

# 34 OAK STREET

BOSTON, MA 02136

MARCH 25, 2024

ISSUED FOR CONSTRUCTION

ARCHITECT  
**EMBARC**  
580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
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OWNER  
Diarmuid McGregor

CONSULTANTS

### ABBREVIATIONS

|           |                                            |
|-----------|--------------------------------------------|
| A.F.F.    | ABOVE FINISHED FLOOR                       |
| ACT       | ACOUSTIC CEILING TILE                      |
| ADA       | AMERICANS WITH DISABILITIES ACT            |
| APPROX    | APPROXIMATE                                |
| ARCH      | ARCHITECTURAL                              |
| AV        | AUDIO VISUAL                               |
| BLDG      | BUILDING                                   |
| BLKG      | BLOCKING                                   |
| B.O.      | BOTTOM OF                                  |
| CAB       | CABINET                                    |
| C.H.      | CEILING HEIGHT                             |
| CL        | CLEAR                                      |
| CL        | CENTERLINE                                 |
| COL       | COLUMN                                     |
| CONT.     | CONTINUOUS                                 |
| CMU       | CONCRETE MASONRY UNIT                      |
| C.J.      | CONTROL JOINT                              |
| DTL       | DETAIL                                     |
| DIA       | DIAMETER                                   |
| DIML      | DIMENSION                                  |
| DN        | DOWN                                       |
| DWG.      | DRAWING                                    |
| (E)       | EXISTING                                   |
| EL        | ELEVATION                                  |
| ELEC.     | ELECTRICAL                                 |
| EQ        | EQUAL                                      |
| FD        | FLOOR DRAIN                                |
| F.O.      | FACE OF                                    |
| F.O.C.    | FACE OF CONCRETE                           |
| F.O.F.    | FACE OF FINISH                             |
| F.O.S.    | FACE OF STUD                               |
| GFIC      | GROUND FAULT INTERCEPTOR CIRCUIT           |
| GSM       | GALVANIZED SHEET METAL                     |
| GSB       | GYPSON WALL BOARD                          |
| H OR HVAC | HEATING, VENTILATING, AND AIR CONDITIONING |
| H.B.      | HOSE BIB                                   |
| HM        | HOLLOW METAL                               |
| MAX       | MAXIMUM                                    |
| M.O.      | MASONRY OPENING                            |
| MECH      | MECHANICAL                                 |
| MEP       | MECHANICAL, ELECTRICAL, PLUMBING           |
| MIN       | MINIMUM                                    |
| MISC      | MISCELLANEOUS                              |
| MTL       | METAL                                      |
| N.I.C.    | NOT IN CONTRACT                            |
| NO.       | NUMBER                                     |
| N.T.S.    | NOT TO SCALE                               |
| O.        | OVER                                       |
| O.C.      | ON CENTER                                  |
| O.D.      | OUTSIDE DIAMETER                           |
| OPNG      | OPENING                                    |
| OPP.      | OPPOSITE                                   |
| P.G.      | PAINT GRADE                                |
| PLYWD.    | PLYWOOD                                    |
| PTD.      | PAINTED                                    |
| R.D.      | ROOF DRAIN                                 |
| REQD.     | REQUIRED                                   |
| R.O.      | ROUGH OPENING                              |
| SCHED.    | SCHEDULE                                   |
| S.G.      | STAIN GRADE                                |
| SIM       | SIMILAR                                    |
| S.L.D.    | SEE LANDSCAPE DRAWINGS                     |
| SQ.       | SQUARE                                     |
| SPEC.     | SPECIFICATION                              |
| S.S.D.    | SEE STRUCTURAL DRAWINGS                    |
| SSTL      | STAINLESS STEEL                            |
| STL       | STEEL                                      |
| STOR.     | STORAGE                                    |
| STRUCT.   | STRUCTURAL                                 |
| SYM.      | SYMMETRICAL                                |
| T.        | TEMPERED                                   |
| T&G       | TONGUE AND GROOVE                          |
| THK.      | THICKNESS                                  |
| T.O.      | TOP OF                                     |
| T.O.S.    | TOP OF SLAB                                |
| T.S.      | TUBULAR STEEL                              |
| TYP.      | TYPICAL                                    |
| U.O.N.    | UNLESS OTHERWISE NOTED                     |
| V.I.F.    | VERIFY IN FIELD                            |
| W/        | WITH                                       |
| W/O       | WITHOUT                                    |
| WD        | WOOD                                       |
| WPM.      | WATERPROOFING MEMBRANE                     |

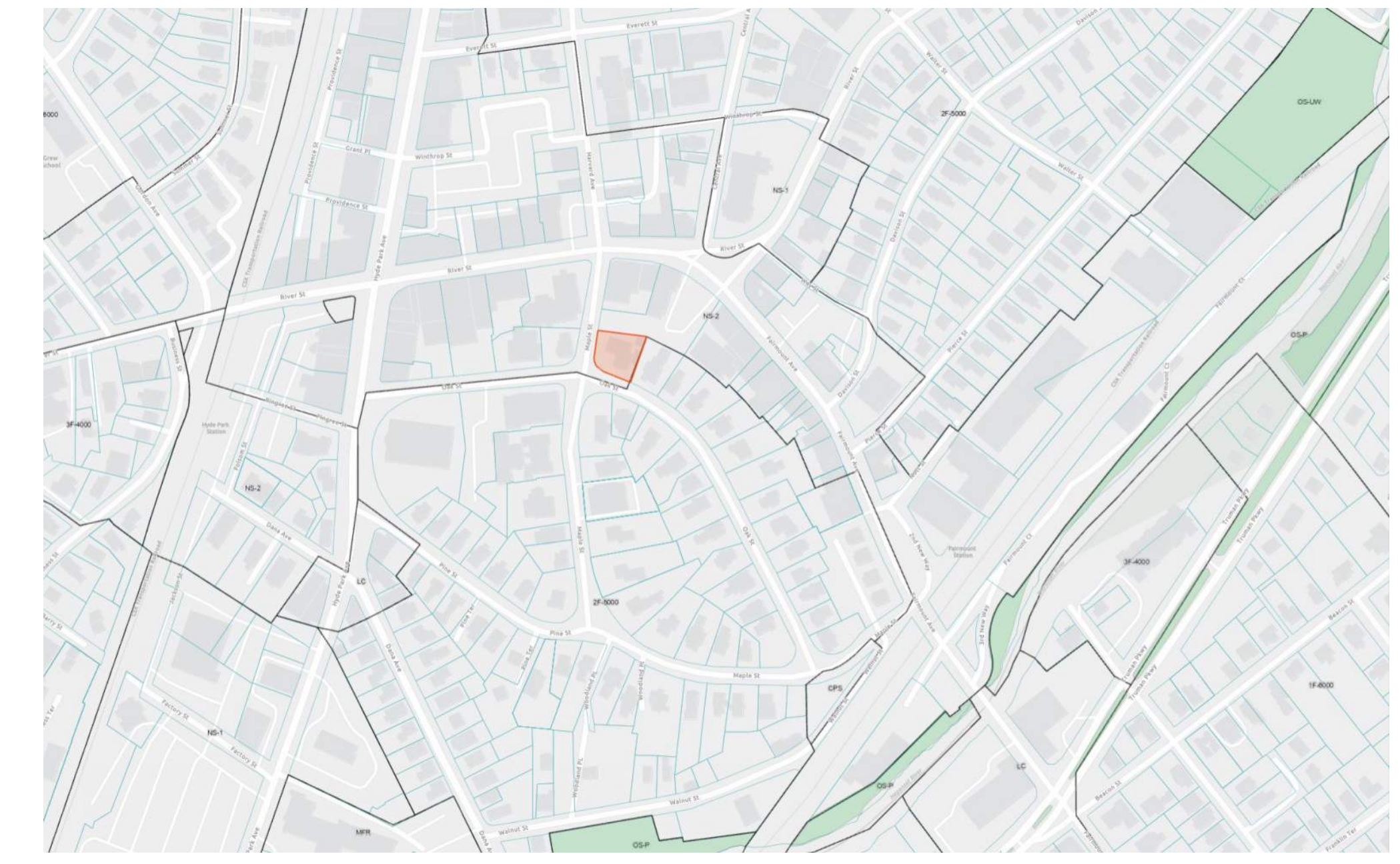
### SYMBOLS

|  |                                                   |
|--|---------------------------------------------------|
|  | REFERENCE NUMBER BUILDING SECTION DRAWING SHEET   |
|  | REFERENCE NUMBER WALL SECTION DRAWING SHEET       |
|  | REFERENCE NUMBER DETAIL DRAWING SHEET             |
|  | REFERENCE NUMBER DRAWING DRAWING SHEET            |
|  | REFERENCE NUMBER INTERIOR ELEVATION DRAWING SHEET |
|  | REFERENCE NUMBER EXTERIOR ELEVATION DRAWING SHEET |
|  | NORTH ARROW                                       |
|  | WINDOW TAG                                        |
|  | DOOR TAG                                          |
|  | INTERIOR WALL TYPE TAG                            |
|  | APPLIANCE TAG                                     |
|  | REVISION TAG                                      |
|  | CENTER LINE                                       |
|  | ROOM TAG                                          |
|  | FINISH ROOM TAG                                   |
|  | EXTERIOR WALL TYPE TAG                            |

### GENERAL REQUIREMENTS



### VICINITY MAP



### PROJECT DATA

DEMOLITION OF EXISTING FUNERAL HOME; ERECTION OF A NEW CONSTRUCTION 14-UNIT RESIDENTIAL BUILDING CONSISTING OF 3 STORIES OF RESIDENTIAL OVER PARKING AT GROUND LEVEL

THE PROPOSED STRUCTURE IS 4 STORIES ABOVE GRADE AND FULLY SPRINKLERED

USE GROUP: RESIDENTIAL/R2

CONSTRUCTION CLASSIFICATION: TYPE 5-B CONSTRUCTION

PROJECT ADDRESS: 34 OAK STREET, BOSTON 02163

PARCEL ID: 1809033000

ZONING DISTRICT: HYDE PARK NEIGHBORHOOD

ZONING SUBDISTRICT: NEIGHBORHOOD SHOPPING (NS-2)

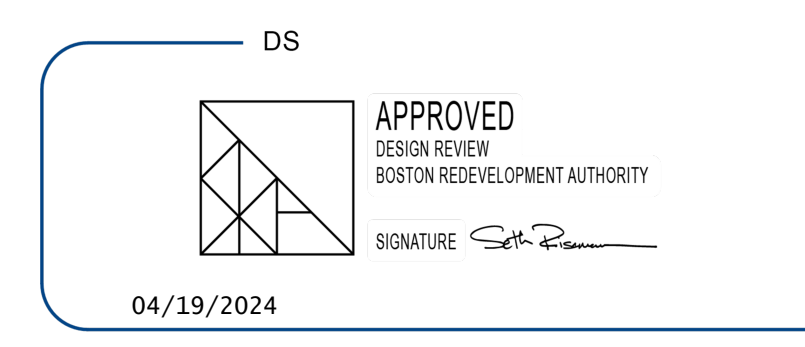
| LEVEL           | GROSS SQUARE FOOTAGE |
|-----------------|----------------------|
| FIRST (PARKING) | 402                  |
| SECOND          | 5,632                |
| THIRD           | 5,664                |
| FOURTH          | 5,498                |
| <b>TOTAL</b>    | <b>17,196</b>        |

### SHEET INDEX

| Discipline   | NUMBER | NAME                                  |
|--------------|--------|---------------------------------------|
|              | A000   | COVER                                 |
| CIVIL        | C-1    | LAYOUT AND MATERIALS PLAN             |
| CIVIL        | C-2    | GRADING AND UTILITY PLAN              |
| CIVIL        | C-3    | PLANTING PLAN                         |
| ARCHITECTURE | A001   | CODE REVIEW                           |
| ARCHITECTURE | A002   | WOOD FRAMED PARTITION TYPES           |
| ARCHITECTURE | A003   | METAL FRAMED PARTITION TYPES          |
| ARCHITECTURE | A004   | EXTERIOR WALL TYPES                   |
| ARCHITECTURE | A010   | AXONS                                 |
| ARCHITECTURE | A101   | PROPOSED PLANS - BASEMENT LEVEL       |
| ARCHITECTURE | A101.B | FOUNDATION PLAN                       |
| ARCHITECTURE | A102   | PROPOSED PLANS - FIRST LEVEL          |
| ARCHITECTURE | A103   | PROPOSED PLANS - SECOND LEVEL         |
| ARCHITECTURE | A104   | PROPOSED PLANS - THIRD LEVEL          |
| ARCHITECTURE | A105   | PROPOSED ROOF PLAN                    |
| ARCHITECTURE | A121   | BUILDING REFLECTED CEILING PLANS      |
| ARCHITECTURE | A201   | BUILDING ELEVATIONS                   |
| ARCHITECTURE | A202   | BUILDING ELEVATIONS                   |
| ARCHITECTURE | A203   | BUILDING ELEVATIONS                   |
| ARCHITECTURE | A204   | BUILDING ELEVATIONS                   |
| ARCHITECTURE | A301   | BUILDING SECTIONS                     |
| ARCHITECTURE | A310   | WALL SECTIONS                         |
| ARCHITECTURE | A311   | WALL SECTIONS                         |
| ARCHITECTURE | A320   | STAIR PLANS AND SECTIONS              |
| ARCHITECTURE | A321   | STAIR DETAILS                         |
| ARCHITECTURE | A340   | ELEVATOR PLANS AND SECTIONS           |
| ARCHITECTURE | A400   | SECTION DETAILS                       |
| ARCHITECTURE | A401   | SECTION DETAILS                       |
| ARCHITECTURE | A402   | SECTION DETAILS                       |
| ARCHITECTURE | A405   | ROOF DETAILS                          |
| ARCHITECTURE | A420   | PLAN DETAILS                          |
| ARCHITECTURE | A501   | ENLARGED UNIT PLANS AND RCPS          |
| ARCHITECTURE | A502   | ENLARGED UNIT PLANS AND RCPS          |
| ARCHITECTURE | A503   | ENLARGED UNIT PLANS AND RCPS          |
| ARCHITECTURE | A504   | ENLARGED UNIT PLANS AND RCPS          |
| ARCHITECTURE | A530   | AMENITIES PLANS & ELEVATIONS          |
| ARCHITECTURE | A600   | DOOR SCHEDULE AND DOOR DETAILS        |
| ARCHITECTURE | A610   | WINDOW SCHEDULE AND DETAILS           |
| ARCHITECTURE | A700   | ENLARGED KITCHEN PLANS AND ELEVATIONS |
| ARCHITECTURE | A701   | ENLARGED KITCHEN PLANS AND ELEVATIONS |
| ARCHITECTURE | A702   | KITCHEN ISLAND DETAILS                |
| ARCHITECTURE | A710   | ENLARGED BATH PLANS AND ELEVATIONS    |
| ARCHITECTURE | A711   | ENLARGED BATH PLANS AND ELEVATIONS    |
| ARCHITECTURE | A720   | FINISHES AND MATERIALS                |
| ARCHITECTURE | A800   | MILLWORK DETAILS                      |
| STRUCTURAL   | S101   | STRUCTURAL NOTES                      |
| STRUCTURAL   | S102   | STAIR REQUIREMENTS                    |
| STRUCTURAL   | S201   | TYPICAL DETAILS                       |
| STRUCTURAL   | S202   | TYPICAL DETAILS                       |
| STRUCTURAL   | S203   | TYPICAL DETAILS                       |
| STRUCTURAL   | S204   | TYPICAL DETAILS                       |

| Discipline      | NUMBER | NAME                                |
|-----------------|--------|-------------------------------------|
| STRUCTURAL      | S205   | TYPICAL DETAILS                     |
| STRUCTURAL      | S206   | TYPICAL DETAILS                     |
| STRUCTURAL      | S207   | TYPICAL DETAILS                     |
| STRUCTURAL      | S301   | FOUNDATION AND BASEMENT LEVEL PLAN  |
| STRUCTURAL      | S401   | FIRST LEVEL FRAMING PLAN            |
| STRUCTURAL      | S402   | SECOND LEVEL FRAMING PLAN           |
| STRUCTURAL      | S403   | THIRD LEVEL FRAMING PLAN            |
| STRUCTURAL      | S501   | ROOF FRAMING PLAN                   |
| STRUCTURAL      | S601   | FOUNDATION SECTION AND DETAILS      |
| STRUCTURAL      | S602   | COMPOSITE SLAB SECTIONS AND DETAILS |
| STRUCTURAL      | S701   | FLOOR FRAMING SECTIONS AND DETAILS  |
| STRUCTURAL      | S801   | ROOF FRAMING SECTIONS AND DETAILS   |
| STRUCTURAL      | S901   | STAR FRAMING SECTIONS AND DETAILS   |
| MECHANICAL      | H101   | HVAC LEVEL 1 PLANS                  |
| MECHANICAL      | H102   | HVAC LEVEL 2 PLANS                  |
| MECHANICAL      | H103   | HVAC LEVEL 3 PLANS                  |
| MECHANICAL      | H104   | HVAC TYPICAL FLOOR PLAN             |
| MECHANICAL      | H105   | HVAC ROOF PLANS                     |
| MECHANICAL      | H200   | HVAC NOTES                          |
| MECHANICAL      | H201   | HVAC SCHEDULES                      |
| MECHANICAL      | H202   | HVAC DETAILS                        |
| MECHANICAL      | H203   | HVAC DETAILS                        |
| ELECTRICAL      | E 101  | POWER LEVEL 1 PLANS                 |
| ELECTRICAL      | E 102  | POWER LEVEL 2 PLANS                 |
| ELECTRICAL      | E 103  | POWER LEVEL 3 PLANS                 |
| ELECTRICAL      | E 104  | POWER LEVEL 4 PLANS                 |
| ELECTRICAL      | E 105  | POWER ROOF PLANS                    |
| ELECTRICAL      | E 201  | LIGHTING LEVEL 1 PLANS              |
| ELECTRICAL      | E 202  | LIGHTING LEVEL 2 PLANS              |
| ELECTRICAL      | E 203  | LIGHTING LEVEL 3 PLANS              |
| ELECTRICAL      | E 204  | LIGHTING LEVEL 4 PLANS              |
| ELECTRICAL      | E 205  | LIGHTING ROOF PLANS                 |
| ELECTRICAL      | E 300  | ELECTRICAL NOTES                    |
| ELECTRICAL      | E 301  | ELECTRICAL RISER                    |
| ELECTRICAL      | EU100  | ELECTRICAL UNIT PLANS               |
| ELECTRICAL      | EU101  | ELECTRICAL UNIT PLANS               |
| ELECTRICAL      | EU102  | ELECTRICAL UNIT PLANS               |
| ELECTRICAL      | EU103  | ELECTRICAL UNIT PLANS               |
| PLUMBING        | P101   | PLUMBING LEVEL 1 PLANS              |
| PLUMBING        | P102   | PLUMBING LEVEL 2 PLANS              |
| PLUMBING        | P103   | PLUMBING LEVEL 3 PLANS              |
| PLUMBING        | P104   | PLUMBING LEVEL 4 PLANS              |
| PLUMBING        | P105   | PLUMBING ROOF PLANS                 |
| PLUMBING        | P200   | PLUMBING NOTES                      |
| PLUMBING        | P201   | PLUMBING SCHEDULES                  |
| PLUMBING        | P202   | PLUMBING SCHEDULES                  |
| PLUMBING        | P203   | PLUMBING DETAILS                    |
| PLUMBING        | P204   | PLUMBING DETAILS                    |
| FIRE PROTECTION | FA101  | FIRE ALARM LEVEL 1 PLANS            |
| FIRE PROTECTION | FA102  | FIRE ALARM LEVEL 2 PLANS            |
| FIRE PROTECTION | FA103  | FIRE ALARM LEVEL 3 PLANS            |

| Discipline      | NUMBER | NAME                     |
|-----------------|--------|--------------------------|
| FIRE PROTECTION | FA104  | FIRE ALARM LEVEL 4 PLANS |
| FIRE PROTECTION | FA200  | FIRE ALARM NOTES         |
| FIRE PROTECTION | FAU100 | FIRE ALARM UNIT PLANS    |
| FIRE PROTECTION | FAU101 | FIRE ALARM UNIT PLANS    |
| FIRE PROTECTION | FP101  | FIRE PROTECTION LEVEL 1  |
| FIRE PROTECTION | FP102  | FIRE PROTECTION LEVEL 2  |
| FIRE PROTECTION | FP103  | FIRE PROTECTION LEVEL 3  |
| FIRE PROTECTION | FP104  | FIRE PROTECTION LEVEL 4  |
| FIRE PROTECTION | FP105  | FIRE PROTECTION ROOF     |
| FIRE PROTECTION | FP200  | FIRE PROTECTION NOTES    |
| FIRE PROTECTION | FP201  | FIRE PROTECTION DETAILS  |
| FIRE PROTECTION | FP202  | FIRE PROTECTION DETAILS  |



All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

### ZONING REVIEW

| HYDE PARK ZONING DISTRICT/ NS-2 SUB-DISTRICT |                   |                    |                                                                   |
|----------------------------------------------|-------------------|--------------------|-------------------------------------------------------------------|
| LOT SIZE                                     | ALLOWABLE         | EXISTING           | PROPOSED                                                          |
| LOT SIZE                                     | NONE              | 9,747 S.F.         | NO CHANGE                                                         |
| LOT WIDTH                                    | NONE              | NO CHANGE          |                                                                   |
| F.A.R.                                       | 19,494 S.F. (2.0) | 17,196 S.F. (1.76) |                                                                   |
| BUILDING HEIGHT                              | 40'-0"            | 39'-11"            |                                                                   |
| OPEN SPACE                                   | N/A               |                    |                                                                   |
| FRONT YARD                                   | 0'-0"             |                    | - OAK ST: AVG = 22'-6"; CLOSEST POINT = 21'-7"; - MAPLE ST: 2'-8" |
| SIDE YARD                                    | 0'-0"             |                    | 10'-3"                                                            |
| REAR YARD                                    | 10'-0"            |                    | 10'-1"                                                            |
| PARKING                                      | 1/UNIT (14)       |                    | 14 SPACES                                                         |

**\*69-30. 1 Conformity with Existing Building Alignment.** If at any time in the same Block as a Lot required by this Article to have a minimum Front Yard there exist two or more Buildings fronting on the same side of the same Street as such Lot, instead of the minimum Front Yard depths specified in this Article, the minimum Front Yard depth shall be in conformity with the Existing Building Alignment of the Block.

**\*69-30. 3 Front Wall of Building Not Parallel to Front Lot Line.** If the front wall of a Building is not parallel to the Front Lot Line, but the average distance between such wall and such Lot Line is no less than the minimum Front Yard depth otherwise required by this Article, and the distance between such wall and such Lot Line is at no point less than three fourths (3/4) of the minimum Front Yard depth so otherwise required, the Front Yard requirements of this Article shall be deemed to be met.

**Oak Street Modal Alignment Calc (See Sheet titled Modal Plan): 22.5'**

**3/4 Front Setback: 75' \* 22.5 = 16.9'**

**\*\*TABLE E - Footnote 4 in a Neighborhood Business Subdistrict,** no side yard is required except in the case of a lot with a side lot line abutting a Residential Subdistrict, which shall have side yards as if it were in such abutting district. Every side yard so required that does not abut a street line shall, along every lot line on which such yard abuts, be at a level no higher than that of the lowest window sill of the lowest room designed for human occupancy or so occupied, and relying upon natural light or natural ventilation from windows opening on such yard.

34 OAK STREET  
BOSTON, MA 02136  
ISSUED FOR CONSTRUCTION

REVISIONS

| MARK | ISSUE | DATE |
|------|-------|------|
|------|-------|------|



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION

DATE: MARCH 25, 2024

PROJECT #: 21004

SCALE: As indicated

DRAWING TITLE  
**COVER**

DRAWING NUMBER  
**A000**

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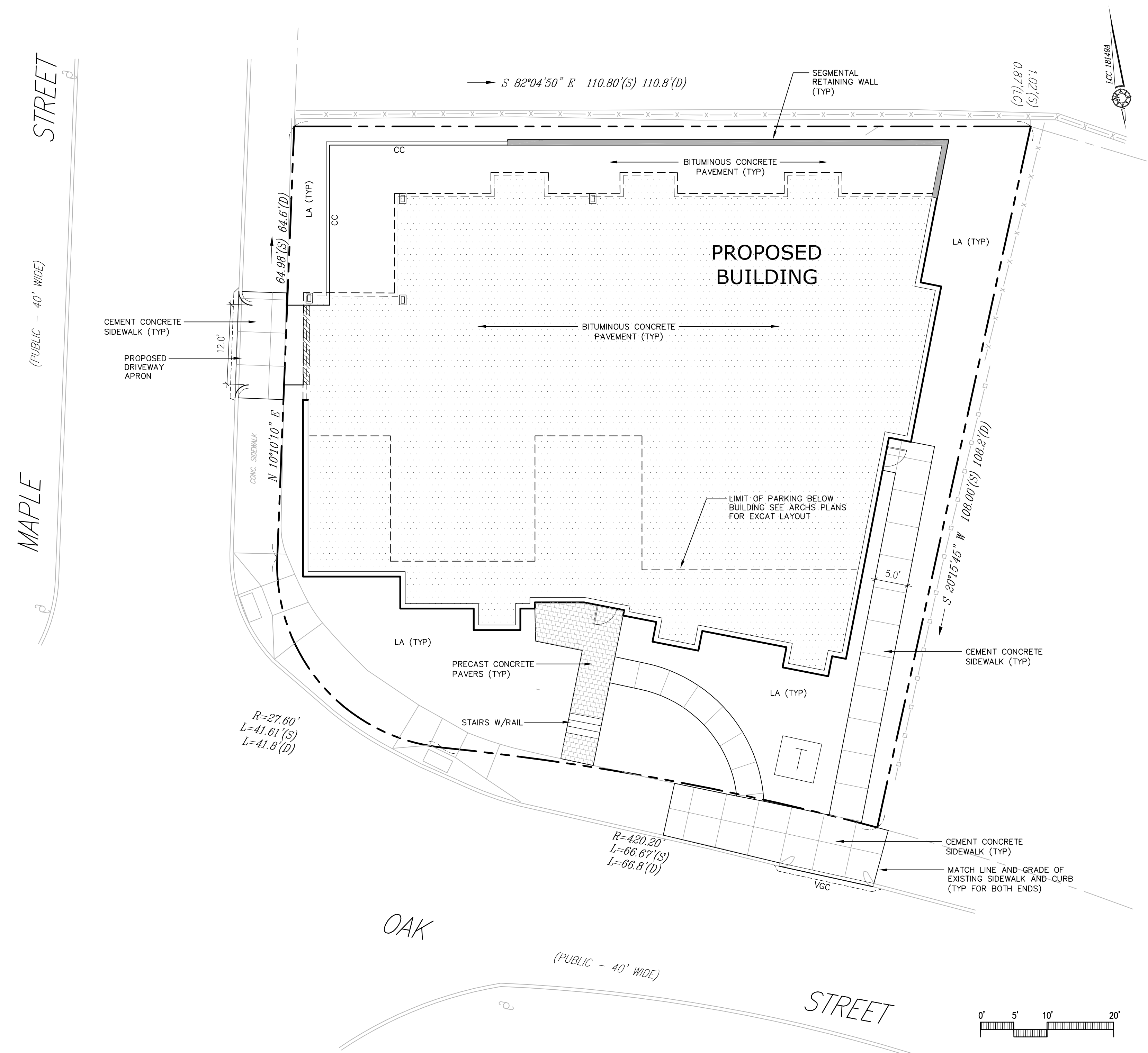


# PROPOSED HOUSING DEVELOPMENT

34 OAK STREET  
HYDE PARK, MA

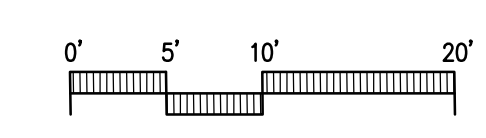
## LAYOUT AND MATERIALS NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FRAMINGHAM SURVEY CONSULTANTS INC OF FRAMINGHAM, MA AND IS DATED FEBRUARY 14, 2024.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF BOSTON.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN.  
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.  
ALL DIMENSIONS ARE TO FACE OF CURB AT CUTTER LINE.  
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.  
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.



**LEGEND**

|  |                          |
|--|--------------------------|
|  | PROPERTY LINE            |
|  | CEMENT CONCRETE PAVEMENT |
|  | VERTICAL GRANITE CURB    |
|  | TRANSITION CURB          |
|  | FLUSH CURB               |
|  | LANDSCAPE AREA           |
|  | SAW CUT LINE             |
|  | STEEL BOLLARD            |
|  | FENCE                    |
|  | PARKING COUNT            |



DS  
  
 APPROVED  
 DESIGN REVIEW  
 BOSTON REDEVELOPMENT AUTHORITY  
 SIGNATURE *[Signature]*  
 04/19/2024

All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.



**DZI** Land Planning, Civil Engineering, Landscape Architecture  
 Po Box 307  
 Foxborough, MA  
 www.develliszrein.com  
 tel. 508.473.4114

**DeVellis Zrein Inc.**

## LAYOUT AND MATERIALS PLAN

|          |          |
|----------|----------|
| SCALE:   | 1" = 10' |
| JOB:     | 2G15-553 |
| FILE:    |          |
| DRAWN:   | IAZ      |
| CHECKED: |          |
| DATE:    | 02.02.24 |

# C-1

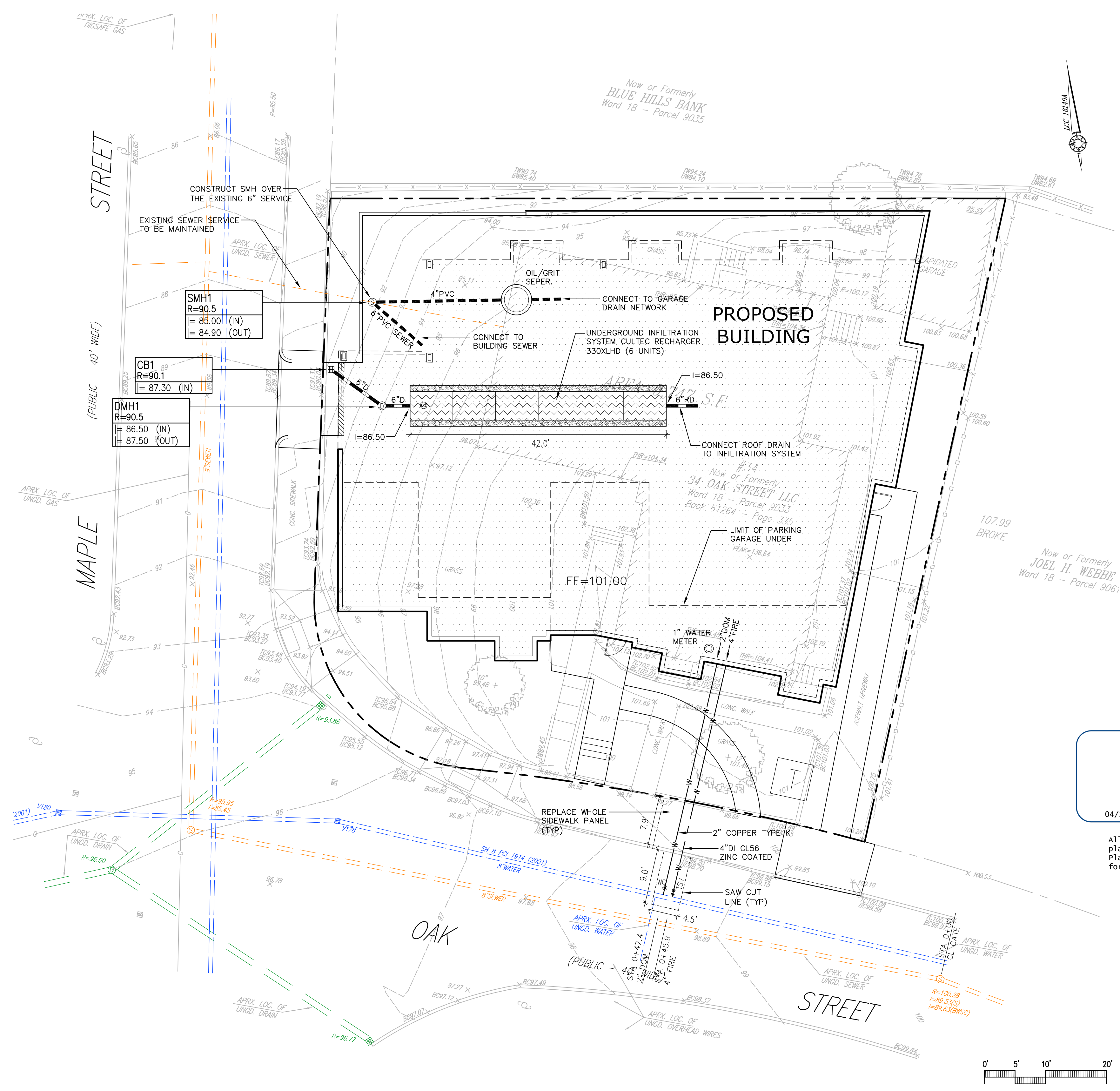


# PROPOSED HOUSING DEVELOPMENT

34 OAK STREET  
HYDE PARK, MA

## GRADING AND UTILITY NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FRAMINGHAM SURVEY CONSULTANTS INC OF FRAMINGHAM, MA AND IS DATED FEBRUARY 14, 2024.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CITY OF BOSTON DEPARTMENT OF PUBLIC WORKS STANDARDS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF BOSTON.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 56.) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
- SITE LIGHTING IS SHOWN ON THIS PLAN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS FOR EXACT TYPE AND LOCATION.
- REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL.) FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR CATCH.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.



| LEGEND    |                       |
|-----------|-----------------------|
| ---       | PROPERTY LINE         |
| ---       | SEWER LINE            |
| ---       | DRAIN LINE            |
| ---       | WATER LINE            |
| ---       | GAS LINE              |
| 100       | PROPOSED CONTOUR      |
| SPOTGRADE |                       |
| CB        | CATCHBASIN            |
| DMH       | DRAIN MANHOLE         |
| WG        | WATER GATE            |
| TSV       | TAPPING SLEEVE & GATE |
| RD        | ROOF DRAIN            |

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APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE [Signature]  
04/19/2024

All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

**DZI**  
Land Planning, Civil Engineering,  
Landscape Architecture  
Po Box 307  
Foxborough, MA  
www.develliszrein.com  
tel. 508.473.4114

**DeVellis Zrein Inc.**

## GRADING AND UTILITY PLAN

|          |          |
|----------|----------|
| SCALE:   | 1" = 10' |
| JOB:     | 2G1S-553 |
| FILE:    |          |
| DRAWN:   | IAZ      |
| CHECKED: |          |
| DATE:    | 02.02.24 |

# C-2

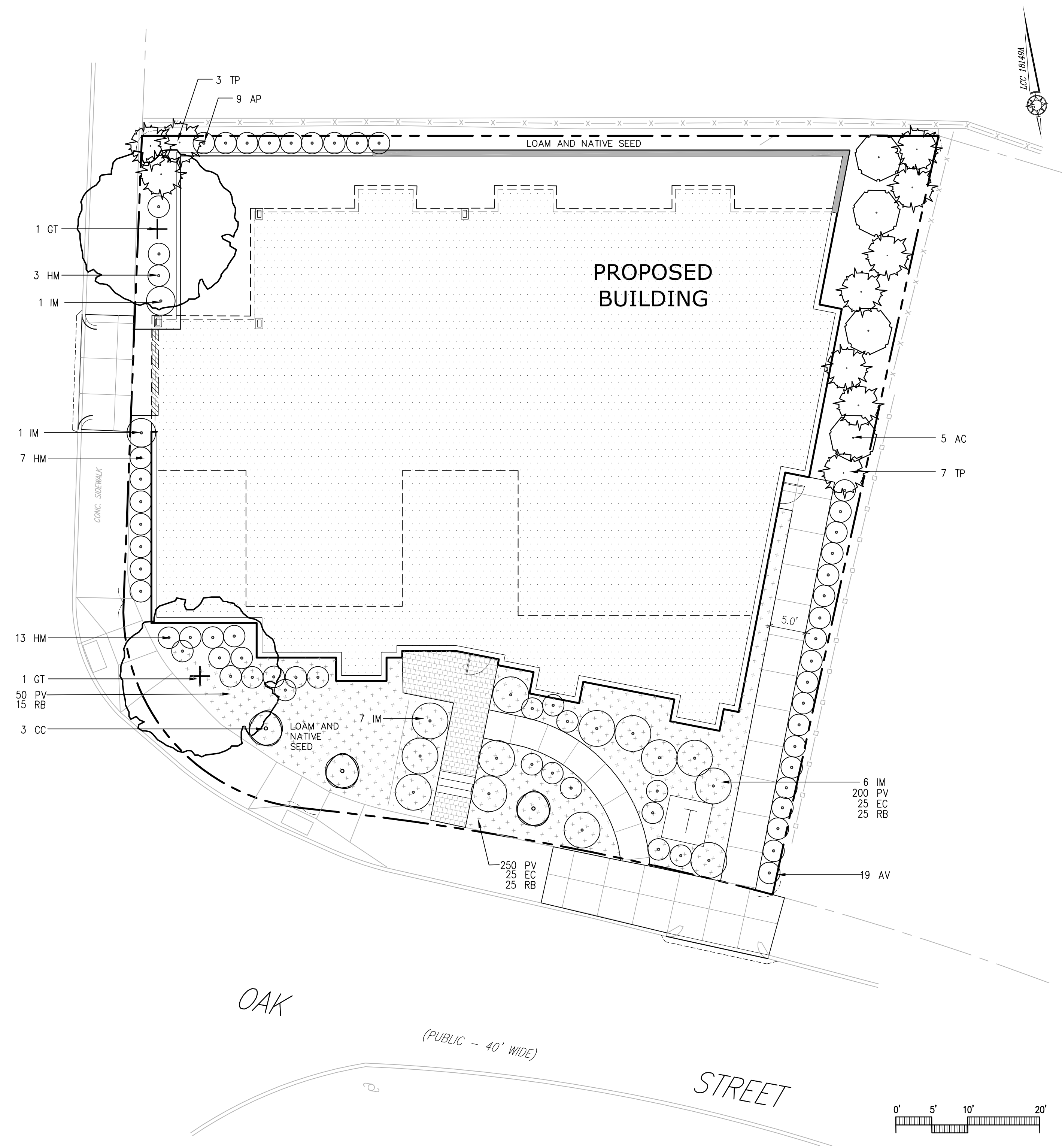




**PLANTING NOTES**

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FRAMINGHAM SURVEY CONSULTANTS INC OF FRAMINGHAM, MA AND IS DATED FEBRUARY 14, 2024.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.

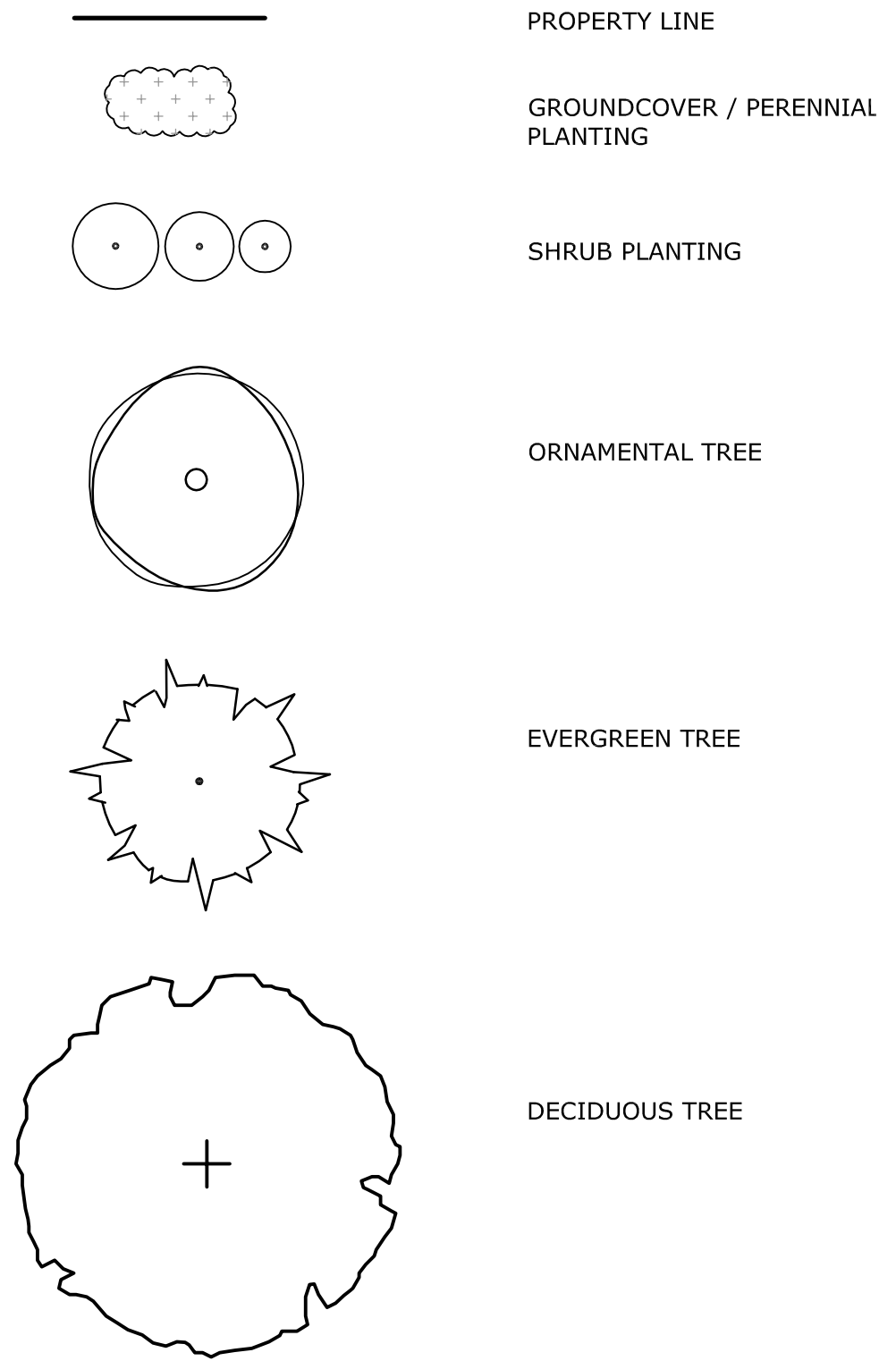
STREET  
MAPLE  
(PUBLIC - 40' WIDE)



**PROPOSED HOUSING DEVELOPMENT**

34 OAK STREET  
HYDE PARK, MA

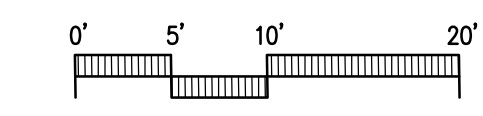
**PLANTING LEGEND**



**PLANT SCHEDULE**

| SYMBOL                                                | BOTANICAL NAME                  | COMMON NAME              | QTY | SIZE            | COMMENT |
|-------------------------------------------------------|---------------------------------|--------------------------|-----|-----------------|---------|
| <b>DECIDUOUS TREES</b>                                |                                 |                          |     |                 |         |
| GT                                                    | GLEDITSIA TRIACANTHOS 'INERMIS' | THORNLESS HONEYLOCUST    | 2   | 2 - 2 1/2" CAL. |         |
| <b>EVERGREEN TREES</b>                                |                                 |                          |     |                 |         |
| TP                                                    | THUJA occidentalis              | EASTERN WHITE CEDAR      | 10  | 5-6' HT.        |         |
| <b>ORNAMENTAL TREES</b>                               |                                 |                          |     |                 |         |
| AC                                                    | AMELANCHIER CANADENSIS          | SHADBLOW                 | 5   | 6-7' HT.        |         |
| CC                                                    | CERCIS CANADENSIS               | EASTERN RED BUD          | 2   | 6-7' HT.        |         |
| <b>SHRUBS</b>                                         |                                 |                          |     |                 |         |
| HM                                                    | HYDRANGEA MACR. MINI PENNY      | MINI PENNY HYDRANGEA     | 23  | 24-36" HT.      |         |
| IM                                                    | ILEX MESERVAE 'BLUE PRINCESS'   | BLUE PRINCESS HOLLY      | 15  | 24-36" HT.      |         |
| AV                                                    | AZALEA VISCOSUM                 | WHITE NATIVE AZALEA      | 24  | 24-36" HT.      |         |
| AP                                                    | THUJA OCCIDENTALIS              | EMERALD GREEN ARBORVITAE | 9   | 24-36" HT.      |         |
| <b>PERENNIALS, GROUNDCOVER AND ORNAMENTAL GRASSES</b> |                                 |                          |     |                 |         |
| EC                                                    | ECHINACEA PURPUREA              | PINK CONE FLOWER         | 50  | 1 GAL.          |         |
| PV                                                    | PANICUM VIRGATUM                | SWITCH GRASS             | 300 | 4" POTS         |         |
| RB                                                    | RUDBECKIA 'GOLDSTRUM'           | BLACK EYED SUSAN         | 65  | 1 GAL.          |         |

NATIVE SEED BLEND  
30% HARD FESCUE  
25% PER. RYE  
25% LITTLE BLUESTEM  
20% SWITCHGRASS



DS  
APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE: *Seth Rosen*  
04/19/2024

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www.develliszrein.com  
tel. 508.473.4114  
**DeVellis Zrein Inc.**





**PLANTING PLAN**

|          |          |
|----------|----------|
| SCALE:   | 1" = 10' |
| JOB:     | 2G15-553 |
| FILE:    |          |
| DRAWN:   | IAZ      |
| CHECKED: |          |
| DATE:    | 02.02.24 |

**C-3**



FLOOR PLAN LEGEND

-  LVT - LAMINATE
-  WD - WOOD
-  CPT - CARPET
-  FT - TILE



**1** BASEMENT FLOOR  
1/4" = 1'-0"

**34 OAK STREET**  
BOSTON, MA 02136

**ISSUED FOR CONSTRUCTION**

REVISIONS

| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION

DATE: MARCH 25, 2024

PROJECT #: 21004

SCALE: 1/4" = 1'-0"

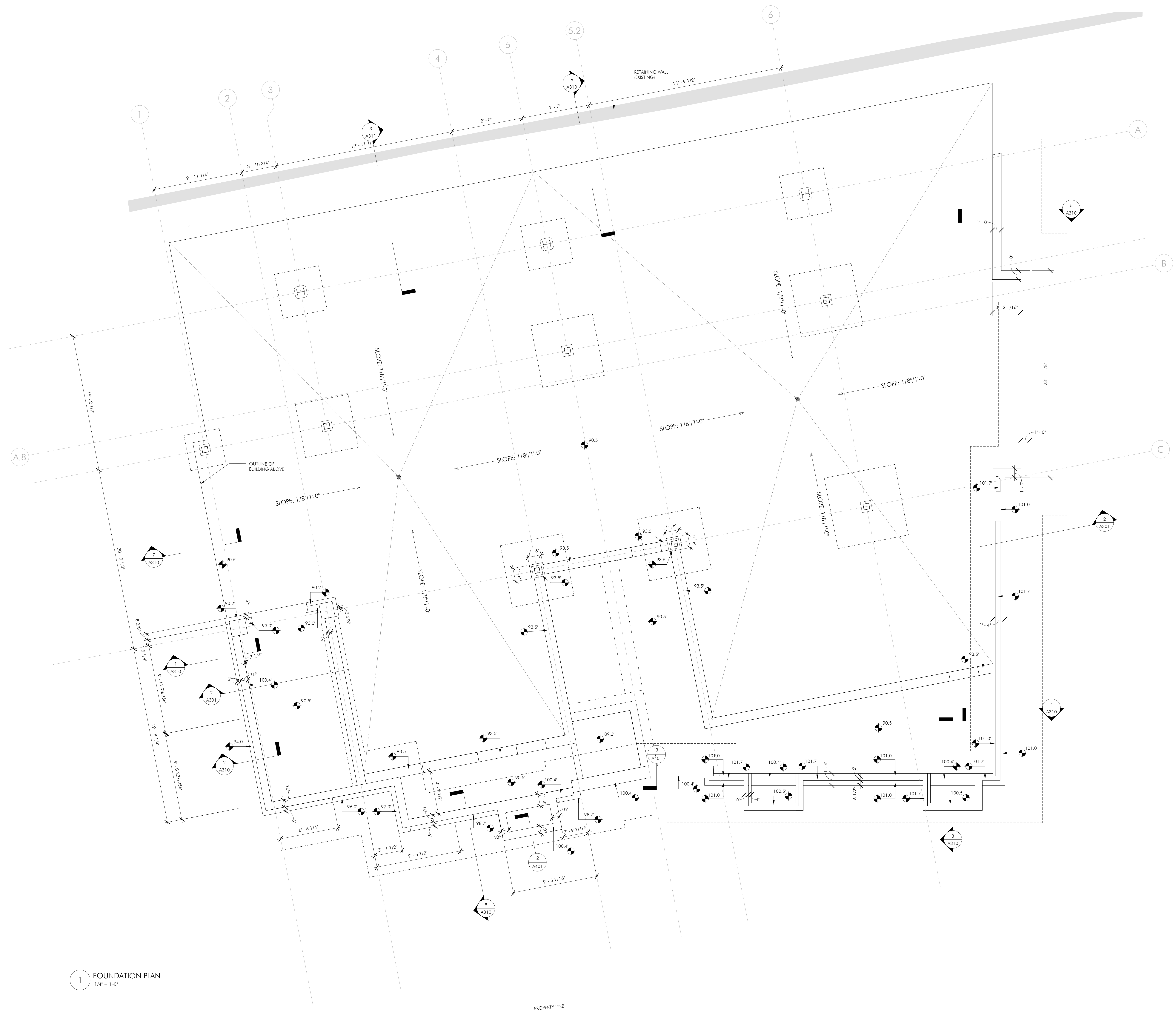
DRAWING TITLE

**PROPOSED PLANS  
- BASEMENT LEVEL**

DRAWING NUMBER

**A101**





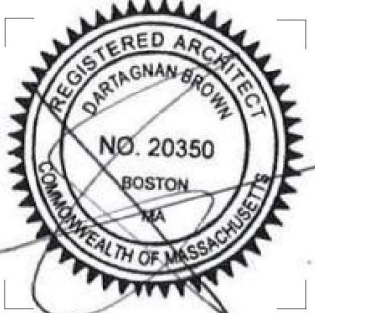
**1** FOUNDATION PLAN  
 1/4" = 1'-0"

34 OAK STREET  
 BOSTON, MA 02136

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REVISIONS

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DRAWING INFORMATION





|            |                         |
|------------|-------------------------|
| ISSUE:     | ISSUED FOR CONSTRUCTION |
| DATE:      | MARCH 25, 2024          |
| PROJECT #: | 21004                   |
| SCALE:     | 1/4" = 1'-0"            |

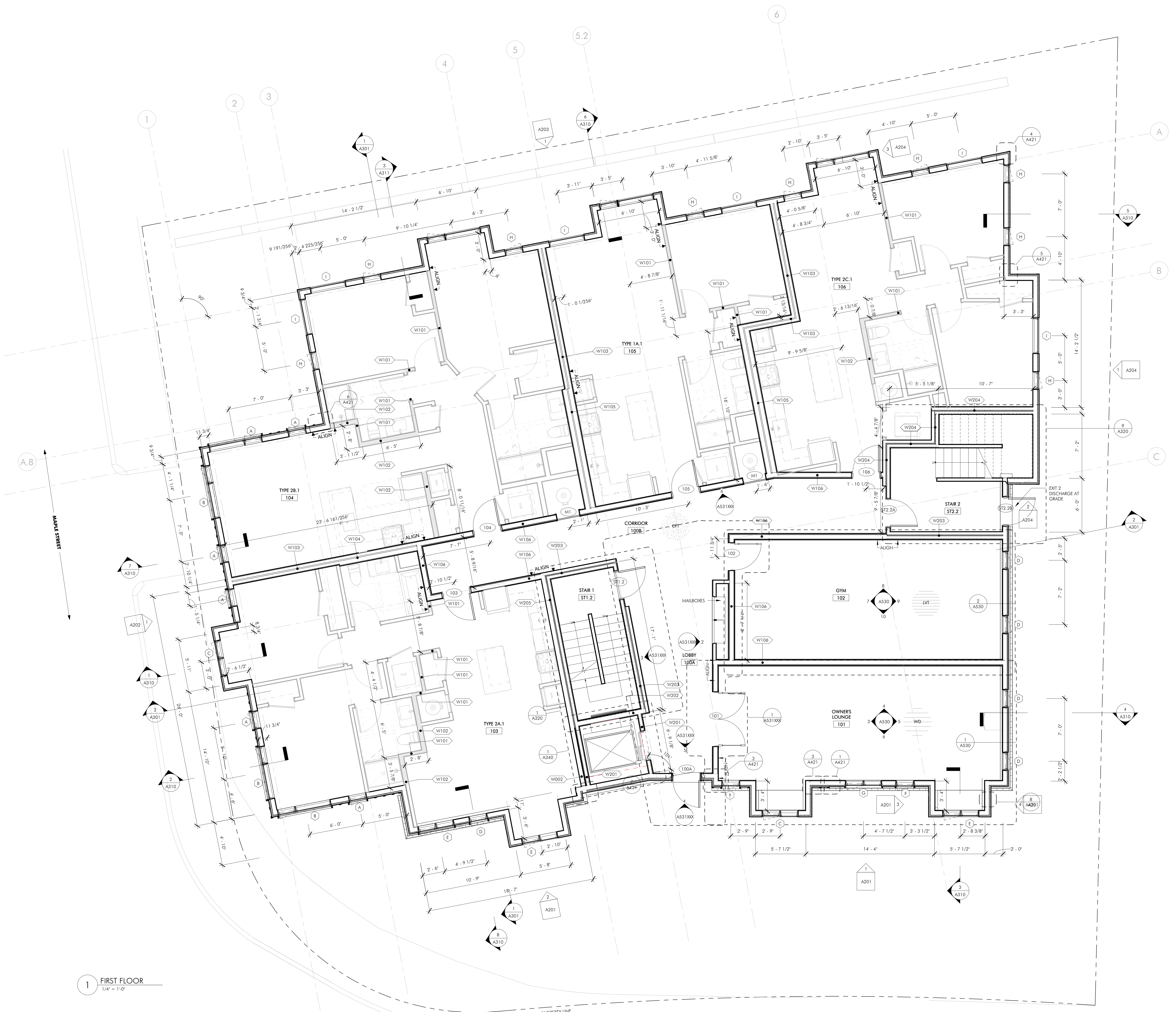
DRAWING TITLE  
**FOUNDATION PLAN**

DRAWING NUMBER  
**A101.B**



FLOOR PLAN LEGEND

-  LVT - LAMINATE
-  WD - WOOD
-  CPT - CARPET
-  FT - TILE



**1** FIRST FLOOR  
1/4" = 1'-0"

**34 OAK STREET**  
BOSTON, MA 02136  
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DRAWING INFORMATION





|            |                         |
|------------|-------------------------|
| ISSUE:     | ISSUED FOR CONSTRUCTION |
| DATE:      | MARCH 25, 2024          |
| PROJECT #: | 21004                   |
| SCALE:     | 1/4" = 1'-0"            |

DRAWING TITLE  
**PROPOSED PLANS  
- FIRST LEVEL**

DRAWING NUMBER  
**A102**



FLOOR PLAN LEGEND

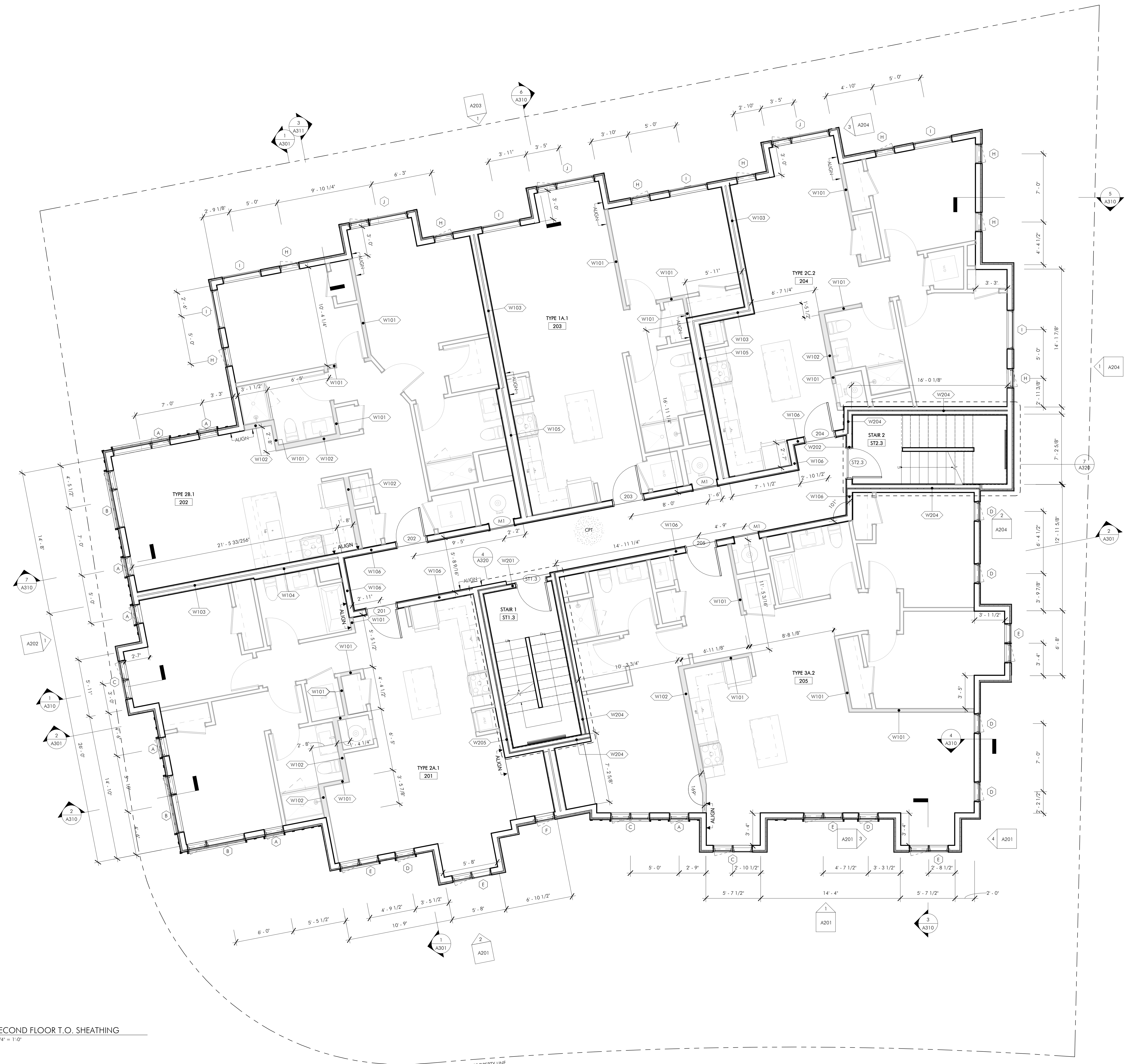
-  LVT - LAMINATE
-  WD - WOOD
-  CPT - CARPET
-  FT - TILE

ARCHITECT  
**EMBARC**

530 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
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OWNER  
Diarmuid McGregor

CONSULTANTS



1 SECOND FLOOR T.O. SHEATHING  
1/4" = 1'-0"

34 OAK STREET  
BOSTON, MA 02136

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|------|-------|------|
|      |       |      |



DRAWING INFORMATION  
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: MARCH 25, 2024  
PROJECT #: 21004  
SCALE: 1/4" = 1'-0"





DRAWING TITLE  
PROPOSED PLANS  
- SECOND LEVEL

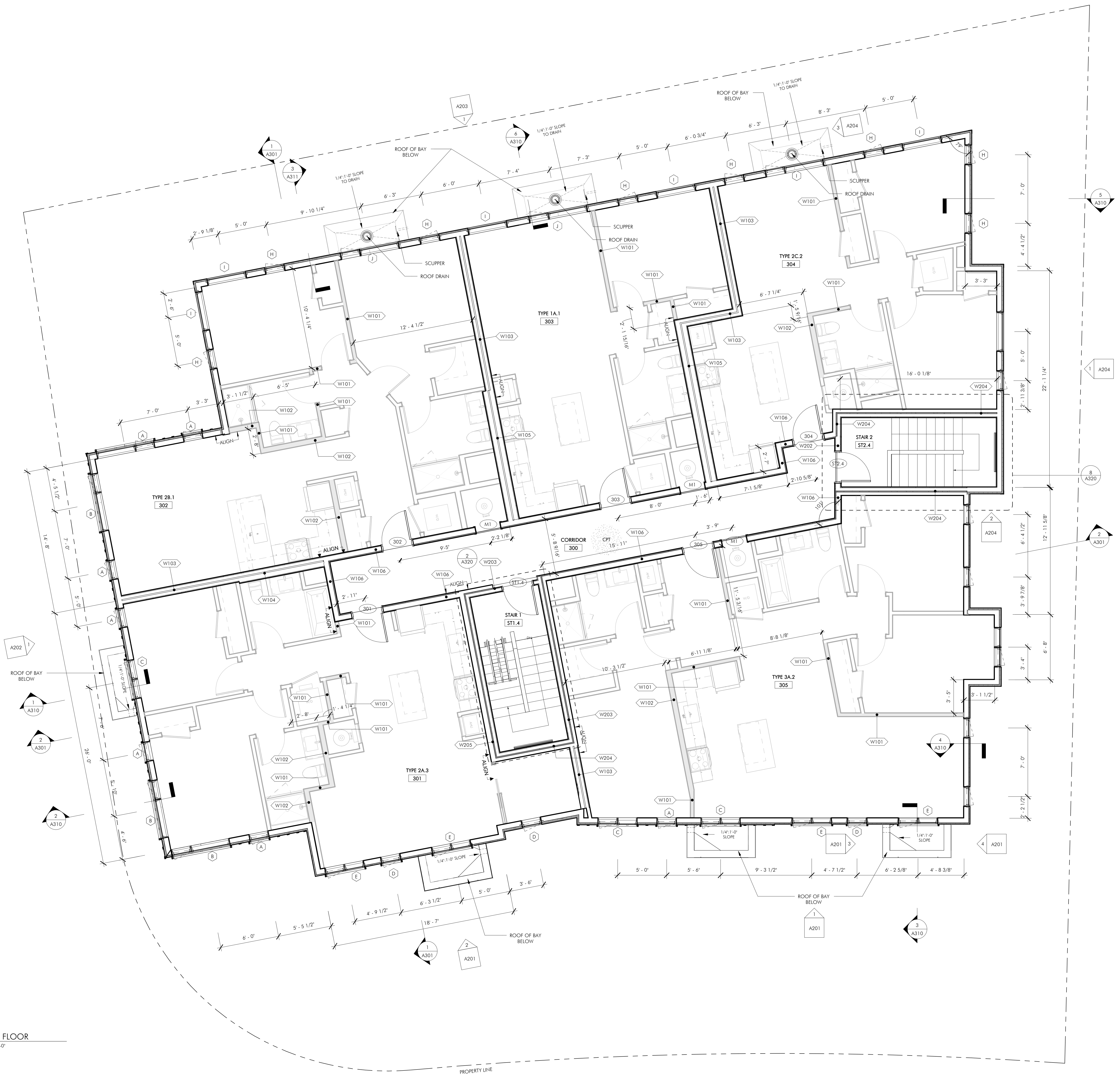
DRAWING NUMBER  
**A103**

C:\Users\mgregor\Documents\310104\_34 Oak St\_S.D. - 01\_CORE AND SHEET\mgregor\mgregor.dwg  
3/28/2024 10:13:38 AM



FLOOR PLAN LEGEND

-  LVT - LAMINATE
-  WD - WOOD
-  CPT - CARPET
-  FT - TILE



**1** THIRD FLOOR  
1/4" = 1'-0"

**34 OAK STREET**  
BOSTON, MA 02136

**ISSUED FOR CONSTRUCTION**

| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |



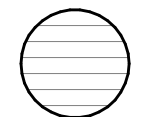
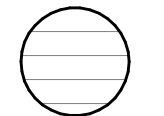
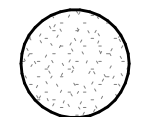
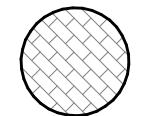
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|---------------------|-------------------------|
| ISSUE:              | ISSUED FOR CONSTRUCTION |
| DATE:               | MARCH 25, 2024          |
| PROJECT #:          | 21004                   |
| SCALE:              | 1/4" = 1'-0"            |

DRAWING TITLE  
**PROPOSED PLANS  
- THIRD LEVEL**

DRAWING NUMBER  
**A104**



FLOOR PLAN LEGEND

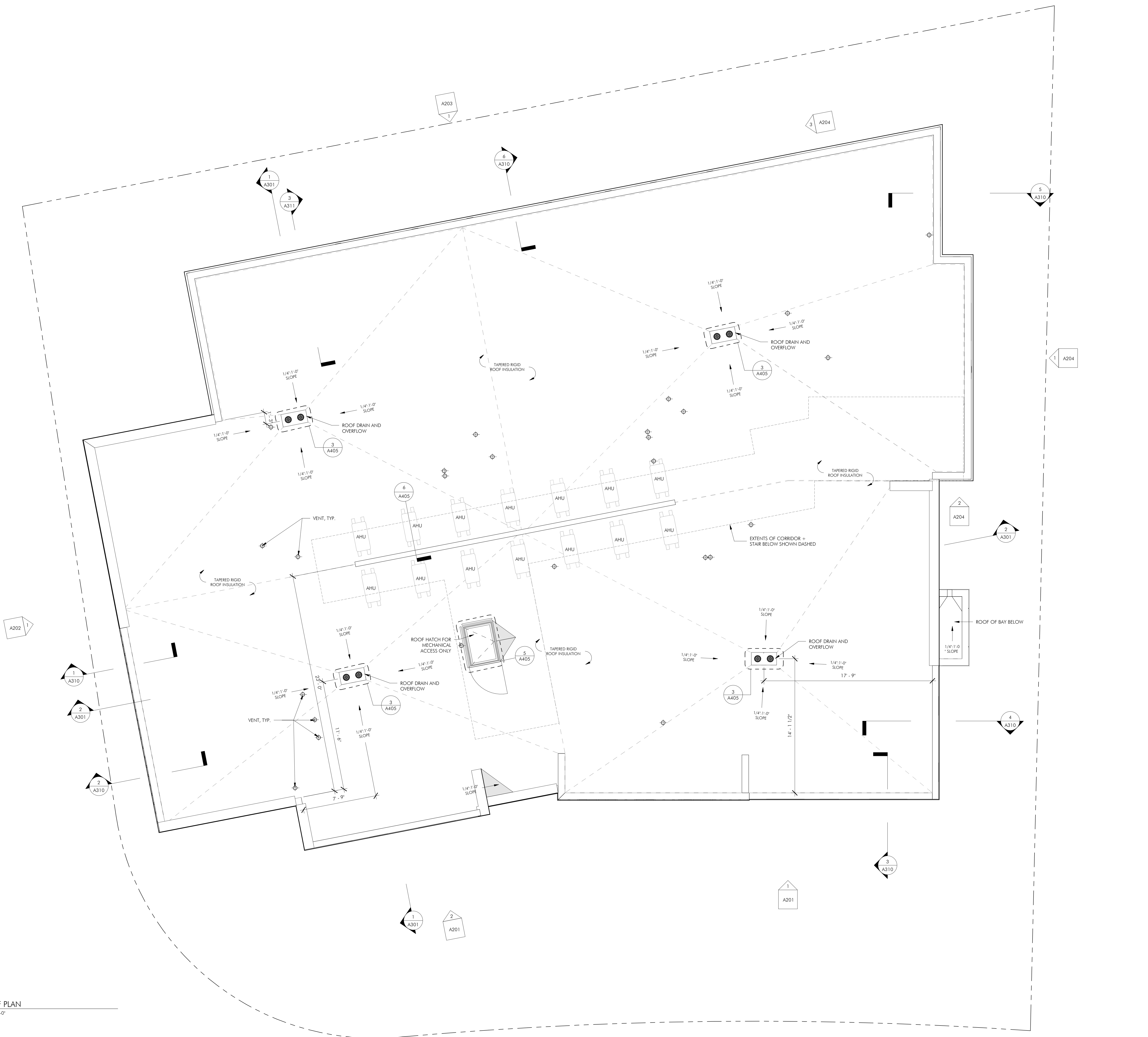
-  LVT - LAMINATE
-  WD - WOOD
-  CPT - CARPET
-  FT - TILE

ARCHITECT  
**EMBARC**

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**1** ROOF PLAN  
1/4" = 1'-0"

34 OAK STREET  
BOSTON, MA 02136

ISSUED FOR CONSTRUCTION

| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |

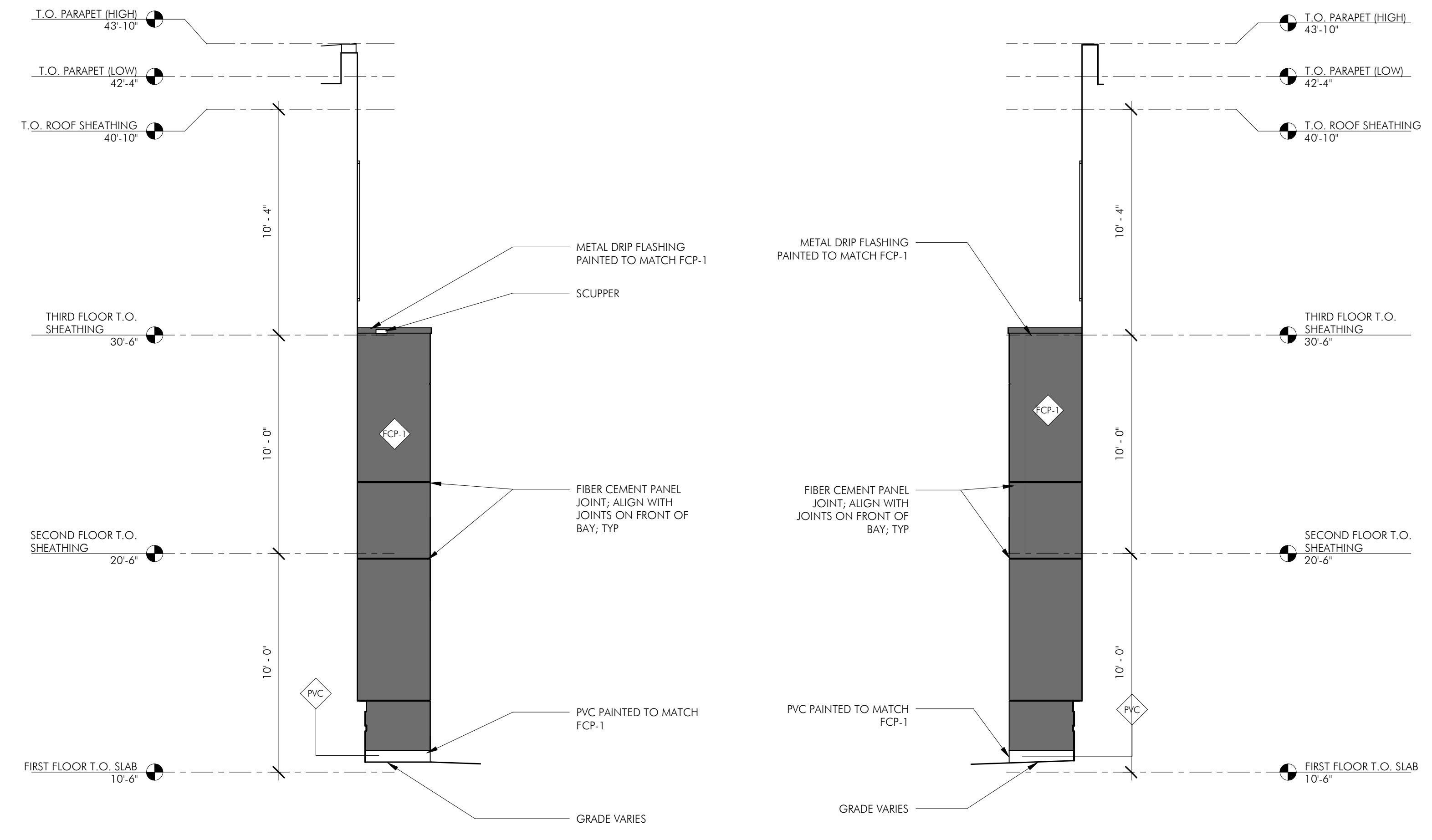


| DRAWING INFORMATION |                         |
|---------------------|-------------------------|
| ISSUE:              | ISSUED FOR CONSTRUCTION |
| DATE:               | MARCH 25, 2024          |
| PROJECT #:          | 21004                   |
| SCALE:              | 1/4" = 1'-0"            |

DRAWING TITLE  
**PROPOSED ROOF PLAN**

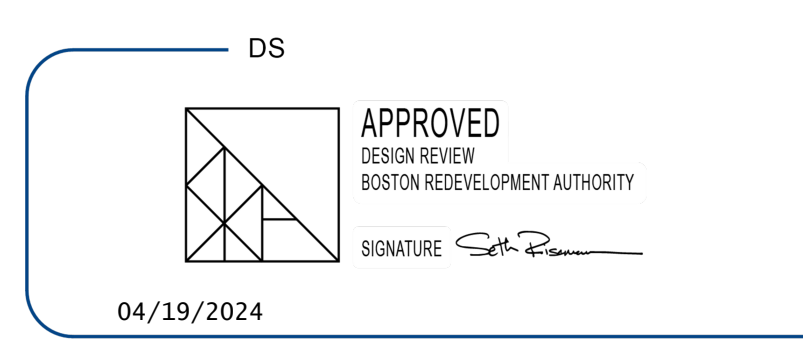
DRAWING NUMBER  
**A105**



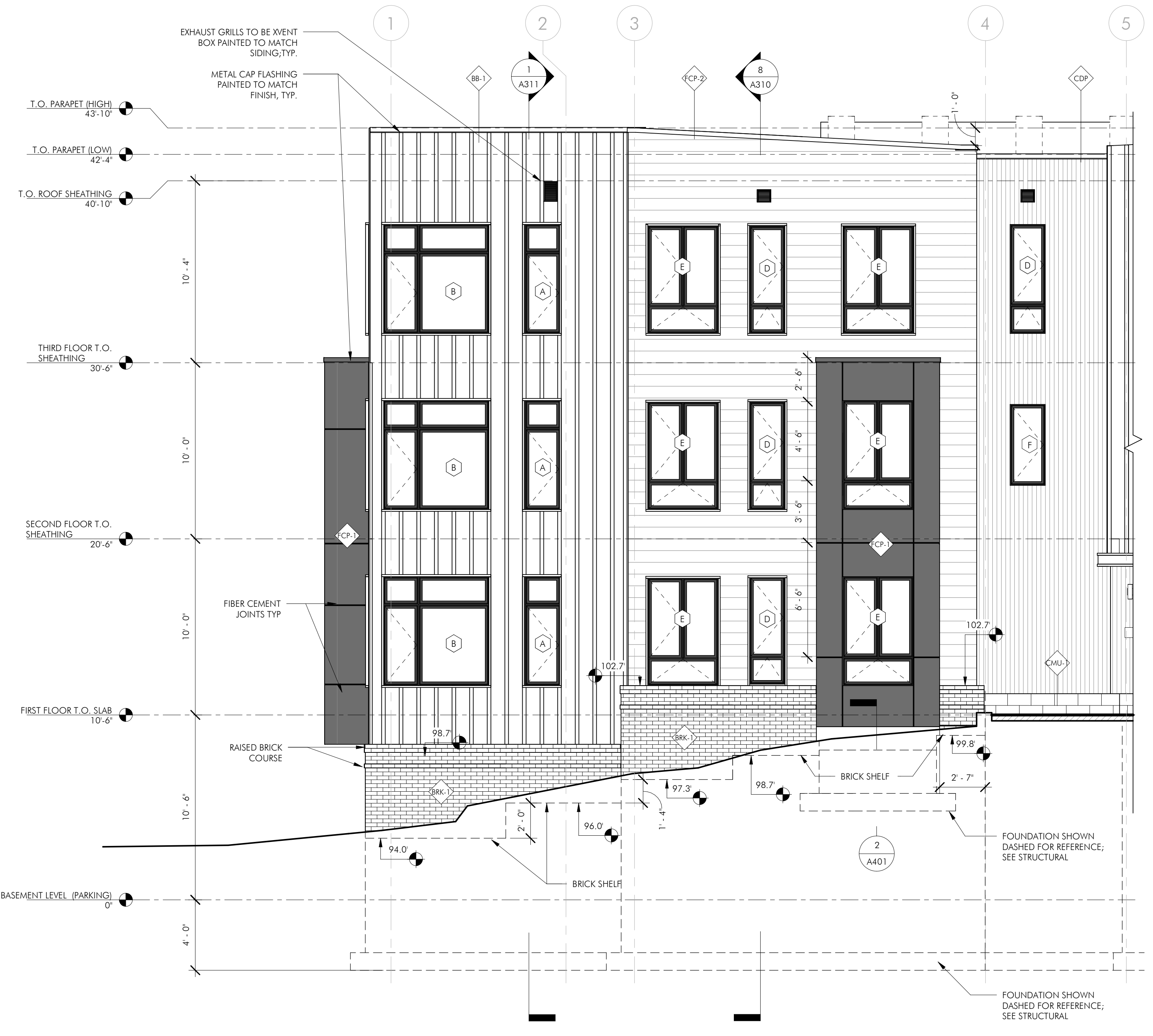


3 BAY TYPE 1 - SIDE ELEVATION  
1/4" = 1'-0"

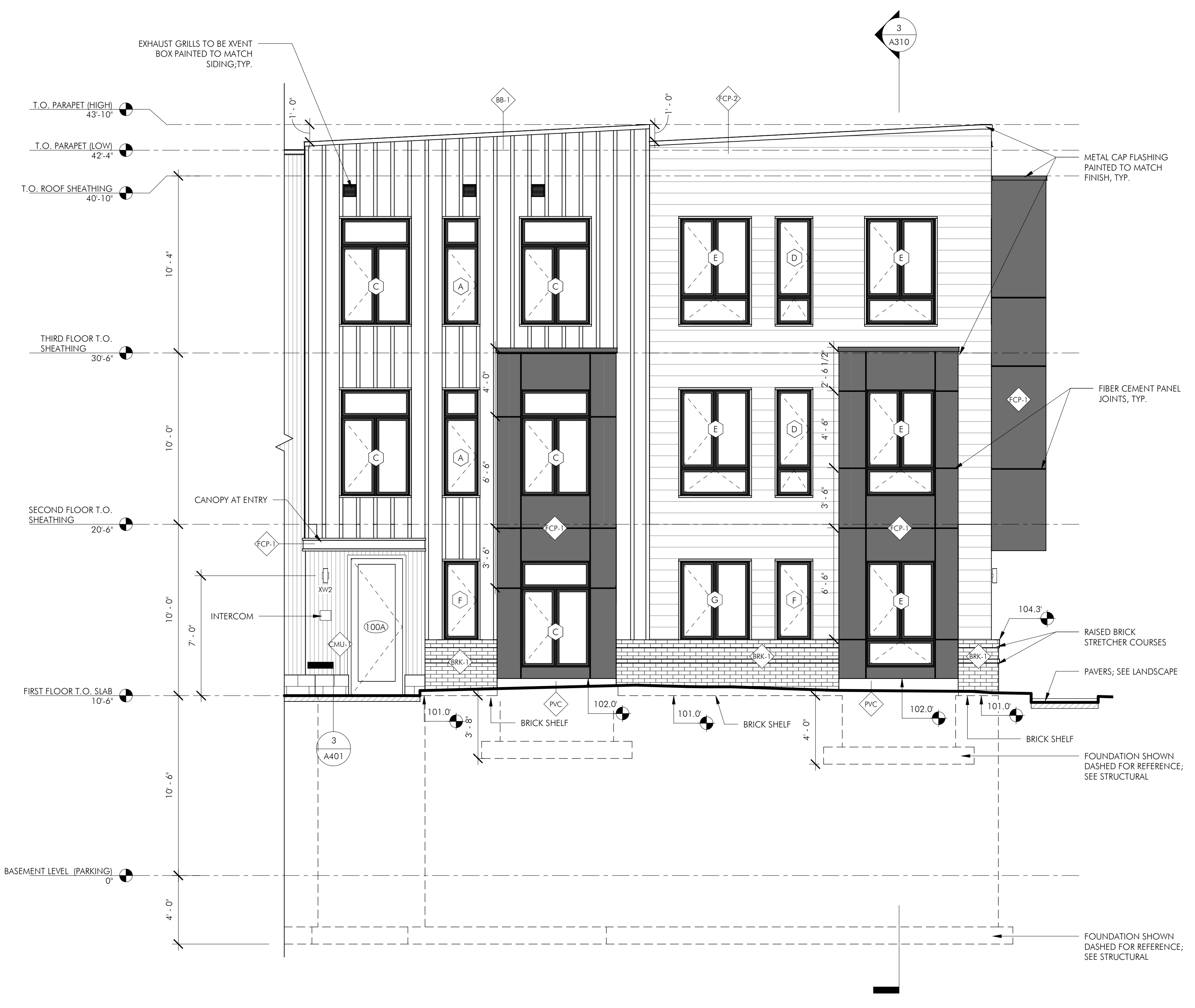
4 BAY TYPE 1 - SIDE ELEVATION 2  
1/4" = 1'-0"



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2 SOUTH ELEVATION 2  
1/4" = 1'-0"



1 SOUTH ELEVATION 1  
1/4" = 1'-0"

- EXTERIOR MATERIALS LEGEND:**
- FCP-1: FIBER CEMENT PANEL  
- MANUFACTURER: TBD  
- COLOR: TBD
  - FCP-2: FIBER CEMENT PANEL  
- JAMES HARDIE  
- COLOR: ARTIC WHITE
  - BB-1: FIBER CEMENT BOARD & BATTEN  
- JAMES HARDIE  
- COLOR: ARTIC WHITE
  - FCL: FIBER CEMENT LAP SIDING  
- JAMES HARDIE  
- COLOR: OLIVE
  - BRK-1: BRICK VENEER  
- ENDICOTT  
- COLOR: EXECUTIVE IRONSPOT VELOUR
  - CDP: CEDAR PLANK  
- TONGUE & GROOVE  
- VERTICAL ORIENTATION
  - CMS-1: CORRUGATED METAL SIDING  
- MORIN; MK-1  
- COLOR: DOVE GROVE
  - CMS-2: CORRUGATED METAL SIDING  
- MORIN; MK-1  
- COLOR: ZINC GROVE
  - CMU-1: CMU VENEER  
- JANDRIS AND SONS  
- COLOR: 9215  
- FINISH: SPLIT FACE

ARCHITECT  
**EMBARC**  
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OWNER  
Diarmuid McGregor

CONSULTANTS

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BOSTON, MA 02136

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REVISIONS

| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |

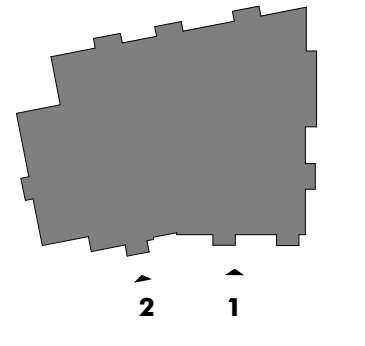


DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: MARCH 25, 2024  
PROJECT #: 21004  
SCALE: As indicated

DRAWING TITLE  
**BUILDING ELEVATIONS**

DRAWING NUMBER  
**A201**



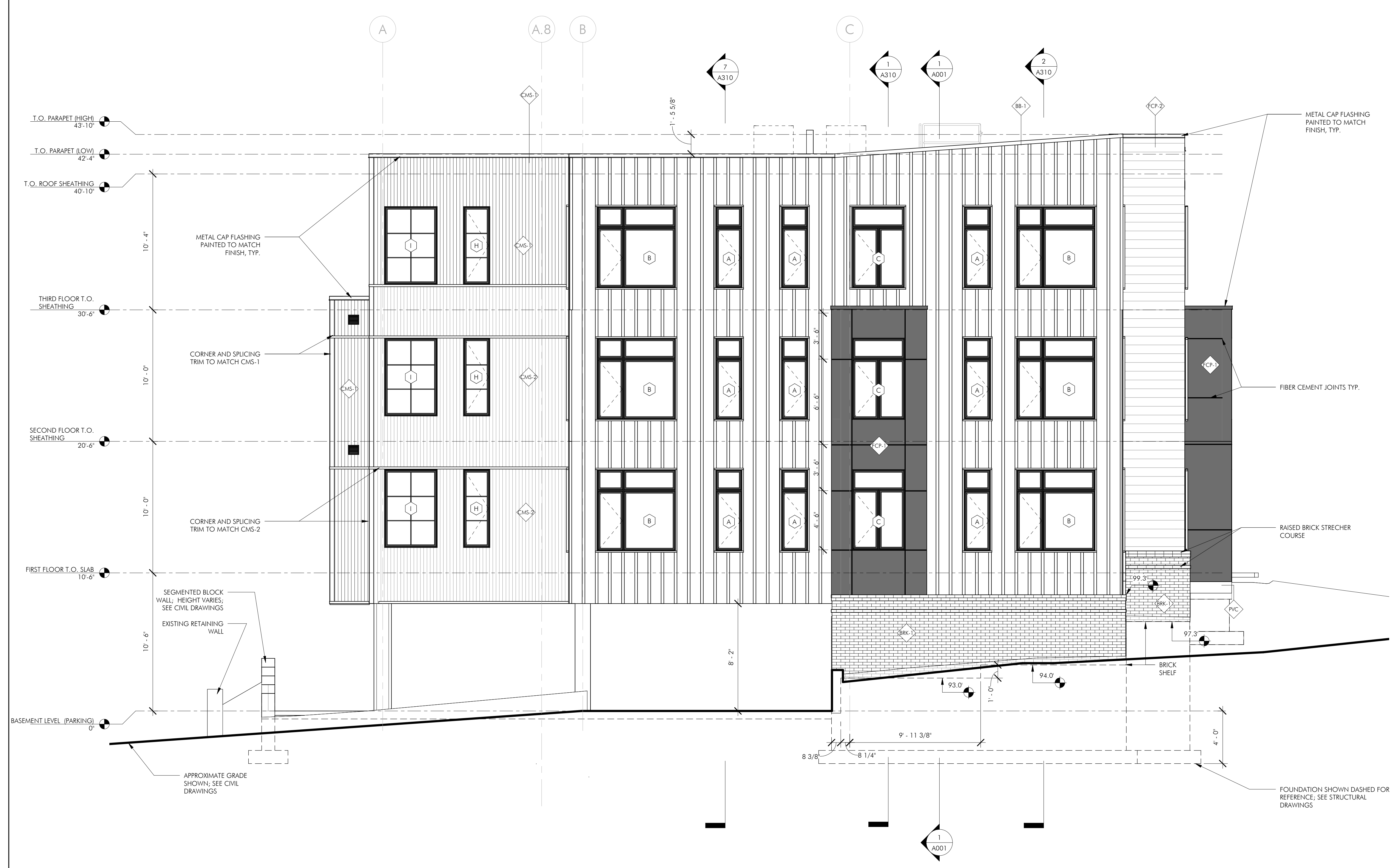


- EXTERIOR MATERIALS LEGEND:**
- FCP-1: FIBER CEMENT PANEL**  
- MANUFACTURER: TBD  
- COLOR: TBD
  - FCP-2: FIBER CEMENT PANEL**  
- JAMES HARDIE  
- COLOR: ARTIC WHITE
  - BB-1: FIBER CEMENT BOARD & BATTEN**  
- JAMES HARDIE  
- COLOR: ARTIC WHITE
  - FCL: FIBER CEMENT LAP SIDING**  
- JAMES HARDIE  
- COLOR: OLIVE
  - BRK-1: BRICK VENEER**  
- ENDICOTT  
- COLOR: EXECUTIVE IRONSPOT VELOUR
  - CDP: CEDAR PLANK**  
- TONGUE & GROOVE  
- VERTICAL ORIENTATION
  - CMS-1: CORRUGATED METAL SIDING**  
- MGRIN; MK-1  
- COLOR: DOVE GROVE
  - CMS-2: CORRUGATED METAL SIDING**  
- MGRIN; MK-1  
- COLOR: ZINC GROVE
  - CMU-1: CMU VENEER**  
- JANDRIS AND SONS  
- COLOR: 9215  
- FINISH: SPLIT FACE

**ARCHITECT**  
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Diarmuid McGregor

**CONSULTANTS**



DS  
APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE [Signature]  
04/19/2024

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**34 OAK STREET**  
BOSTON, MA 02136  
**ISSUED FOR CONSTRUCTION**

**REVISIONS**

| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |

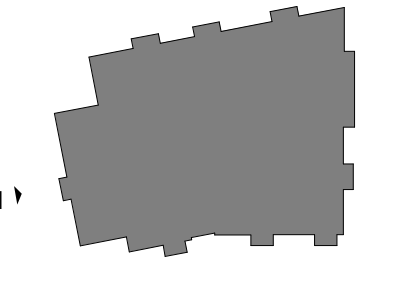


**DRAWING INFORMATION**  
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: MARCH 25, 2024  
PROJECT #: 21004  
SCALE: As indicated

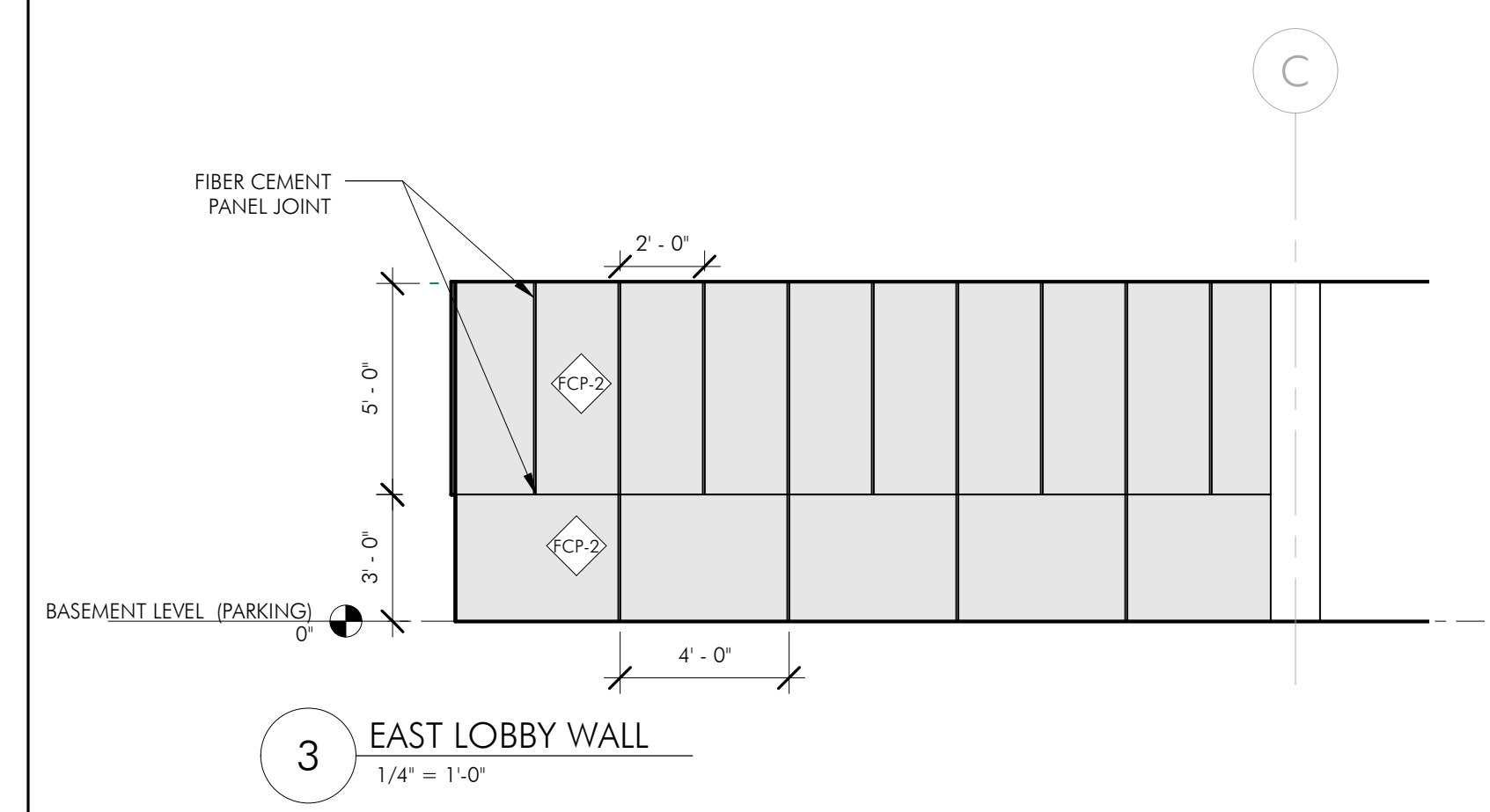
**DRAWING TITLE**  
BUILDING ELEVATIONS

**DRAWING NUMBER**  
A202

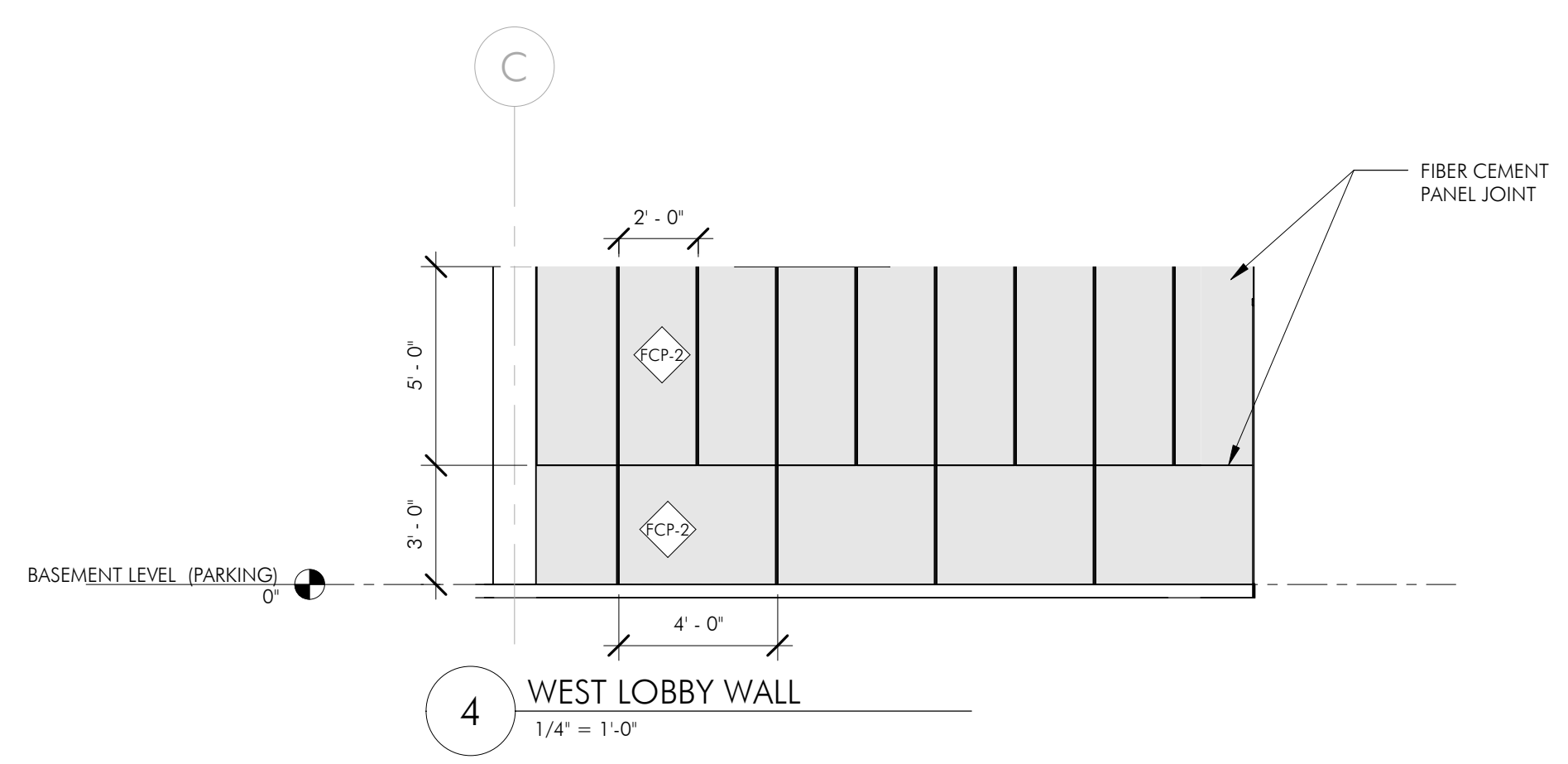
**1 MAPLE STREET ELEVATION**  
1/4" = 1'-0"



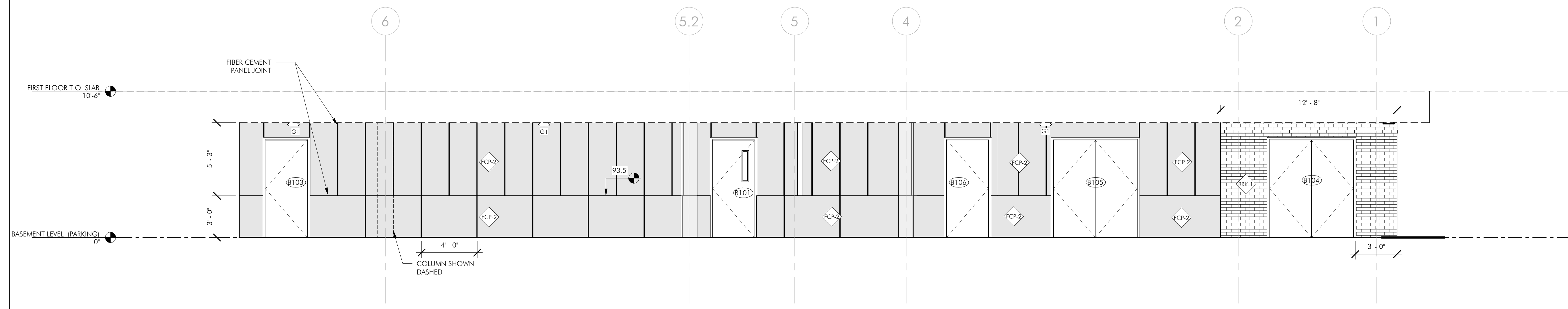




3 EAST LOBBY WALL  
1/4" = 1'-0"



4 WEST LOBBY WALL  
1/4" = 1'-0"



2 GARAGE ELEVATION 1  
1/4" = 1'-0"

APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE *[Signature]*  
04/19/2024

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1 NORTH ELEVATION  
1/4" = 1'-0"

- EXTERIOR MATERIALS LEGEND:**
- FCP-1: FIBER CEMENT PANEL  
- MANUFACTURER: TBD  
- COLOR: TBD
  - FCP-2: FIBER CEMENT PANEL  
- JAMES HARDIE  
- COLOR: ARTIC WHITE
  - BB-1: FIBER CEMENT BOARD & BATTEN  
- JAMES HARDIE  
- COLOR: ARTIC WHITE
  - FCL: FIBER CEMENT LAP SIDING  
- JAMES HARDIE  
- COLOR: OLIVE
  - BRK-1: BRICK VENEER  
- ENDICOTT  
- COLOR: EXECUTIVE IRONSPOT VELOUR
  - CDP: CEDAR PLANK  
- TONGUE & GROOVE  
- VERTICAL ORIENTATION
  - CMS-1: CORRUGATED METAL SIDING  
- MGRIN; MX-1  
- COLOR: DOVE GROVE
  - CMS-2: CORRUGATED METAL SIDING  
- MGRIN; MX-1  
- COLOR: ZINC GROVE
  - CMU-1: CMU VENEER  
- JANDRIS AND SONS  
- COLOR: 9215  
- FINISH: SPLIT FACE

ARCHITECT  
**EMBARC**  
580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER  
Diarmuid McGregor

CONSULTANTS

34 OAK STREET  
BOSTON, MA 02136

ISSUED FOR CONSTRUCTION

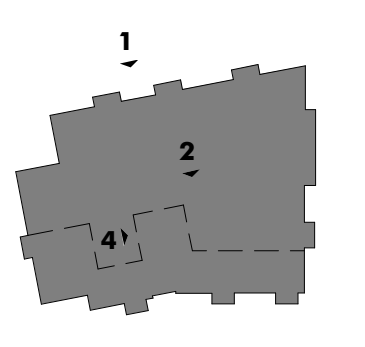
| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |



**DRAWING INFORMATION**  
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: MARCH 25, 2024  
PROJECT #: 21004  
SCALE: As indicated

**DRAWING TITLE**  
BUILDING ELEVATIONS

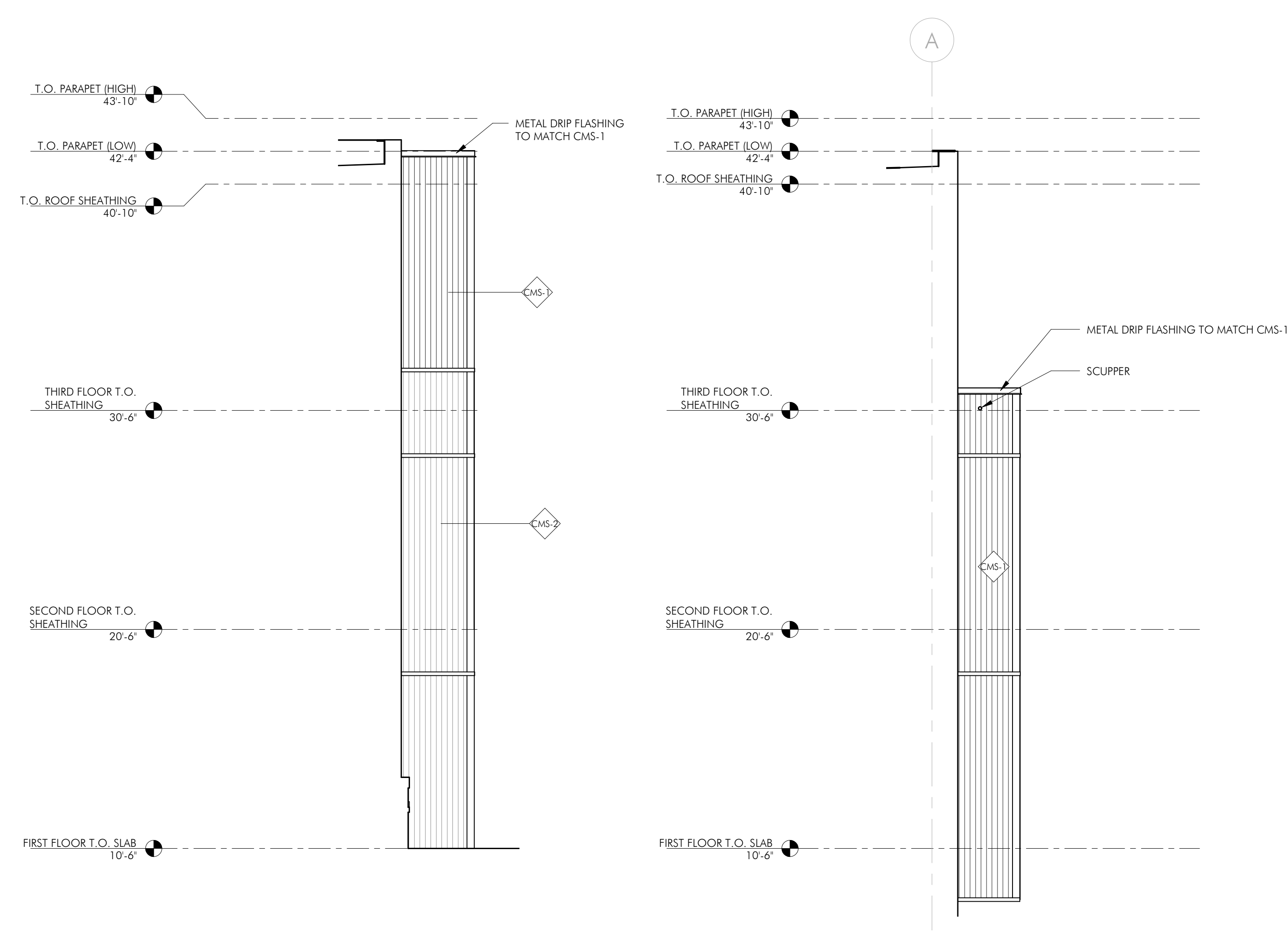
**DRAWING NUMBER**  
A203





EXTERIOR MATERIALS LEGEND:

|  |                                                                                  |
|--|----------------------------------------------------------------------------------|
|  | FCP-1: FIBER CEMENT PANEL<br>- MANUFACTURER: TBD<br>- COLOR: TBD                 |
|  | FCP-2: FIBER CEMENT PANEL<br>- JAMES HARDIE<br>- COLOR: ARTIC WHITE              |
|  | BB-1: FIBER CEMENT BOARD & BATTEN<br>- JAMES HARDIE<br>- COLOR: ARTIC WHITE      |
|  | FCL: FIBER CEMENT LAP SIDING<br>- JAMES HARDIE<br>- COLOR: OLIVE                 |
|  | BRK-1: BRICK VENEER<br>- ENDICOTT<br>- COLOR: EXECUTIVE IRONSPOT VELOUR          |
|  | CDP: CEDAR PLANK<br>- TONGUE & GROOVE<br>- VERTICAL ORIENTATION                  |
|  | CMS-1: CORRUGATED METAL SIDING<br>- MGRIN; MK-1<br>- COLOR: DOVE GROVE           |
|  | CMS-2: CORRUGATED METAL SIDING<br>- MGRIN; MK-1<br>- COLOR: ZINC GROVE           |
|  | CMU-1: CMU VENEER<br>- JANDRIS AND SONS<br>- COLOR: 9215<br>- FINISH: SPLIT FACE |



2 METAL BUMP OUT ON EAST WALL - SOUTH ELEVATION  
1/4" = 1'-0"

3 METAL PANEL BAY ELEVATION - SCUPPER  
1/4" = 1'-0"



1 EAST ELEVATION  
1/4" = 1'-0"

DS  
APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE: [Signature]  
04/19/2024

All changes to the exterior and/or site plan shall be submitted to the Boston Planning and Development Agency ("BPDA") for review and approval.

34 OAK STREET  
BOSTON, MA 02136

ISSUED FOR CONSTRUCTION

REVISIONS

| MARK | ISSUE | DATE |
|------|-------|------|
|      |       |      |



DRAWING INFORMATION

|            |                         |
|------------|-------------------------|
| ISSUE:     | ISSUED FOR CONSTRUCTION |
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| PROJECT #: | 21004                   |
| SCALE:     | As indicated            |

DRAWING TITLE  
**BUILDING ELEVATIONS**

DRAWING NUMBER  
**A204**

