

**BPDA Design Review Provisos**  
**71 Perrin Street, Roxbury**  
**April 23, 2024**

**General**

1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency (“BPDA”) for review and approval.
2. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the BPDA.
3. All site improvements, including but not limited to hardscape and plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the BPDA for a delay in completing the site improvements.

**Landscape/Street/Site**

4. All new trees shall have a minimum caliper of 3-inch caliper.
5. Existing trees on the parcel shall be prioritized for preservation when considering lot coverage and building footprint. Mature, healthy and native trees of 6” caliper and above are particularly significant and should be protected to the greatest extent possible. Where impacts are unavoidable and trees must be removed, trees shall be mitigated as specified in the following:
  - a. Tree replacement shall be based on 1:1 ratio, based on caliper size of removed trees.
  - b. Replacement trees are to be planted in landscaped areas within the project site, or off-site in the near vicinity (in open pits or other available areas in the general location of the project), with approval by the City.
  - c. The Proponent shall be responsible for installation of trees, and maintenance of newly planted trees for at least 24 months after the date of Final Inspection, or issuance of a Certificate of Occupancy.
6. Existing street trees within the public right of way are to be protected and retained. Building, building protrusions, and construction shall not negatively impact the existing street tree, critical root zone, nor impede the healthy growth of the tree’s canopy.
  - a. Where impacts are unavoidable and public street trees must be removed, the proponent must apply for tree removal approval from the City’s Tree Warden and provide mitigation as specified by the Parks and Recreation Department.

7. Fences shall be of high-quality material; wood or metal is preferred. Chain link fencing is not preferred, especially in front yards; if chain-link is used, it must be vinyl-coated chain link in combination with landscaping. Fences shall not be higher than 6'-0" without ZBA approval. Fences of 6'-0" height are only allowed for rear yards. Front yard fences should not be taller than 42" (3'-6").
8. Screening and buffering shall be provided along the side yards to ensure privacy for you and your neighbors. The planting buffer should contain a mix of deciduous and evergreen trees and shrubs. The use of bulbs, perennials, and annuals are encouraged. A minimum five (5) foot wide buffer is encouraged.
9. Parking shall be located in the rear, as such that it is not visible from the public realm, wherever possible. Parking shall not be located in the front yard. Screening and buffering shall be provided between parking and the public right of way, and from your neighbors if space allows. A minimum five (5) foot wide buffer is encouraged. Parking shall not be partially covered by the building; it should be wholly within the footprint of the building and screened or entirely outside the building footprint.
10. Curb-cuts should be limited to 10ft wide for residential projects, and 20ft wide for commercial projects. The pedestrian sidewalk must be continuous over the access driveway.
11. Driveway widths should be limited to 10ft wide. If necessary, driveways may taper from curb-cut dimension to the width of the garage opening.
12. Permeable surfaces are encouraged on site; use permeable paving for any necessary paved surfaces and increase the vegetative cover as much as possible through the inclusion of ground-level plantings, green roofs, and porous surfaces. Project sites located in a Groundwater Conservation Overlay District (GCOD) are strongly encouraged to maximize permeable surfaces on their site.
13. Public sidewalks fronting the project site should be upgraded to meet the Americans with Disabilities Act (ADA) minimum 4' wide clear path of travel (exclusive of the 6" curb).
14. Projects are encouraged to provide usable open space for its residents. Open space at the ground level is encouraged to contribute to an active and engaging public realm, such as at-grade courtyards or garden spaces. Balconies, terraces, accessible rooftops, green roofs, and other means of providing above-grade amenities are also encouraged.

### **Building**

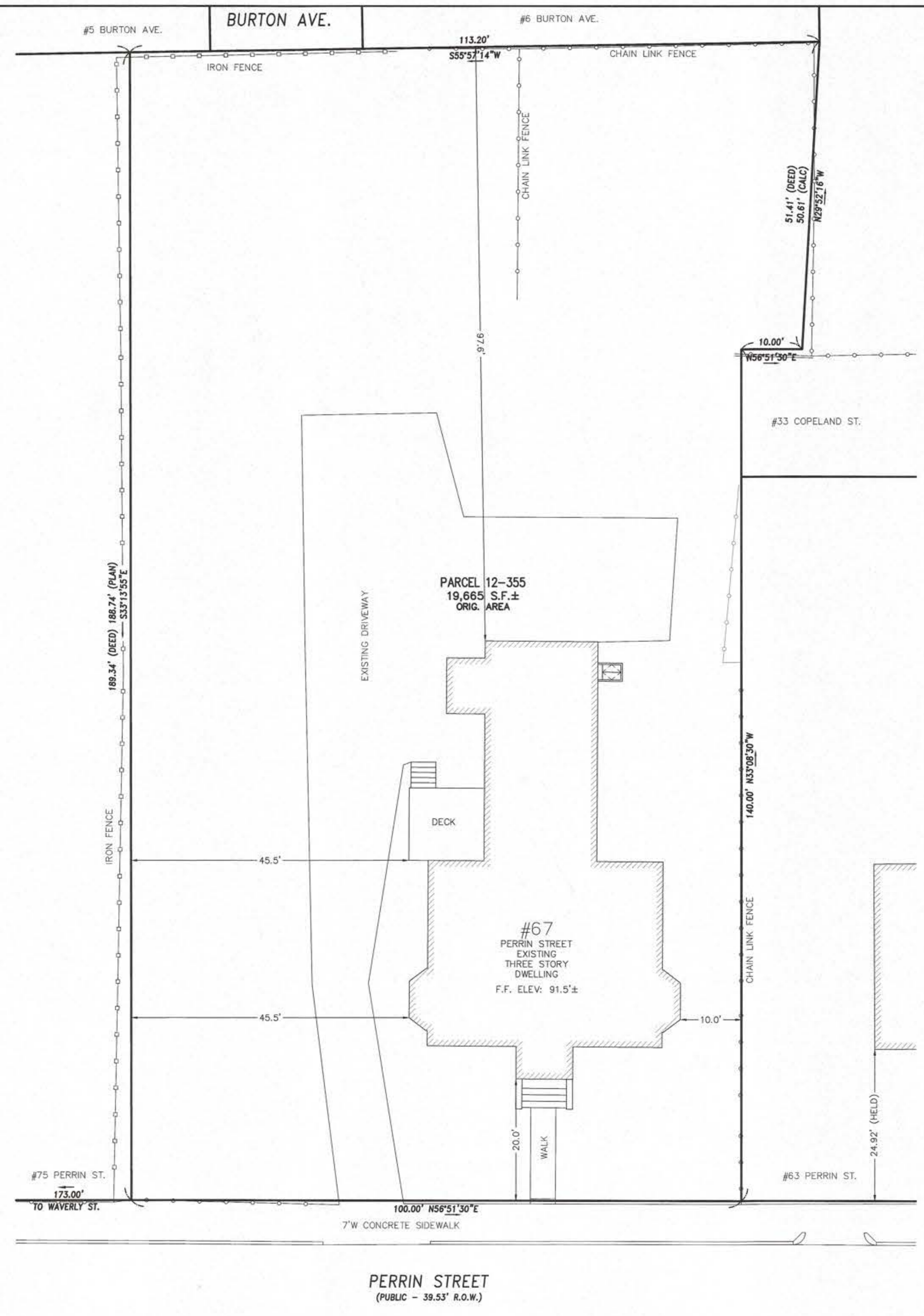
15. Stucco: Stucco must be a traditional hard-coat stucco exterior system. An Exterior Insulation and Finish System (EIFS) is not approved.
16. Siding: No vinyl or aluminum siding will be allowed. Clapboards shall be wood or fiber-cement. Shingles shall be wood or fiber-cement. All trim (corner boards, door/window

casings, soffit/fascia trim, skirt boards, frieze boards, etc.) shall be wood or fiber cement with a painted finish.

17. Windows: Windows should be wood or wood clad in another material, such as aluminum, fiberglass, or vinyl. All vinyl windows will not be allowed. All windows shall have exterior muntins and half screens.
18. All front porches and the rear porches shall have wood (fir, mahogany, redwood, etc.) square edge decking, select painted pine trim at exposed stringers, skirt boards, platform trim, stair risers, column trim, painted fir top and bottom rails and balusters. Porch ceilings shall be bead board and all stairs shall have closed risers. All lattice shall have a painted finish. Pressure treated lumber shall be covered and shielded from the public views on the site. Composite materials can be considered for porches.
19. Pressure treated lumber will not be allowed as an externally visible material for exterior decking. All pressure treated wood exposed to public views on the site shall be covered and shielded from view. Use of PVC, composite, and/or natural wood materials is acceptable.

### **Mechanical**

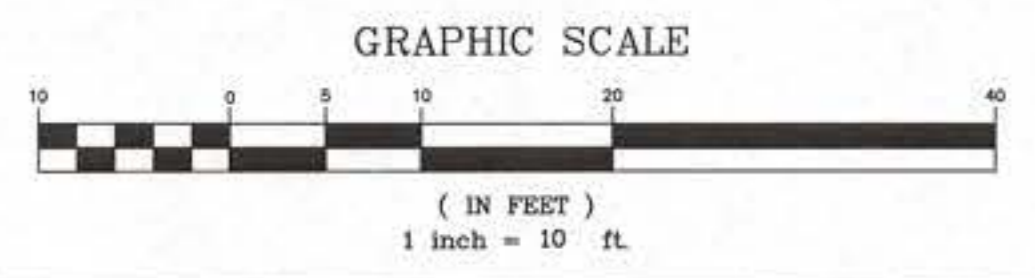
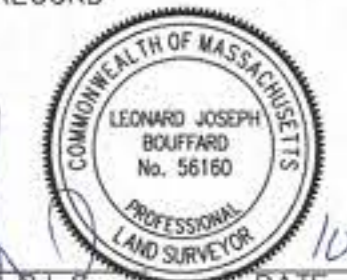
20. The final location of the HVAC compressors, gas meters, electric meters, generators, switchgear, and transformers shall be adequately screened from public view and will not be allowed in the front yard.
21. All mechanical vents shall be through the roof or rear wall and shall not be visible from the public street. Vents located on elevations that do not directly face a public way should be composed on the facade so as to minimize their appearance.



REFERENCES:  
 DEED: BOOK 7858 PAGE 452  
 PARCEL ID: 1200355000  
 PLAN:  
 PLAN IN BOOK 8147 PAGE 716  
 LAND COURT PLAN 9513A  
 LAND COURT PLAN 13240A  
 CITY OF BOSTON SURVEY DEPT.  
 NB 1213 PAGES 128-129  
 NB 538 PAGES 137-139  
 NB 1442 PAGES 92-111

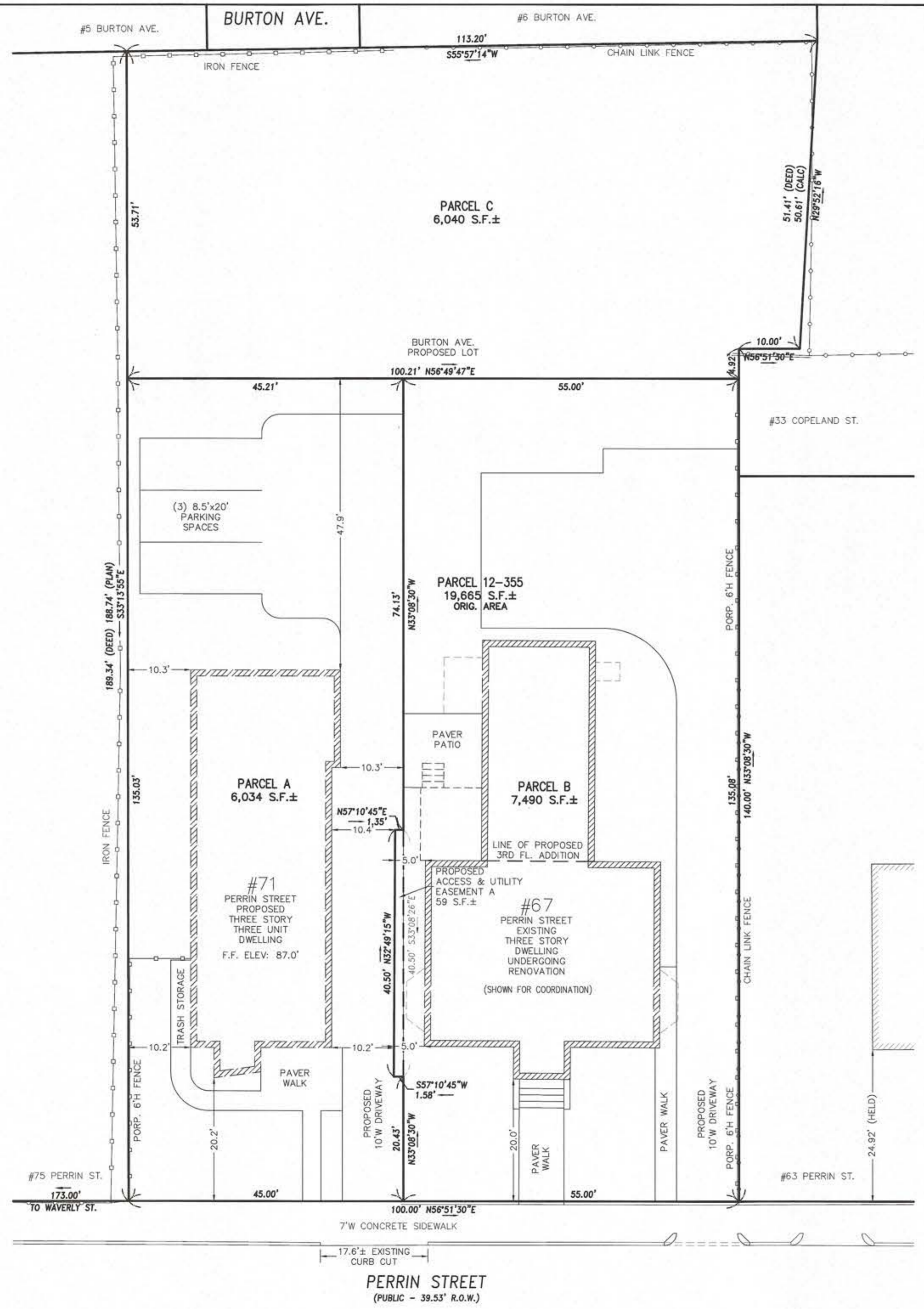
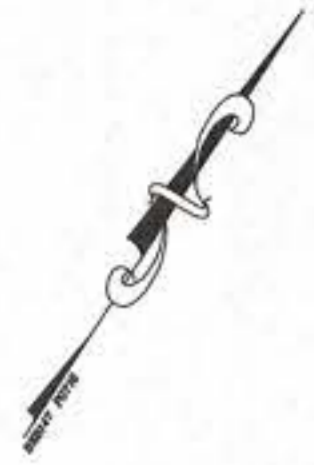
I HEREBY CERTIFY THAT THE DWELLING SHOWN HEREON AND SETBACKS HAVE BEEN DETERMINED FROM INSTRUMENT SURVEY AND PROPERTY LINES HAVE BEEN DETERMINED FROM DEEDS AND PLANS OF RECORD

*Leonard Joseph Bouffard*  
 LEONARD JOSEPH BOUFFARD, P.L.S. DATE 10-9-2023



EXISTING SITE PLAN  
 67 & 71 PERRIN STREET  
 ROXBURY, MA  
 FOR  
 LONGDEN REALTY, LLC  
 CIVIL ENVIRONMENTAL CONSULTANTS  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1	DATE: 10/9/2023 JOB: 4525
DRAWN BY: C.R.L.	



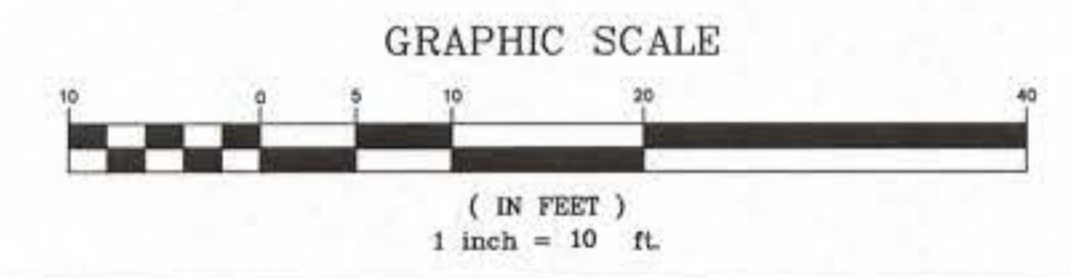
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 NB 1442 PAGES 92-111

DS  
 APPROVED  
 DESIGN REVIEW  
 BOSTON REDEVELOPMENT AUTHORITY  
 SIGNATURE *S. P.*  
 04/22/2024

Also see provisions attached

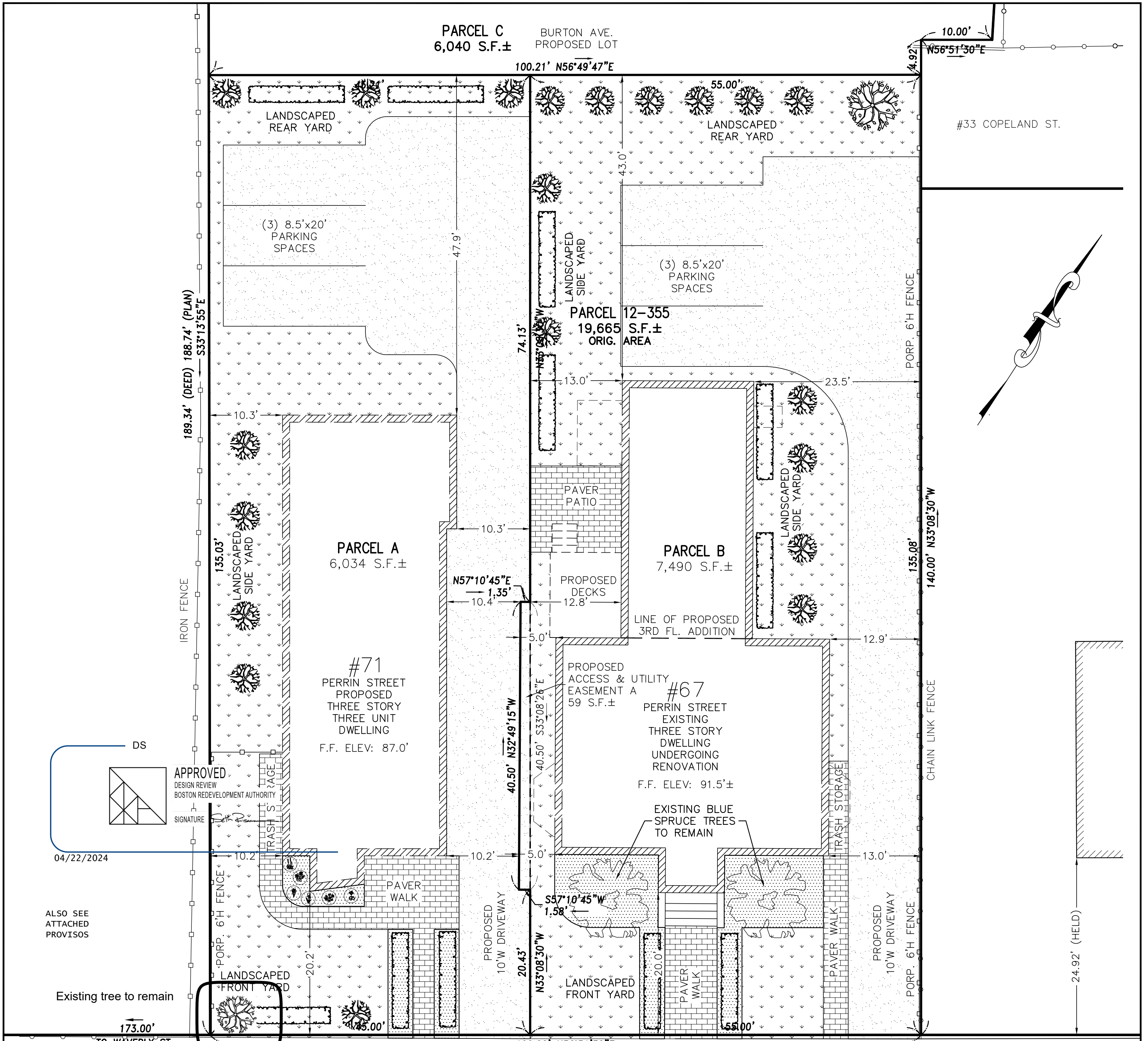
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*Leonard Joseph Bouffard*  
 LEONARD JOSEPH BOUFFARD, P.L.S. DATE 10-9-2023



PROPOSED SITE PLAN  
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 ROXBURY, MA  
 FOR  
 LONGDEN REALTY, LLC  
 CIVIL ENVIRONMENTAL CONSULTANTS  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

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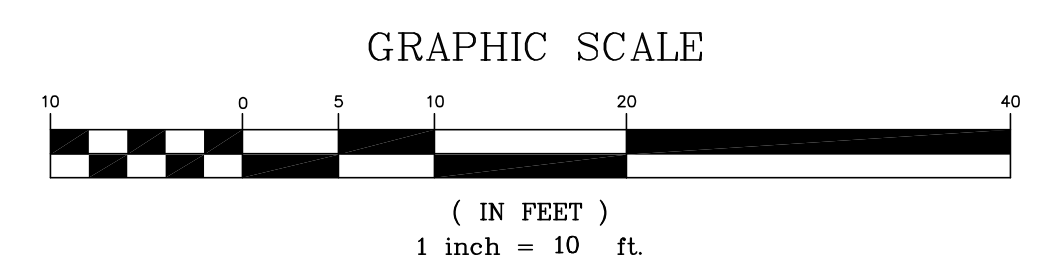
APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY  
SIGNATURE: [Signature]

04/22/2024

ALSO SEE  
ATTACHED  
PROVISOS

Existing tree to remain

PERRIN STREET  
(PUBLIC - 39.53' R.O.W.)



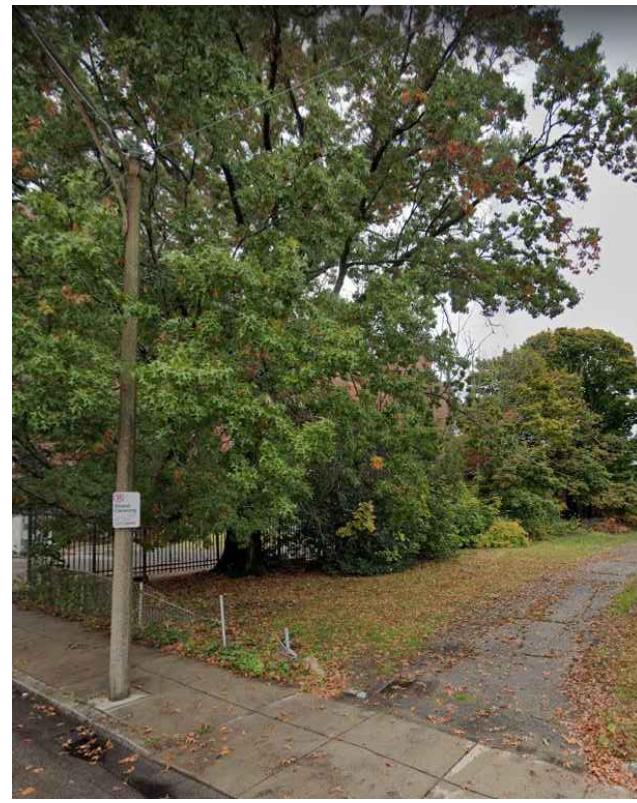
LEGEND

- (22) 2 1/2" CAL. PRUNUS SEROTINA (BLACK CHERRY)
- (1) 3" CAL. GLEDITSIA TRIACANTHOS (HONEYLOCUST)
- (12) MYRICA PENSYLVANICA ROWS (BAYBERRY SHRUB)
- VARIOUS FLOWERINGS, PERENNIAL & ANNUAL
- MULCHED PLANTING BED



LANDSCAPE PLAN  
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ROXBURY, MA  
FOR  
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8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: 1 OF 1	DATE: 1/17/2024 JOB: 4525
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Existing Photo

# 71 Perrin Street

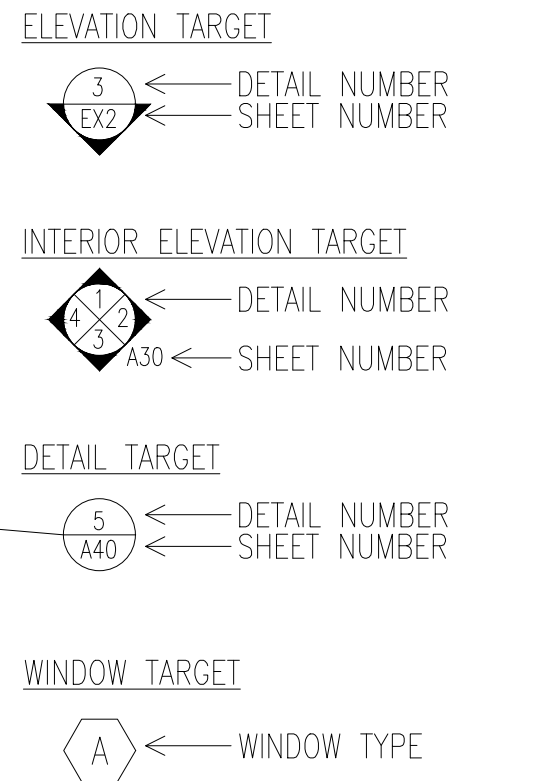
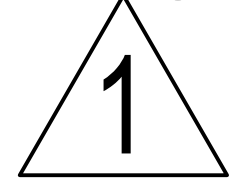
## Roxbury, Boston, Massachusetts

### Owner: Tim Longden - Issued for Permit Set: 08/04/2023

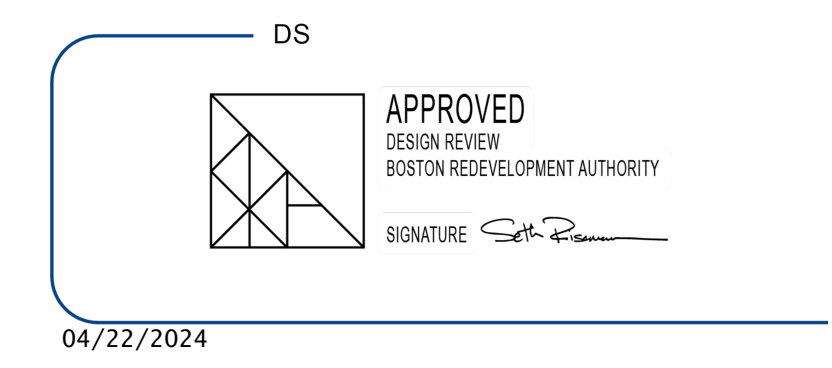
### Issued for Revision: 03/04/2024

Modifications from the Revision set dated 08/04/2023 included in this drawing set:

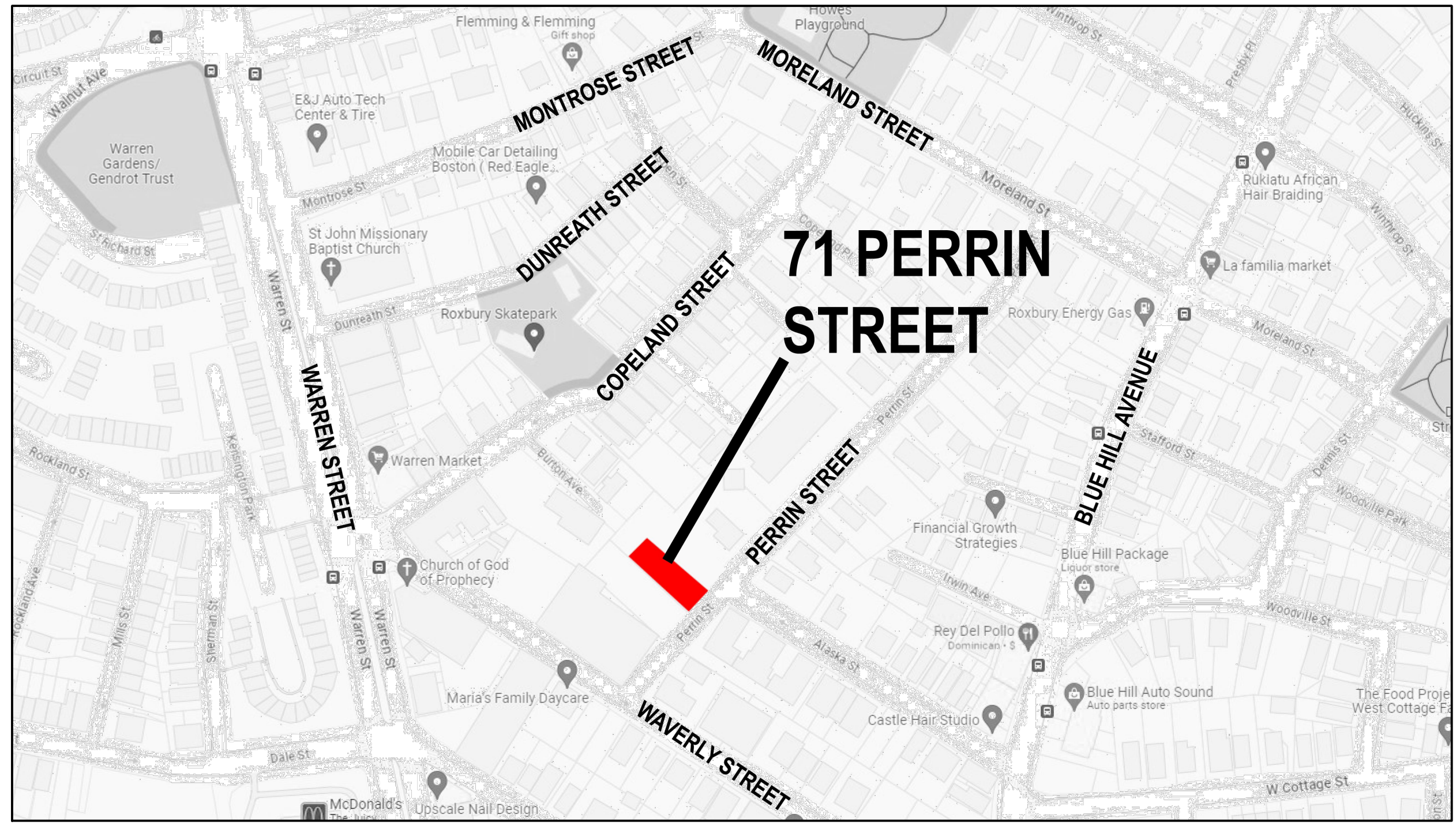
- Levels 1-3: Front bay size increase.
- Level 3: Front sliders and windows change and exterior material modified to vertical boards.



- GENERAL NOTES:
- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
  - THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
  - THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES. THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT
  - THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
    - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
    - BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
    - WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
  - THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
    - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
    - DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
    - ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
    - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 2 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT PERPENDICULAR WALL.
  - CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
  - ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
  - ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
    - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
    - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
    - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
    - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
    - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
    - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
    - ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
  - WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
  - EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
    - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
    - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
    - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
  - PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
  - ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
  - SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
  - EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
    - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES



ALSO SEE ATTACHED PROVISIONS



1 LOCATION PLAN SCALE: NOT TO SCALE

APPLICABLE CODES:

- BUILDING CODE: CMR 780 MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
- ACCESSIBILITY: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD CMR 521 AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- FIRE PROTECTION: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE CMR 527 1.00 - 2015 NFPA 1: FIRE CODE WITH AMENDMENTS
- ELECTRICAL: 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2020 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- MECHANICAL: INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
- PLUMBING: 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
- ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE 2018 (IECC)
- AMERICANS WITH DISABILITIES ACT
- BOSTON ZONING CODE
- MGL CH. 148 SECTION 26G

BUILDING DESCRIPTION:  
 NEW RESIDENTIAL BUILDING WITH THREE UNITS AND THREE PARKING SPACES. BUILDING WILL NOT HAVE AN ELEVATOR. BUILDING WILL BE FULLY SPRINKLERED.

CODE SUMMARY:

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-2
  - OCCUPANT LOAD: (200 GROSS SF/PERSON PER TABLE 1004.1.2) APPROX. 4,512 SF = 23 PERSONS
- CONSTRUCTION TYPE: V.B. - TABLE 504.4
  - PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE NOT REQUIRED TO BE RATED
  - MAX. AREA IS UNLIMITED PER FLOOR PER TABLE 506 AND MAXIMUM HEIGHT IS 3 STORIES ABOVE GRADE - 504.4
- PER TABLE 1006.3.2(1) FOR USE GROUP R-2 - ONLY ONE EXIT IS REQUIRED WHEN THERE ARE LESS THAN FOUR STORIES AND 4 DWELLING UNITS OR LESS PER STORY. TRAVEL DISTANCE IS LIMITED TO 125'
- MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
- MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
- FIRE RATED CONSTRUCTION:
  - PER TABLE 602, IN V.B CONSTRUCTION EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED.
  - DEMISING PARTITION/CORRIDORS MUST BE 1 HOUR IN A TYPE V.B BUILDING 420.2 AND 708.3
  - HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1 HOUR IN A TYPE V.B BUILDING PER 420.3 AND 711.2.4.3 - REFER TO DETAIL ON A-20
  - STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED. STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
  - PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS. 1 HOUR AND 1/2 HOUR CORRIDORS SHALL HAVE A MINIMUM 20 MIN. RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 90 MINUTE RATED DOORS.
- DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2 AND MIN. 50 IIC BETWEEN FLOORS
- ACCESSIBILITY REQUIREMENTS: 8.1 CMR 521 9.3 - UNITS ON FIRST LEVEL MUST BE CONSTRUCTED AS GROUP 1 DWELLING UNITS, COMPLY WITH 9.5, 42.00, 43.00 AND 46.00
  - CMR 521 9.4 BUILDING DOES NOT CONTAIN 20 OR MORE UNITS

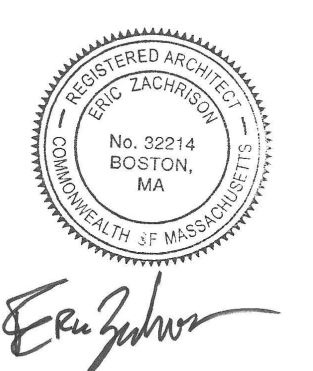
ENERGY REQUIREMENTS:  
 MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018

- CLIMATE ZONE 5 PER TABLE 301.1
- EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 503.1
- PER IECC TABLE 402.4, FENESTRATION SHALL HAVE A U-FACTOR OF 0.38 OR BETTER.
- SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.55 OR BETTER PER 402.4.
- VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
- R402.1.3 - CEILING: R=49; WOOD FRAME WALL: R=20 (CAVITY)+ 3.8 (CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10
- DEMAND RECIRCULATION WATER SYSTEMS SHALL HAVE CONTROLS THAT COMPLY WITH REQUIRED CODES
- HOT WATER PIPES IN UNCONDITIONED SPACES SHALL ALL BE INSULATED TO AT LEAST R-3, AND HOT WATER PIPES IN CONDITIONED SPACES 3/8" AND LARGER SHALL BE INSULATED TO AT LEAST R-3.

ZONING ANALYSIS:	3F-4000	EXISTING	PROPOSED	COMMENTS
LOT AREA MIN.	4,000 SF	-	6,024 SF	*LOT TO BE SUBDIVIDED
ADD'L LOT AREA REQ'D FOR EA. UNIT	2,000 SF	-	6,024 SF = 3 UNITS	*PROPOSED 3 UNITS
MIN. LOT WIDTH	45'	-	45'	*LOT TO BE SUBDIVIDED
MIN. LOT FRONTAGE	45'	-	45'	*LOT TO BE SUBDIVIDED
MAX. F.A.R.	0.8	-	6.024 SF = 0.75	
MAX. HEIGHT (STORIES/FEET)	3 / 35'	-	3 / 35'	
USABLE OPEN SPACE / UNIT	650	-	1,904 SF/3 = 635 SF	
MIN. FRONT YARD SETBACK	20'	-	20'	
MIN. SIDE YARD SETBACK	10'	-	10'	*PROPOSED SIDE SETBACK AFTER LOT SUBDIVISION
MIN. REAR YARD SETBACK	30'	-	47'-6"	
PARKING REQUIREMENT	1.0 / UNIT	-	3 FULL SPACES	

- LIST OF DRAWINGS
- A-01 ANALYSIS, DRAWING LIST AND NOTES
  - A-02 SITE PLAN
  - A-10 PROPOSED PLANS
  - A-11 PROPOSED PLANS
  - A-30 PROPOSED ELEVATIONS
  - A-40 PROPOSED DETAILS
  - A-41 PROPOSED DETAILS
  - A-42 PROPOSED SECTION

# 3/4/2024



71 Perrin St.  
 Tim Longden

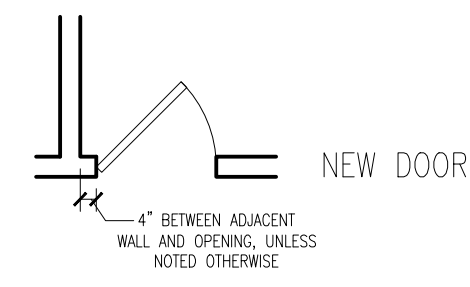
**context**  
 a collaborative design workshop

Roxbury, Boston, Massachusetts 02119

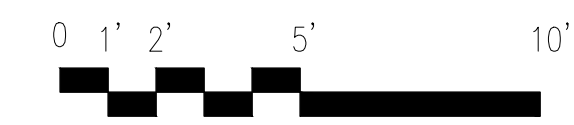
02 01	Issued for Revision #1	3/4/2024
	Issued for Permit	8/4/2023
No.	Description	Date
Drawing Title: ANALYSIS, DWG LIST, NOTES		
Project No.: 593		Checked by: EZ

# A-01

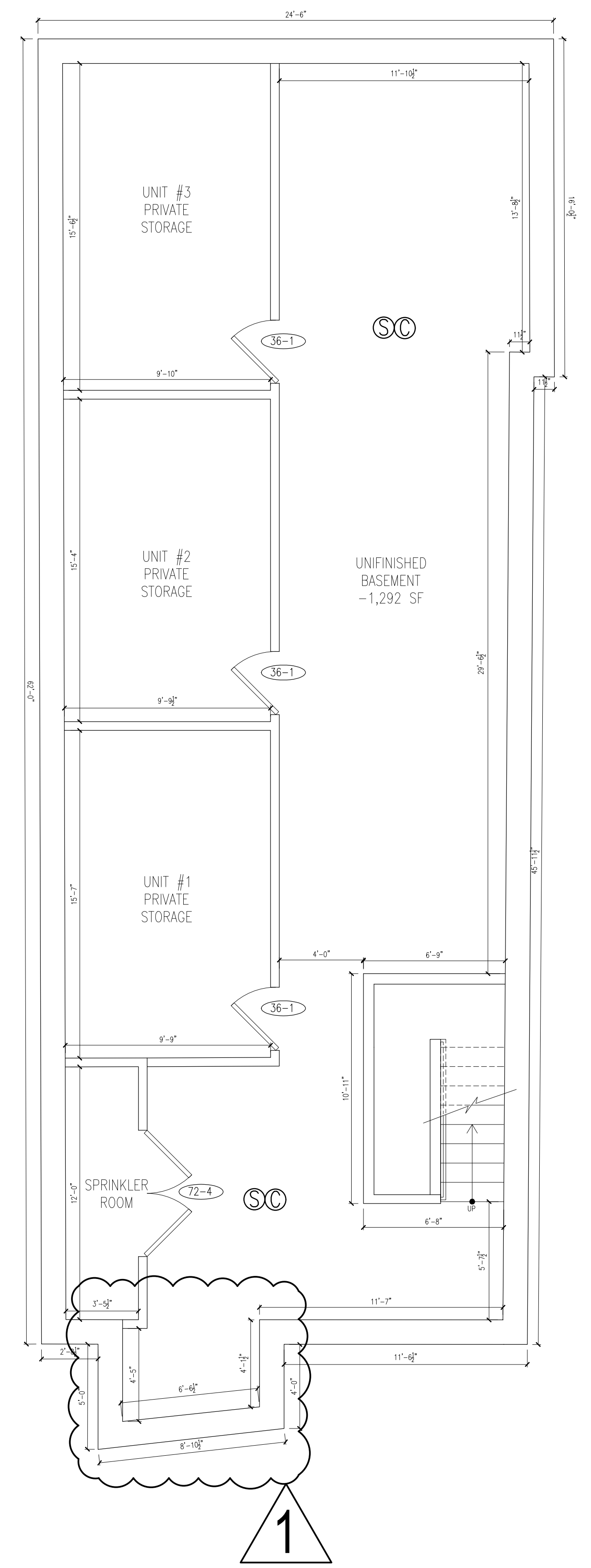
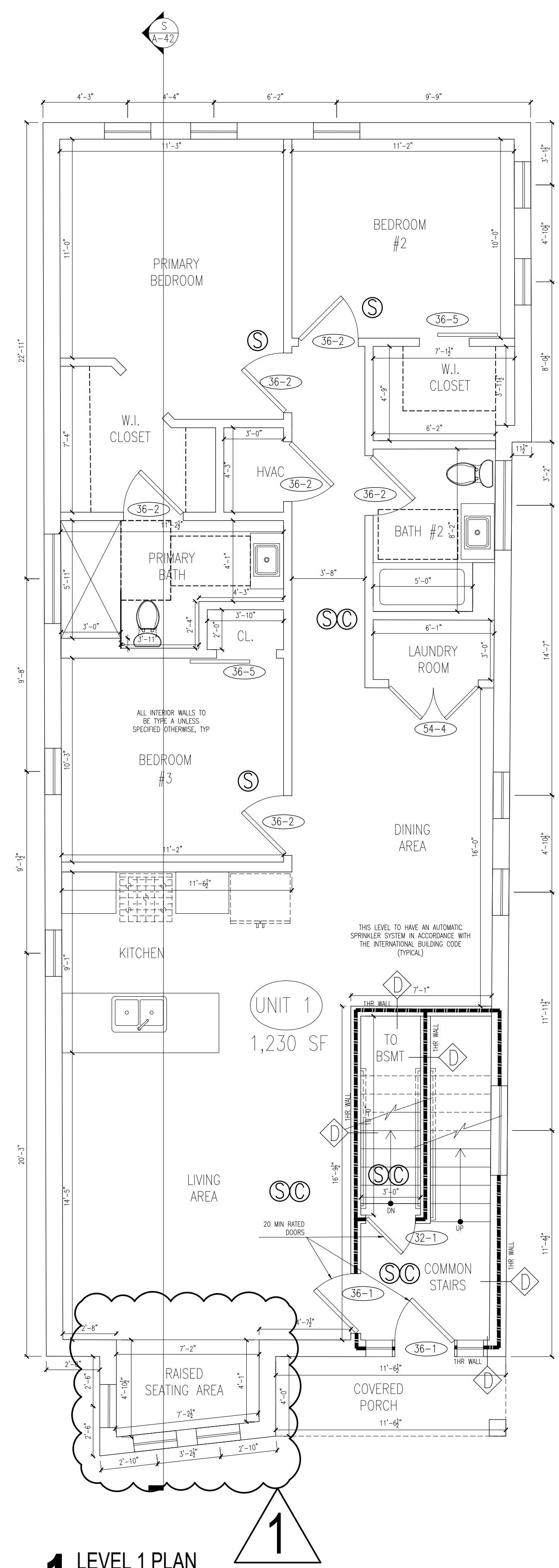
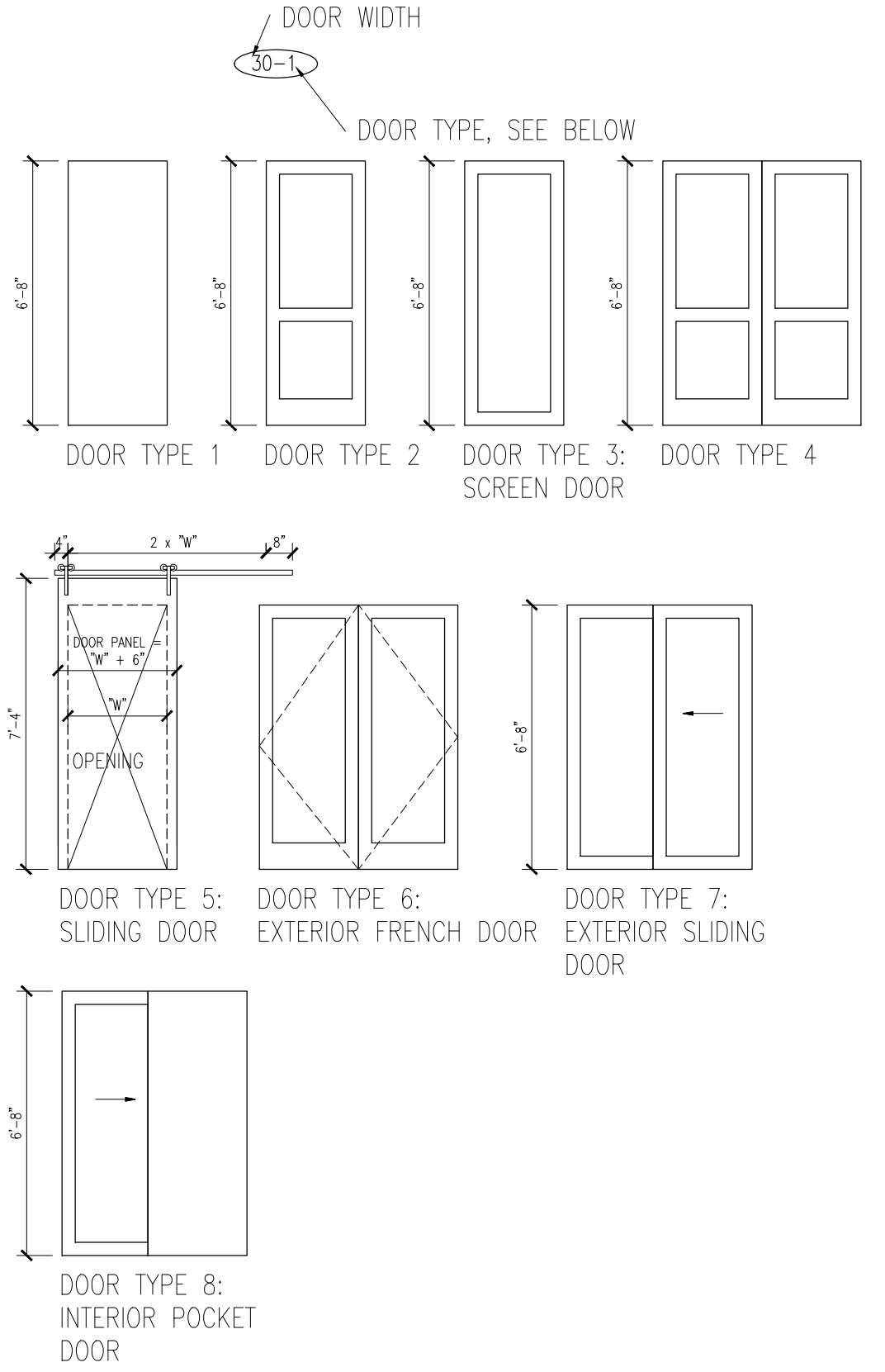
- LEGEND**
- NEW PARTITION
  - 1/2 HOUR RATED PARTITION
  - 1 HOUR RATED PARTITION
  - 2 HOUR RATED PARTITION



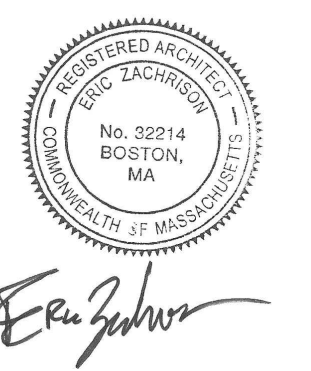
- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED
- WALL TYPE, REFER TO DRAWING A-01



- FINISH NOTES:**
- ALL WALLS TO BE PAINTED GWB, (WHITE TO MATCH ARCHITECT'S SAMPLE)
  - FLOORS TO BE HARDWOOD UNLESS NOTED OTHERWISE.
- DOOR NOTES:**
- ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES.
  - INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
  - DOOR TARGETS:

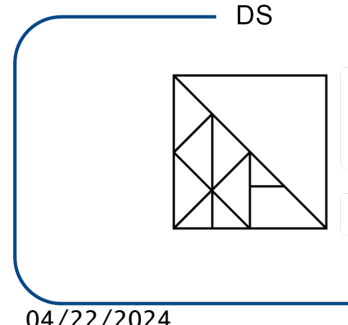


3/4/2024



71 Perrin St.  
Tim Longden

**context**  
collaborative design workshop



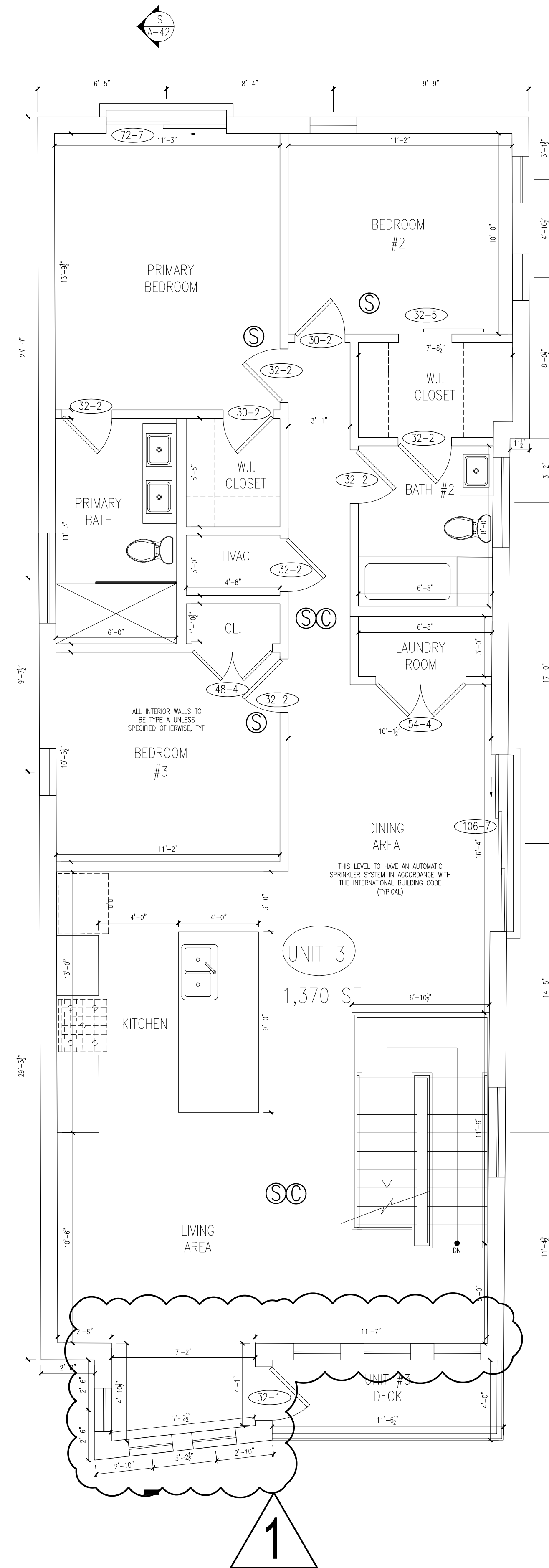
04/22/2024

ALSO SEE ATTACHED PROVISOS

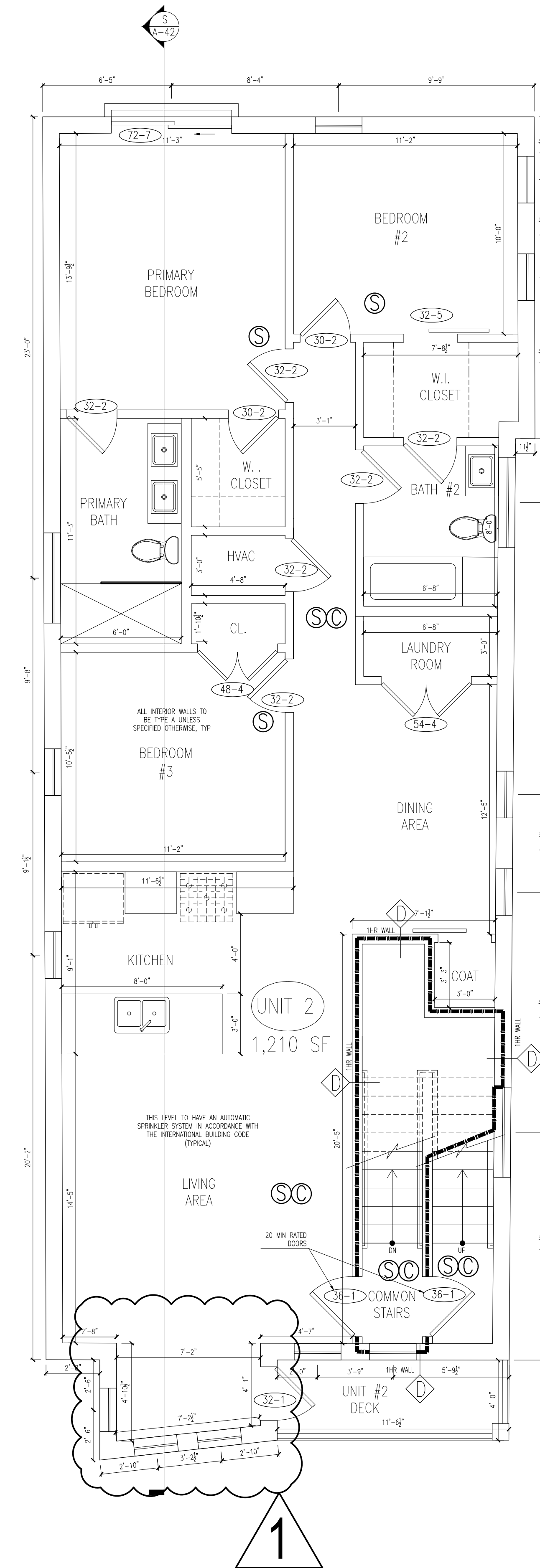
02	Issued for Revision #1	3/4/2024
01	Issued for Permit	8/4/2023
No.	Description	Date
Drawing Title: Proposed Plans		
Project No.: 593 Checked by: EZ		

A-10



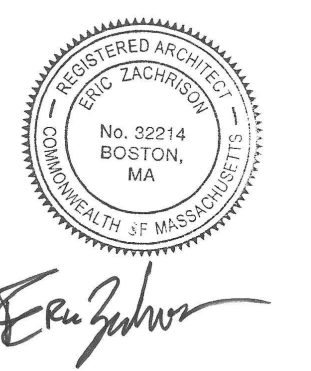


**3** LEVEL 3 PLAN  
SCALE: 1/4" = 1'-0"



**2** LEVEL 2 PLAN  
SCALE: 1/4" = 1'-0"

3/4/2024



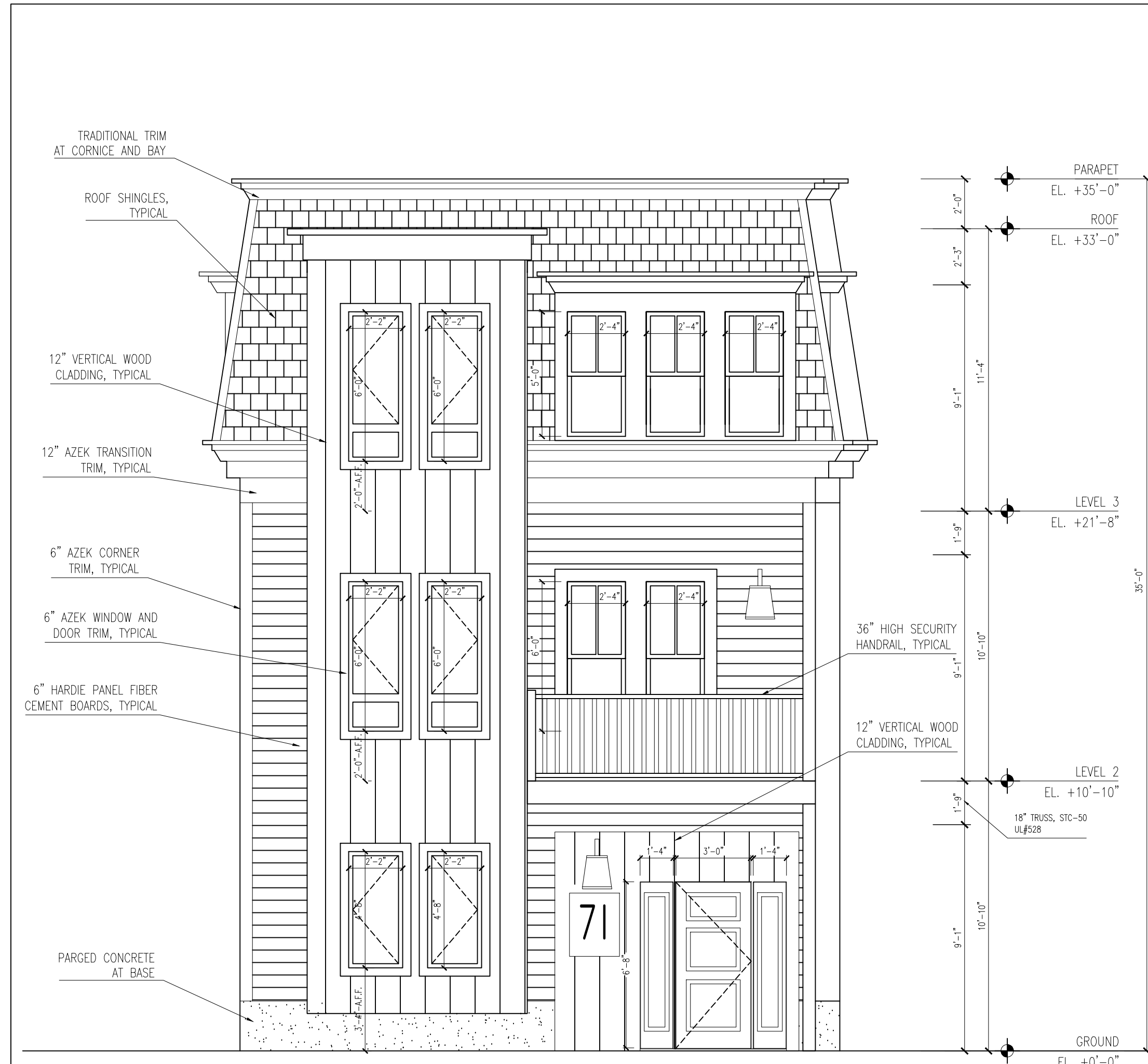
71 Perrin St.  
Tim Longden

**context**  
a collaborative design workshop

Roxbury, Boston,  
Massachusetts  
02119

02	Issued for Revision #1	3/4/2024
01	Issued for Permit	8/4/2023
No.	Description	Date
Drawing Title: Proposed Plans		
Project No.: 593		
Checked by: EZ		

A-11



**1** PROPOSED PERRIN ST. ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



**3** PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



**4** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

APPROVED  
DESIGN REVIEW  
BOSTON REDEVELOPMENT AUTHORITY

DATE: 04/22/2024

SIGNATURE: *[Signature]*

ALSO SEE ATTACHED PROVISOS

REGISTERED ARCHITECT  
No. 32214  
BOSTON, MA

*Evan Johns*

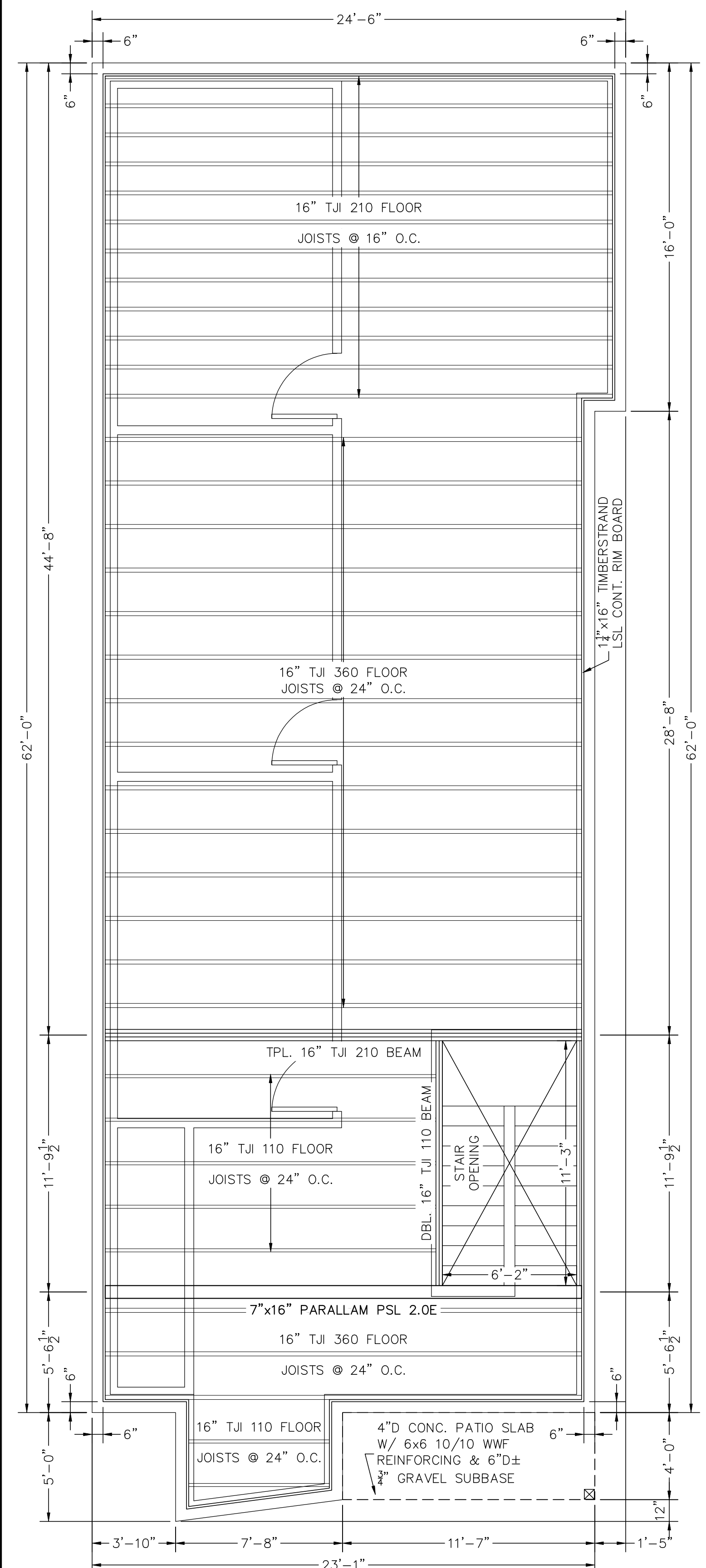
**71 Perrin St.**  
*Tim Longden*

**context**  
a collaborative design workshop

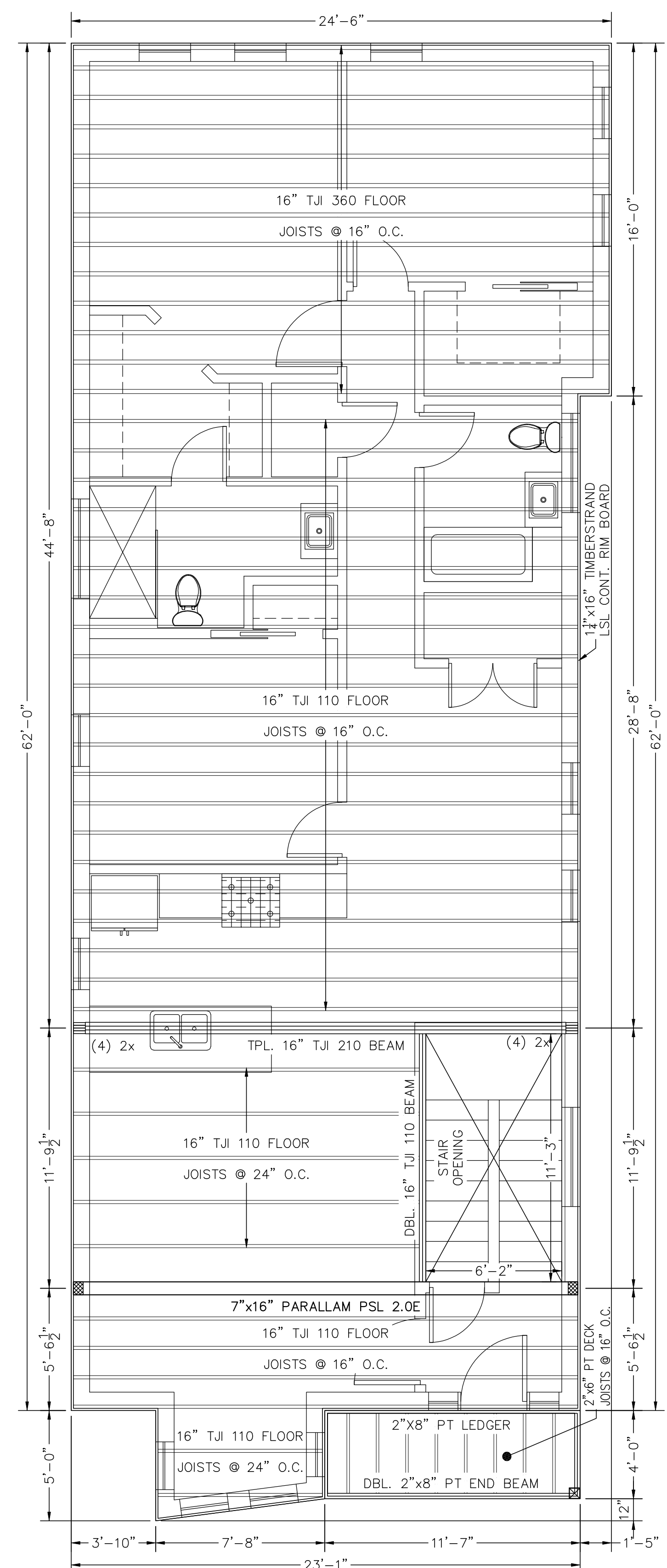
Roxbury, Boston, Massachusetts  
02119

02	Issued for Revision #1	3/4/2024
01	Issued for Permit	8/4/2023
No.	Description	Date
Drawing Title: Proposed Elevations		
Project No.: 593		
Checked by: EZ		

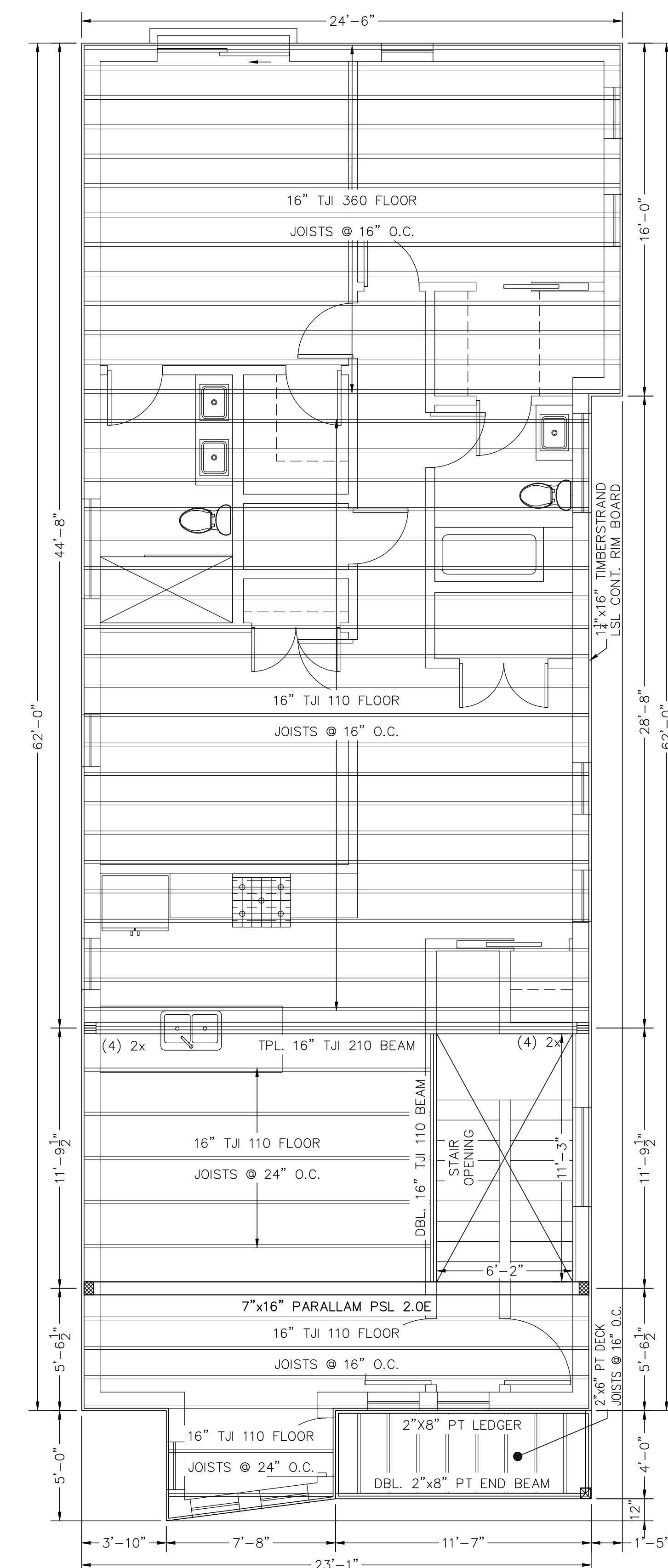
**A-30**



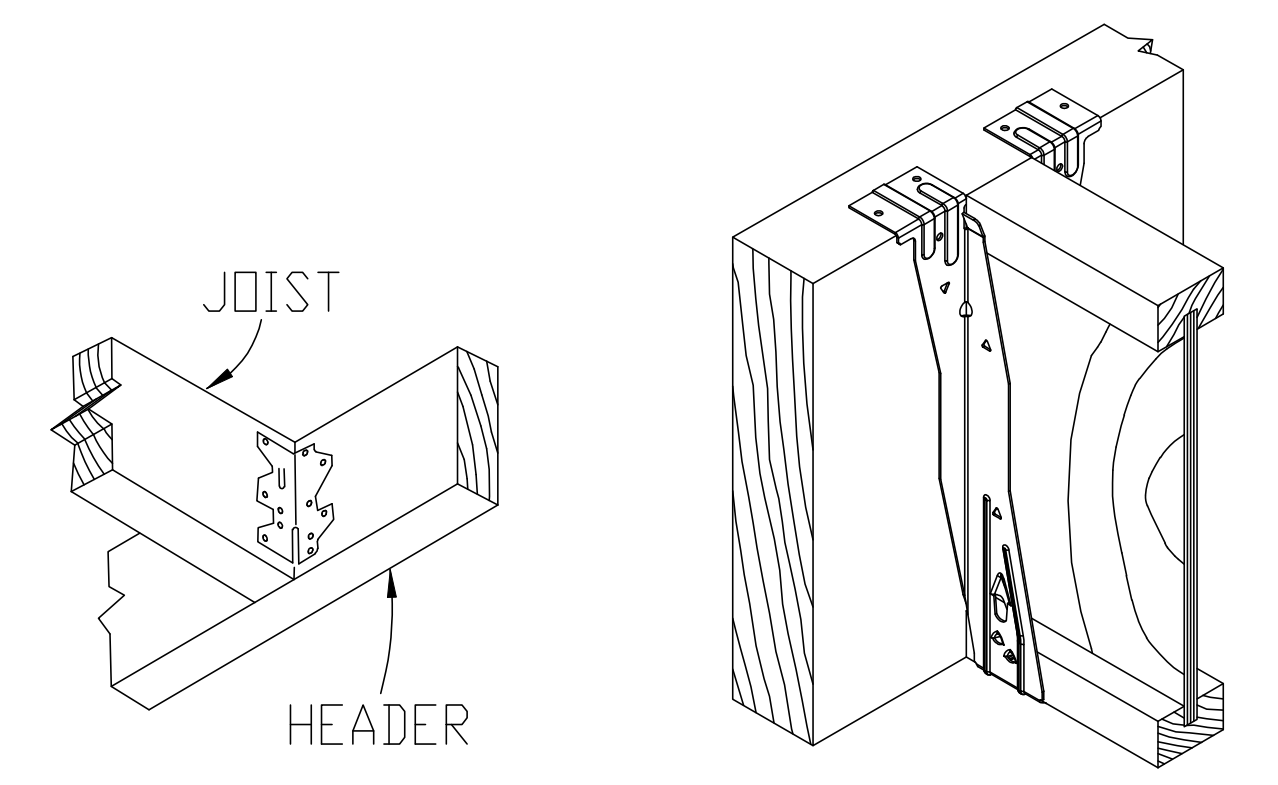
**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

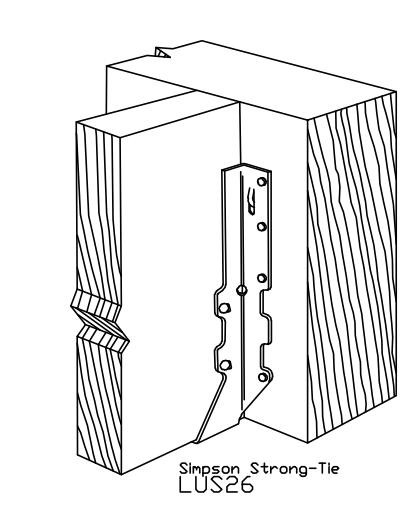


**THIRD FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

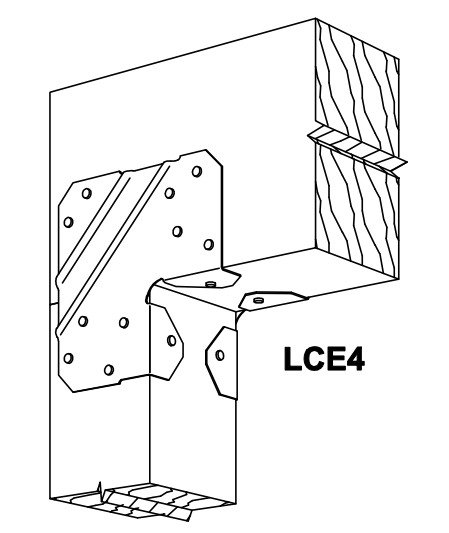


Simpson Strong-Tie  
A35 Framing Anchor

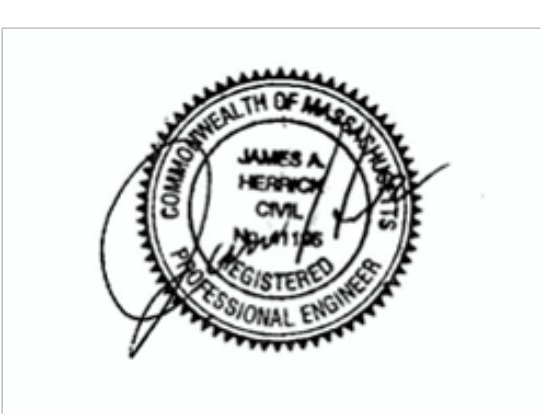
Simpson Strong-Tie  
ITS



D  
76



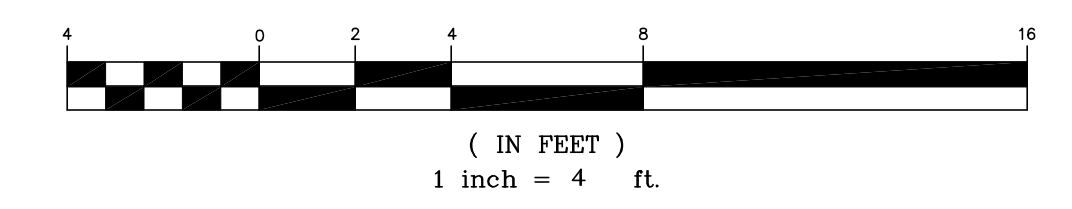
LCE4



**LEGEND**

- - 7"x5 1/2" PARALLAM PSL POST 1.8E
  - - 6"x6" SPF POST
- NOTE: ALL EXTERIOR WALLS ARE TREATED AS BEARING WALLS AND MAY BE UNMARKED AS SUCH FOR VISUAL CLARITY

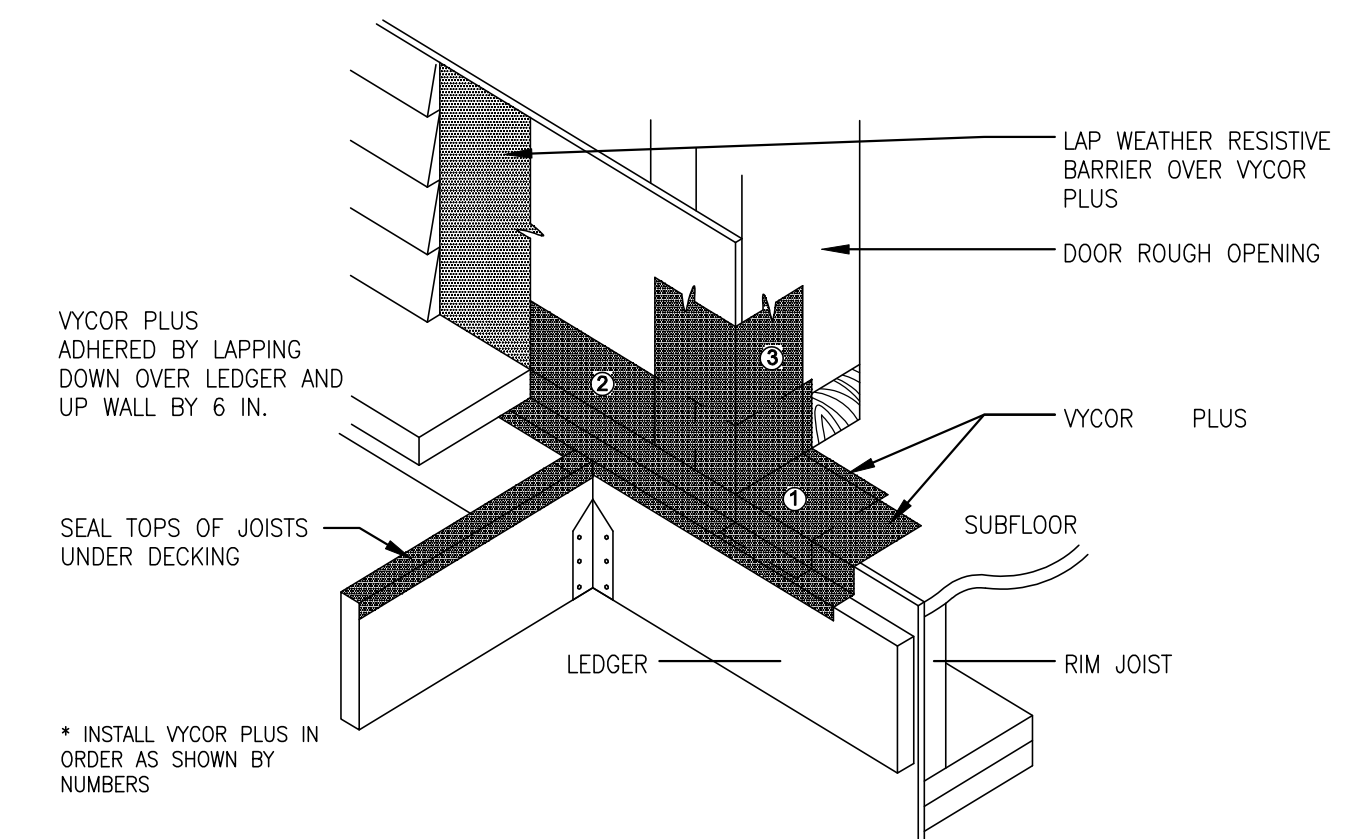
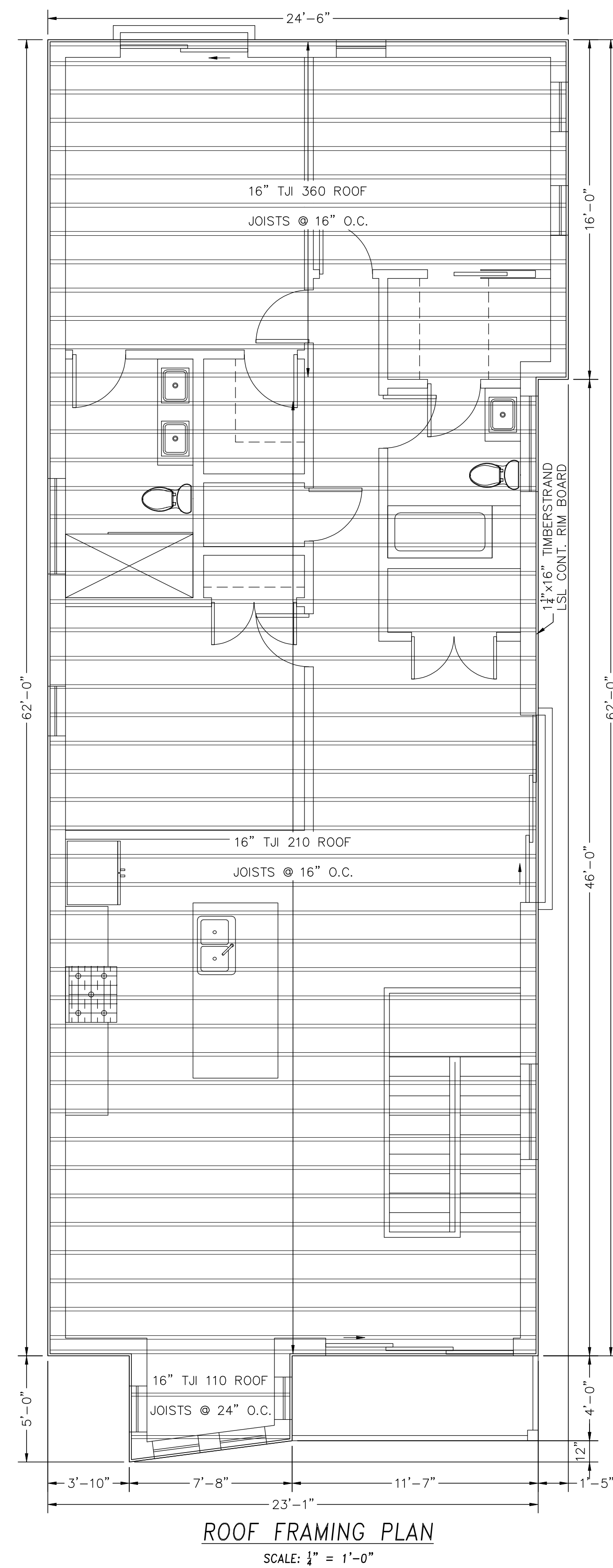
**GRAPHIC SCALE**



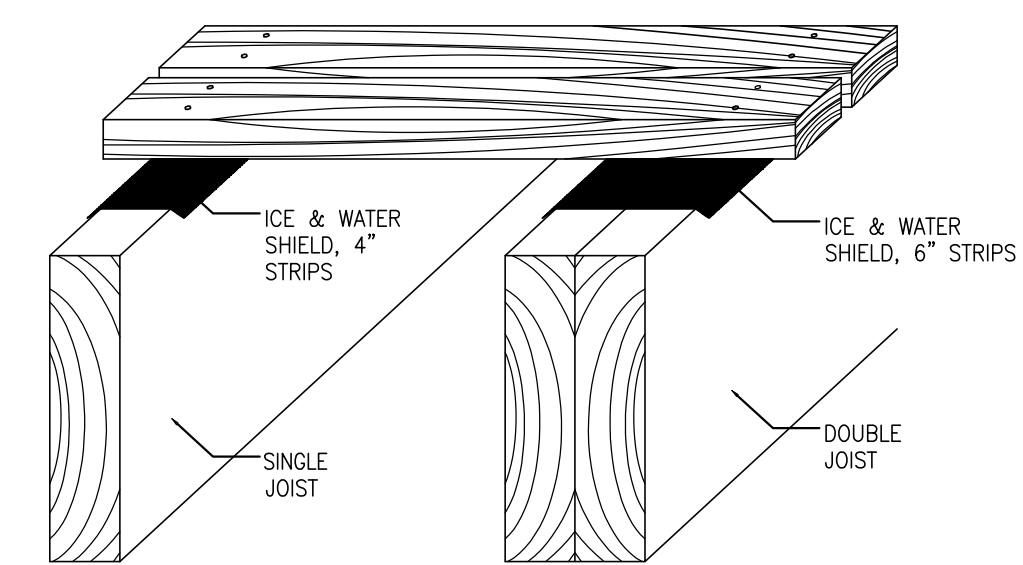
**PROPOSED FOUNDATION PLAN**  
**71 PERRIN STREET**  
**ROXBURY, MA**  
**FOR**  
**LONGDEN REALTY, LLC**  
**CIVIL ENVIRONMENTAL CONSULTANTS**  
 8 OAK STREET PEABODY, MA 01960 978-531-1191

---

SHEET NO: **S-2.0**      DATE: 10/13/2023 JOB: 4525  
 DRAWN BY: C.R.L.



TYPICAL DECK DETAIL @ DOOR  
SCALE: NTS



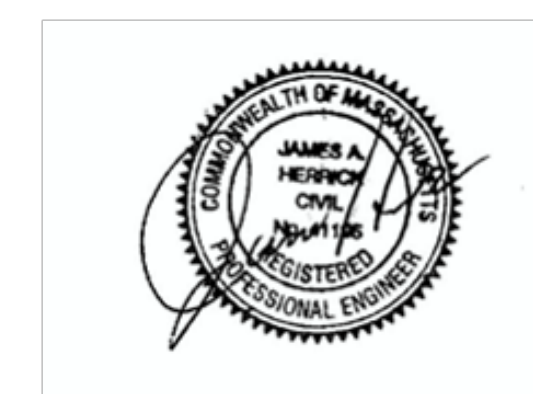
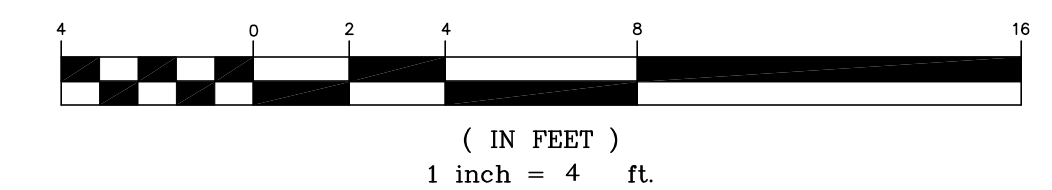
TYPICAL DECK DETAIL  
SCALE: NTS

LEGEND

- ▣ - 7"x5 1/2" PARALLAM PSL POST 1.8E
- ▣ - 6"x6" SPF POST

NOTE: ALL EXTERIOR WALLS ARE TREATED AS BEARING WALLS AND MAY BE UNMARKED AS SUCH FOR VISUAL CLARITY

GRAPHIC SCALE



PROPOSED FOUNDATION PLAN  
71 PERRIN STREET  
ROXBURY, MA  
FOR  
LONGDEN REALTY, LLC  
CIVIL ENVIRONMENTAL CONSULTANTS  
8 OAK STREET PEABODY, MA 01960 978-531-1191

SHEET NO: S-2.1  
DATE: 10/13/2023 JOB: 4525  
DRAWN BY: C.R.L.



KRONOS CO. 4 LONGFELLOW PL BOSTON MA

Notes:

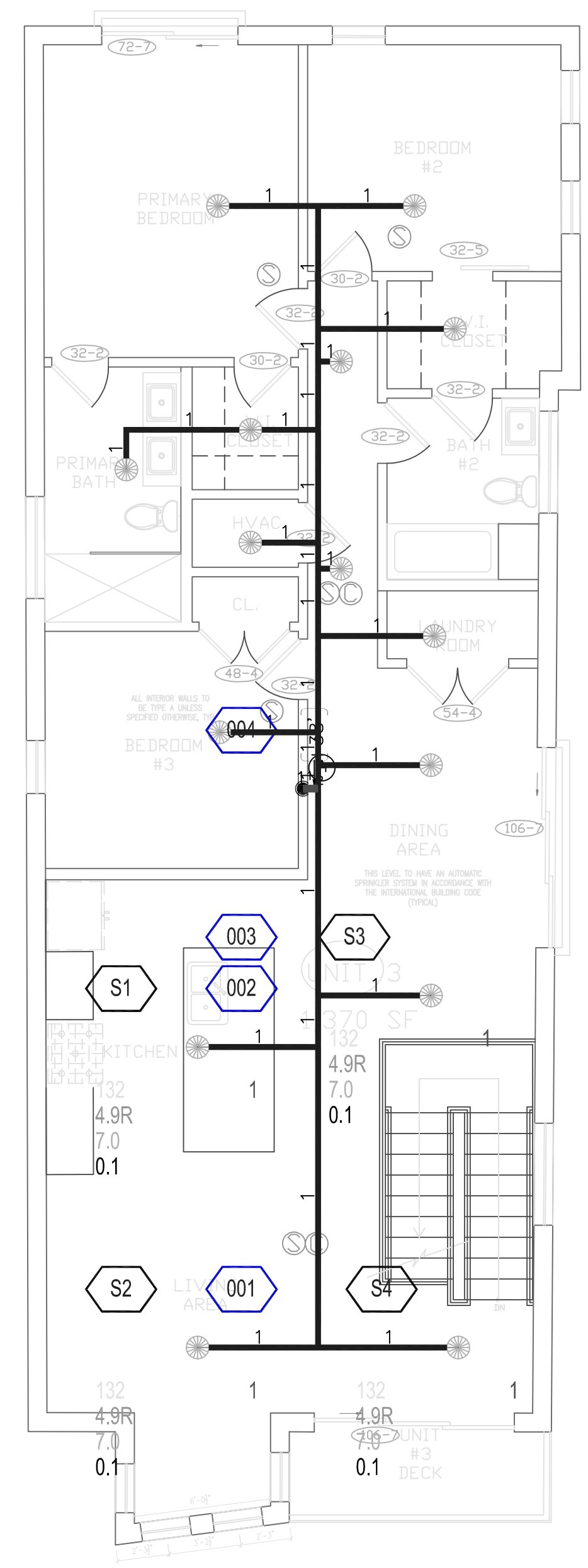
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ENGINEERING STAMP:

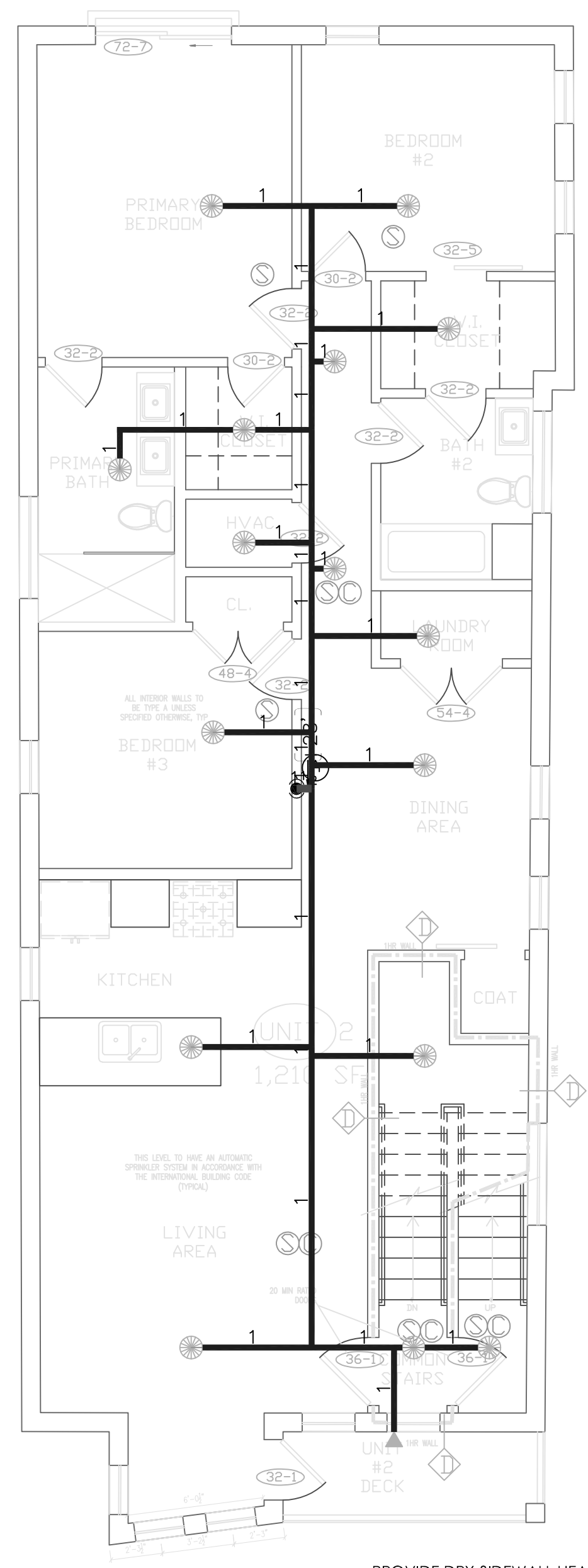


RESIDENTIAL MULTI UNIT

17 PERRIN ST BOSTON, MA



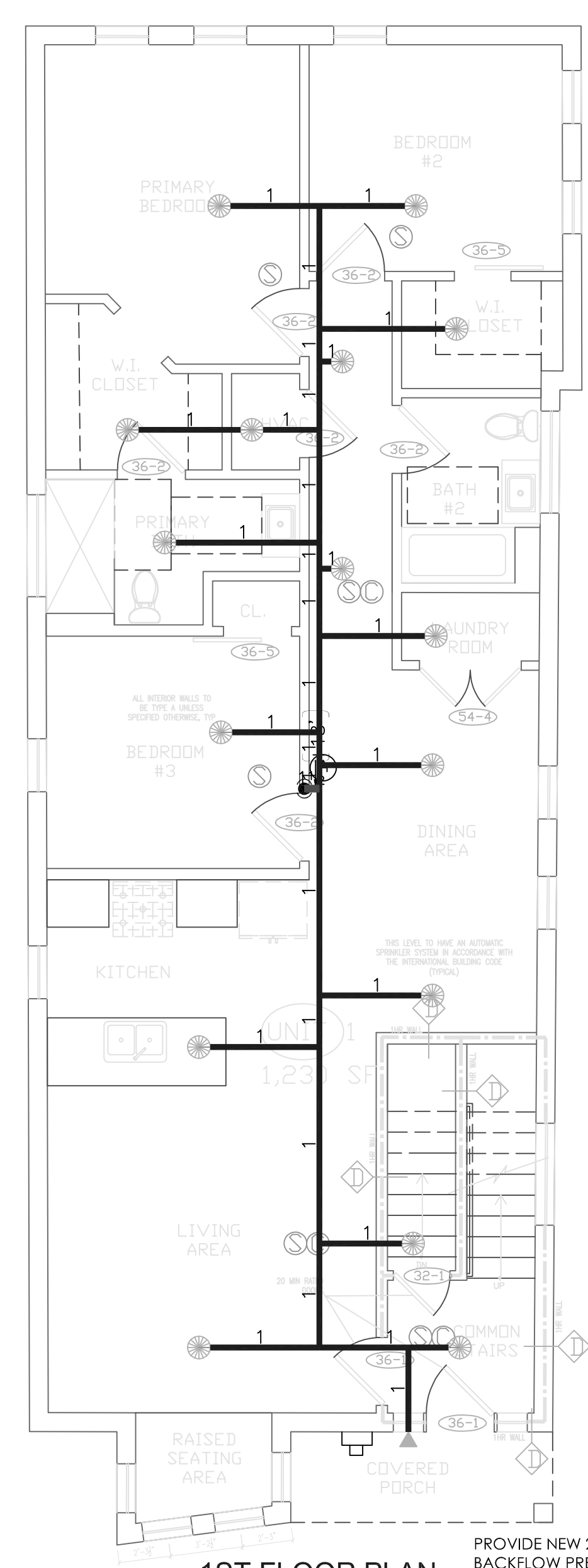
3RD FLOOR PLAN



2ND FLOOR PLAN

INSTALLING SPRINKLER CONTRACTOR IS RESPONSIBLE FOR PROPER LENGTH SELECTION AND INSTALLATION PER MANUFACTURER (TYPICAL)

PROVIDE DRY-SIDEWALL HEADS UNDER ALL COMBUSTIBLE OVERHANGES EXCEEDING 48" PER NFPA 13R (2013 EDITION)

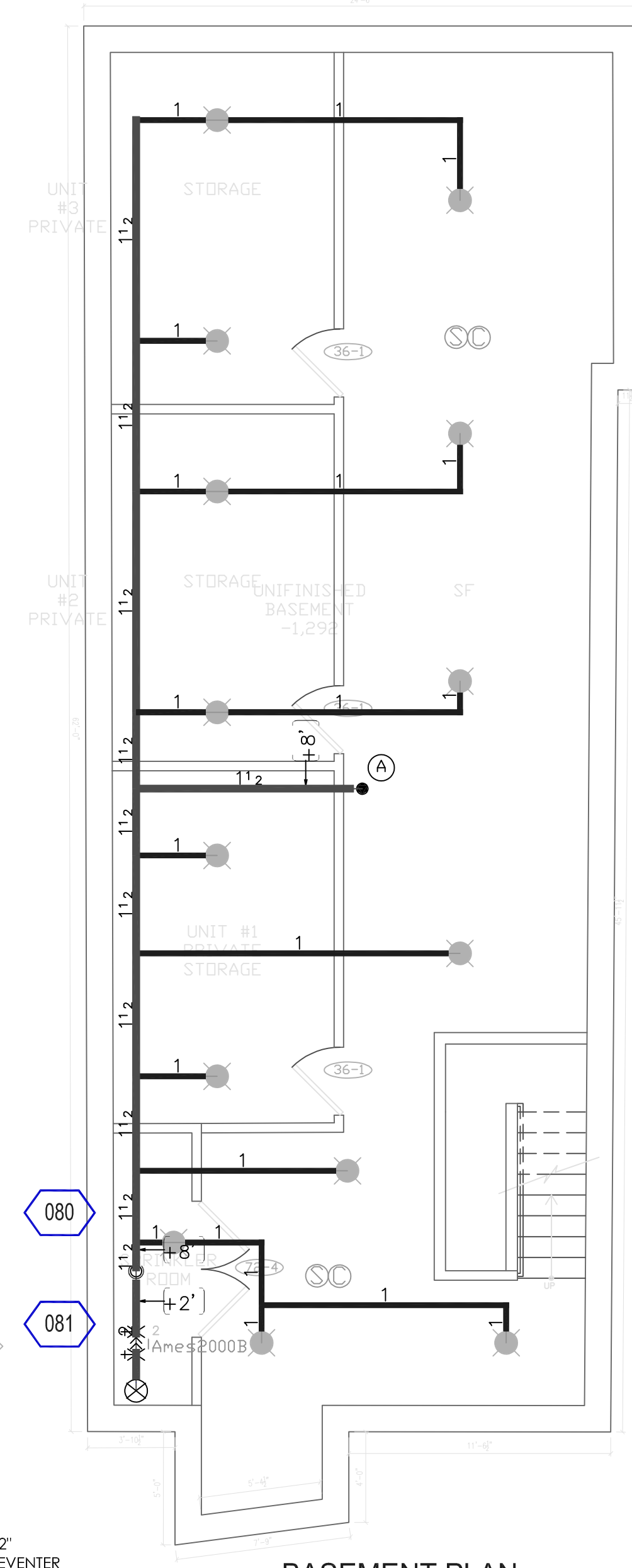


1ST FLOOR PLAN

PROVIDE NEW 2" BACKFLOW PREVENTER AND STRAIGHT-PIPE RISER (SEE DETAIL, INFO SHEET)

PROVIDE NEW 2" FIRE SERVICE LINE (SEE DETAIL, INFO SHEET)

PROVIDE 2.5" SINGLE-INLET FIRE DEPARTMENT CONNECTION (TYPE AND FINAL LOCATION TO BE VERIFIED WITH BOSTON FIRE DEPARTMENT PRIOR TO INSTALLATION). PROVIDE 2-1/2" CHECK VALVE WITH BALL DRIP LOCATED IN COMMON AREA.



BASEMENT PLAN

1.5" RESIDENTIAL RISER UP TO GROUND LEVEL (LOCATION TO BE FIELD-DETERMINED. TRANSITION TO CPVC AFTER LEAVING THE BASEMENT LEVEL)

ALL PIPING WITHIN THE BASEMENT LEVEL TO BE BLACK STEEL. INSTALLED BELOW STRUCTURE WITH QUICK-RESPONSE UPRIGHT HEADS (TYPICAL)

Design Area 1  
TOP FLOOR  
Demand Calculations using Hazen-Williams Method  
Occupancy Classification: LH  
Design Area Density: 0.1  
Additional Outside Hose: 100  
Design Area Size:  
Notes:

Wet System

Calculation results for Design Area 1 - TOP FLOOR	
This system as shown on KRONOS COLLABORATIVE company print no. dated 8/14/23 for RESIDENTIAL MULTI UNIT - 17 PERRIN ST.	
contract no. _____	is designed to discharge at a rate of 0.1 gpm/ft <sup>2</sup> (L/min/m <sup>2</sup> ) of floor area over a maximum area of 528 ft <sup>2</sup> when supplied with water at a rate of 57.3 gpm at 52.7 psi at the base of the riser.
Hose stream allowance of _____ is included in the above.	
Occupancy classification: LH	Number of heads flowing: 4
Commodity classification: _____	System Type: Wet
Maximum storage height: _____	Maximum velocity: 13.44 ft/s
Storage arrangement: _____	
Flow from In-Rack sprinklers: 0 gpm	Pressure Required at Source: 52.7 psi
Flow from Overhead sprinklers: 57.3 gpm	Pressure Available at Source: 72 psi
Flow from Inside Hoses: 0 gpm	Surplus Pressure at Source: 19.3 psi
Flow from Outside Hoses: 0 gpm	
Other fixed flows: 0 gpm	
Total flow in system piping: 57.3 gpm	
Additional flow at/beyond source: 100 gpm	
Total of all flows: 157.3 gpm	

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: FIRE PROTECTION			

CLIENT:

ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 71 PERRIN ST  
BOSTON, MA

TITLE: FIRE PROTECTION  
BASE-3RD

SCALE AT: 3/16"=1'-0"	DATE: 8/14/23	DRAWN: JK	CHECKED: NB
PROJECT NO:	DRAWING NO:	REVISION:	
FP 1			



KRONOS CO. 4 LONGFELLOW PL BOSTON MA

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ENGINEERING STAMP:



# RESIDENTIAL MULTI UNIT

17 PERRIN ST BOSTON, MA

C		
B		
A		
REV:	DESCRIPTION:	BY: DATE:
STATUS: FIRE PROTECTION		

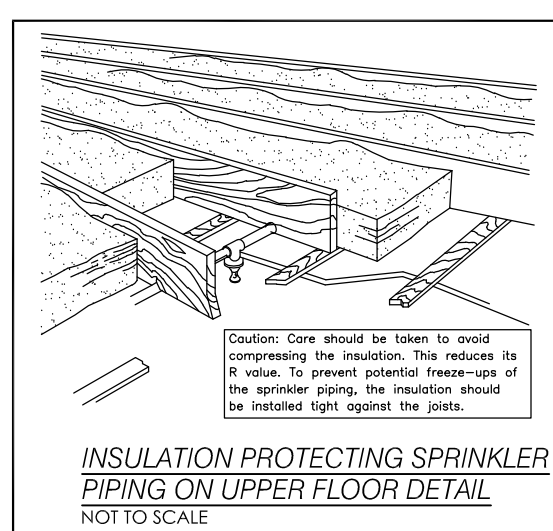
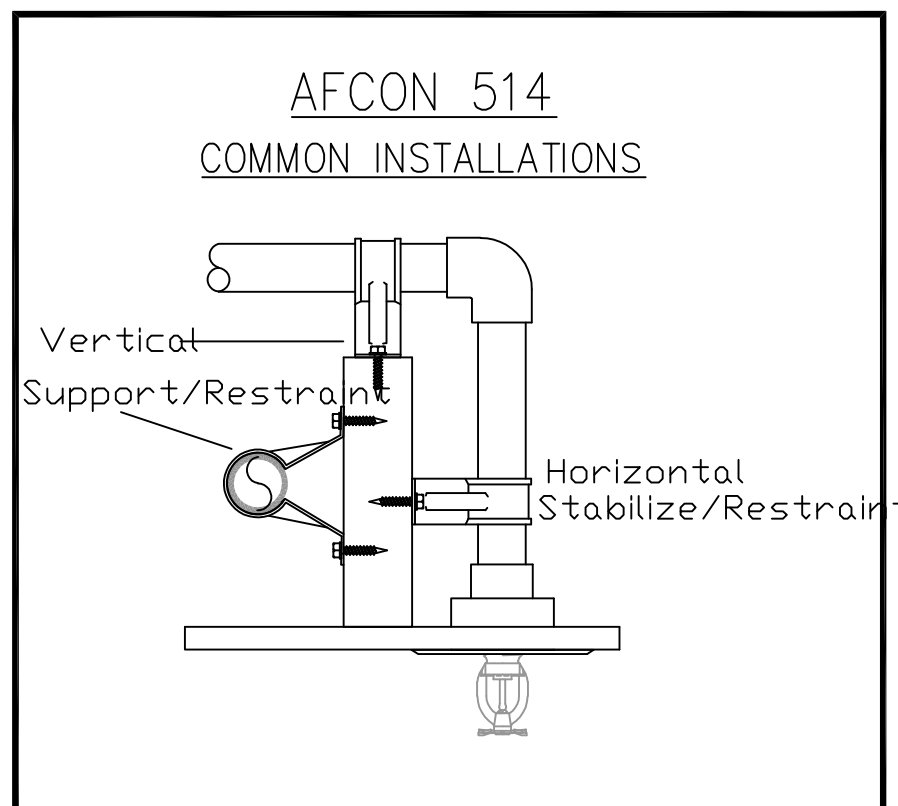
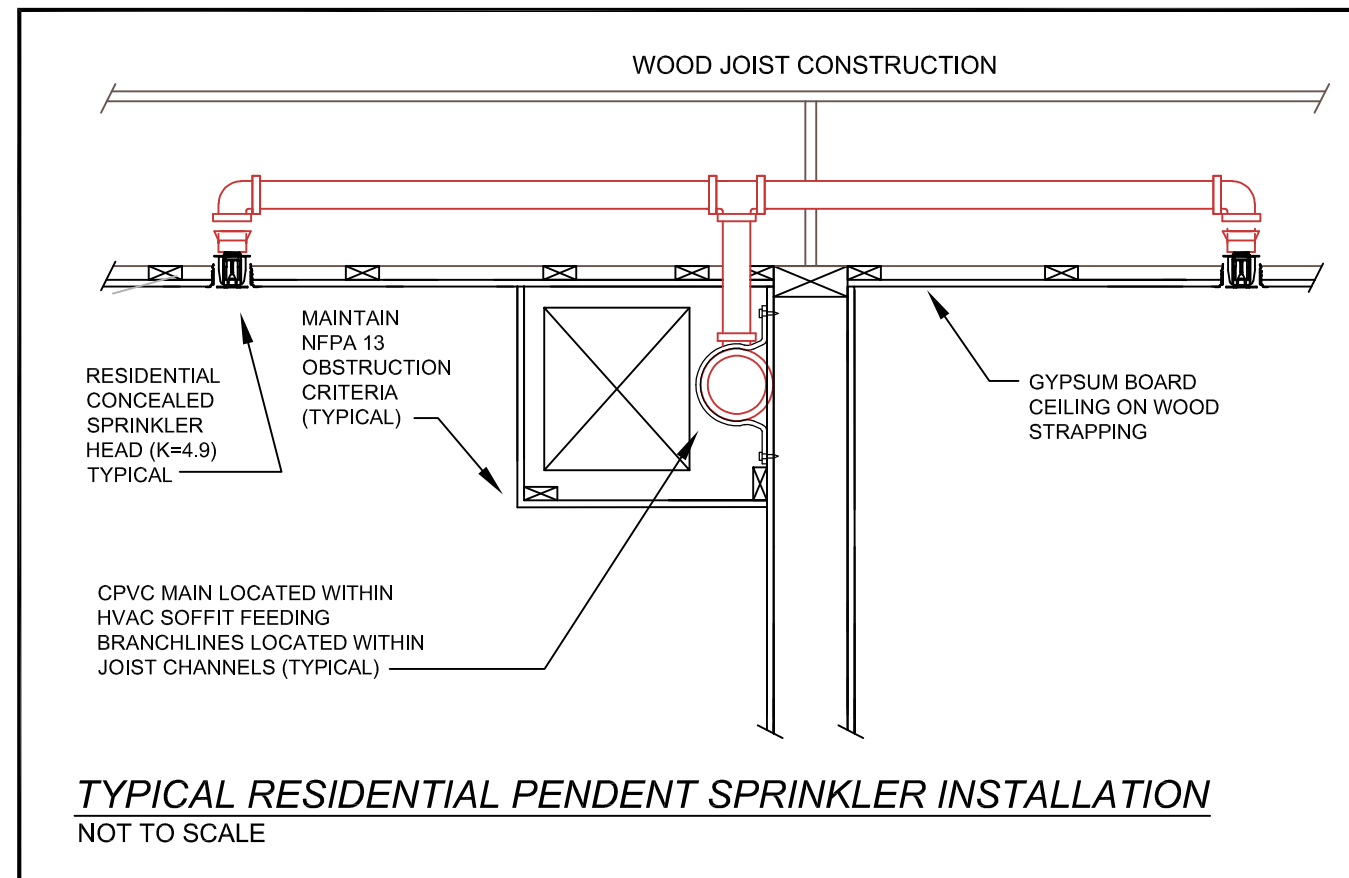
COUNT:

ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 71 PERRIN ST  
BOSTON, MA

TITLE: FIRE PROTECTION  
INFO SHEET

SCALE AT:	DATE:	DRAWN:	CHECKED:
1/4"=1'-0"	8/14/23	JK	NB
PROJECT NO:	DRAWING NO:	REVISION:	
	FP 2		



**INSTALLATION NOTES:**

ALL WORK SHALL BE PERFORMED BY A MASSACHUSETTS LICENSED SPRINKLER CONTRACTOR. THE SPRINKLER CONTRACTOR SHALL FOLLOW THE LATEST REQUIREMENTS OF NFPA 13R (2013 EDITION), MASSACHUSETTS STATE BUILDING CODE (9TH EDITION) AND THE BOSTON FIRE DEPARTMENTS.

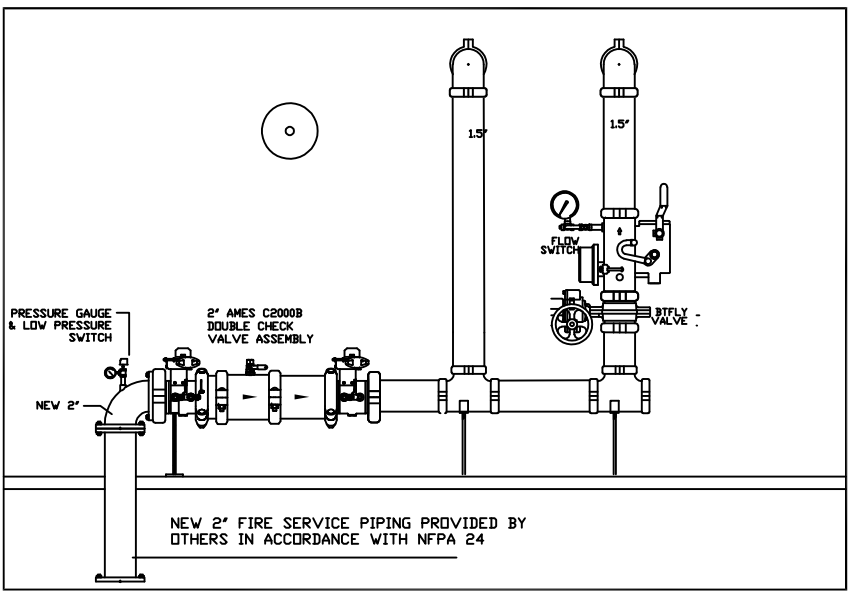
THE ARCHITECTURAL BACKGROUND OF BUILDING MAY DIFFER SLIGHTLY FROM ACTUAL LAYOUT. DRAWINGS ARE NOT INTENDED TO SHOW ALL OFFSETS AND PIPING ELEVATION CHANGES. CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS PRIOR TO FABRICATION.

CONTRACTOR SHALL HYDROSTATICALLY TEST ALL SPRINKLER PIPING AT 200 PSI FOR 2 HOURS AND IS RESPONSIBLE FOR THE COMPLETION OF ALL ABOVE GROUND TEST CERTIFICATES, SUPPLIED TO THE OWNER.

ALL PIPING INSTALLED THROUGHOUT THE RESIDENTIAL AREAS OF THE BUILDING SHALL BE UL LISTED CPVC SPRINKLER PIPING ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13R (2013 EDITION) AND ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS. ALL PIPING SHALL BE PITCHED TO DRAIN WITH LOW-POINT DRAINS AT SECTIONS OF PIPING SUBJECT TO WATER TRAPPING. SPRINKLER CONTRACTOR SHALL PROVIDE PROTECTIVE PLATES WHERE CPVC PIPING IS RUN THROUGH STUDS TO PREVENT PUNCTURING OF THE SPRINKLER PIPING DURING DRYWALL INSTALLATION AS REQUIRED BY NFPA STANDARDS.

ALL SPRINKLER HEADS WITHIN RESIDENTIAL AREAS OF THE BUILDING SHALL BE RESIDENTIAL PENDENT SPRINKLERS. ALL HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF NFPA 13R (2013 EDITION).

THE BUILDING OWNER IS RESPONSIBLE FOR MAINTAINING THIS SPRINKLER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 25, INCLUDING THE PROVISION OF HEAT IN ALL AREAS CONTAINING SPRINKLER PIPING AND HEADS TO PREVENT PIPE FROM FREEZING. THE ENGINEER OF RECORD TAKE NO RESPONSIBILITY FOR ANY DAMAGES CAUSED BY FREEZE UPS.



**FIRE PROTECTION NOTES:**

THE PURPOSE OF THIS FIRE PROTECTION DRAWING AND THE ASSOCIATED FIRE PROTECTION DESIGN NARRATIVE IS TO INDICATE THE PROPOSED RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED WITHIN THE RENOVATED MULTI-UNIT BUILDING LOCATED AT 71 PERRIN ST BOSTON, MASSACHUSETTS.

THIS BUILDING CONSISTS OF A BASEMENT LEVEL, FIRST LEVEL, SECOND LEVEL AND A THIRD LEVEL AS INDICATED ON THE ASSOCIATED ARCHITECTURAL DRAWINGS.

THIS RESIDENTIAL SPRINKLER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13R (2013 EDITION) FOR A RESIDENTIAL BUILDING UP TO 4 STORIES IN HEIGHT.

THE SPRINKLER CONTRACTOR SHALL FOLLOW THE LATEST REQUIREMENTS OF NFPA 13R (2013 EDITION), MASSACHUSETTS STATE BUILDING CODE (780 CMR, 9TH EDITION) AND BOSTON FIRE DEPARTMENT REQUIREMENTS.

THIS SYSTEM WILL BE SUPPLIED BY A NEW 2" FIRE SERVICE, TAPPED OFF THE EXISTING WATER MAIN ON PERRIN STREET. THE 2" SERVICE SHALL BE DESIGNED, INSTALLED, FLUSHED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 24 BY A LICENSED UNDERGROUND CONTRACTOR AND WILL ENTER THE GARAGE FLOOR AS INDICATED ON THIS DRAWING.

THE SYSTEM HAS BEEN HYDRAULICALLY CALCULATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13R, INCLUDING THE FOUR HYDRAULICALLY MOST DEMANDING HEADS IN A SINGLE COMPARTMENT BASED ON THE REQUIREMENTS OF THE SPECIFIC SPRINKLER HEAD AND THE SPACING USED IN THIS DESIGN (16'x16' REQUIRING A MINIMUM OF 13 GPM @ 7 PSI). REMOTE AREAS, DENSITIES AND HOSE STREAM ALLOWANCES ARE INDICATED ON THIS DRAWING ALONG WITH SYSTEM DEMANDS AT CONNECTION TO STREET AND CALCULATION RESULTS HAVE BEEN COMPARED TO RECENT HYDRANT FLOW TEST INFORMATION OBTAINED FROM THE BOSTON WATER & SEWER DEPARTMENT. CALCULATIONS HAVE BEEN SUBMITTED WITH THIS DRAWING TO THE BOSTON FIRE DEPARTMENT FOR REVIEW.

**MAX. HANGER SPACING**

PIPE TYPE	NOMINAL PIPE SIZE (IN)							
	1	1 1/4	1 1/2	2	2 1/2	4	6	8
SCH 10-40 STEEL	12-0	12-0	15-0	15-0	15-0	15-0	15-0	15-0
UL LISTED CPVC	6-0	6-6	7-0	8-0	9-0			

3/4" MAX FOR 1" DIA.  
4" MAX FOR 1 1/4" DIA.  
4" MAX FOR 1 1/2" DIA. OR LARGER

THEN EXTEND HERE

MINIMUM CLEARANCE FROM OBSTRUCTION

IF GREATER THAN 3" MAX FOR 1" DIA. OR LESS, NO MAXIMUM DIMENSIONS ALLOWED

IF GREATER THAN 4" MAX FOR 1 1/4" DIA.

IF GREATER THAN 4" FOR 1 1/2" DIA. OR LARGER

**CLOSETS (TYPICAL)**

EXCEPT WHERE SPECIFIED IN SECTION 6.6.4 (NFPA 13R, 2013 EDITION), SPRINKLERS SHALL NOT BE REQUIRED IN CLOSETS, LINEN CLOSETS, AND PANTRIES THAT MEET ALL OF THE FOLLOWING CONDITIONS:

- 1) THE AREA OF THE SPACE DOES NOT EXCEED 24 SF
- 2) THE LEAST DIMENSION DOES NOT EXCEED 3 FT
- 3) THE WALLS AND CEILINGS ARE SURFACED WITH NONCOMBUSTIBLE OR LIMITED-COMBUSTIBLE MATERIALS AS DEFINED IN NFPA 220.

NOTE: WHEN MECHANICAL EQUIPMENT OR LAUNDRY MACHINES ARE PLACED IN THE CLOSET, THE CLOSET IS NO LONGER CONSIDERED A CLOSET, LINEN CLOSET, OR PANTRY, SO THE EXCEPTION OF 6.6.3 IS NO LONGER VALID AND SPRINKLERS MUST BE INSTALLED.

SPRINKLER HEAD LOCATIONS HAVE NOT BEEN COORDINATED WITH CEILING-MOUNTED FIXTURES. INSTALLING SPRINKLER CONTRACTOR SHALL COORDINATE WITH ELECTRICIAN AND LOCATE SPRINKLERS AT LEAST 36" FROM THE CENTER OF ANY CEILING-MOUNTED FIXTURE, IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13 WHILE MAINTAINING THE MAXIMUM DISTANCES FROM WALLS INDICATED ON THIS DESIGN (8-FT). ADDITIONAL SPRINKLERS REQUIRED DUE TO INABILITY TO MEET OBSTRUCTION CRITERIA SHALL BE AT THE OWNERS EXPENSE.



SPRINKLER CONTRACTOR SHALL TAKE PRECAUTIONS WHEN INSTALLING SPRINKLER PIPING IN JOISTS ON TOP FLOOR. GENERAL CONTRACTOR SHALL BE REQUIRED TO INSTALL SUFFICIENT INSULATION TO MAINTAIN 40-DEGREES IN ALL AREAS WHERE SPRINKLER PIPING AND HEADS ARE INSTALLED

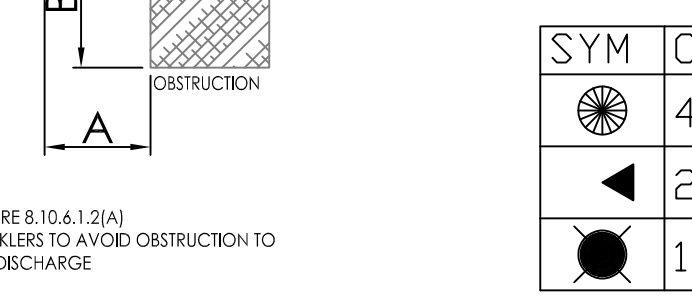
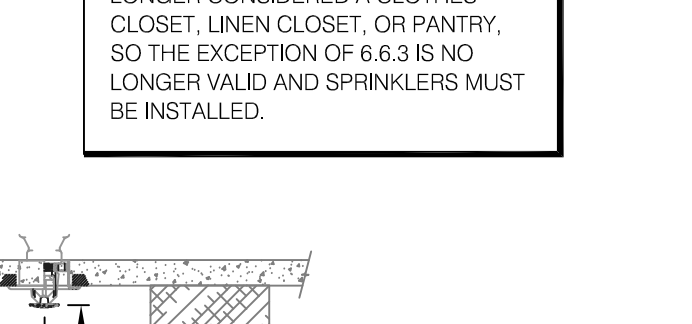
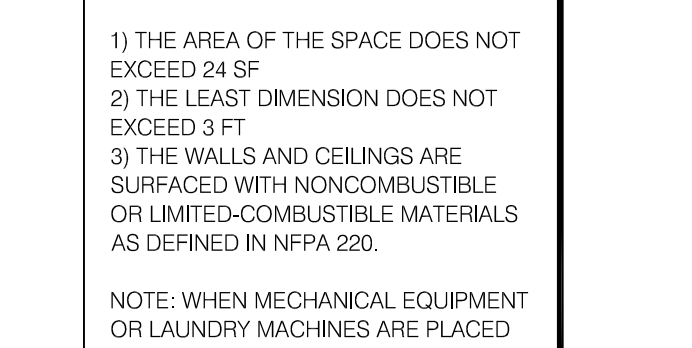
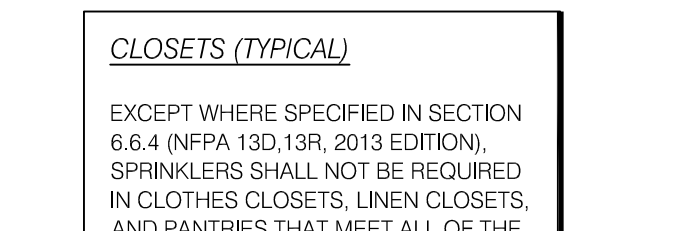
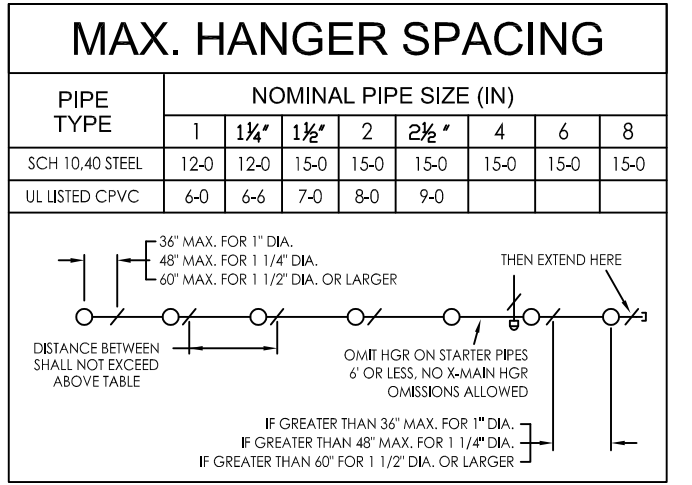
SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL #
☀	47	PEND	BRASS	155	4.90	1/2"	TY2234	Tyco	LFII
◀	2	SIDE	WHITE	155	5.60	1/2"	TY3302	Tyco	EC-5
●	14	PEND	BRASS	155	5.60	1/2"	TY3551	Tyco	RFLI

UL LISTED CPVC SPRINKLER PIPING

**FREEZE PROTECTION**

THE BUILDING OWNER IS RESPONSIBLE FOR PROVIDING HEAT IN ALL AREAS CONTAINING SPRINKLER PIPING AND HEADS TO PREVENT PIPE FROM FREEZING. ANY AREAS THAT RAISE CONCERN WITH REGARD TO FREEZING POTENTIAL SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION, IN WRITING, PRIOR TO INSTALLATION. THE ENGINEER OF RECORD TAKE NO RESPONSIBILITY FOR DAMAGES CAUSED BY FREEZE-UPS OF THE SPRINKLER SYSTEM.

Job: RESIDENTIAL MULTI UNIT  
Address: 71 PERRIN ST  
City: BOSTON State: MA Zip/Postal Code: 02119  
Contract #: KRONOS COLLABORATIVE Date: 8/14/23  
Contractor: KRONOS COLLABORATIVE Designer: JK  
Address: 4 LONGFELLOW PL  
City: BOSTON State: MA Zip/Postal Code:  
Phone: 617-633-3333 Fax: Email:  
Approving Authority:  
Design Details: Standards: NFPA13  
Default Sprig Size: 1/2" Default Drop Size: 1" CPVC  
Default Sprig Material: Default Drop Material: CPVC  
Default Sprig Elevation: 0 Default Drop Elevation: 0



NFPA 13 TABLE 8.10.6.1.2 + FIGURE 8.10.6.1.2(A) RESIDENTIAL PENDENT AND UPRIGHT SPRAY SPRINKLERS

TABLE 8.3.2.5(c) TEMPERATURE RATINGS OF SPRINKLERS IN SPECIFIED RESIDENTIAL AREAS

HEAT SOURCE	MINIMUM DISTANCE FROM EDGE OF SOURCE TO ORDINARY TEMPERATURE SPRINKLER (INCHES)	MINIMUM DISTANCE FROM EDGE OF SOURCE TO INTERMEDIATE TEMPERATURE SPRINKLER (INCHES)
SIDE OF OPEN OR RECESSED FIREPLACE	36	12
FRONT OF RECESSED FIREPLACE	60	36
KITCHEN RANGE	18	9
WALL OVEN	18	9
SIDE OF CEILING OR WALL MOUNTED HOT AIR DIFFUSER	24	12
FRONT OF WALL MOUNTED HOT AIR DIFFUSER	36	18
HOT WATER HEATER OR FURNACE	6	3
LIGHT FIXTURE 0W-250W	6	3
LIGHT FIXTURE 250W-499W	12	6

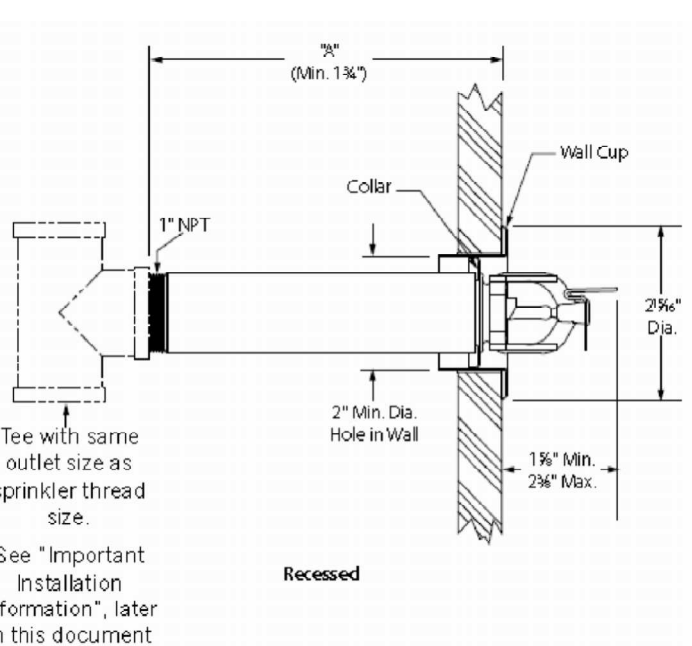
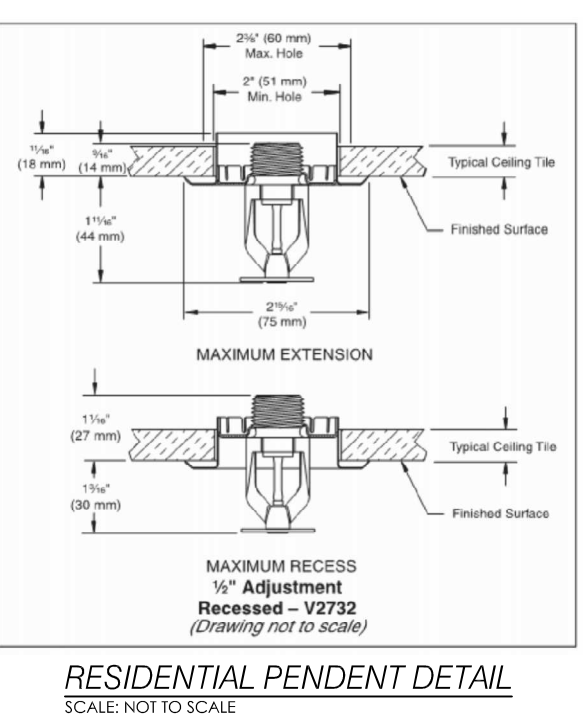


TABLE 8.10.7.1.3 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 8 FT	0
8'-0" TO LESS THAN 10'	0-1"
10' TO LESS THAN 11'	0-2"
11' TO LESS THAN 12'	0-3"
12' TO LESS THAN 13'	0-4"
13' TO LESS THAN 14'	0-5"
14' TO LESS THAN 15'	0-7"
15' TO LESS THAN 16'	0-9"
16' TO LESS THAN 17'	0-11"
17' OR GREATER	1-2"

NFPA 13 TABLE 8.10.7.1.3 + FIGURE 8.10.7.1.3 RESIDENTIAL SIDEWALL SPRINKLERS

TABLE 8.10.7.1.4 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 1'-6"	0'-0"
1'-6" TO LESS THAN 3'-0"	0'-1"
3' TO LESS THAN 4'	0'-3"
4' TO LESS THAN 4'-6"	0'-5"
4'-6" TO LESS THAN 6'	0'-7"
6' TO LESS THAN 6'-6"	0'-9"
6'-6" TO LESS THAN 7'	0'-11"
7' TO LESS THAN 7'-6"	1'-2"

NFPA 13 TABLE 8.10.7.1.4 + FIGURE 8.10.7.1.4 (B) STANDARD SIDEWALL SPRINKLERS

TABLE 8.10.6.1.2 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 1 FT	0
1'-0" TO LESS THAN 1'-6"	0'-0"
1'-6" TO LESS THAN 2'-0"	0'-1"
2'-0" TO LESS THAN 2'-6"	0'-1"
2'-6" TO LESS THAN 3'-0"	0'-1"
3'-0" TO LESS THAN 3'-6"	0'-2"
3'-6" TO LESS THAN 4'-0"	0'-2"
4'-0" TO LESS THAN 4'-6"	0'-2"
4'-6" TO LESS THAN 5'-0"	0'-2"
5'-0" TO LESS THAN 5'-6"	0'-2"
5'-6" TO LESS THAN 6'-0"	0'-2"
6'-0" TO LESS THAN 6'-6"	0'-3"
6'-6" TO LESS THAN 7'-0"	0'-11"
7'-0" AND GREATER	1'-2"



KRONOS CO. 4 LONGFELLOW PL BOSTON MA

Notes:

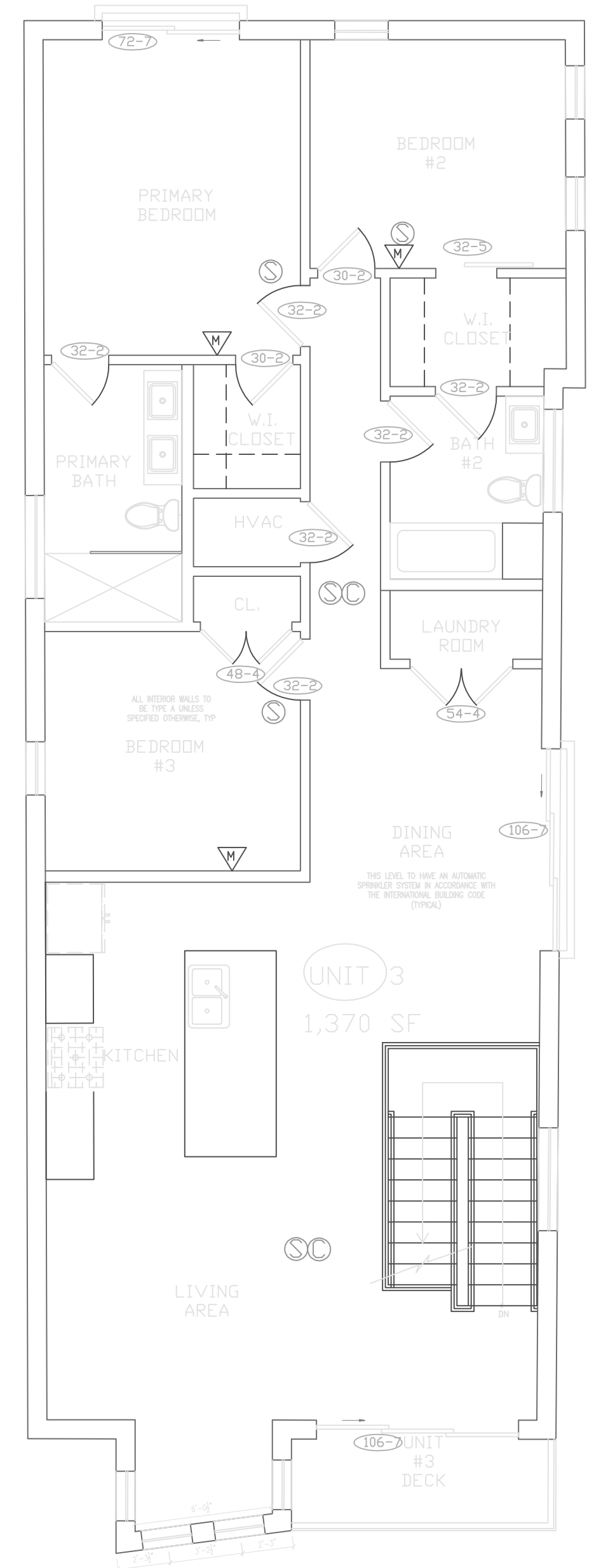
1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN KRONOS CO. AND IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR USED FOR THE MANUFACTURE OF ANY ARTICLE WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.
2. WORK TO FIGURED DIMENSIONS ONLY.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, SERVICE ENGINEER'S AND KRONOS CO. DRAWINGS AND SPECIFICATIONS.

ENGINEERING STAMP:

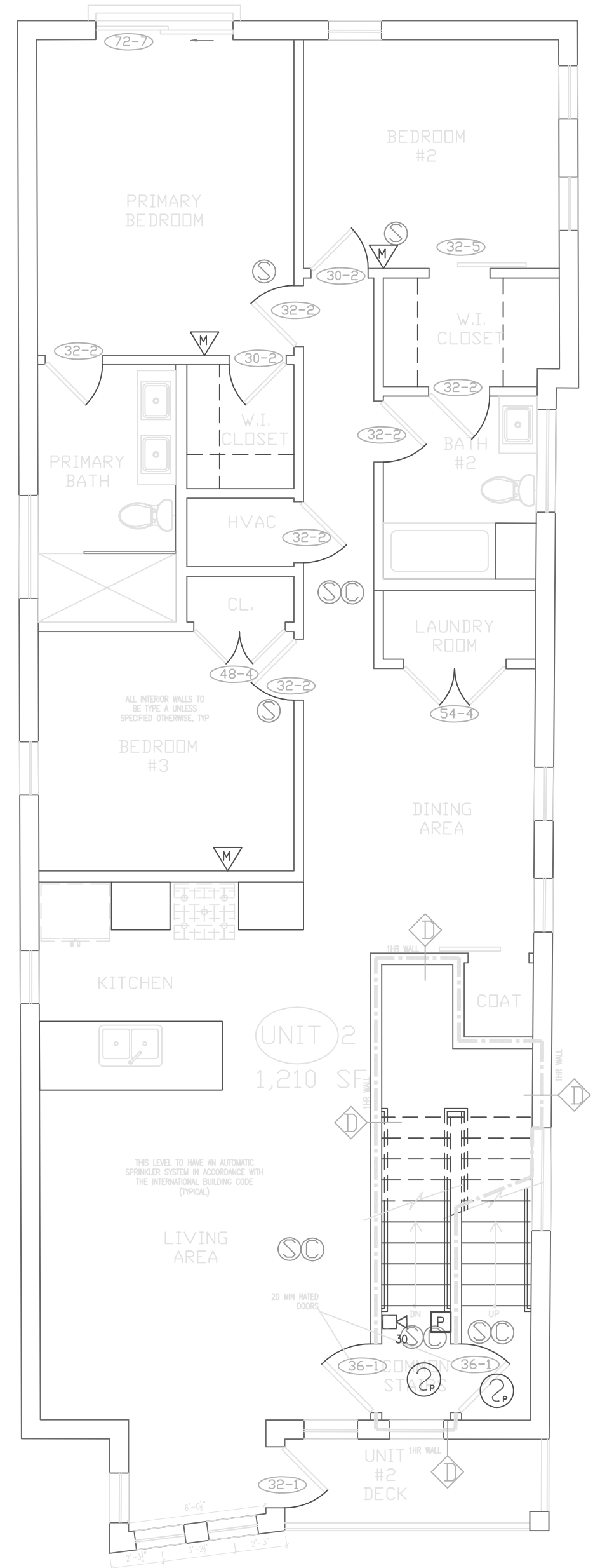


RESIDENTIAL MULTI UNIT

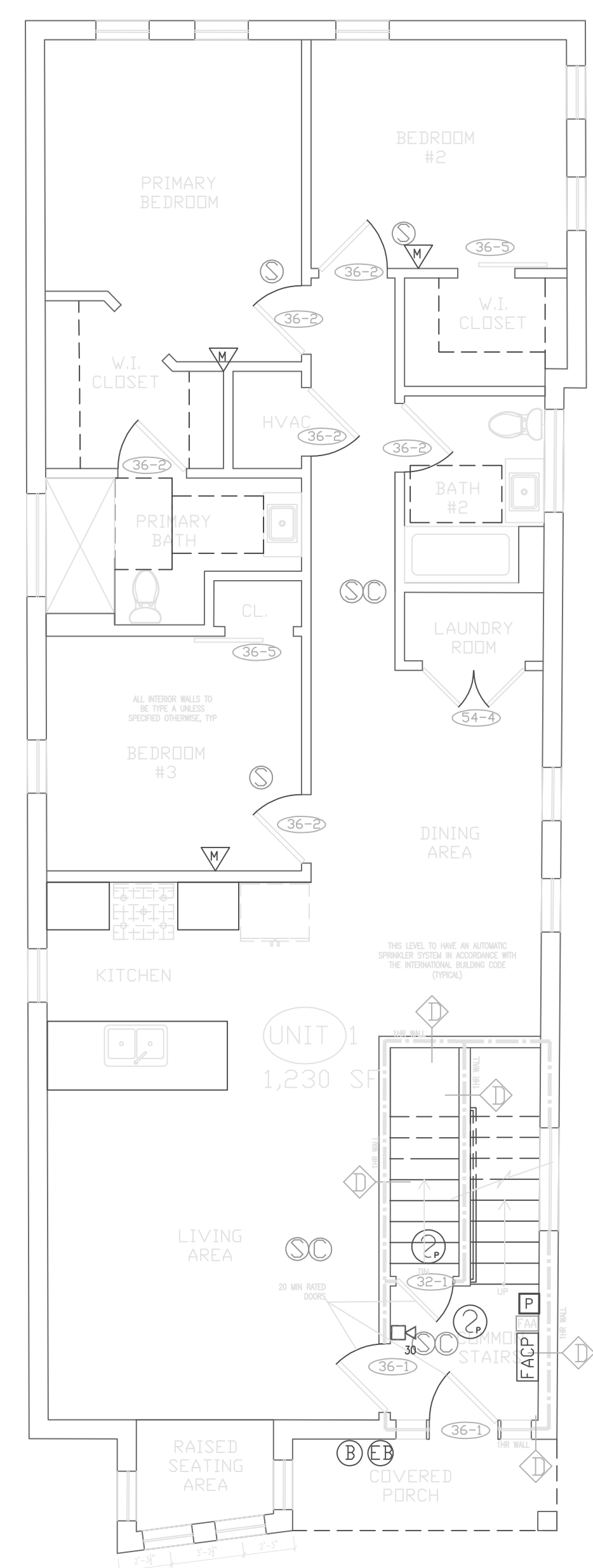
17 PERRIN ST BOSTON, MA



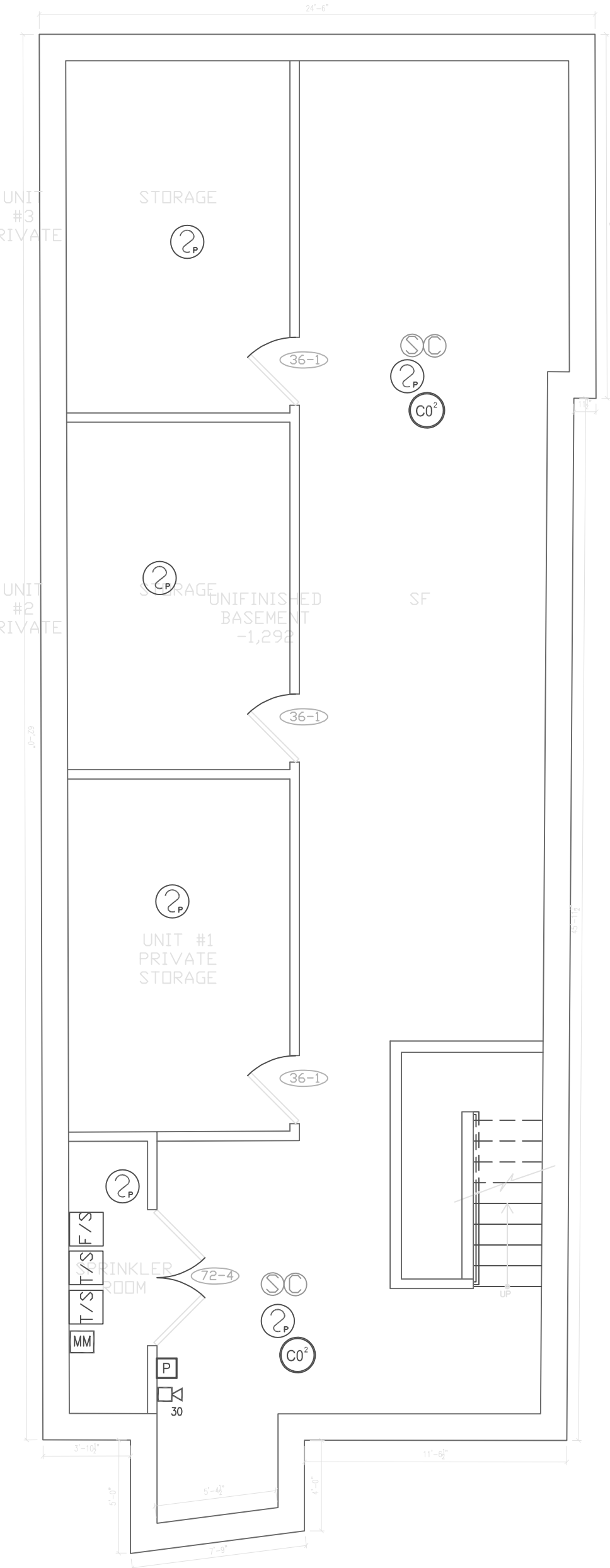
3RD FLOOR PLAN



2ND FLOOR PLAN



1ST FLOOR PLAN



BASEMENT PLAN

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: FIRE ALARM			

CLIENT:  
ENGINEER: KRONOS COLLABORATIVE  
4 LONGFELLOW PL  
BOSTON, MA

SITE: 71 PERRIN ST  
BOSTON, MA

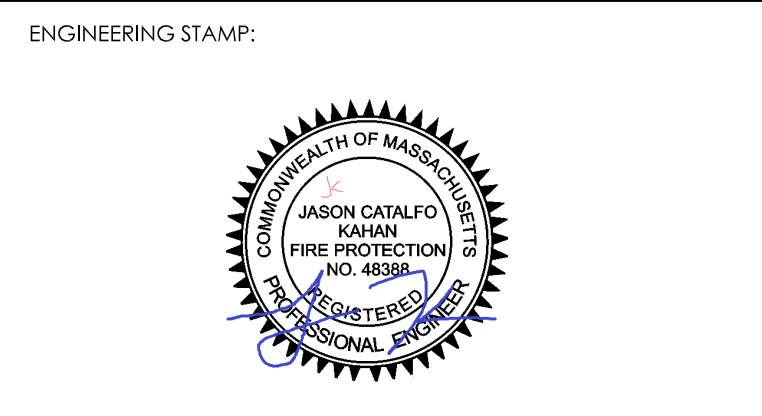
TITLE: FIRE ALARM  
BASE-3RD

SCALE AT:	DATE:	DRAWN:	CHECKED:
3/16"=1'-0"	8/14/23	JK	NB
PROJECT NO:	DRAWING NO:	REVISION:	
		FA 1	



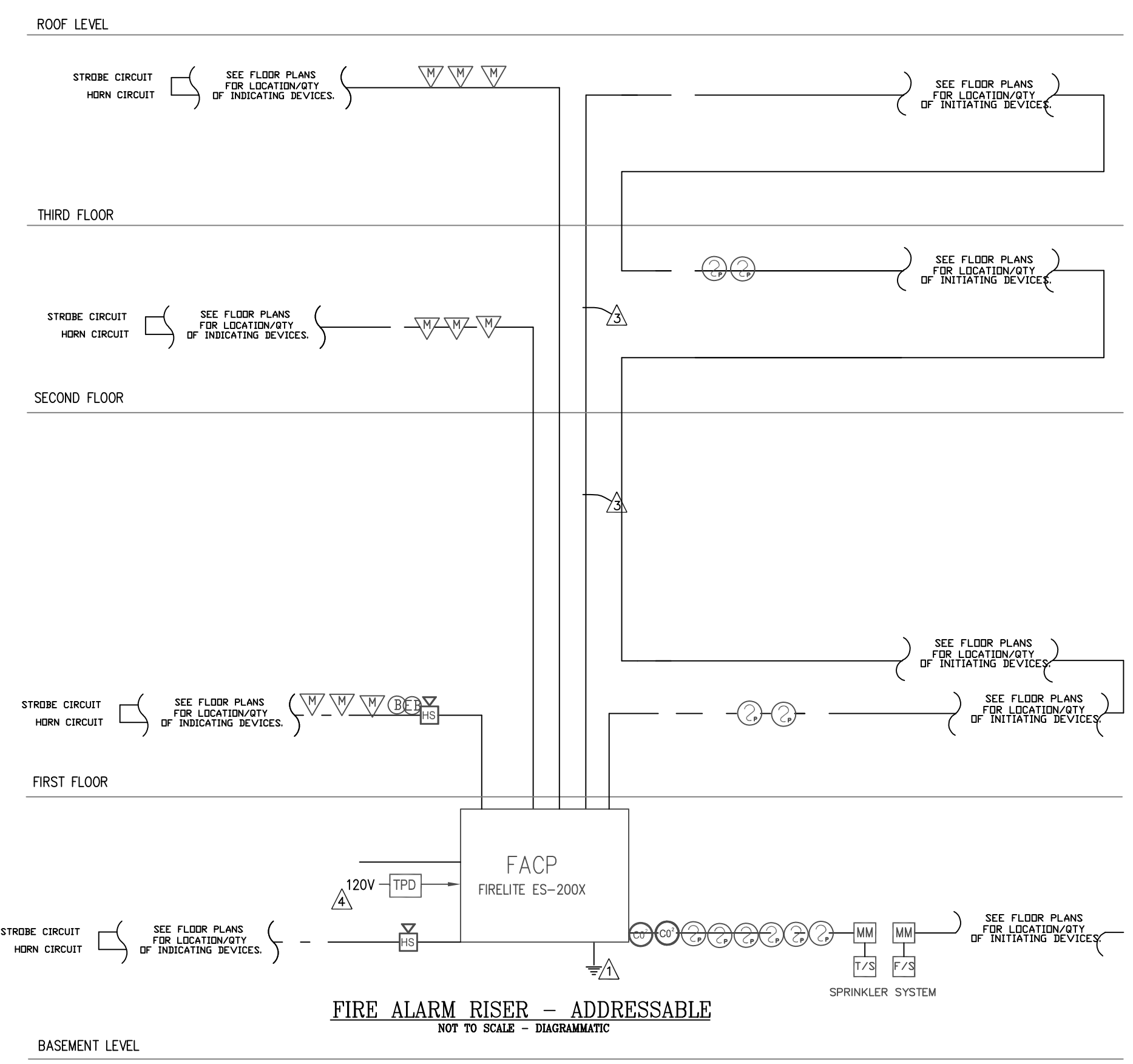
KRONOS CO. 4 LONGFELLOW PL BOSTON MA

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 1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN KRONOS CO. AND IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR USED FOR THE MANUFACTURE OF ANY ARTICLE WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.  
 2. WORK TO FIGURED DIMENSIONS ONLY.  
 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, SERVICE ENGINEER'S AND KRONOS CO. DRAWINGS AND SPECIFICATIONS.



RESIDENTIAL MULTI UNIT

17 PERRIN ST BOSTON, MA



**FIRE ALARM SYMBOLS**

TS	TAMPER SWITCH
FS	FLOW SWITCH
MM	MONITOR MODULE
CM	CONTROL MODULE
IM	ISOLATOR MODULE
SPK	COMBINATION SPEAKER/STROBE, ADA APPROVED, 80" AFF, 15/75 CANDELLA, SET AT 15 cd U.O.N. ON FLOOR PLANS. DESIGNATES CANDELLA RATING.
WH	EXTERIOR WEATHERPROOF HORN/STROBE EXACT LOCATION AND HEIGHT PER FIRE DEPARTMENT
MF	LF MINIHORN (GENTEX GHLF 24 VDC SERIES)
FACP	FIRE ALARM CONTROL PANEL WITH BATTERY BACKUP, NOTIFIER, FCI OR APPROVED EQUAL
P	ADDRESSABLE MANUAL PULL STATION 48" AFF
SD	ADDRESSABLE SYSTEM SMOKE DETECTOR
CD	ADDRESSABLE SYSTEM CO2 DETECTOR
RT	REMOTE TEST OF FACP
AD	AUTOMATIC DAMPER
H	HEAT DETECTOR 200 Deg. fixed temp.
200'	
D	DIGITAL UL DIALER
TPD	TRANSIENT PROTECTIVE DEVICE
K	KNOX BOX
	NOTE: NOT ALL DEVICES USED IN THIS SYSTEM PRODUCTS SHALL BE AS INDICATED OR EQUAL
LC	LOCAL HARDWIRED SMOKE/CO
LC	LOCAL HARDWIRED SMOKE
B	BEACON
EB	ELECTRIC BELL

- FIRE ALARM NOTES**
- ALL FIRE ALARM SYSTEM WIRING SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, APPLICABLE STATE AND LOCAL FIRE AND SAFETY CODES, AS WELL AS BEING COORDINATED WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
  - CAUTION: DO NOT CONNECT ANY POWER TO CONTROL PANEL, BATTERIES OR 120VAC UNTIL ALL OTHER FIELD WIRING IS TESTED AND CONNECTED.
  - DO NOT INSTALL ANY A.C. CURRENT CARRYING CONDUCTORS CLOSE TO OR IN THE SAME RACEWAY WITH FIRE ALARM SYSTEM CONDUCTORS.
  - THE ENTIRE FIRE ALARM SYSTEMS SHALL BE A CLASS "A" ADDRESSABLE SYSTEM.
  - THE RATING OF THE CONTROL MODULE (ES-200X) CONTACTS ARE: 20 WATTS ALIQUOT 25 OR 70 VOLTS, 2.0 AMPS DC (BELLS, HORNS AND DC CONTROL CIRCUITS) 0.3 AMPS INDUCTIVE
  - ALL OUTPUT SIGNAL CIRCUITS ARE SHOWN IN ALARM CONDITION. POLARITY IS REVERSED WHEN THE SYSTEM IS IN THE SUPERVISORY CONDITION.
  - OWNER TO PROVIDE DESIGNATIONS FOR DEVICES PROGRAMMING LANGUAGE.
  - REFER TO FLOOR PLANS FOR EXACT LOCATIONS AND QUANTITY OF ALL DEVICES.
  - FIRE ALARM CONTRACTOR SHALL FIELD VERIFY THE LENGTHS AND FEASIBILITY OF ALL ROUTING BEFORE BEGINNING WORK.
  - ALL JUNCTION BOX COVERS IN THE FIRE ALARM SYSTEM SHALL BE PAINTED RED, BY THE FIRE ALARM CONTRACTOR, BEFORE THEY ARE INSTALLED.
  - ALL EQUIPMENT SHALL BE UL LISTED AND/OR FM APPROVED.
  - ELECTRICAL SUBCONTRACTOR SHALL INSTALL ALL WIRING TO THE FIRE ALARM CONTROL PANELS. TERMINATIONS TO FACP'S SHALL BE MADE BY THE FIRE ALARM SUPPLIER OR UNDER SUPERVISION OF A REPRESENTATIVE FROM THE FIRE ALARM MANUFACTURER.
  - GROUND ALL EQUIPMENT PER N.E.C. REQUIREMENTS.
  - ALL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE FIRE ALARM CONTRACTOR.
  - ALL CUTTING, PATCHING, AND CORE DRILLING FOR FIRE ALARM SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. FIRE SEAL ALL NEW ELECTRICAL PENETRATIONS IN FLOORS AND WALLS.
  - THE LOCATIONS OF ALL SMOKE DETECTORS AND HEAT DETECTORS SHOWN ARE CONSIDERED TO BE SCHEMATIC ONLY. THE ACTUAL LOCATIONS (SPACING TO ADJACENT DETECTORS, WALLS ETC.) ARE REQUIRED TO MEET NFPA 72.

**FIRE ALARM NOTES & NARRATIVE**

THE FIRE ALARM SYSTEM FOR THIS BUILDING IS MADE UP OF THE FOLLOWING:

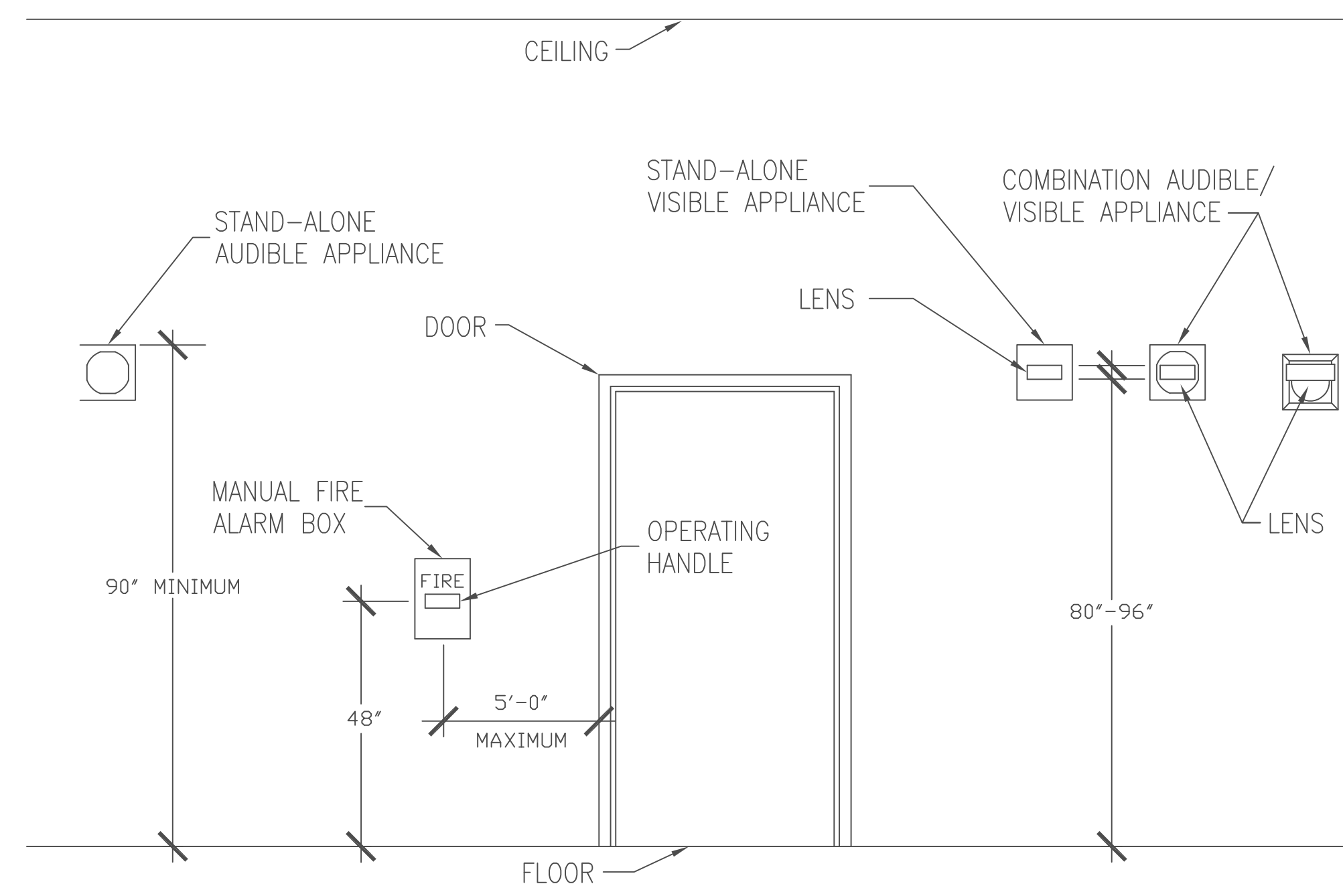
- FIRE ALARM CONTROL PANEL (ADDRESSABLE TYPE) LOCATED IN FRONT ENTRANCE
- PULL STATIONS AT MAIN EGRESS LOCATIONS
- HORN STROBES IN ALL COMMONS AREAS AND LOW FREQUENCY SOUNDERS IN ALL APARTMENTS (70 dB MIN AT PILLOW OF SLEEPING ROOMS).
- LOCAL SMOKE DETECTORS IN ALL BEDROOMS AND COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS WITHIN 10-FT OF ALL BEDROOM DOORS, INTERCONNECTED WITHIN UNIT.
- SYSTEM SMOKE DETECTORS IN ALL COMMON AREAS
- FLOW AND TAMPER SWITCHES FOR SPRINKLER SYSTEM. TAMPER SWITCH SHALL BE TROUBLE ONLY ON THE FIRE ALARM PANEL AND SIGNAL SENT VIA RADIO SIGNAL (WILL NOT TRIP MASTER BOX)
- ELECTRIC BELL LOCATED ON OUTSIDE OF THE BUILDING NEAR FIRE ALARM CONTROL PANEL AND FIRE DEPARTMENT CONNECTION
- KNOX BOX AT MAIN ENTRANCE
- CARBON MONOXIDE DETECTOR SHALL BE LOCATED IN ALL AREAS THAT CONTAIN FOSSIL FUEL AND ADJACENT AREAS AND CONNECTED TO THE FIRE ALARM SYSTEM. TROUBLE ONLY ON FIRE ALARM PANEL AND SIGNAL SENT VIA RADIO SIGNAL (WILL NOT TRIP MASTER BOX).

**SYSTEM OPERATION**

THE ACTIVATION OF ANY MANUAL FIRE ALARM STATION OR THE AUTOMATIC ACTUATION OF ANY SYSTEM SMOKE DETECTOR, SPRINKLER SYSTEM WATER FLOW SWITCH OR ANY OTHER APPROVED ALARM INITIATION DEVICE SHALL IMMEDIATELY RESULT IN THE FOLLOWING:

- THE DEVICE IN ALARM SHALL BE LISTED ON A DISPLAY AT THE FIRE ALARM PANEL AND REMOTE ANNUNCIATOR
- THE AUDIBLE HORNS SHALL SOUND A TEMPORAL PATTERN AT ALL LOCATIONS
- ALL VISUAL ALARM SIGNALS SHALL FLASH AT A RATE OF 120 FLASHES PER MINUTE.
- IF ALARM SIGNALS ARE SILENCED FOR ANY REASON, THEY SHALL AUTOMATICALLY RESOUND IF ANOTHER ADDRESS IS TRIPPED
- OUTDOOR BEACON LIGHTS WILL ILLUMINATE
- IN THE EVENT OF A COMMERCIAL POWER INTERRUPTION, THE SYSTEM SHALL AUTOMATICALLY TRANSFER TO AN EMERGENCY BATTERY SOURCE.

THESE DRAWINGS ARE FOR DIAGRAMMATICAL USE ONLY. FIRE ALARM CONTRACTOR TO SUBMIT TIER II SHOP DRAWINGS, BATTERY CALCULATIONS AND PRODUCT CUTS TO BE REVIEWED BY KRONOS COLLABORATIVE AND REVIEWED AND APPROVED BY THE BOSTON FIRE DEPARTMENT AND BUILDING DEPARTMENT. FIRE ALARM CONTRACTOR IS RESPONSIBLE FOR PAYMENT THE FEE FOR TIER 2 REVIEW .



**TYPICAL MOUNTING HEIGHT DETAIL FOR WALL MOUNTED DEVICES**

C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
	FIRE ALARM		

CLIENT:  
 ENGINEER: KRONOS COLLABORATIVE  
 4 LONGFELLOW PL  
 BOSTON, MA

SITE: 71 PERRIN ST  
 BOSTON, MA  
 TITLE: FIRE ALARM  
 INFO SHEET  
 SCALE AT: 3/16"=1'-0"  
 DATE: 8/14/23  
 DRAWN: JK  
 CHECKED: NB  
 PROJECT NO:  
 DRAWING NO: FA 2  
 REVISION:



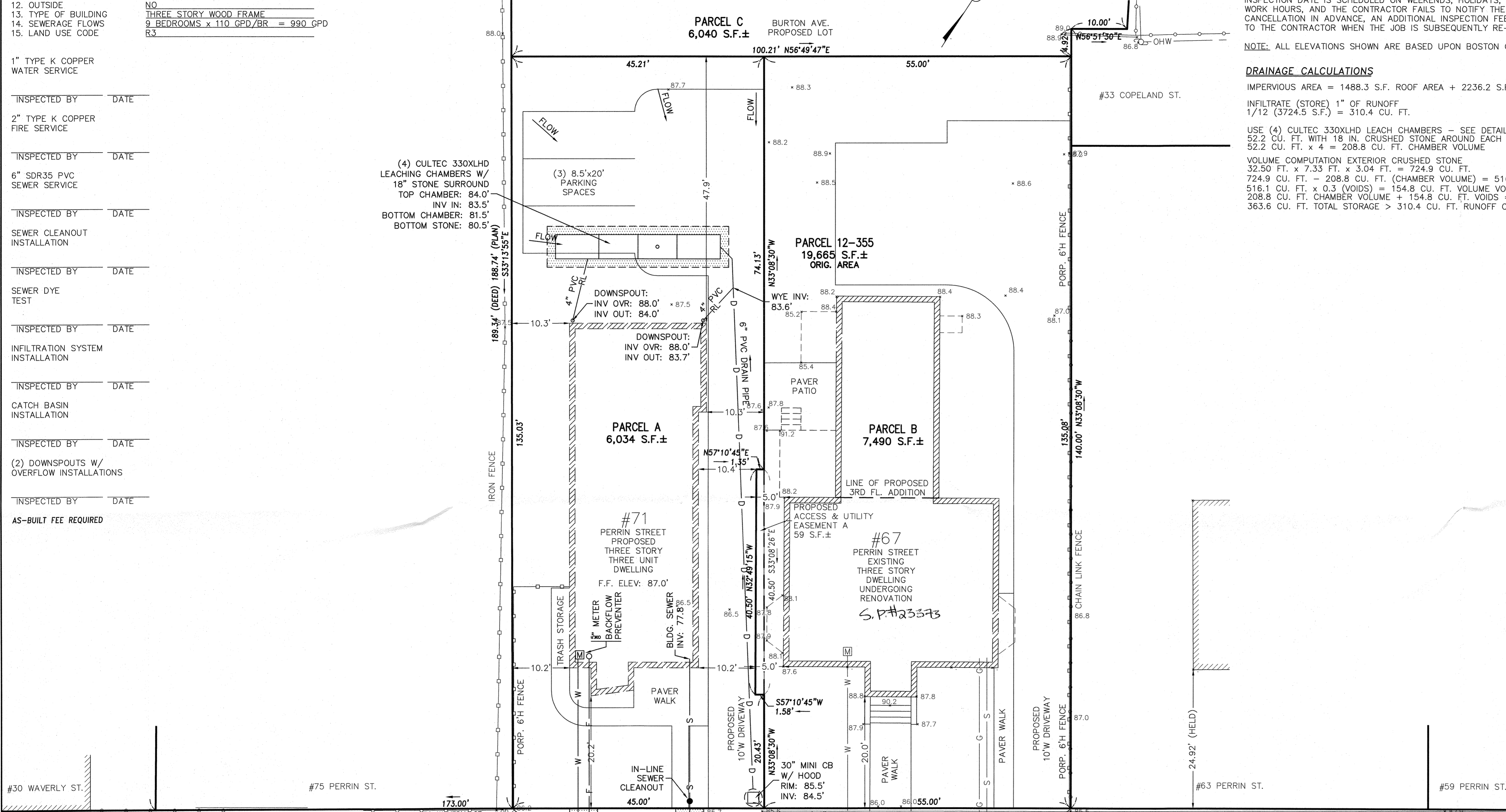
1. ACCOUNT NUMBER \_\_\_\_\_  
 2. PARCEL NUMBER \_\_\_\_\_  
 3. WARD \_\_\_\_\_  
 4. PROPERTY LOCATION \_\_\_\_\_  
 5. NEIGHBORHOOD \_\_\_\_\_  
 6. ZIP CODE \_\_\_\_\_  
 7. OWNER ADDRESS \_\_\_\_\_  
 8. OWNER TELEPHONE NO. \_\_\_\_\_  
 9. TYPE OF PREMISE \_\_\_\_\_  
 10. METER SIZE \_\_\_\_\_  
 11. INSIDE \_\_\_\_\_  
 12. OUTSIDE \_\_\_\_\_  
 13. TYPE OF BUILDING \_\_\_\_\_  
 14. SEWERAGE FLOWS \_\_\_\_\_  
 15. LAND USE CODE \_\_\_\_\_

NEW ACCOUNT NUMBER \_\_\_\_\_  
 355  
 12  
 71 PERRIN STREET  
 ROXBURY  
 02119-2650  
 1A TREETOP CIR, NORTHBOROUGH, MA 01532  
 TIMOTHY LONGDEN - 508-769-8921  
 THREE FAMILY RESIDENTIAL  
 5/8"  
 YES  
 NO  
 THREE STORY WOOD FRAME  
 9 BEDROOMS x 110 GPD/BR = 990 GPD  
 R3

THIS PLAN HAS BEEN CALCULATED FROM INSTRUMENT SURVEY AND FROM RECORD INFORMATION ONLY. THE ABSENCE OR EXACTNESS OF UTILITIES IS NEITHER INTENDED OR IMPLIED. THE CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES.

CONTRACTOR TO NOTIFY DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

- 1" TYPE K COPPER WATER SERVICE
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- 2" TYPE K COPPER FIRE SERVICE
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- 6" SDR35 PVC SEWER SERVICE
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- SEWER CLEANOUT INSTALLATION
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- SEWER DYE TEST
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- INFILTRATION SYSTEM INSTALLATION
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- CATCH BASIN INSTALLATION
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- (2) DOWNSPOUTS W/ OVERFLOW INSTALLATIONS
- INSPECTED BY \_\_\_\_\_ DATE \_\_\_\_\_
- AS-BUILT FEE REQUIRED



AFTER THE SITE PLAN IS SIGNED BY THE CHIEF ENGINEER OF THEIR DESIGNEE, A GENERAL SERVICE APPLICATION (GSA) MUST BE FILLED OUT AND SIGNED BY THE PROPERTY OWNER OR AN AGENT OF THE OWNER PRIOR TO THE TIME OF INSTALLATION OF DOMESTIC WATER SERVICE, FIRE PIPE SERVICE, BUILDING SANITARY SEWER OR BUILDING STORM DRAIN CONNECTIONS. A PREREQUISITE FOR FILING A GSA WITH THE BOSTON WATER AND SEWER COMMISSION (BWSC) FOR NEW CONSTRUCTION IS THE ROUGH CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT (ISD). AN INSPECTION FEE WILL BE CHARGED FOR EACH NEW WATER AND SEWER CONNECTION, TWENTY-FOUR (24) HOURS ADVANCED NOTICE IS REQUIRED FOR INSPECTION SCHEDULING. IF ANY INSPECTION DATE IS SCHEDULED ON WEEKENDS, HOLIDAYS, OR AFTER REGULAR WORK HOURS, AND THE CONTRACTOR FAILS TO NOTIFY THE BWSC INSPECTORS OF CANCELLATION IN ADVANCE, AN ADDITIONAL INSPECTION FEE WILL BE CHARGED TO THE CONTRACTOR WHEN THE JOB IS SUBSEQUENTLY RE-SCHEDULED.

NOTE: ALL ELEVATIONS SHOWN ARE BASED UPON BOSTON CITY BASE U.O.S.

**DRAINAGE CALCULATIONS**  
 IMPERVIOUS AREA = 1488.3 S.F. ROOF AREA + 2236.2 S.F. DRIVEWAY/PARKING  
 INFILTRATE (STORE) 1" OF RUNOFF  
 1/12 (3724.5 S.F.) = 310.4 CU. FT.

USE (4) CULTEC 330XLHD LEACH CHAMBERS - SEE DETAIL  
 52.2 CU. FT. WITH 18 IN. CRUSHED STONE AROUND EACH  
 52.2 CU. FT. x 4 = 208.8 CU. FT. CHAMBER VOLUME  
 VOLUME COMPUTATION EXTERIOR CRUSHED STONE  
 32.50 FT. x 7.33 FT. x 3.04 FT. = 724.9 CU. FT.  
 724.9 CU. FT. - 208.8 CU. FT. (CHAMBER VOLUME) = 516.1 CU. FT.  
 516.1 CU. FT. x 0.3 (VOIDS) = 154.8 CU. FT. VOLUME VOIDS STORAGE  
 208.8 CU. FT. CHAMBER VOLUME + 154.8 CU. FT. VOIDS = 363.6 CU. FT.  
 363.6 CU. FT. TOTAL STORAGE > 310.4 CU. FT. RUNOFF CALCULATION

BOSTON WATER AND SEWER COMMISSION  
 LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

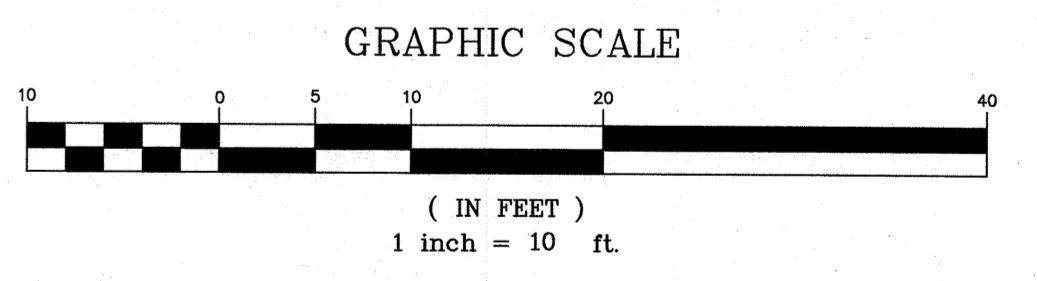
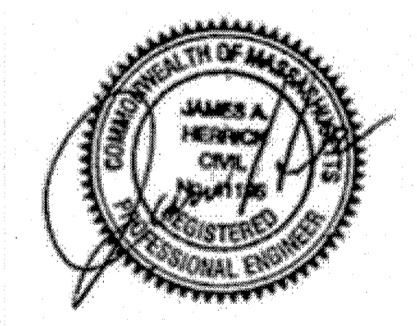
REVIEWED AND APPROVED AS TO PROPOSED CONNECTION(S) TO EXISTING WATER AND SEWER FACILITIES AS SHOWN, FOR ISSUE OF BUILDING PERMIT ONLY. ADDITIONAL PERMITS MUST BE OBTAINED FROM BWSC PRIOR TO CONNECTION TO BWSC FACILITIES. SITE PLANS ARE VALID FOR A PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL.

*[Signature]*  
 JOHN P. SULLIVAN JR., P.E.  
 CHIEF ENGINEER  
 DATE: 9/29/23

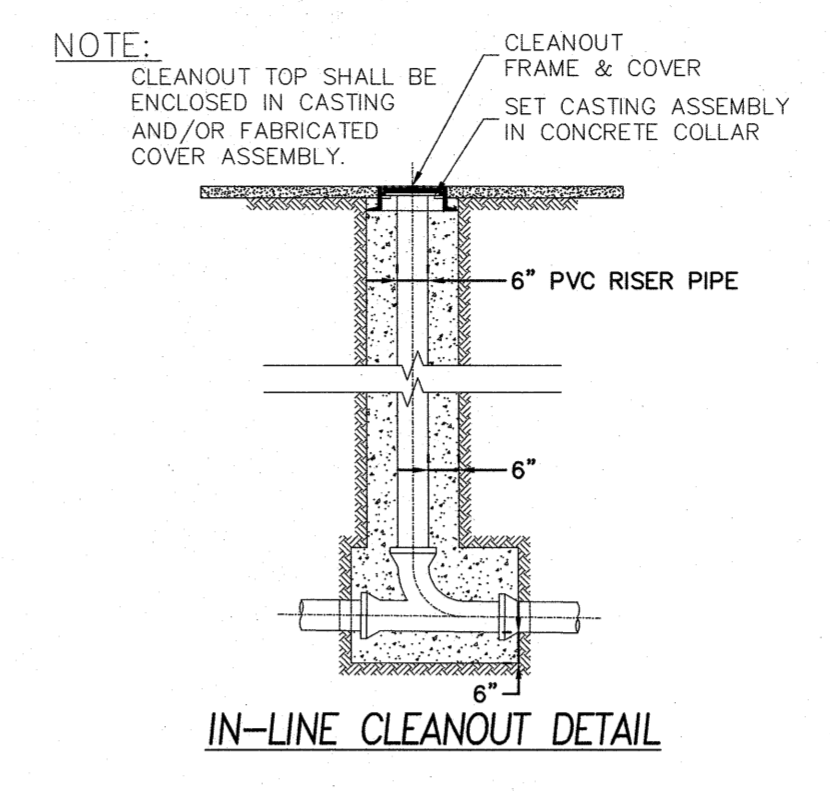
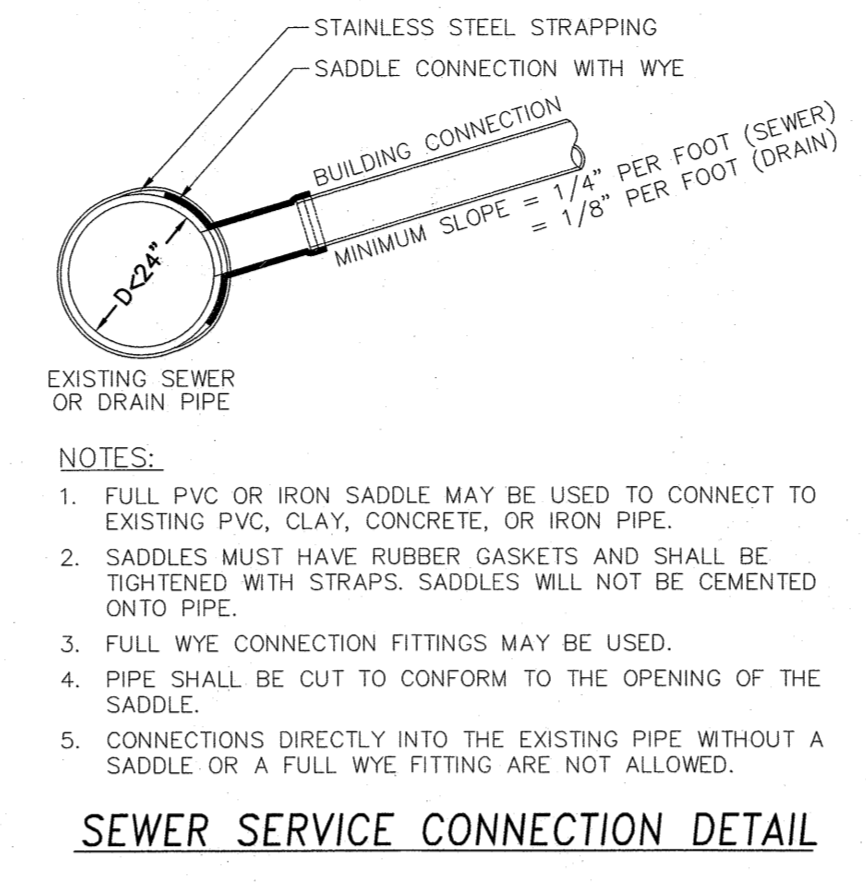
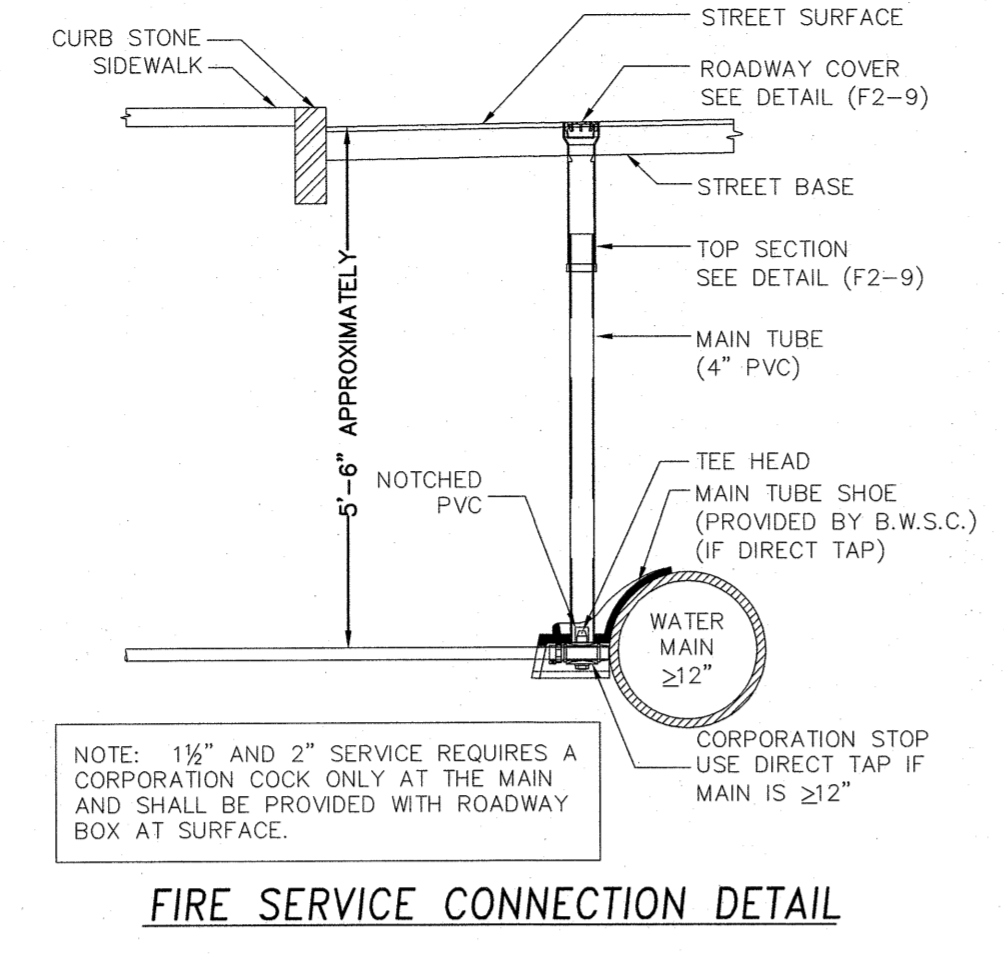
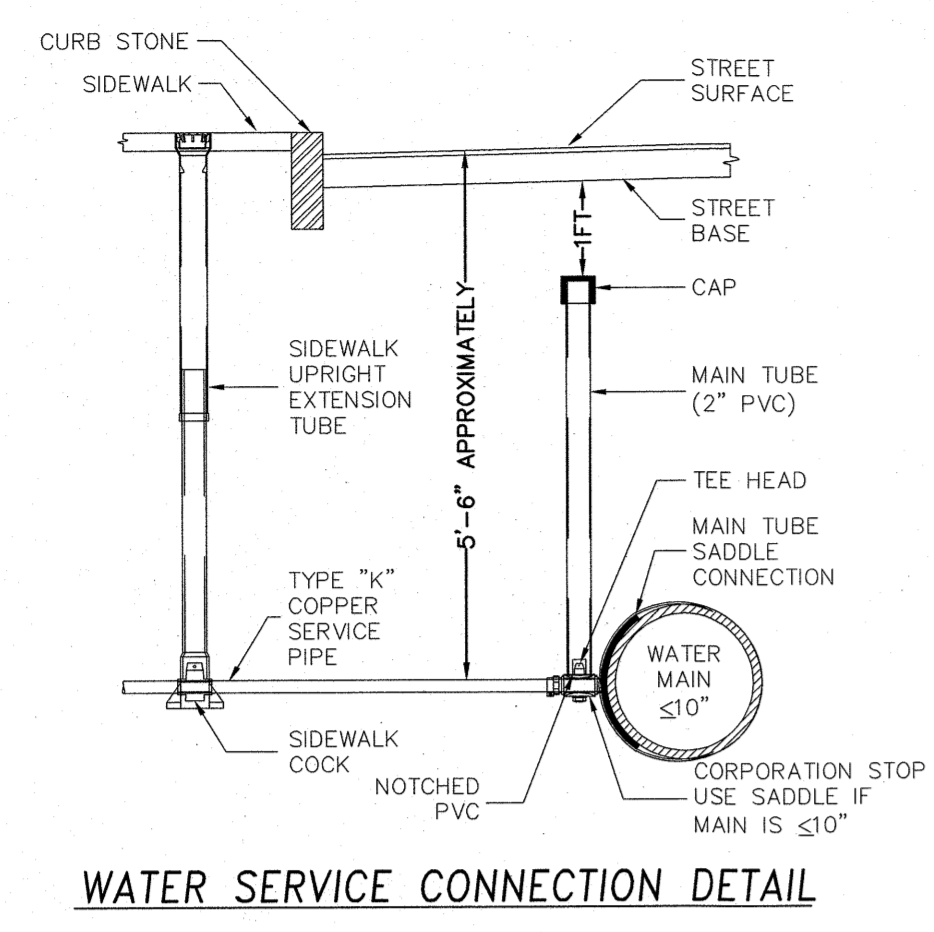
FOR BWSC ONLY

ALL WATER, SEWER, AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER, LICENCED BY THE BOSTON WATER AND SEWER COMMISSION.

BOSTON WATER AND SEWER COMMISSION  
 BACKFLOW PREVENTER INSTALLATION  
 APPROVAL: *[Signature]* DATE: 9/29/23



SITE PLAN #23-372  
 71 PERRIN STREET  
 ROXBURY, MA  
 FOR  
 LONGDEN REALTY, LLC  
 CIVIL ENVIRONMENTAL CONSULTANTS, LLC  
 8 OAK STREET PEABODY, MA 01960 - (978) 531-1191  
 SHEET NO: 1 OF 2  
 DATE: 9/20/2023 JOB: 4525  
 DRAWN BY: C.R.L.

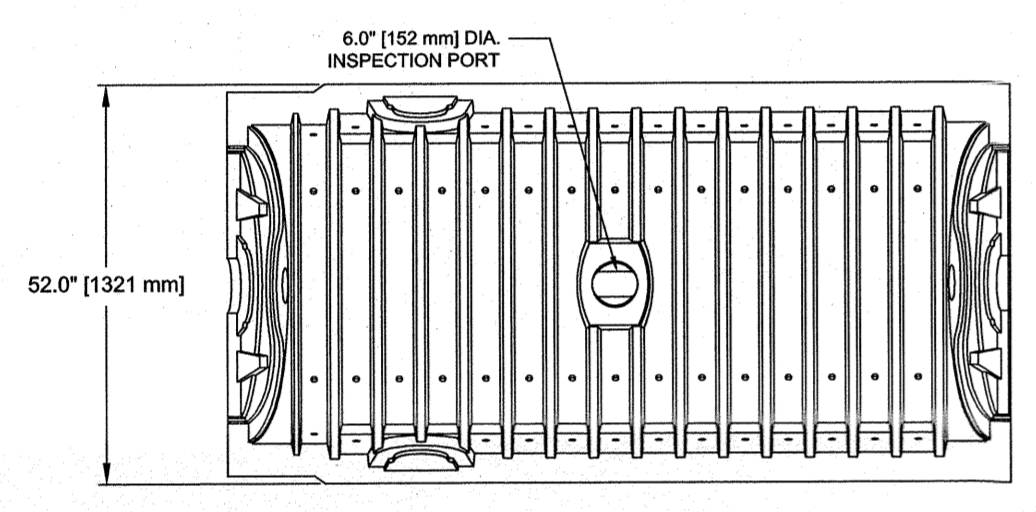


REVIEWED AND APPROVED AS TO PROPOSED CONNECTION(S) TO EXISTING WATER AND SEWER FACILITIES AS SHOWN, FOR ISSUE OF BUILDING PERMIT ONLY. ADDITIONAL PERMITS MUST BE OBTAINED FROM BWSC PRIOR TO CONNECTION TO BWSC FACILITIES. SITE PLANS ARE VALID FOR A PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL.

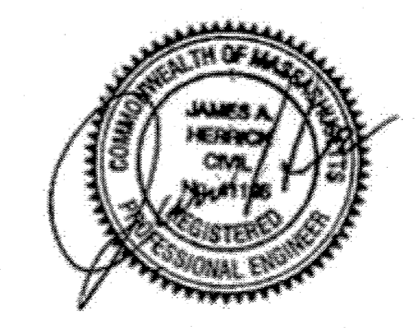
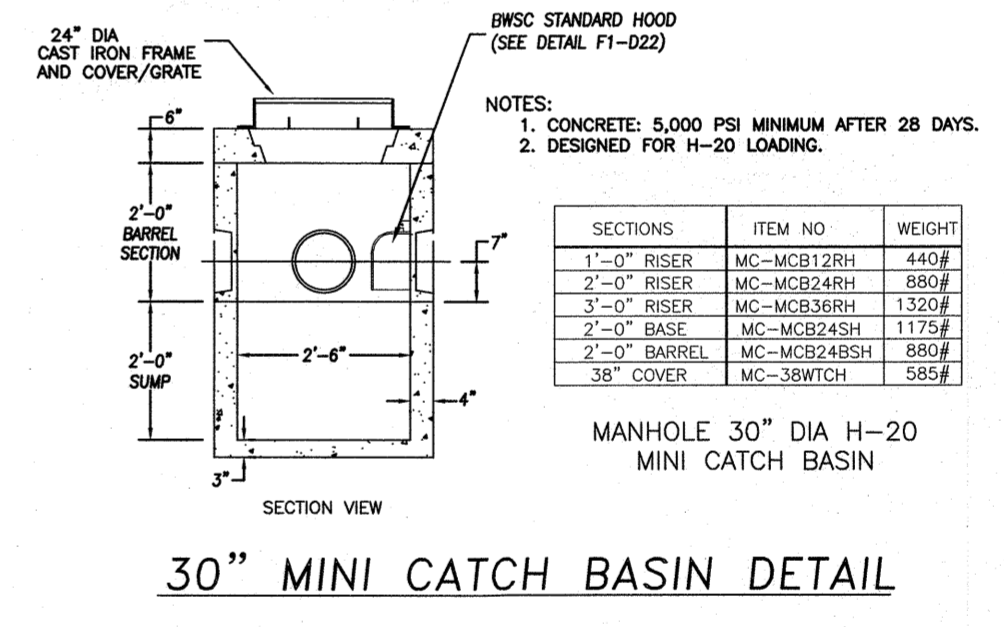
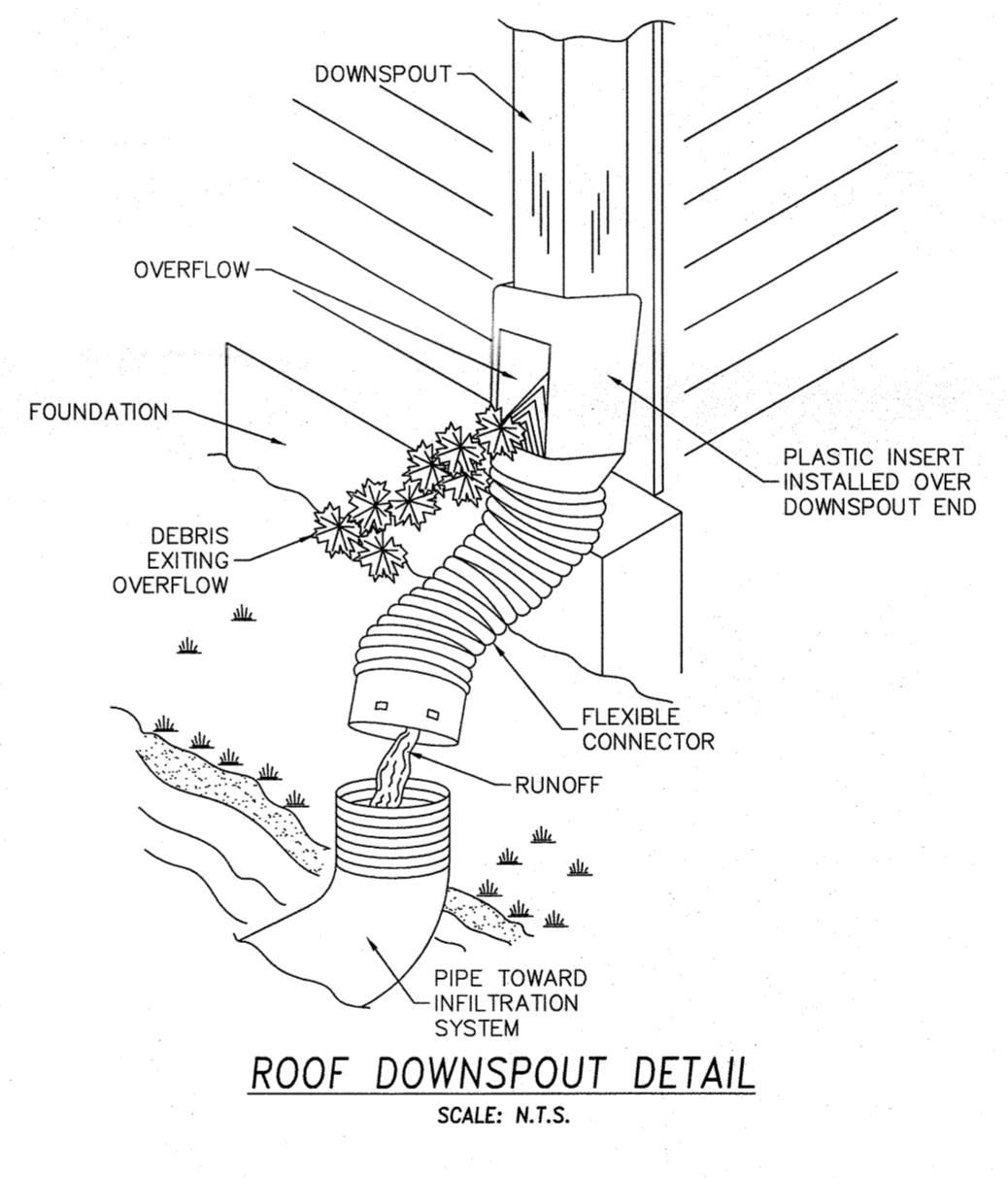
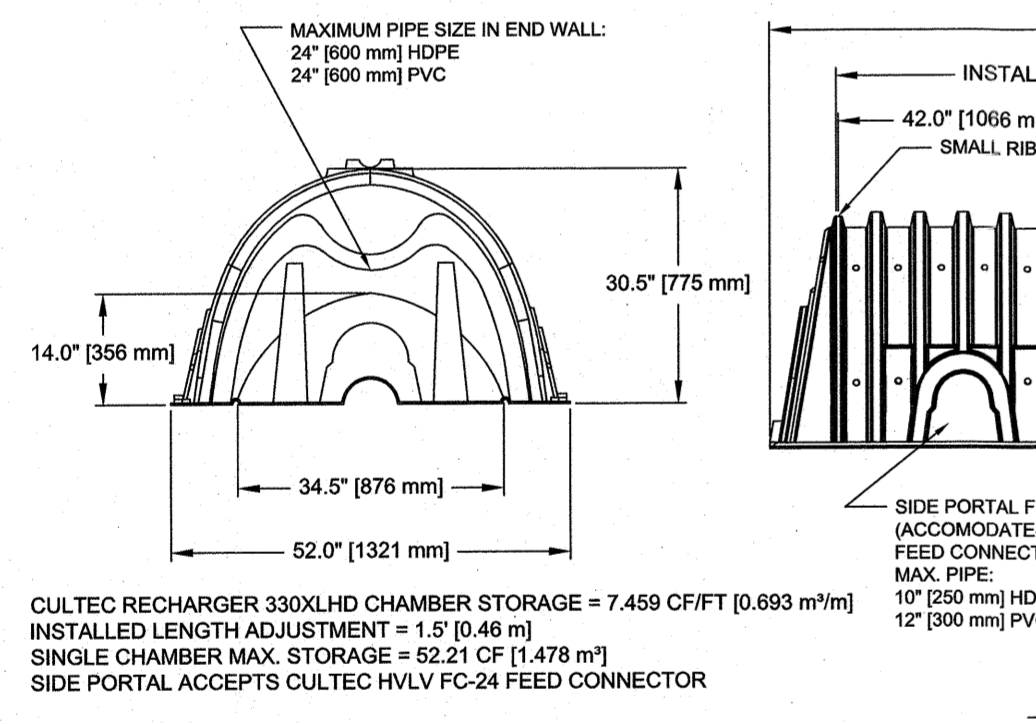
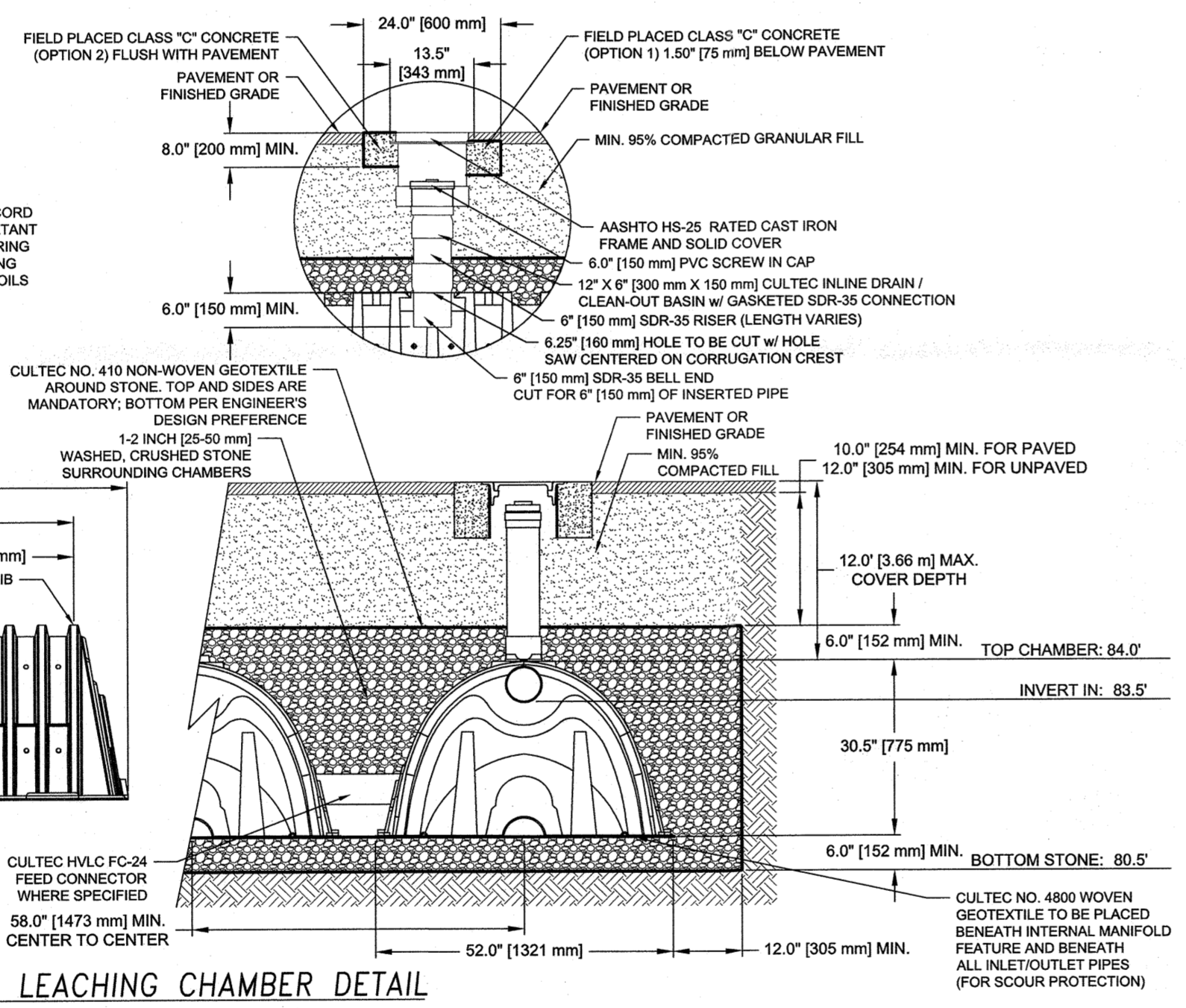
JOHN P. SULLIVAN JR., P.E. DATE  
CHIEF ENGINEER

FOR BWSC ONLY

ALL WATER, SEWER, AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER, LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.



NOTE: PROJECT ENGINEER OF RECORD OR GEOTECHNICAL CONSULTANT IS RESPONSIBLE FOR ENSURING THAT THE REQUIRED BEARING CAPACITY OF SUB-GRADE SOILS HAS BEEN MET.



SITE PLAN #23-\_\_\_ DETAILS  
67 PERRIN STREET  
ROXBURY, MA  
FOR  
LONGDEN REALTY, LLC  
CIVIL ENVIRONMENTAL CONSULTANTS, LLC  
8 OAK STREET PEABODY, MA 01960 - (978) 531-1191  
SHEET NO: 2 OF 2 DATE: 9/20/2023 JOB: 4525  
DRAWN BY: C.R.L.