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BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal

M. Cannizzo
Signature

10/18/2022



21 ALVESTON STREET, JAMAICA PLAIN MA

PERMIT SET REVISED 10.11.22

03.14.22

BUILDING USE AND OCCUPANCY

GENERAL BUILDING/PROJECT DESCRIPTION:

RENOVATION AND RECONSTRUCTION OF A 2 FAMILY RESIDENTIAL WOOD FRAME STRUCTURE. PROPERTY HAS AN EXISTING DETACHED 2 CAR CONC. BLOCK GARAGE

THE PROJECT IS **AS-OF-RIGHT** REQUIRING NO ZONING OR OTHER RELIEF FROM THE CITY OF CAMBRIDGE.

OCCUPANCY GROUP:
PER IBC 310.5 RESIDENTIAL - GROUP R-3 ONE AND TWO FAMILY

CONSTRUCTION TYPE:
PER IBC TABLE 6.1 CONSTRUCTION TYPE V-B

WOOD FRAME STRUCTURE, RATED BEARING WALLS REQ.

FIRE PROTECTION SYSTEMS:
THE BUILDING WILL BE EQUIPPED WITH A LOCAL TYPE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM. ALARM AND SPRINKLER SYSTEMS ARE NOT REQUIRED.

APPLICABLE CODES - 1-2 FAMILY RESIDENTIAL

BUILDING CODES

MASSACHUSETTS STATE BUILDING CODE, 780 CMR
9TH EDITION AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE 2015 IRC
INTERNATIONAL EXISTING BLDG CODE 2015 IEBC

FIRE PREVENTION CODES

INTERNATIONAL FIRE CODE 2015 IFC, 527 CMR

ACCESSIBILITY

MA ARCHITECTURAL ACCESS BOARD 521 CMR

M-E-P CODES

MASSACHUSETTS ELECTRICAL CODE 527 CMR 12.00
INTERNATIONAL ELECTRICAL CODE 2015 IEC
INTERNATIONAL MECHANICAL CODE 2015 IMC
UNIFORM STATE PLUMBING CODE 2015 IPC, 248 CMR

ENERGY CODE

INTERNATIONAL ENERGY CONSERV. 2015 IECC
WITH MASSACHUSETTS AMENDMENTS 780 CMR CH. 11

ARCHITECT

KBA

119 BRAINTREE STREET
BOSTON, MA 02134
(617)-827-3527

www.boucherarchitecture.com

OWNER

ADCO Development

300 1st AVENUE
NEEDHAM, MA 02494

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client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

file COVER SHEET
project 21 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023




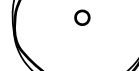
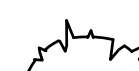

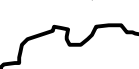
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Sheet no.
A000

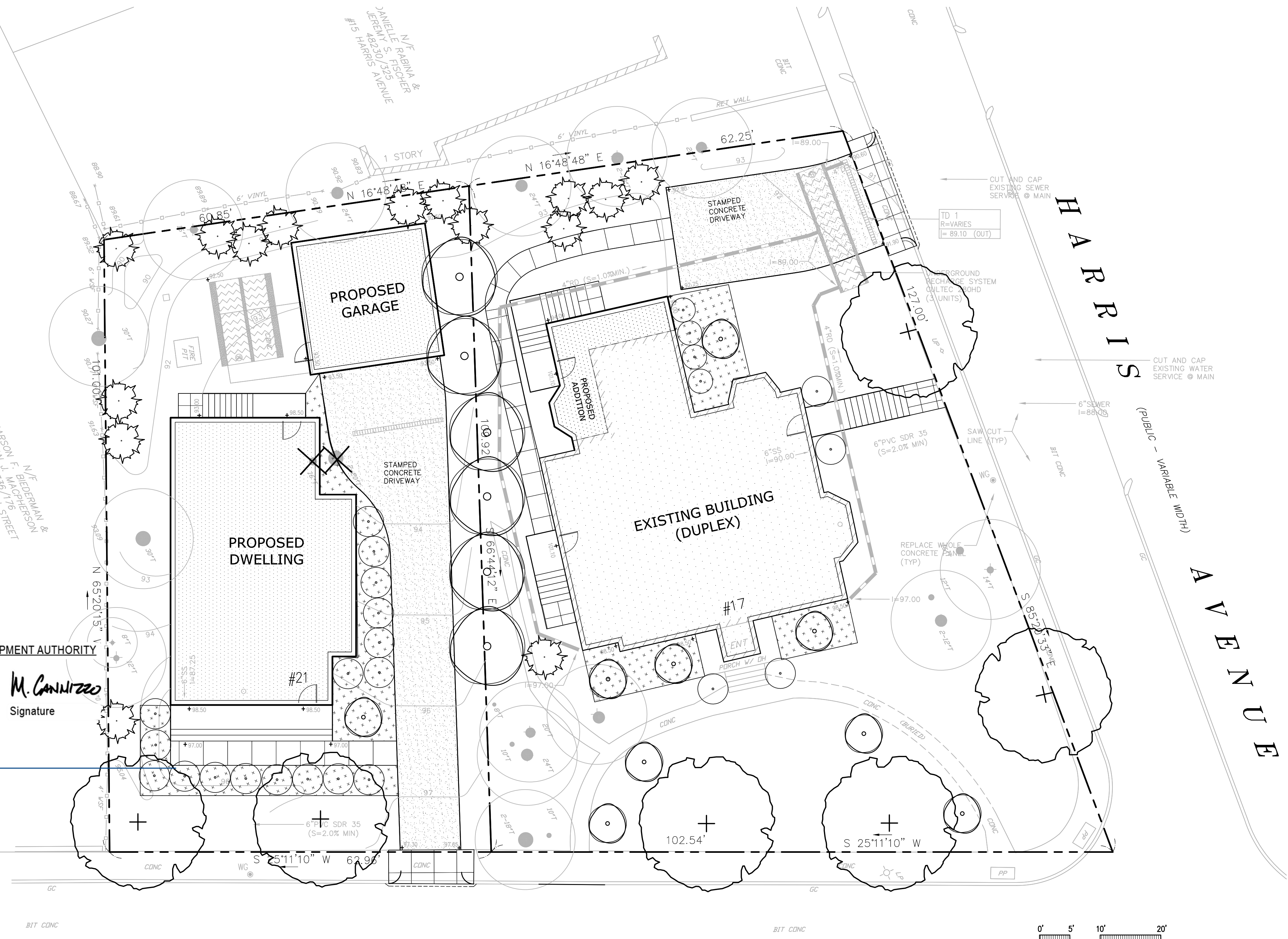
PLANTING LEGEND

-  GROUNDCOVER / PERENNIAL PLANTING
-  SHRUB PLANTING
-  ORNAMENTAL TREE
-  EVERGREEN TREE
-  DECIDUOUS TREE
-  EXISTING TREES
-  TREE REMOVAL

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PLANTING NOTES

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY PRECISION LAND SURVEY, OF SOUTHBOROUGH, MA, DATED 13 OCTOBER 2021.
2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
3. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
4. LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
5. CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
7. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
8. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
9. ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
11. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
12. MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
13. PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
14. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
15. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
16. ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
17. PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.



DZ I
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Po Box 307
Foxborough, MA
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PLANT SCHEDULE

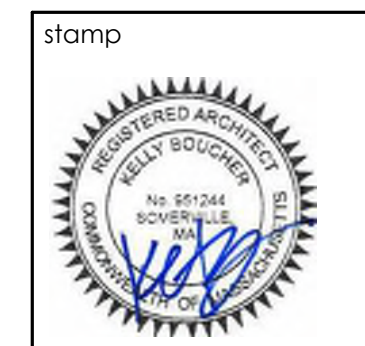
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
DECIDUOUS TREES					
GT	GLEDTISIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST		3 - 3 1/2" CAL.	
CB	CAPRINUS BETULUS	EUROPEAN HORNBEAM		2 1/3- 3" CAL.	
ORNAMENTAL TREES					
CK	CORNUS KOUSA	DOGWOOD		6-7" HT.	CLUMP
ORNAMENTAL TREES					
TP	THUJA PLICATUM	WESTERN ARBORVITAE		6-7" HT.	CLUMP
SHRUBS					
HM	HYDRANGEA MACR. ENDLESS SUMMER	ENDLESS SUMMER HYDRANGEA		24-36" HT.	
IM	ILEX MESERVAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY		24-36" HT.	
RC	RHODODENDRON CHINOIDES	WHITE RHODODENDRON		24-36" HT.	
PERENNIALS, GROUNDCOVER AND ORNAMENTAL GRASSES					
EC	ECHINACEA BUTTERFLY KISSES	PINK CONE FLOWER		1 GAL.	*
PV	PANICUM VIRGATUM	SWITCH GRASS		1 GAL.	*
RB	RUDBECKIA 'GOLDSTRUM'	BLACK EYED SUSAN		1 GAL.	*
VM	VINCA MINOR	COMMON MYRTLE		4" POTS	*

PLANTING PLAN

SCALE: 1" = 10'
JOB: 2G15-509
FILE:
DRAWN: JAZ
CHECKED:
DATE: 07.15.22

C-3

No.	Descrip.	Date



client
ADCO Development
 300 1st AVENUE
 NEEDHAM, MA 02494

file **LOT AREA DIAGRAM**
 project **21 ALVESTON STREET, JAMAICA PLAIN MA**



job number 21-023

scale 1/8" = 1'-0"

issue date 03.14.22

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Sheet no.
A010

LOT 1
 PROPOSED GSF: 4683 SF
 MIN. LOT AREA REQ. TO SUPPORT SF: 9366 SF
 LOT AREA PROVIDED: 9495 SF

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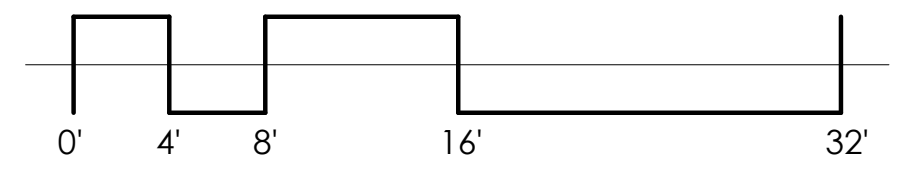
10/18/2022

LOT 2
 NEWLY ESTABLISHED LOT
 LOT AREA: 6502+/- SF
 ALLOWABLE GFA 3251 SF
 PROPOSED GFA 3111 SF

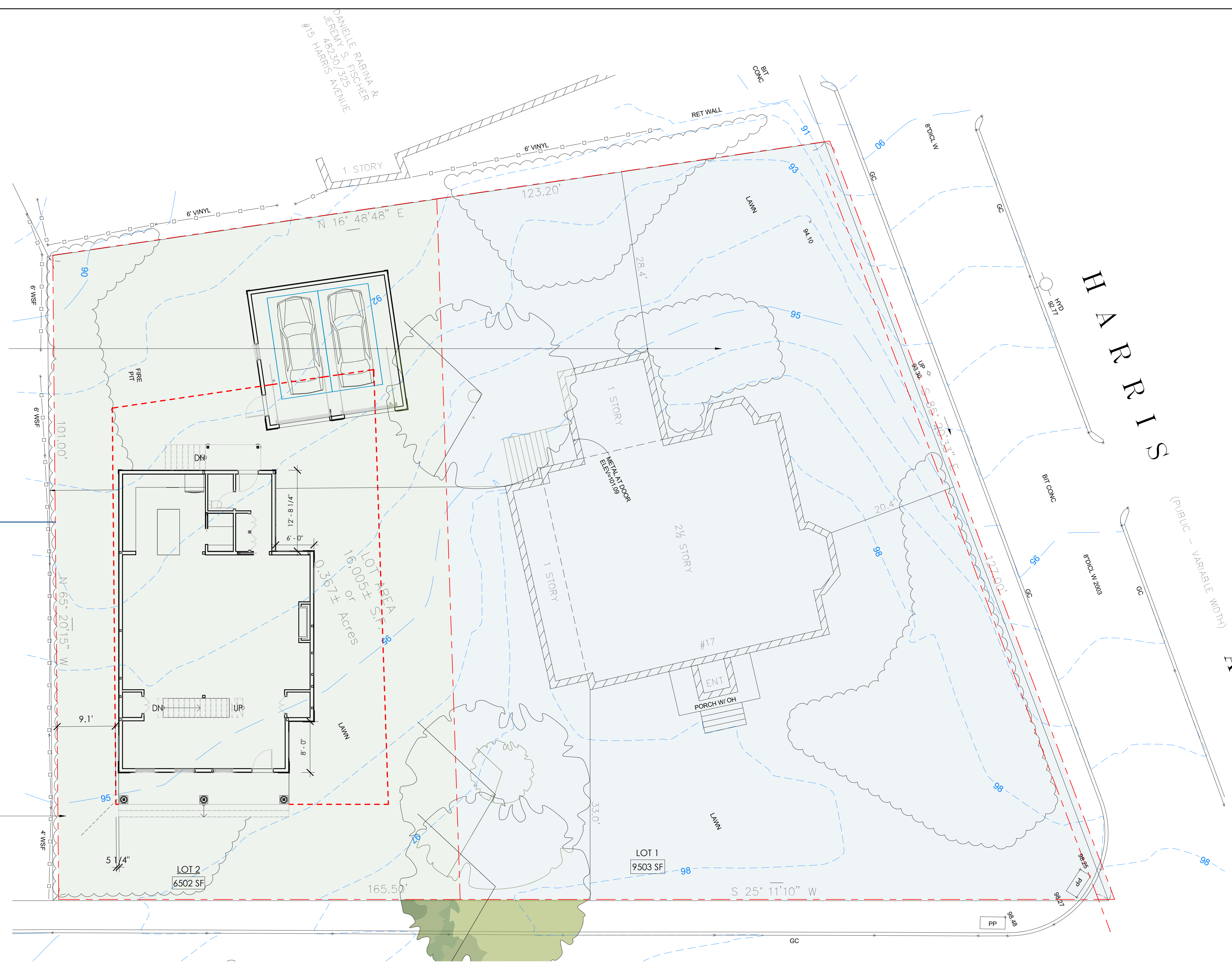
LOT AREA

- LOT 1
- LOT 2

LOT AREA DIAGRAM	
Name	Area
LOT 2	6502 SF
LOT 1	9503 SF
TOTAL LOT AREA: 2	16005 SF



1 LOT AREA PLAN
 1/8" = 1'-0"



No.	Descr.	Date
1	REV 1	9.19.22
2	REV 2	9.27.22



client
ADCO Development
 300 1st AVENUE
 NEEDHAM, MA 02494

title
ARCHITECTURAL SITE PLAN
 project
21 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023
 scale 1/8" = 1'-0"
 issue date 03.14.22
 PERMIT SET REVISED 10.11.22

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 CAROL F. BIEDERMAN &
 SYLVIA J. MACPHERSON

1 PROPOSED SITE PLAN
 1/8" = 1'-0"

10/11/2022 3:43:27 PM

NEWLY ESTABLISHED LOT AREA = 6514 SF
ALLOWABLE GFA: 3257 SF

AREA SCHEDULE			
Name	Level	Area	Zoning Area Type

FIRST FLOOR	FIRST FLOOR	1343 SF	GFA
SECOND FLOOR	SECOND FLOOR	1200 SF	GFA
THIRD FLOOR	THIRD FLOOR	569 SF	GFA

3111 SF

BASEMENT	BASEMENT	1323 SF	NON-GFA
GARAGE	FIRST FLOOR	491 SF	NON-GFA

1813 SF

TOTAL SF 4925 SF

PROJECT ZONING

GFA CALCULATION REQUIREMENTS IN BOSTON ZONING CODE

FLOOR AREA, GROSS:

THE SUM OF AREAS OF THE SEVERAL FLOORS OF THE STRUCTURE, AS MEASURED BY THE EXTERIOR FACES OF THE WALLS, INCLUDING FULLY ENCLOSED PORCHES AND THE LIKE AS MEASURED BY THE EXTERIOR LIMITS THEREOF, BUT EXCLUDING:

- (A) GARAGE SPACE WHICH IS IN THE BASEMENT OF A BUILDING OR, IN THE CASE OF GARAGE SPACE ACCESSORY TO A DWELLING, IS AT GRADE,
- (B) BASEMENT AND CELLAR AREAS DEVOTED EXCLUSIVELY TO USES ACCESSORY TO THE OPERATION OF THE STRUCTURE, AND
- (C) AREAS ELSEWHERE IN THE STRUCTURE DEVOTED TO HOUSING MECHANICAL EQUIPMENT CUSTOMARILY LOCATED IN THE BASEMENT OR CELLAR SUCH AS HEATING AND AIR CONDITIONING EQUIPMENT, PLUMBING, ELECTRICAL EQUIPMENT, LAUNDRY FACILITIES AND STORAGE FACILITIES, PROVIDED, HOWEVER, THAT IN AN H-2-45, H-2-65, H-3-65, L-2-65 OR B-3-65 DISTRICT NO AREA IN AN EXISTING STRUCTURE PREVIOUSLY INCLUDED IN GROSS FLOOR AREA AND NO AREA IN ANY ADDITION TO AN EXISTING STRUCTURE, EXCEPT AREAS NOT USED OR DESIGNED TO BE USED FOR HUMAN OCCUPANCY, SUCH AS ATTICS, BASEMENTS, CELLARS OR SPACE UNDER SLOPING EAVES, SHALL BE EXCLUDABLE FROM GROSS FLOOR AREA AS AREA FOR STORAGE FACILITIES OR LAUNDRY FACILITIES.

https://library.municode.com/ma/boston/codes/redevelopment_authority?nodeId=ART2DE_S2-1MECEWOPH

PARKING REQUIREMENTS IN BOSTON ZONING ORDINANCE FOR ALVESTON

ACCESSORY STRUCTURES (GARAGES)

- ALLOWED, SQUARE FOOTAGE NOT MORE THAN 25% ALLOWABLE FLOOR AREA
- DISTANCE FROM SIDE/REAR YARD LOT LINE = 5'
- ACCESSORY STRUCTURES NOT ALLOWED IN FRONT YARD SETBACK
- MAXIMUM FOOTPRINT = 25% OF REAR YARD AREA

[HTTPS://LIBRARY.MUNICODE.COM/MA/BOSTON/CODES/REDEVELOPMENT_AUTHORITY?NODEID=ART10ACUS](https://library.municode.com/ma/boston/codes/redevelopment_authority?nodeId=ART10ACUS)

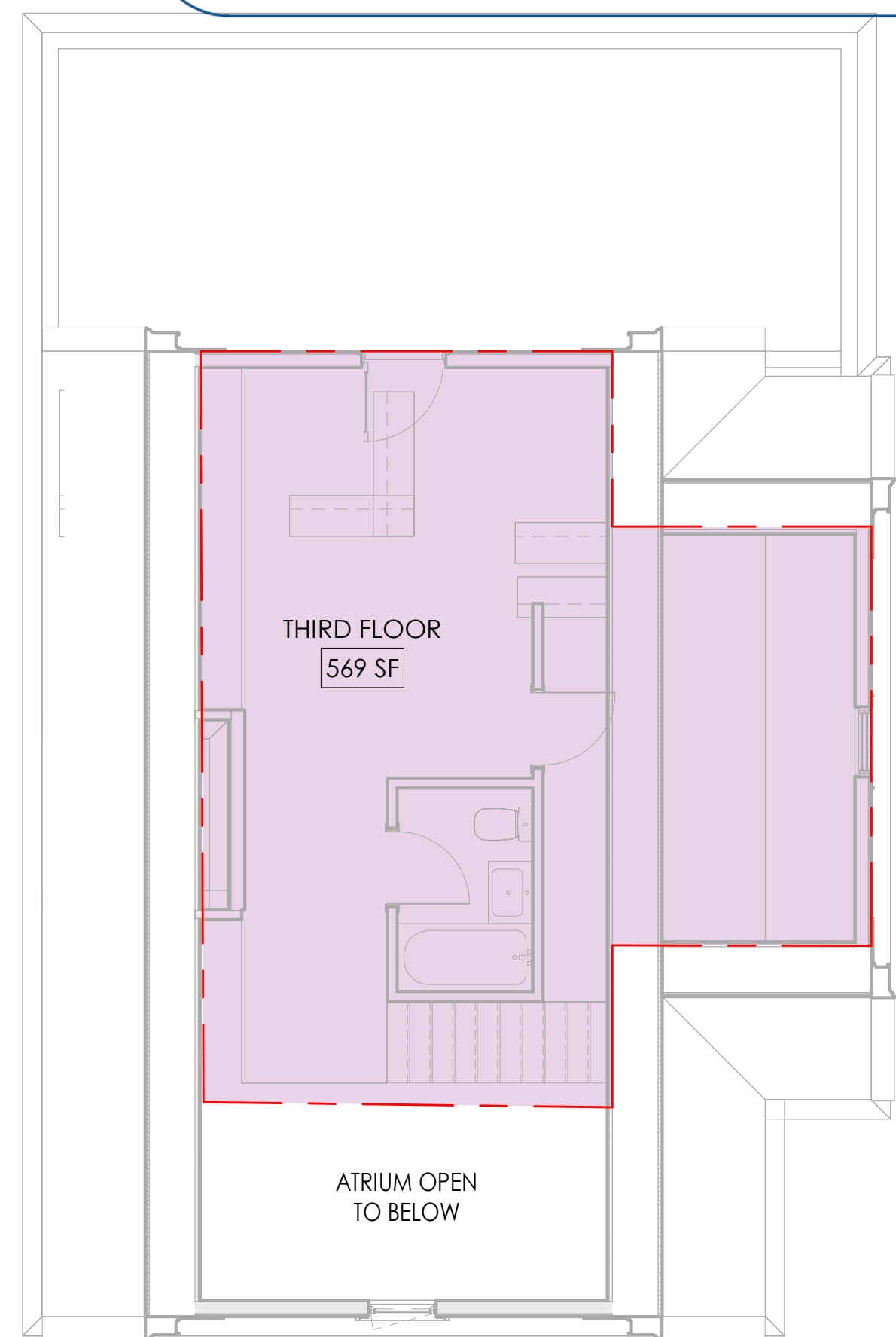
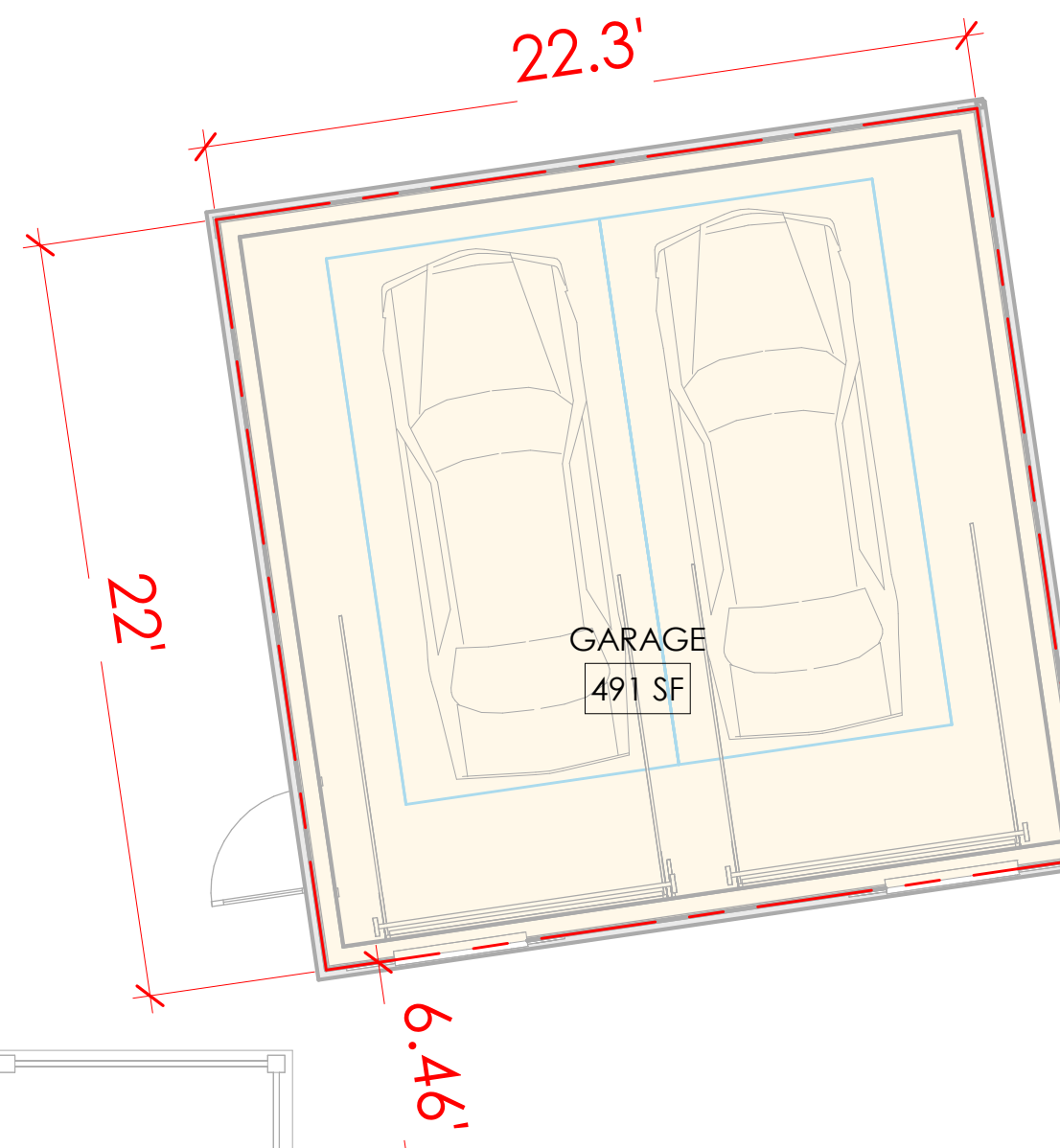
PARKING

- 2 SPACES PER UNIT
- PARKING SPACE = 8.5' WIDE X 20' LONG
- DRIVEWAY 10' WIDE

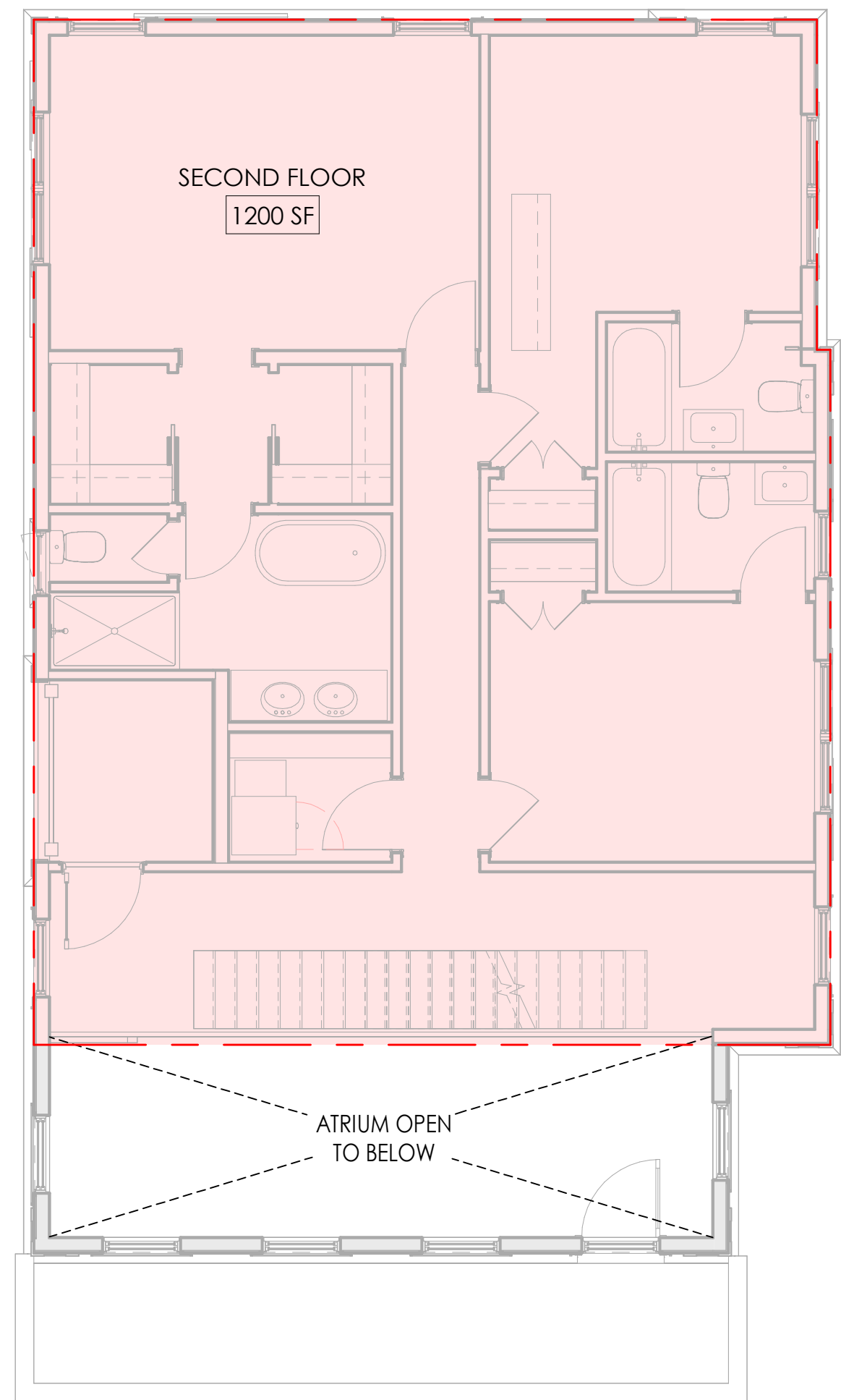
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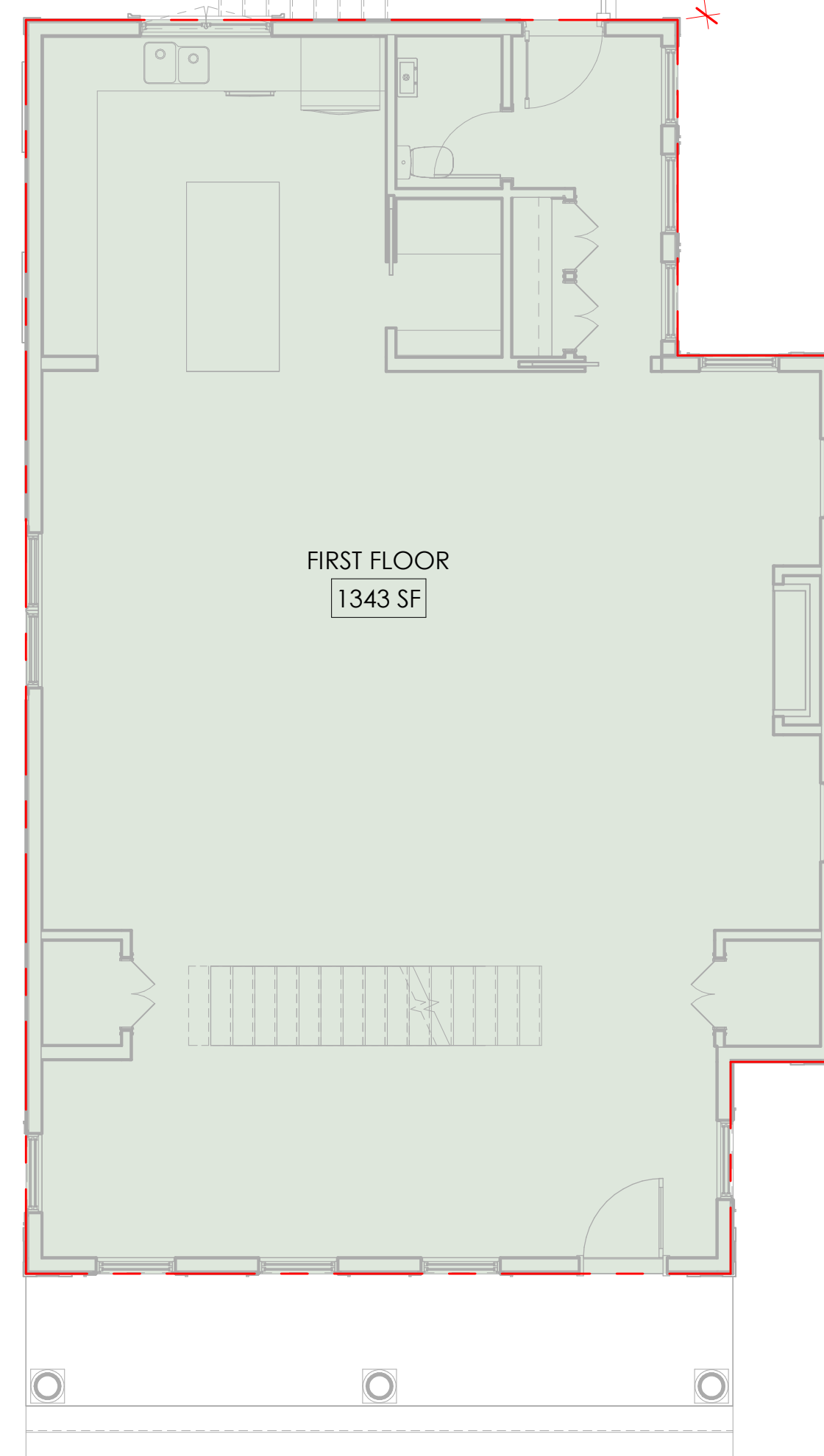
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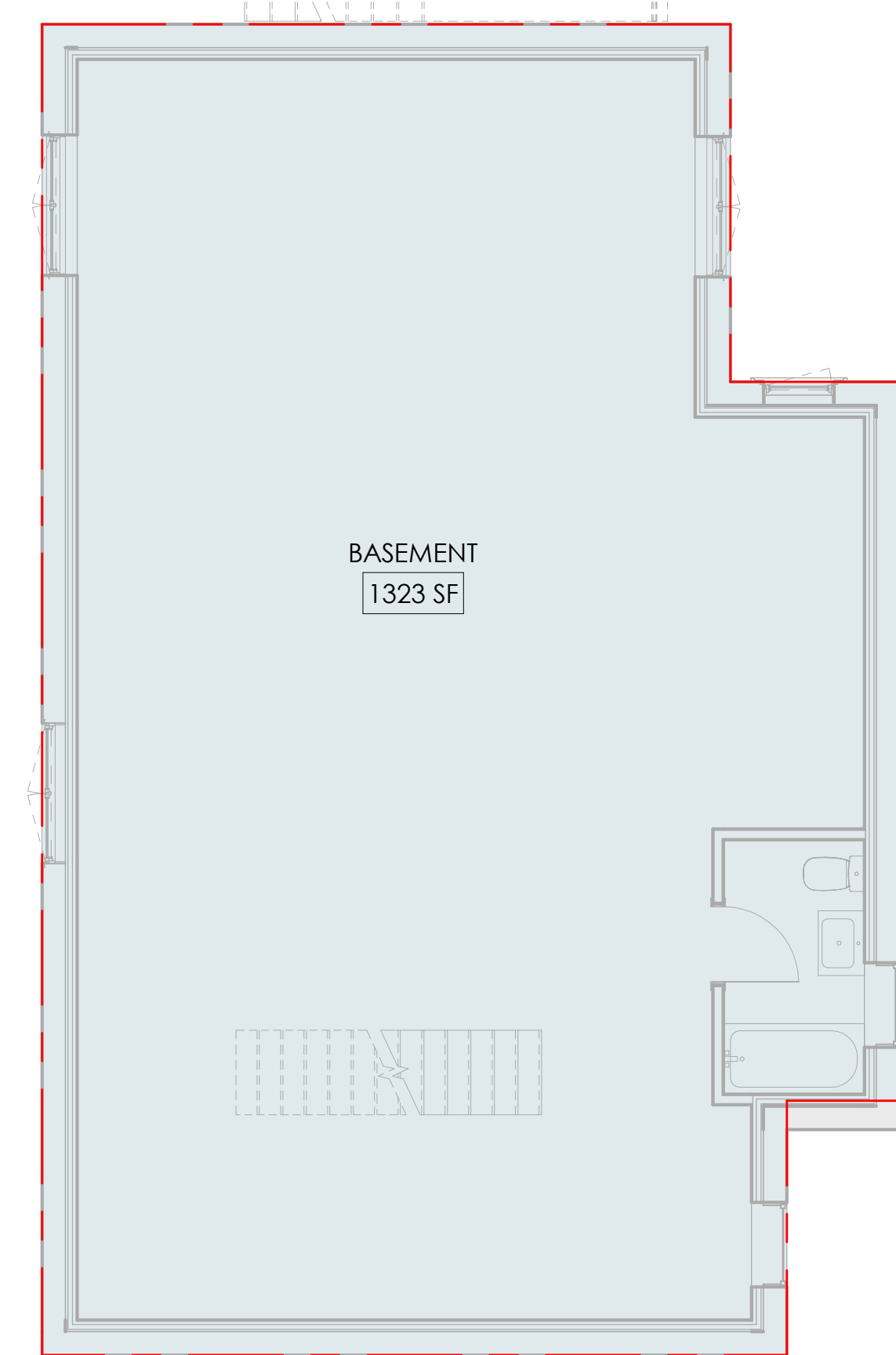
4 THIRD FLOOR
 3/16" = 1'-0"



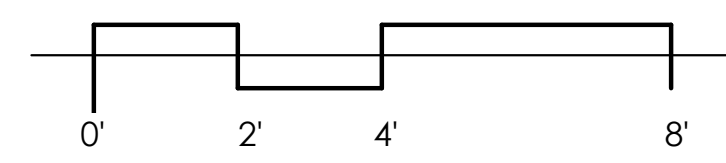
3 SECOND FLOOR
 3/16" = 1'-0"



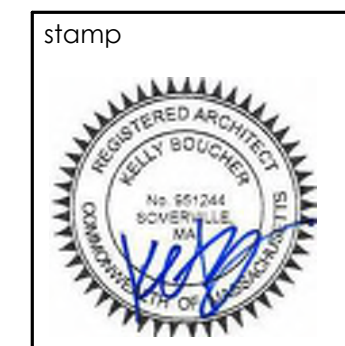
2 FIRST FLOOR
 3/16" = 1'-0"



1 BASEMENT
 3/16" = 1'-0"



No.	Descrip.	Date



client
 ADCO Development
 300 1st AVENUE
 NEEDHAM, MA 02494

file
 GFA AREA DIAGRAMS
 project
 21 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale As indicated

issue date 03.14.22

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Sheet no.
A012

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MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN
SINGLE OR DOUBLE HUNG NCO 3.3 SF MIN.

CLEAR OPENING HEIGHT 24" MIN.
NET OPENING WIDTH 20" MIN.
WIN. SILL HEIGHT: 44" MAX. AFF

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION MUST BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE

EGRESS DOORS

PER IRC R311.2; R311.3

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT
DOOR STYLE SIDE HINGED

CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE DOOR AND STOP WITH THE DOOR OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOT. OF THE STOP

DOOR HEIGHT 6'-8"
OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR DOOR

GENERAL FLOOR PLAN NOTES:

- A. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, AND CENTER OF OPENINGS.
- B. INTERIOR DIMENSIONS ARE FINISH TO FINISH.
- C. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS SEPARATING DWELLING UNITS FROM ALL OTHER SPACES.
- D. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.
- E. UNLESS OTHERWISE NOTED THE HINGE SIDE OF DOOR JAMBS SHALL BE SET 4" FROM ADJACENT WALLS
- F. THE G.C. SHALL COORDINATE LOCATION OF ALL BLOCKING AS REQUIRED IN THE ACCESSIBILITY AND ADAPTABILITY GENERAL NOTES.

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS
PER IRC R314.3

- SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS:
- IN EACH SLEEPING ROOM
 - OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONAL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS
- EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE THE DU CONTAINS A FUEL-FIRED APPLIANCE THE DU HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE UNIT

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BOSTON REDEVELOPMENT AUTHORITY

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10/18/2022

MEANS OF EGRESS - BASEMENT

WINDOW WELLS
PER IRC R310.22.3

- HORIZONTAL AREA 9 SF MIN.
- HORIZ. PROJECTION AND WIDTH 36" MIN. CLEAR
- THE AREA OF THE WINDOW WELL MUST ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
- WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44" MUST BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER USEABLE WITH THE WINDOW IN THE FULLY OPEN POSITION
- LADDERS OR RUNGS INSIDE WIDTH 12" MIN
- LADDER OR RUNGS PROJECTION 3" MIN. FROM WALL
- LADDER OR RUNGS SPACING 18" O.C. FOR FULL HEIGHT

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1	REV 1	9.19.22



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NEEDHAM, MA 02494

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BASEMENT, FIRST AND SECOND FLOOR PLANS
project
21 ALVESTON STREET, JAMAICA PLAIN MA



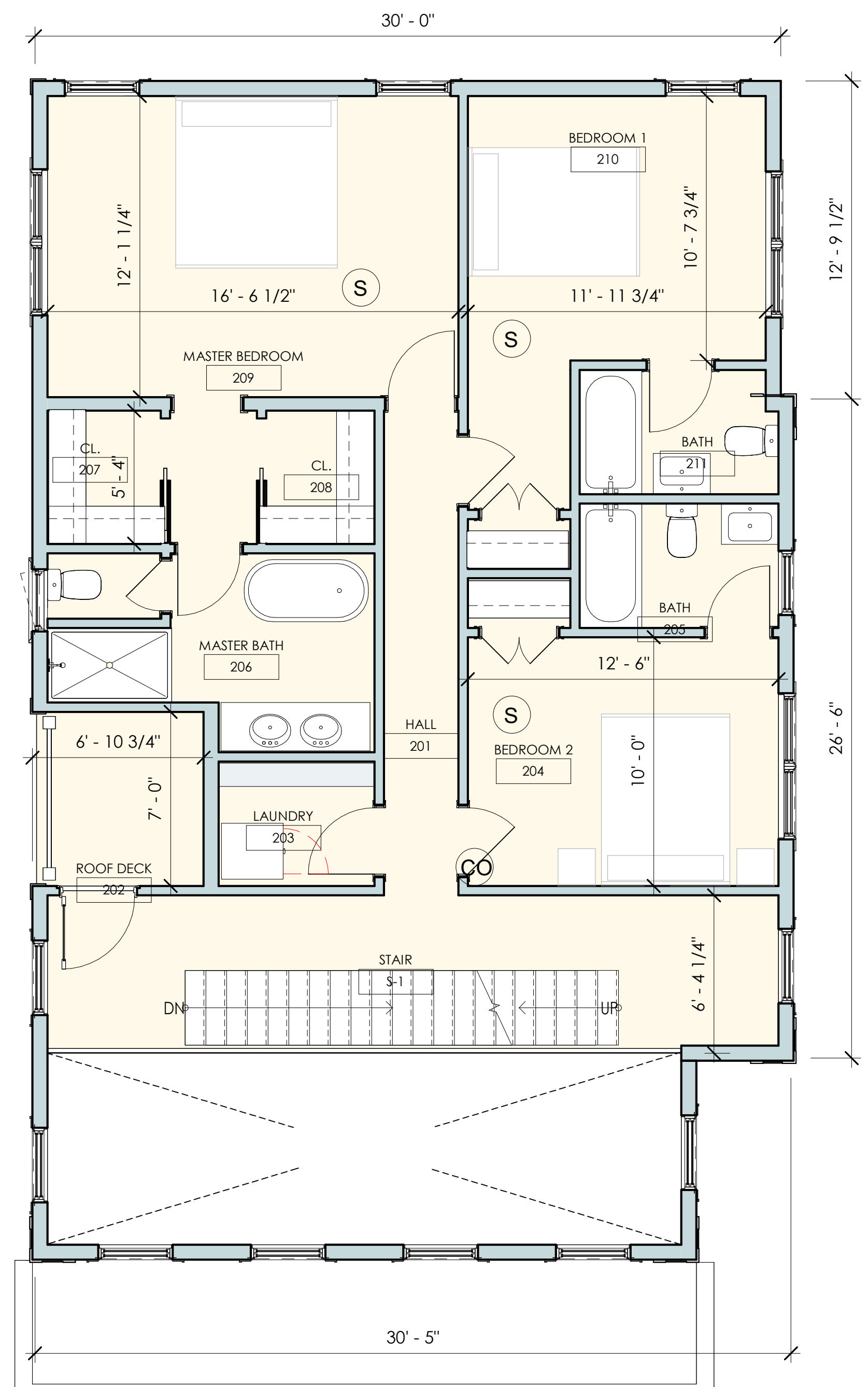
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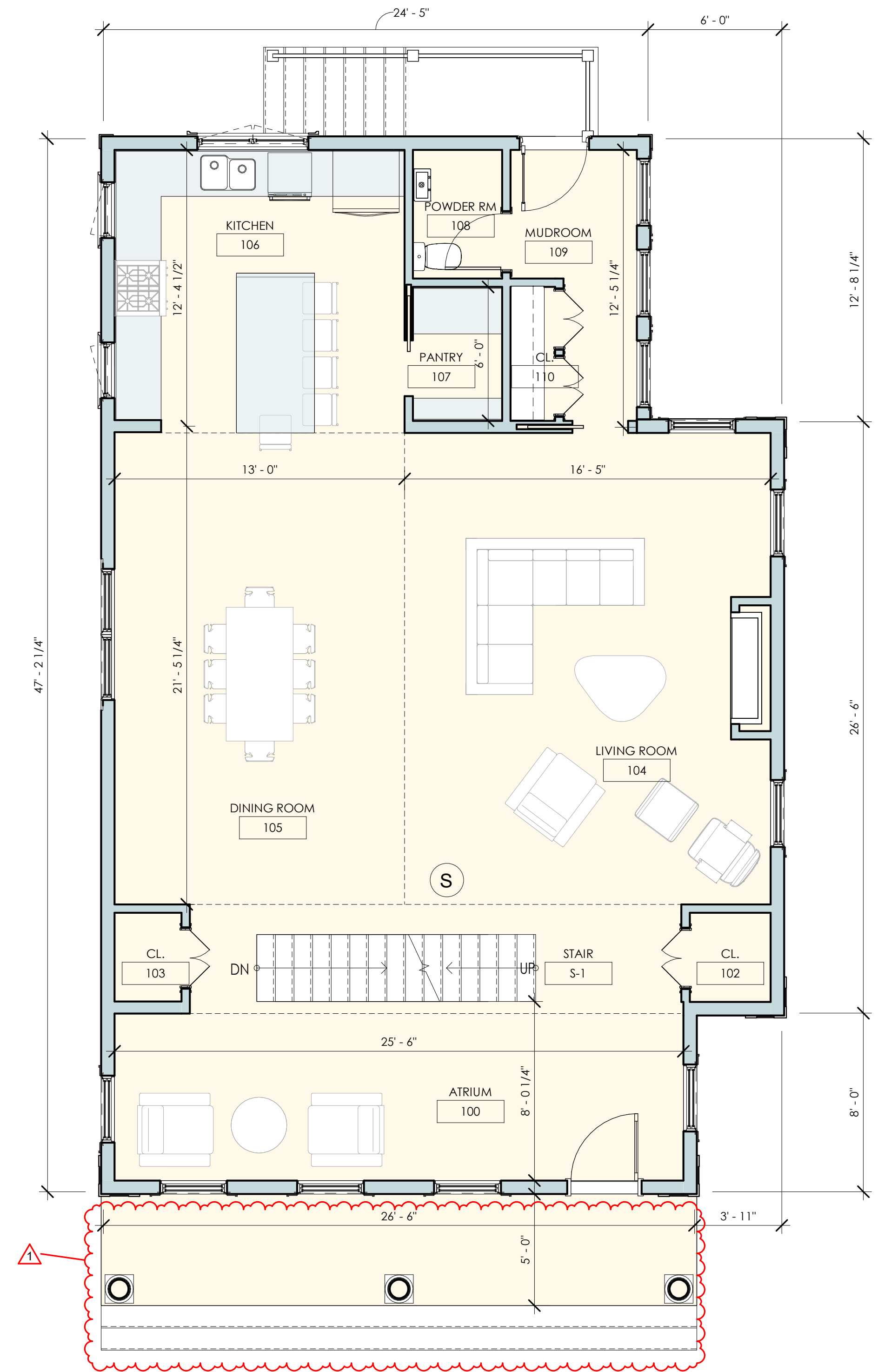
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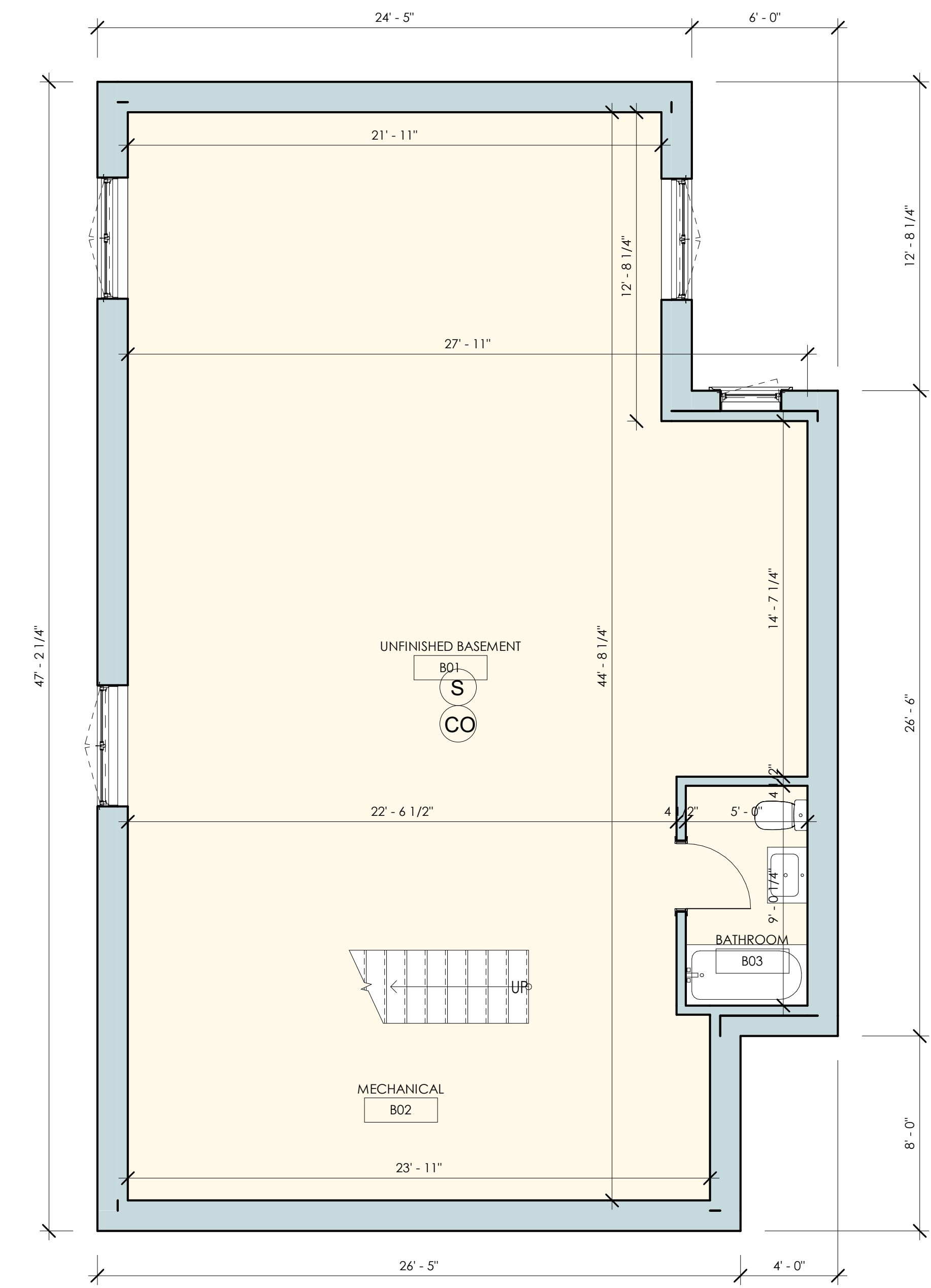
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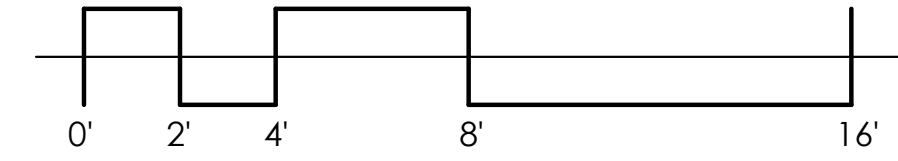
SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



BASEMENT FLOOR PLAN
1/4" = 1'-0"



MEANS OF EGRESS

EMERGENCY & RESCUE OPENINGS
PER IRC R310.2.1 - R310.2.2

NET CLEAR OPENING (NCO) AREA 5.7 SF MIN.
EXCEPTIONS PER MA CODE 781 CMR
GRADE OR BELOW NCO 5.0 SF MIN
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EGRESS DOORS

PER IRC R311.2; R311.3

NUMBER OF EGRESS DOORS REQ. 1 MIN. PER UNIT

DOOR STYLE SIDE HINGED
CLEAR WIDTH 32" MIN. MEASURED BETWEEN FACE OF THE DOOR AND STOP WITH THE DOOR OPEN 90 DEG.

CLEAR HEIGHT 6'-6" (72") MIN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOT. OF THE STOP

DOOR HEIGHT 6'-8" OPERATION MUST BE ABLE TO BE OPENED FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

LANDINGS 36" CLEAR MIN. ON EACH SIDE OF EXTERIOR DOOR

GENERAL FLOOR PLAN NOTES:

- A. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD, AND CENTER OF OPENINGS.
- B. INTERIOR DIMENSIONS ARE FINISH TO FINISH.
- C. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL WALLS SEPARATING DWELLING UNITS FROM ALL OTHER SPACES.
- D. INSTALL 3-1/2" SOUND ATTENUATION BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.
- E. UNLESS OTHERWISE NOTED THE HINGE SIDE OF DOOR JAMBS SHALL BE SET 4" FROM ADJACENT WALLS
- F. THE G.C. SHALL COORDINATE LOCATION OF ALL BLOCKING AS REQUIRED IN THE ACCESSIBILITY AND ADAPTABILITY GENERAL NOTES.

ENERGY CODE - BUILDING ENVELOPE REQ.

MA AMENDMENTS 780 CMR 51.00 APPENDIX AA104 FOR ALTERATIONS, RENOVATIONS ADDITIONS OR REPAIRS OF EXISTING BUILDINGS 780 CMR 13.00 ENERGY EFFICIENCY TO BE USED AS BASE CODE

CAMBRIDGE MA IS LOCATED IN CLIMATE ZONE 5 PER N110.1.7

INSULATION REQ. BY COMPONENT
IRC TABLE 01102.1.2 (R402.1.2)

FENESTRATION	U-0.30 MAX.
SKYLIGHT	U-0.55 MAX.
CEILING	R-49 MIN.
WOOD FRAME WALL	R-20 MIN.
MASS WALL	R-13 MIN.
FLOOR	R-30 MIN.
BASEMENT WALL	R-19 MIN. CAVITY INSUL.
SLAB	R-10 / 2" DEEP MIN.
CRAWL SPACE	R-19 MIN. CAVITY INSUL.

CITY MAY REQUIRE HERS RATING ANALYSIS AS PART OF THE BUILDING PERMIT

SMOKE AND CARBON MONOXIDE DETECTORS

S SMOKE ALARM LOCATIONS
PER IRC R314.3

SMOKE ALARMS MUST BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
 - OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONAL STORY OF THE DWELLING UNIT INCLUDING BASEMENTS AND HABITABLE ATTICS
- EXCEPTION: CRAWL SPACES + UNINHABITABLE ATTICS

CO COMBO SMOKE/CARBON MONOXIDE
PER IRC R315

APPROVED CARBON MONOXIDE ALARM MUST BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS

CO DETECTORS REQUIRED IN DWELLING UNITS (DU) WHERE THE DU CONTAINS A FUEL-FIRED APPLIANCE THE DU HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE UNIT

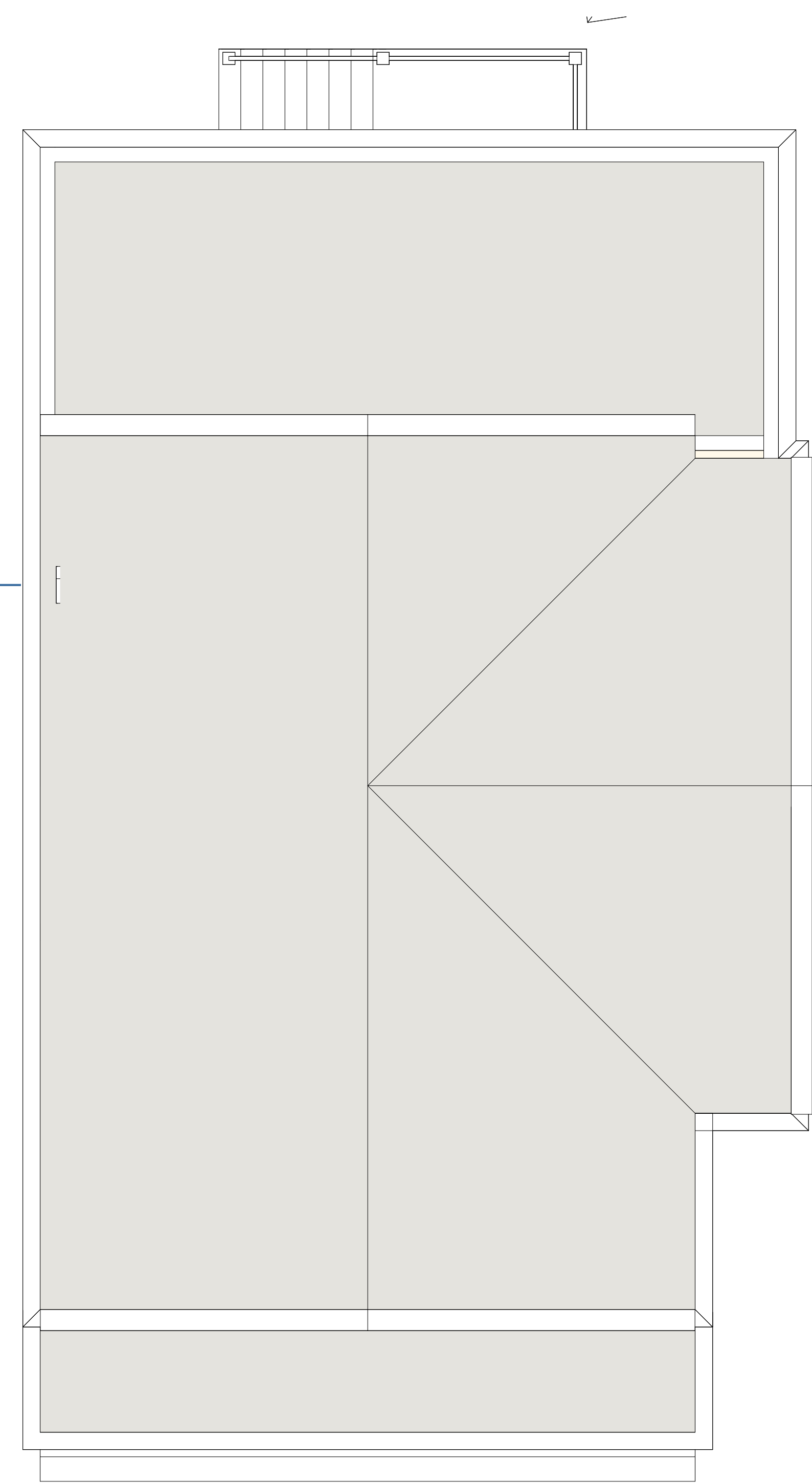
APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

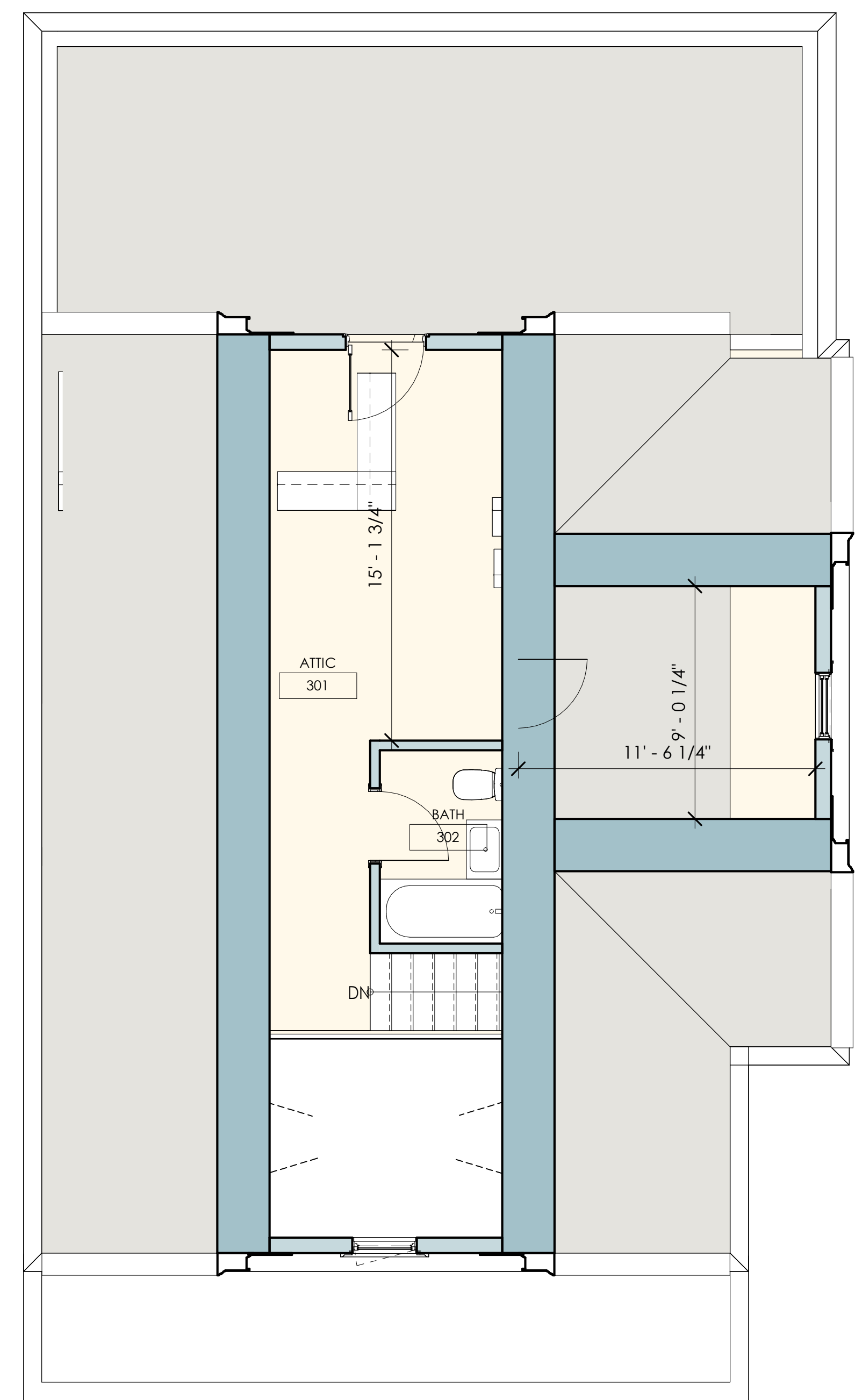
Design Review for the Board of Appeal

M. Cannizzo
Signature

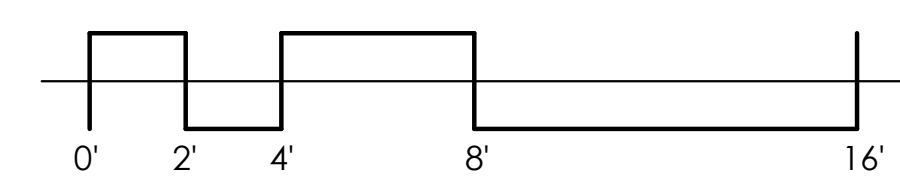
10/18/2022



ROOF PLAN
1/4" = 1'-0"



THIRD FLOOR PLAN
1/4" = 1'-0"



No.	Descrip.	Date



client
ADCO Development
300 1st AVENUE
NEEDHAM, MA 02494

file
THIRD FLOOR AND ROOF PLANS

project
21 ALVESTON STREET, JAMAICA PLAIN MA



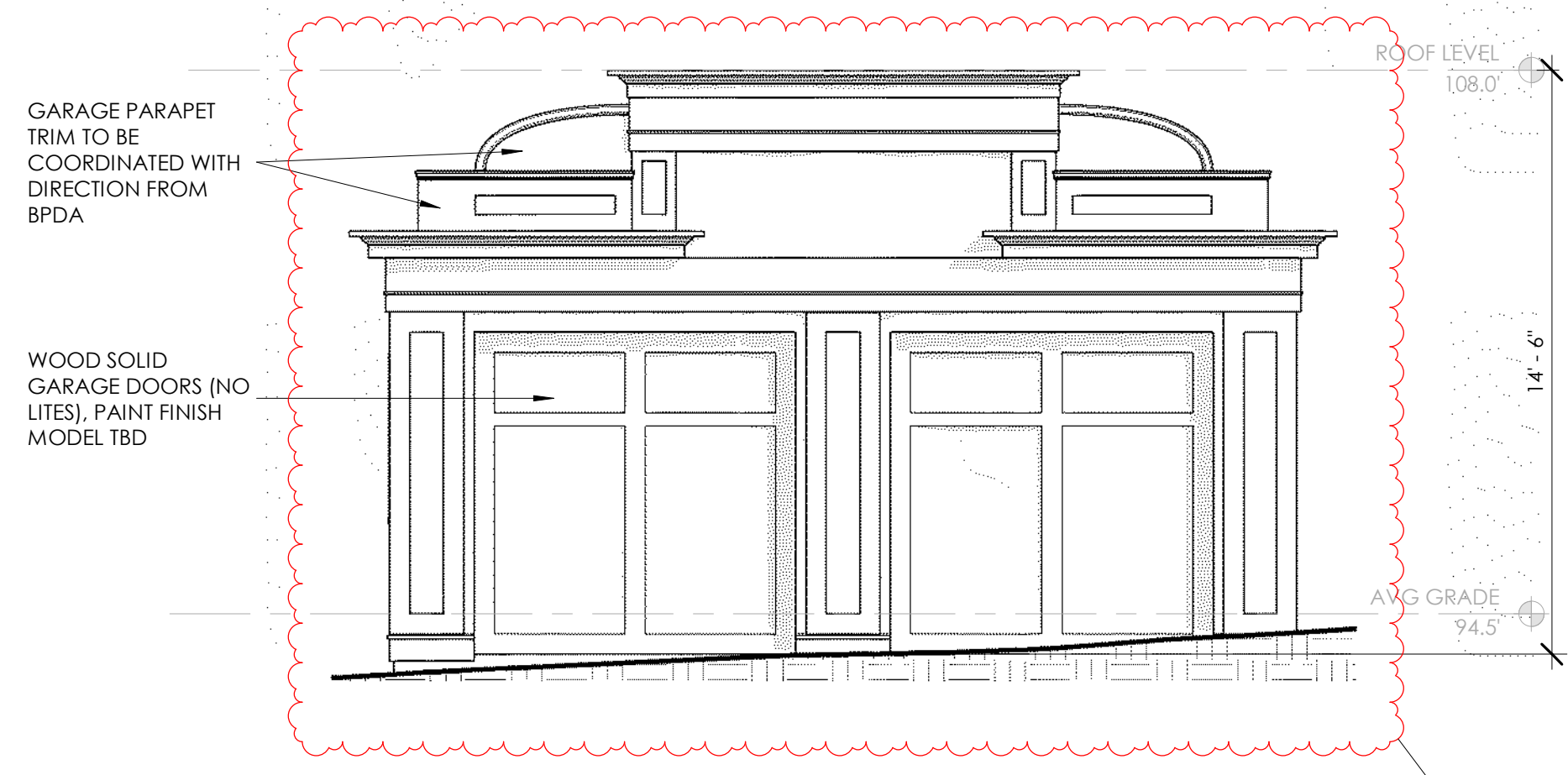
job number 21-023

scale 1/4" = 1'-0"

issue date 03.14.22

PERMIT SET REVISED 10.11.22

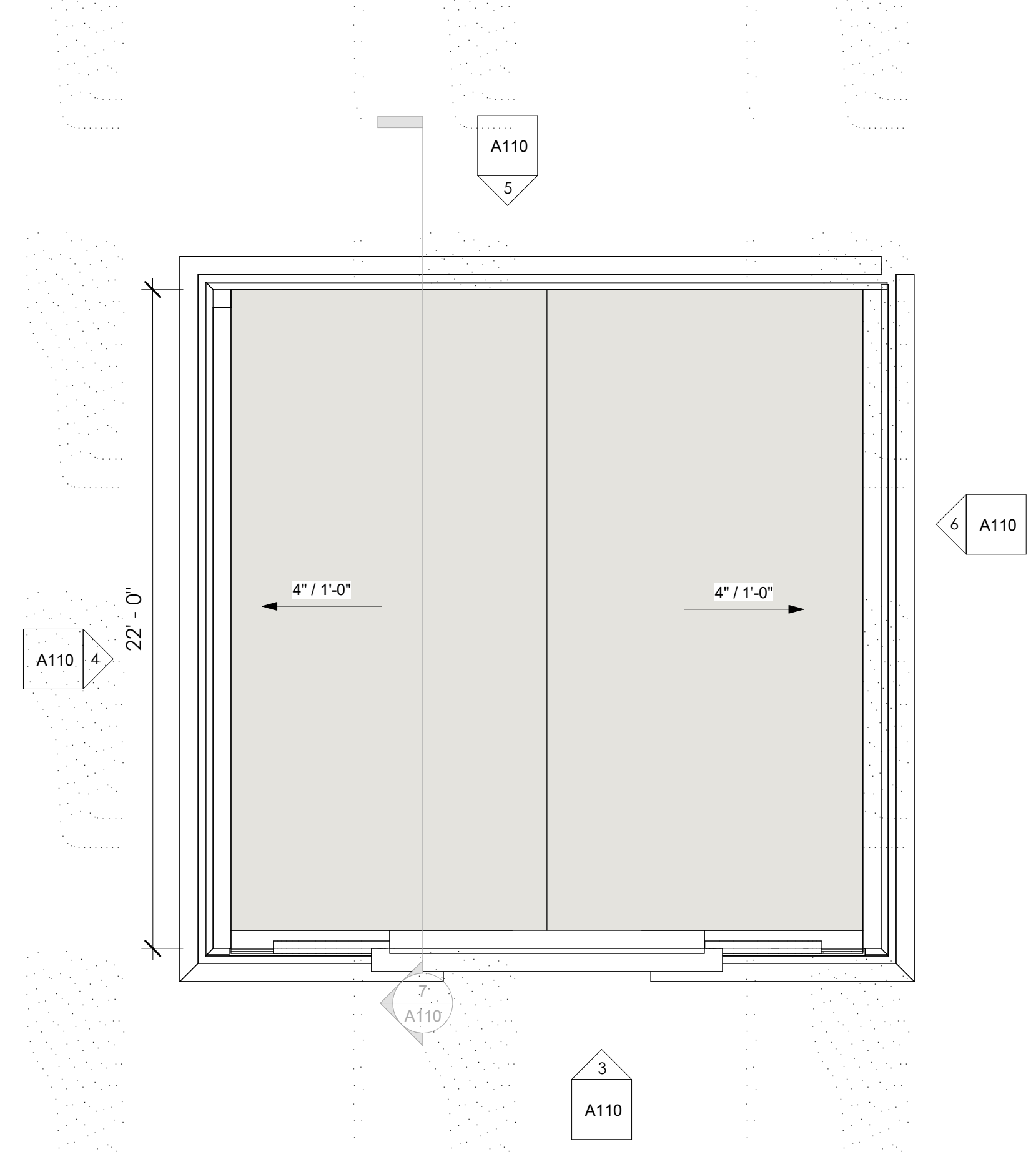
Sheet no.
A101



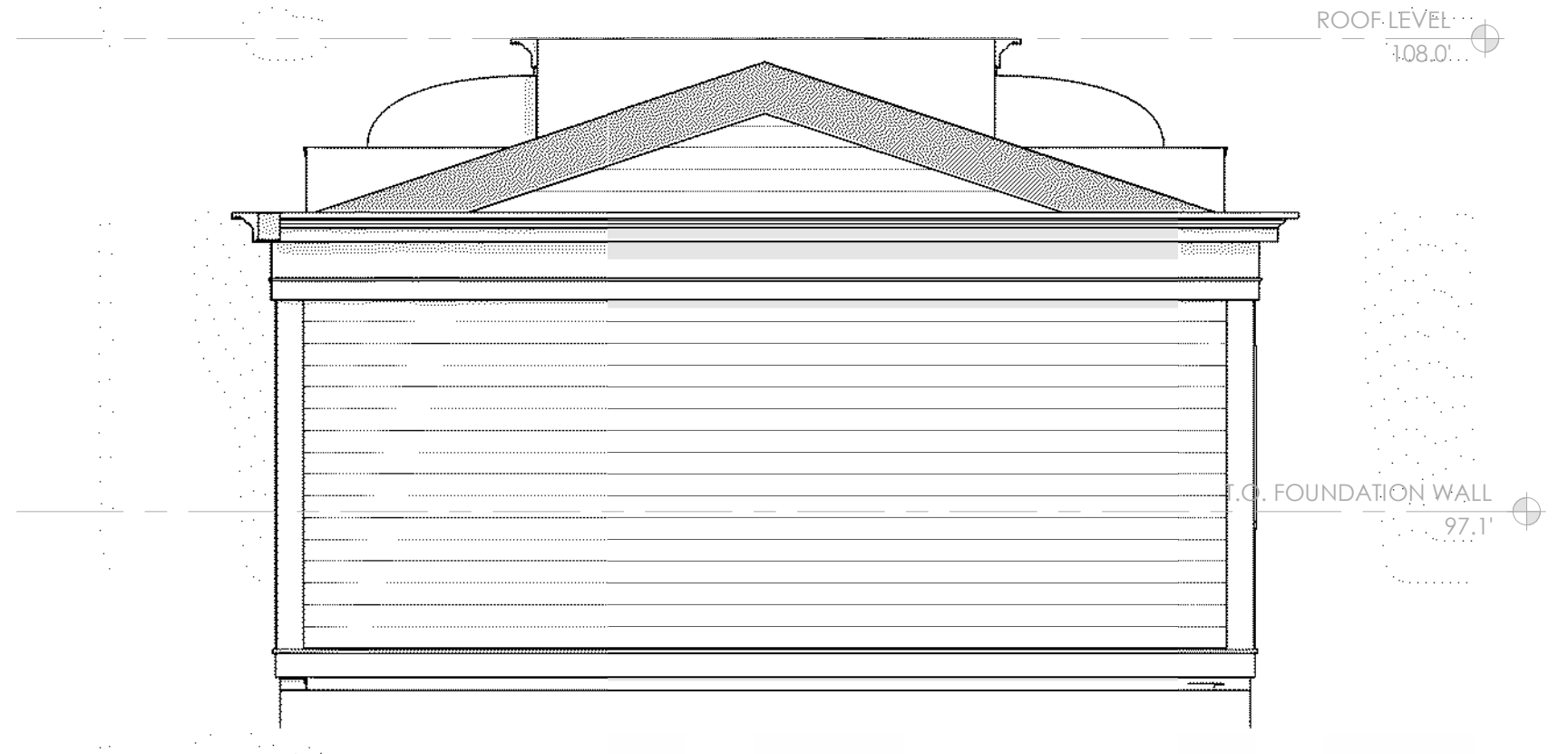
3 PROPOSED FRONT GARAGE ELEVATION
1/4" = 1'-0"



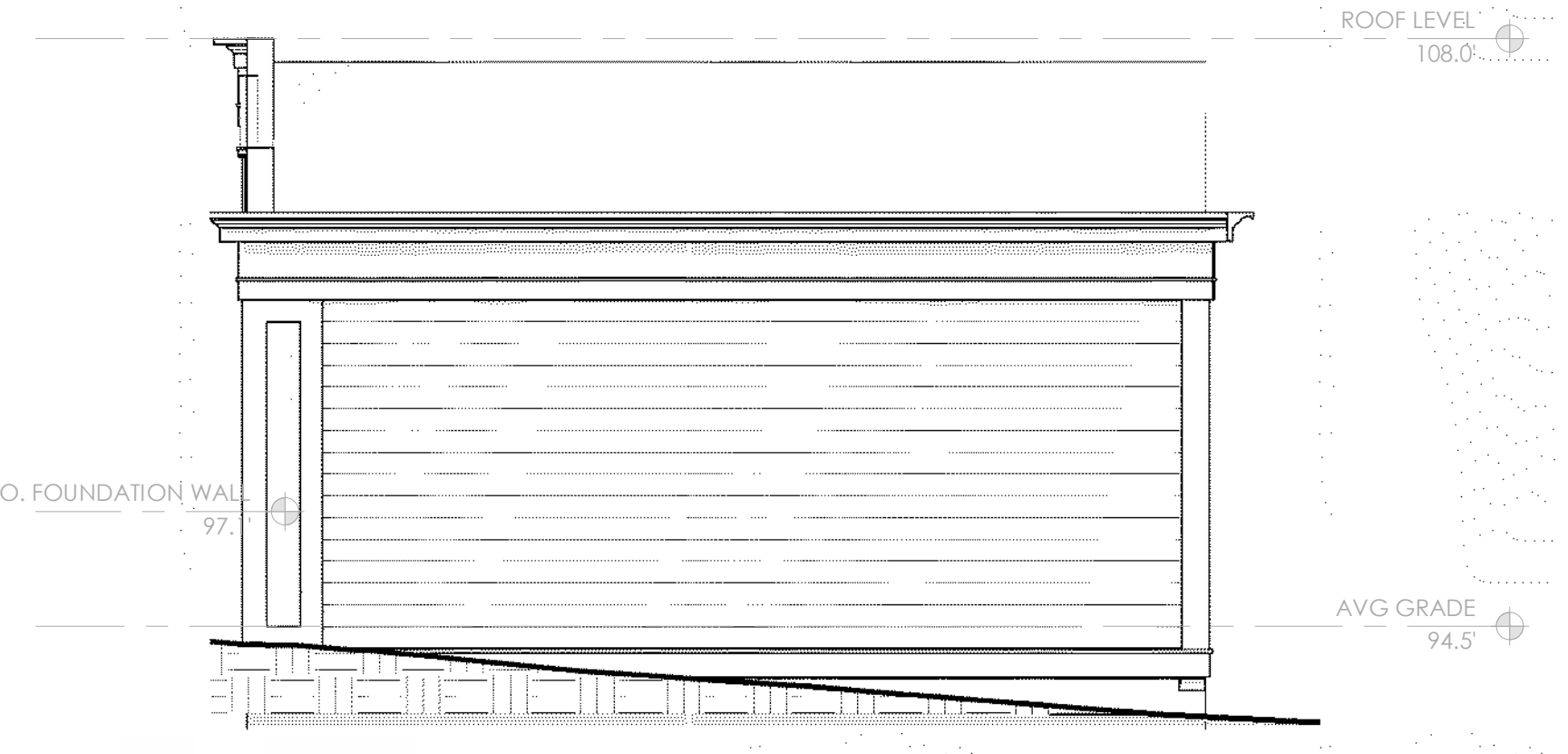
4 PROPOSED LEFT GARAGE ELEVATION
1/4" = 1'-0"



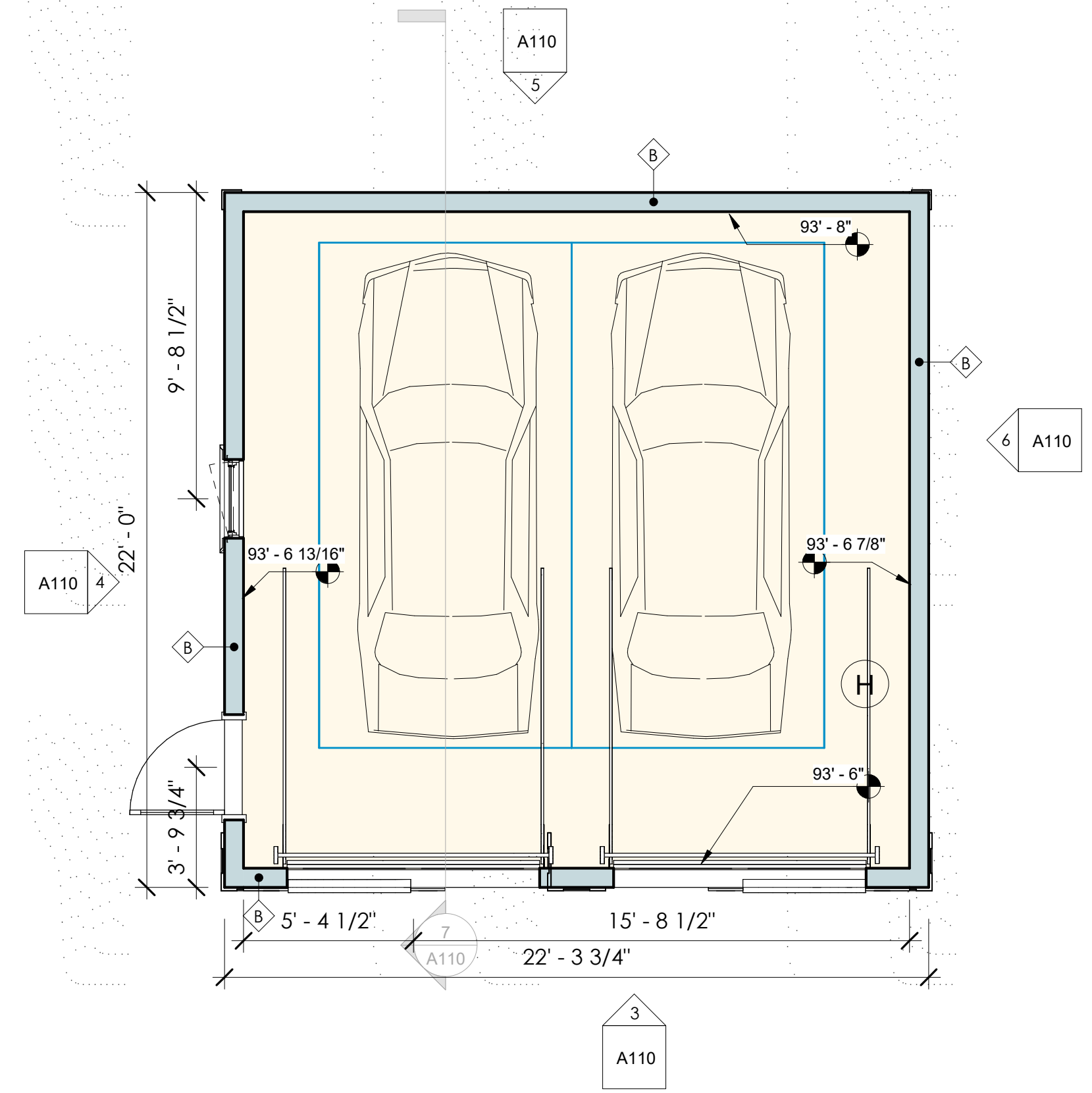
2 GARAGE ROOF
1/4" = 1'-0"



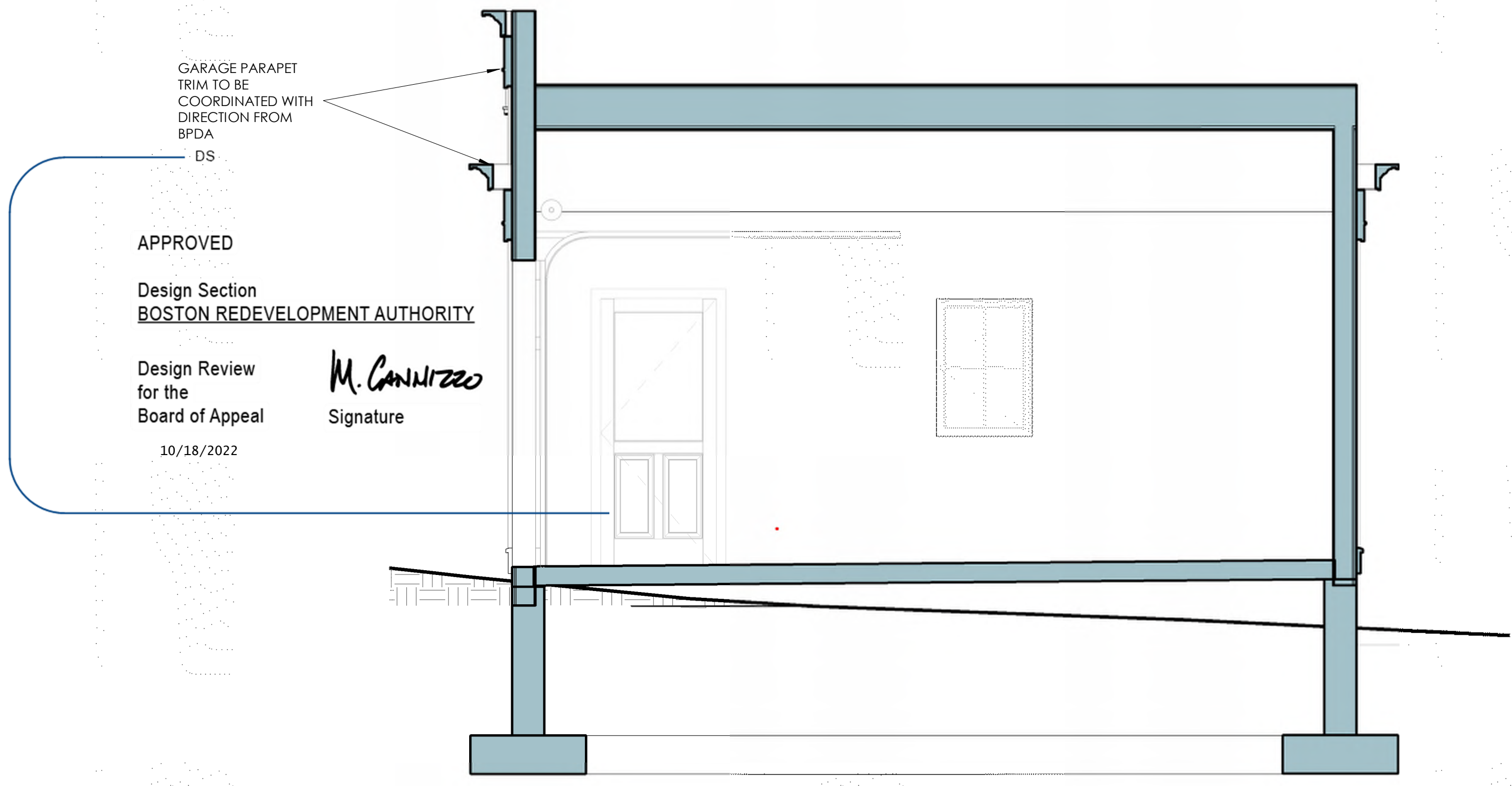
5 PROPOSED REAR GARAGE ELEVATION
1/4" = 1'-0"



6 PROPOSED RIGHT GARAGE ELEVATION
1/4" = 1'-0"



1 GARAGE PLAN
1/4" = 1'-0"



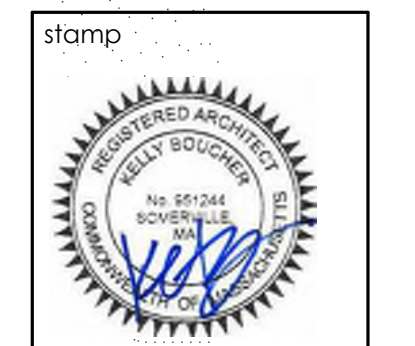
7 SECTION THROUGH GARAGE DOOR
3/8" = 1'-0"

APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal
10/18/2022

M. Cannizzo
Signature

No.	Descrip.	Date
2	REV 2	9.27.22



client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

title
GARAGE PLAN AND ELEVATION
project
21 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale As indicated

issue date 03.14.22

PERMIT SET REVISED 10.11.22

Sheet no.
A110

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BOSTON REDEVELOPMENT AUTHORITY
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Signature *M. Cannizzo*

10/18/2022



PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



PROPOSED REAR ELEVATION
1/4" = 1'-0"

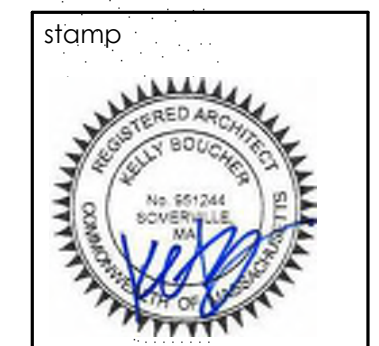


PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



PROPOSED FRONT ELEVATION
1/4" = 1'-0"

No.	Descrip.	Date



client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

title **BUILDING ELEVATIONS**
project **21 ALVESTON STREET, JAMAICA PLAIN MA**



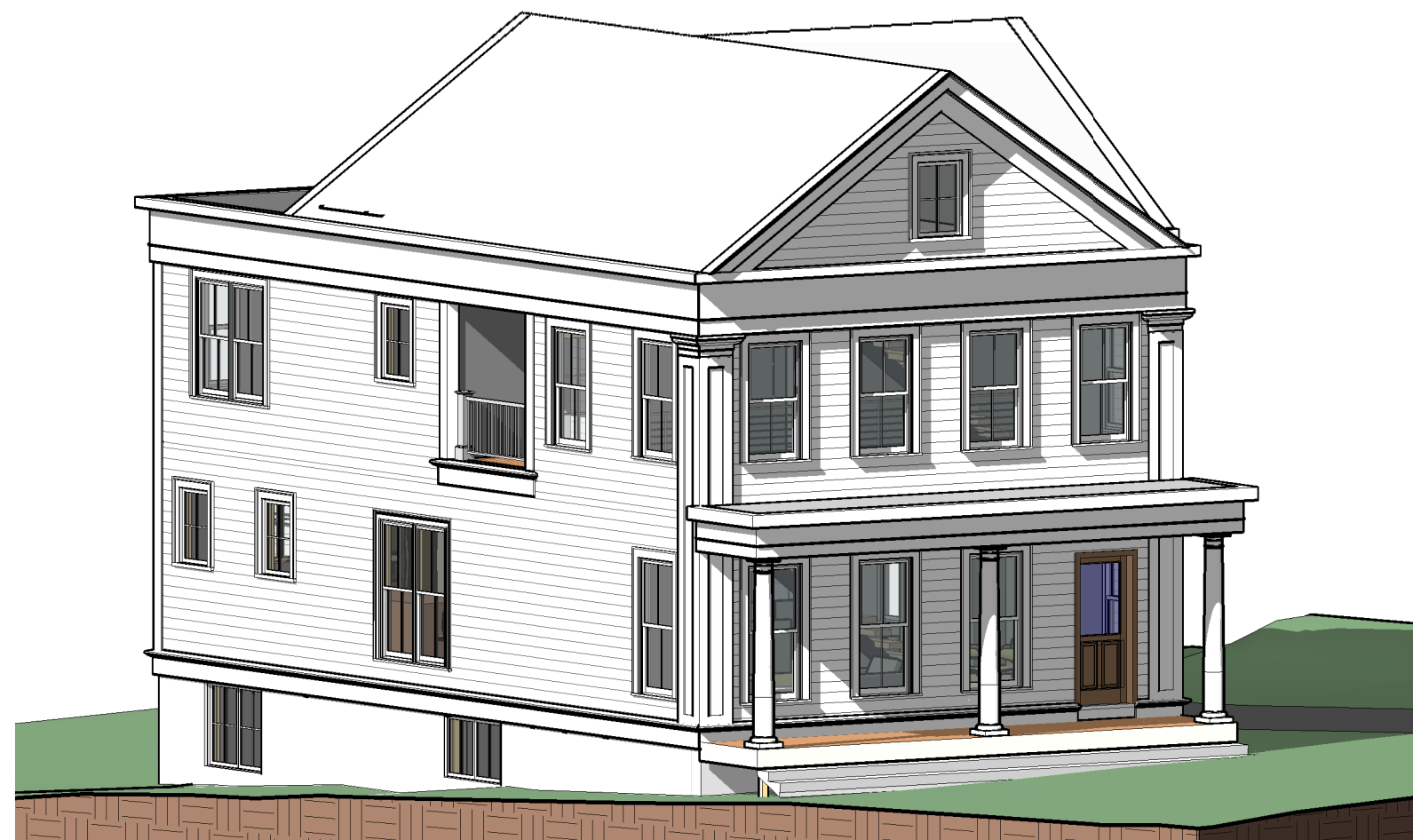
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scale 1/4" = 1'-0"
issue date 03.14.22
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Sheet no.
A201

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3D VIEW 1



3D VIEW 2



DS
VIEW FROM ALVESTON

APPROVED

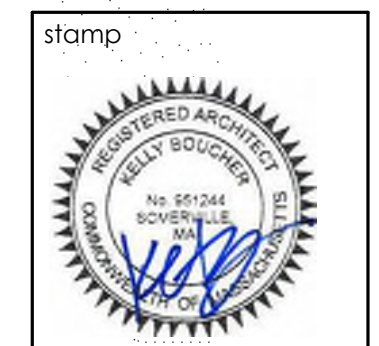
Design Section
BOSTON REDEVELOPMENT AUTHORITY

Design Review
for the
Board of Appeal

10/18/2022

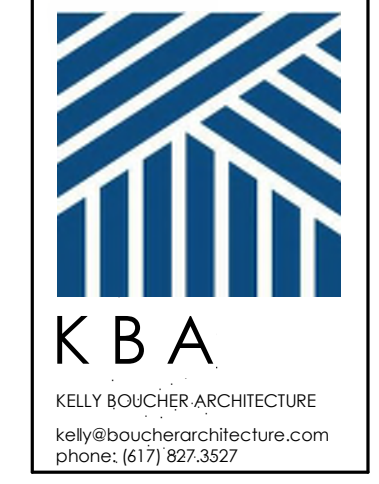
M. Conitzer
Signature

No.	Descrip.	Date



client
ADCO
Development
300 1st AVENUE
NEEDHAM, MA 02494

file 3D VIEWS
project 21 ALVESTON STREET, JAMAICA PLAIN MA



job number 21-023

scale

issue date 03.14.22
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10.11.22

Sheet no.
A210

No.	Descrip.	Date



client
ADCO Development
 300 1st AVENUE
 NEEDHAM, MA 02494

file **BUILDING SECTION**
 project **21 ALVESTON STREET, JAMAICA PLAIN MA**



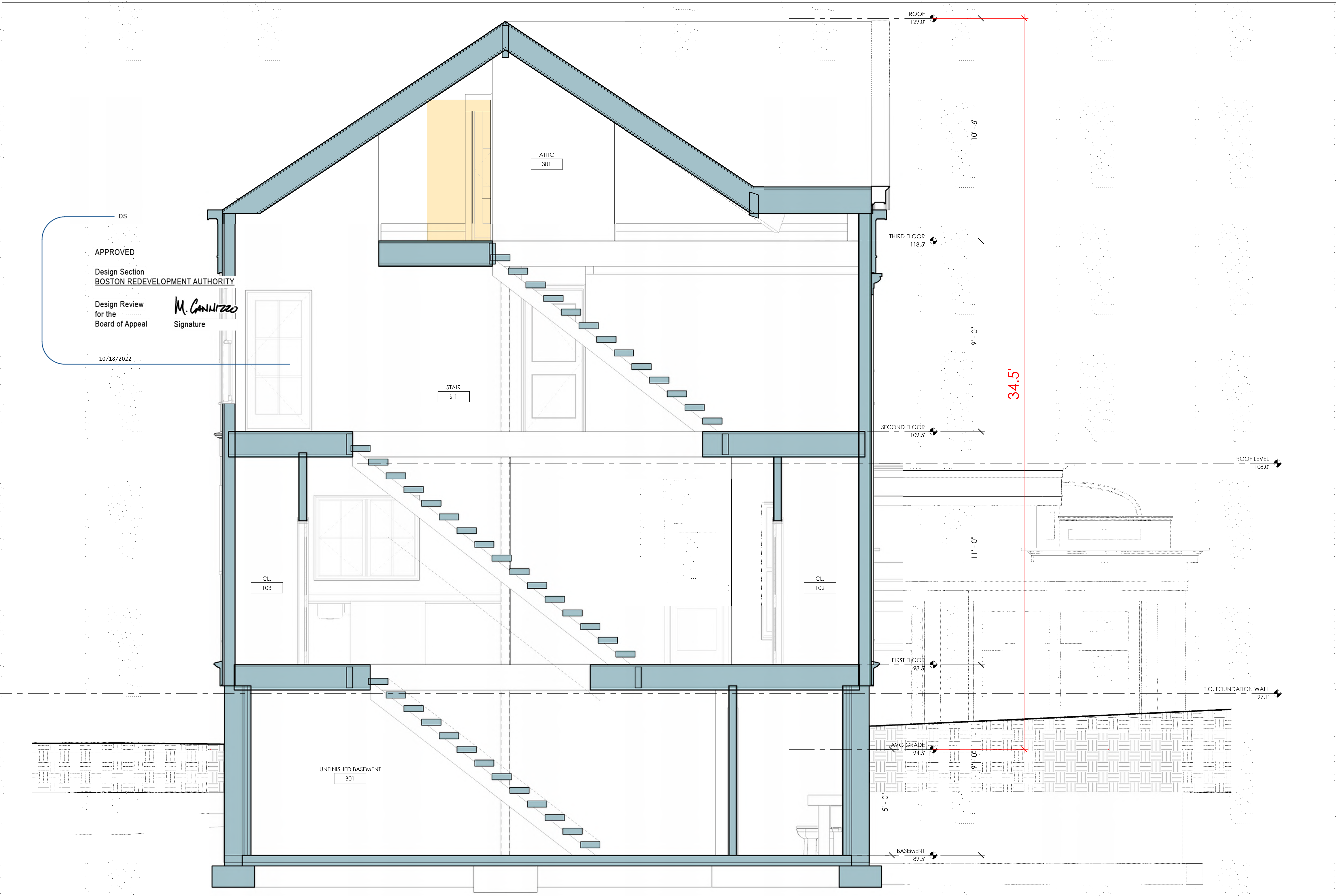
job number 21-023

scale 1/2" = 1'-0"

issue date 03.14.22

PERMIT SET REVISED 10.11.22

Sheet no.
A301



1 STAIR SECTION
 1/2" = 1'-0"

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