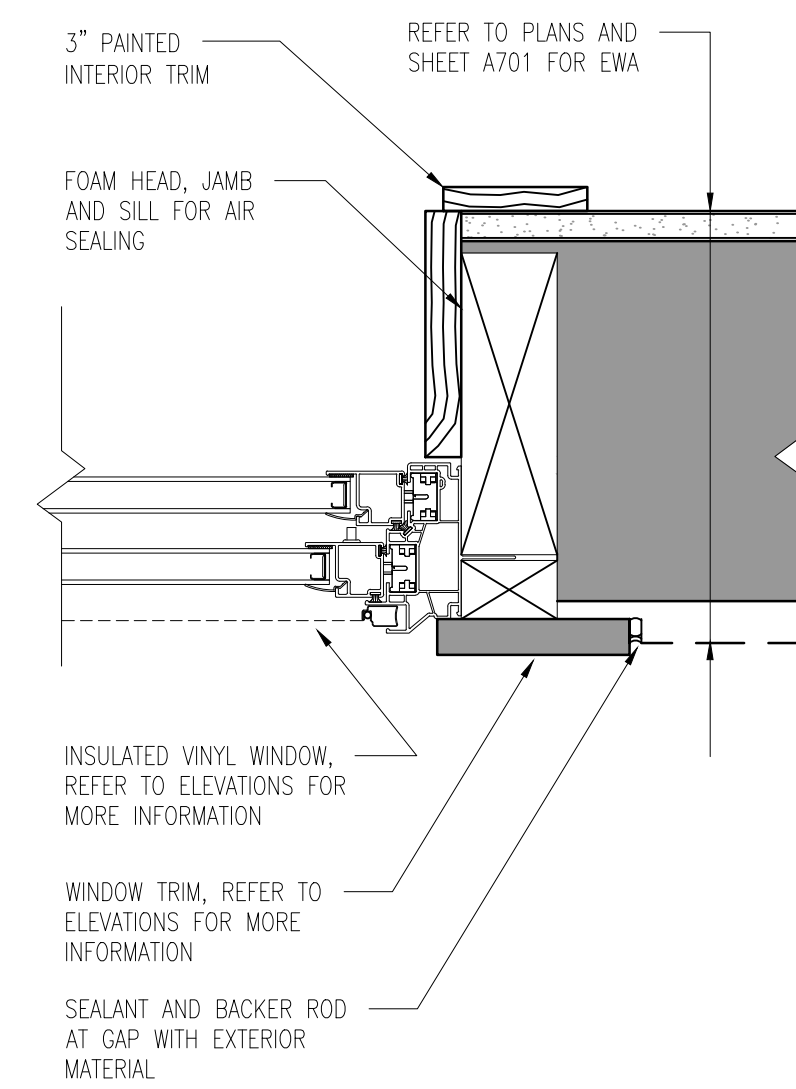
Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

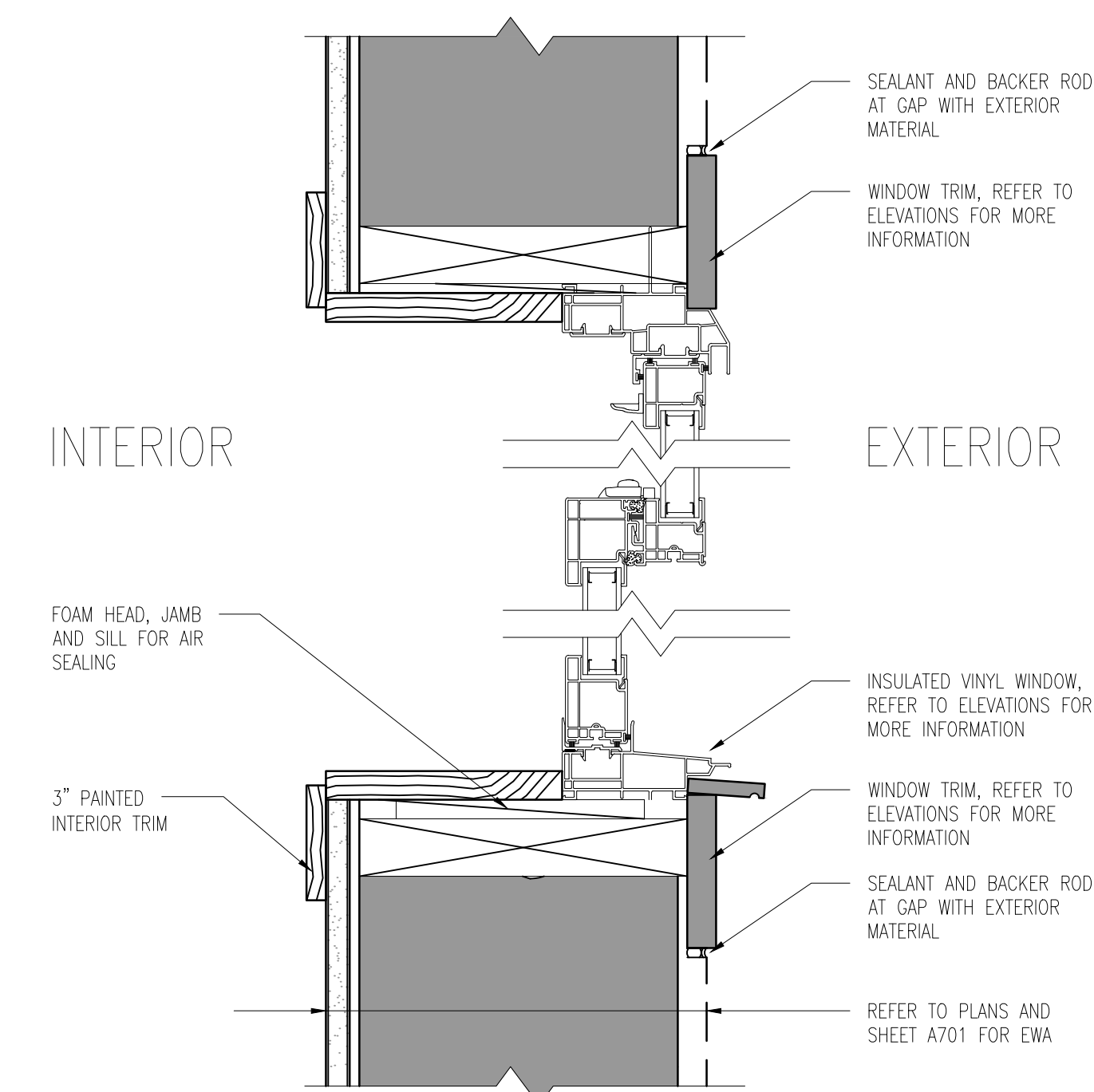
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FLOOR-CEILING &
ROOF-CEILING
ASSEMBLIES

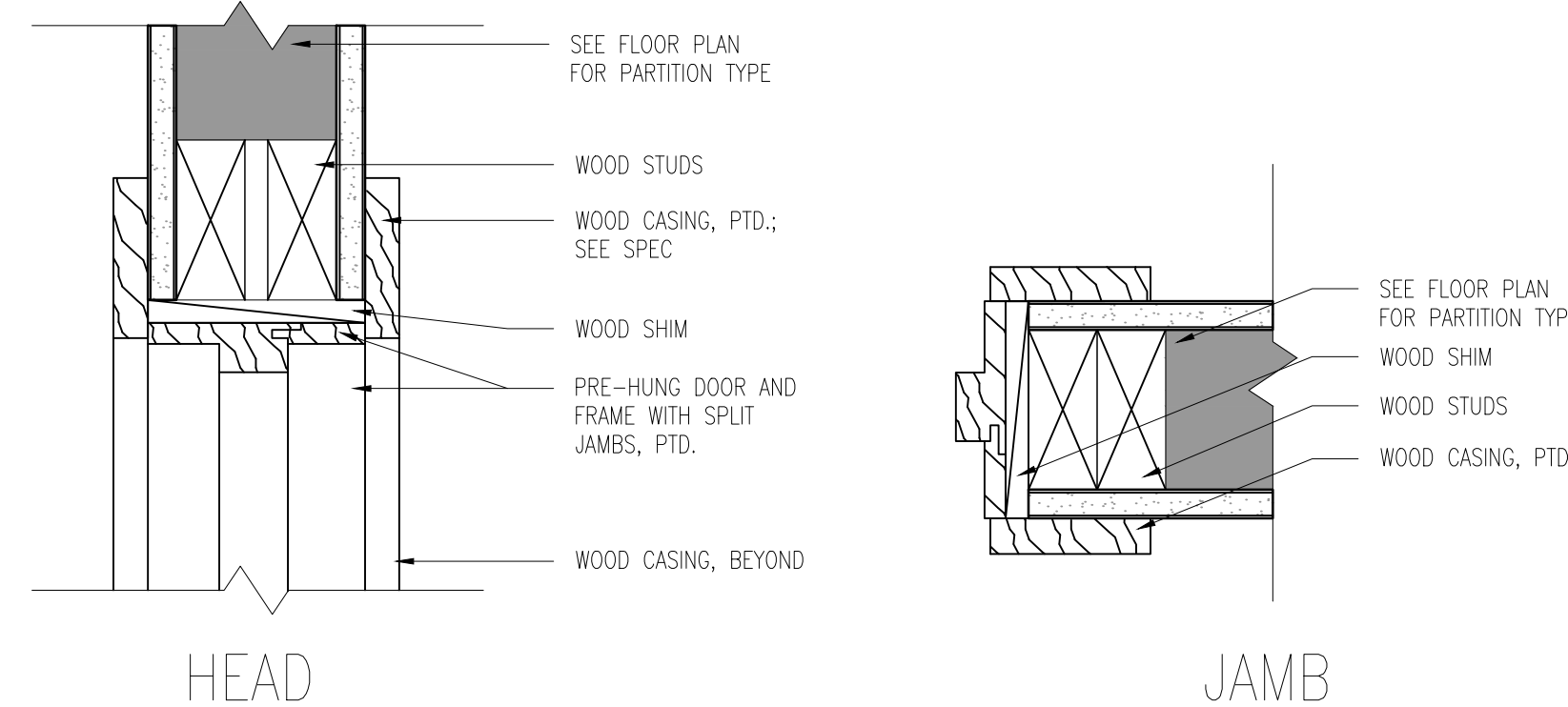
SHEET NOTES
1.



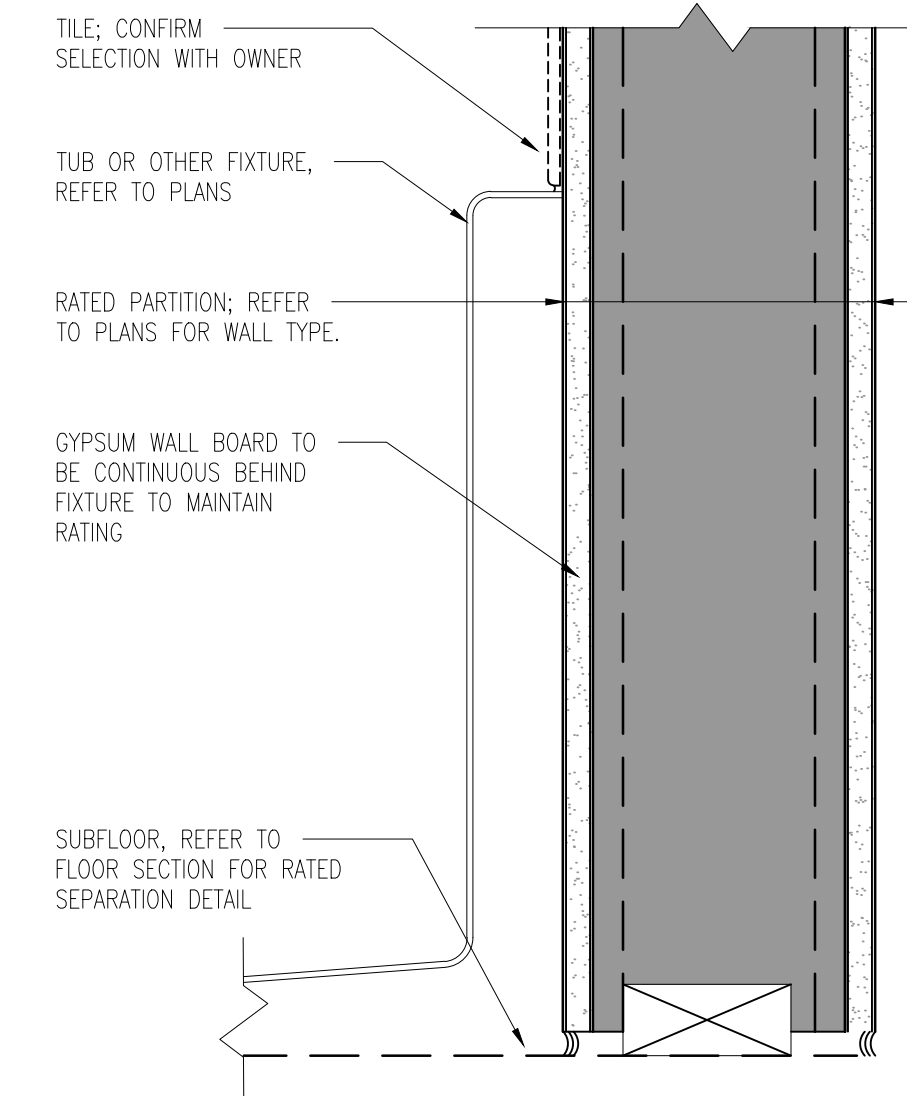
5 TYPICAL WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



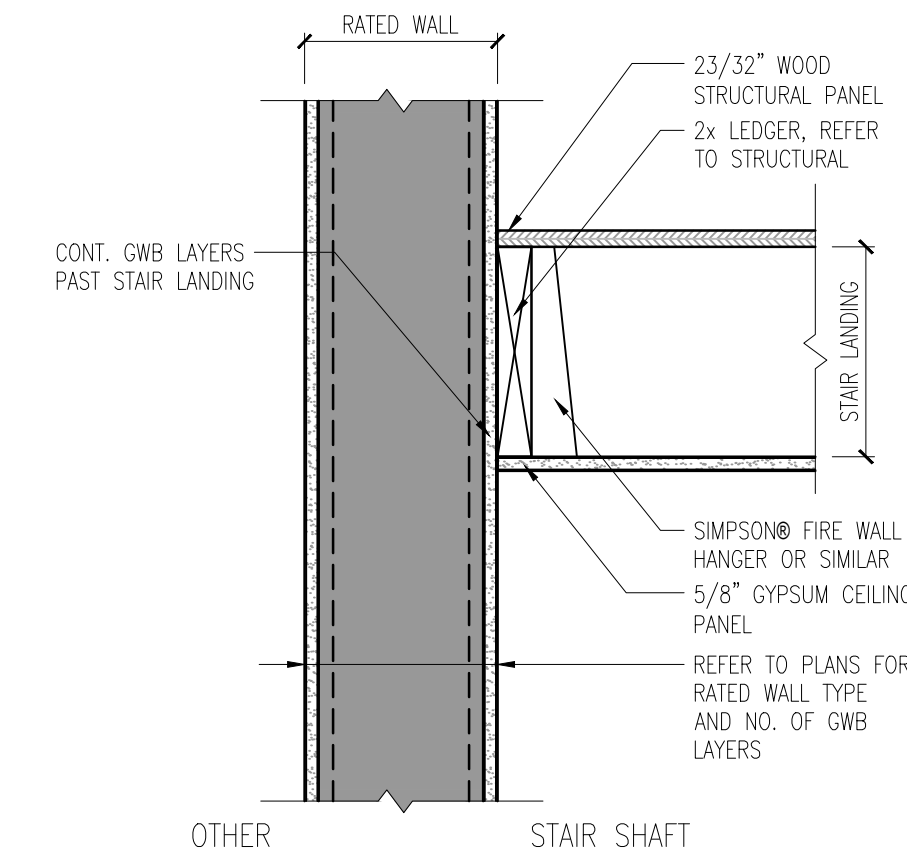
4 TYPICAL WINDOW HEAD/SILL DETAIL
SCALE: 3" = 1'-0"



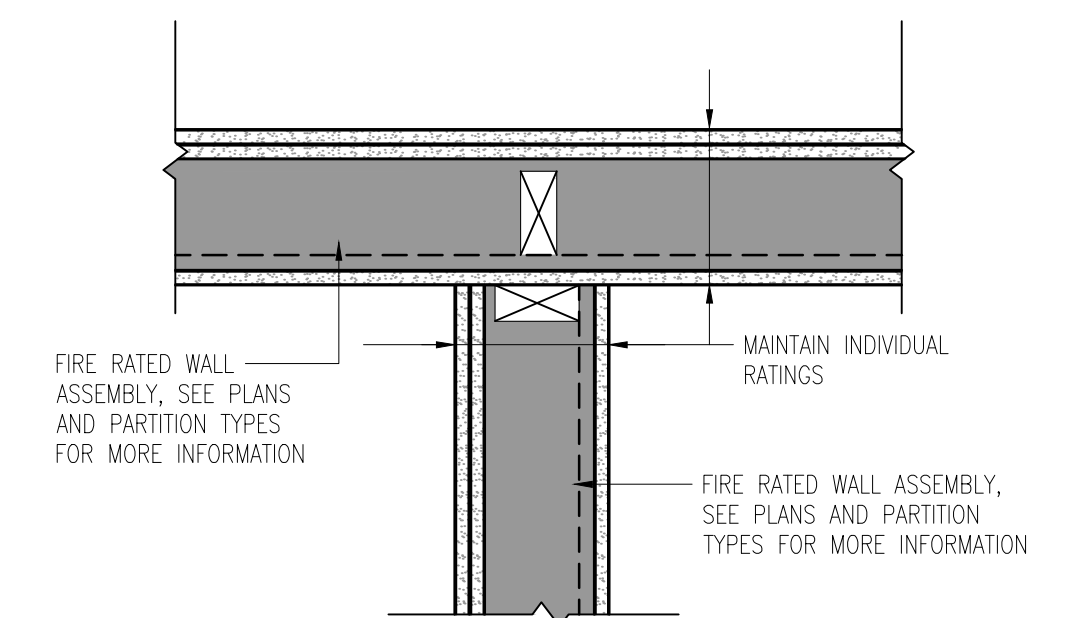
6 TYPICAL WOOD DOOR FRAME DETAILS
SCALE: 3" = 1'-0"



3 FIXTURE @ FIRE-RATED WALL SECTION DETAIL
SCALE: 3" = 1'-0"

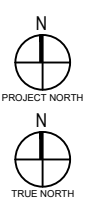


2 FIRE-RATED WALL @ STAIR LANDING
SCALE: 1-1/2" = 1'-0"



1 FIRE-RATED PARTITION PLAN DETAIL
SCALE: 1-1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Joseph Ricupero

DRAWN BY: JBW CHECKED BY: EZ

(INITIAL HERE)

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TYPICAL DETAILS

PROJECT No.: 0676 SHEET No.:
DATE: 07-08-2024
SCALE: AS INDICATED

A703

71 TRENTON ST
EAST BOSTON, MA 02128

JOSEPH RICUPERO
EAST BOSTON, MA, 02128

ARCHITECT:

context
a collaborative design workshop

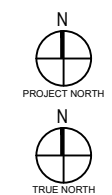
200 Portland Street, Boston, MA, 02114
(312) 780-9456

SHEET NOTES

1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
2. CONTRACTORS TO VERIFY DIMENSIONS IN FIELD AND COORDINATE WORK WITH ARCHITECT



PROJECT KEY PLAN:



SEAL:



Eric Ricupero

DRAWN BY: JBW CHECKED BY: EZ

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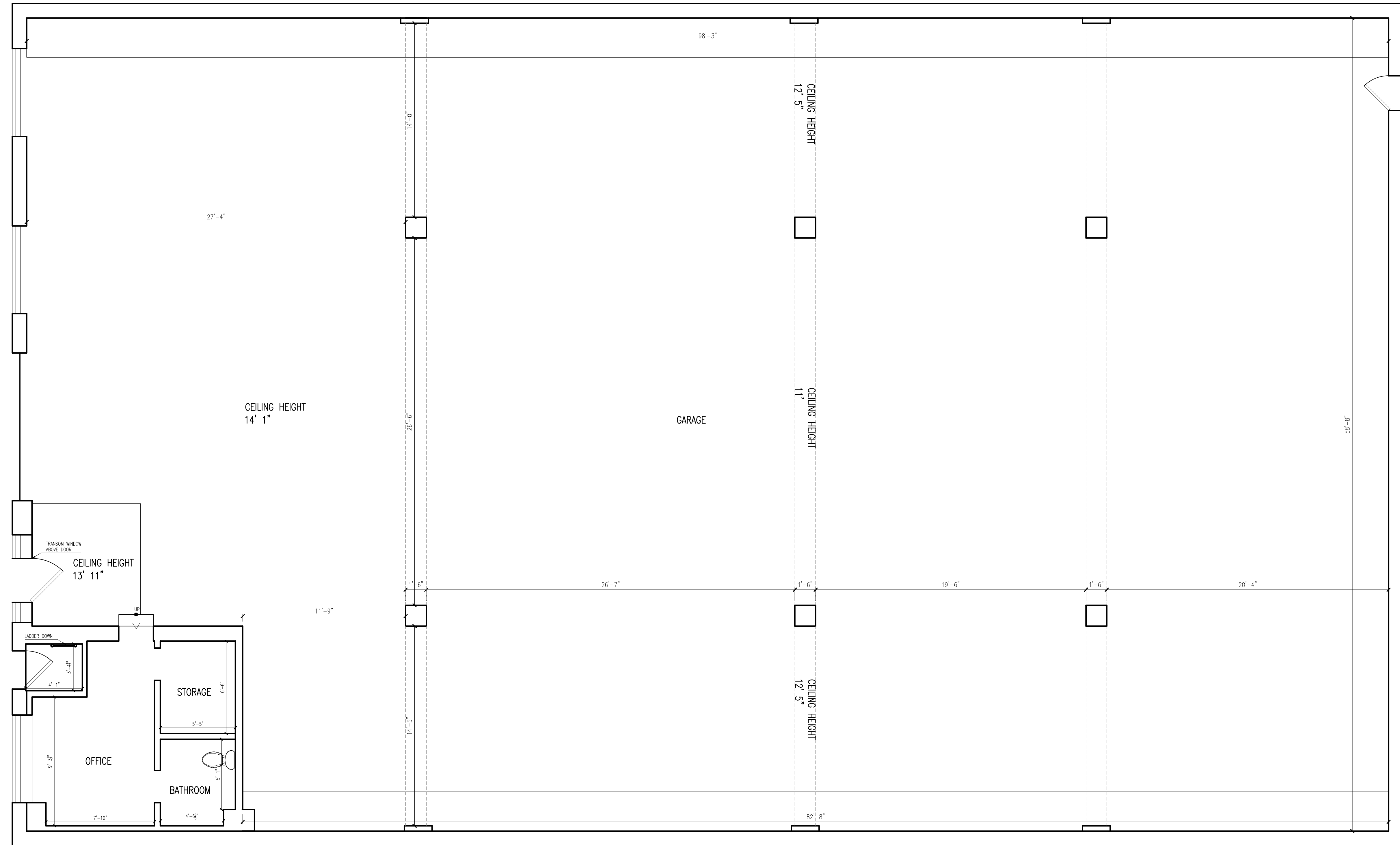
EXISTING PLANS

1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"

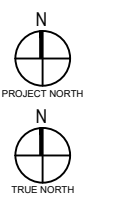
PROJECT No:	0676	SHEET No:	A901
DATE:	07-08-2024		
SCALE:	AS INDICATED		

SHEET NOTES

1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
2. CONTRACTORS TO VERIFY DIMENSIONS IN FIELD AND COORDINATE WORK WITH ARCHITECT



PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

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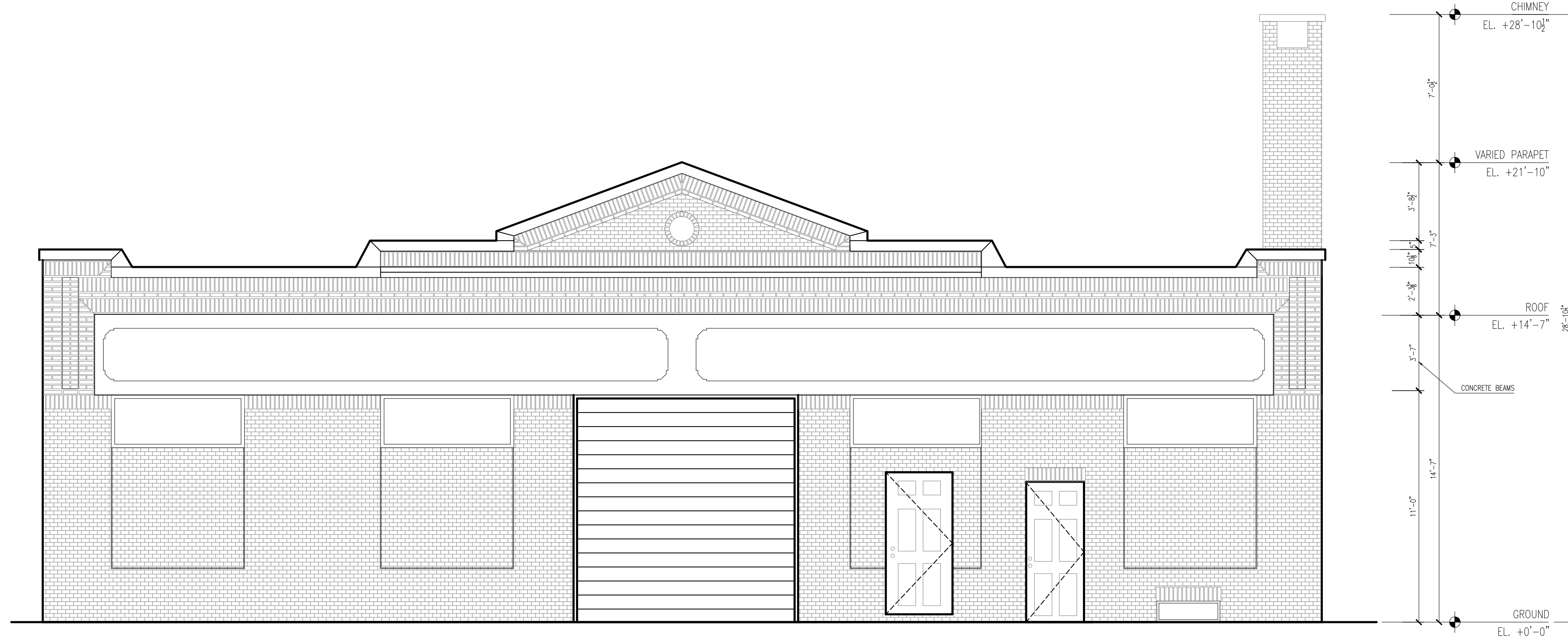
1 EXISTING LEVEL 1 PLAN
SCALE: 1/4" = 1'-0"

EXISTING PLANS

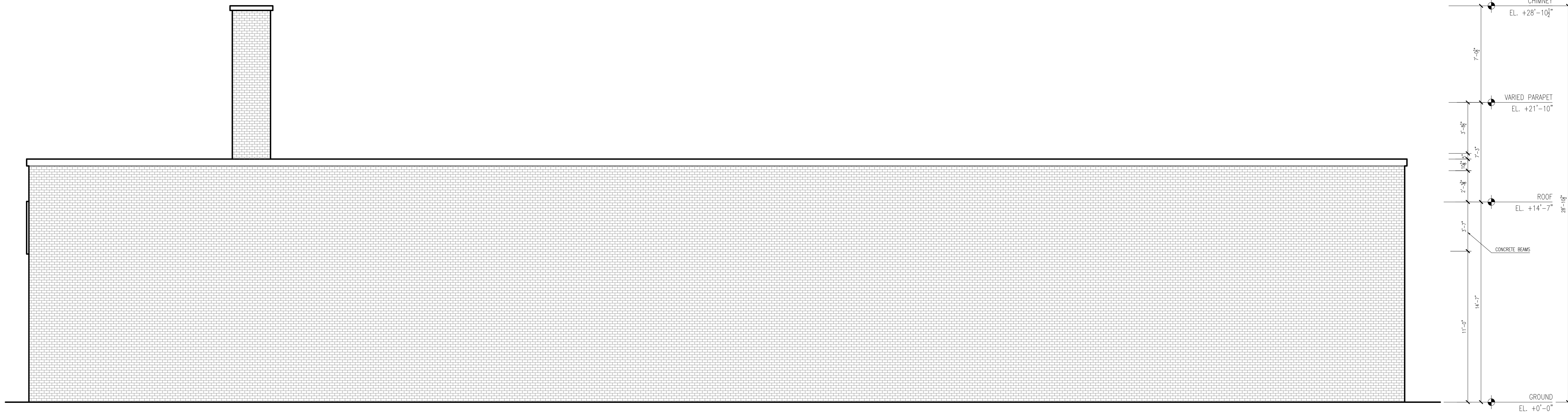
PROJECT No.:	0676	SHEET No.:	A902
DATE:	07-08-2024		
SCALE:	AS INDICATED		

SHEET NOTES

1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
2. CONTRACTORS TO VERIFY DIMENSIONS IN FIELD AND COORDINATE WORK WITH ARCHITECT



2 EXISTING NORTH (TRENTON ST) ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

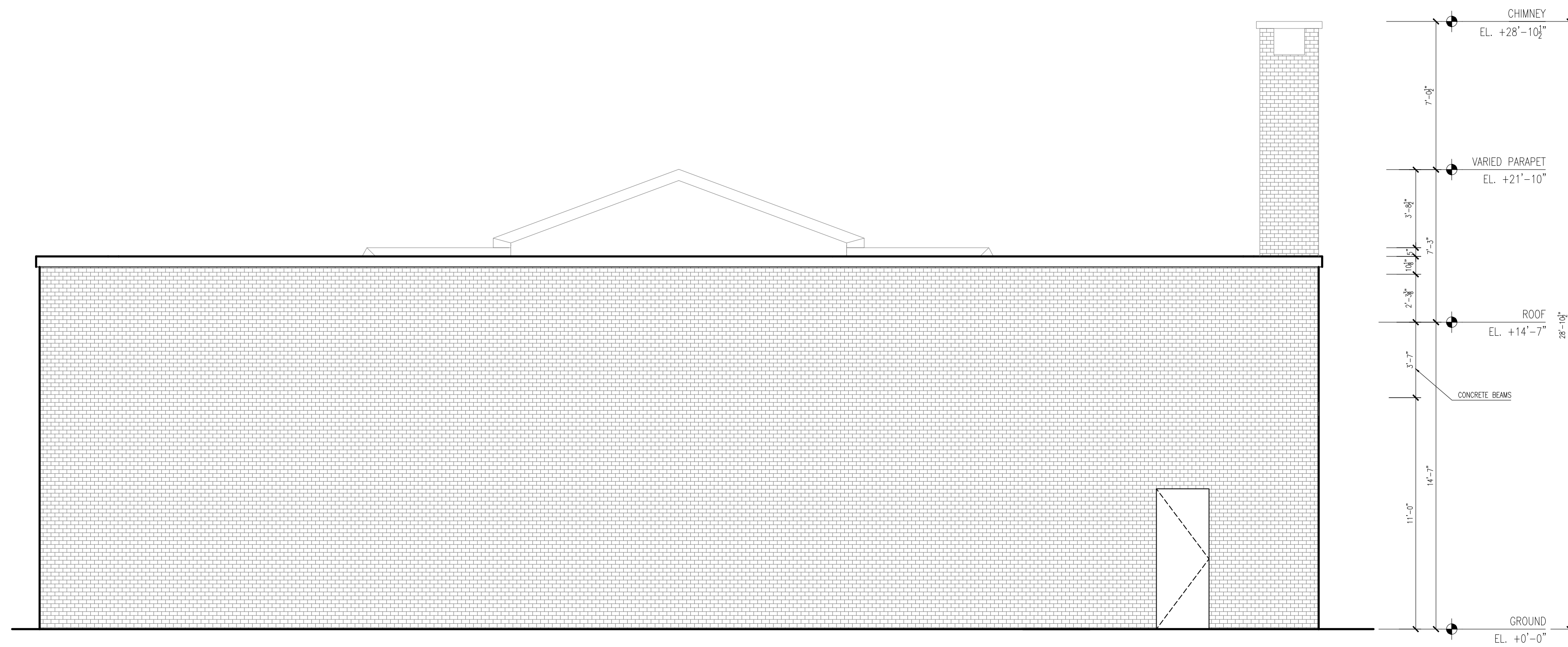
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EXISTING ELEVATIONS

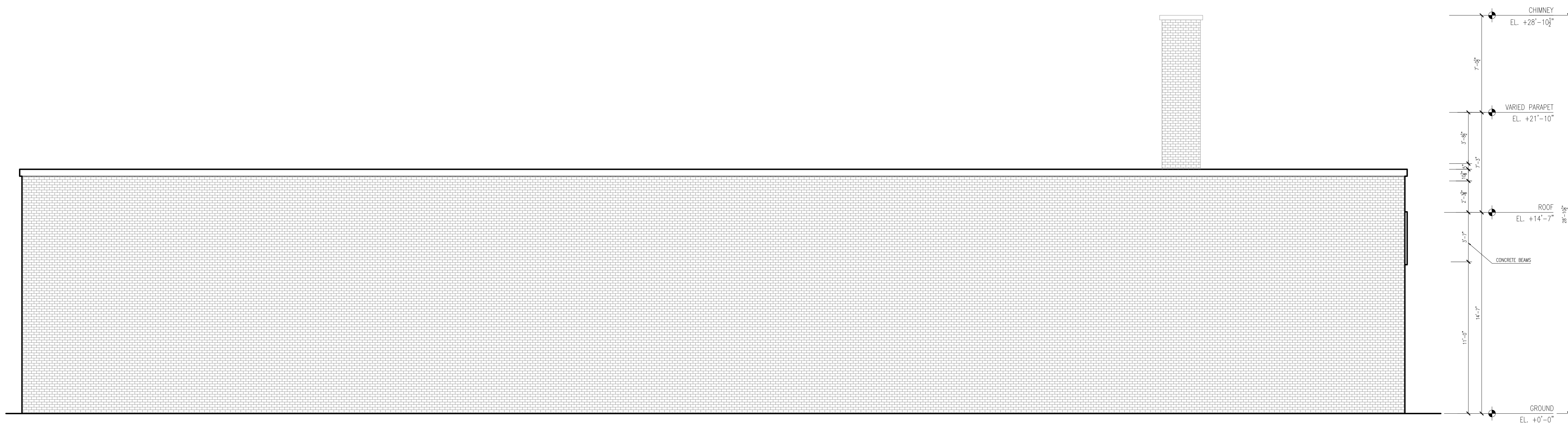
PROJECT No.: 0676 SHEET No.: **A903**
DATE: 07-08-2024
SCALE: AS INDICATED

SHEET NOTES

1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
2. CONTRACTORS TO VERIFY DIMENSIONS IN FIELD AND COORDINATE WORK WITH ARCHITECT

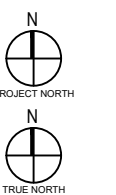


2 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: JBW CHECKED BY: EZ

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EXISTING ELEVATIONS

PROJECT No.: 0676 SHEET No.: **A904**
DATE: 07-08-2024
SCALE: AS INDICATED