



BPDA Design Review Provisos
1149 Harrison Avenue, Roxbury
Neighborhood Design Review
9/5/23

General

1. All changes to the exterior and/or site plans shall be submitted to the Boston Planning & Development Agency ("BPDA") for review and approval.
2. All building improvements shall be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the BPDA.
3. All site improvements, including but not limited to hardscape and plantings, must be completed *prior to issuance of occupancy permit by ISD* unless prior approval is granted by the BPDA for a delay in completing the site improvements.

Site

4. An updated certified plot plan shall be submitted to the BPDA for review and approval.
5. Curb-cuts should be limited to 10ft wide for residential projects, and 20ft wide for commercial projects. The pedestrian sidewalk must be continuous over the access driveway.
6. All new trees shall be a minimum 3" in caliper.

Building

7. All proposed signage shall be submitted to the BPDA for review and approval.

Mechanical

8. The final location of the HVAC compressors, gas meters, electric meters, generators, switchgear, and transformers shall be adequately screened from public view and will not be allowed in the front yard.
9. All mechanical vents shall be through the roof or rear wall and shall not be visible from the public street. Vents located on elevations that do not directly face a public way should be composed on the facade so as to minimize their appearance.



1
R-0.0 PROPOSED VIEW FROM HARRISON AVE
SCALE: N/A



2
R-0.0 PROPOSED VIEW FROM REAR
SCALE: N/A



3
R-0.0 PROPOSED VIEW FROM CORNER
OF HARRISON AVE AND TABER ST
SCALE: N/A



4
R-0.0 PROPOSED VIEW FROM TABER ST
SCALE: N/A



70 WARREN STREET, SUITE 7
BOSTON, MA 02119
617.953.4356 - INFO@ROSADC.COM

**NEW CONSTRUCTION
MIXED USE DWELLING**
1149-1155 HARRISON AVENUE,
WARD 08

LAYOUT BY: EBR
DRAWN: ASG
CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/17 /2023
PROJECT NO.: RDC/00365
REVISIONS: NOTES: DATE:

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Boston, MA 02130
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DRAWING TITLE:
PROPOSED

SHEET NUMBER:
R-0.0

NEW CONSTRUCTION MIXED USE DWELLING

1149 - 1155 HARRISON AVENUE, WARD 08

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE *Seth P...*
09/07/2023

ROSA DESIGN CONSTRUCTION LLC
70 WARREN STREET, SUITE 7
BOSTON, MA 02119
617.953.4356 - INFO@ROSADC.COM

LOCATION MAP



<http://maps.bostonredevelopmentauthority.org/zoningviewer/>

RENDER SHOWING CONTEXT



<https://bit.ly/31O467P>

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THIS OFFICE IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL GIVE A WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
8. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED, AND THIS OFFICE SHALL BE NOTIFIED OF INCONSISTENCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH THE WORK.
9. TAKE FIELD MEASUREMENTS BEFORE FABRICATION WORK TO ENSURE THAT COMPONENTS FIT TOGETHER PROPERLY.

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Approved with attached provisos.

GENERAL SYMBOLS

ROOM NAME	ROOM TAG
	BREAK LINE
	WINDOW
	DOOR
	OBJECT ABOVE OR BELOW
	COMBO - EXHAUST LIGHT
	EXTERIOR ELEVATION

ZONING

ZONING DISTRICT: ROXBURY NEIGHBORHOOD
ZONING SUBDISTRICT: DUDLEY SQUARE EDA
SUBDISTRICT TYPE: ECONOMIC DEVELOPMENT AREA
MAP NO.: 6A-6C
ARTICLE: 50 (TABLE: APPENDIX)
ASSESSOR'S REPORT
PARCEL ID: 0802541000
PROPERTY TYPE: COMMERCIAL LAND
CLASSIFICATION CODE: 0387 (COMMERCIAL PROPERTY / PAY PARKING LOT)
LOT SIZE: 16,284 SQ FT

TABLE C: Roxbury Neighborhood District - Economic Development Areas - Dimensional Regulations

	Dudley Square EDA	Proposed
Maximum Floor Area Ratio	2.0	0.7
Maximum Building Height	55 ⁽¹⁾	44'-0"
Minimum Lot Size	none	none
Minimum Usable Open Space (Square Feet per Dwelling Unit)	none	none
Minimum Lot Width	none	none
Minimum Lot Frontage	none	none
Minimum Front Yard ⁽³⁾	none ⁽²⁾	none
Minimum Side Yard	none	none
Minimum Rear Yard	20	26'-6"

Footnotes to Table C
1. For maximum Building Heights and Floor Area Ratios in established Planned Development Areas in the Dudley Square EDA and Greater Roxbury EDA, see Section 50-14 (Planned Development Areas: Use and Dimensional Regulations).

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DATE: 07/17/2023
PROJECT NO.: RDC/00365
REVISIONS: NOTES: DATE:
OWNER: LARRY BAILEY
CIVIL ENGINEER: PAUL TYRELL
ARCHITECT: DOUGLAS WOHN
STRUCTURAL: SCOTT FOREST
MEP FP-FA: ZADE ASSOCIATES (RON)
GC: Nick Gikas

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DRAWING TITLE:
COVER SHEET

SHEET NUMBER:
A-0.0



1
B-0.1 EXISTING SCHEMATIC SITE PLAN
SCALE: 1/4"=1'-0"



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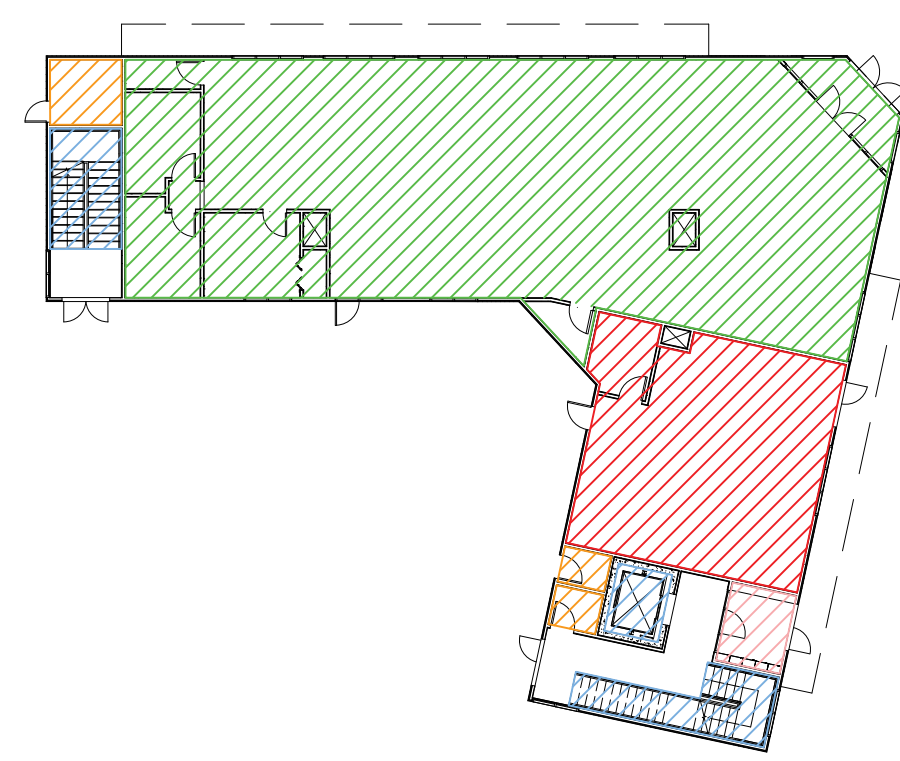
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DRAWING TITLE:
**EXISTING
CONDITIONS**

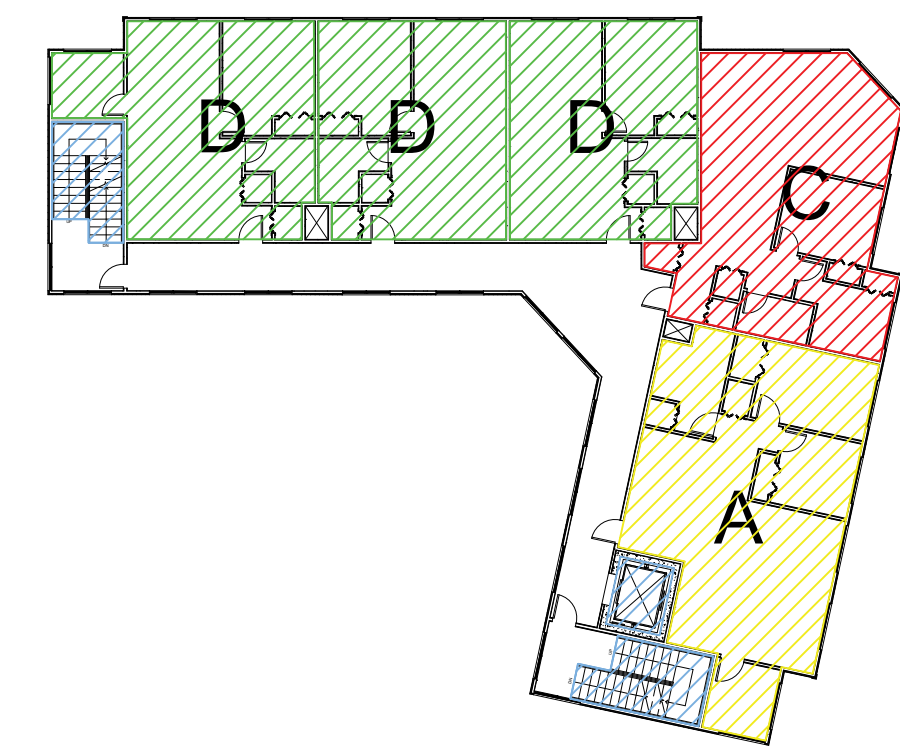
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ZONIFICATION



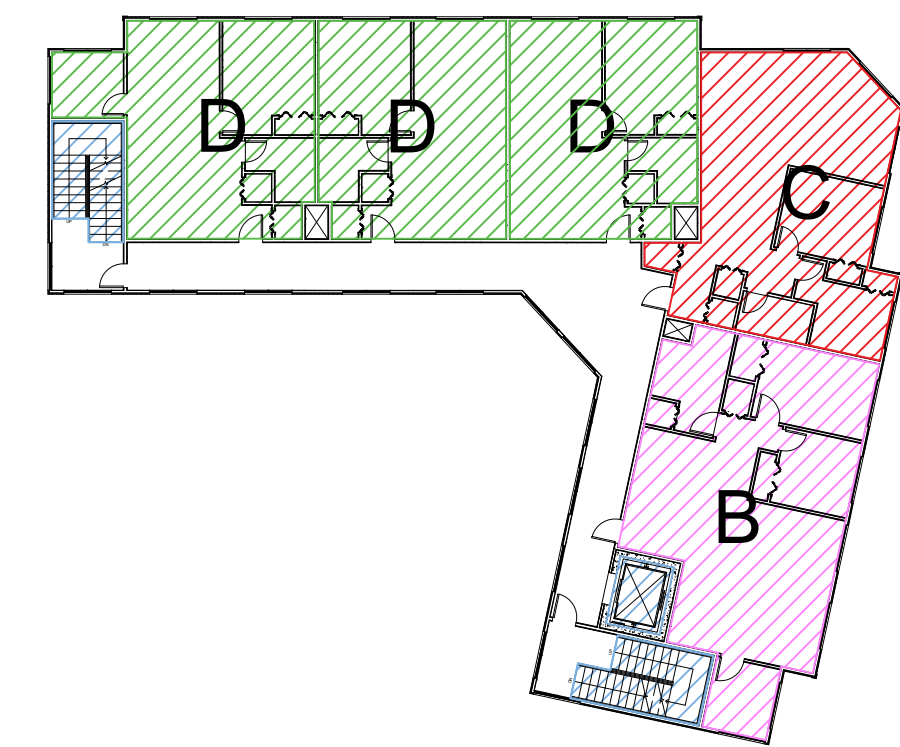
FIRST FLOOR

- OPEN SHELL 1 (3,008 S.F.)
- OPEN SHELL 2 (905 S.F.)
- LOBBY (20 S.F.)
- VERTICAL CIRCULATION
- UTILITY ROOM (32 S.F.)



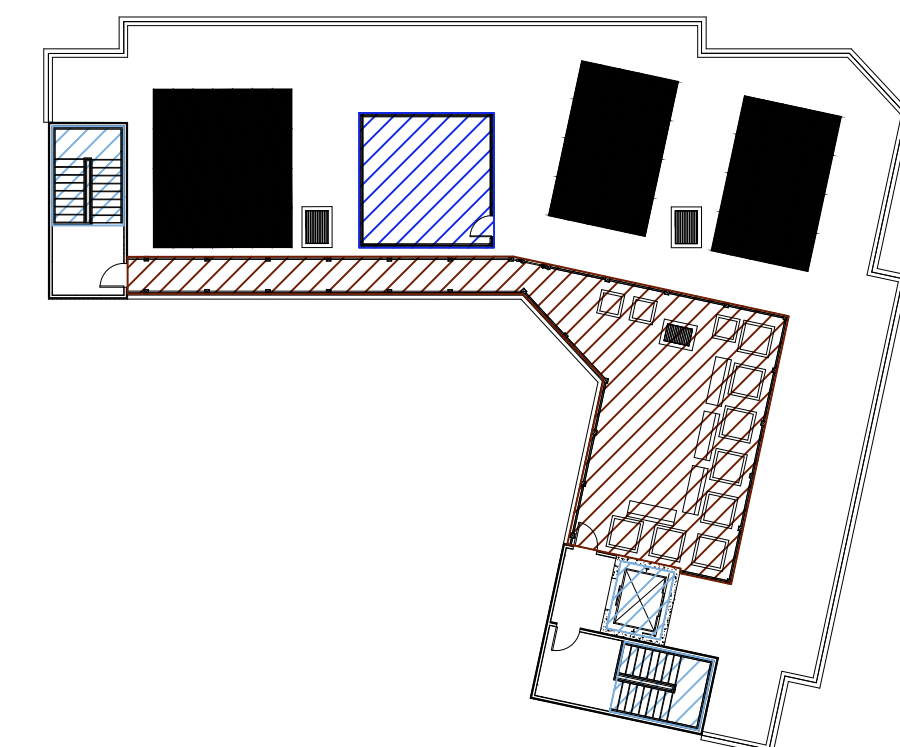
SECOND FLOOR

- APT. TYPE D (3 Units)
- APT. TYPE C (1 Unit)
- APT. TYPE A (1 Unit)
- VERTICAL CIRCULATION



THIRD FLOOR

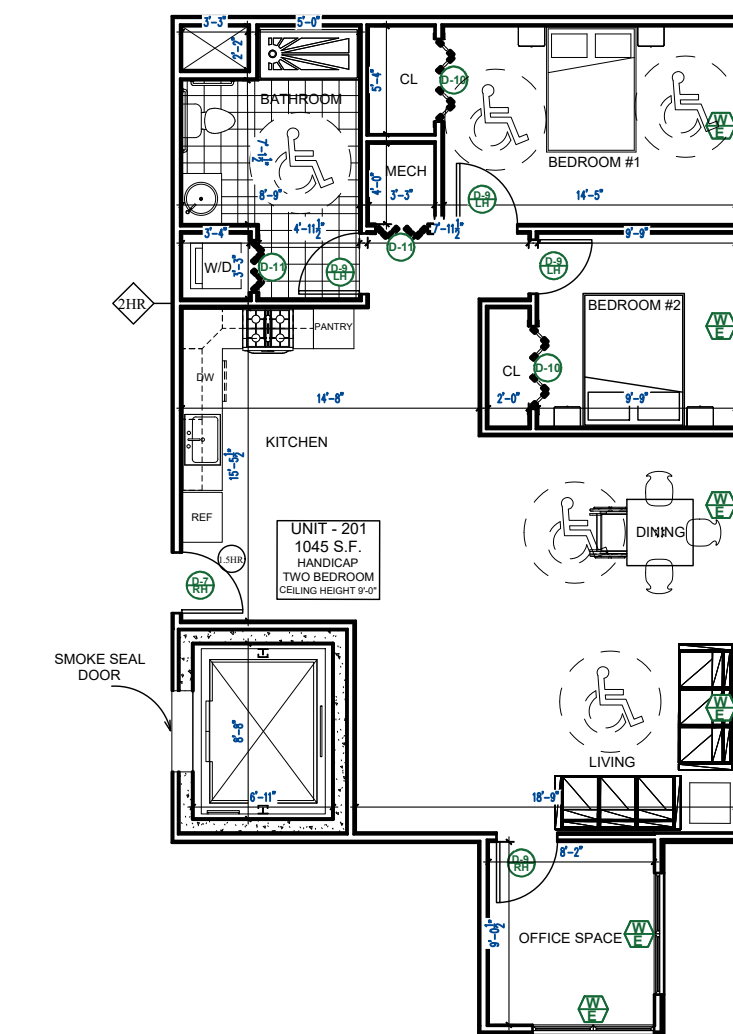
- APT. TYPE D (3 Units)
- APT. TYPE C (1 Unit)
- APT. TYPE B (1 Unit)
- VERTICAL CIRCULATION



ROOF FLOOR

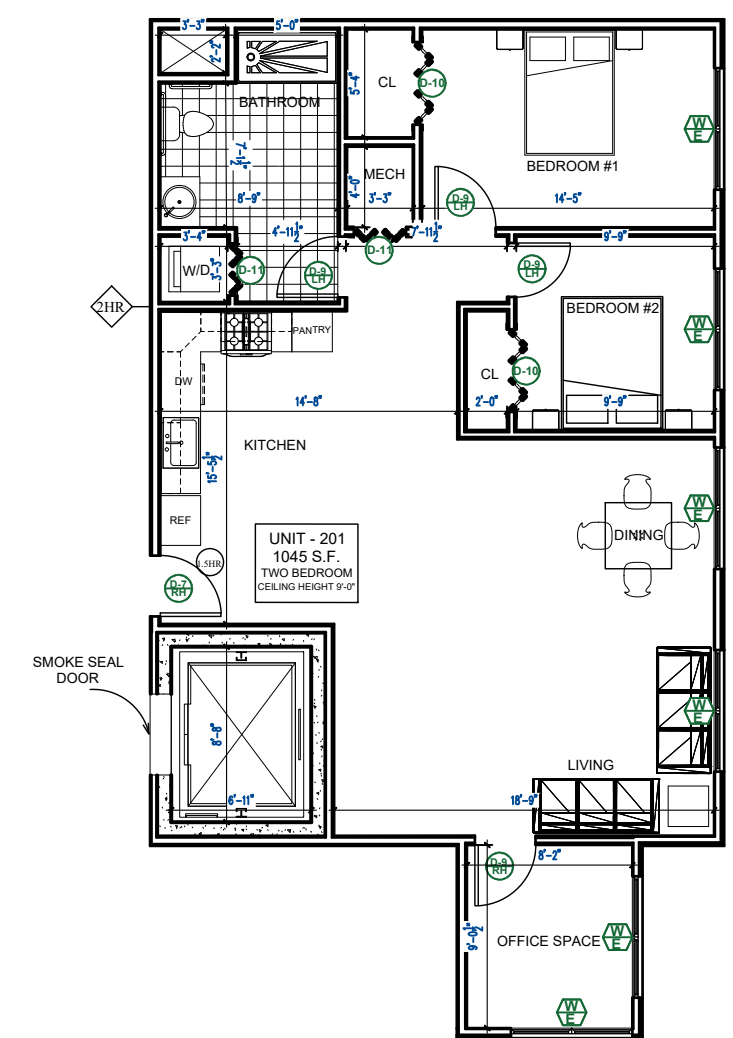
- ROOF DECK (10 Units)
- MECHANICAL PENT HOUSE (1 Unit)
- VERTICAL CIRCULATION
- SOLAR PANEL READY

APT. TYPES



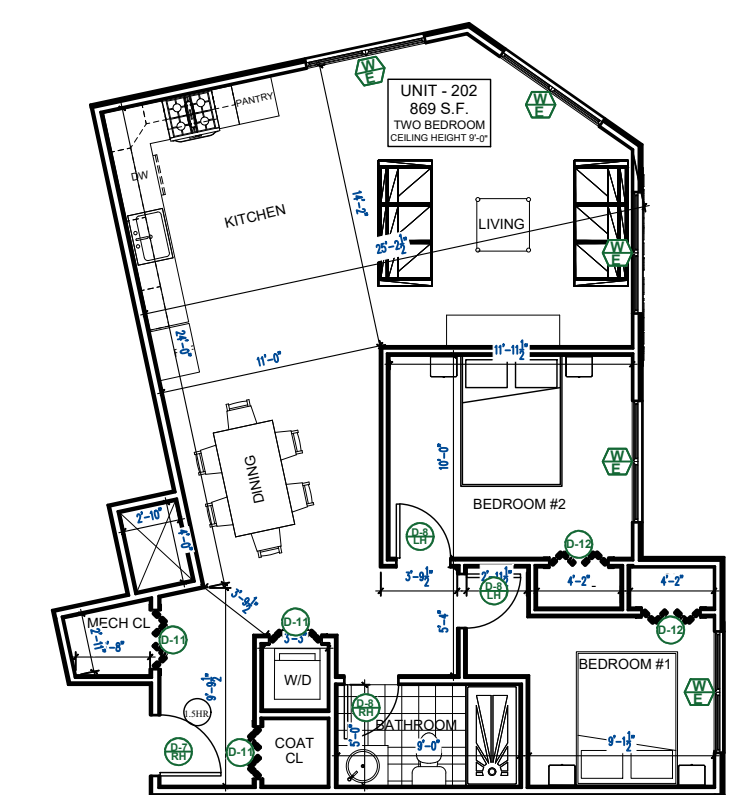
TYPE A

TWO BEDROOM
HANDICAP BATHROOM
(1045 S.F.)



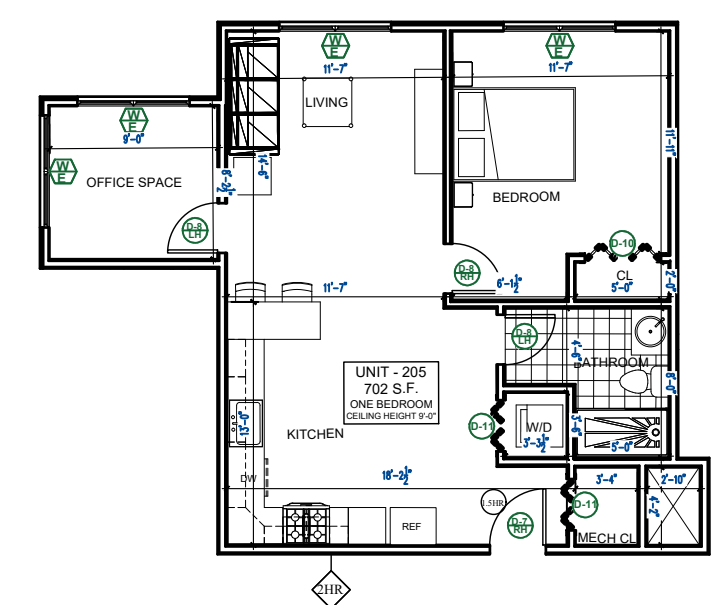
TYPE B

TWO BEDROOM
BATHROOM
(1045 S.F.)



TYPE C

TWO BEDROOM
TWO BATHROOM
(869 S.F.)



TYPE D

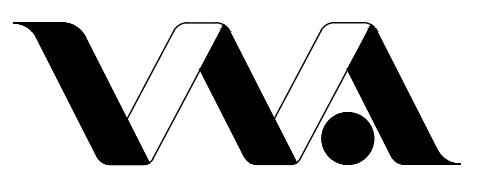
ONE BEDROOM
ONE BATHROOM
(± 617- 707 S.F.)



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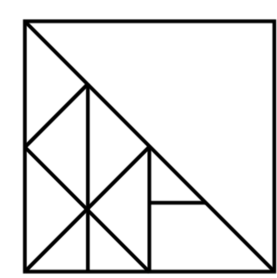


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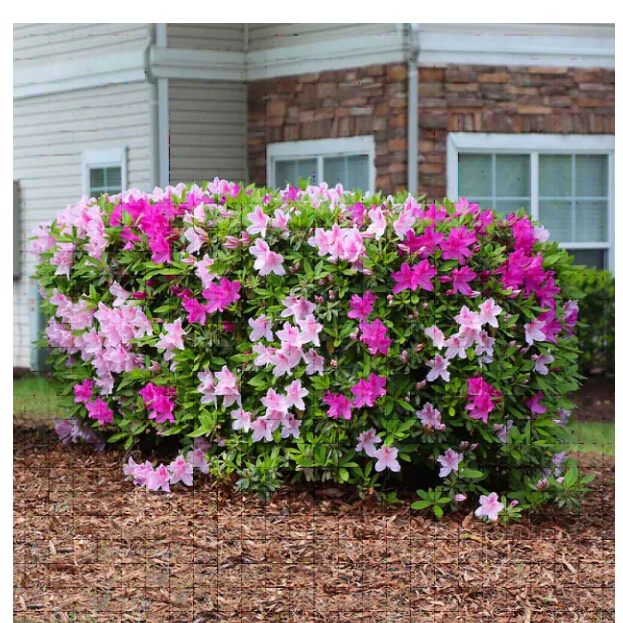
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D-1.0



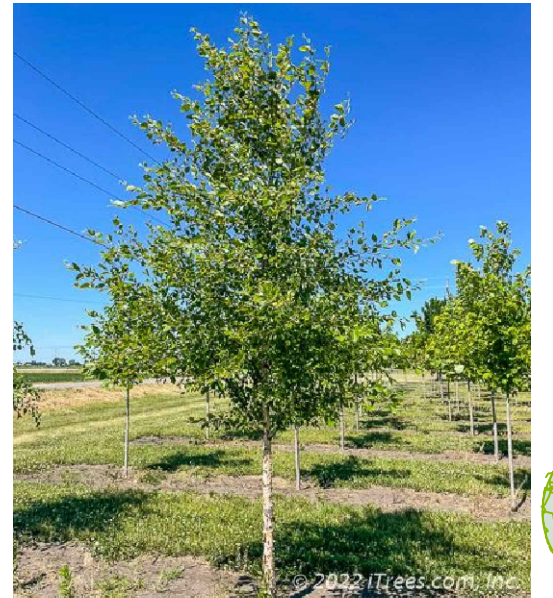
APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY
SIGNATURE *Seth P...*

09/07/2023

Approved with attached provisos.



1- EARLY & LATE SPRING
BLOOMING AZALEAS 3 GALLON

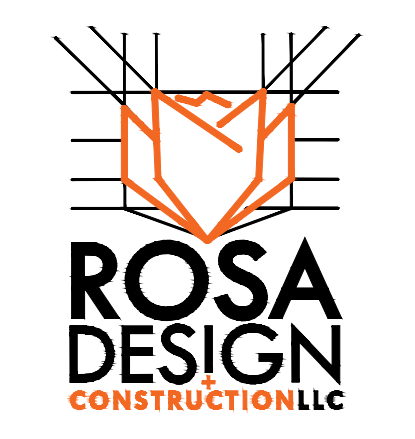


2- NEW ORNAMENTAL TREE, 3" IN.
CALIPER



3- NEW COLUMNAR RED MAPLE 3"
MIN CALIPER

1 PROPOSED SCHEMATIC SITE PLAN
A-0.1 SCALE: 1/4"=1'-0"



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A-0.1

HARRISON AVENUE

DOOR SCHEDULE

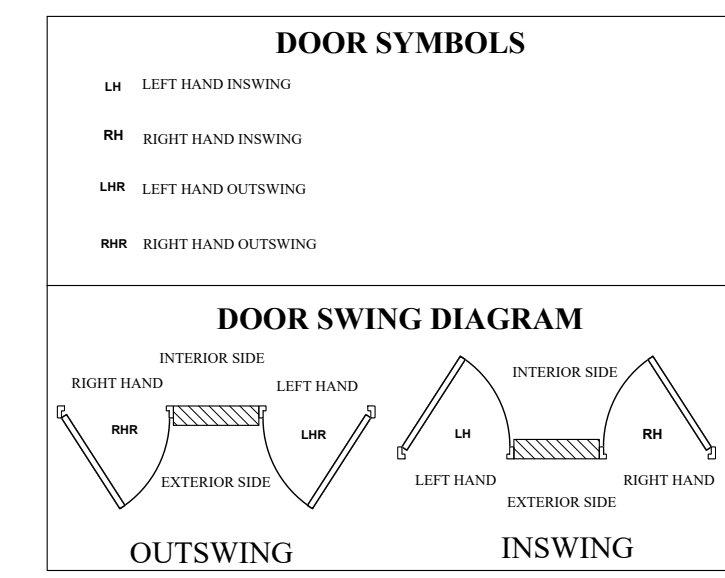
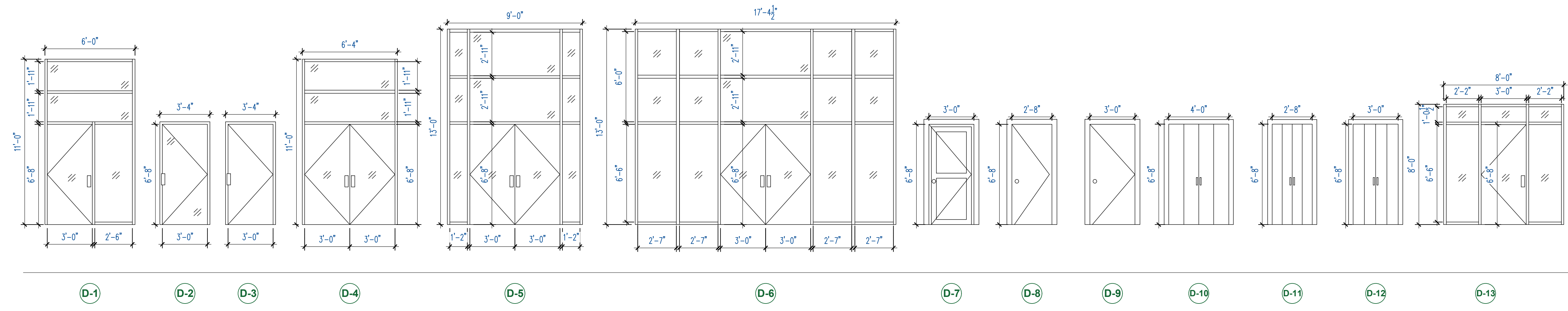
MARK	DOOR TYPE	DOOR					FRAME MATERIAL	QUANTITY	DOOR SWING				DESCRIPTION	COMMENTS
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH			LH	RH	LHR	RHR		
1	A	6'-0"	11'-0"	0' - 1 1/2"	ALUMINUM	GLASS	ALUMINUM	2	0	0	2	0	EXTERIOR DOOR/ ALUMINUM GLASS DOOR AND FIXED GLASS / WALL THICKNESS: 6"	ENTRY OF COMMERCIAL SPACE UNIT 101
2	B	3'-0"	6'-8"	0' - 1 1/2"	ALUMINUM	GLASS	ALUMINUM	4	0	1	2	1	EXTERIOR DOOR/ ALUMINUM GLASS DOOR AND FIXED GLASS / WALL THICKNESS: 6"	SECOND MEANS EGREES OF UNIT 101- 102, UTILITY ROOM
3	C	3'-0"	6'-8"	0' - 1 3/4"	METAL	PAINT	METAL	11	4	3	2	2	INTERIOR DOOR/ METAL DOOR / WALL THICKNESS: 6"	ELEVATOR ROOM, RESTROOMS UNIT 101-102, STORAGE 101, OFFICE SPACE
4	D	6'-0"	11'-0"	0' - 1 3/4"	ALUMINUM	GLASS	ALUMINUM	1	-	-	-	-	EXTERIOR DOOR/ ALUMINUM GLASS DOOR AND FIXED GLASS / WALL THICKNESS: 6"	MEANS EGREES STAIRSCASE
5	E	9'-0"	13'-0"	0' - 1 1/2"	ALUMINUM	GLASS	ALUMINUM	1	-	-	-	-	EXTERIOR DOOR/ ALUMINUM GLASS DOOR AND FIXED GLASS / WALL THICKNESS: 6"	HALLWAY OF COMMERCIAL SPACE UNIT 102
6	F	13'-0"	17'-4 1/2"	0' - 1 3/4"	ALUMINUM	GLASS	ALUMINUM	1	-	-	-	-	EXTERIOR DOOR/ ALUMINUM GLASS DOOR AND FIXED GLASS / WALL THICKNESS: 6"	MAIN ENTRY OF COMMERCIAL SPACE UNIT 102
7	G	3'-0"	6'-8"	0' - 1 1/2"	WOOD	PAINT	WOOD	10	2	8	-	-	INTERIOR DOOR/ PAINTED WHITE WOOD INTERIOR CLOSET DOOR WALL THICKNESS: 5 1/2"	MAIN ENTRY OF UNIT 201-202-203-204-205-301-302-303-304-305
8	H	2'-8"	6'-8"	0' - 1 3/4"	WOOD	PAINT	WOOD	24	15	9	-	-	INTERIOR DOOR/ PAINTED WHITE WOOD INTERIOR CLOSET DOOR WALL THICKNESS: 5 1/2"	BEDROOMS AND BATHROOMS
9	I	3'-0"	6'-8"	0' - 1 3/4"	WOOD	PAINT	WOOD	4	3	1	0	0	INTERIOR DOOR/ PAINTED WHITE WOOD INTERIOR CLOSET DOOR WALL THICKNESS: 5 1/2"	BEDROOMS AND BATHROOMS HANDICAP UNIT
10	J	4'-0"	6'-8"	0' - 1 1/2"	WOOD	PAINT	WOOD	5	-	-	2	3	INTERIOR DOOR/ PAINTED WHITE WOOD INTERIOR CLOSET DOOR WALL THICKNESS: 5 1/2"	CLOSETS BEDROOMS UNITS 201-203-204-205-301-303-304-305
11	K	2'-8"	6'-8"	0' - 1 3/4"	WOOD	PAINT	WOOD	22	-	-	-	-	INTERIOR DOOR/ PAINTED WHITE WOOD INTERIOR CLOSET DOOR WALL THICKNESS: 5 1/2"	WASH AND DRYER CLOSET, MECH CLOSET
12	L	3'-0"	6'-8"	0' - 1 3/4"	WOOD	PAINT	WOOD	4	-	-	-	-	INTERIOR DOOR/ PAINTED WHITE WOOD INTERIOR CLOSET DOOR WALL THICKNESS: 5 1/2"	CLOSETS BEDROOMS UNITS 202-302
13	N	8'-0"	8'-0"	0' - 1 1/2"	ALUMINUM	GLASS	ALUMINUM	1	-	-	1	-	EXTERIOR DOOR/ ALUMINUM GLASS DOOR AND FIXED GLASS / WALL THICKNESS: 6"	MAIN LOBBY



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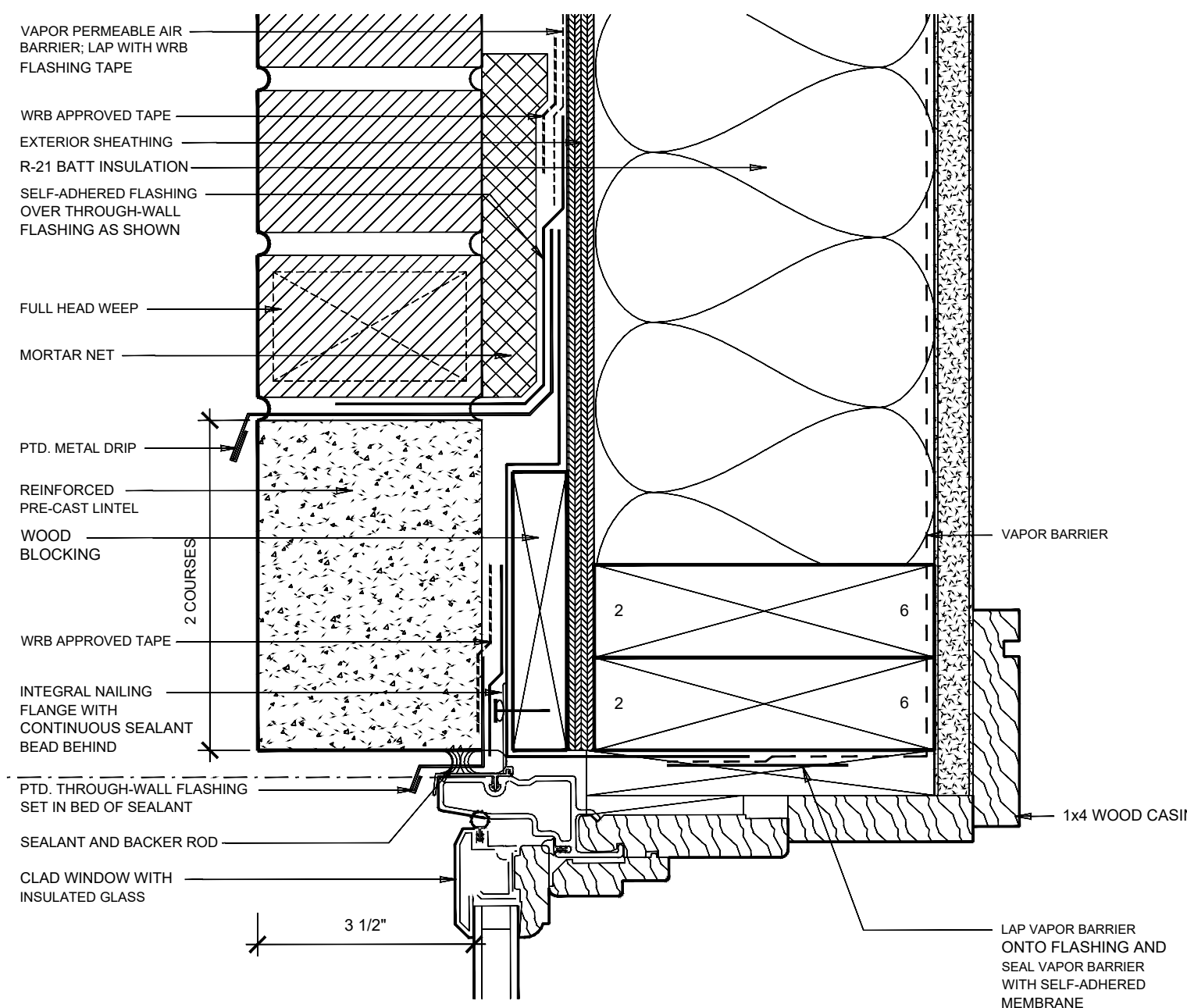
1
A-0.2 **PROPOSED DOOR SCHEDULE**
SCALE: 1/4"=1'-0"

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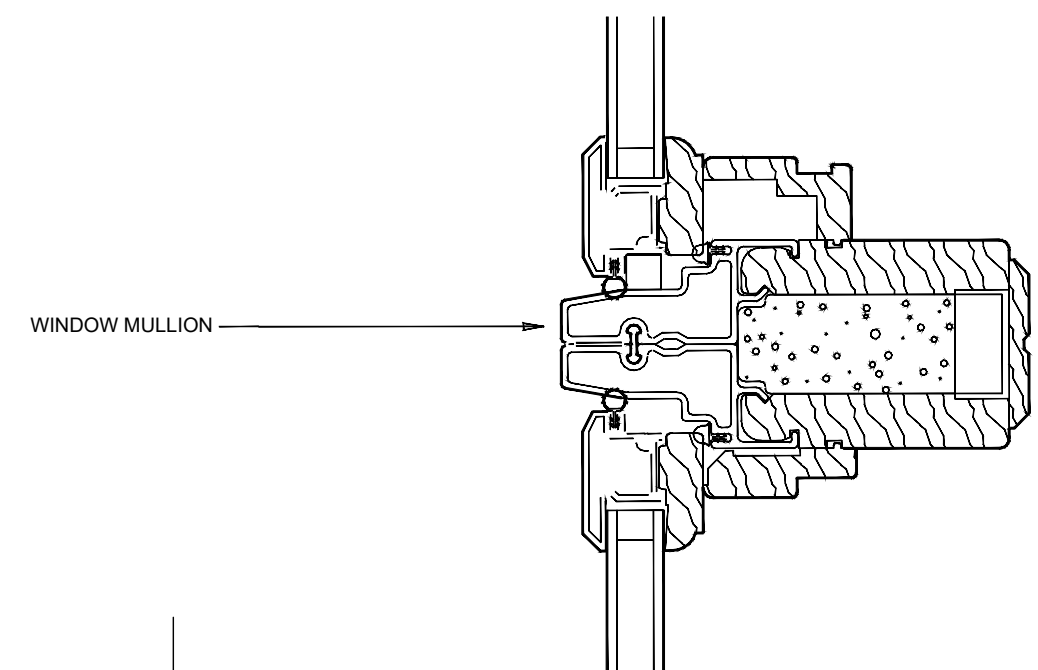
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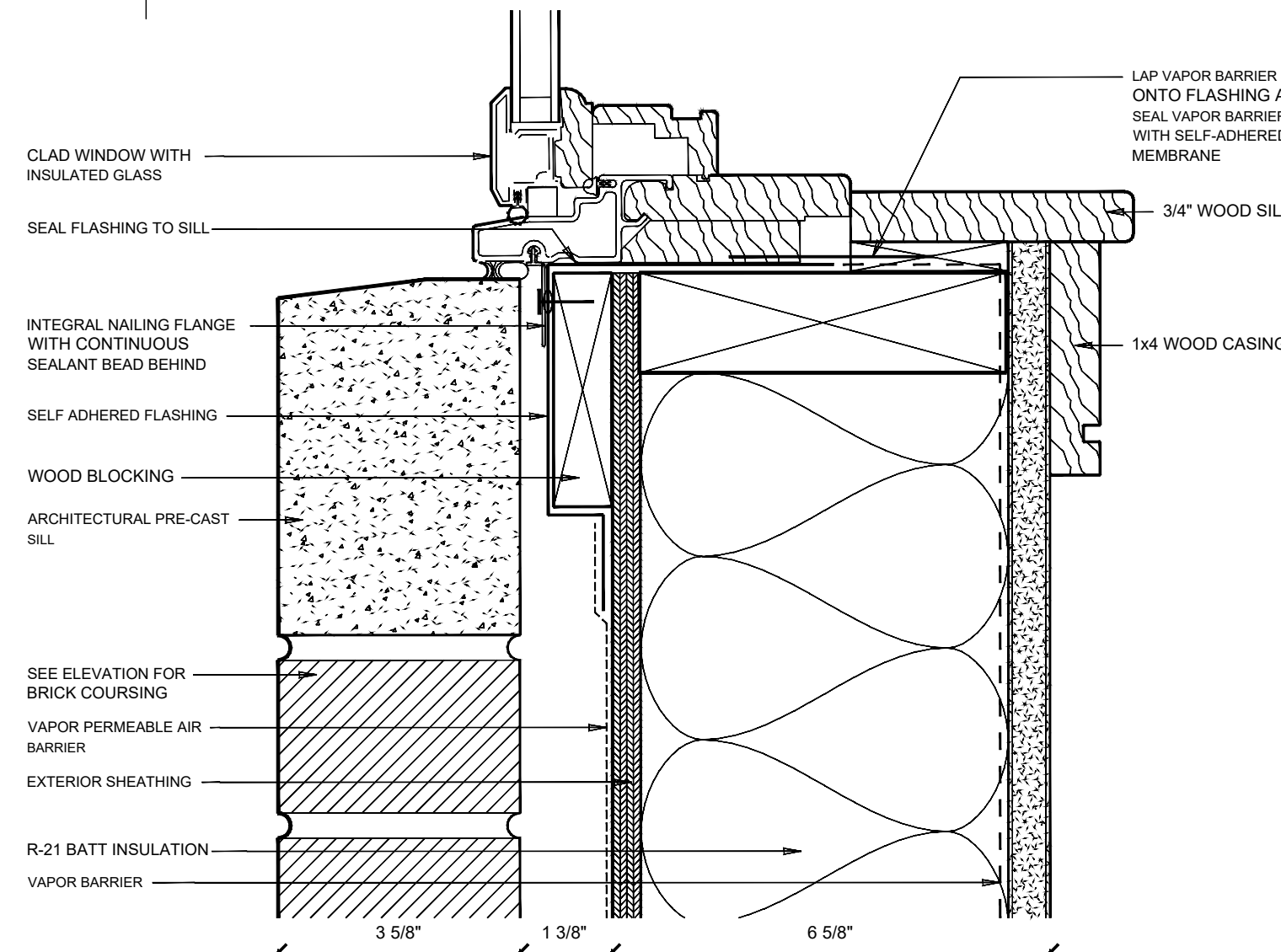
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A-0.2



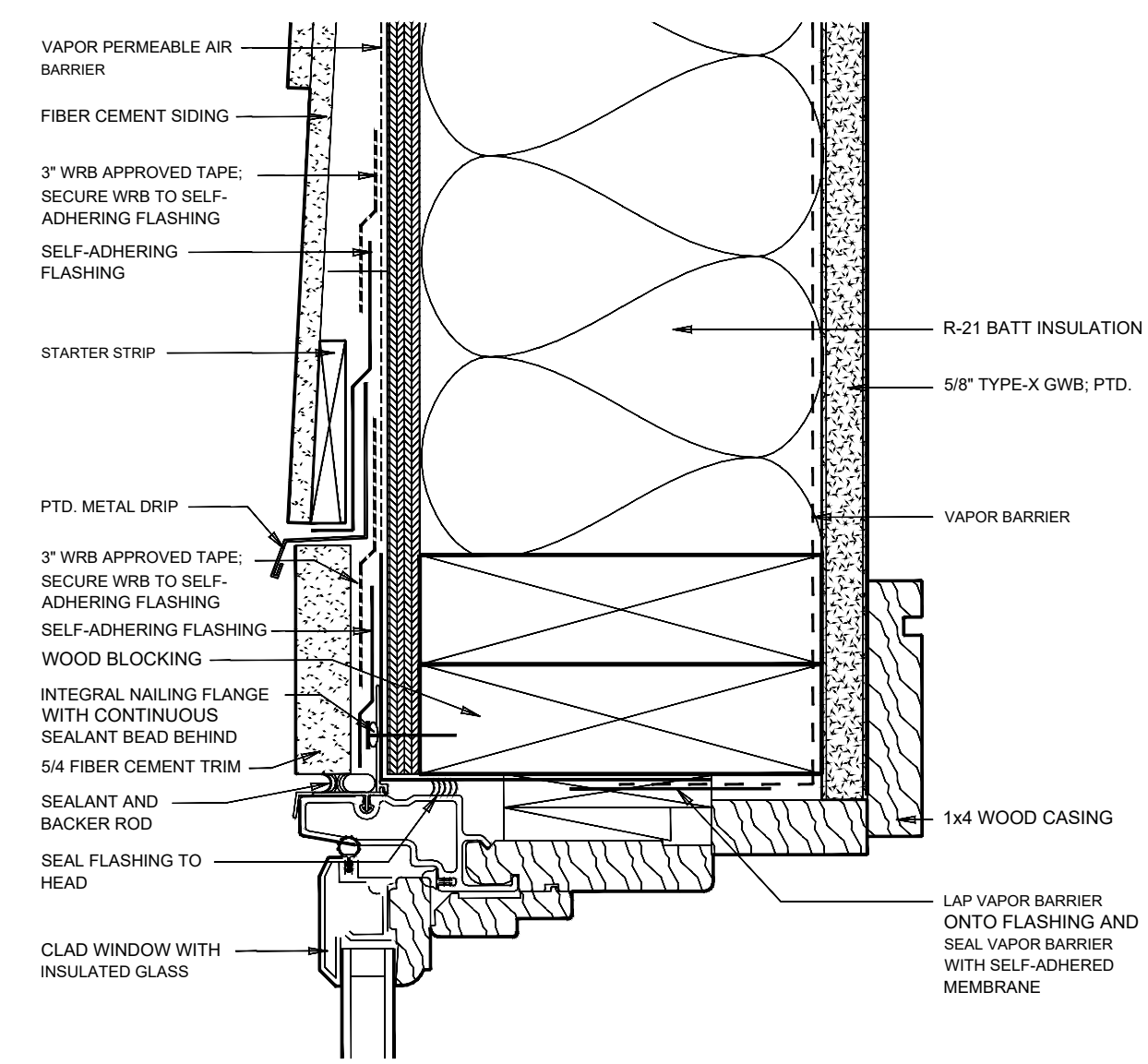
1 WINDOW HEAD DETAIL @ BRICK VENEER
A-0.3 SCALE:NTS



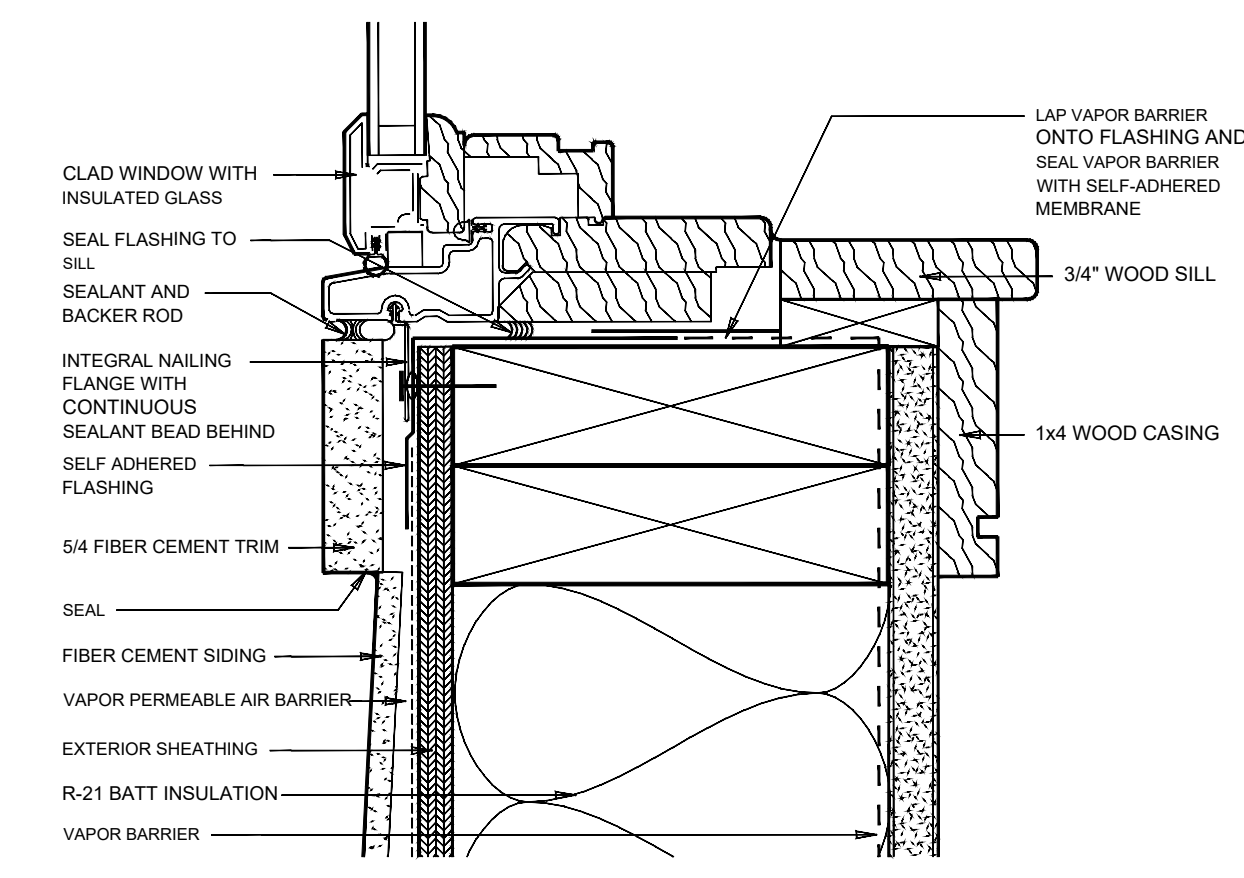
3 WINDOW MULLION DETAIL
A-0.3 SCALE:NTS



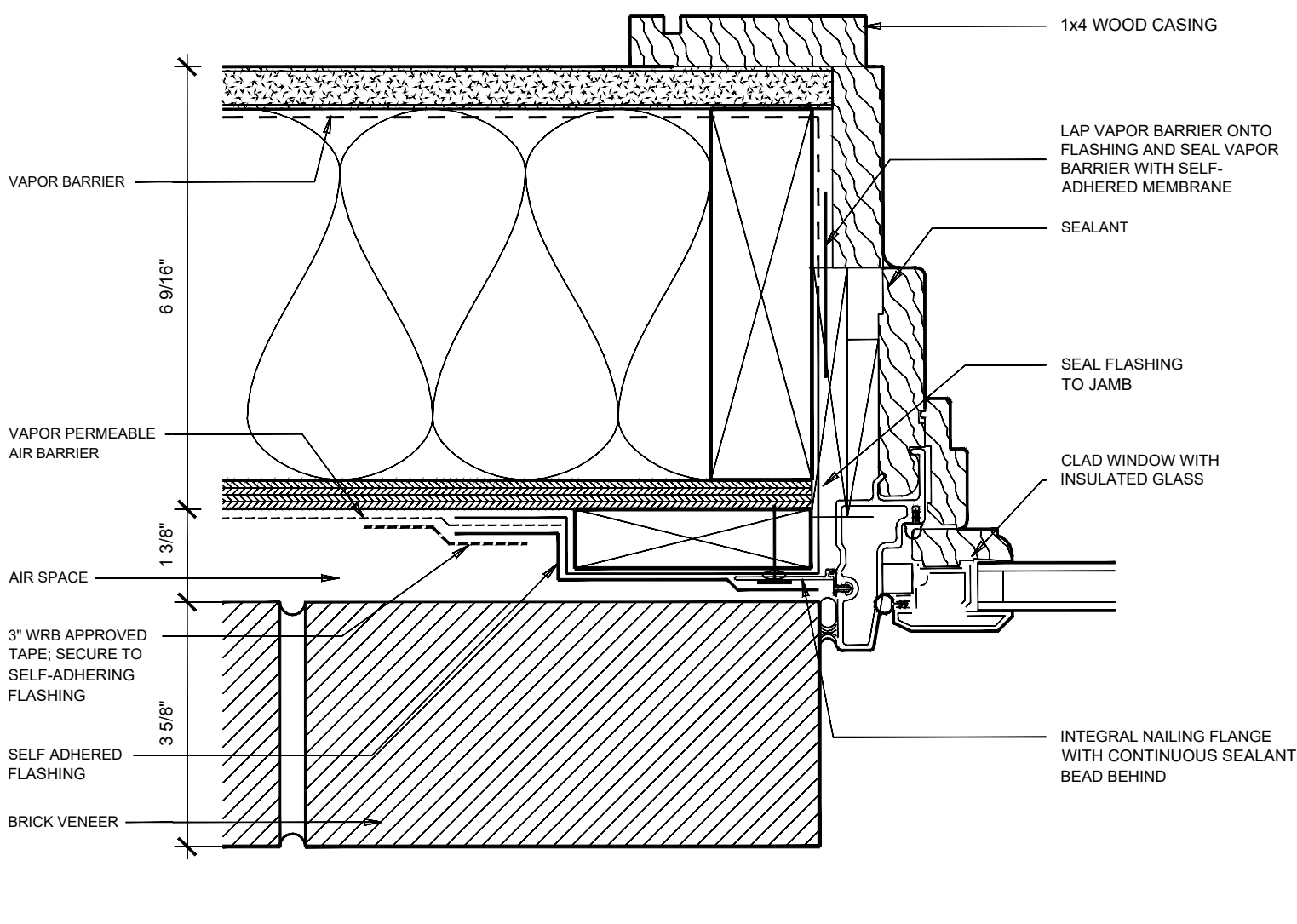
3 WINDOW SILL DETAIL @ BRICK VENEER
6" = 1'-0"



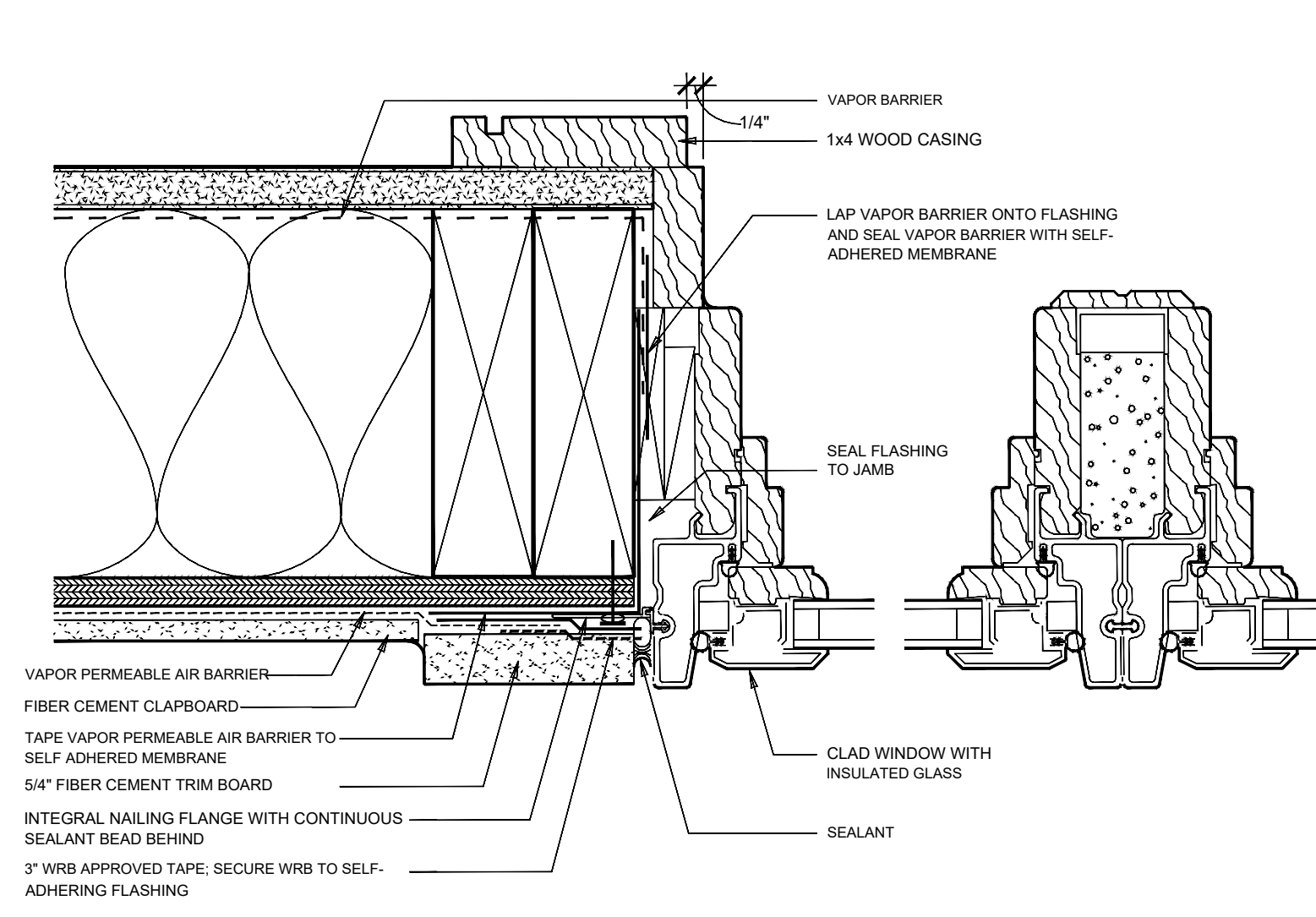
4 WINDOW HEAD DETAIL @ FIBER CEMENT
A-0.3 SCALE:NTS



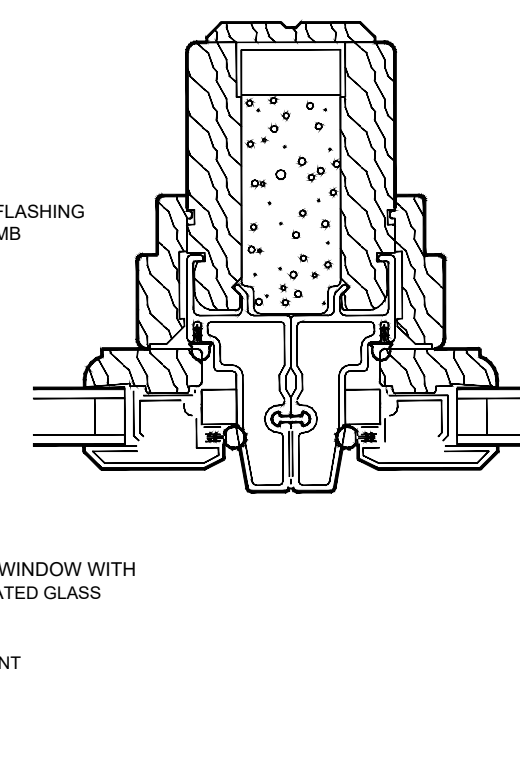
5 WINDOW SILL DETAIL @ FIBER CEMENT
6" = 1'-0"



7 WINDOW JAMB DETAIL @ BRICK VENEER
6" = 1'-0"

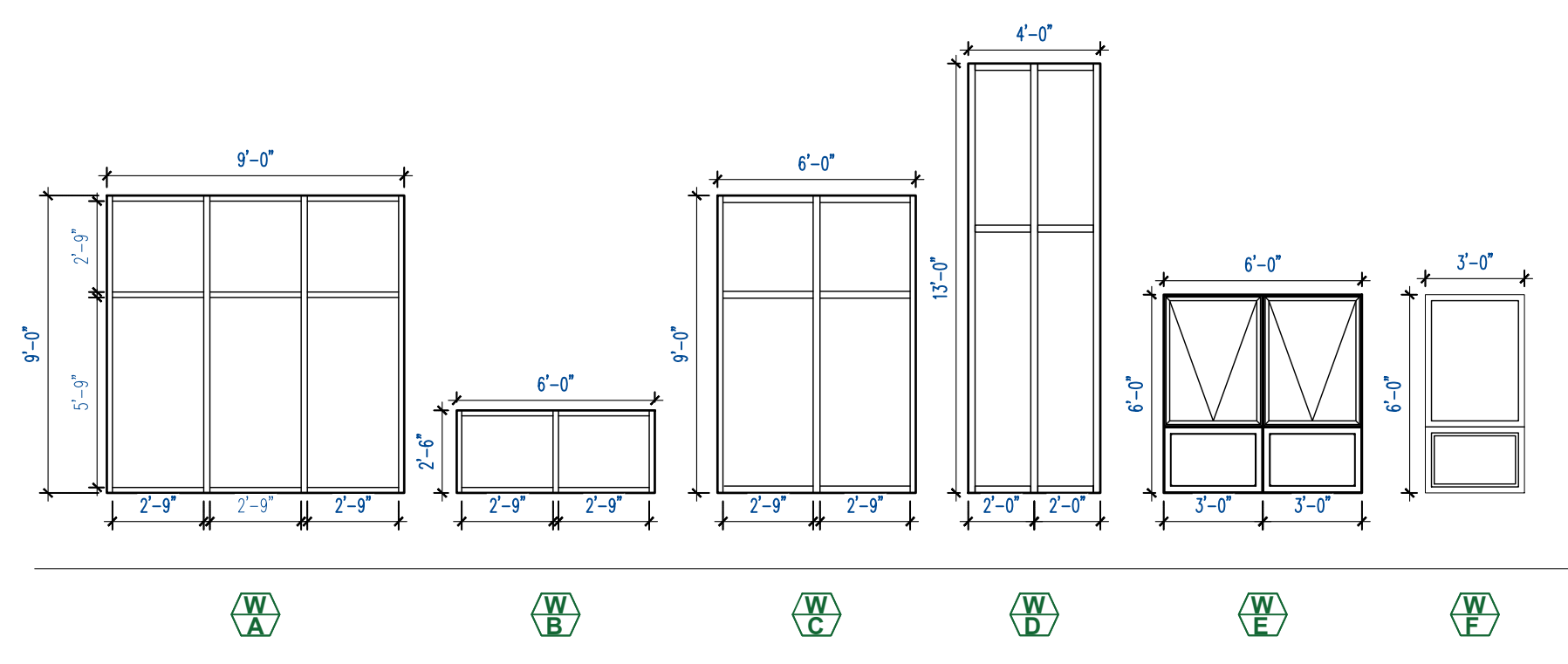


6 WINDOW JAMB DETAIL @ FIBER CEMENT
6" = 1'-0"



8 MULLION DETAIL
6" = 1'-0"

WINDOW SCHEDULE									
Window type	Rough Opening	Quantity	Style	Comments	Type	MFG Model No.	Fr Matl	Glass	Description
A	108" X 108"	7	Double Operable Panels	Commercial space	Dual action- Tilt & Turn (DATT)	4500 TILT & TURN WINDOW	Rigid vinyl (PVC)	Triple layers	Color: Black U-Factor: 0.30 solar absorbance
B	72" X 30"	3	Fixed	Commercial space	Dual action- Tilt & Turn (DATT)	4501 TILT & TURN WINDOW	Rigid vinyl (PVC)	Triple layers	Color: Black U-Factor: 0.30 solar absorbance
C	72" X 108"	3	Fixed	Staircase	Dual action- Tilt & Turn (DATT)	4502 TILT & TURN WINDOW	Rigid vinyl (PVC)	Triple layers	Color: Black U-Factor: 0.30 solar absorbance
D	48" x 156"	2	Fixed	Commercial space	Dual action- Tilt & Turn (DATT)	4503 TILT & TURN WINDOW	Rigid vinyl (PVC)	Triple layers	Color: Black U-Factor: 0.30 solar absorbance
E	72" x 72"	56	Double Operable Panels	Units 201/ 202/ 203/ 204/ 205/ 301/ 302/ 303/ 304/ 305.	Dual action- Tilt & Turn (DATT)	4504 TILT & TURN WINDOW	Rigid vinyl (PVC)	Triple layers	Color: Black U-Factor: 0.30 solar absorbance
F	36" x 72"	4	Fixed Panels	stairs	Dual action- Tilt & Turn (DATT)	4504 TILT & TURN WINDOW	Rigid vinyl (PVC)	Triple layers	Color: Black U-Factor: 0.30 solar absorbance



2 PROPOSED WINDOW SCHEDULE
A-0.3 SCALE:1/4"=1'-0"

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**NEW CONSTRUCTION
MIXED USE DWELLING**

1149-1155 HARRISON AVENUE,
WARD 08

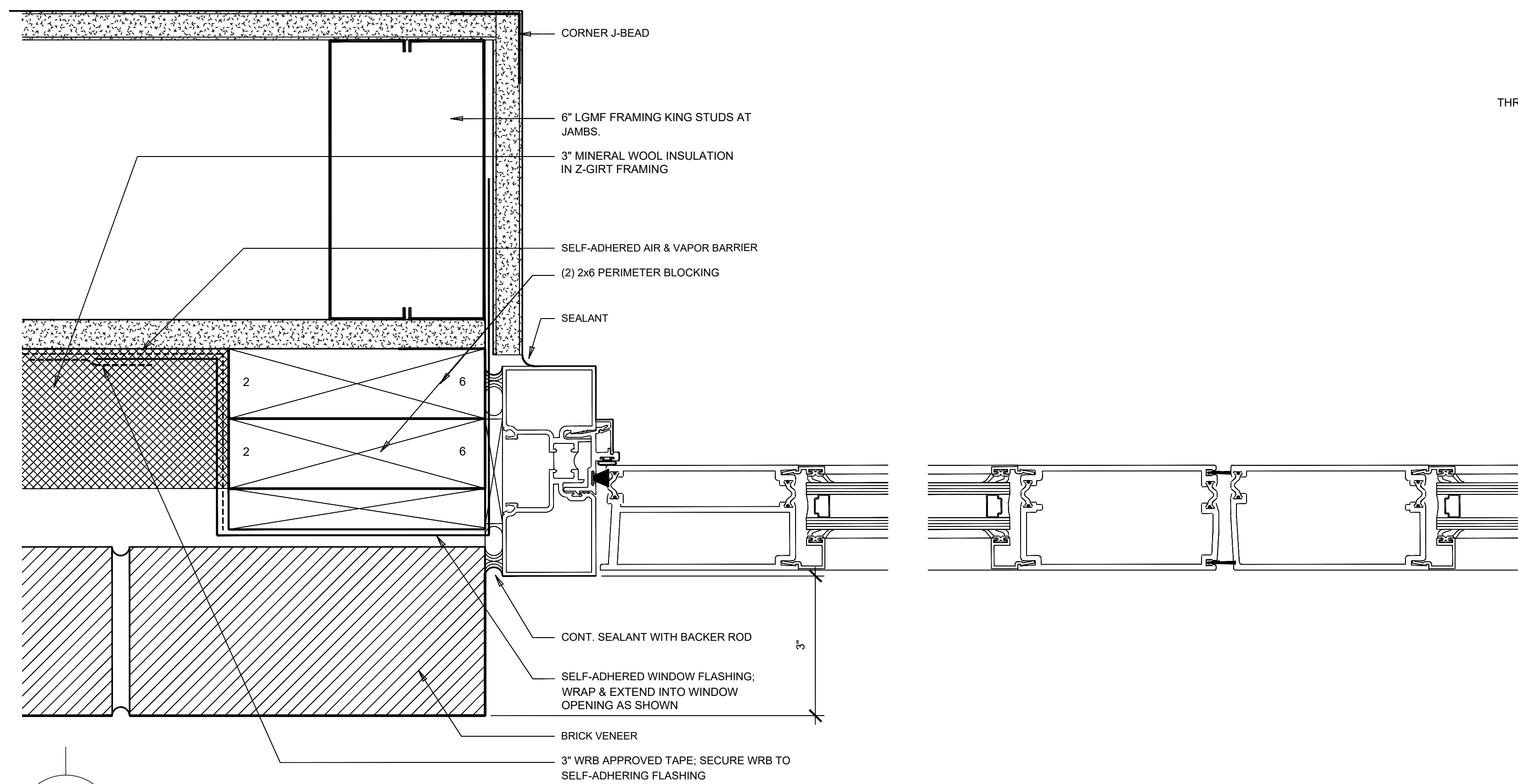
LAYOUT BY: EBR
DRAWN: ASG
CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/17 /2023
PROJECT NO.: RDC/00365
REVISIONS: NOTES: DATE:

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Cel: 617-921-6798

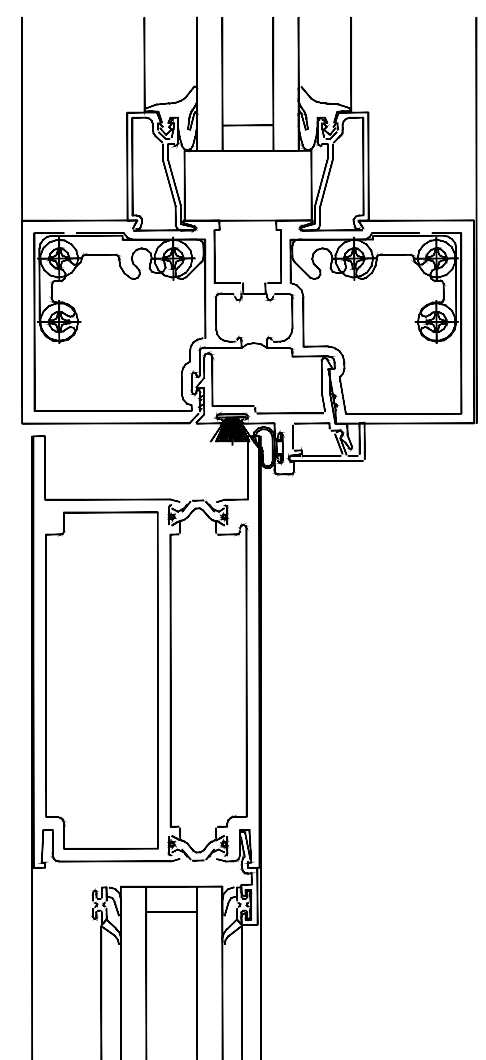
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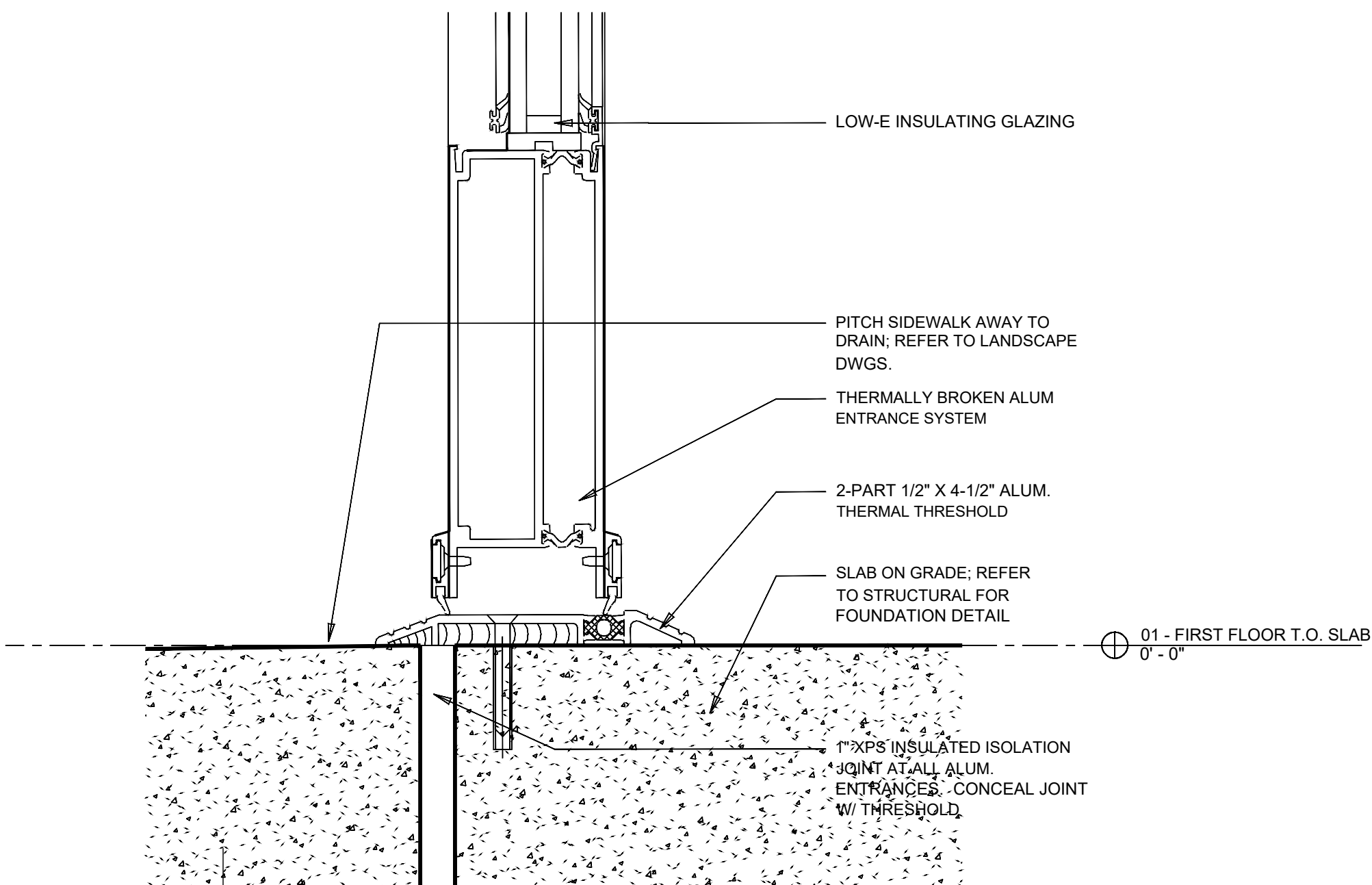
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A-0.3



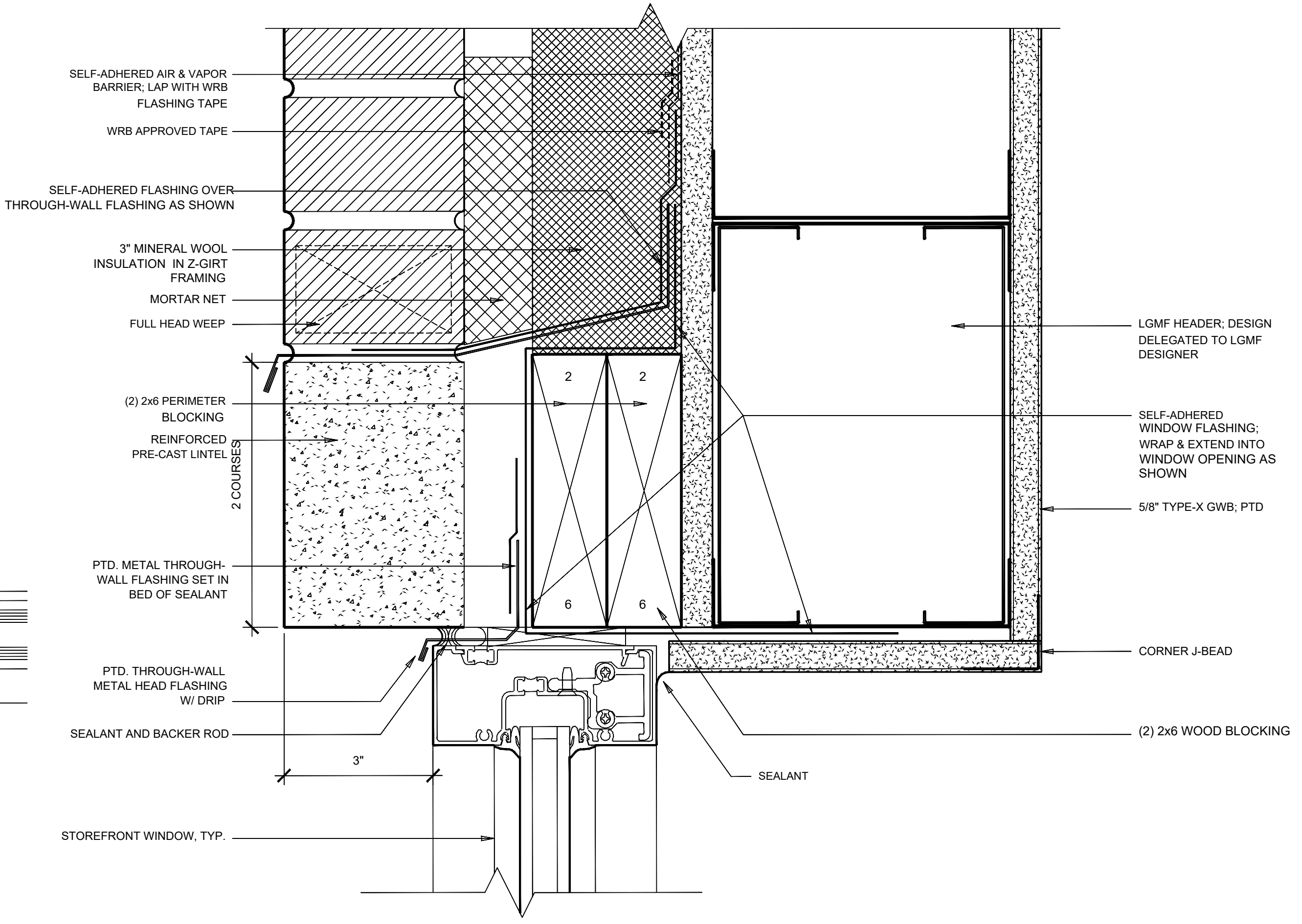
1 STOREFRONT JAMB DETAIL
A-0.4 SCALE: NTS



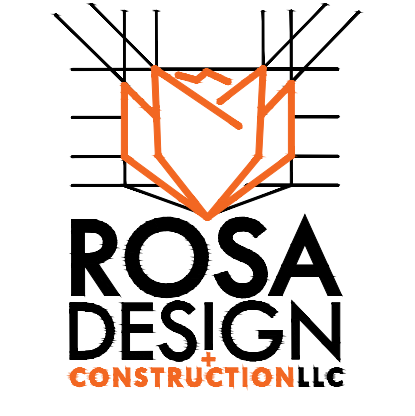
2 STOREFRONT TRANSOM DETAIL
A-0.4 SCALE: 1/4"=1'-0"



3 STOREFRONT THRESHOLD DETAIL
A-0.4 SCALE: 1/4"=1'-0"



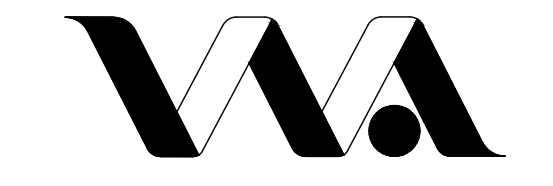
4 STOREFRONT HEAD AND SILL DETAIL
A-0.4 SCALE: 1/4"=1'-0"



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**NEW CONSTRUCTION
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1149-1155 HARRISON AVENUE,
WARD 08

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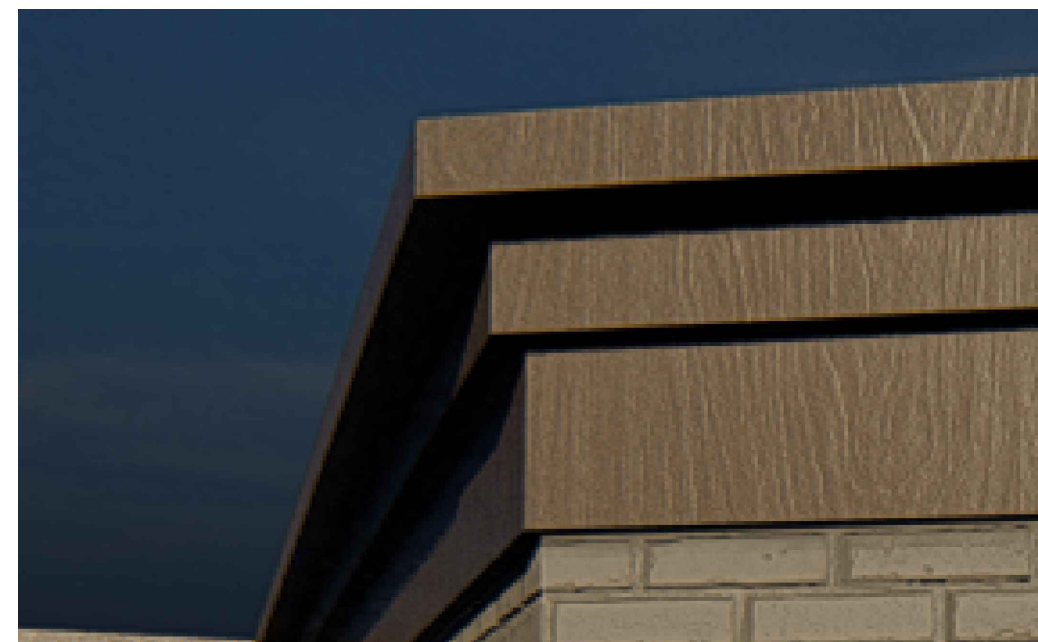
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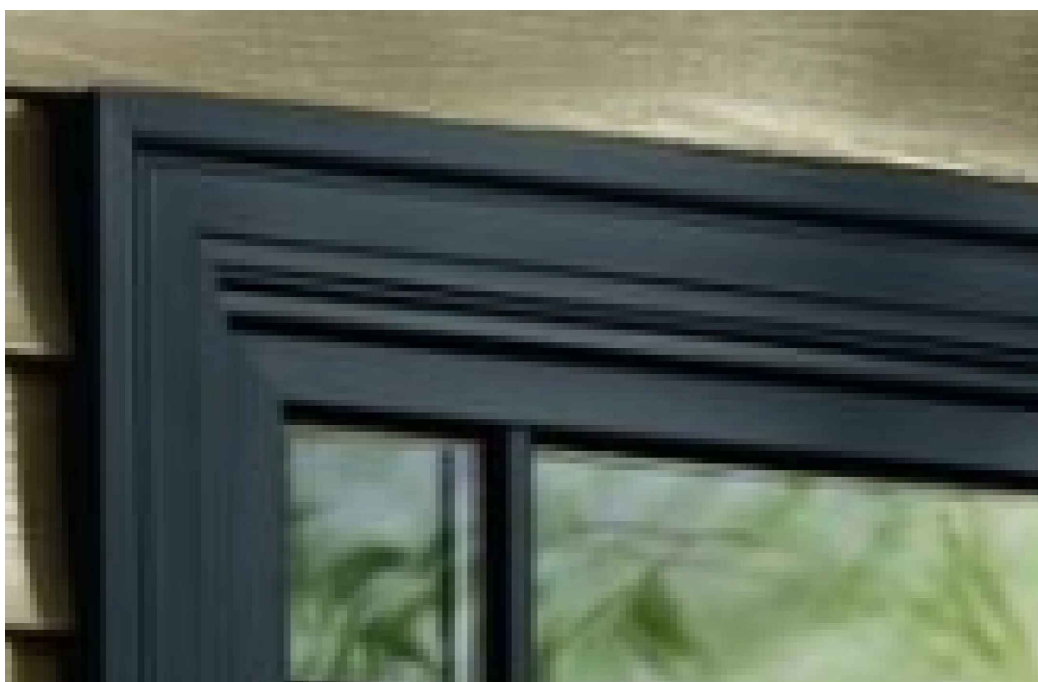
MATERIAL PALETTE STUDY



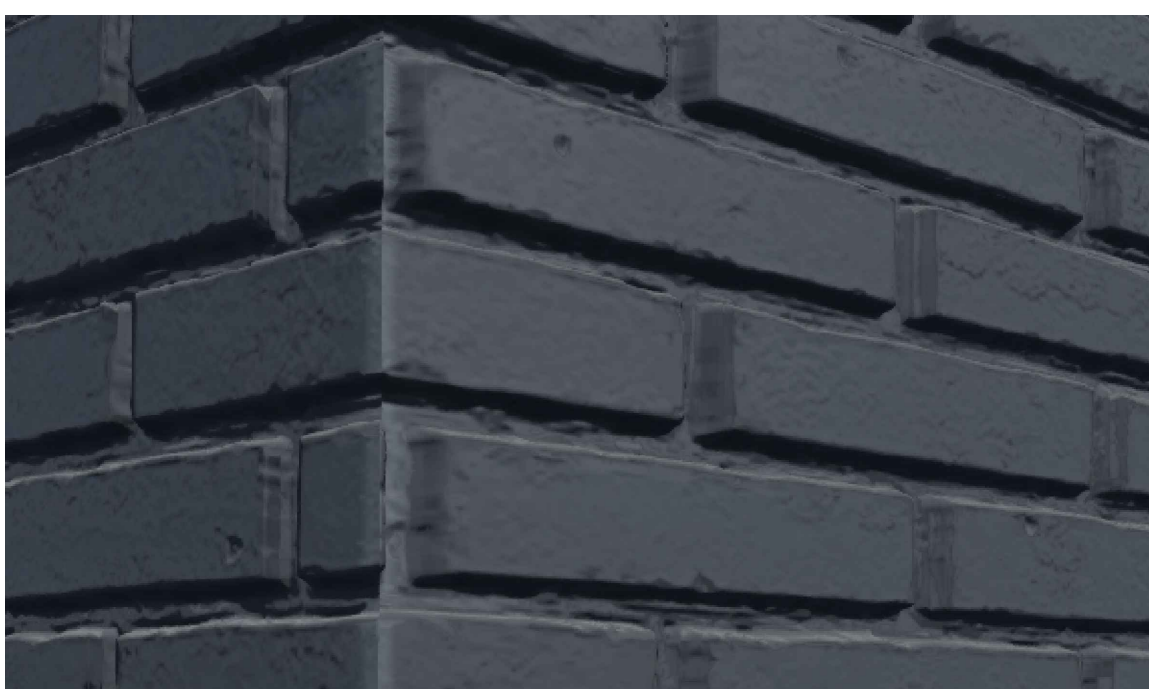
① FLAT-STYLE FIBERGLASS TRIMS CORNICE



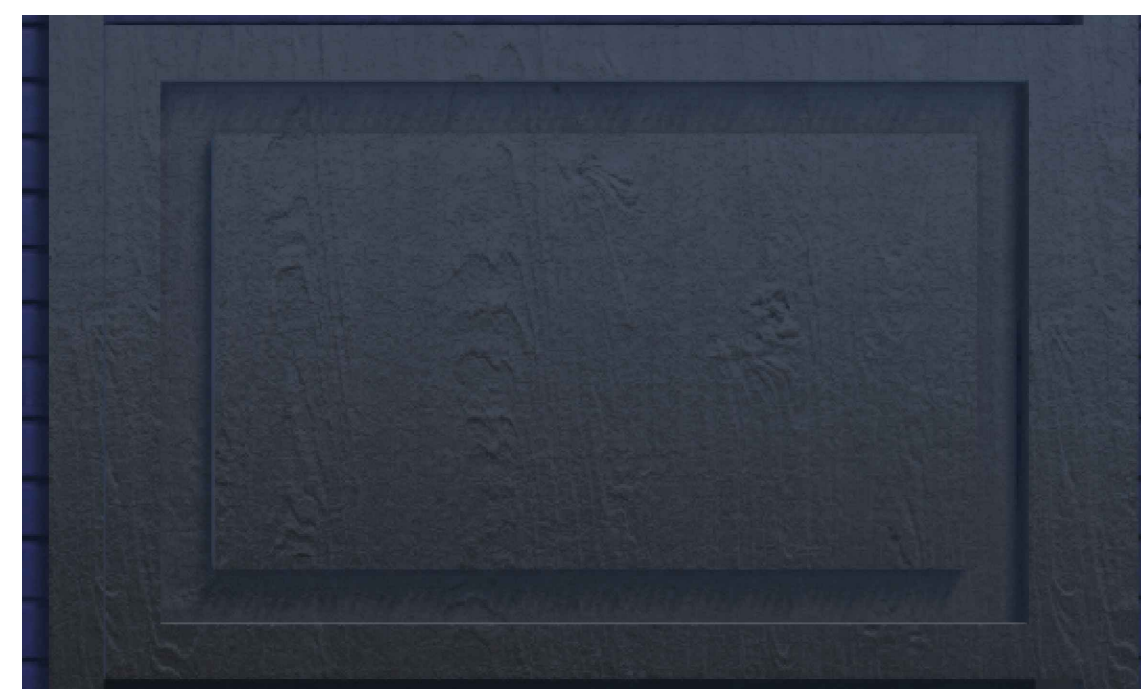
② ALUMINUM CASEMENT



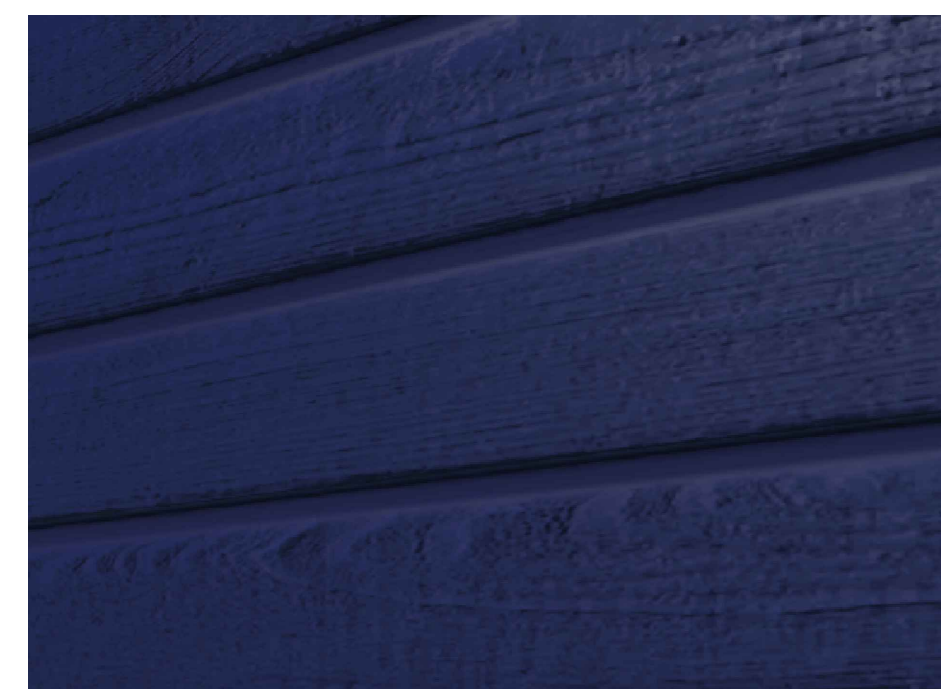
③ 6"X1" FLAT-STYLE FIBERGLASS TRIM (OR APPROVED EQUAL)



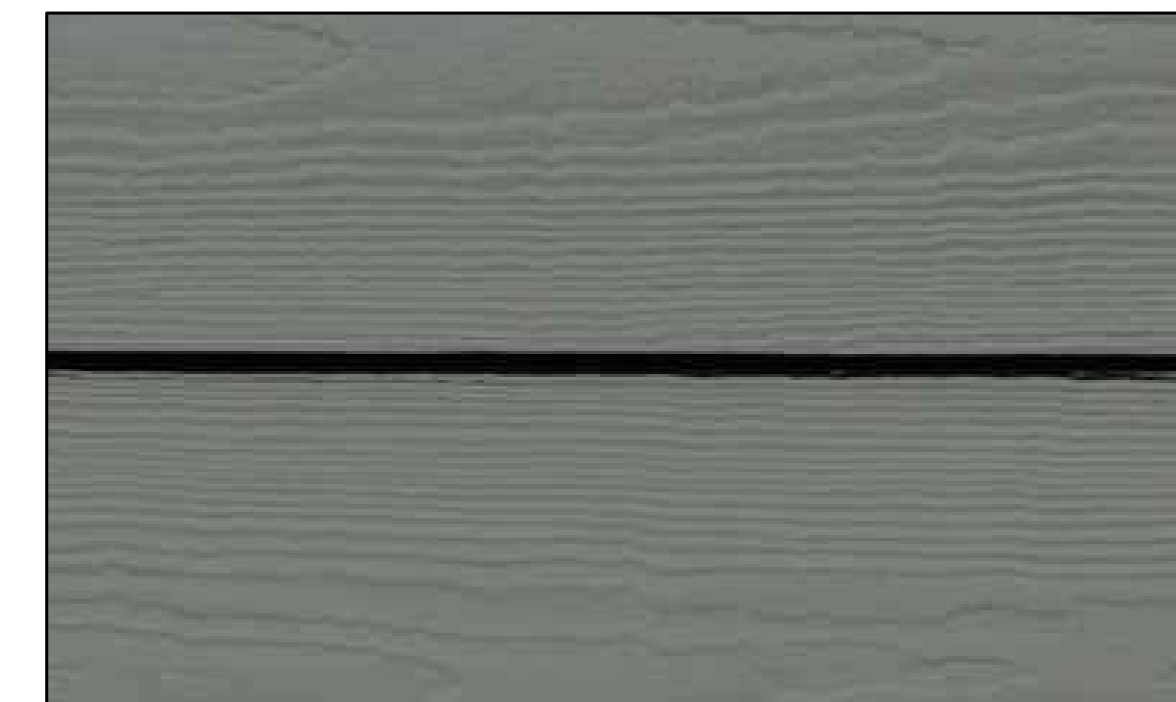
④ METALLIC GRAY BRICK VENEER



⑤ FIBER CEMENT PANEL



⑥ 6" NAVY BLUE HARDIE PLANK SIDING



⑦ 6" NAVY BLUE HARDIE PLANK SIDING



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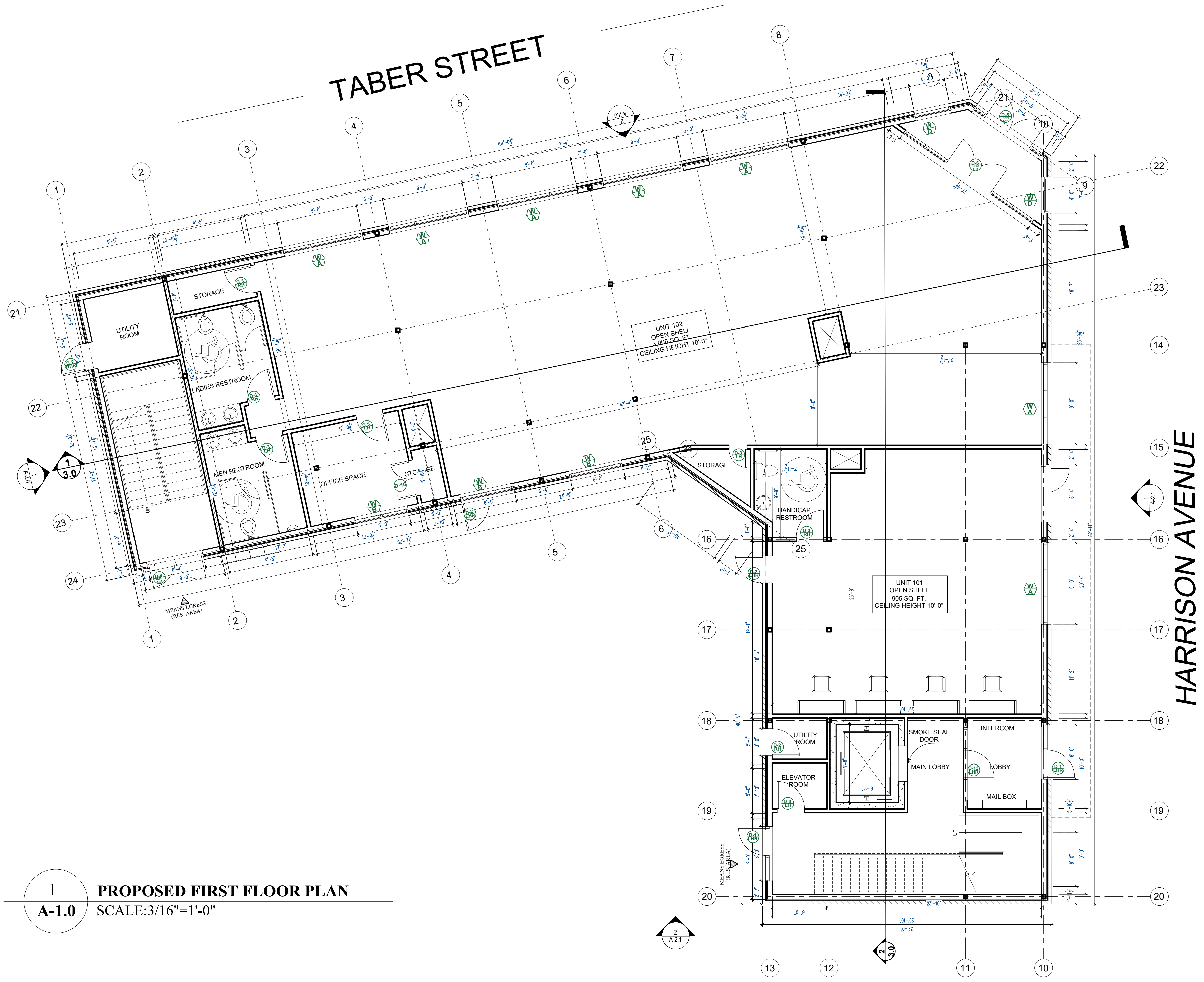


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A-1.0



1
A-1.0
PROPOSED FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



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**NEW CONSTRUCTION
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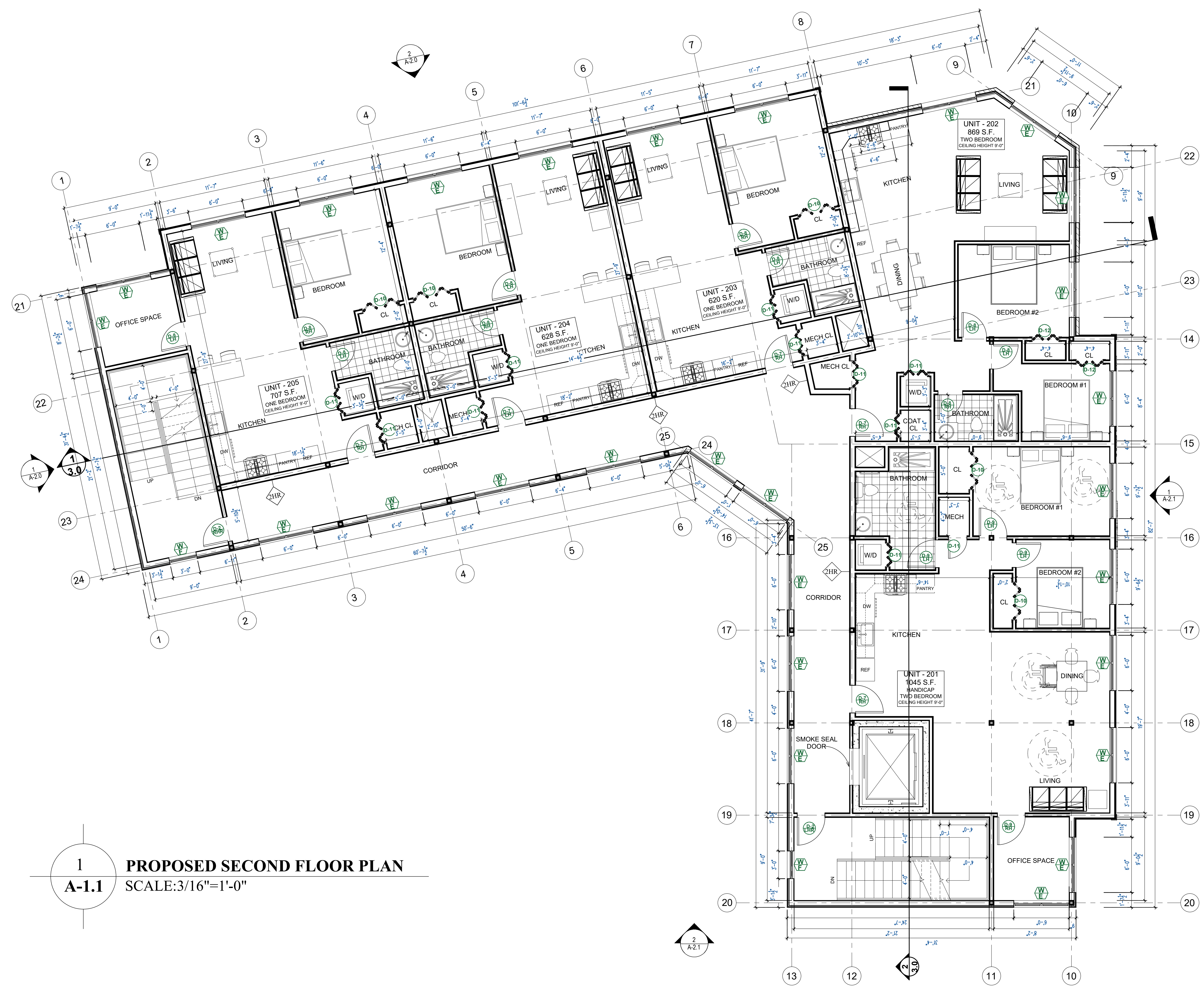


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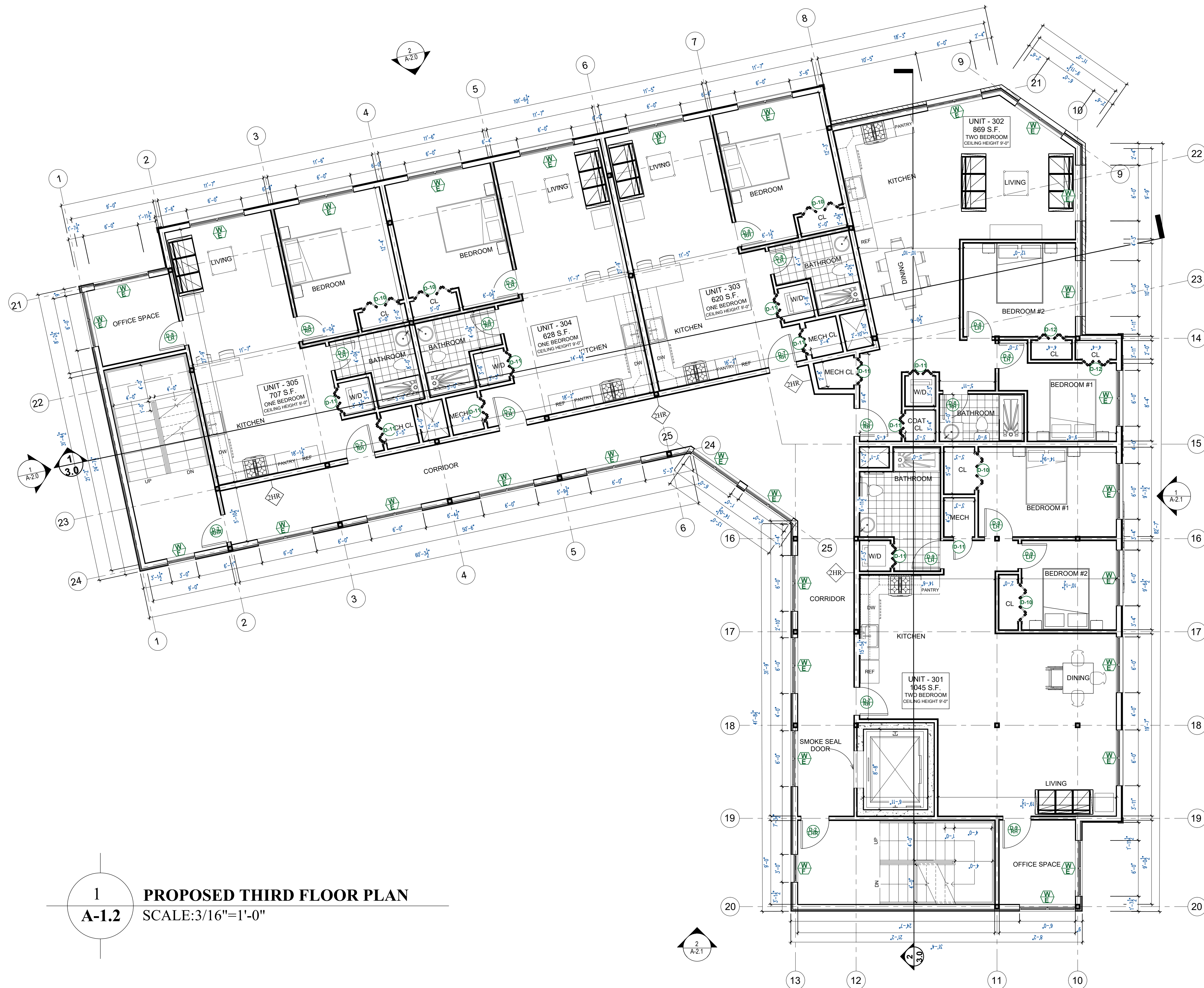
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1
A-1.1 **PROPOSED SECOND FLOOR PLAN**
SCALE: 3/16" = 1'-0"



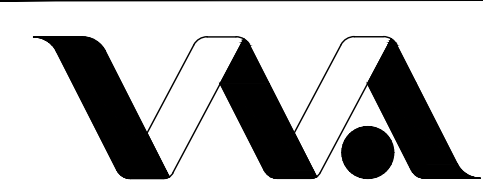
1
A-1.2 **PROPOSED THIRD FLOOR PLAN**
SCALE: 3/16"=1'-0"



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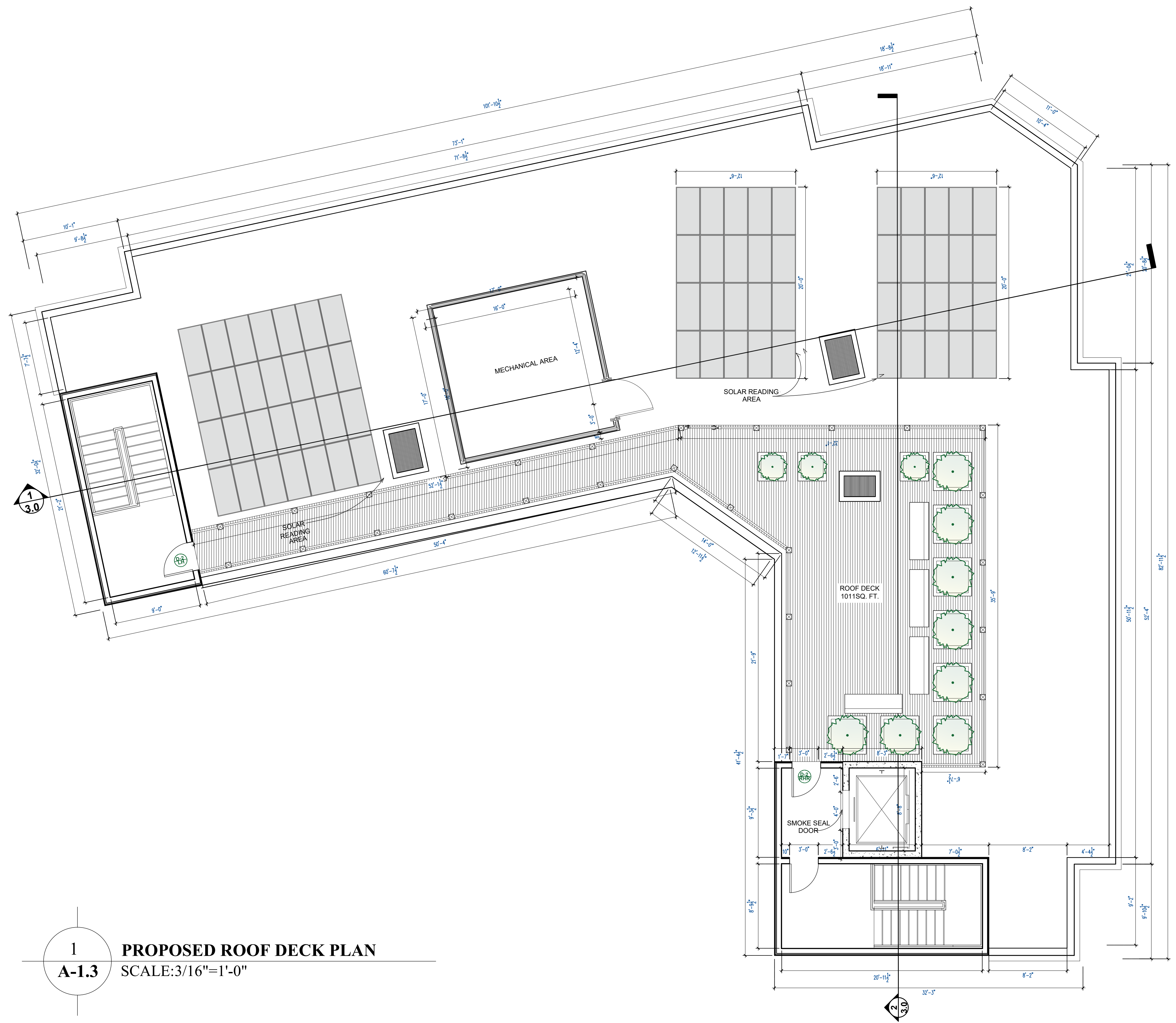
SHEET NUMBER:
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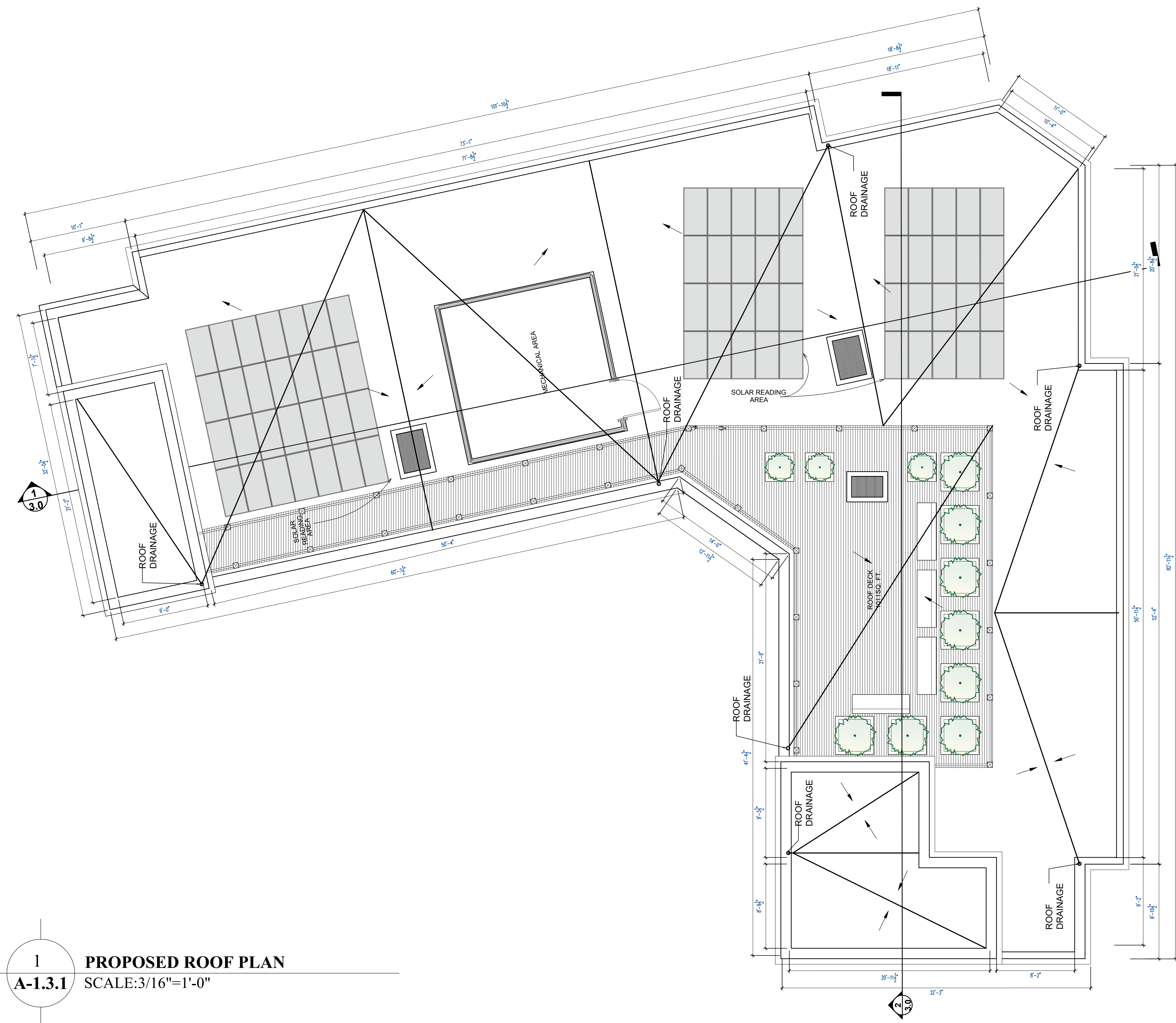
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A-1.3 **PROPOSED ROOF DECK PLAN**
SCALE: 3/16"=1'-0"

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SHEET NUMBER:
A-1.3



1
A-1.3.1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



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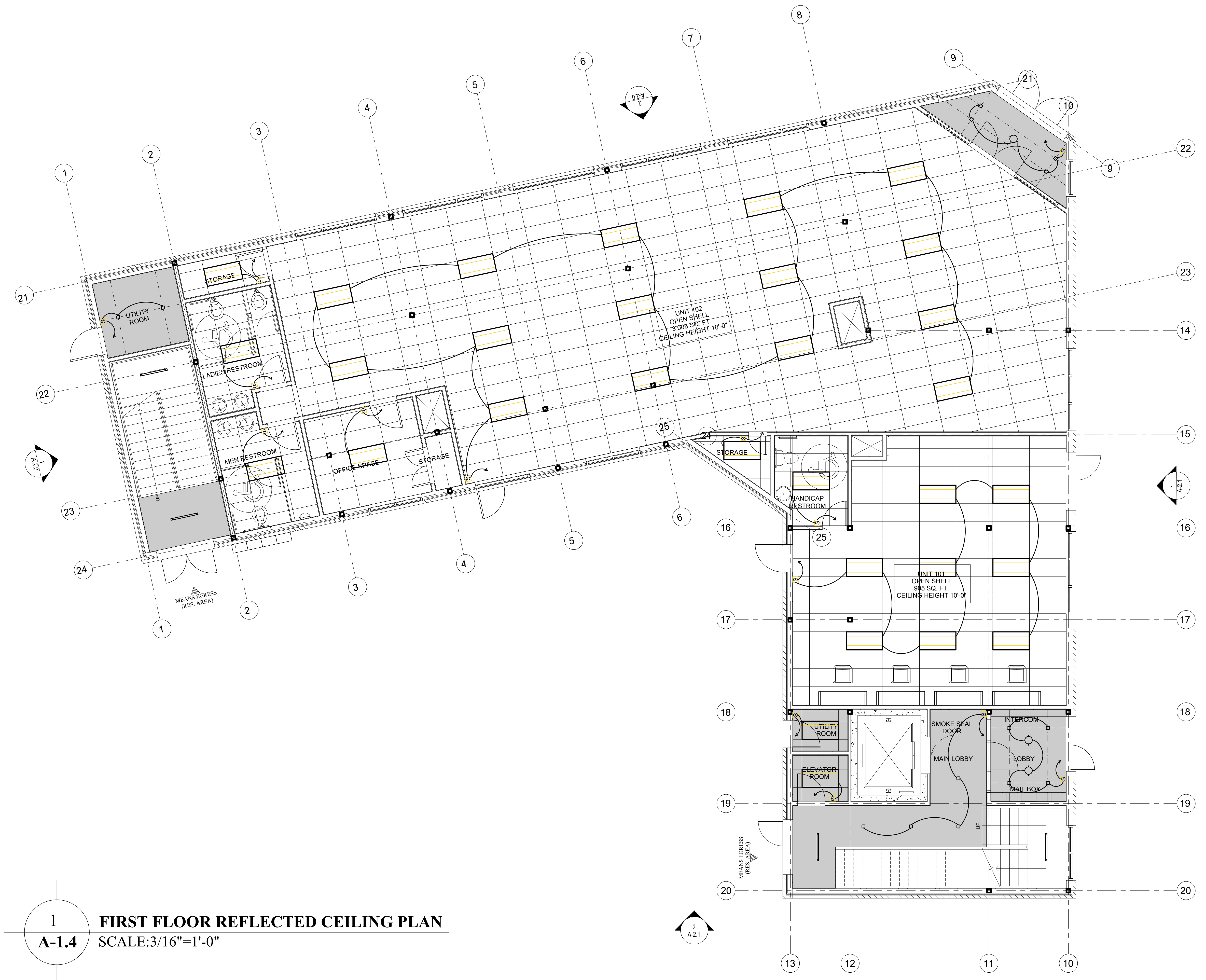
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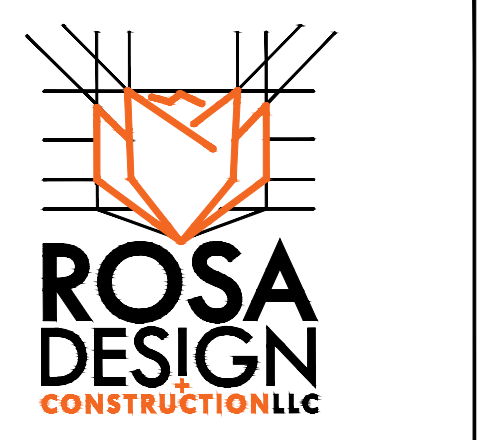
SHEET NUMBER:
A-1.3.1



1
A-1.4 **FIRST FLOOR REFLECTED CEILING PLAN**
SCALE: 3/16" = 1'-0"

MOUNTAIN DESIGNATION			
Proposed sheet rock ceiling plan	Proposed Switch	Proposed Telephone Outlet	Proposed Pendant lights las del front desk
Proposed dropped ceiling plan	Proposed Outlet	New Power Receptacle for CO2 Laser Machine. Refer to electrical requirements	Wall mounted sconce
Proposed 2'x4' slim design LED Troffer ceiling mounted	Bathroom exhaust fan light combo	Under cabinet lighting (led)	Recessed light (square led)

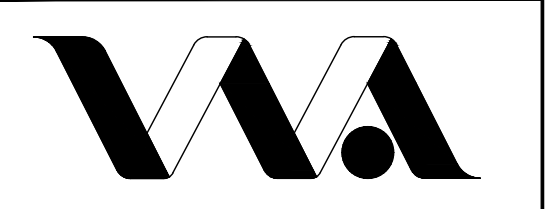
ELECTRICAL REQUIREMENTS
<ul style="list-style-type: none"> * The System will require a separate line supply of single phase (100Vac; 10A) or (115Vac; 10A) or (230Vac; 10A) or (240Vac; 10A) 50-60Hz. * Power receptacles must be within 15 feet of the System site. * The System should not share a power line with other equipment. * Power receptacle must include protective earth and must be checked before connecting the System.



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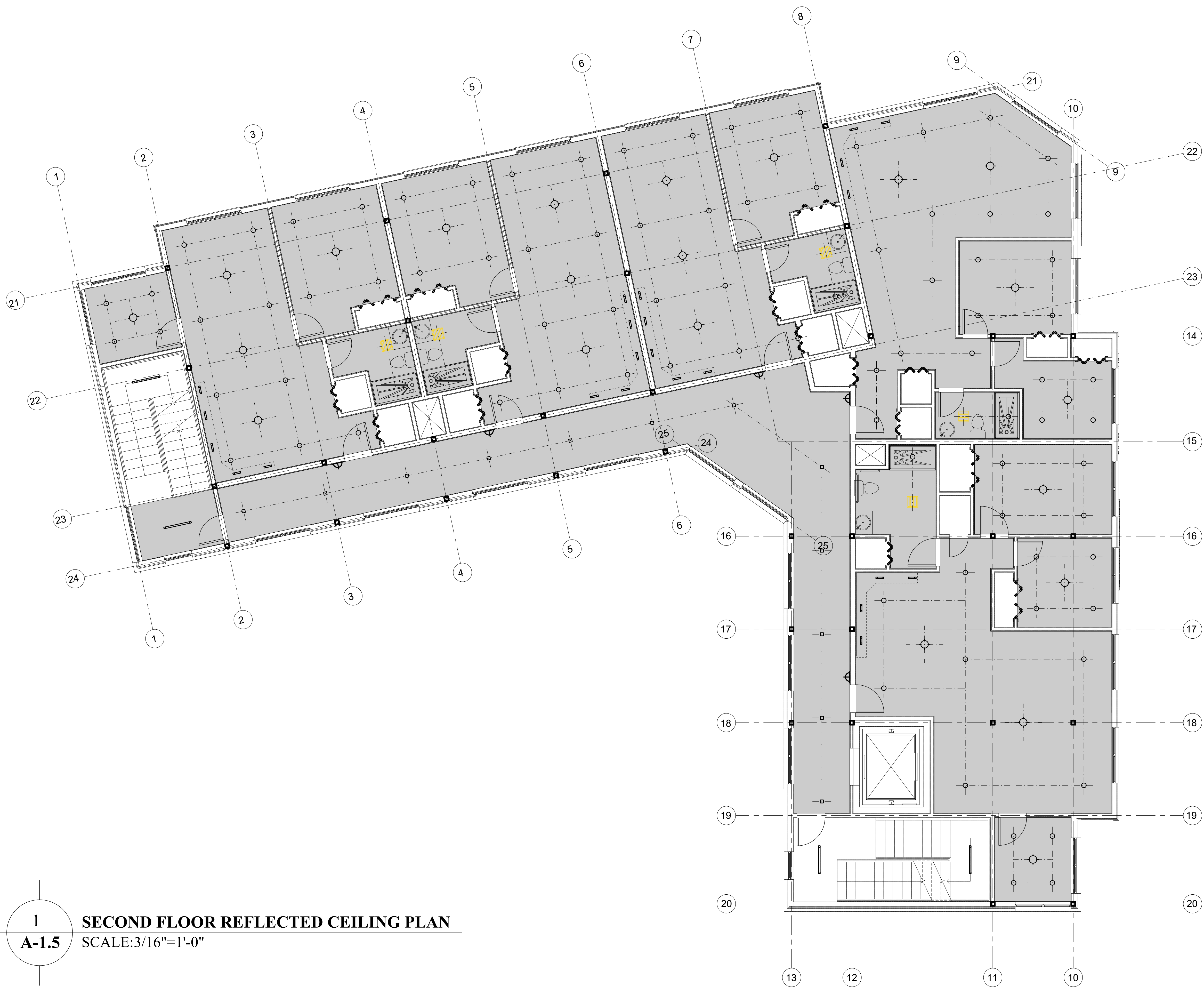


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SHEET NUMBER:
A-1.4



1
A-1.5 **SECOND FLOOR REFLECTED CEILING PLAN**
SCALE: 3/16"=1'-0"

MOUNTAIN DESIGNATION

- | | | | | |
|--|------------------------------------|--|--|--------------------------------|
| Proposed sheet rock ceiling plan | Proposed Switch | Proposed Telephone Outlet | Proposed Pendant lights las del front desk | Proposed 2' x 4' light fixture |
| Proposed dropped ceiling plan | Proposed Outlet | New Power Receptacle for CO2 Laser Machine. Refer to electrical requirements | Wall mounted sconce | Proposed surface mounted led |
| Proposed 2'x4' slim design LED Troffer ceiling mounted | Bathroom exhaust fan light combo | Under cabinet lighting (led) | Recessed light (square led) | |

ELECTRICAL REQUIREMENTS

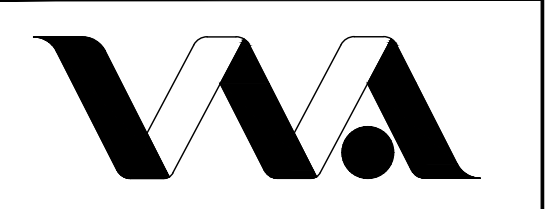
- * The System will require a separate line supply of single phase (100Vac; 10A) or (115Vac; 10A) or (230Vac; 10A) or (240Vac; 10A) 50-60Hz.
- * Power receptacles must be within 15 feet of the System site.
- * The System should not share a power line with other equipment.
- * Power receptacle must include protective earth and must be checked before connecting the System.



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WARD 08

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CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/17 /2023
PROJECT NO.: RDC/00365
REVISIONS: NOTES: DATE:



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**NEW CONSTRUCTION
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 WARD 08

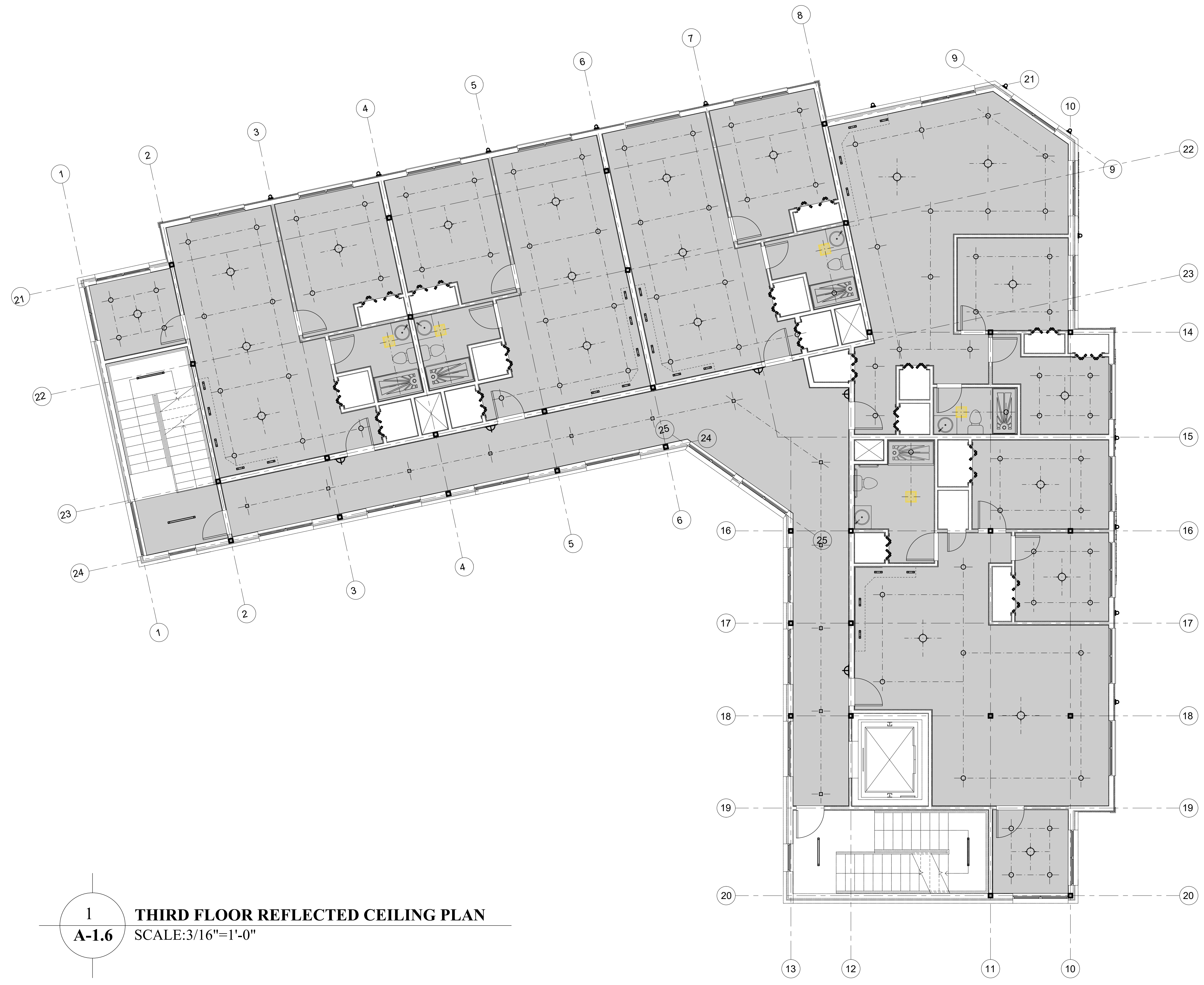
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A-1.6



1
A-1.6
THIRD FLOOR REFLECTED CEILING PLAN
 SCALE: 3/16"=1'-0"

MOUNTAIN DESIGNATION			
Proposed sheet rock ceiling plan	Proposed Switch	Proposed Telephone Outlet	Proposed Pendant lights las del front desk
Proposed dropped ceiling plan	Proposed Outlet	New Power Receptacle for CO2 Laser Machine. Refer to electrical requirements	Wall mounted sconce
Proposed 2'x4' slim design LED Troffer ceiling mounted	Bathroom exhaust fan light combo	Under cabinet lighting (led)	Recessed light (square led)

ELECTRICAL REQUIREMENTS
<ul style="list-style-type: none"> * The System will require a separate line supply of single phase (100Vac; 10A) or (115Vac; 10A) or (230Vac; 10A) or (240Vac; 10A) 50-60Hz. * Power receptacles must be within 15 feet of the System site. * The System should not share a power line with other equipment. * Power receptacle must include protective earth and must be checked before connecting the System.



**PROPOSED TABER ST
NORTH/ RIGHT ELEVATION**

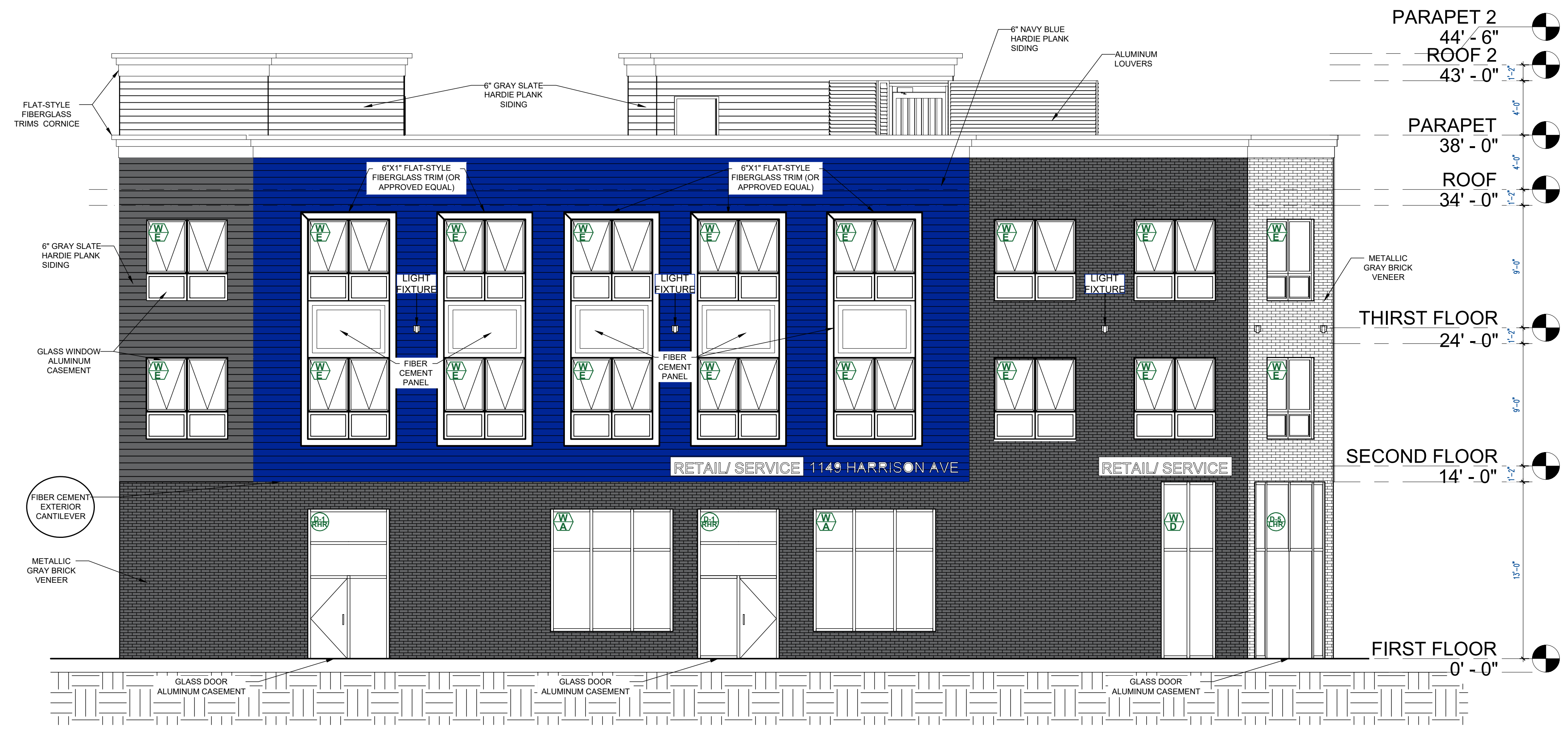
1
A-2.0
SCALE:3/16"=1'-0"

APPROVED
DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

SIGNATURE *Seth P...*

09/07/2023

Approved with
attached provisos.



**PROPOSED 1149 HARRISON AVE
EAST/ FRONT ELEVATION**

2
A-2.0
SCALE:3/16"=1'-0"

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**NEW CONSTRUCTION
MIXED USE DWELLING**
1149-1155 HARRISON AVENUE,
WARD 08

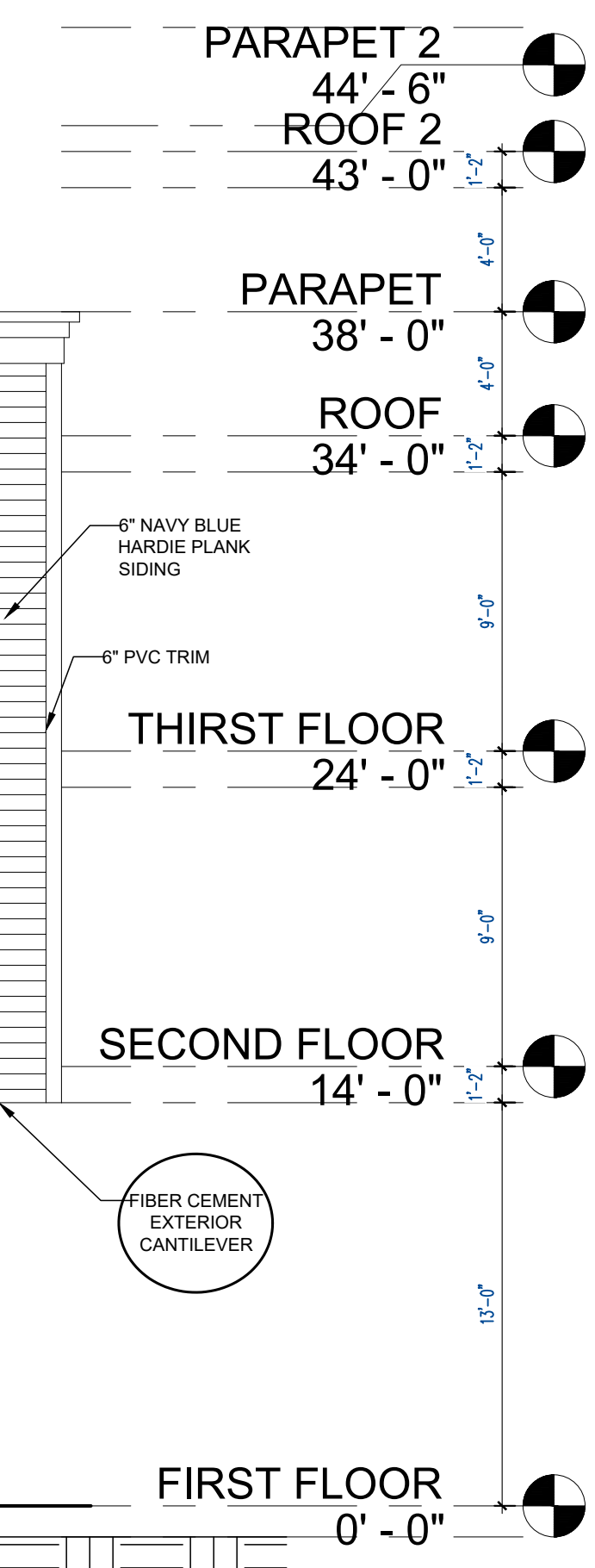
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DRAWN BY:	ASG
CHECKED BY:	EBR
SCALE:	AS INDICATED
DATE:	07/17/2023
PROJECT NO.:	RDC/00365
REVISIONS:	NOTES: DATE:

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Lic. #7039
douglassdwohn@gmail.com
240 Heath St., P11-16
Boston, MA 02130
Cel: 617-921-6798

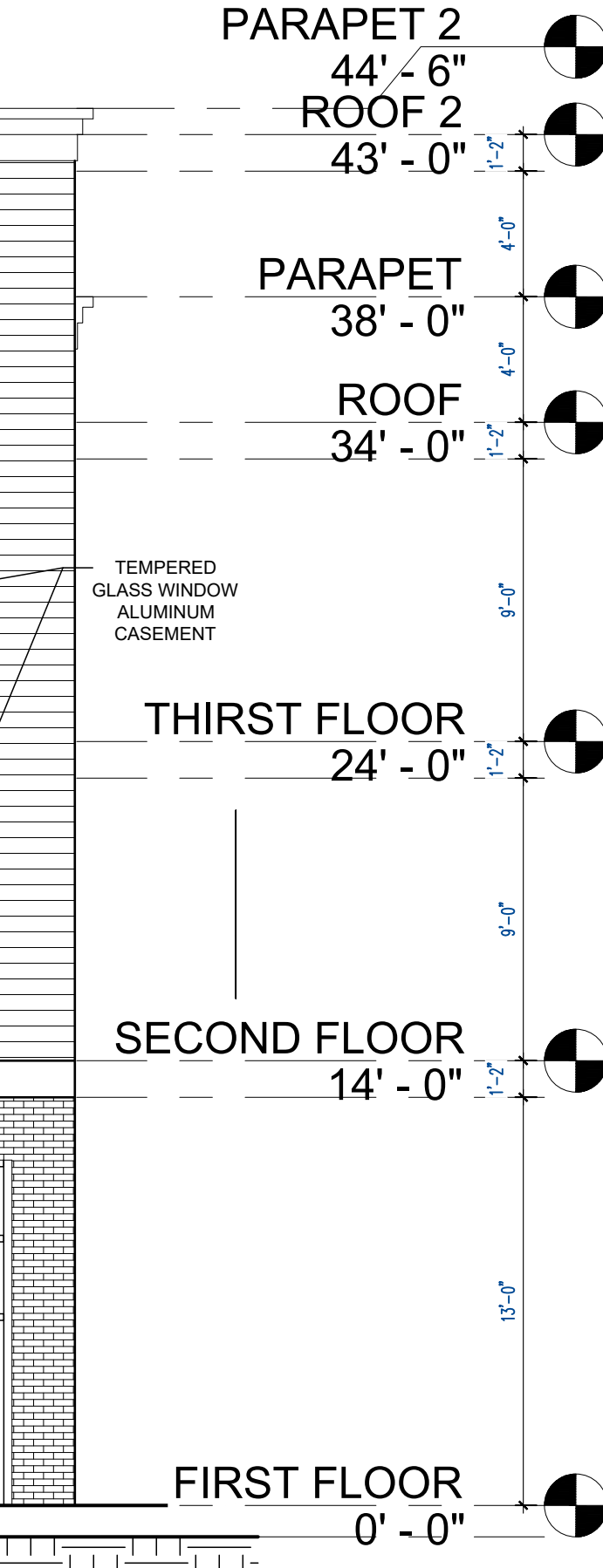
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PROPOSED

SHEET NUMBER:
A-2.0



1
A-2.1 PROPOSED LEFT ELEVATION
SCALE: 3/16" = 1'-0"



2
A-2.1 PROPOSED REAR ELEVATION
SCALE: 3/16" = 1'-0"

DS

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DESIGN REVIEW
BOSTON REDEVELOPMENT AUTHORITY

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09/07/2023

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1149-1155 HARRISON AVENUE,
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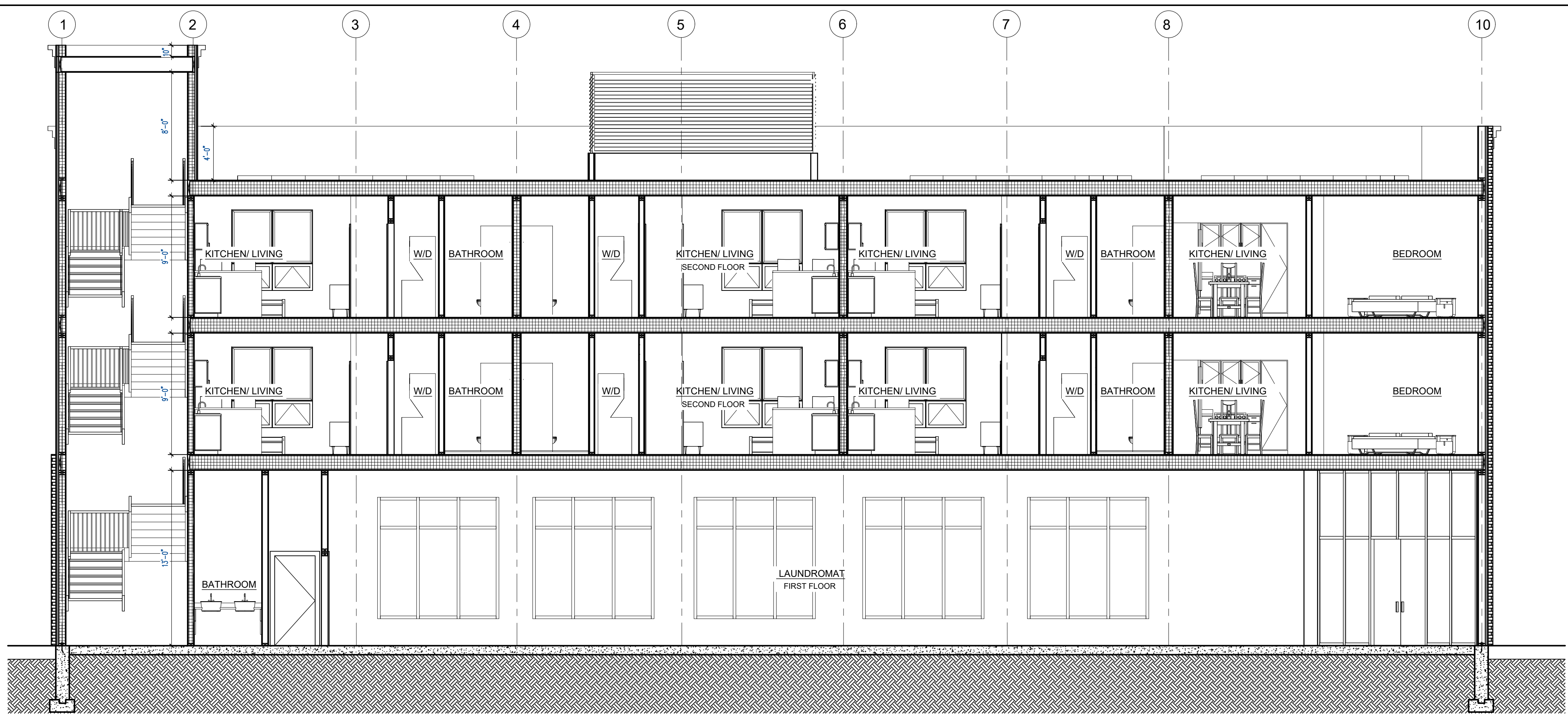
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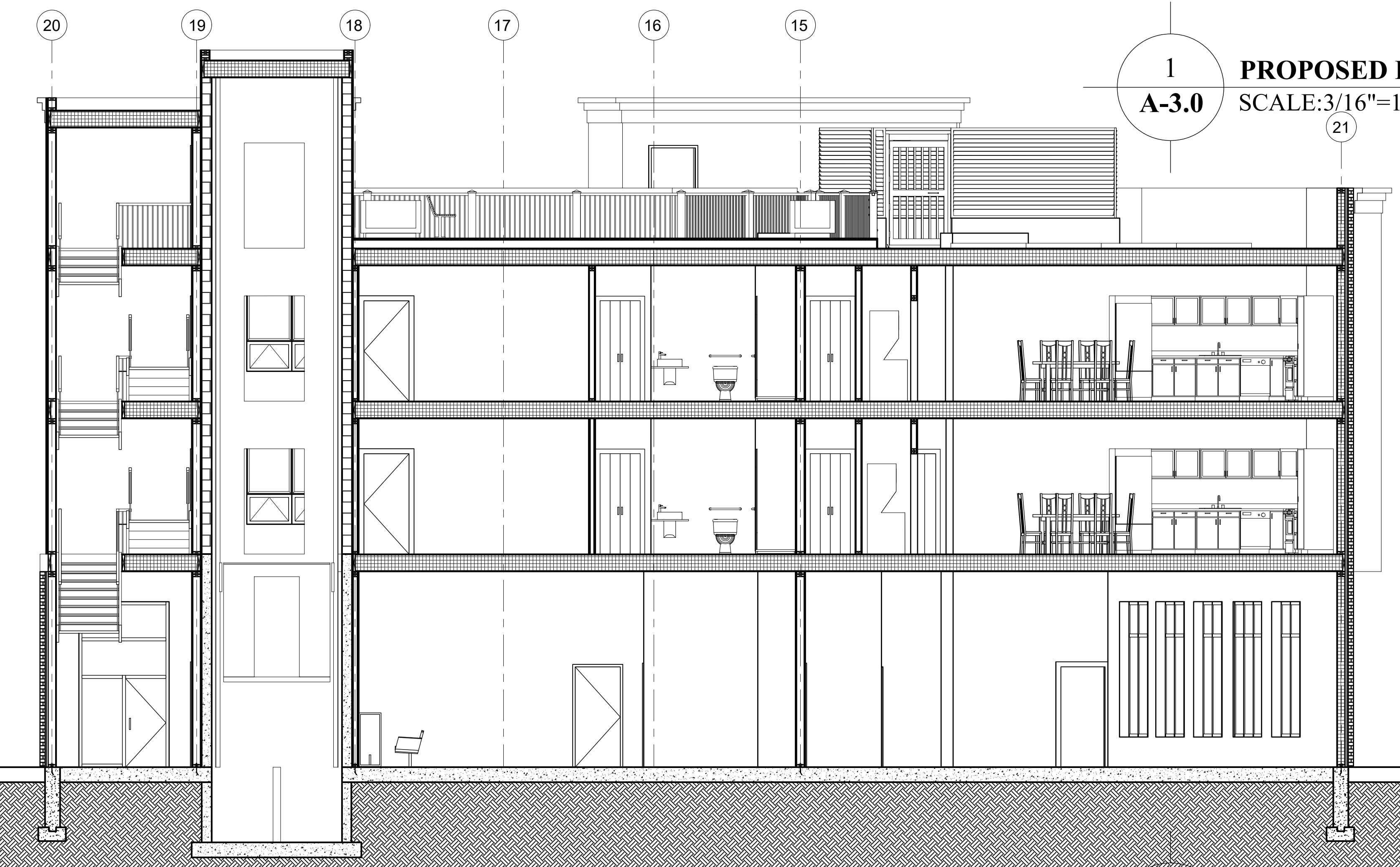
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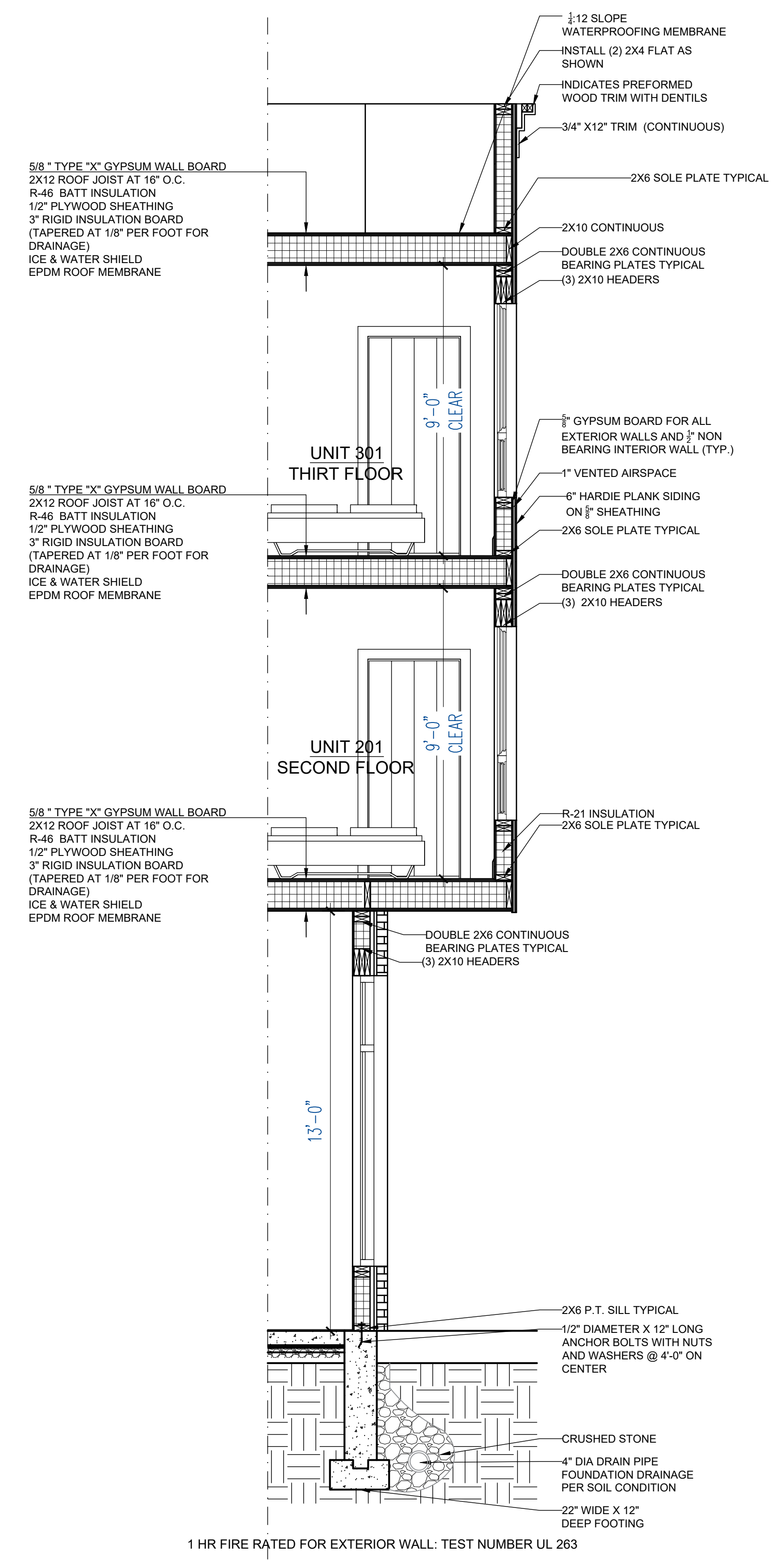
SHEET NUMBER:
A-2.1



1 PROPOSED BUILDING SECTION A'-A'
A-3.0 SCALE: 3/16"=1'-0"



2 PROPOSED BUILDING SECTION B'-B'
A-3.0 SCALE: 3/16"=1'-0"



3 PROPOSED WALL SECTION
A-3.0 SCALE: 3/16"=1'-0"



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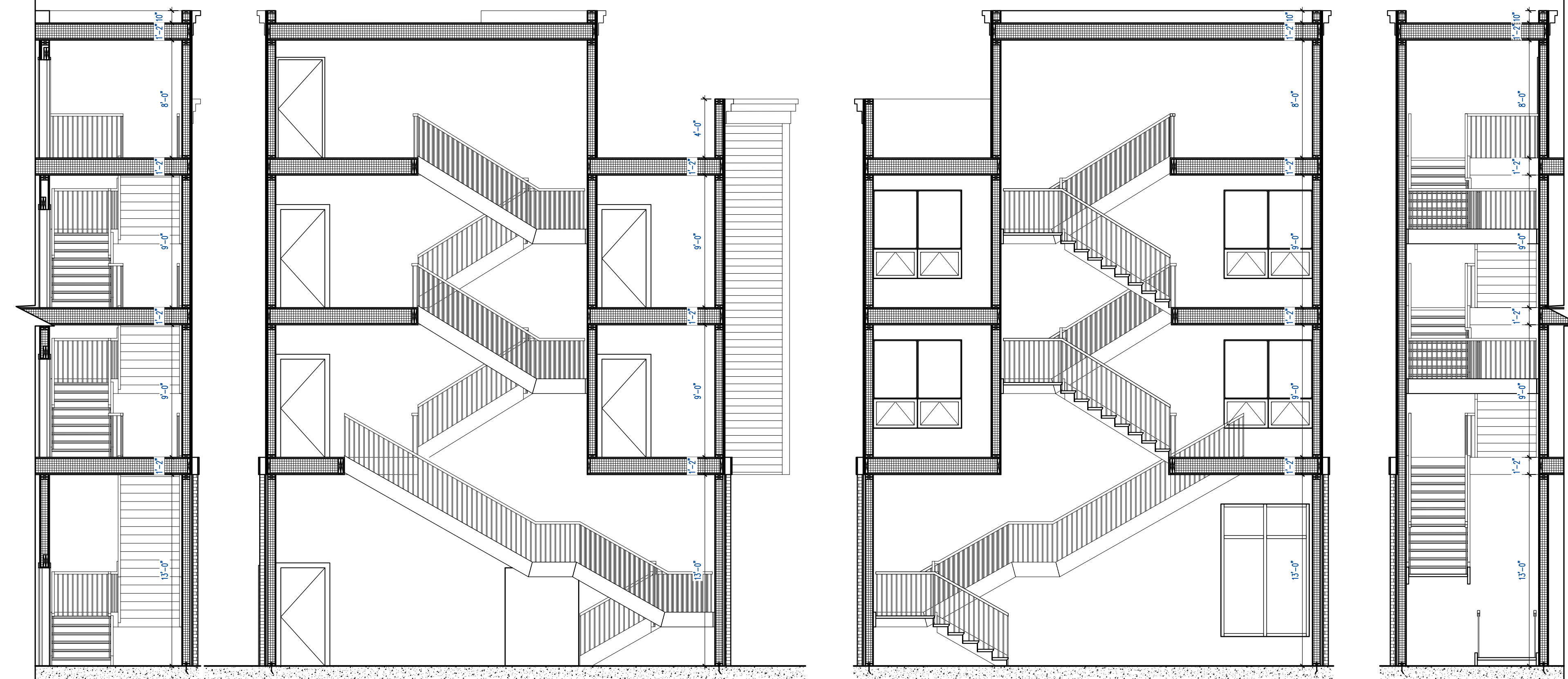
**NEW CONSTRUCTION
 MIXED USE DWELLING**
 1149-1155 HARRISON AVENUE,
 WARD 08

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CHECKED BY:	EBR
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A-3.0



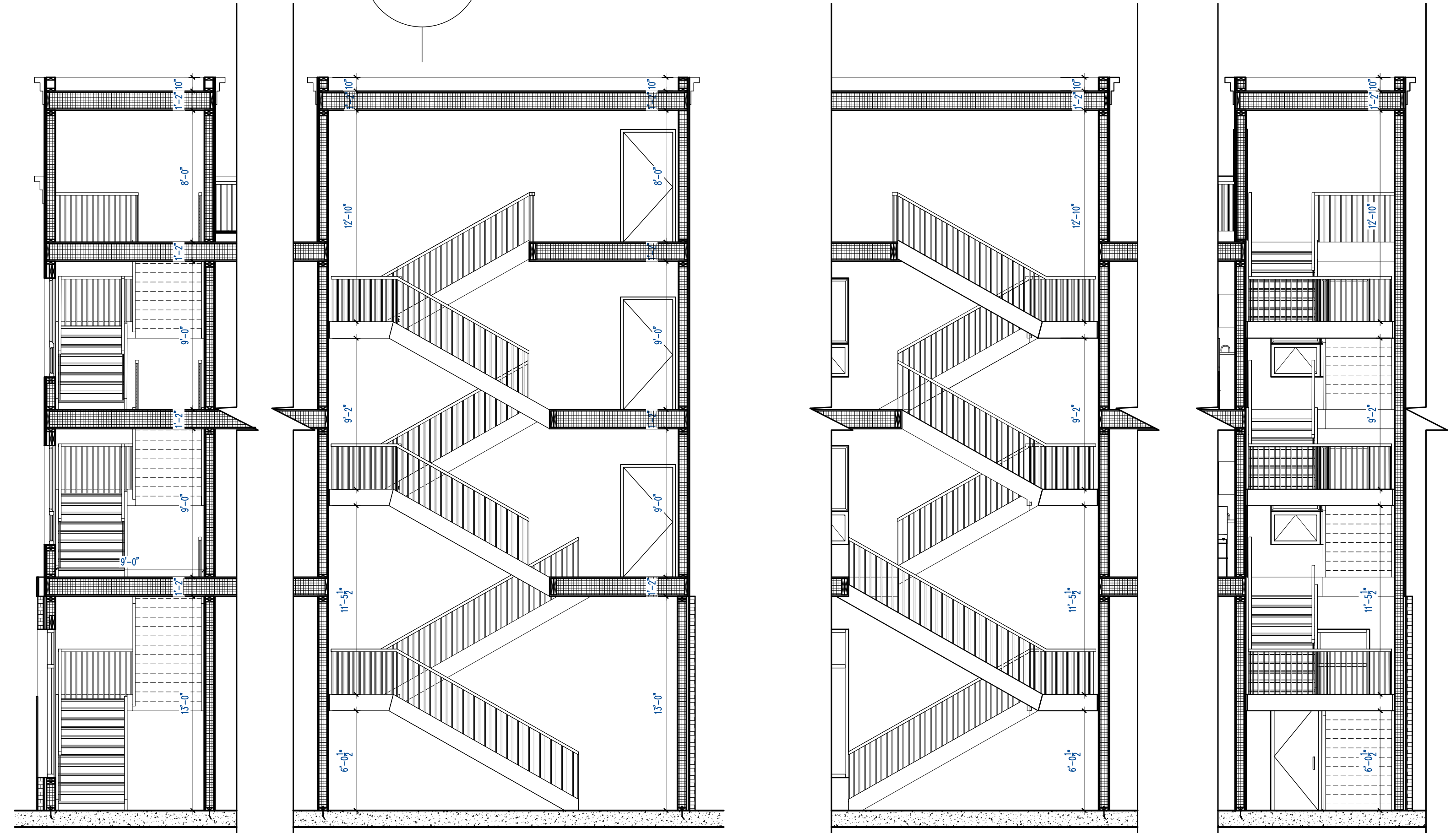
STAIRCASE REAR VIEW

STAIRCASE RIGHT VIEW

STAIRCASE LEFT VIEW

STAIRCASE REAR VIEW

1 PROPOSED STAIR CASE 1 ELEVATIONS
A-3.1 SCALE:3/16"=1'-0"



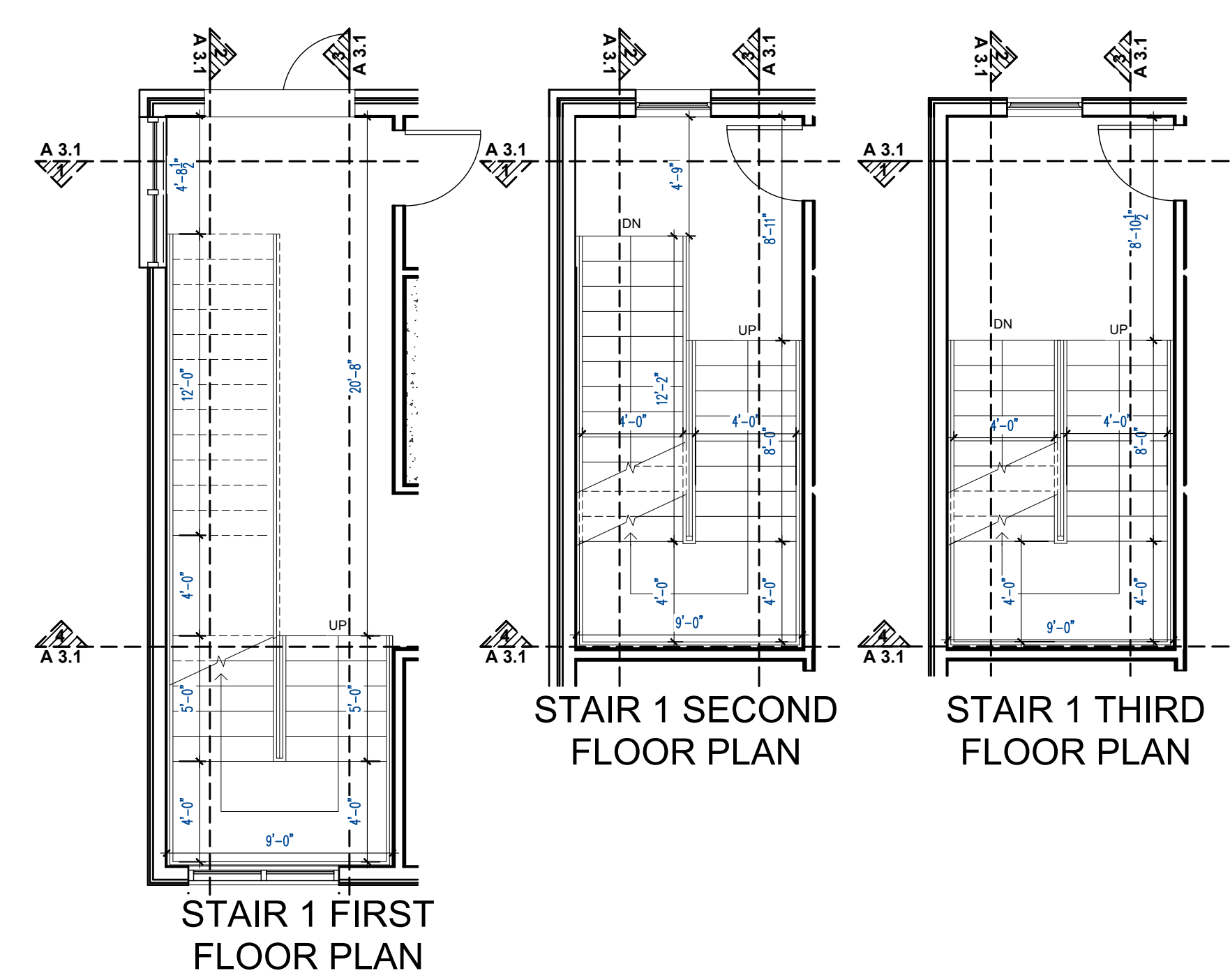
STAIRCASE FRONT VIEW

STAIRCASE LEFT VIEW

STAIRCASE RIGHT VIEW

STAIRCASE REAR VIEW

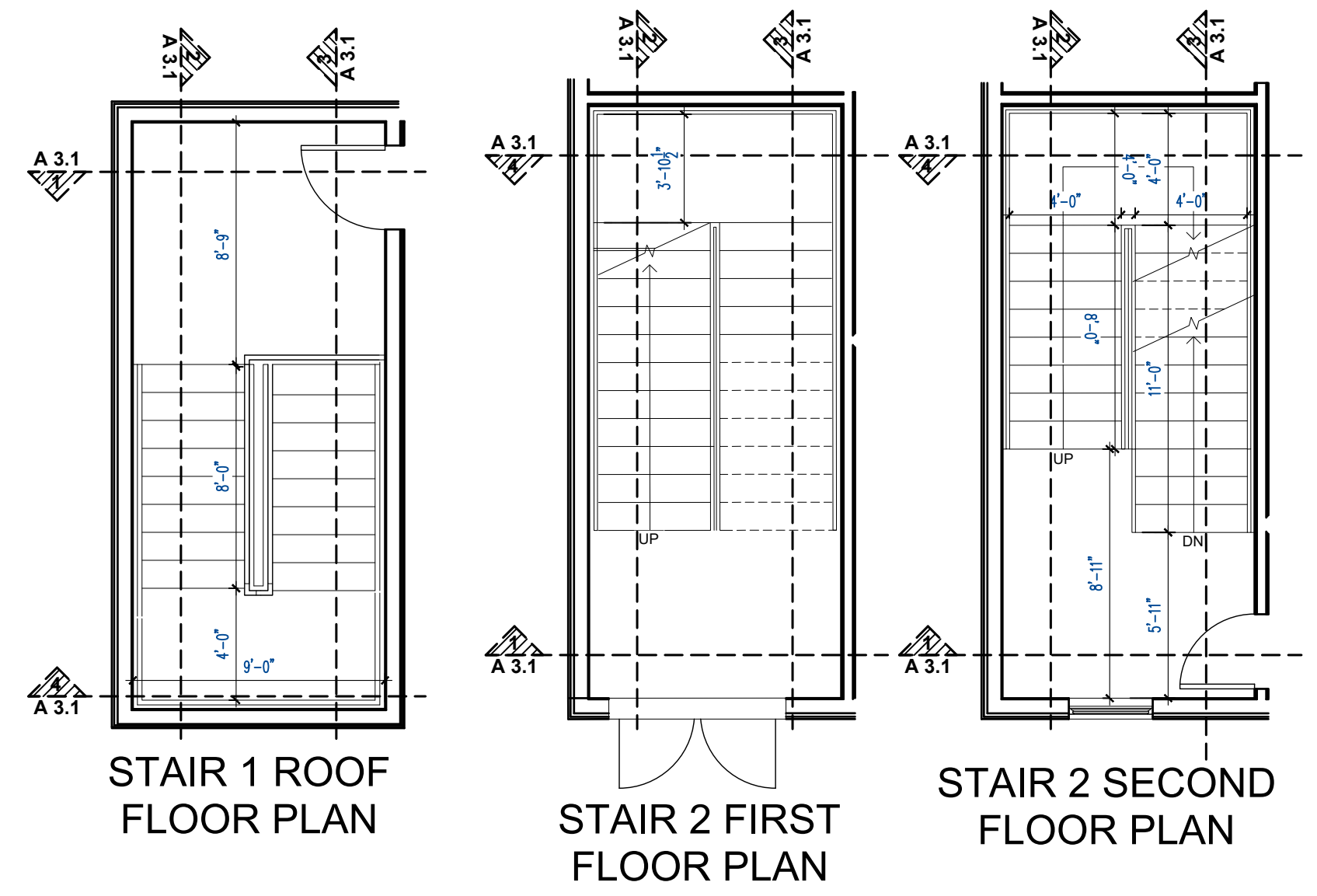
2 PROPOSED STAIR CASE E ELEVATIONS
A-3.1 SCALE:3/16"=1'-0"



STAIR 1 FIRST FLOOR PLAN

STAIR 1 SECOND FLOOR PLAN

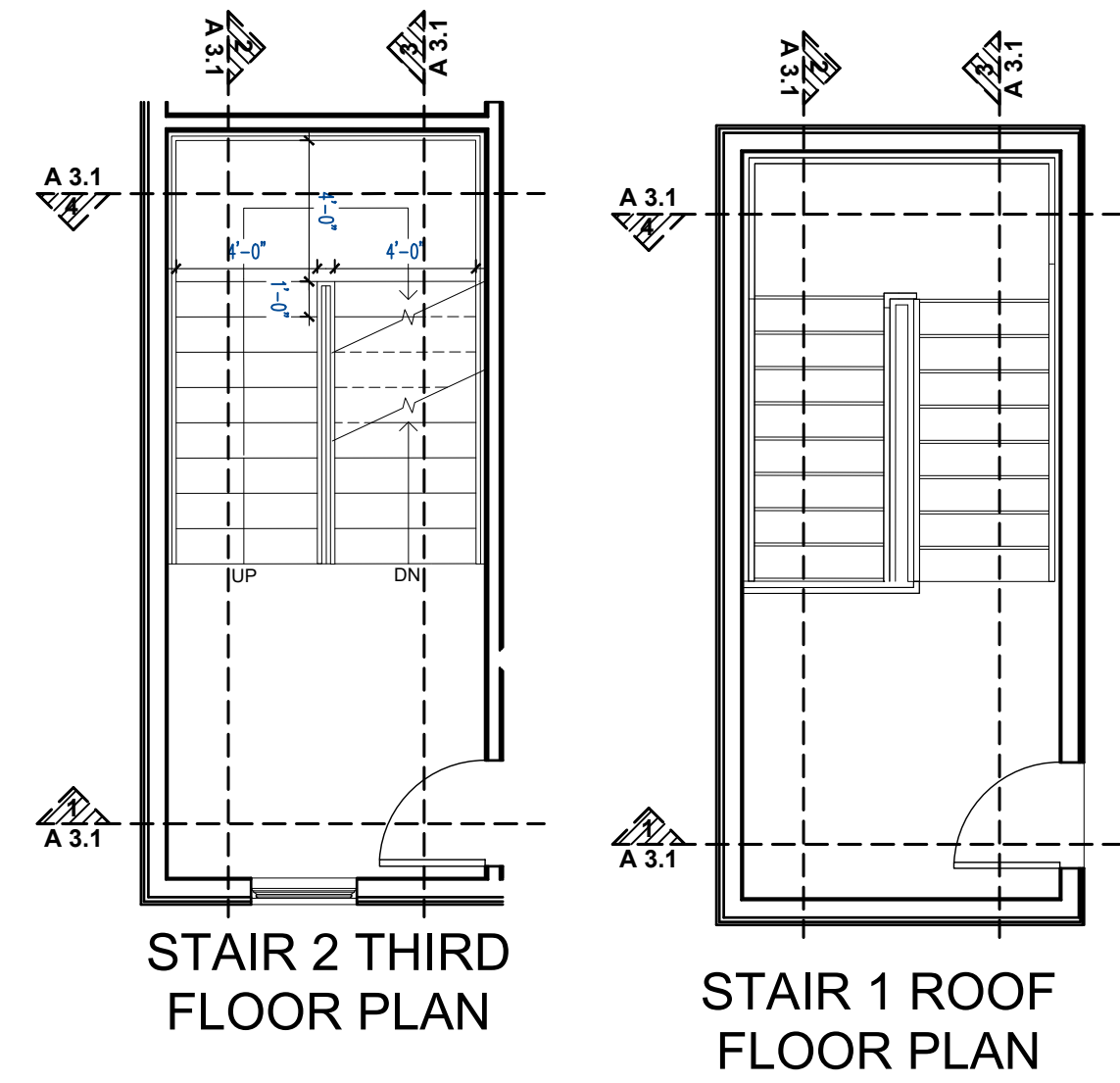
STAIR 1 THIRD FLOOR PLAN



STAIR 1 ROOF FLOOR PLAN

STAIR 2 FIRST FLOOR PLAN

STAIR 2 SECOND FLOOR PLAN



STAIR 2 THIRD FLOOR PLAN

STAIR 1 ROOF FLOOR PLAN



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1149-1155 HARRISON AVENUE,
WARD 08

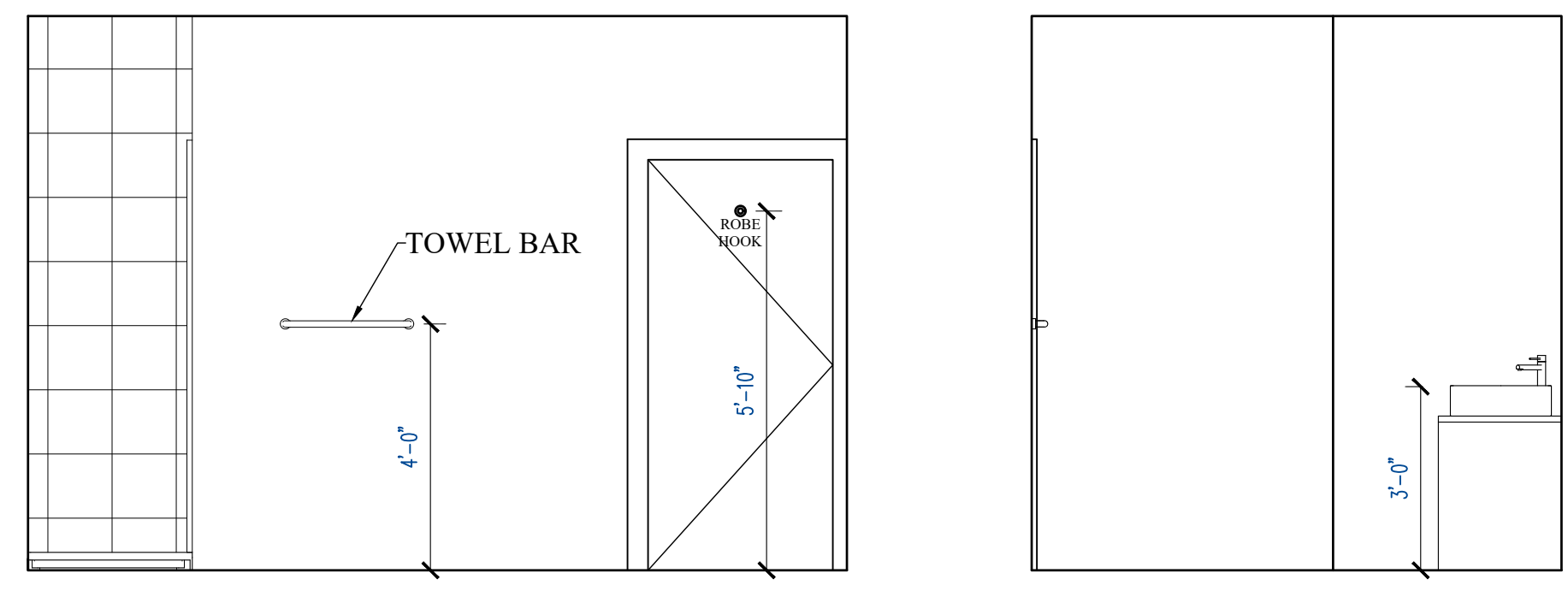
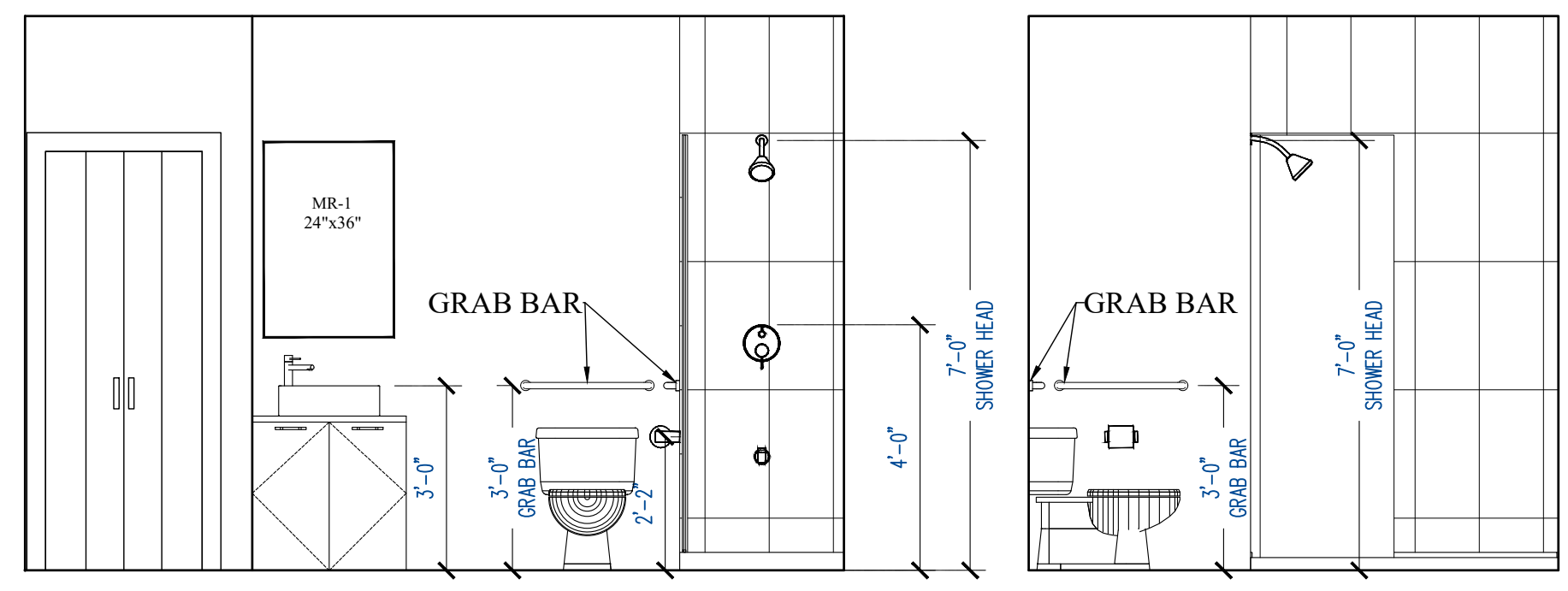
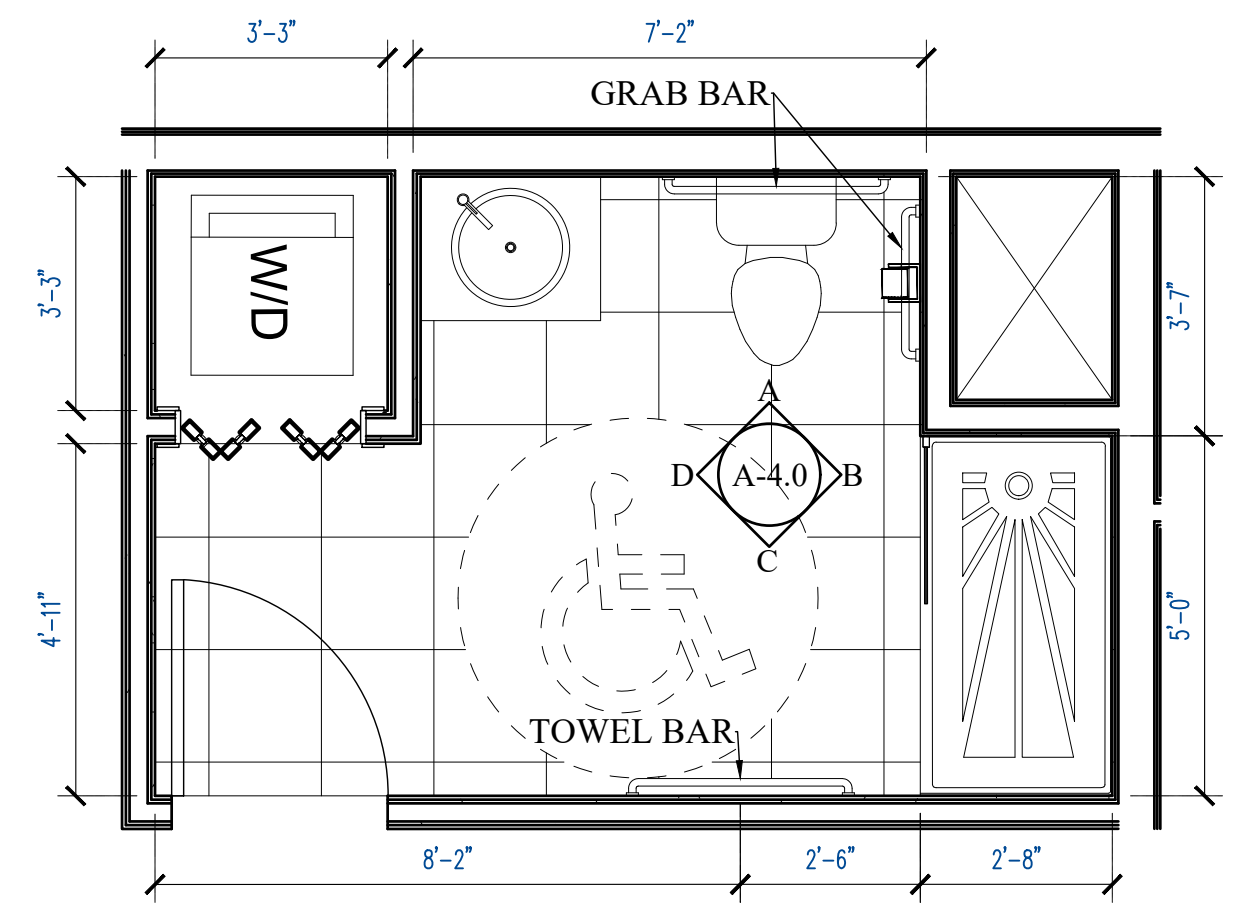
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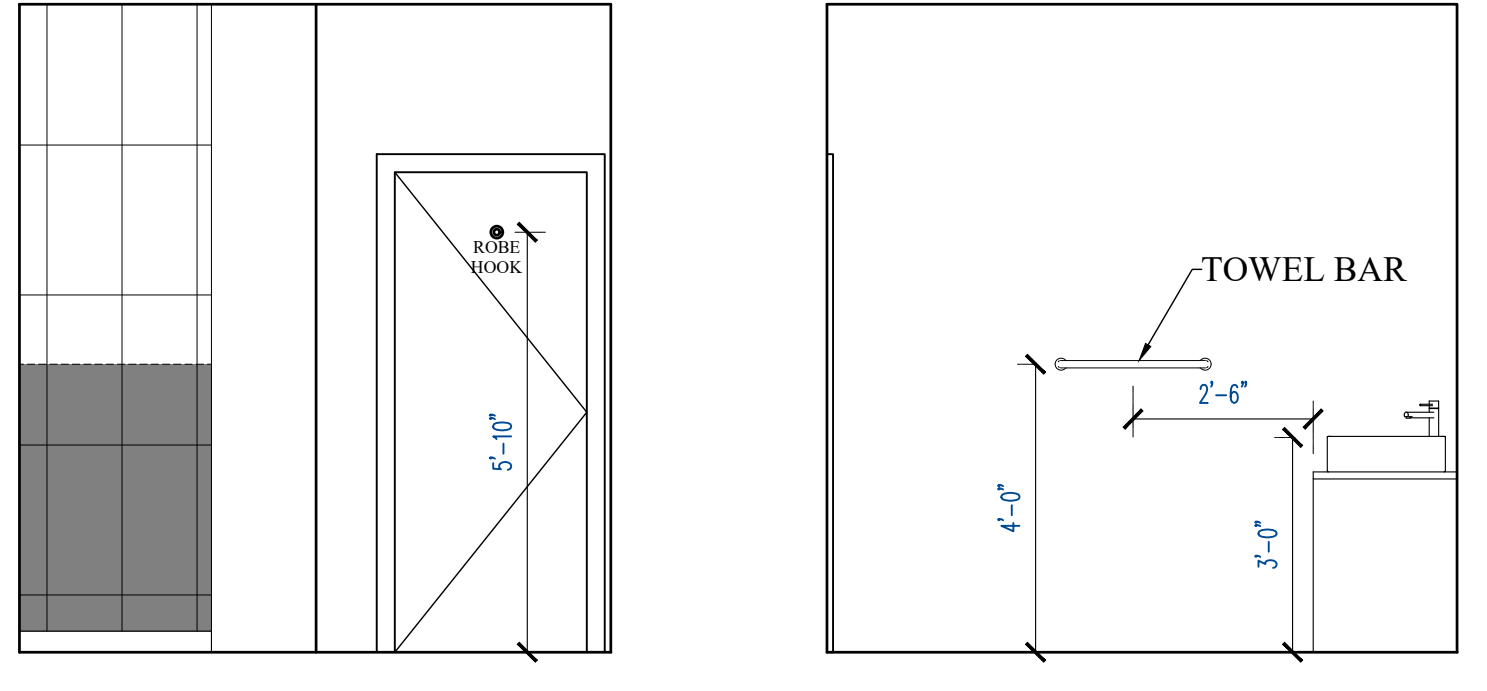
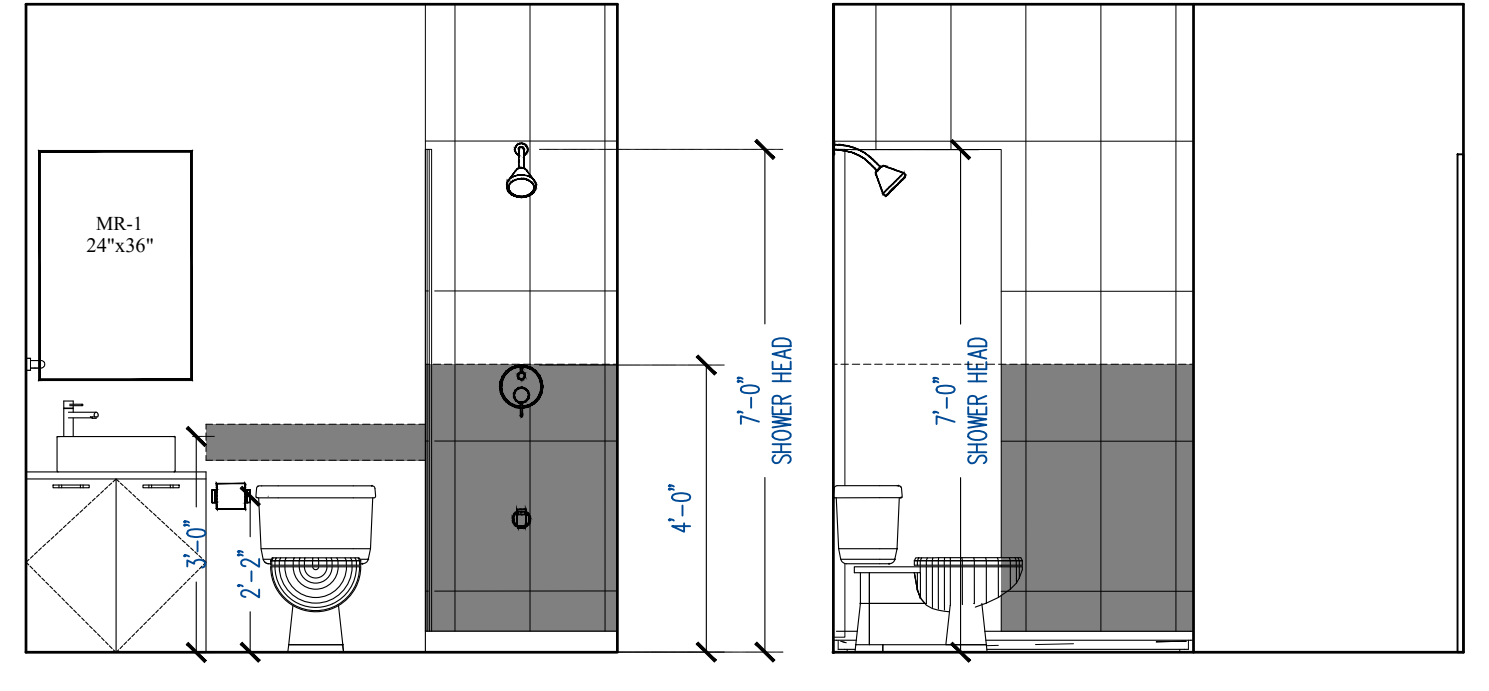
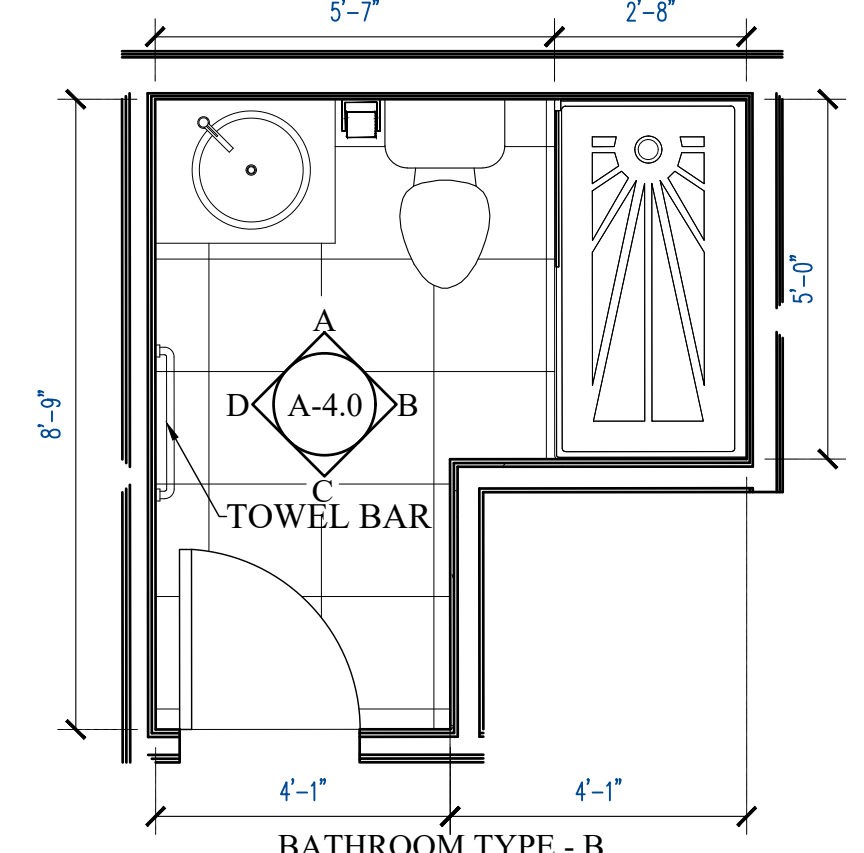
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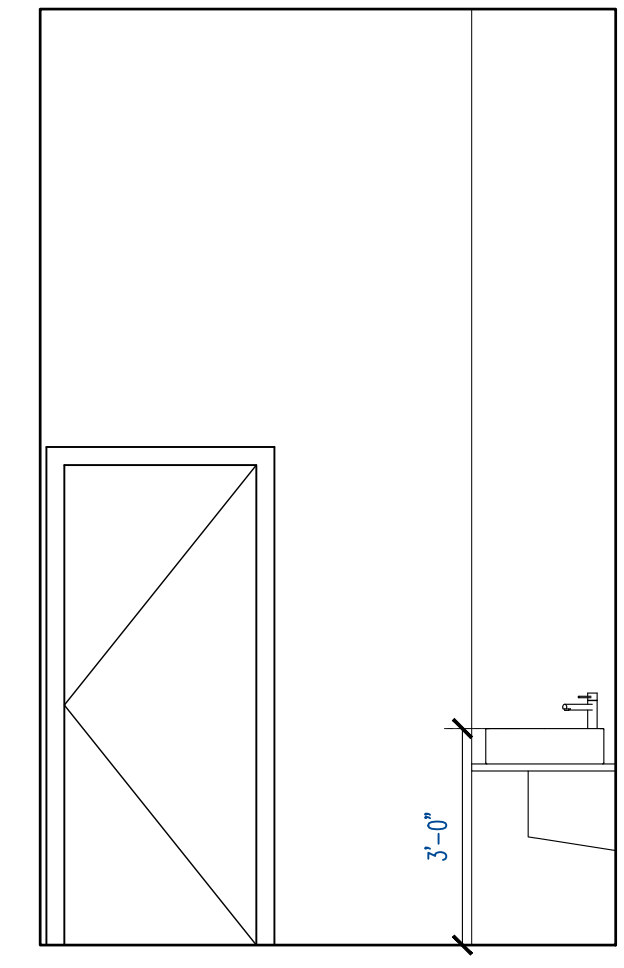
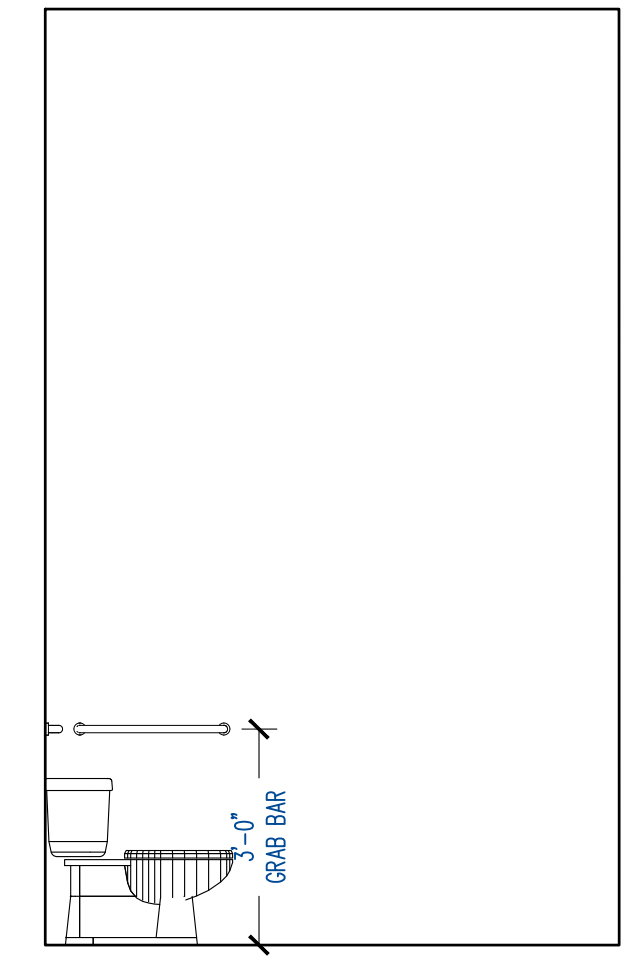
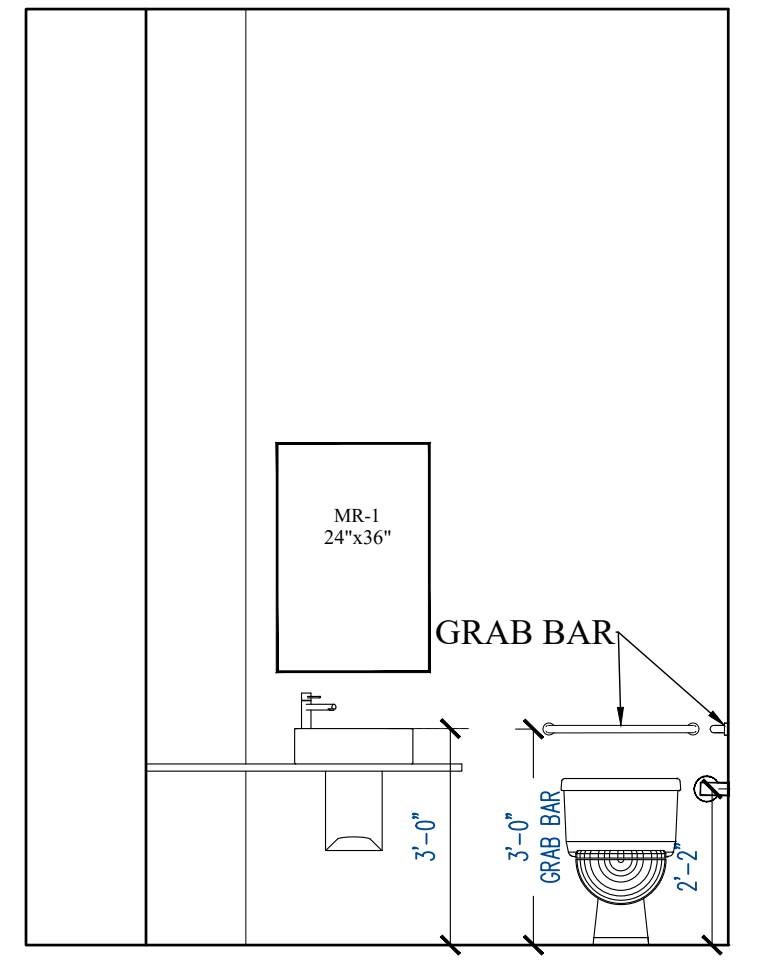
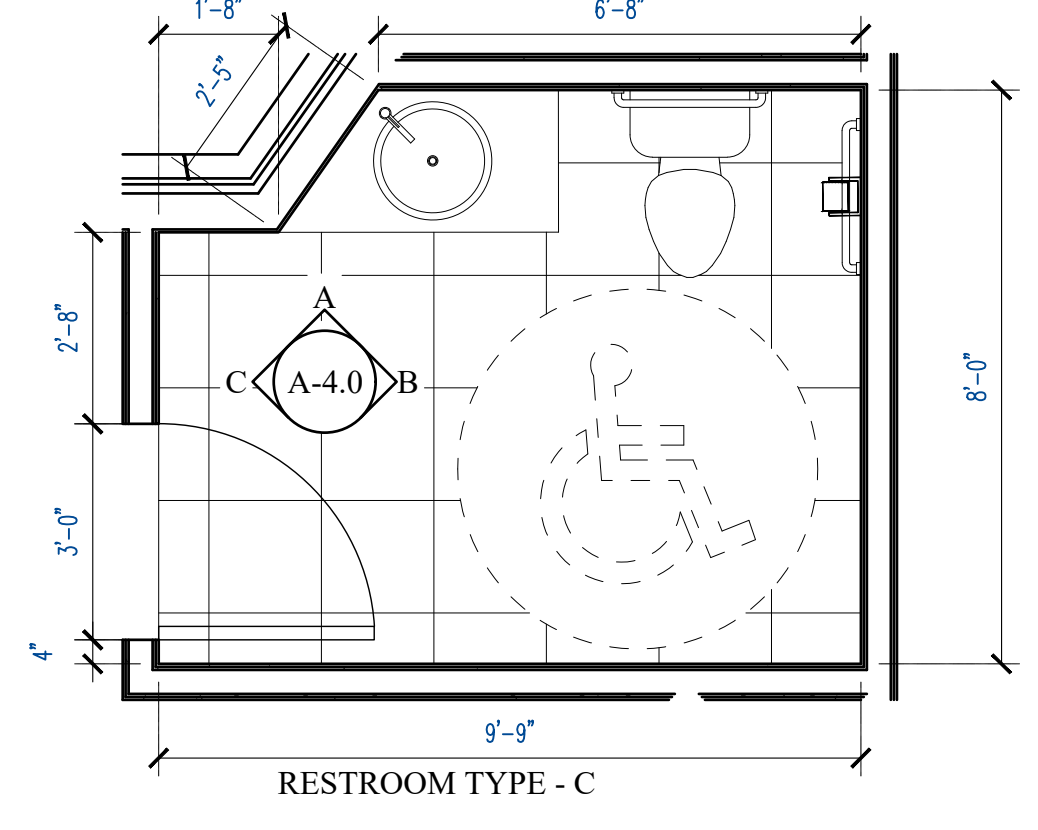
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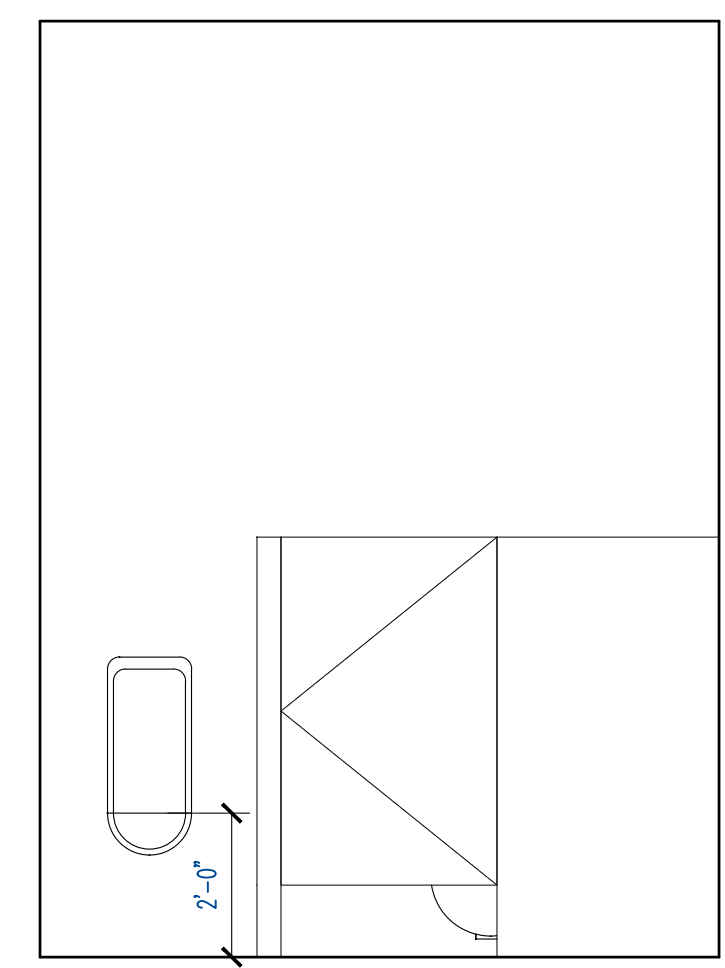
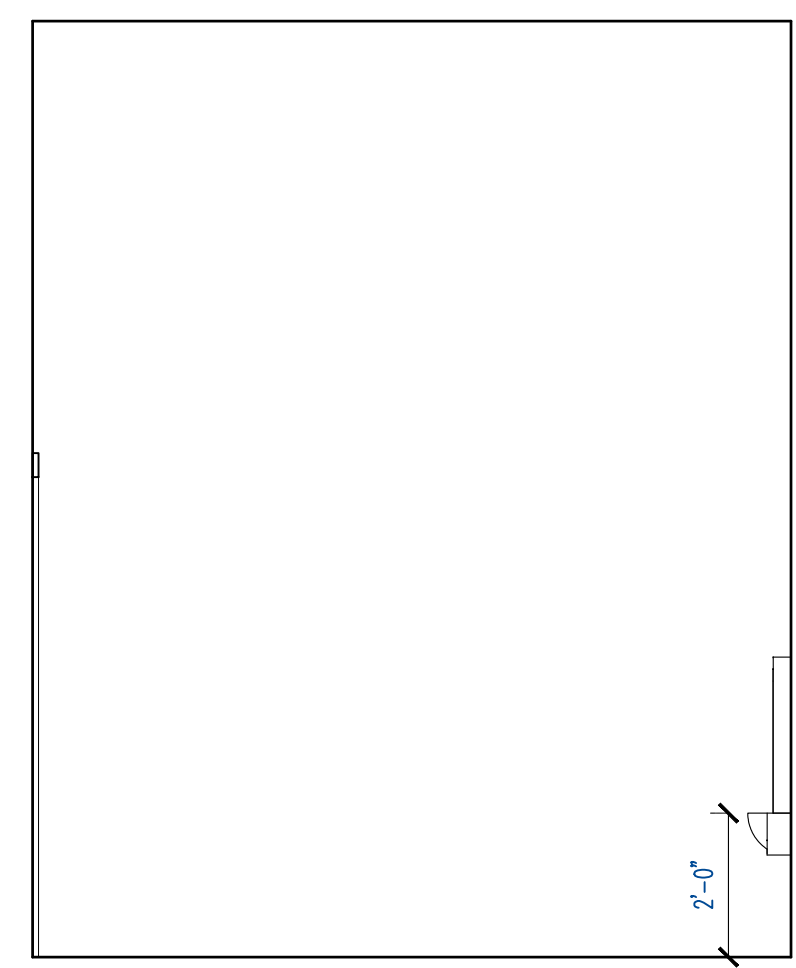
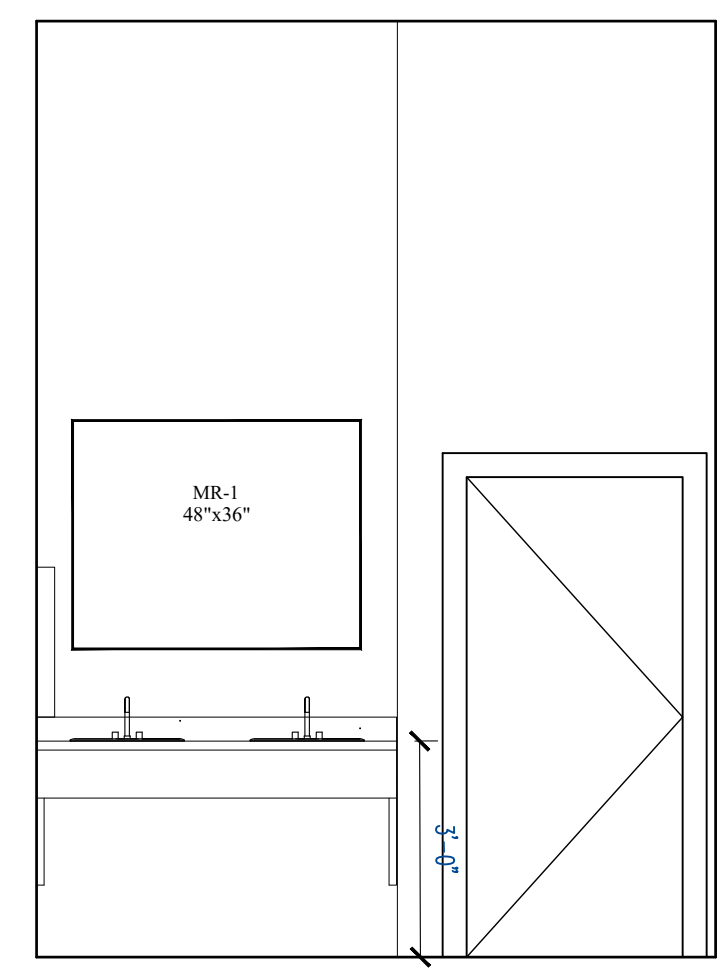
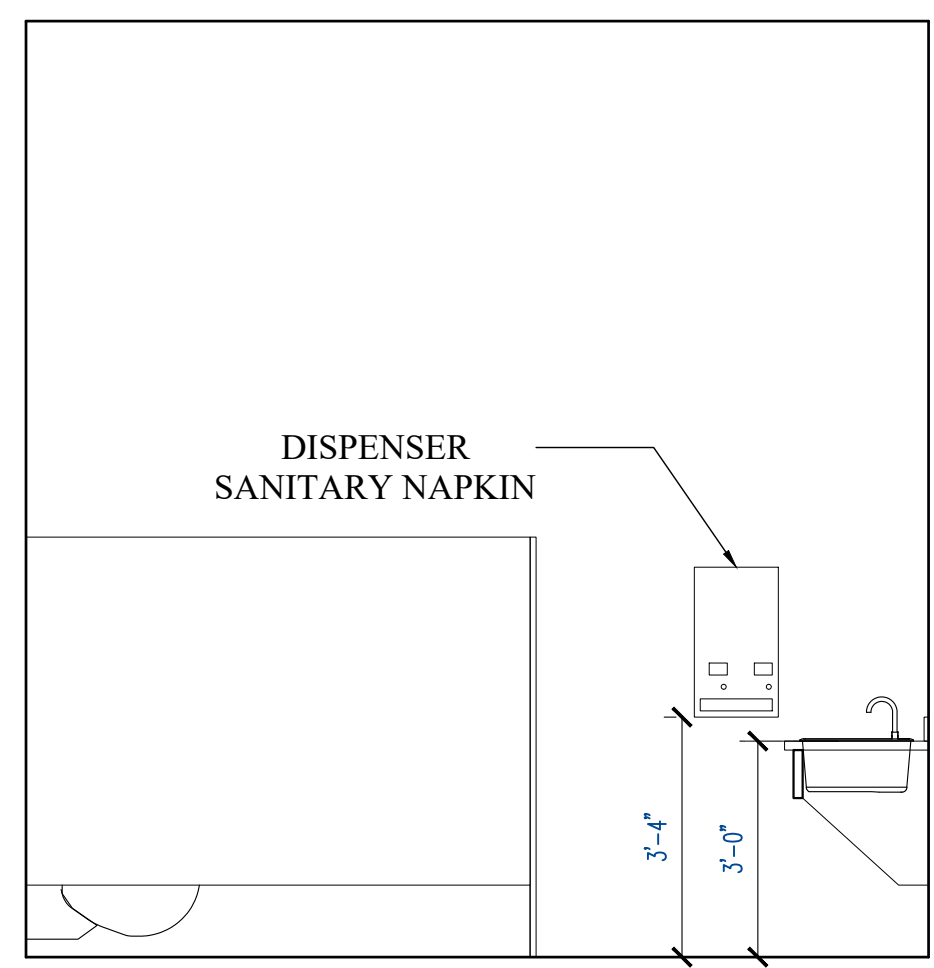
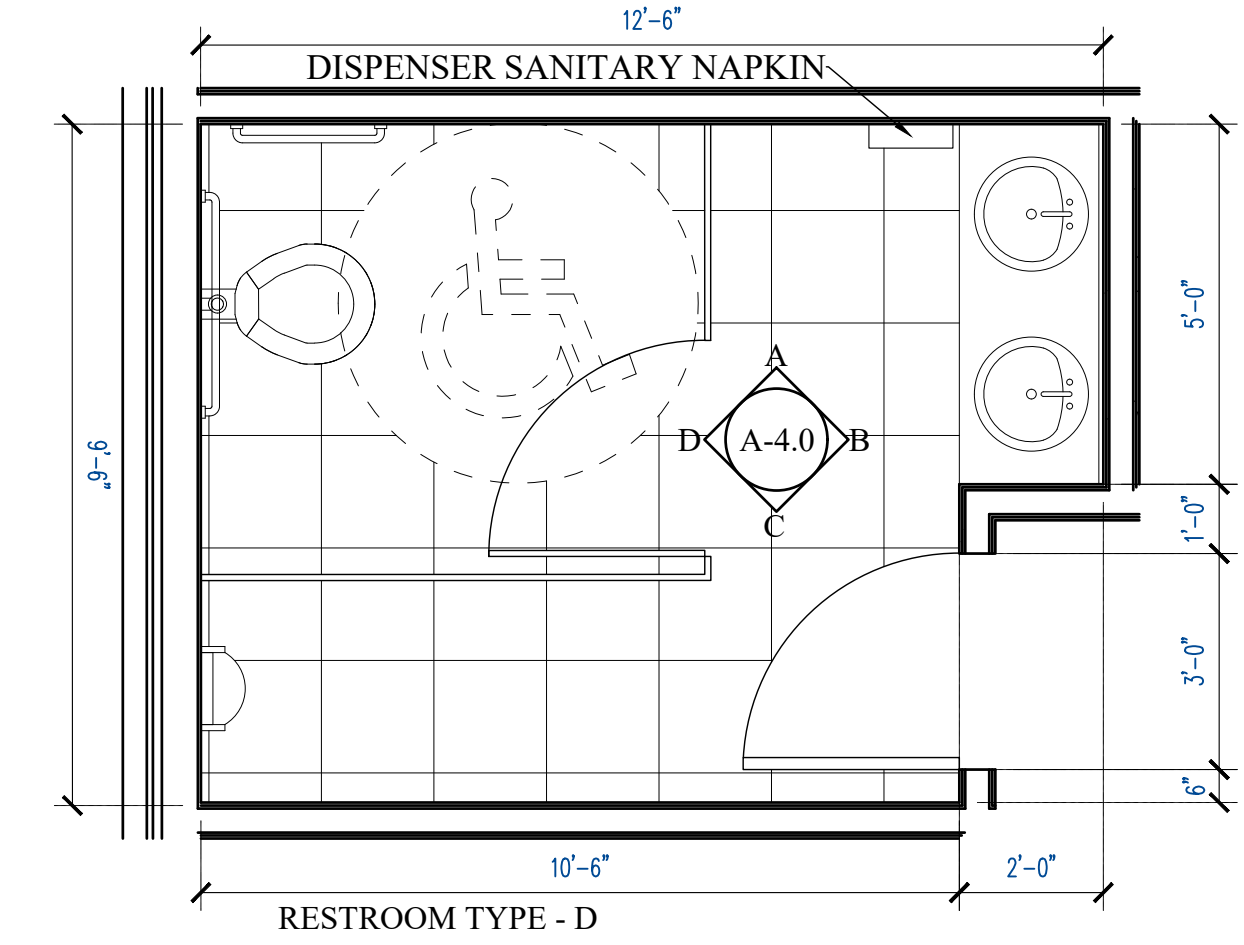
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TYPE B - ELEVATION 'A' TYPE B - ELEVATION 'B' TYPE B - ELEVATION 'C' TYPE B - ELEVATION 'D'



TYPE C - ELEVATION 'A' TYPE C - ELEVATION 'B' TYPE C - ELEVATION 'C'



TYPE D - ELEVATION 'A' TYPE D - ELEVATION 'B' TYPE D - ELEVATION 'C' TYPE D - ELEVATION 'D'

NOTE:
 1. GRAY AREA DEPICTS AREA WHERE BLOCKING IS REQUIRED IN WALL FOR FUTURE GRAB BARS. TWO SIDES OF TOILET, THREE SIDES OF SHOWER/TUB. TYP. AT ALL BATHROOMS.
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**NEW CONSTRUCTION
 MIXED USE DWELLING**
 1149-1155 HARRISON AVENUE,
 WARD 08

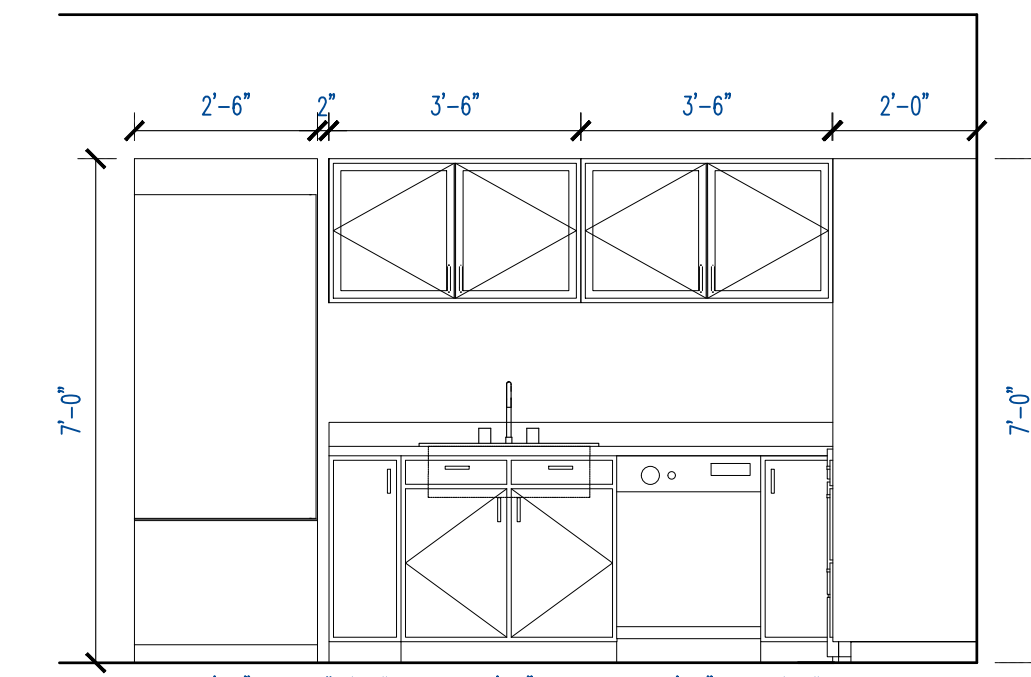
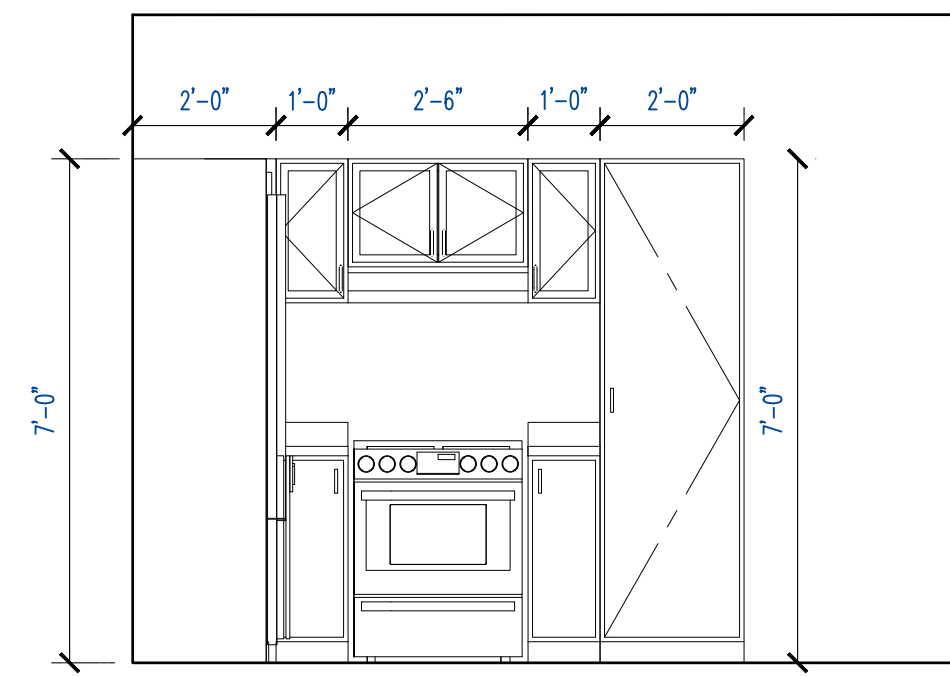
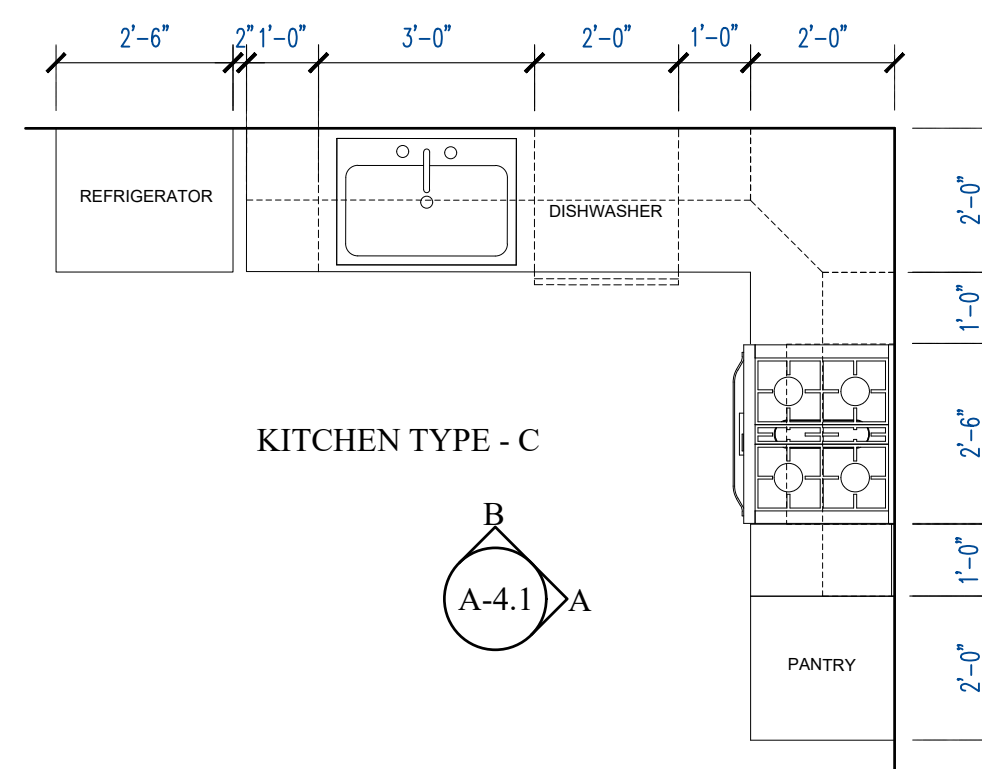
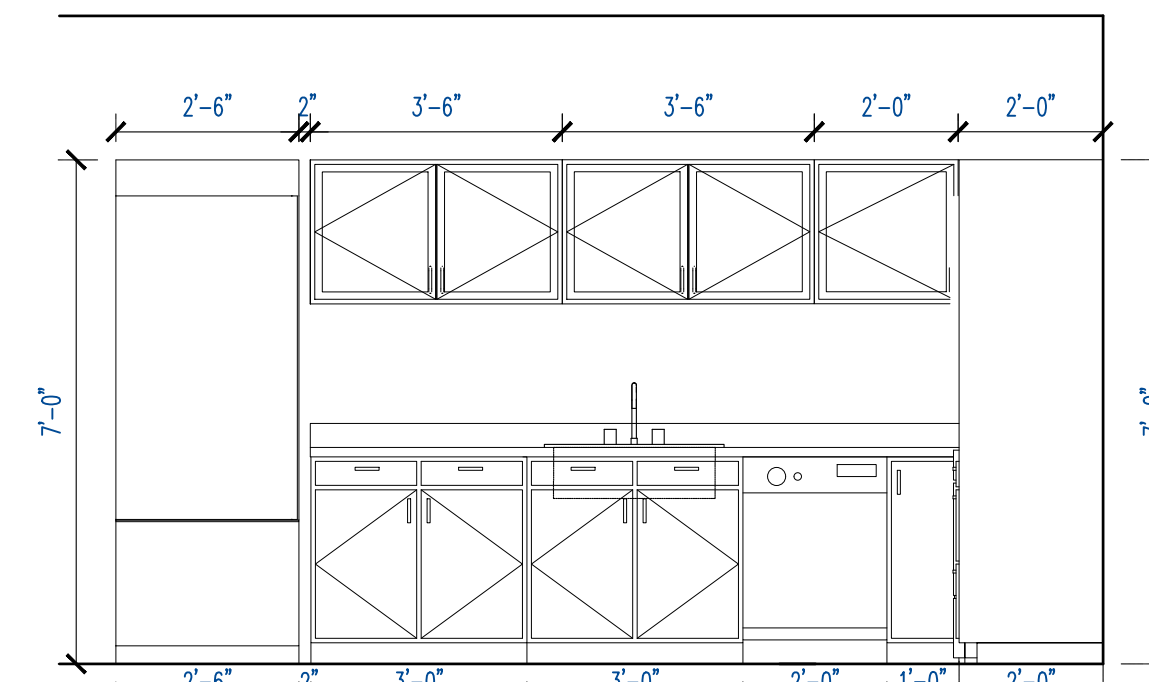
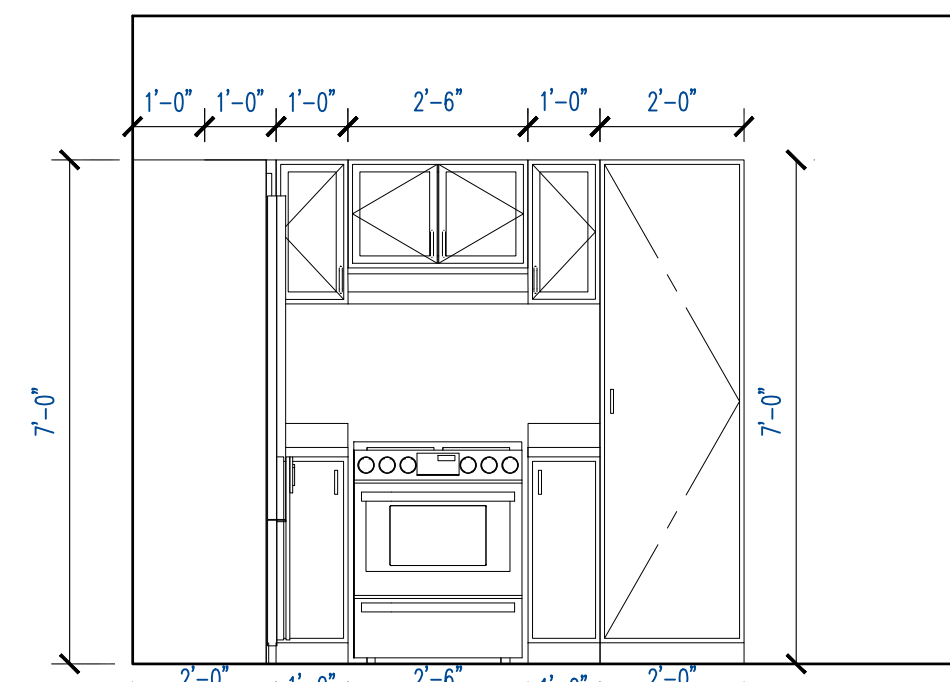
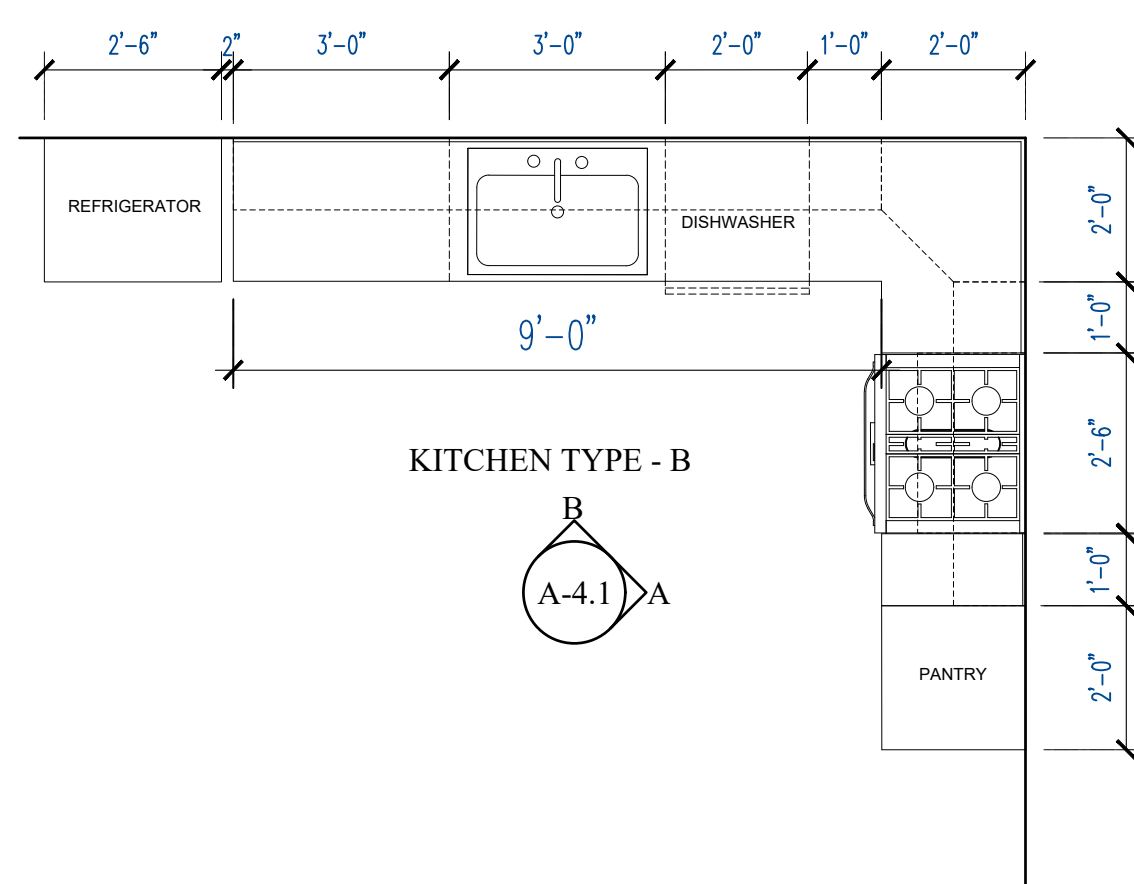
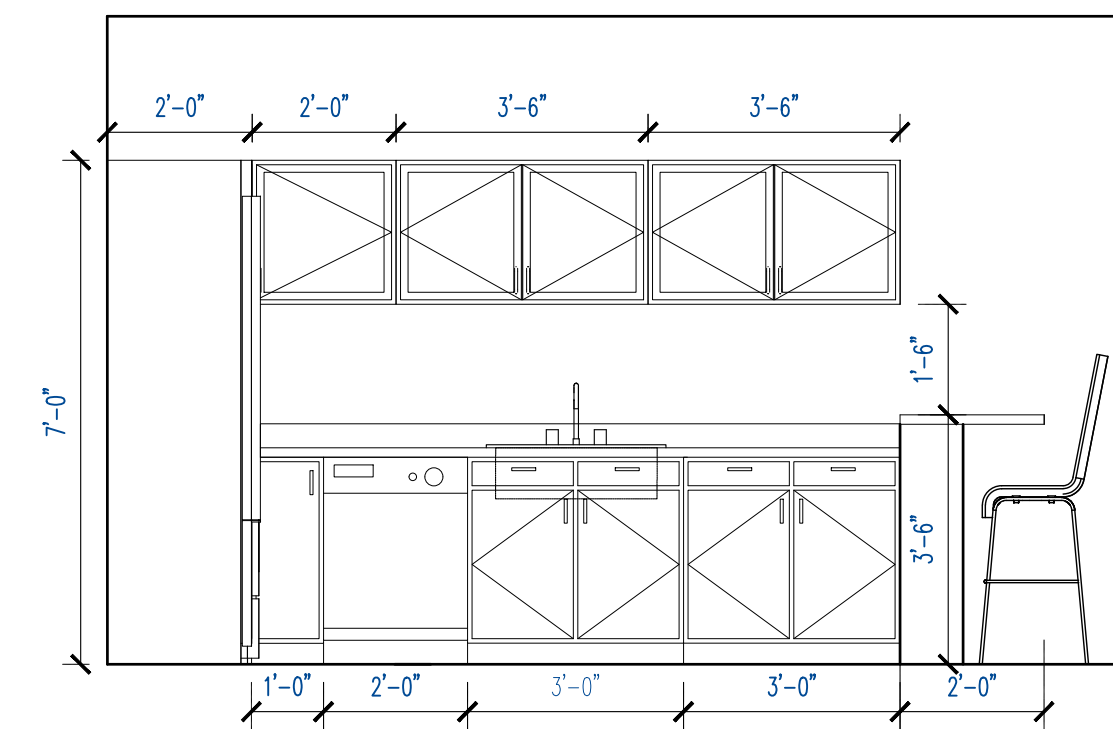
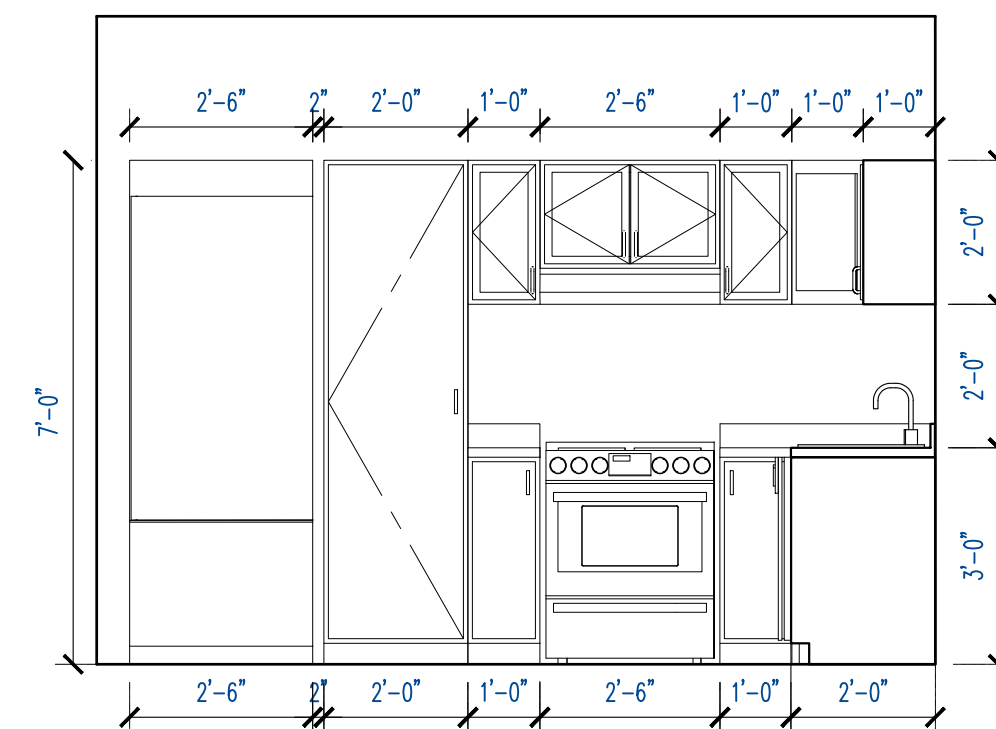
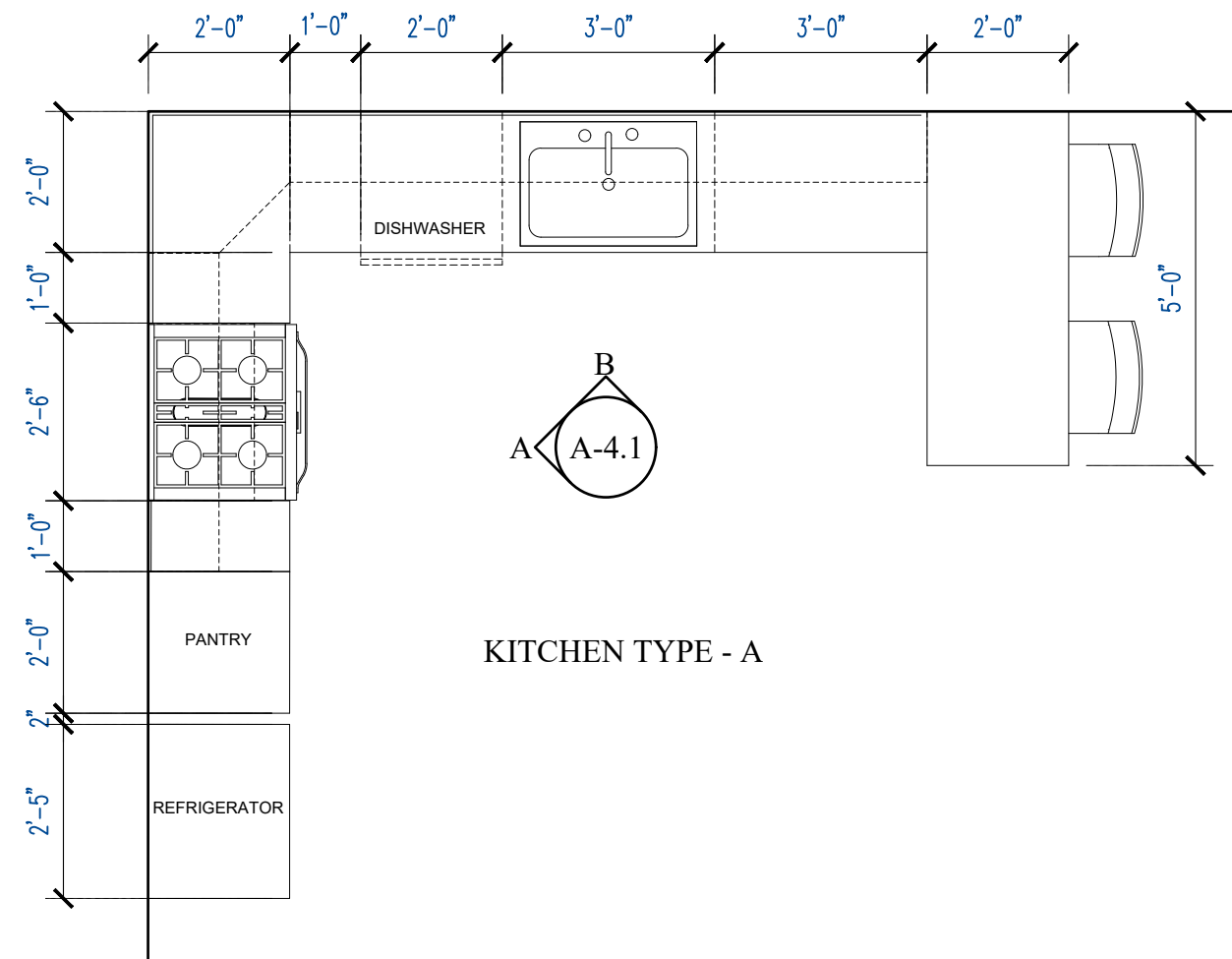
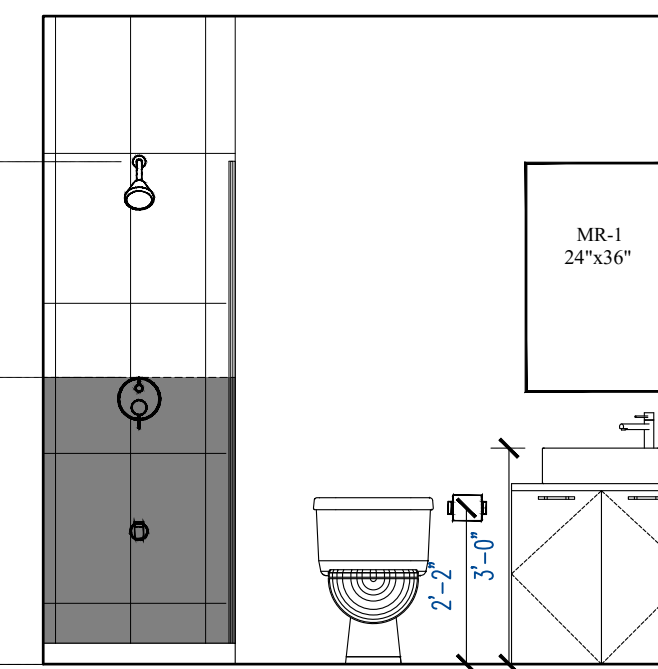
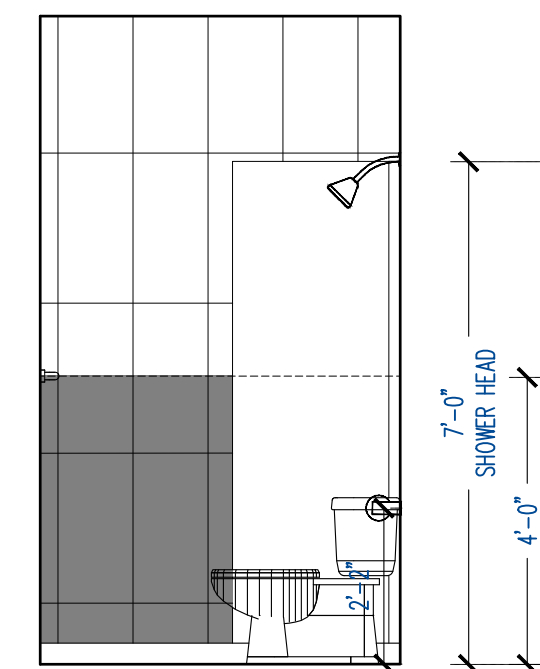
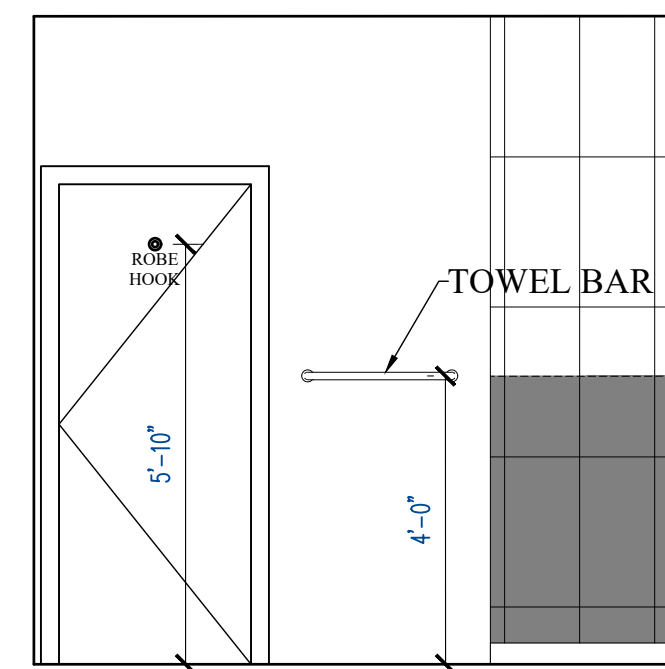
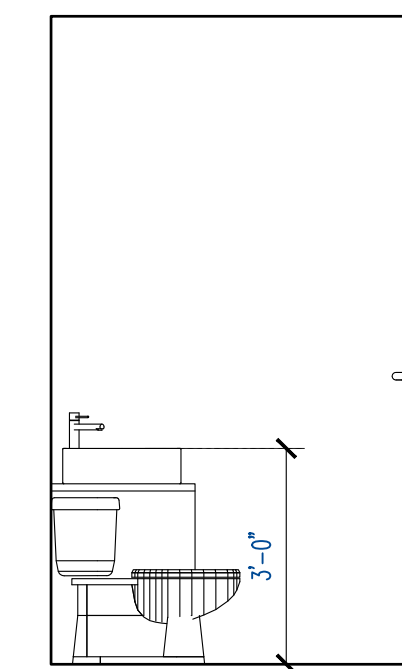
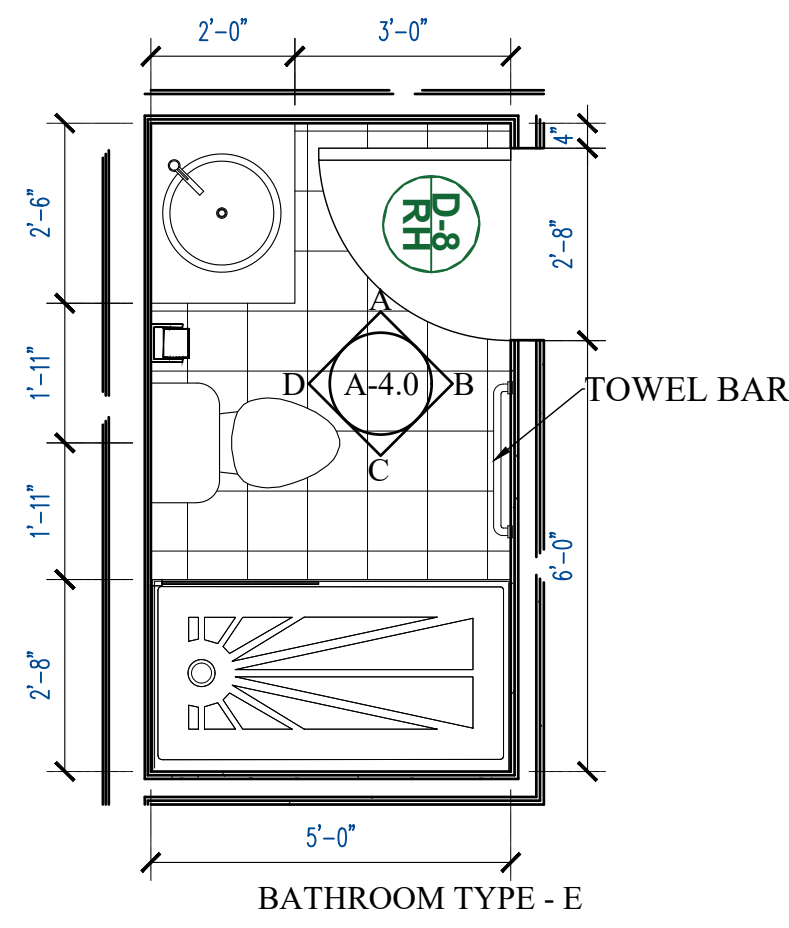
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NOTE:

- 1. GRAY AREA DEPICTS AREA WHERE BLOCKING IS REQUIRED IN WALL FOR FUTURE GRAB BARS. TWO SIDES OF TOILET, THREE SIDES OF SHOWER/TUB. TYP. AT ALL BATHROOMS.
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**NEW CONSTRUCTION
 MIXED USE DWELLING**
 1149-1155 HARRISON AVENUE,
 WARD 08

LAYOUT BY: EBR
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SCALE: AS INDICATED
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**NEW CONSTRUCTION
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WARD 08

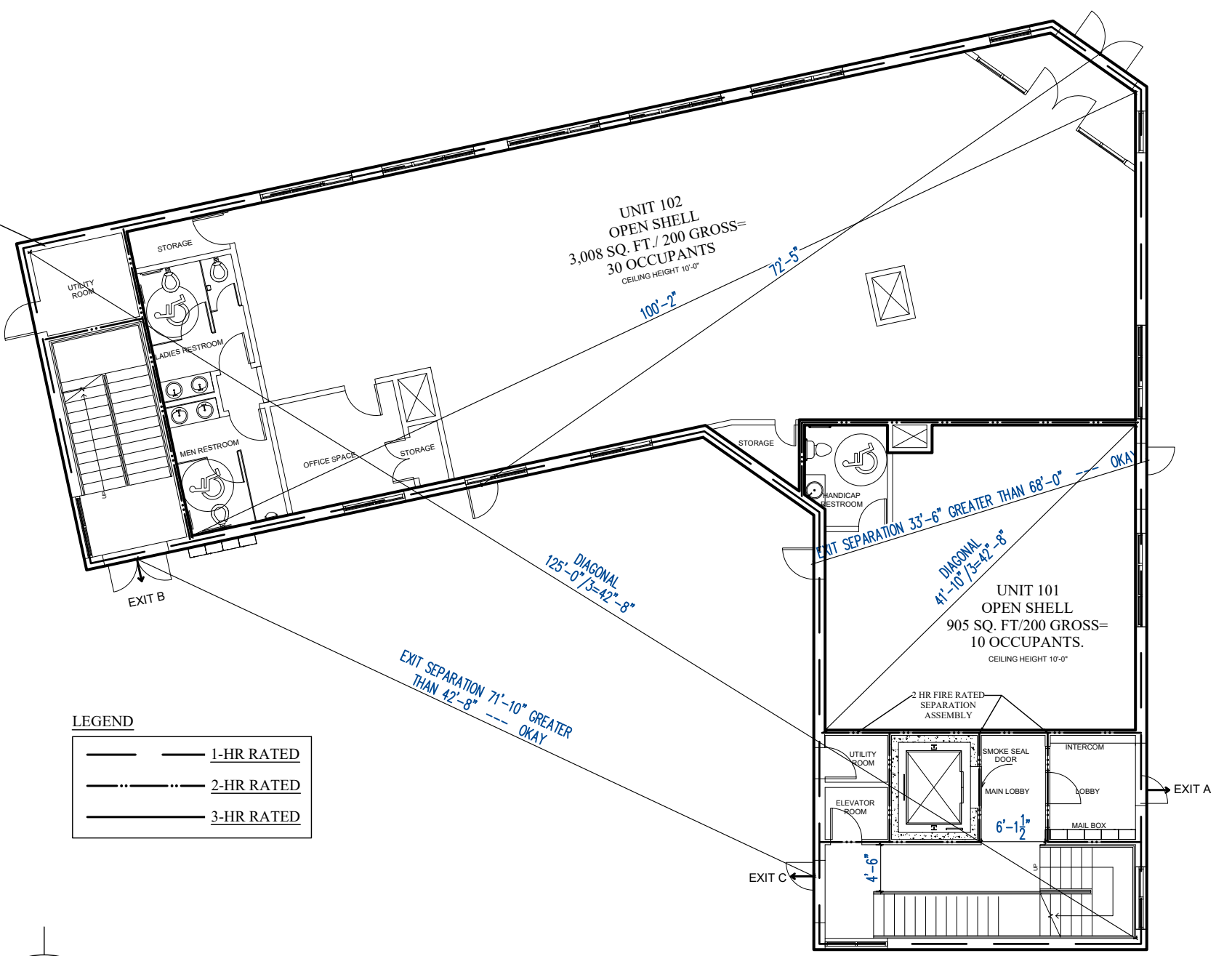
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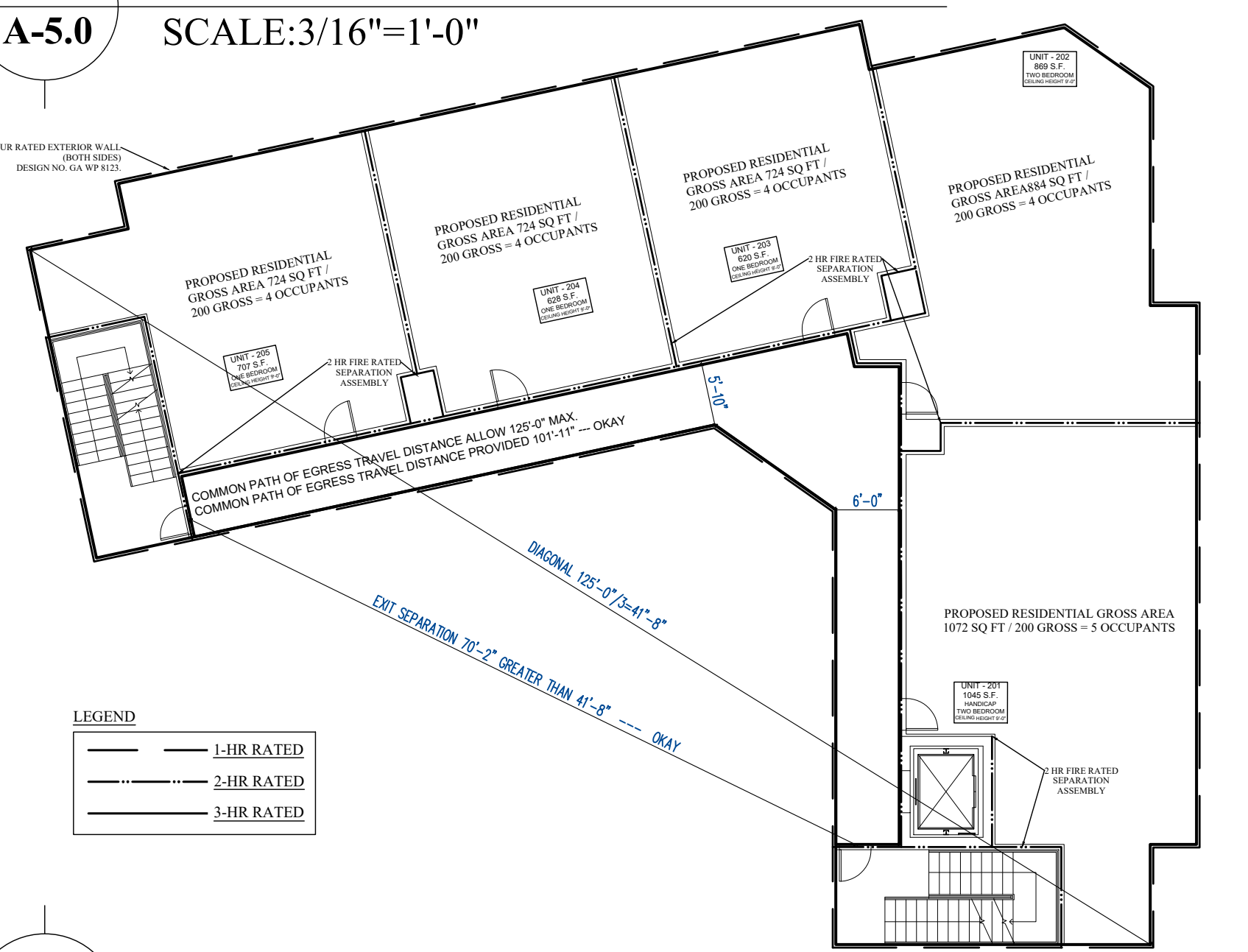
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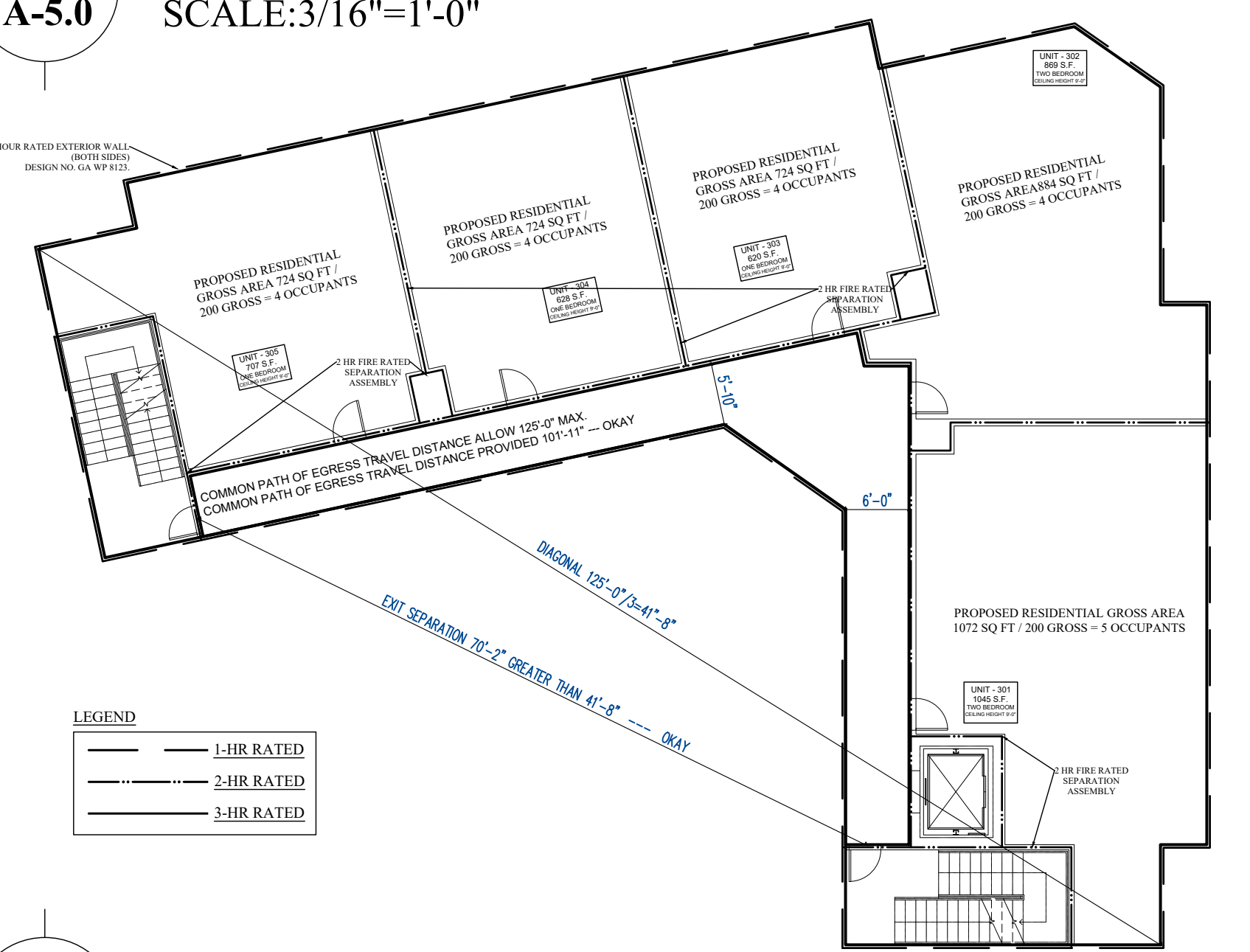
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A-5.0



1 PROPOSED FIRST FLOOR SAFETY PLAN
A-5.0 SCALE: 3/16"=1'-0"



2 PROPOSED SECOND FLOOR SAFETY PLAN
A-5.0 SCALE: 3/16"=1'-0"



3 PROPOSED THIRD FLOOR SAFETY PLAN
A-5.0 SCALE: 3/16"=1'-0"

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE IBC / 2015 REQUIREMENTS AND ITS APPLICABLE REFERENCED STANDARDS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT TO THE ARCHITECT / ENGINEER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL SHORE, BRACE OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES. (MASONRY, STEEL, WOOD, ETC.)
- CONTRACTOR WILL NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.
- ANY DEVIATIONS FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS DESIGNER WOULD MAKE IT NULL AND VOID.
- THIS DESIGNER HAS NO CONTRACT WITH OWNER TO SUPERVISE OR OBSERVE THE CONSTRUCTION OF THIS PROJECT. IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE AND NOT OF THIS DESIGNER
- THIS DESIGNER IS NOT RESPONSIBLE FOR MECHANICAL, PLUMBING, AND ELECTRICAL WORK OR DESIGN, AS WELL AS FIRE ALARM DESIGN.
- LOCATIONS OF ALL UTILITIES MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATING BY THE CONTRACTOR. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- NOTIFY THE DESIGNER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN IMPLIED ON THE DRAWINGS.
- THIS DESIGNER IS NOT RESPONSIBLE FOR ANY HIDDEN STRUCTURAL PROBLEMS.

WORK DESCRIPTIONS

NEW CONSTRUCTION OF MIXED USE THREE (3) STORY BUILDING. THE SCOPE OF WORK INCLUDES TWO (2) COMMERCIAL UNITS AT THE FIRST FLOOR AND TEN (10) RESIDENTIAL DWELLING UNITS THROUGHOUT THE SECOND AND THIRD FLOOR. INCLUDING ELEVATOR, M.E.P., SPRINKLERS AND FIRE ALARM. TWO HOURS FIRE RESISTANCE RATED SEPARATION TO BE EXTENDED TO ALL STAIRS AND FIRE DOOR TO BE NINETY MINUTES.

MEANS OF EGRESS

(NFPA 101 / 2012) CHAPTER 7 & 12
IBC - 2015 SECTIONS 1001

MINIMUM REQUIRED EGRESS WIDTH:
(ACCORDING TO IBC - 2015 SECTION 1005.1) & NFPA 101 / 2012 TABLE 7.3.3.1
THE TOTAL WIDTH OF MEANS OF EGRESS SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS MULTIPLIED BY .2"/PERSON FOR DOORS, CORRIDORS & .3"/PERSON FOR STAIRS
(SEE LIFE SAFETY PLANS)

NUMBER OF EXITS:
(BASED ON IBC - 2015 TABLE 1006.3.1)
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD
PERSONS PER STORY 1 - 500 = 2 EXITS
OCCUPANT LOAD LESS THAN 500 = 2 EXITS REQUIRED
2 SEPARATE EXISTS LOCATIONS PROVIDED

EXIT SEPARATION DISTANCE:
(ACCORDING TO IBC - 2015 SECTION 1007)
WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM EXIT DOORS OR EXIT ACCESS DOORWAY MIN. SEPARATION DISTANCE SHALL NOT BE LESS THAN 1/3 OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED PROPOSED DOORWAY CONFIGURATION --- OK (SEE SAFETY PLAN)

EXIT ACCESS TRAVEL DISTANCE:
(BASED ON IBC - 2015 TABLE 1017.2)
ASSUMED OCCUPANCY (B) WITH SPRINKLER SYSTEM = 300'
OCCUPANCY (R) WITH SPRINKLER SYSTEM = 250'
PROPOSED BUILDING --- OK (SEE SAFETY PLAN)

EXIT ENCLOSURES:
(ACCORDING TO IBC - 2015 SECTION 1023)
2 HOURS FIRE RESISTANCE RATING WHERE CONNECTING FOUR STORIES OR MORE AND 1 HOUR WHEN CONNECTING LESS THAN FOUR STORIES INCLUDING ANY BASEMENT.

CODE ANALYSIS

USE AND OCCUPANCY CLASSIFICATION
IBC - 2015 SECTION 310 & 312
PROPOSED USE: COMMERCIAL TO BE DETERMINED, AND RESIDENTIAL APARTMENTS.

REFERENCED CODE
INTERNATIONAL BUILDING CODE - 2015
NFPA 101 / 2012

TYPE OF CONSTRUCTION
IBC - 2015 SECTION 601
(III-B) EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIAL AND INTERIOR BUILDING ELEMENTS ARE OF ANY MATERIALS PERMITTED BY THIS CODE.

USE SEPARATION & FIRE PROTECTION ASSEMBLY
IBC - 2015 SECTIONS 508, TABLE 716.5, TABLE 1020.1, & 1023
ASSUMED USES (A) OR (B) (R) = 1-HOUR WHEN BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
CORRIDOR FIRE RESISTANCE RATING 0.5 HOUR & DOORS 20 MINUTES WHEN BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
INTERIOR EXIT STAIRWAY ENCLOSURES SHALL BE 2- HOURS WHEN CONNECTING 4- STORY OR MORE INCLUDING BASEMENT.

FIRE PROTECTION SYSTEMS
IBC - 2015 SECTIONS 903 & 906-907
PROPOSED BUILDING WILL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
PROPOSED BUILDING WILL BE EQUIPPED THROUGHOUT WITH AN APPROVED FIRE ALARM DETECTION SYSTEM.

HANDICAP ACCESSIBILITY
IBC - 2015 CHAPTER 1104
- ONE ACCESSIBLE ROUT WILL BE PROVIDED FROM ACCESSIBLE PARKING TO ACCESSIBLE BUILDING ENTRANCES & ACCESSIBLE UNITS
- ACCESSIBLE PARKING SPACE REQUIRED TABLE IBC 1106.1 ONE --- TWO ACCESSIBLE PARKING SPACES PROVIDED
- ACCESSIBLE DWELLING UNITS REQUIRED IBC - 1107.6.2.2.1 (TYPE A UNITS) IN GROUP R-2 OCCUPANCY MORE THAN 20 DWELLING UNITS, AT LEAST 2% BUT NOT LESS THAN ONE --- TOTAL RESIDENTIAL 10 --- 2% = 2 = 1 --- ONE TYPE A UNIT WILL BE PROVIDED
- IBC - 1107.6.2.3.2 (TYPE B UNITS) WHERE THERE ARE FOUR OR MORE UNITS, EVERY UNIT SHALL BE TYPE B UNIT --- ALL UNITS TO BE DESIGNED AS TYPE B UNITS.
- PROPOSED BUILDING WILL BE PROVIDED WITH AN ELEVATOR.

PLUMBING FIXTURES
IBC - 2015 TABLE 2902.1

	WATER CLOSET	REQ. PROV. MALE / FEMALE		LAVATORIES	REQ. PROV. MALE / FEMALE	
		MALE	FEMALE		MALE	FEMALE
COMMERCIAL SPACES ASSUMED OCCUPANCY (B)						
BARBER SHOP AND LAUNDROMAT 3.913 SF/100 (40 OCCUPANTS)	1/25	1/25		2	2	140
					2	2

PROPOSED FIRST FLOOR COMMERCIAL SPACE TO BE DETERMINED
OCCUPANT LOAD = 40 OCCUPANTS

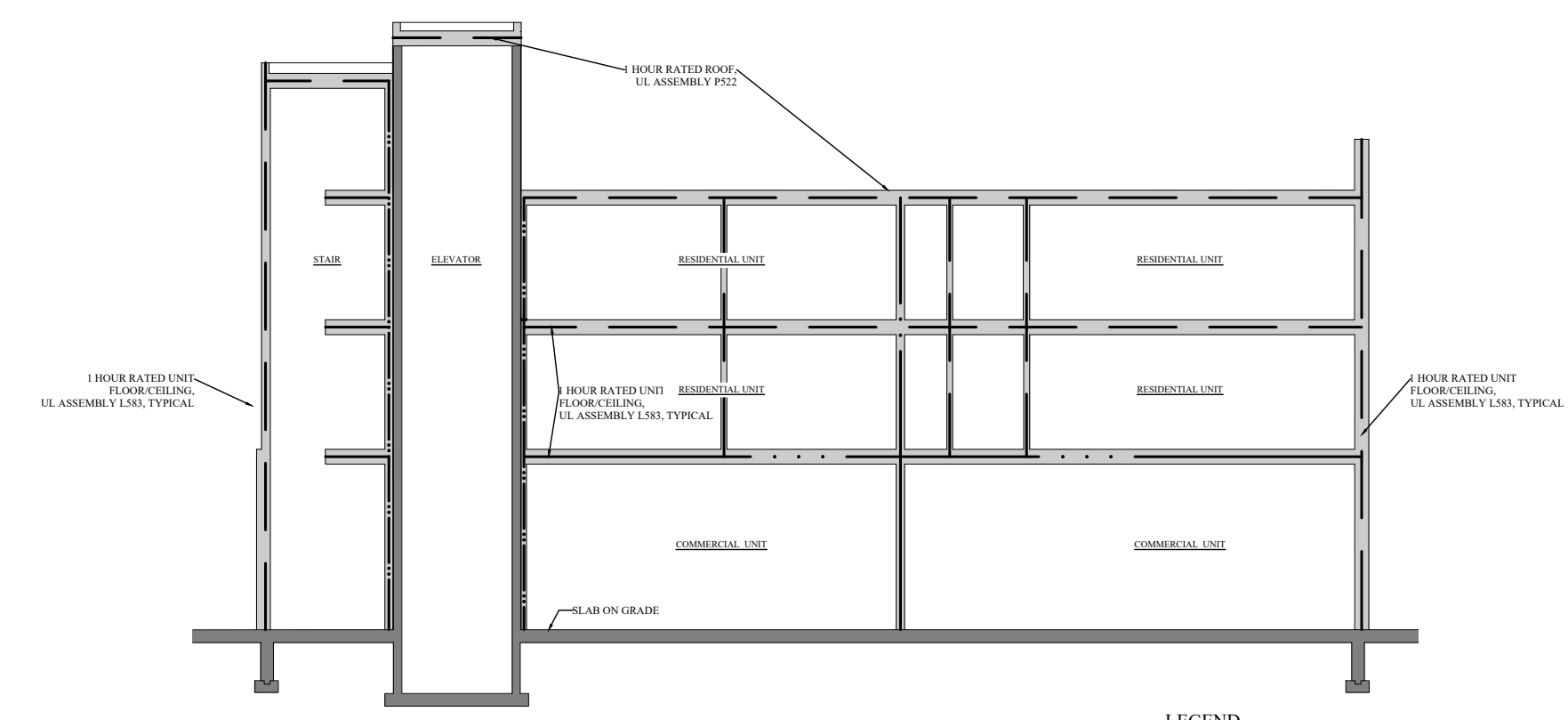
EGRESS WIDTH REQUIREMENTS		
MIN. WIDTH REQUIREMENTS	WIDTH BASED ON OCC. LOAD	WIDTH PROVIDED
STAIRS 36" (1011.2)	0.3' X 40 OCC = 12" (1005.3.1)	48" EQUAL OR GREATER THAN 36"
DOORS 32" (1010.1.1)	0.2' X 40 OCC = 8" / 2 = 4" (1005.3.2)	36" EQUAL OR GREATER THAN 32"
CORRIDORS 36" (1020.1.2)	0.2' X 40 OCC = 8" (1005.3.2)	54" EQUAL OR GREATER THAN 36"

PROPOSED SECOND FLOOR RESIDENTIAL TOTAL OCCUPANT LOAD = 21 OCCUPANTS

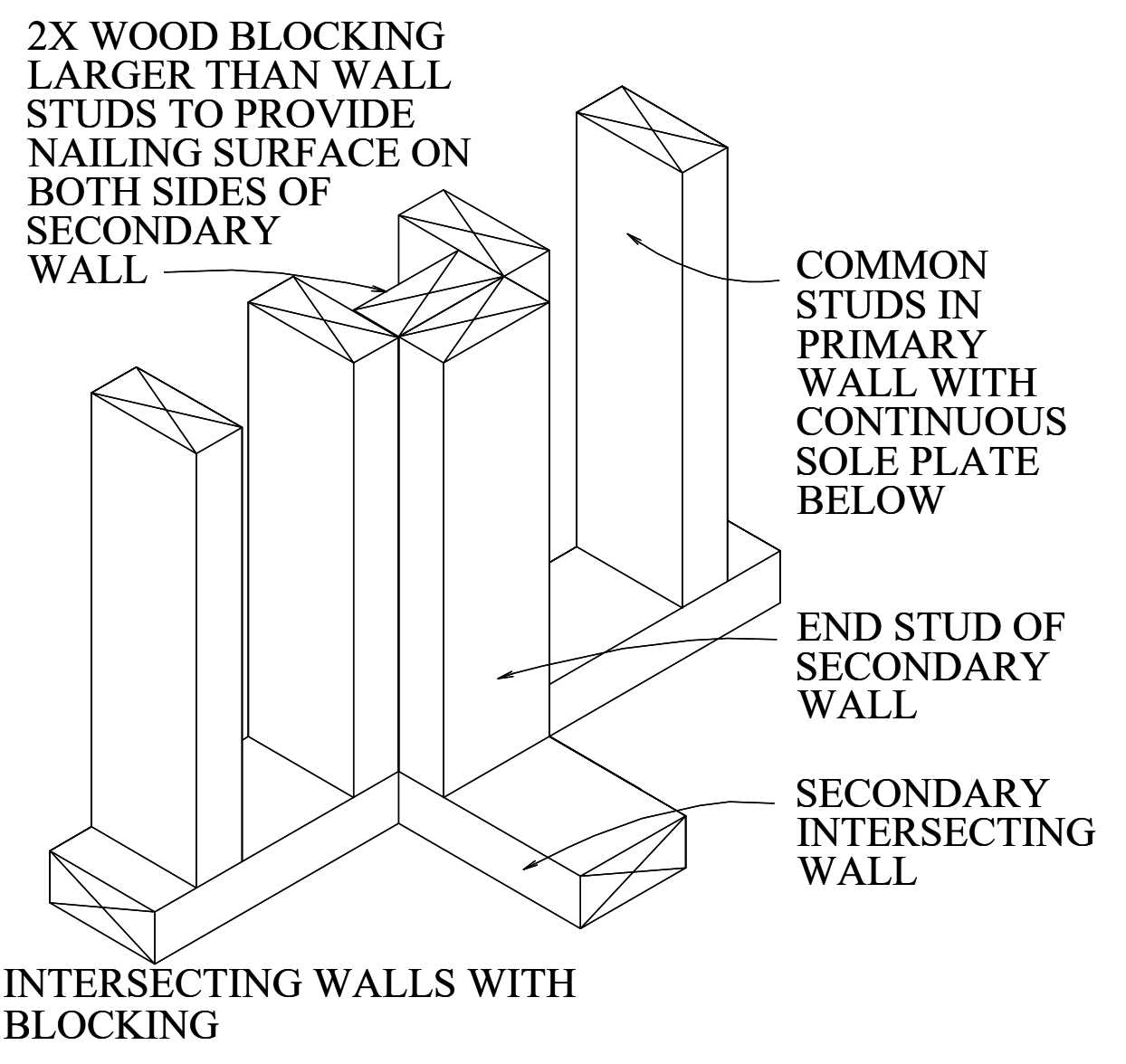
EGRESS WIDTH REQUIREMENTS		
MIN. WIDTH REQUIREMENTS	WIDTH BASED ON OCC. LOAD	WIDTH PROVIDED
STAIRS 36" (1011.2)	0.3' X 21 OCC = 6.3 / 2 = 3.15" (1005.3.1)	48" EQUAL OR GREATER THAN 36"
DOORS 36" (1010.1.1)	0.2' X 21 OCC = 4.2' / 2 = 2.1" (1005.3.2)	32" EQUAL OR GREATER THAN 32"
CORRIDORS 36" (1020.1.2)	0.2' X 21 OCC = 4.1" (1005.3.2)	72" EQUAL OR GREATER THAN 36"

PROPOSED THIRD FLOOR RESIDENTIAL TOTAL OCCUPANT LOAD = 21 OCCUPANTS

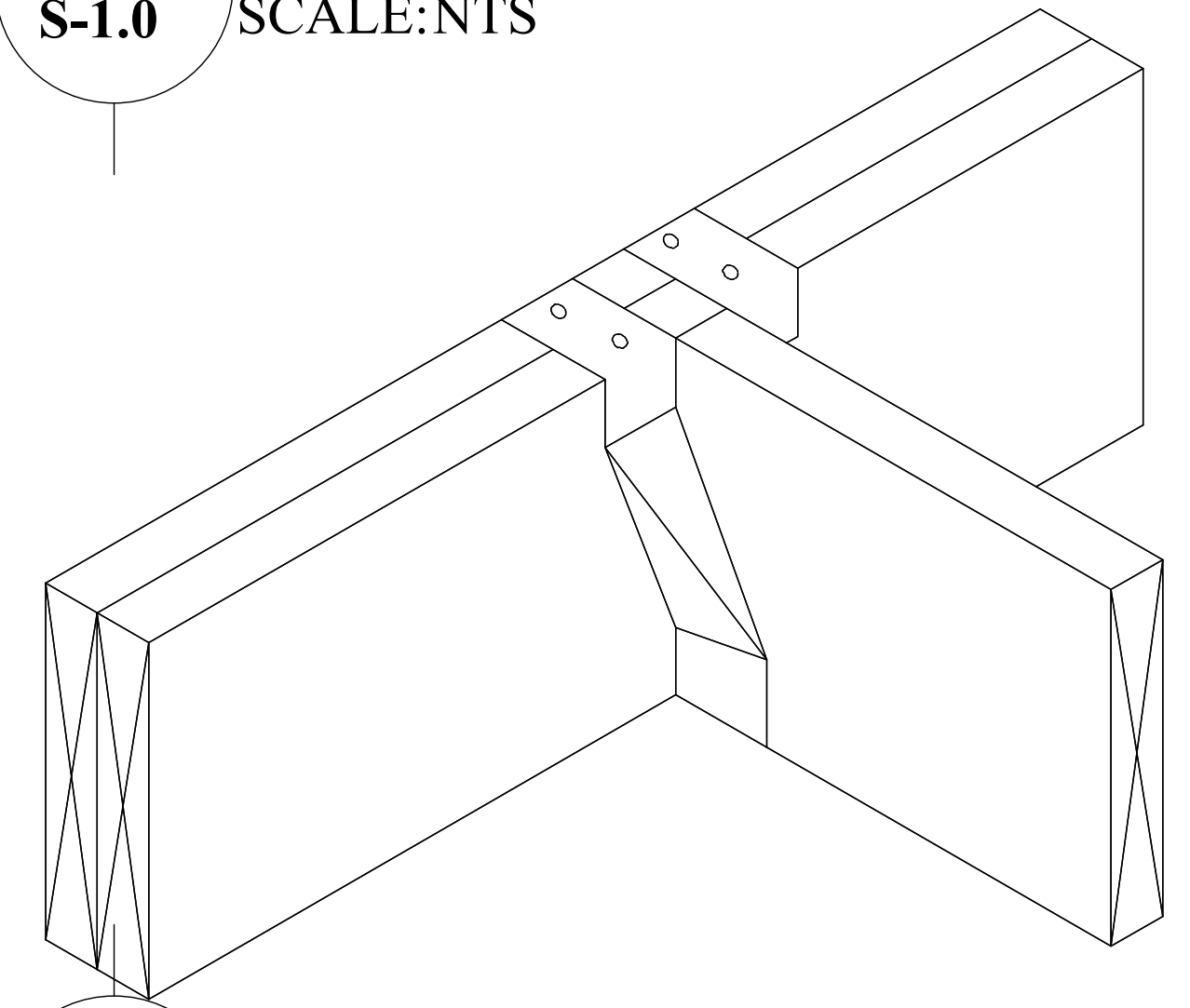
EGRESS WIDTH REQUIREMENTS		
MIN. WIDTH REQUIREMENTS	WIDTH BASED ON OCC. LOAD	WIDTH PROVIDED
STAIRS 36" (1011.2)	0.3' X 21 OCC = 6.3 / 2 = 3.15" (1005.3.1)	48" EQUAL OR GREATER THAN 36"
DOORS 36" (1010.1.1)	0.2' X 21 OCC = 4.2' / 2 = 2.1" (1005.3.2)	32" EQUAL OR GREATER THAN 32"
CORRIDORS 36" (1020.1.2)	0.2' X 21 OCC = 4.1" (1005.3.2)	72" EQUAL OR GREATER THAN 36"



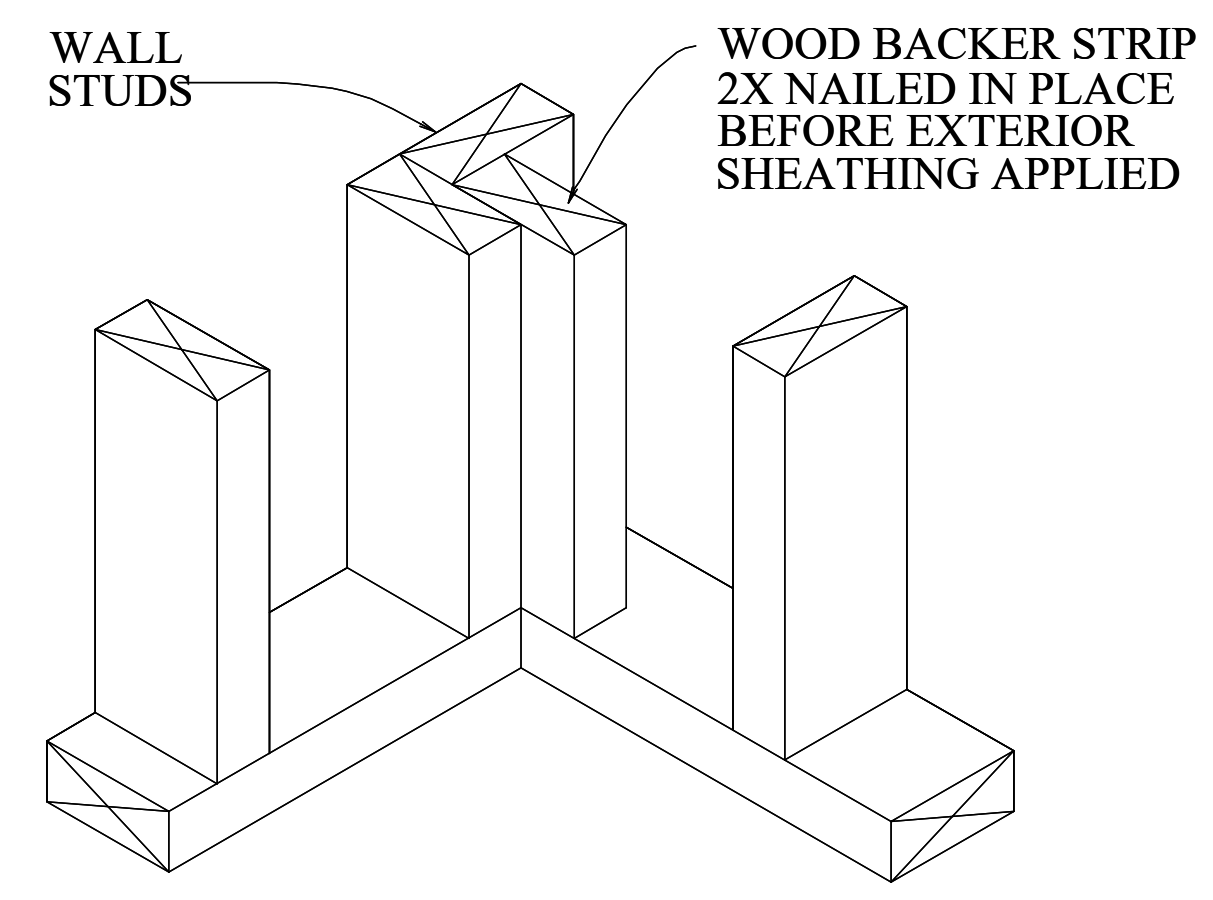
4 BUILDING SECTION FIRE RATING DIAGRAM
A-5.0 SCALE: 3/16"=1'-0"



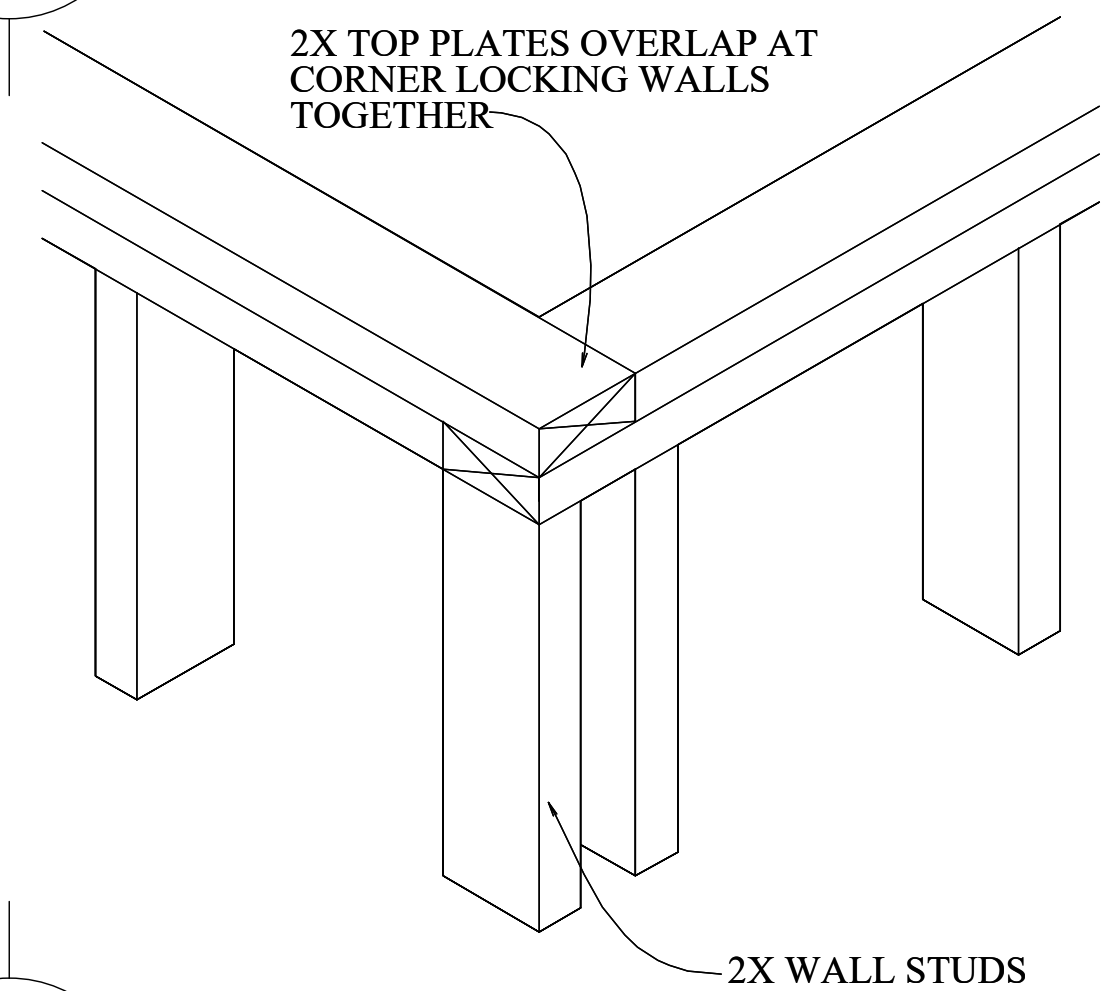
1 **INSULATED WALL DETAILS**
S-1.0 SCALE:NTS



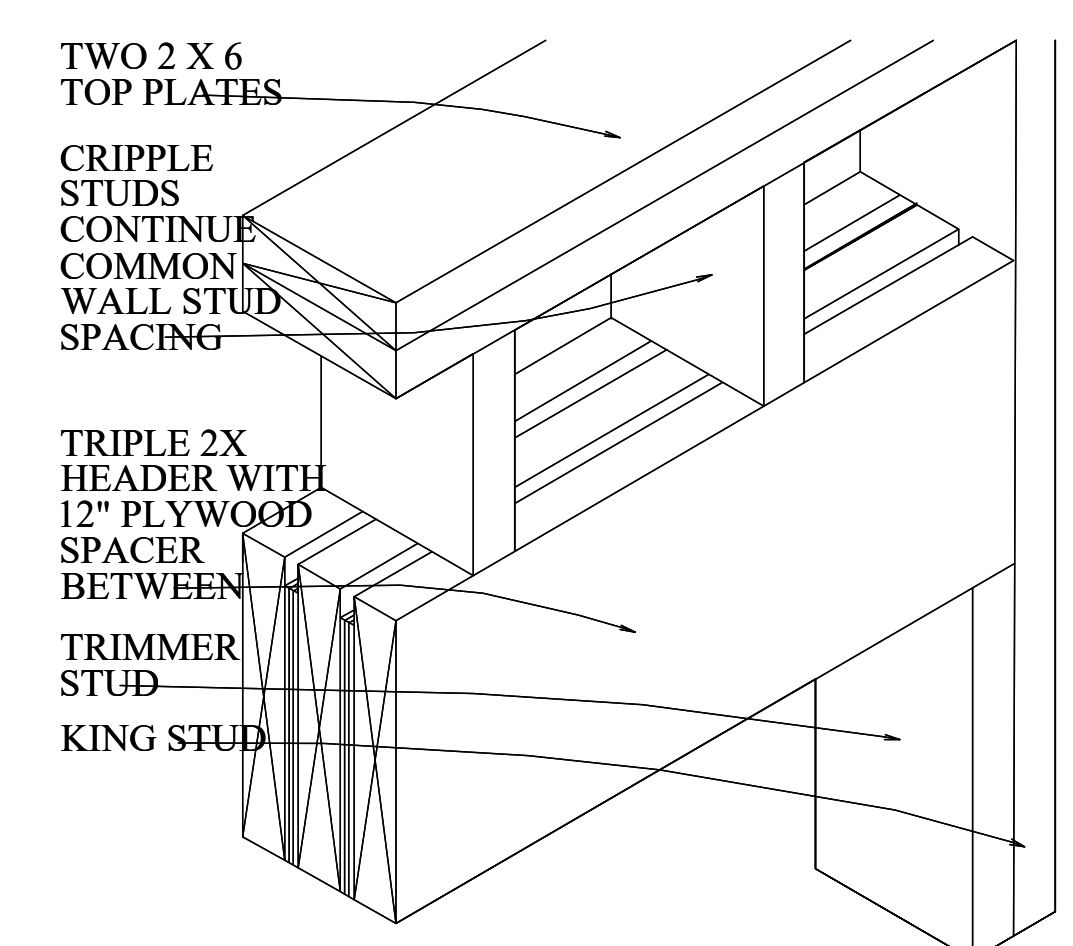
4 **JOIST SUPPORTED ON WOOD GIRDERS**
S-1.0 SCALE:NTS



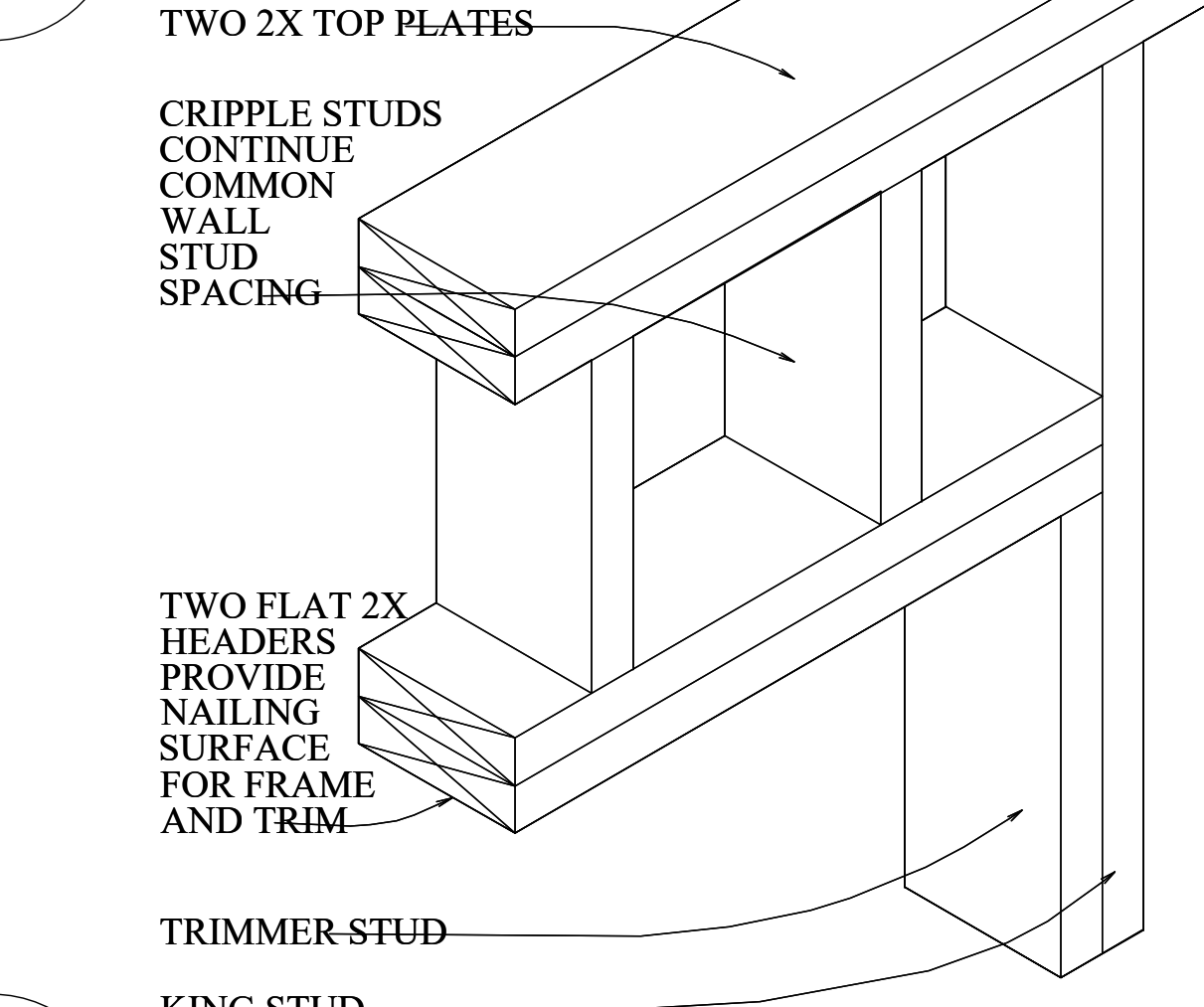
2 **INSULATED WALL DETAILS**
S-1.0 SCALE:NTS



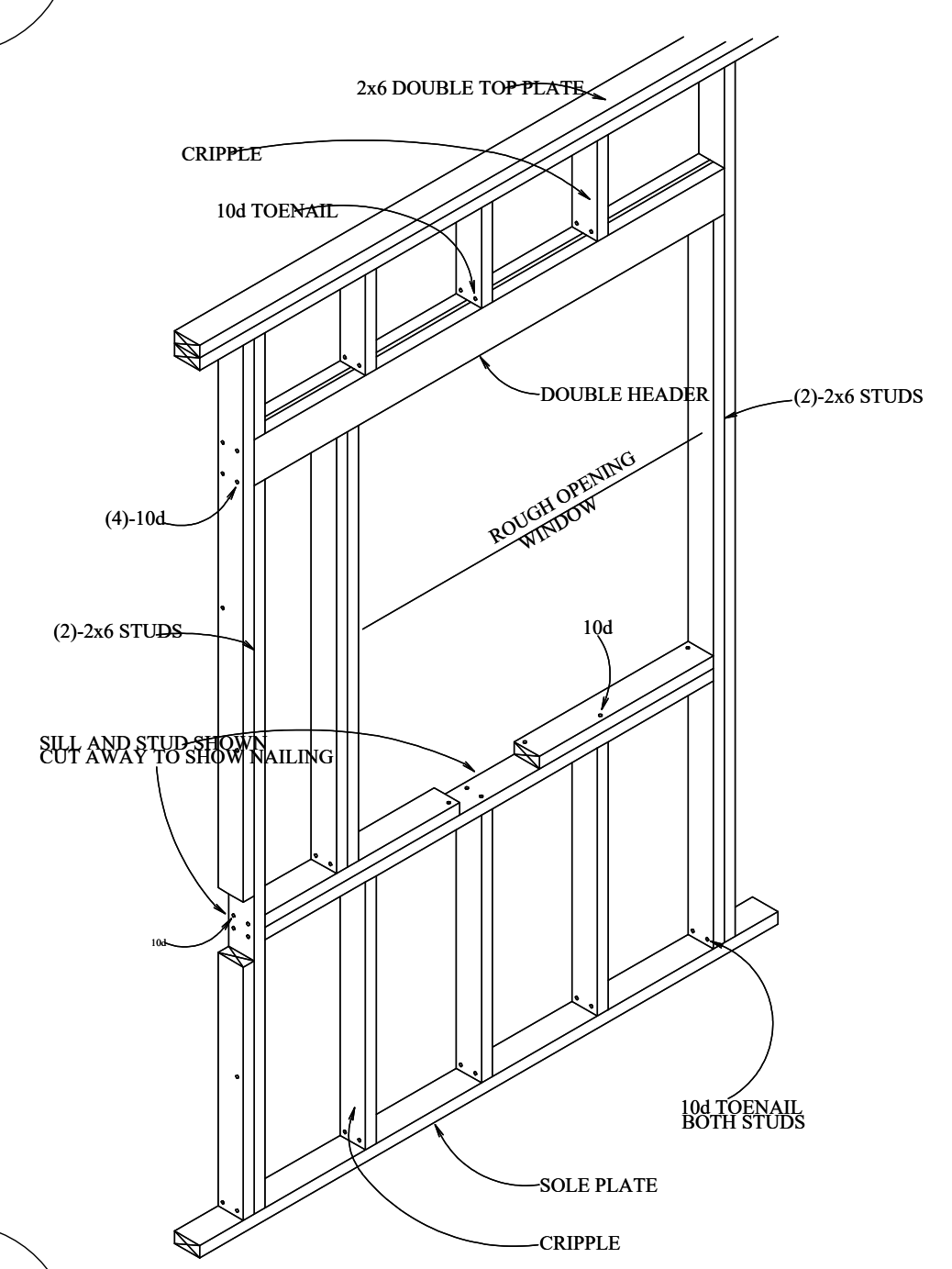
5 **TOP PLATE FRAMING DETAIL**
S-1.0 SCALE:NTS



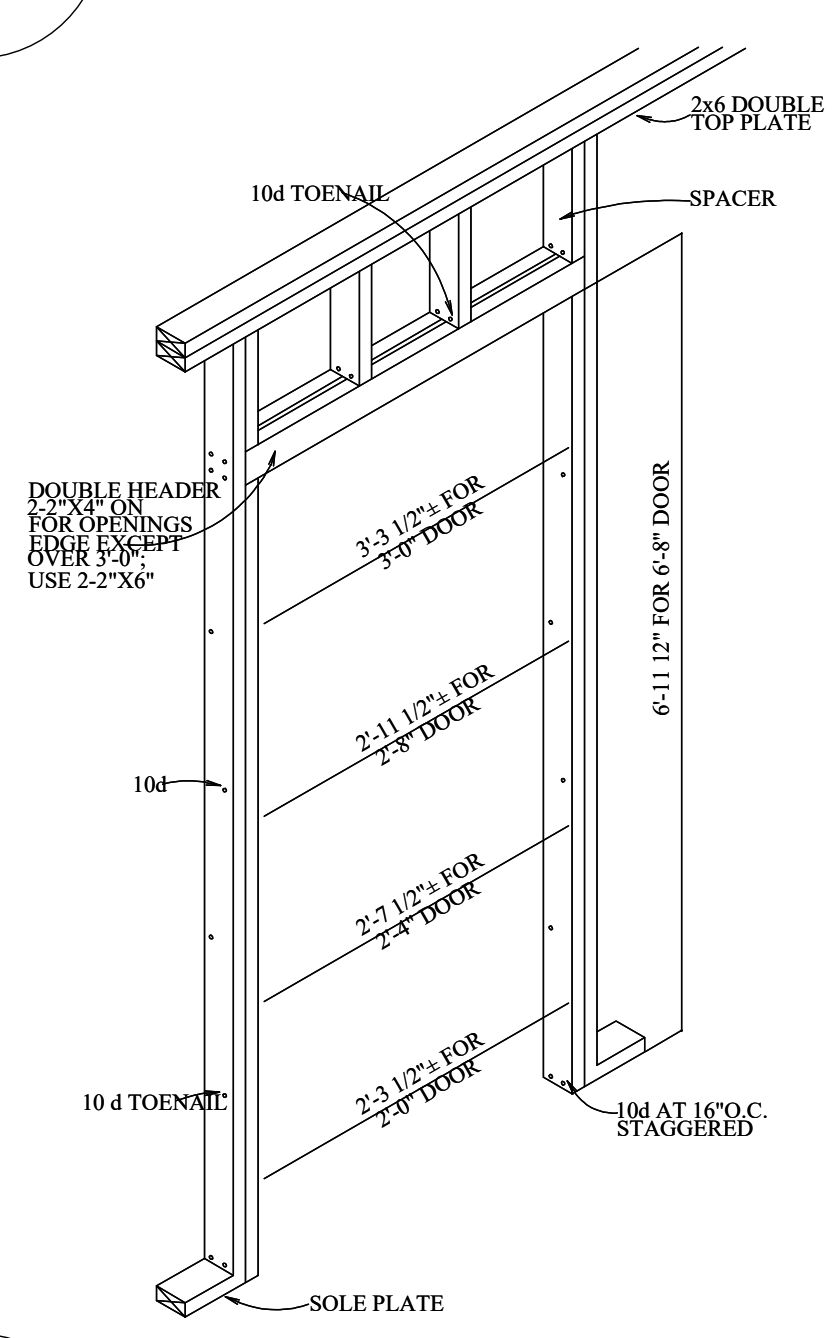
3 **2x6 BEARING WALL HEADER DETAIL**
S-1.0 SCALE:NTS



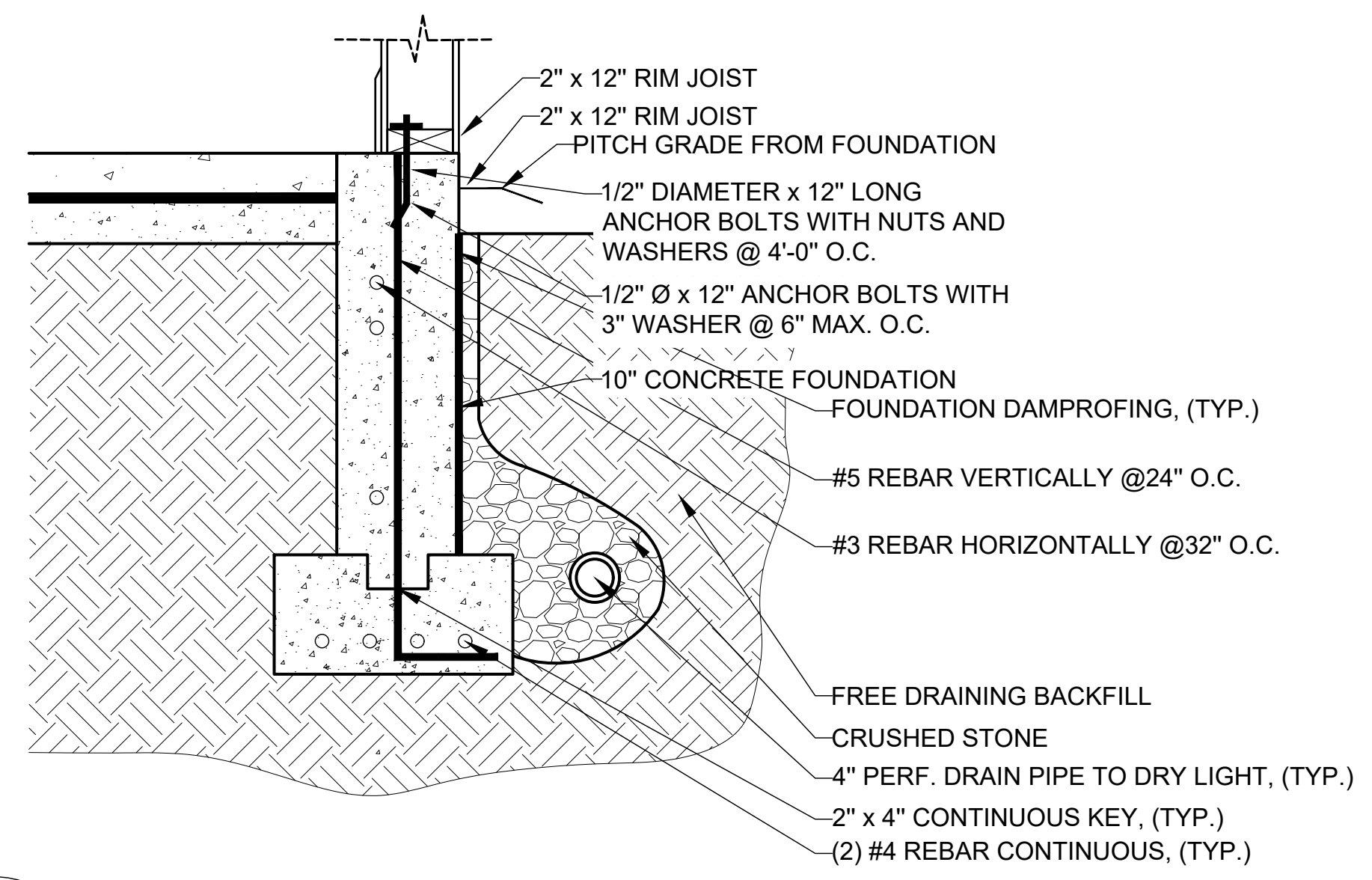
6 **2X PARTITION WALL HEADER DETAIL**
S-1.0 SCALE:NTS



7 **WINDOW OPENING DETAIL**
S-1.0 SCALE:NTS



8 **DOOR OPENING DETAIL**
S-1.0 SCALE:NTS



9 **FOUNDATION SECTION DETAIL**
S-1.0 SCALE:NTS

LAYOUT BY: EBR
DRAWN: ASG
CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/05/2022
PROJECT NO.:
REVISIONS: NOTES: DATE:

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DRAWING TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
S-1.0



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NEW CONSTRUCTION MIXED USE
DWELLING: 1 COMMERCIAL / 2
DWELLING UNITS

16 ARCH ST, BROCKTON MA 02301

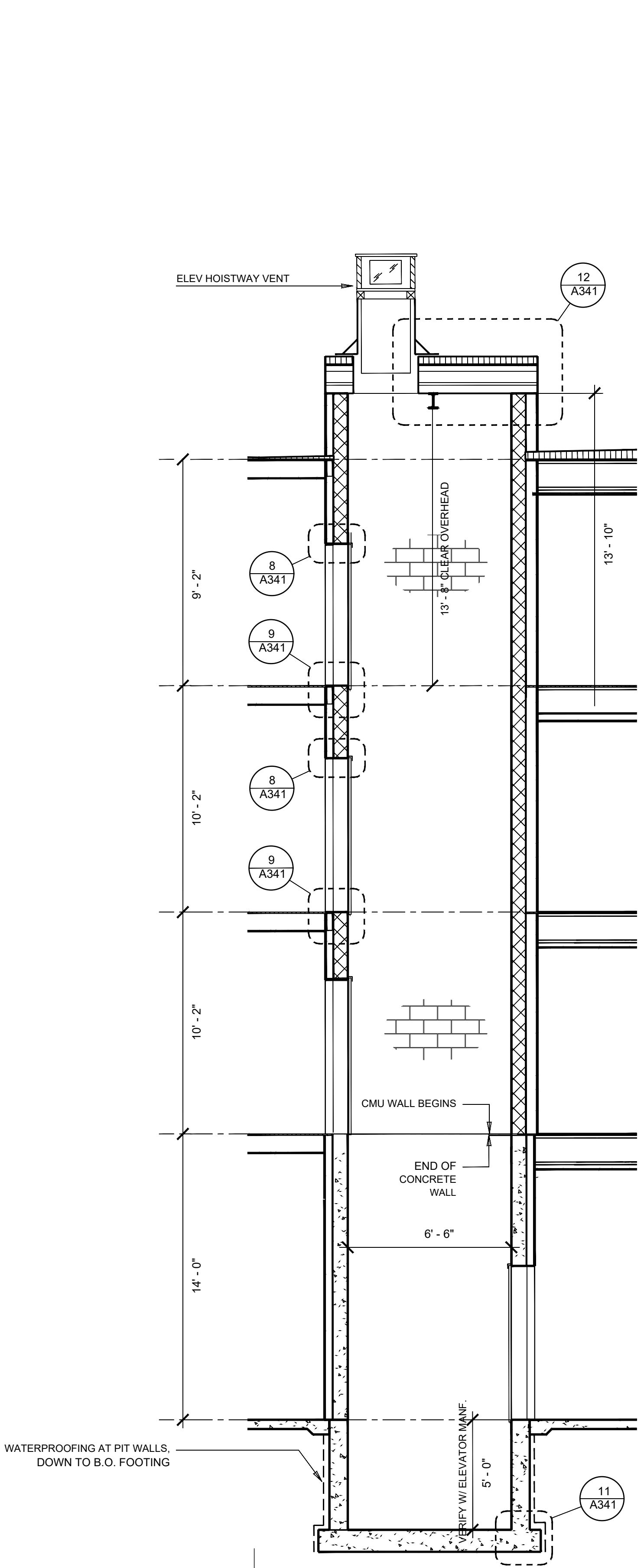
LAYOUT BY: EBR
DRAWN: ASG
CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/05/2022
PROJECT NO.:
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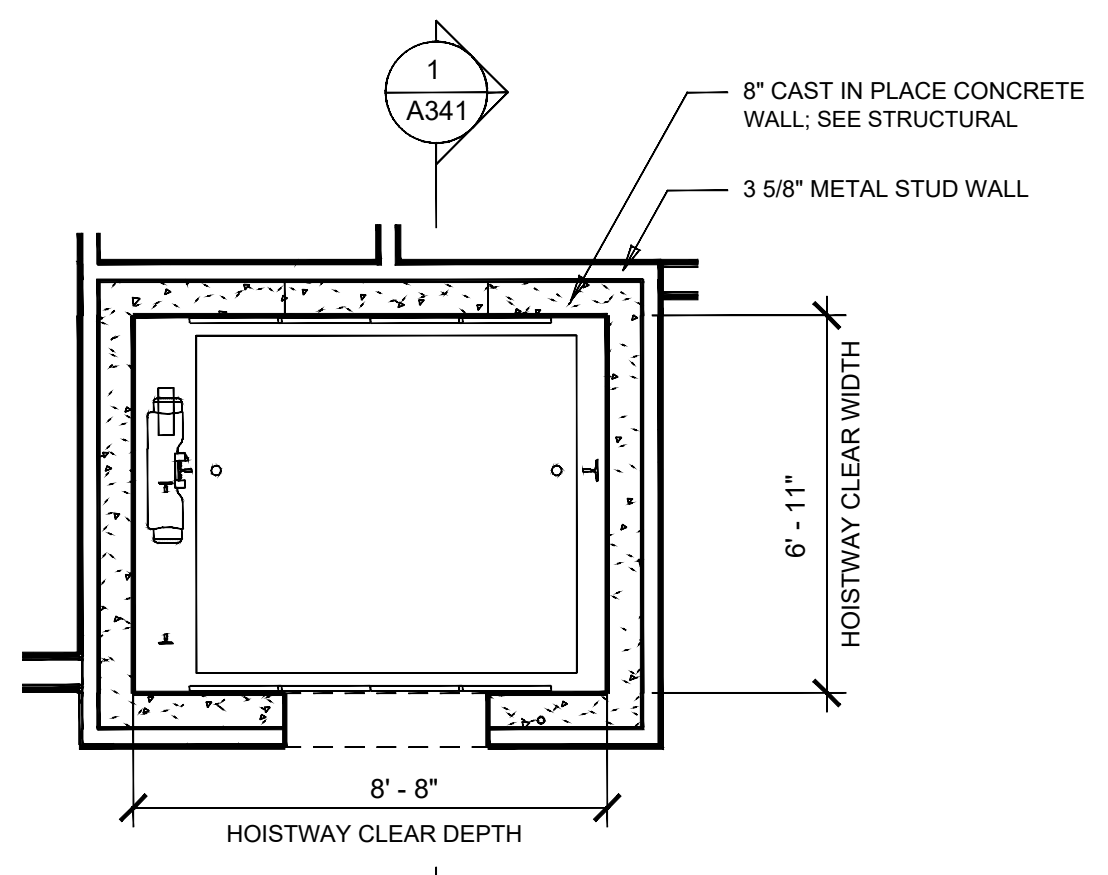
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DETAILS**

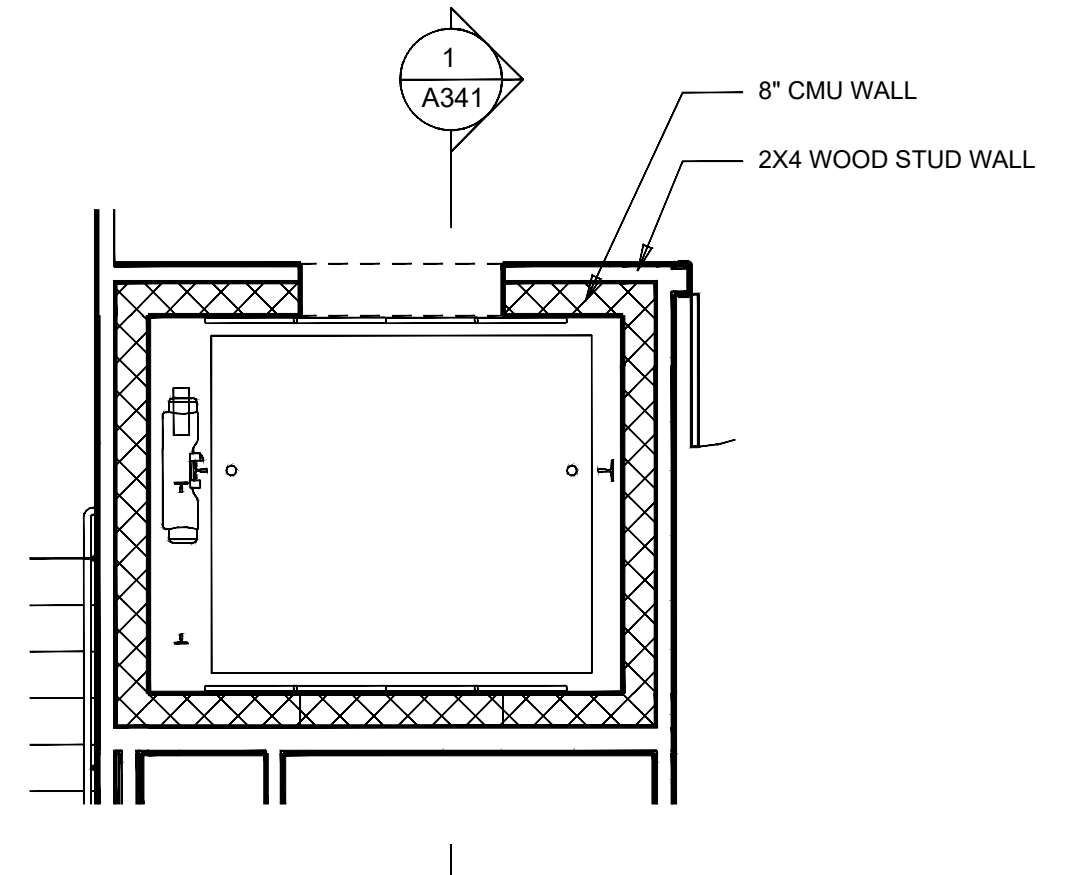
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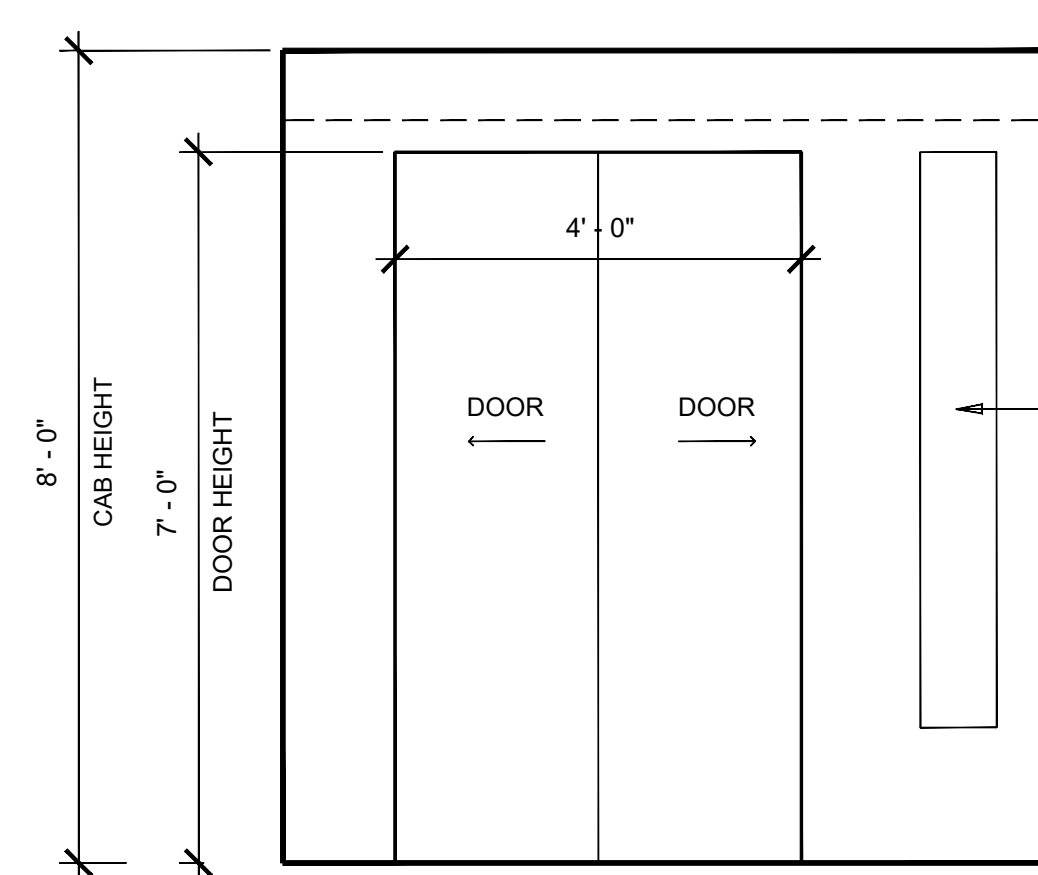
1
S-1.1
ELEVATOR SECTION
SCALE: NTS



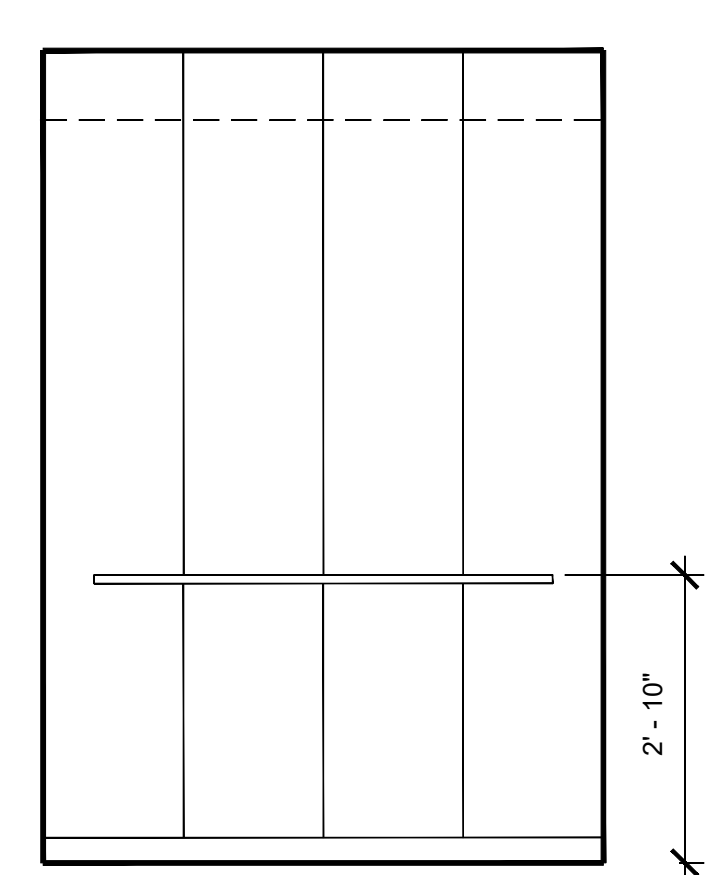
2
S-1.1
**ENLARGED ELEVATOR
PLAN - FIRST FLOOR**
SCALE: NTS



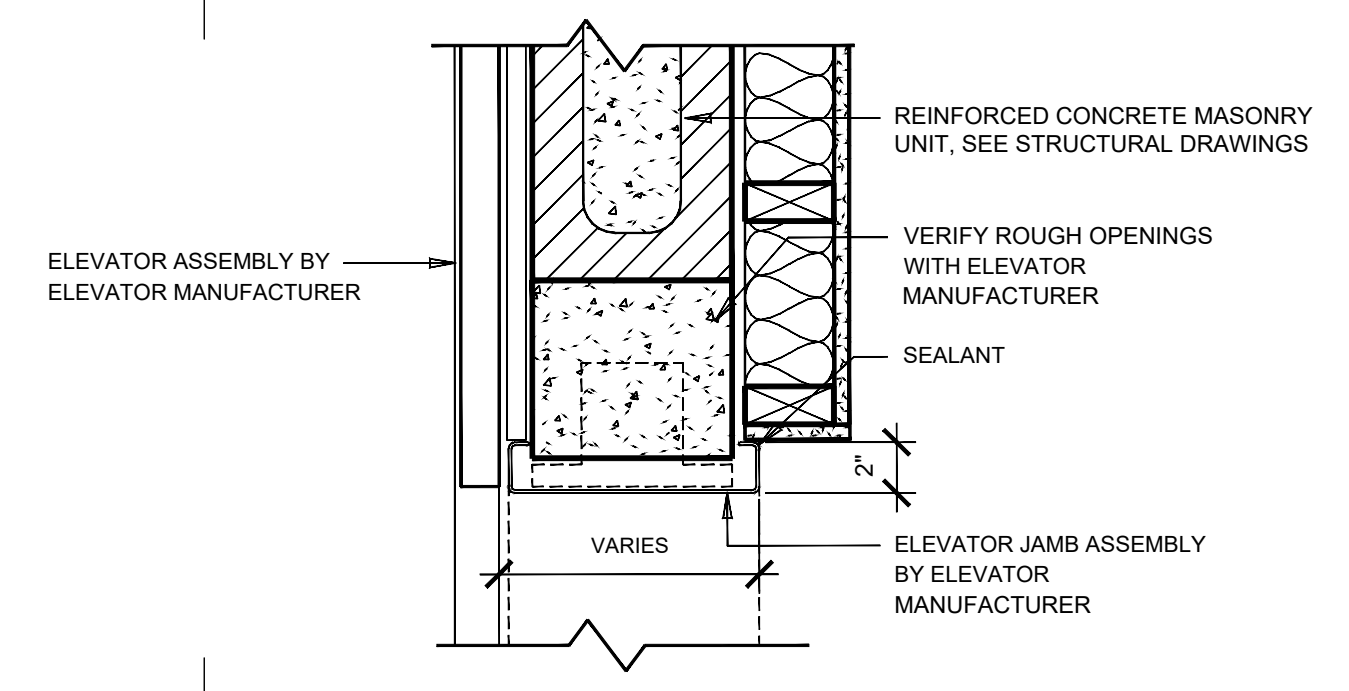
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S-1.1
**ENLARGED ELEVATOR
PLAN - UPPER FLOORS**
SCALE: NTS



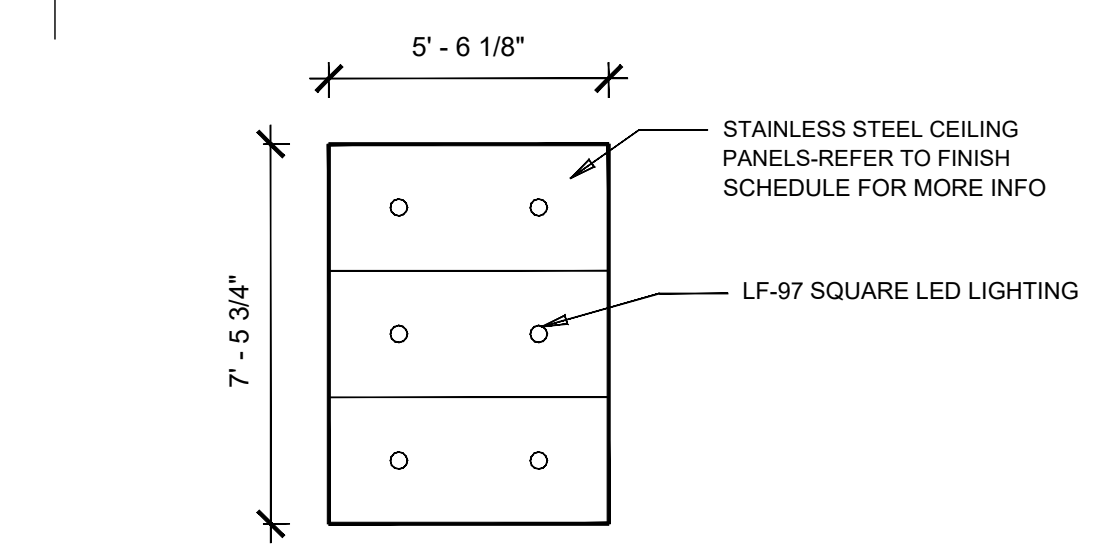
4
S-1.1
**ENLARGED ELEVATOR
PLAN - UPPER FLOORS**
SCALE: NTS



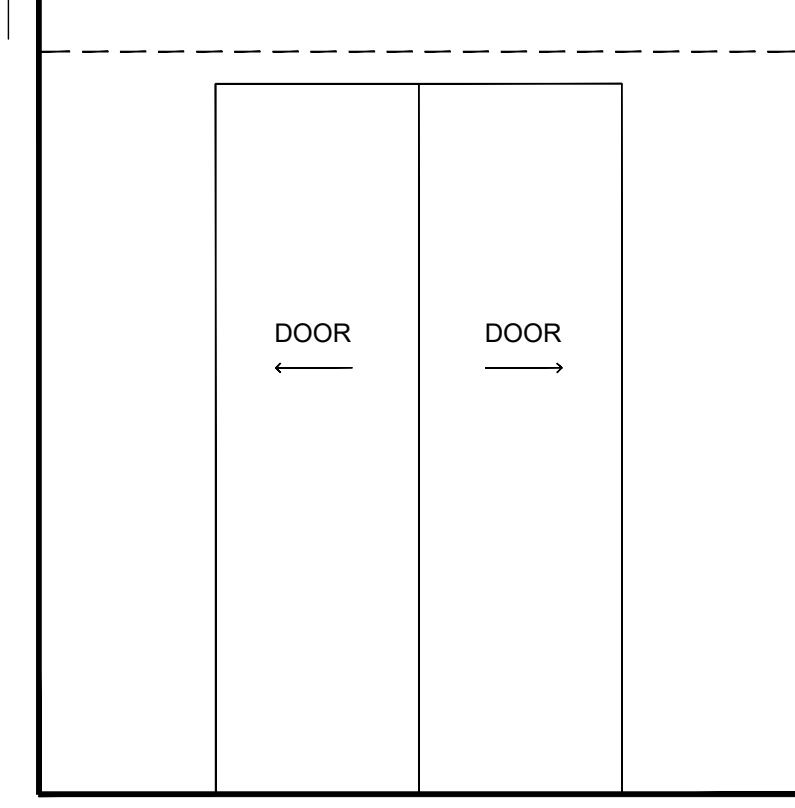
5
S-1.1
**ELEVATOR - SIDE
ELEVATION LEFT**
SCALE: NTS



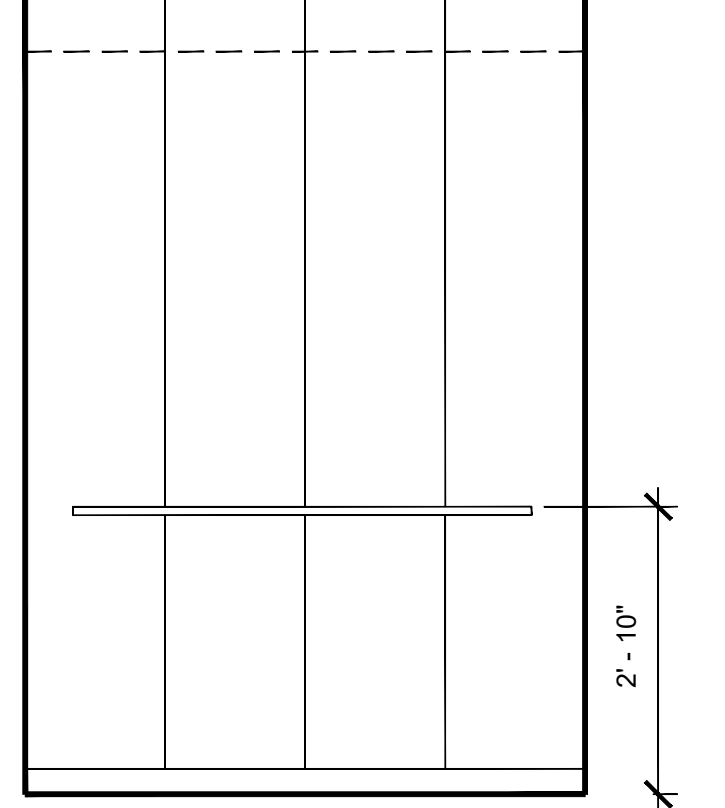
6
S-1.1
ELEVATOR HEAD & JAMB DETAIL
SCALE: NTS



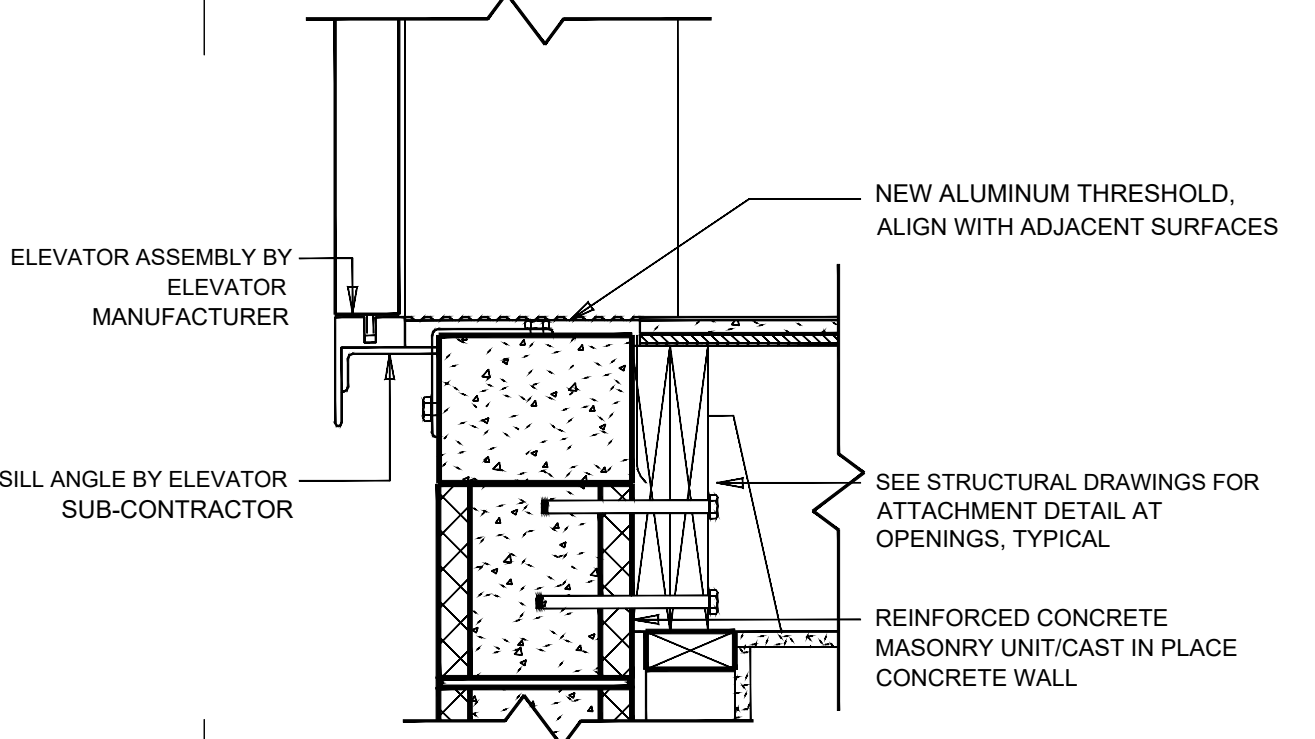
7
S-1.1
ELEVATOR - REFLECTED CEILING PLAN
SCALE: NTS



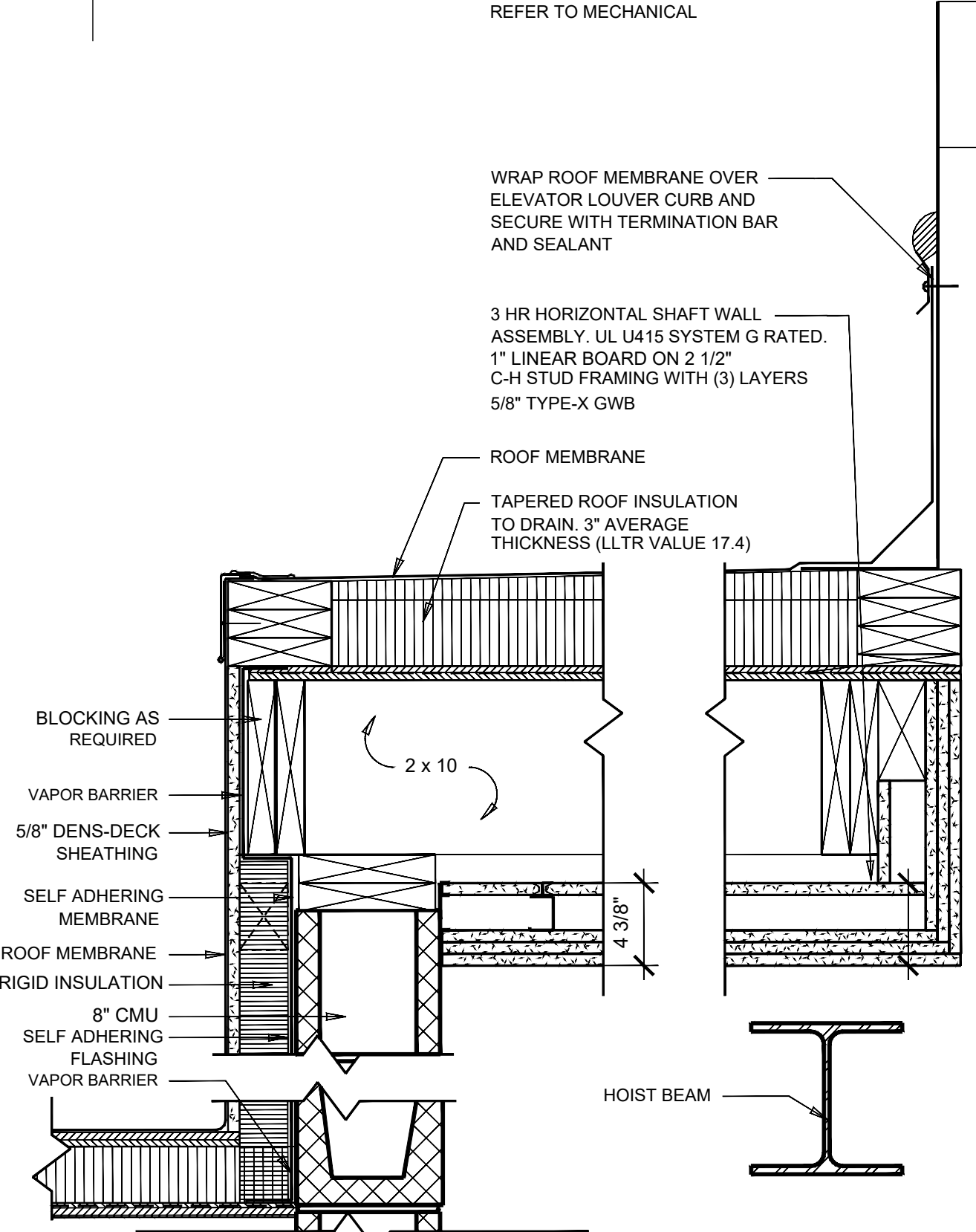
8
S-1.1
**ELEVATOR - REAR
ELEVATION**
SCALE: NTS



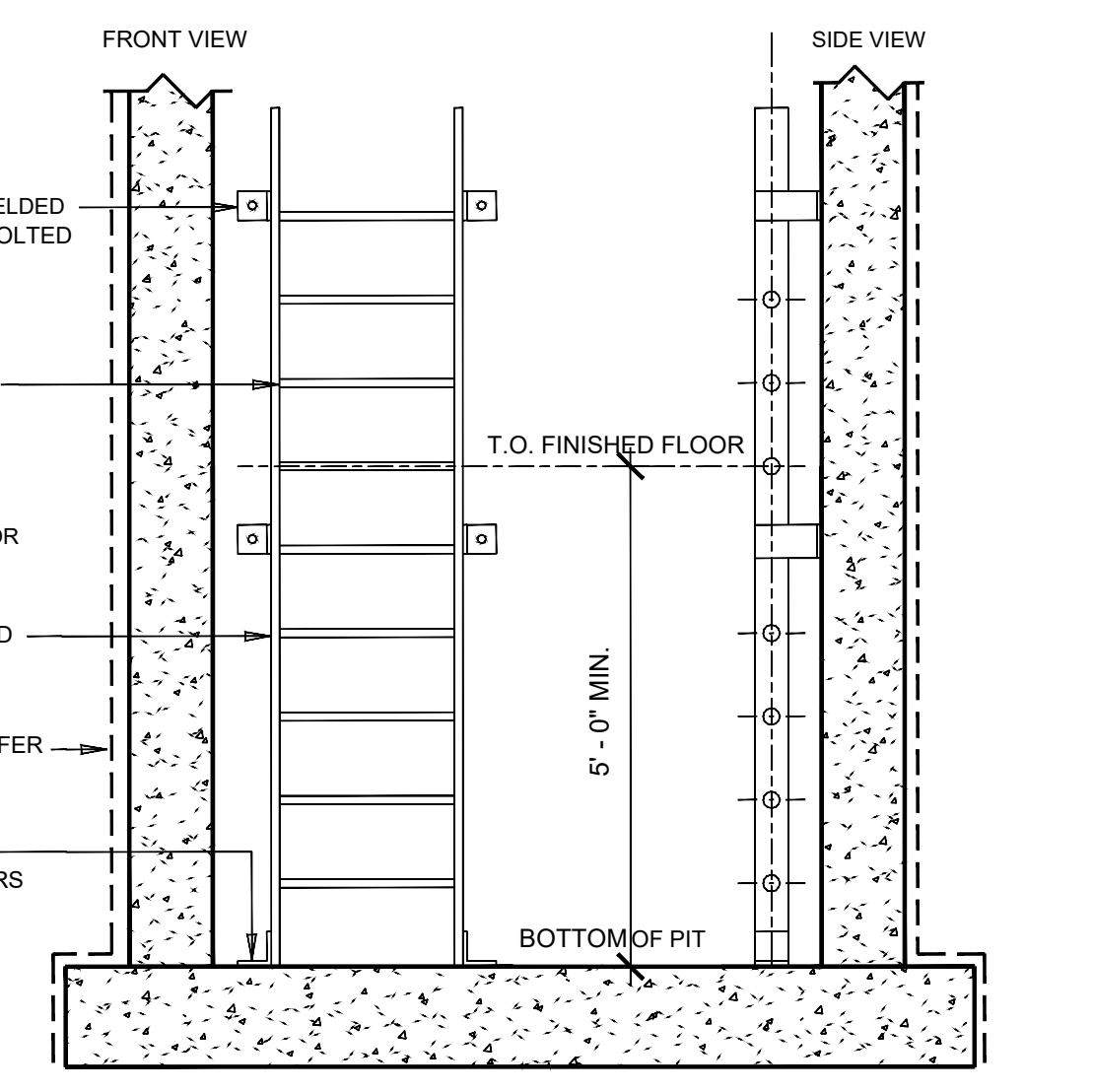
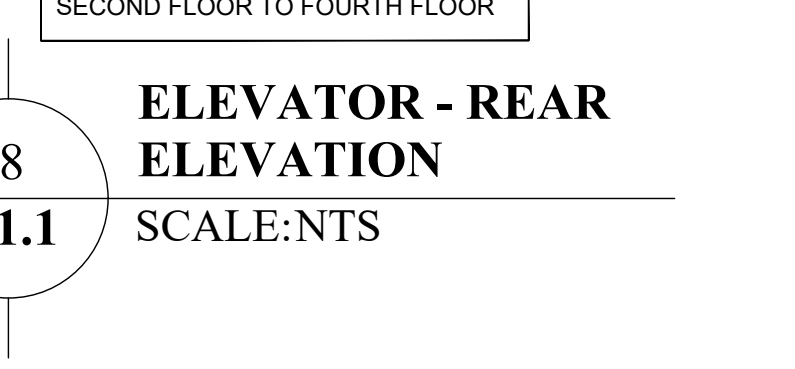
9
S-1.1
**ELEVATOR - SIDE
ELEVATION RIGHT**
SCALE: NTS



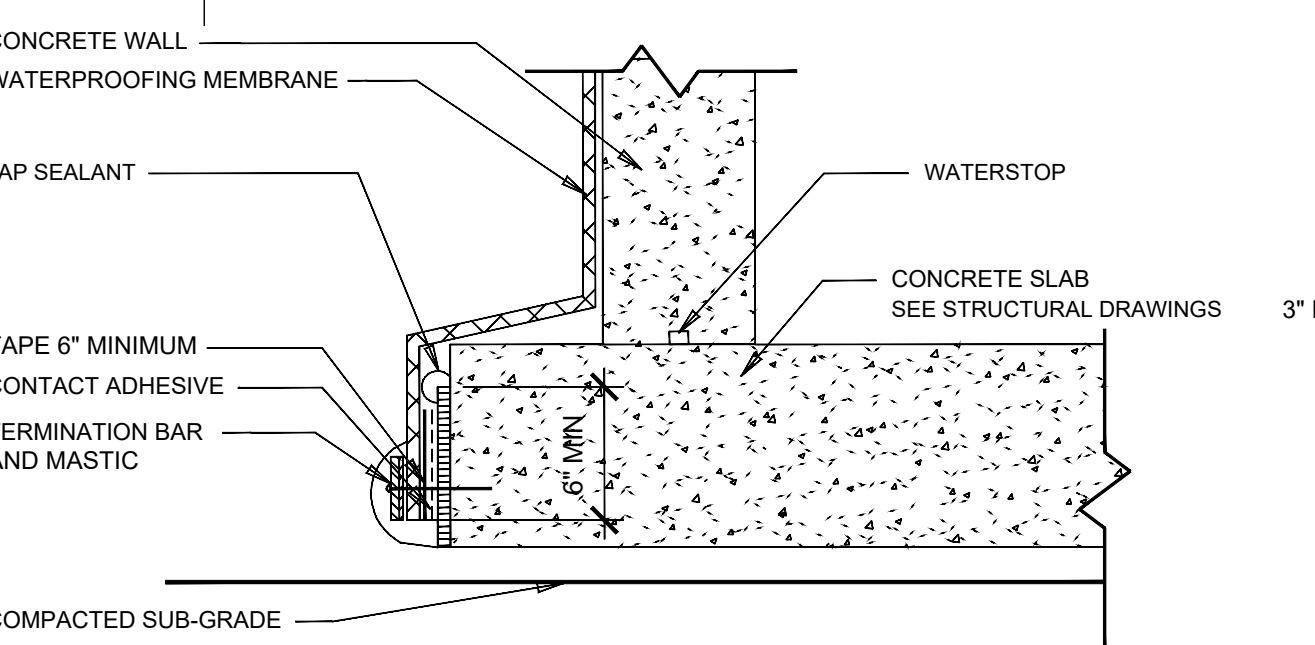
10
S-1.1
ELEVATOR SILL DETAIL
SCALE: NTS



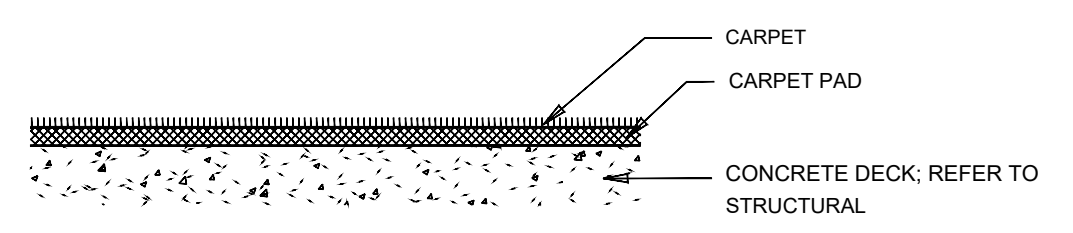
12
S-1.1
**ELEVATOR SHAFT ROOF
SECTION**
SCALE: NTS



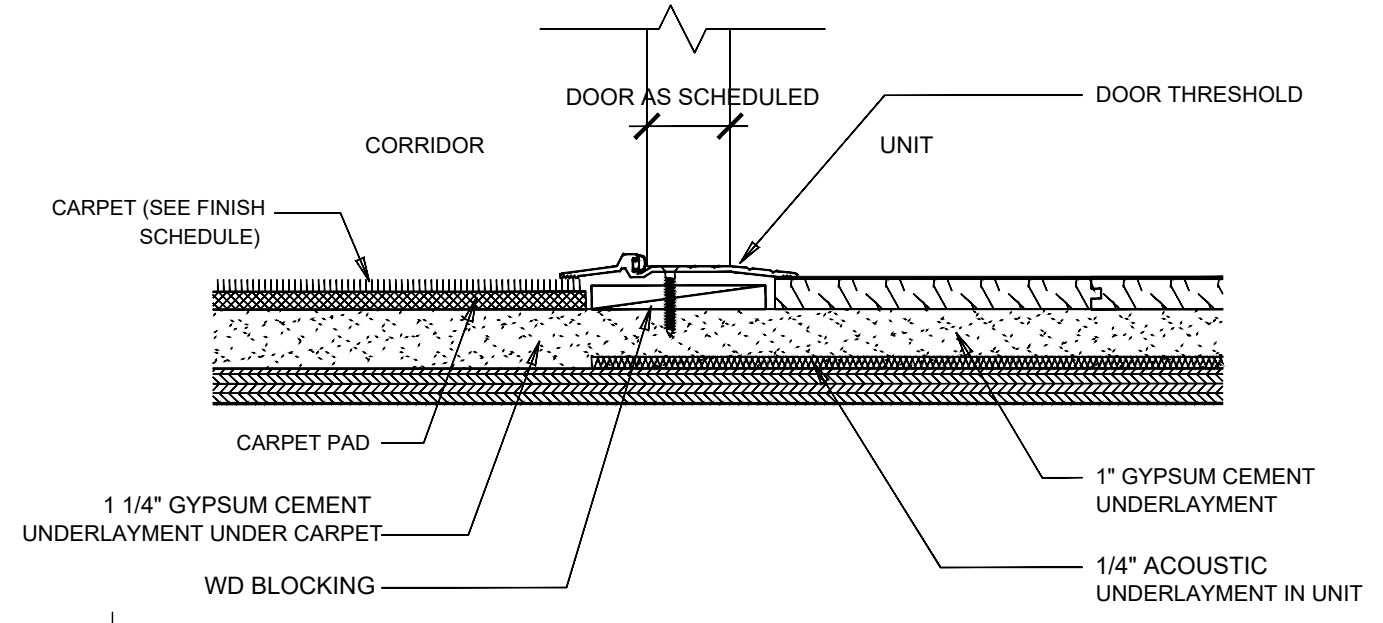
13
S-1.1
ELEVATOR PIT LADDER DETAIL
SCALE: NTS



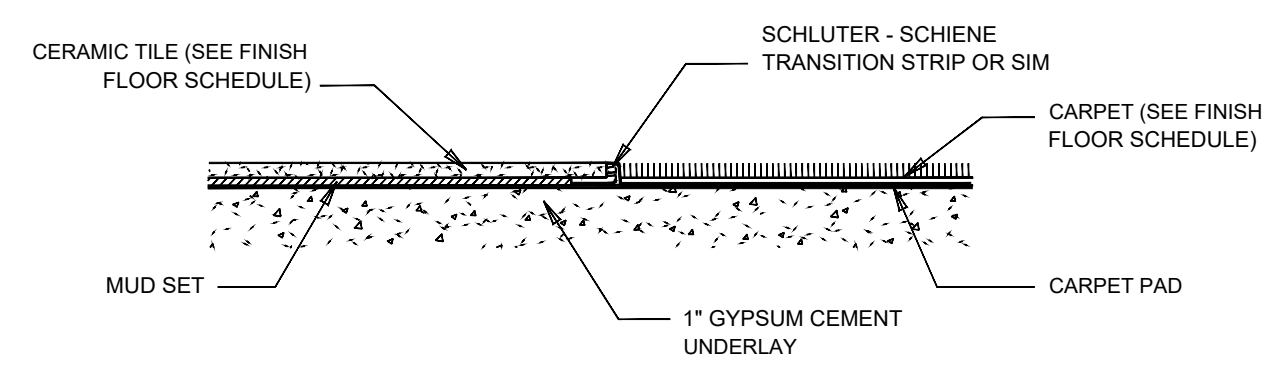
11
S-1.1
**WATERPROOFING AT
ELEVATOR PIT**
SCALE: NTS



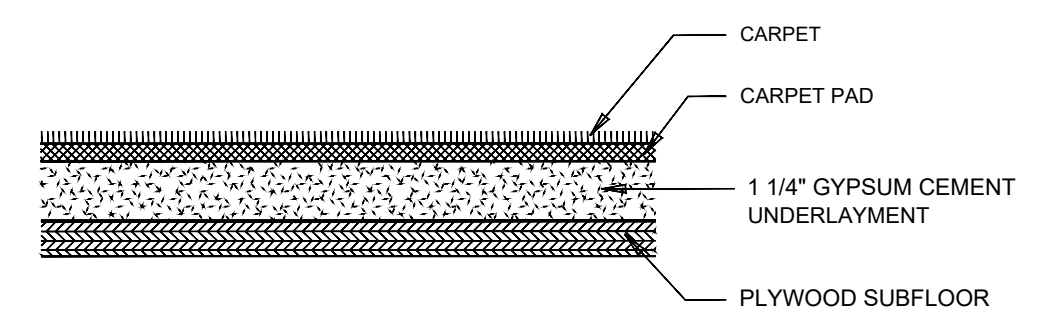
1 SECTION - CARPET ON CONCRETE SLAB
S-1.2 SCALE:NTS



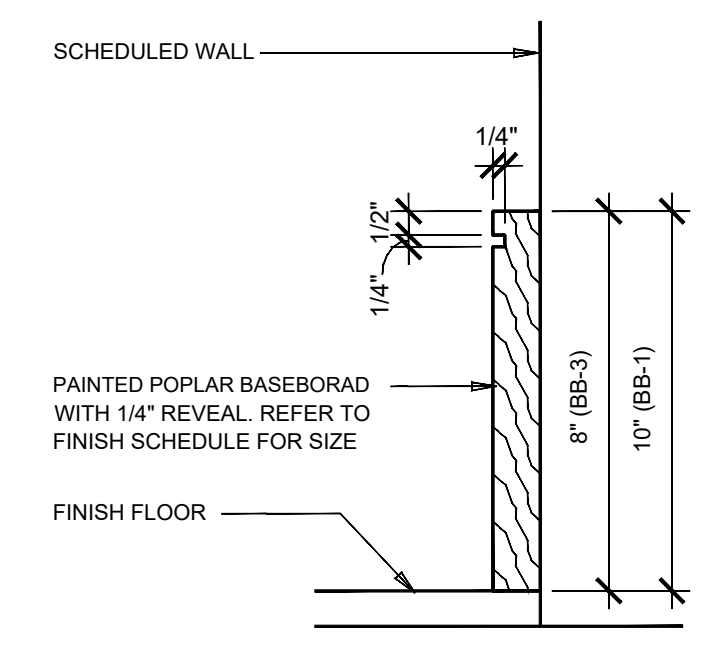
2 WOOD TO CARPET TRANSITION AT UNIT ENTRY - SECOND TO THIRD FLOOR
S-1.2 SCALE:NTS



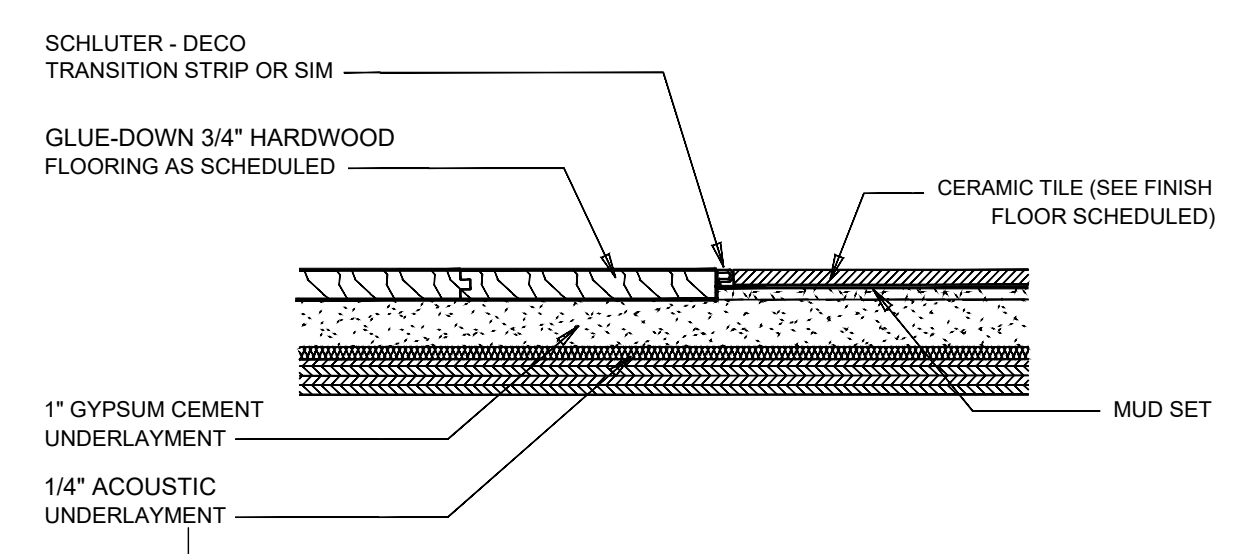
3 CERAMIC TILE TO CARPET TRANSITION - FIRST FLOOR
S-1.2 SCALE:NTS



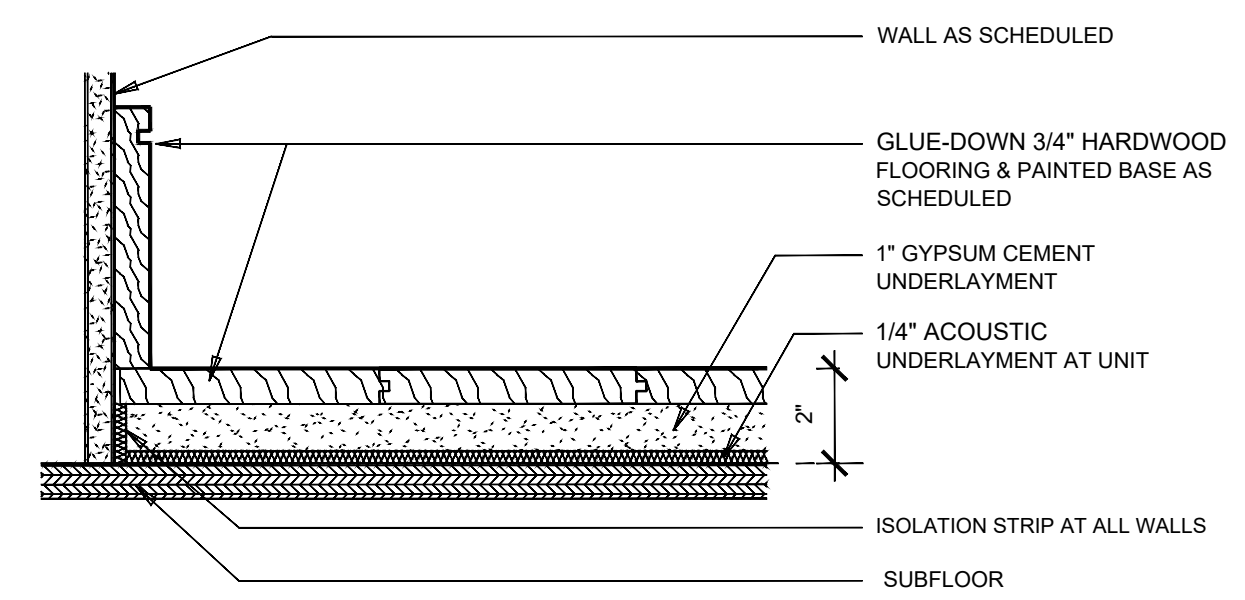
4 SECTION - CARPET ON GYPSUM CEMENT UNDERLAYMENT
S-1.2 SCALE:NTS



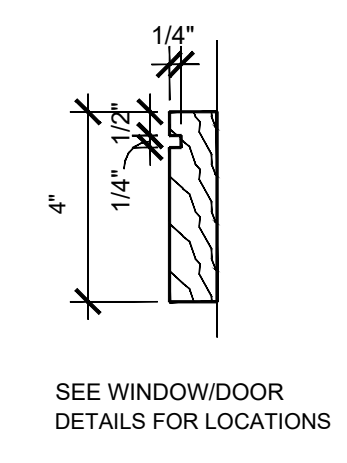
5 BASEBOARD DETAIL
S-1.2 SCALE:NTS



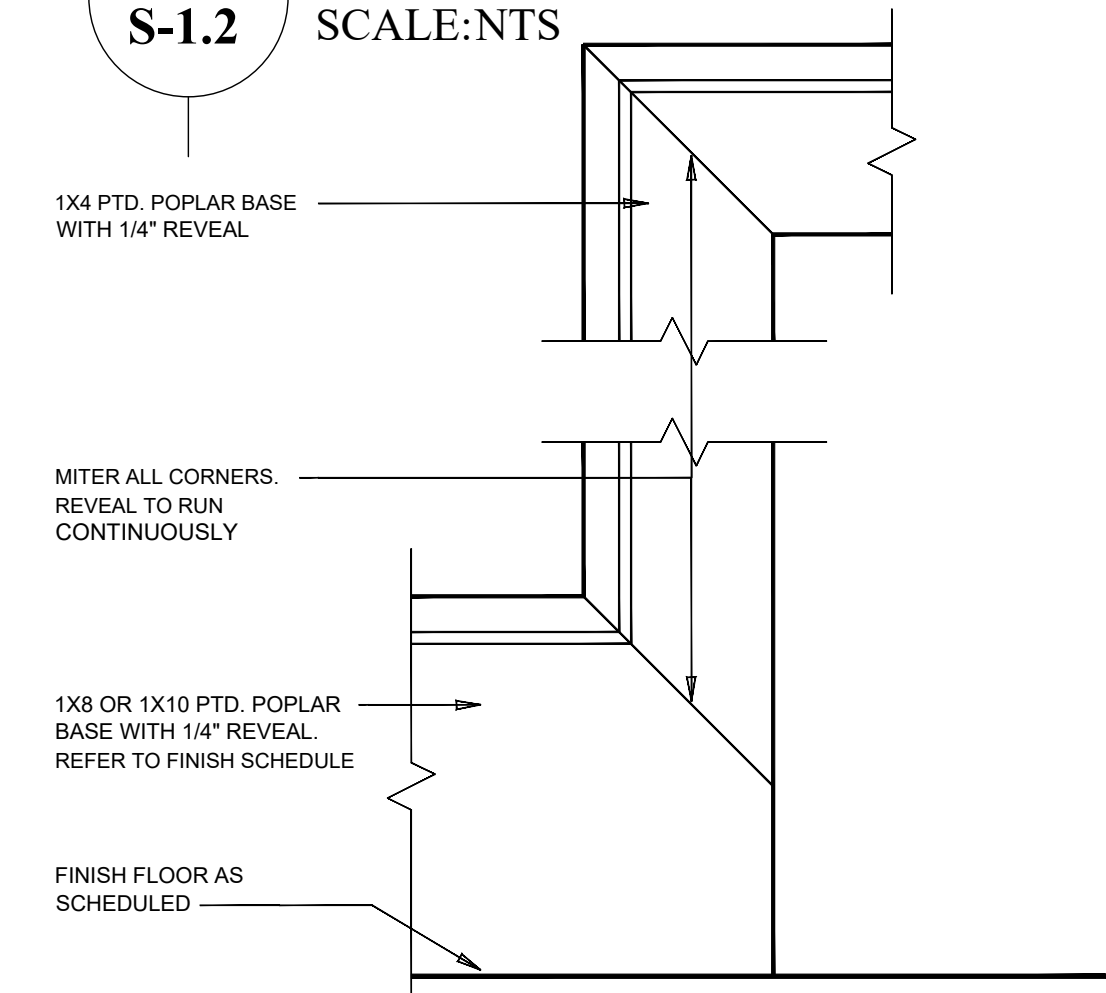
6 WOOD FLOORING TO CERAMIC TILE TRANSITION - 2ND TO 3RD FLOOR
S-1.2 SCALE:NTS



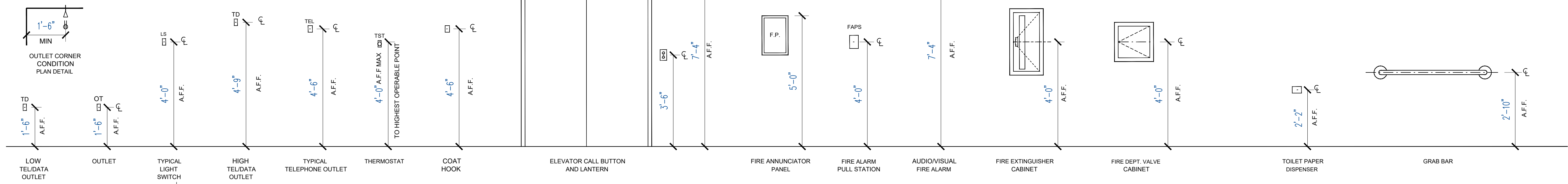
7 TYPICAL IN-UNIT WOOD FLOORING
S-1.2 SCALE:NTS



8 WINDOW/DOOR CASING PROFILE
S-1.2 SCALE:NTS



9 ELEVATION DETAIL OF BASEBOARD AND DOOR/WINDOW CASING
S-1.2 SCALE:NTS



10 TYPICAL ADA HEIGHTS
S-1.2 SCALE:NTS

NEW CONSTRUCTION MIXED USE DWELLING: 1 COMMERCIAL / 2 DWELLING UNITS

16 ARCH ST, BROCKTON MA 02301

LAYOUT BY: EBR
DRAWN: ASG
CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/05/2022
PROJECT NO.:
REVISIONS: NOTES: DATE:

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SHEET NUMBER:
S-1.2



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NEW CONSTRUCTION MIXED USE
DWELLING: 1 COMMERCIAL / 2
DWELLING UNITS
16 ARCH ST, BROCKTON MA 02301

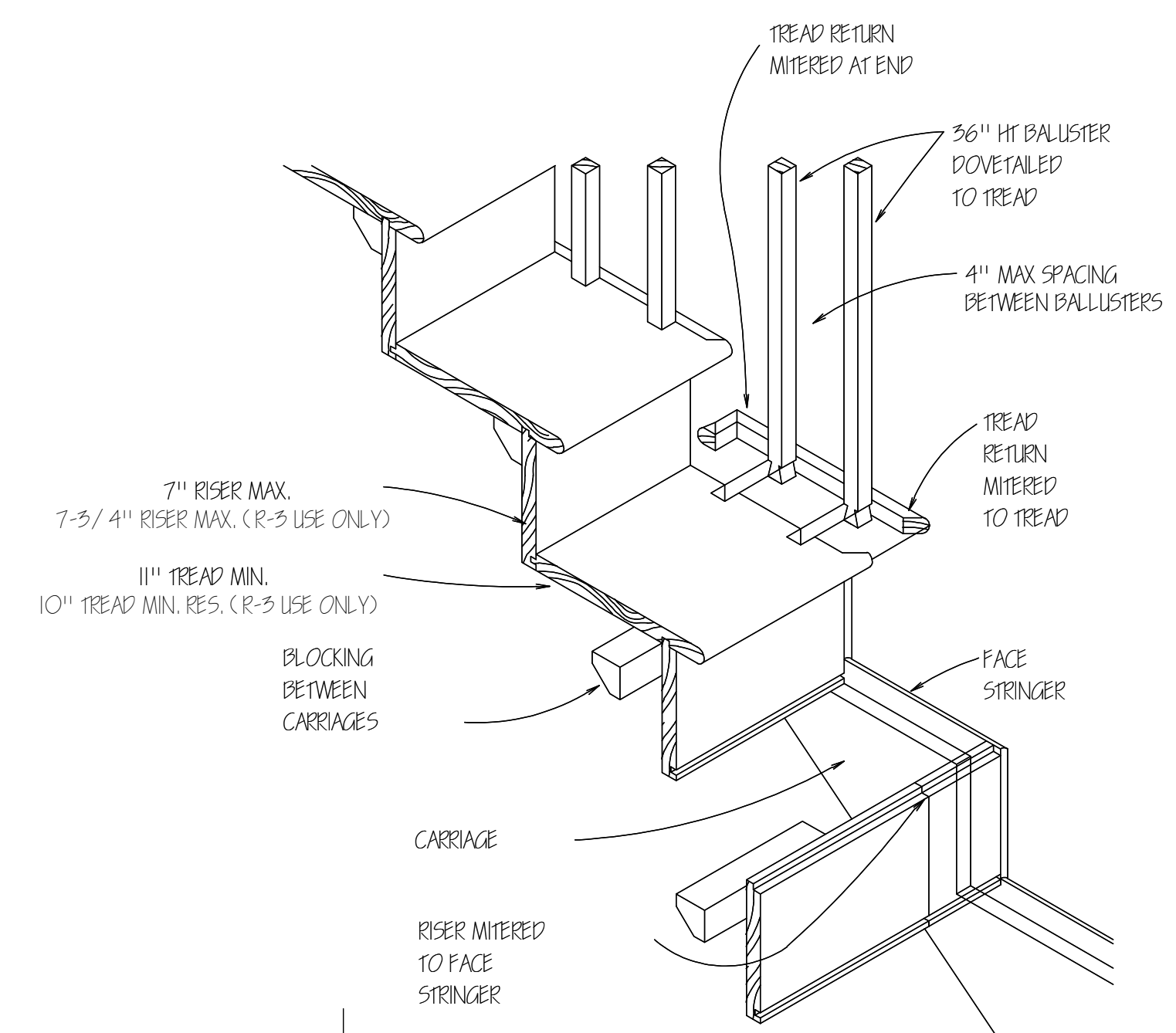
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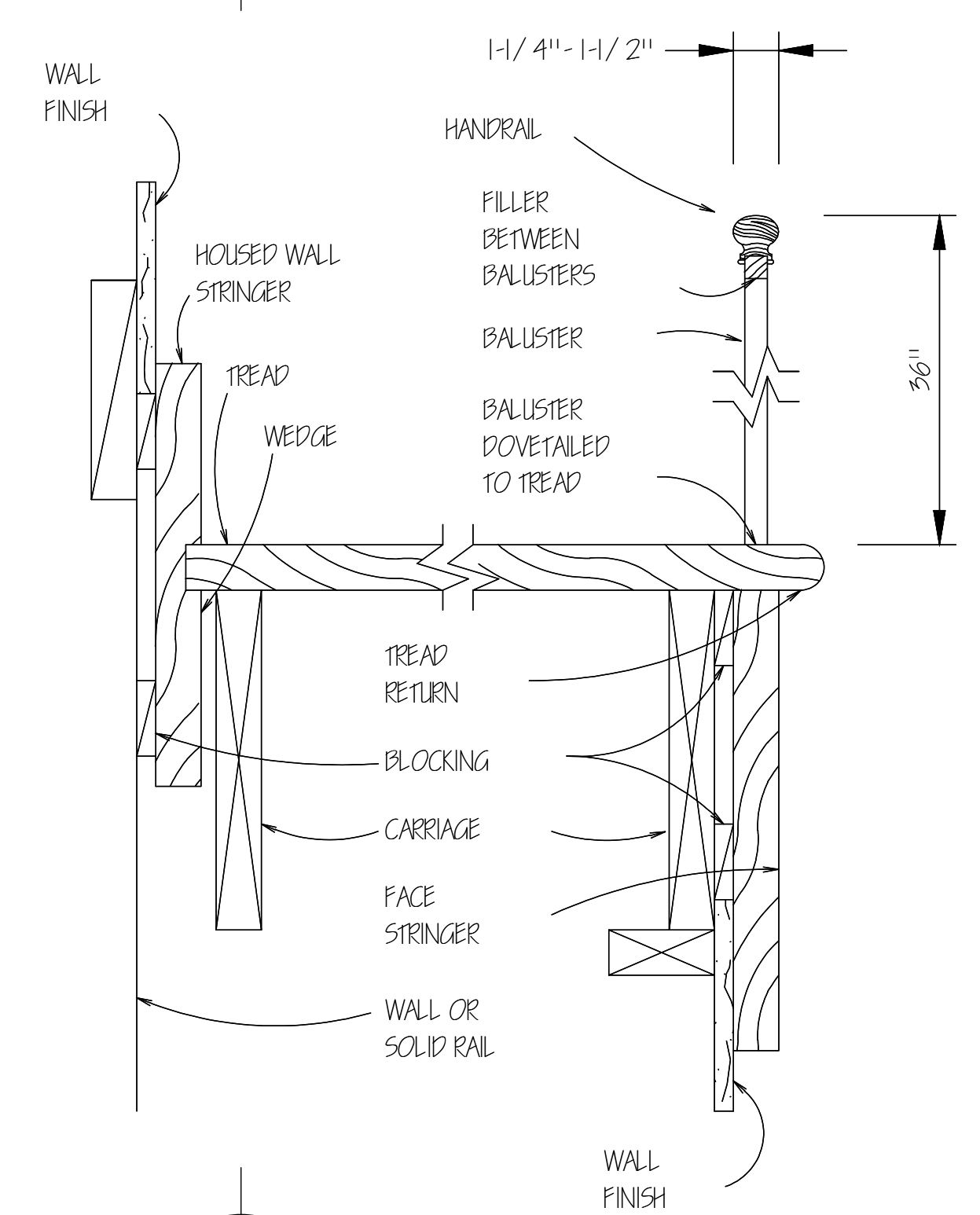
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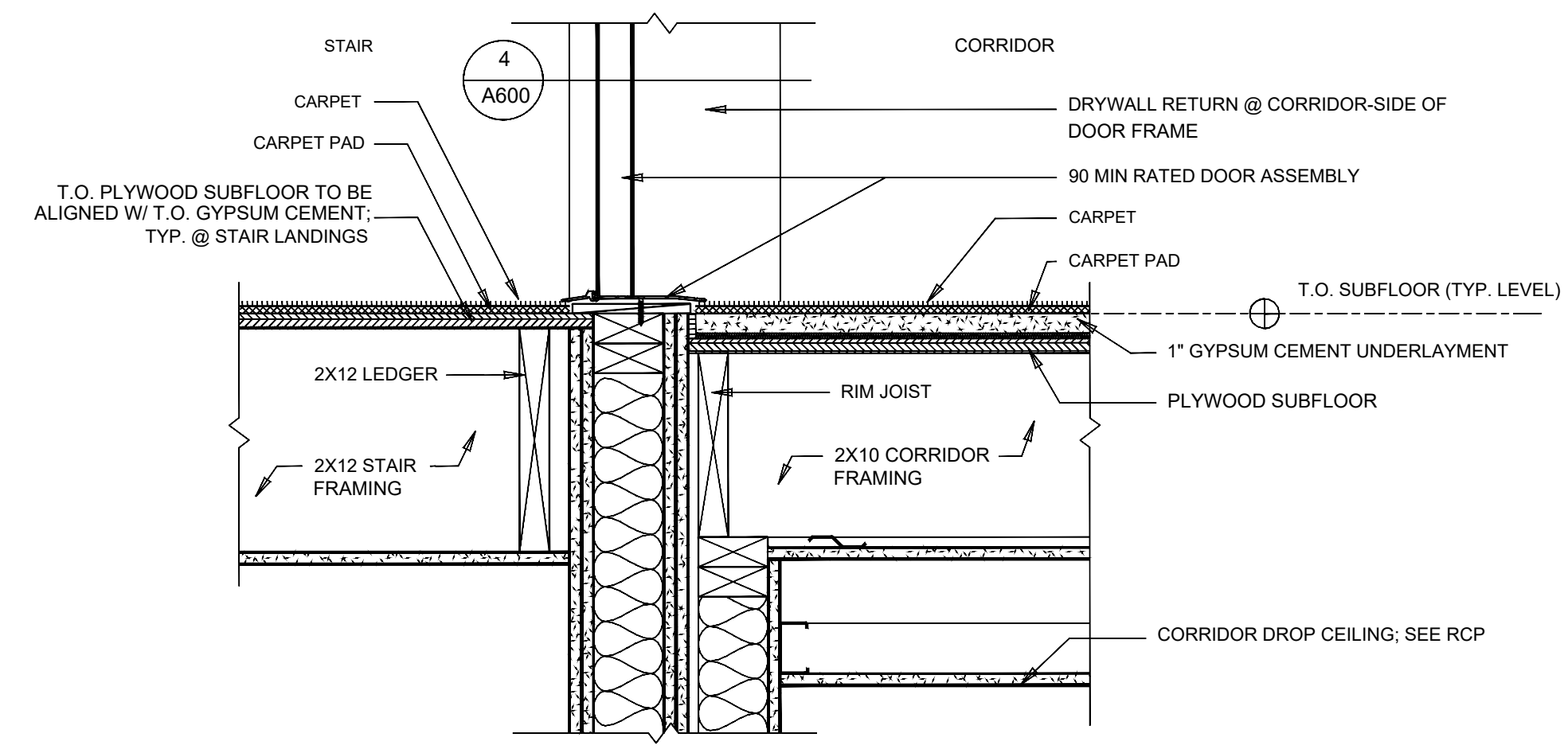
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S-1.3



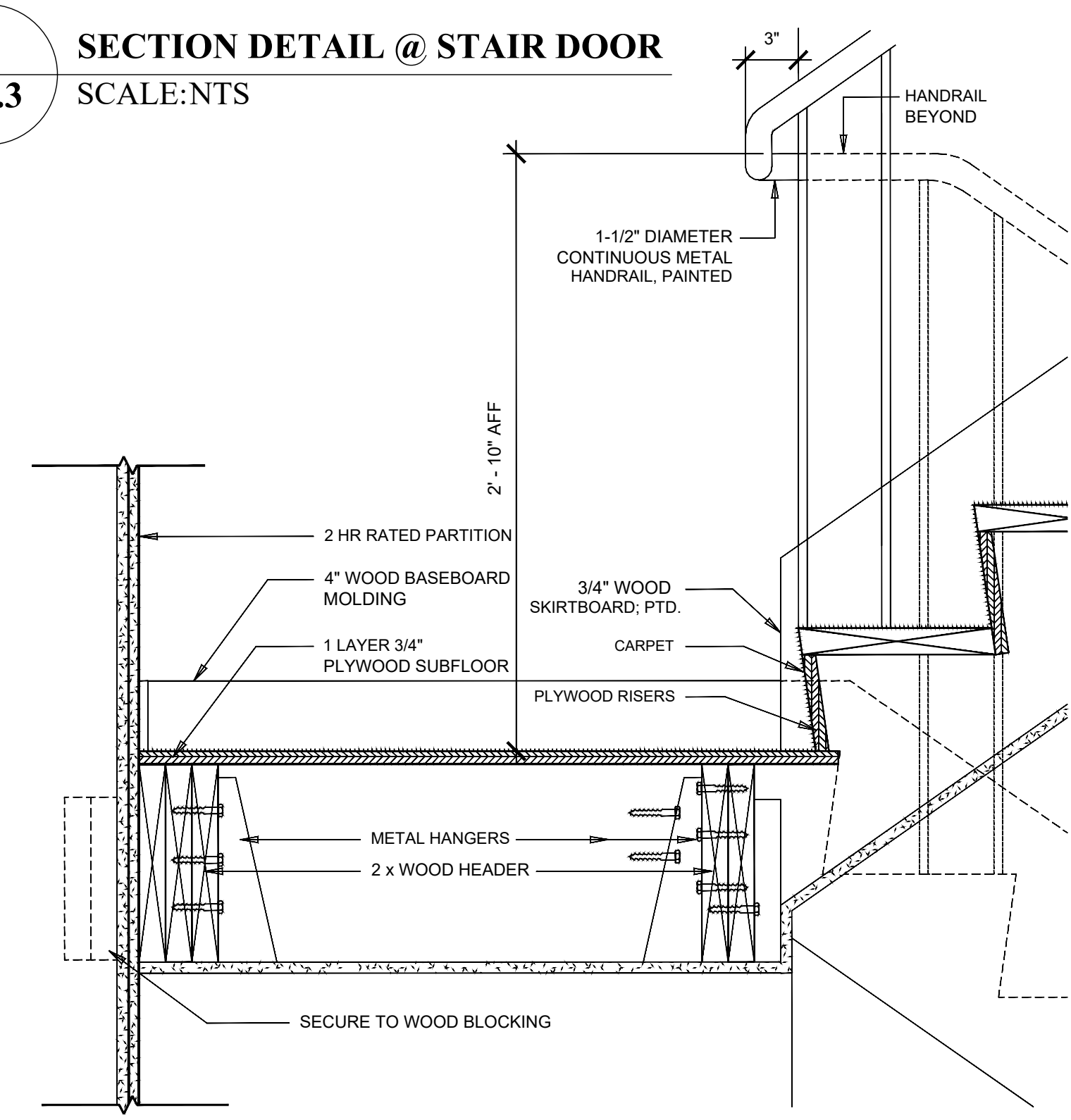
1
S-1.3
STAIR DETAIL
SCALE: NTS



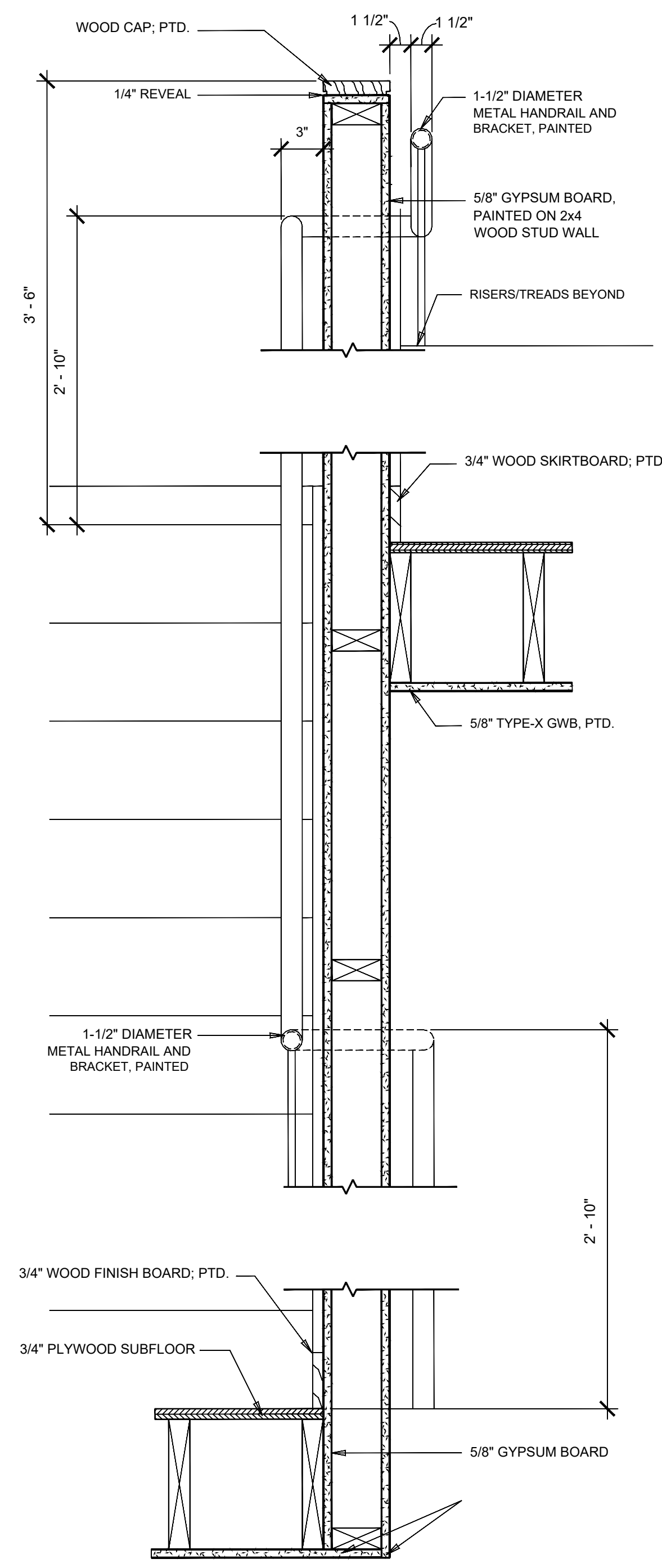
3
S-1.3
STAIR DETAIL
SCALE: NTS



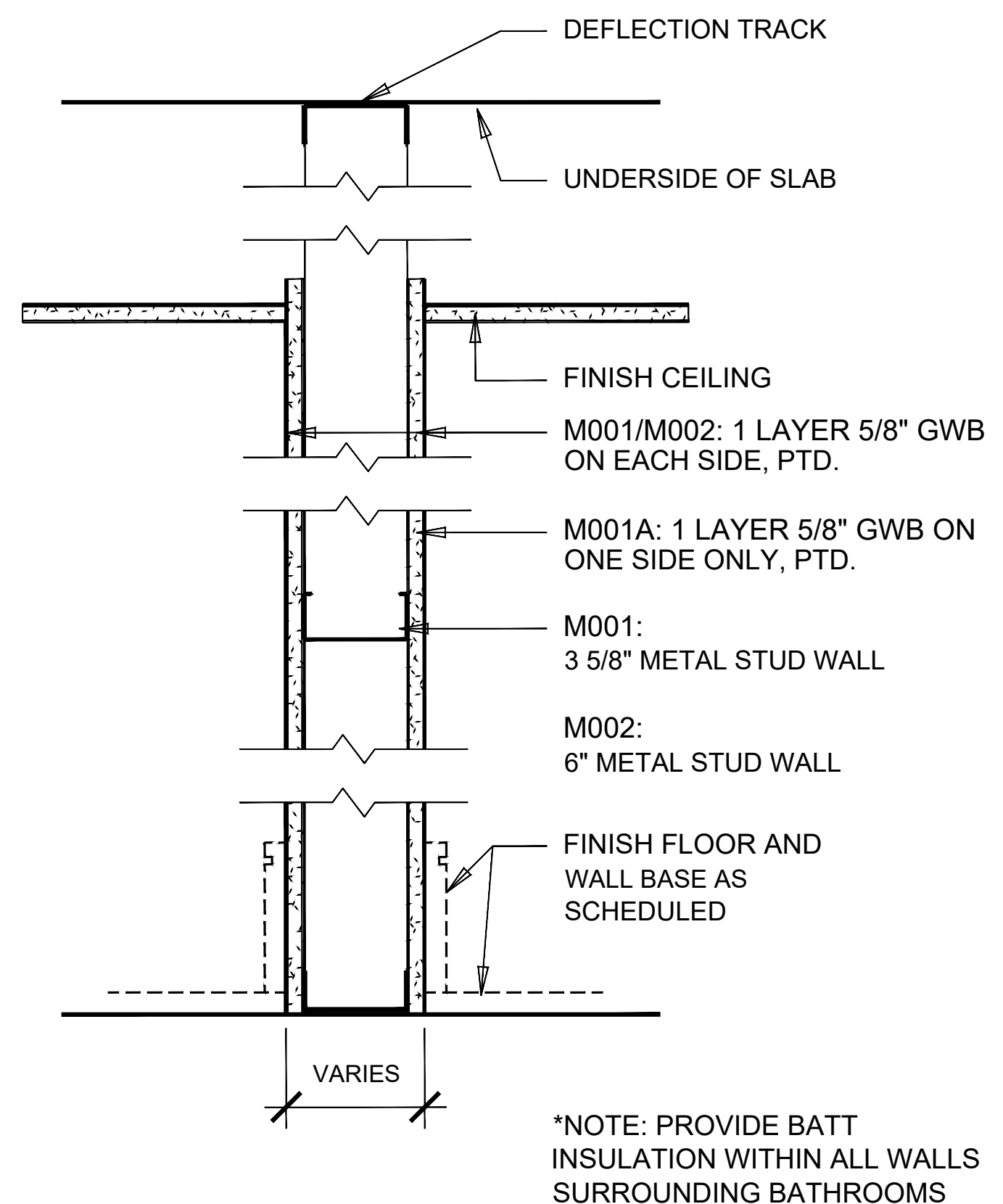
2
S-1.3
SECTION DETAIL @ STAIR DOOR
SCALE: NTS



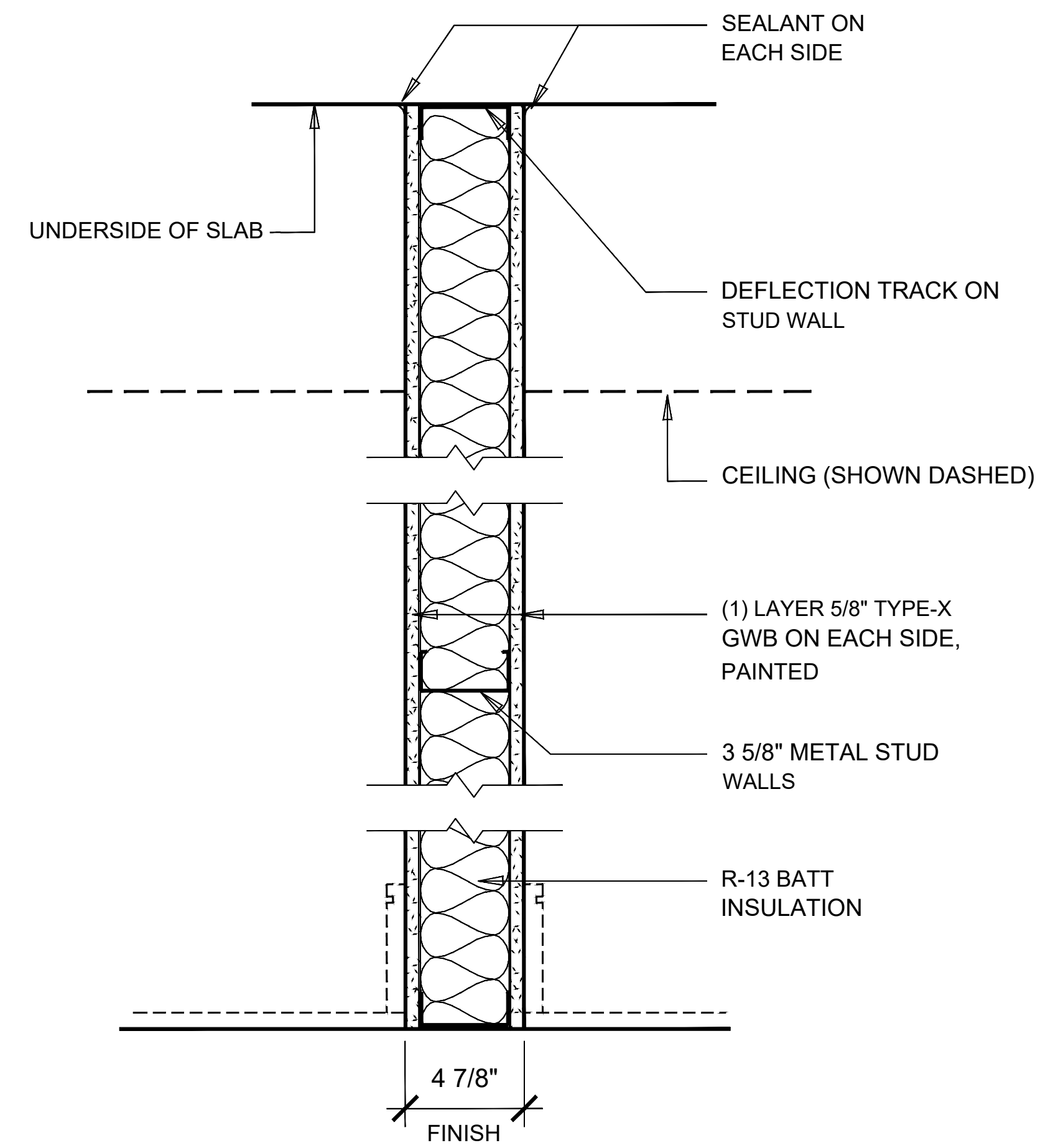
4
S-1.3
WOOD STAIR LANDING DETAIL
SCALE: NTS



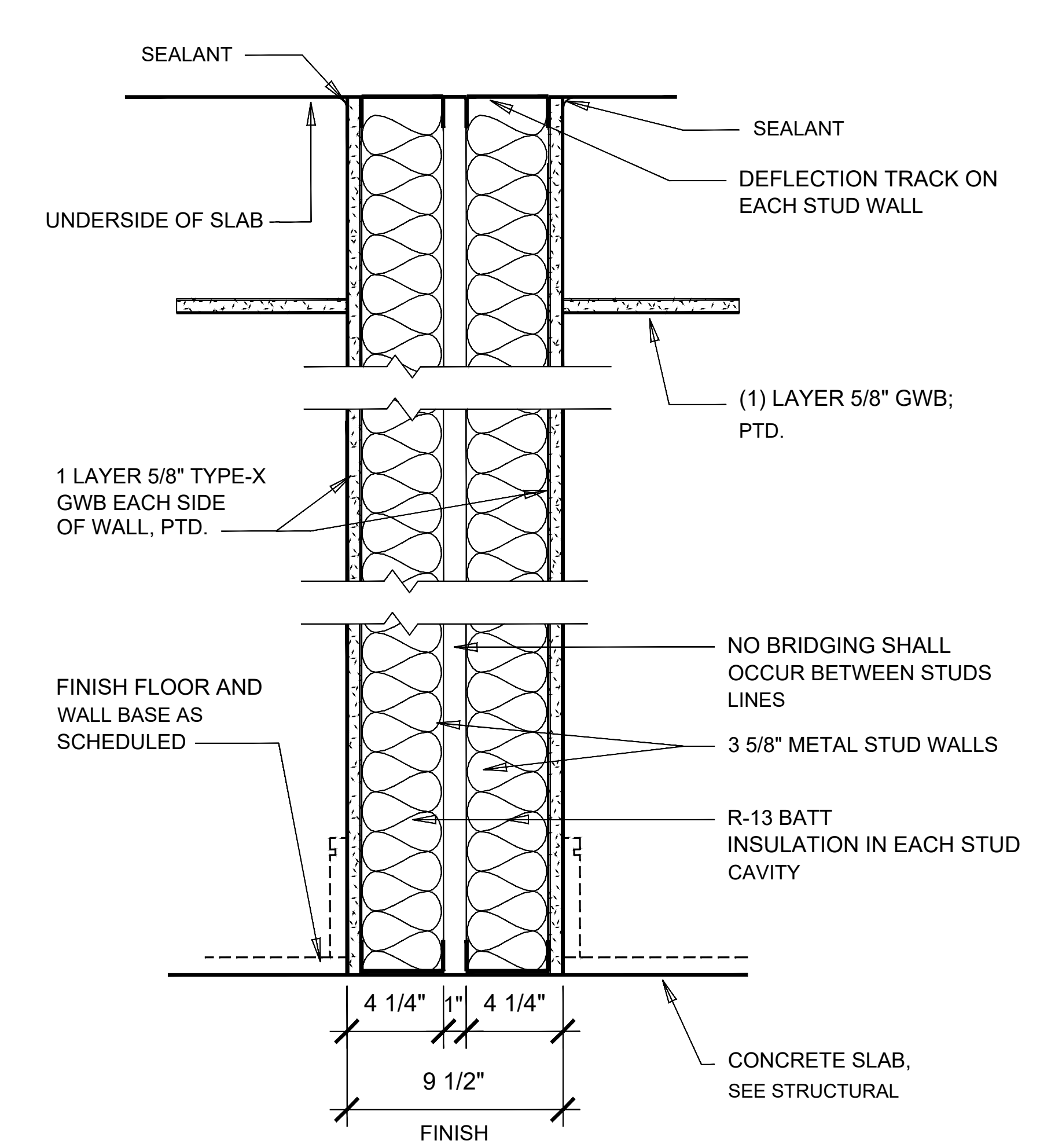
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S-1.2
TYPICAL STAIR GUARD WALL DETAIL
SCALE: NTS



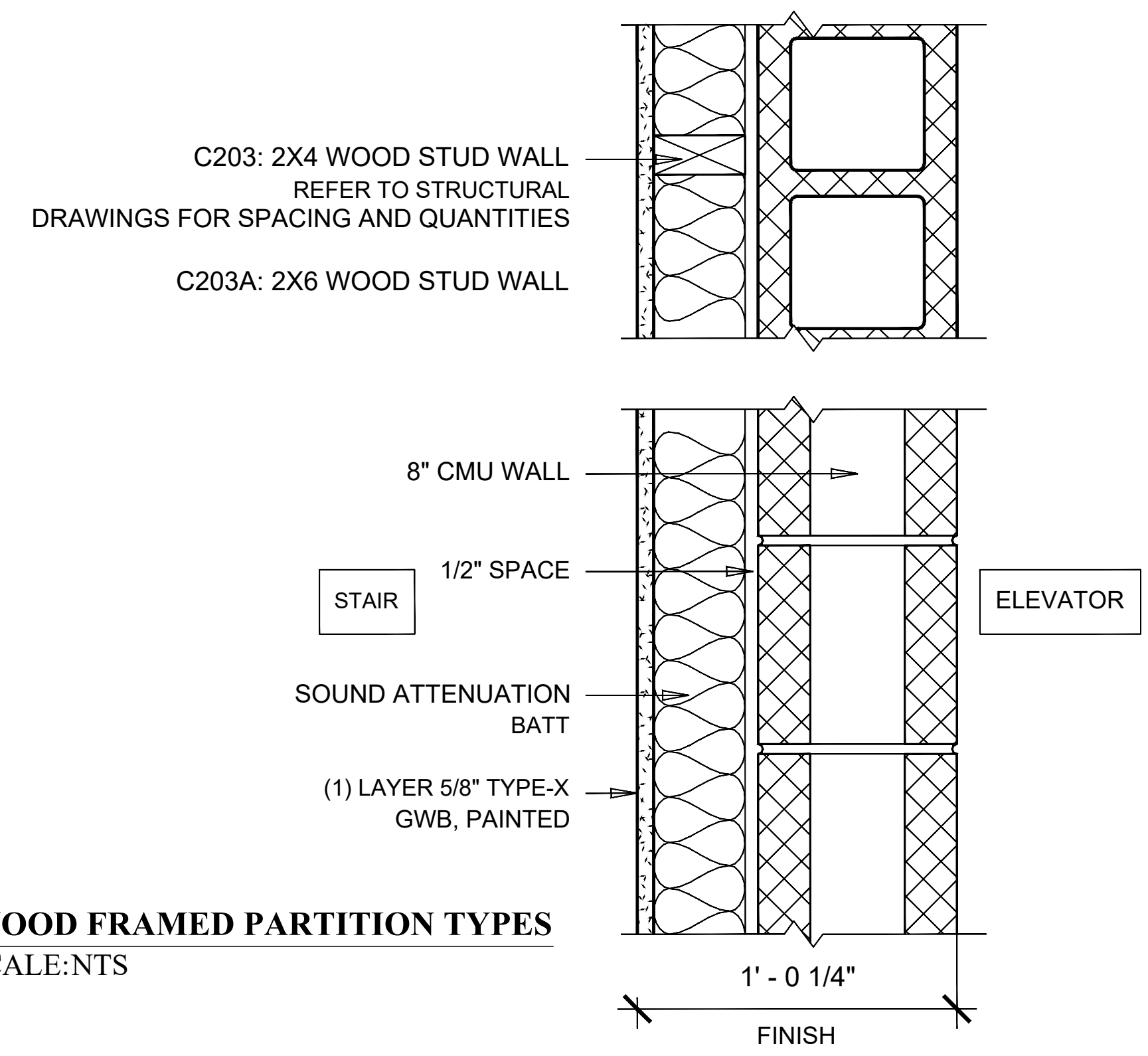
NON-LOAD BEARING PARTITION (3 5/8" STUD)
 NON-LOAD BEARING PARTITION (3 5/8" STUD W. GWB ONLY ON ONE SIDE)
 NON-LOAD BEARING PARTITION (6" STUD)



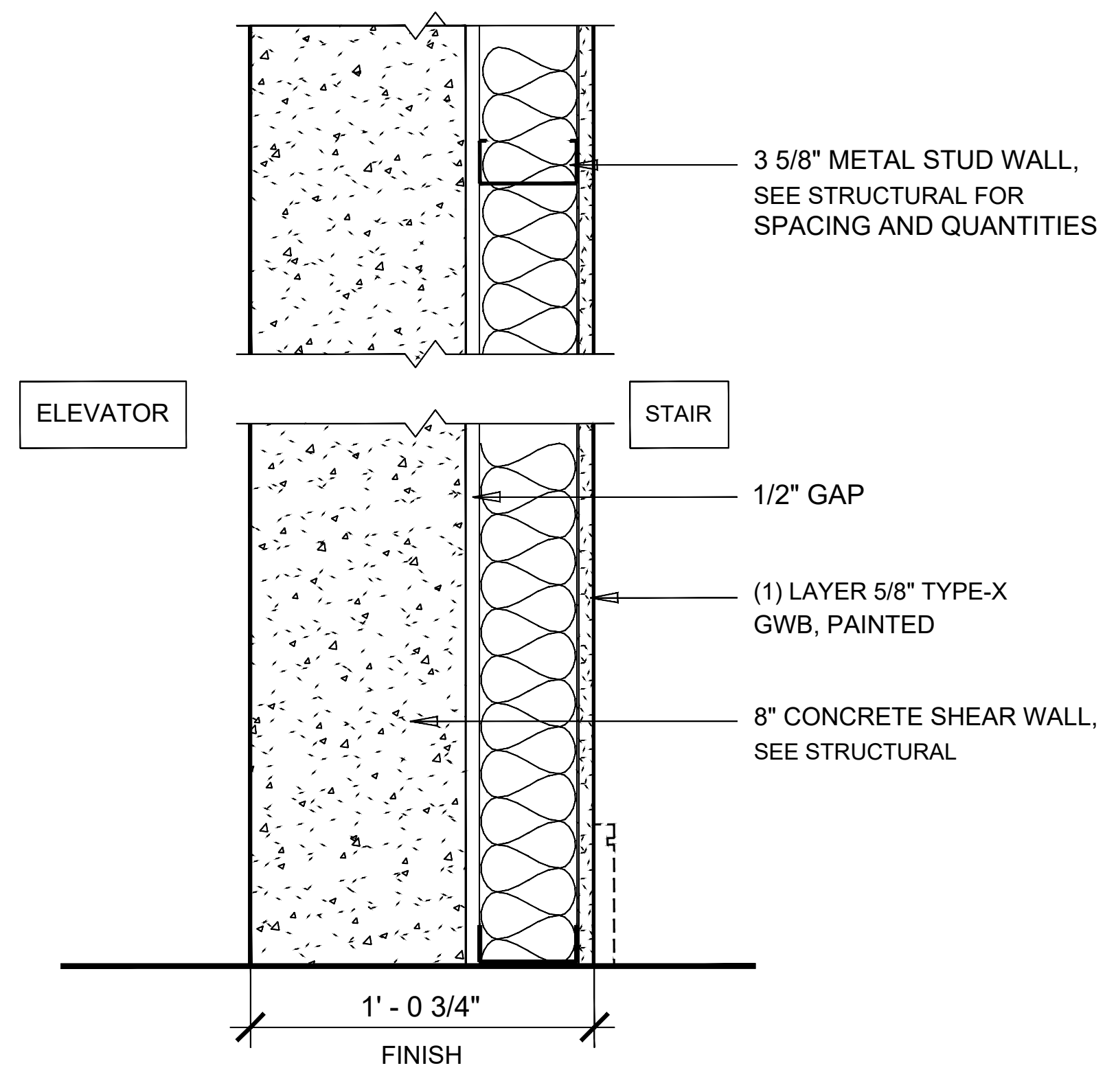
1 HR RATED PARTITION



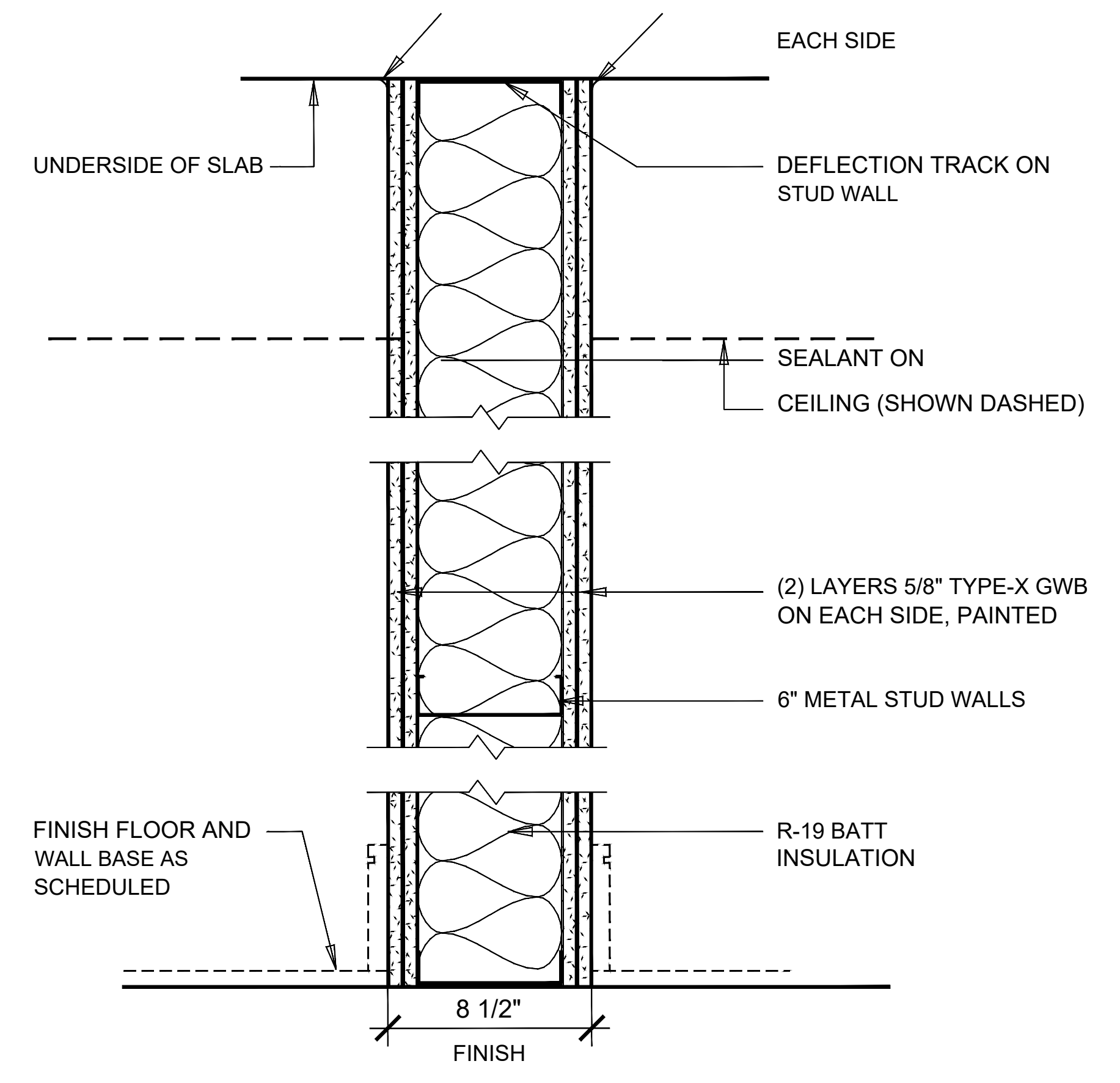
1 HOUR RATED NON-LOAD BEARING PARTITION



2-HR RATED CMU ELEVATOR WALL (2X4 WOOD STUD)
 2-HR RATED CMU ELEVATOR WALL (2X6 WOOD STUD)



2-HR RATED ELEVATOR WALL



2 HR RATED PARTITION AT STAIR

1
S-1.4
 SCALE: NTS

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NEW CONSTRUCTION MIXED USE DWELLING: 1 COMMERCIAL / 2 DWELLING UNITS
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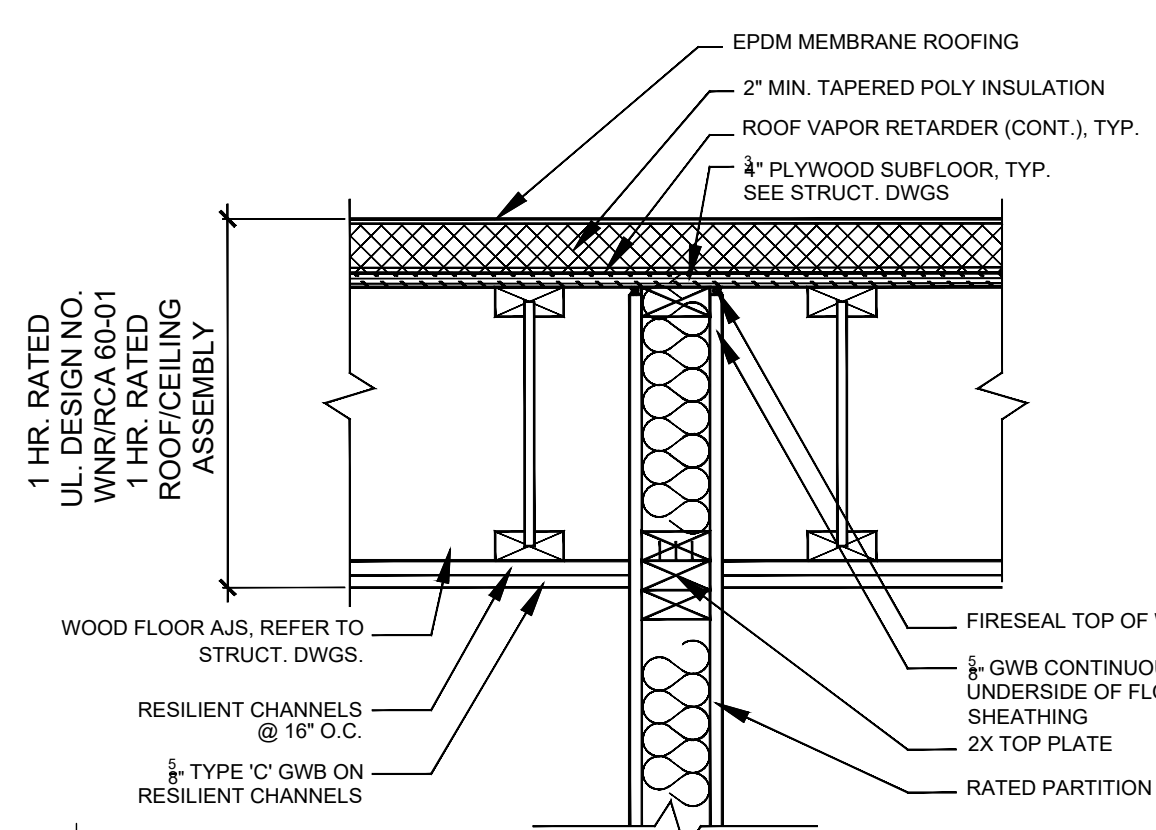
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DRAWN: ASG
CHECKED: EBR
SCALE: AS INDICATED
DATE: 07/05/2022
PROJECT NO.:
REVISIONS: NOTES: DATE:

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 Douglas D. Wahn, AIA
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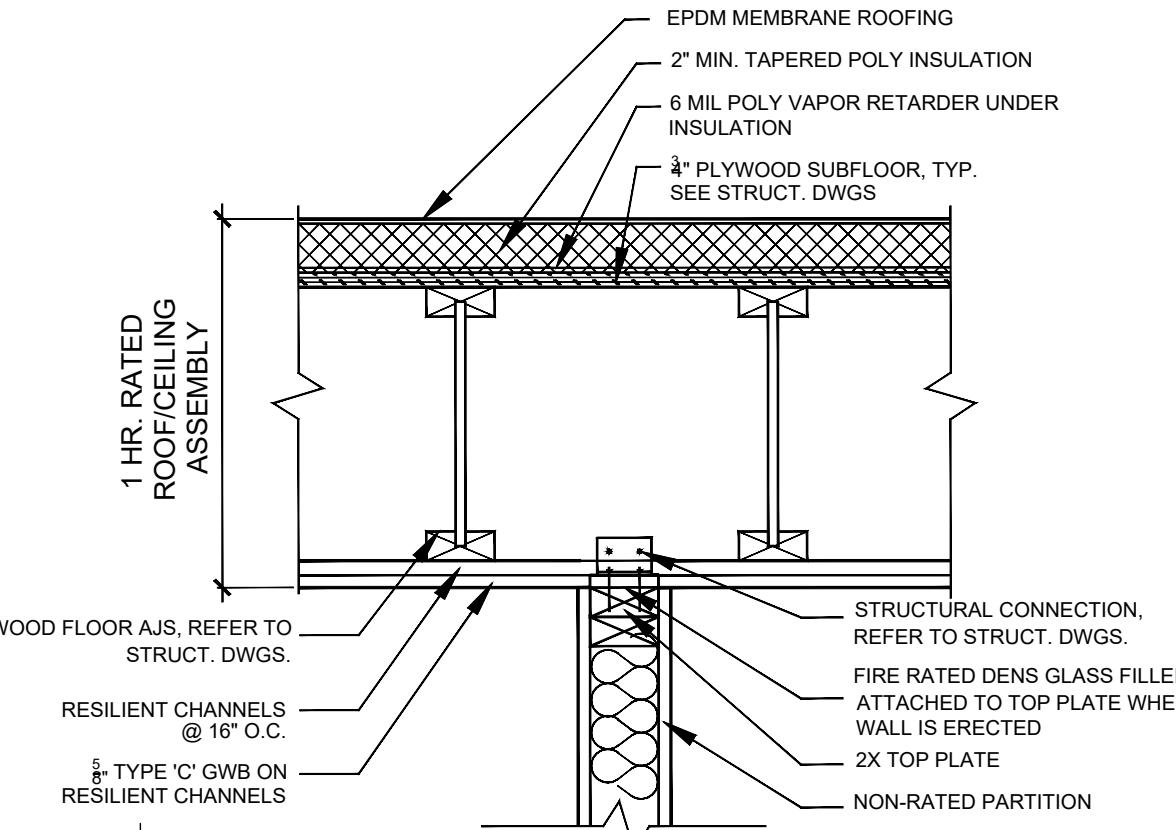
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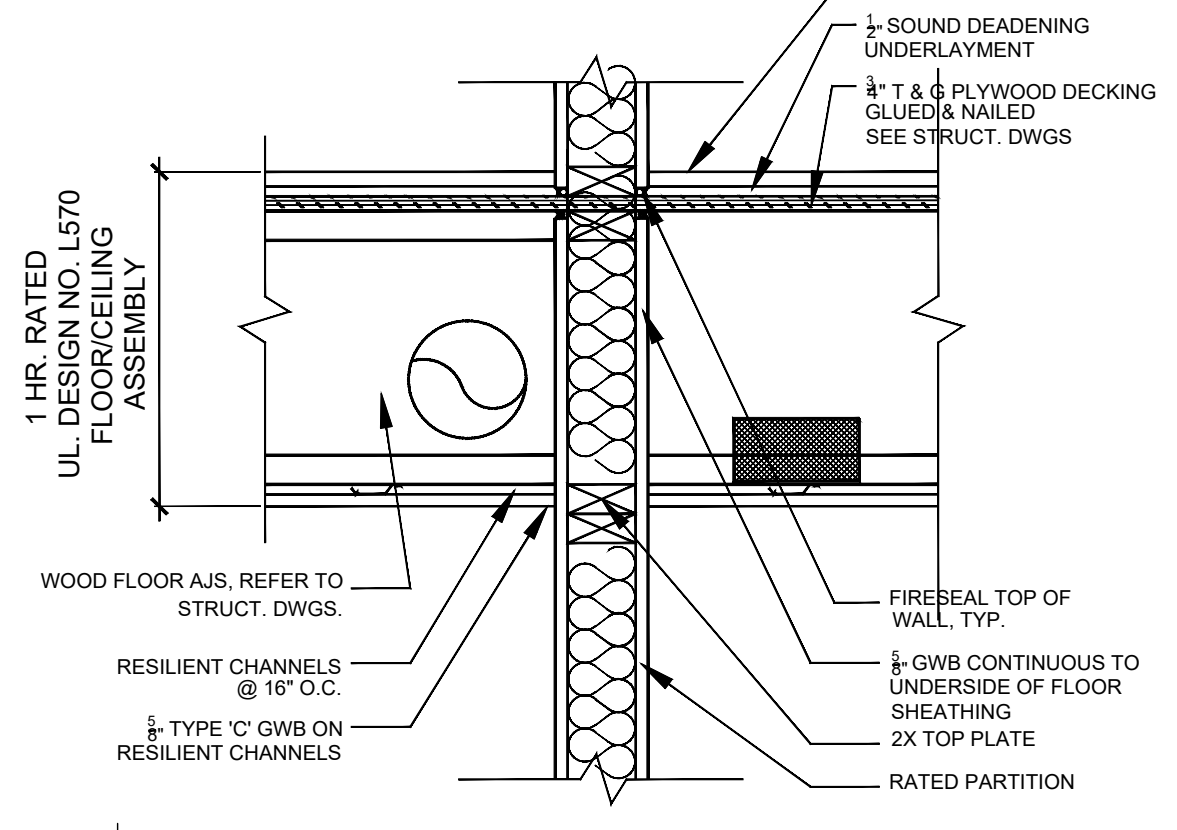
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S-1.3



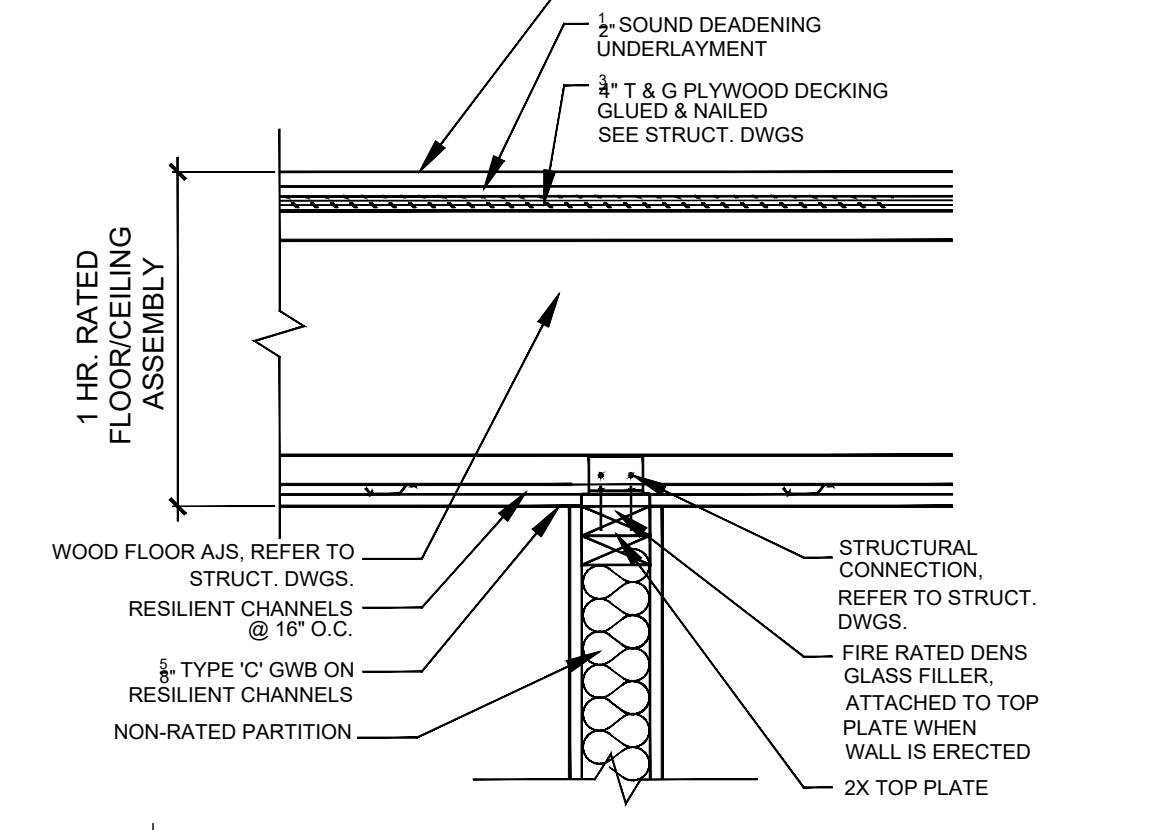
1 RATED WALL DETAIL @ ROOF
SCALE: NTS



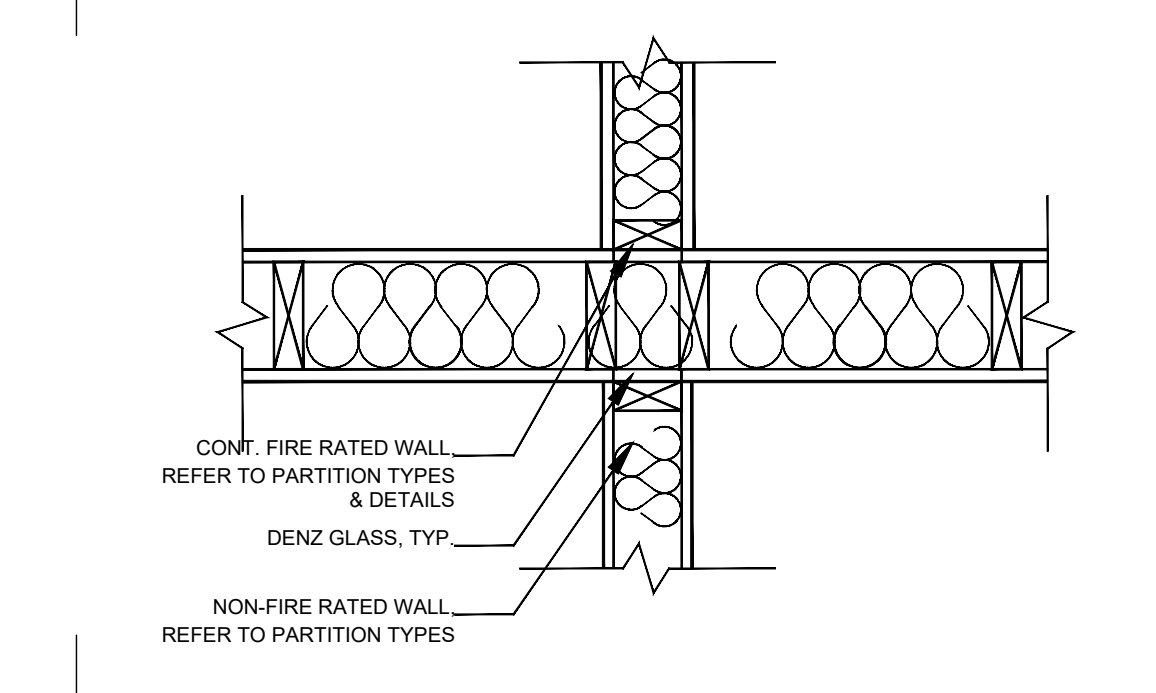
2 NON-RATED WALL DETAIL @ ROOF
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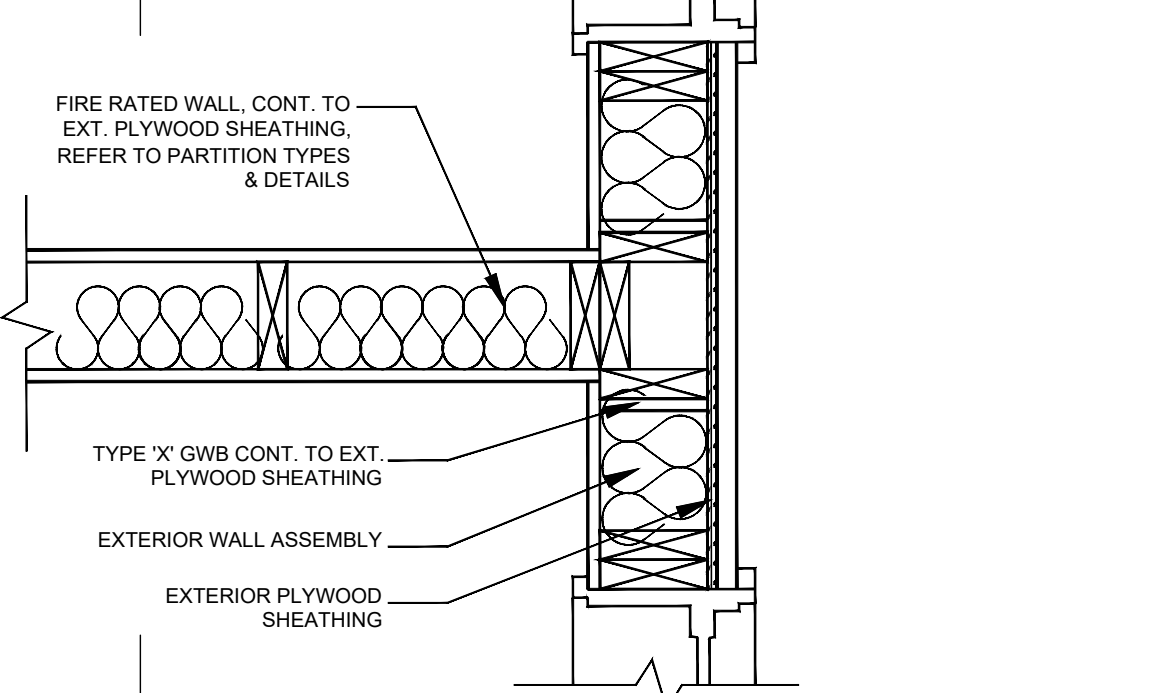
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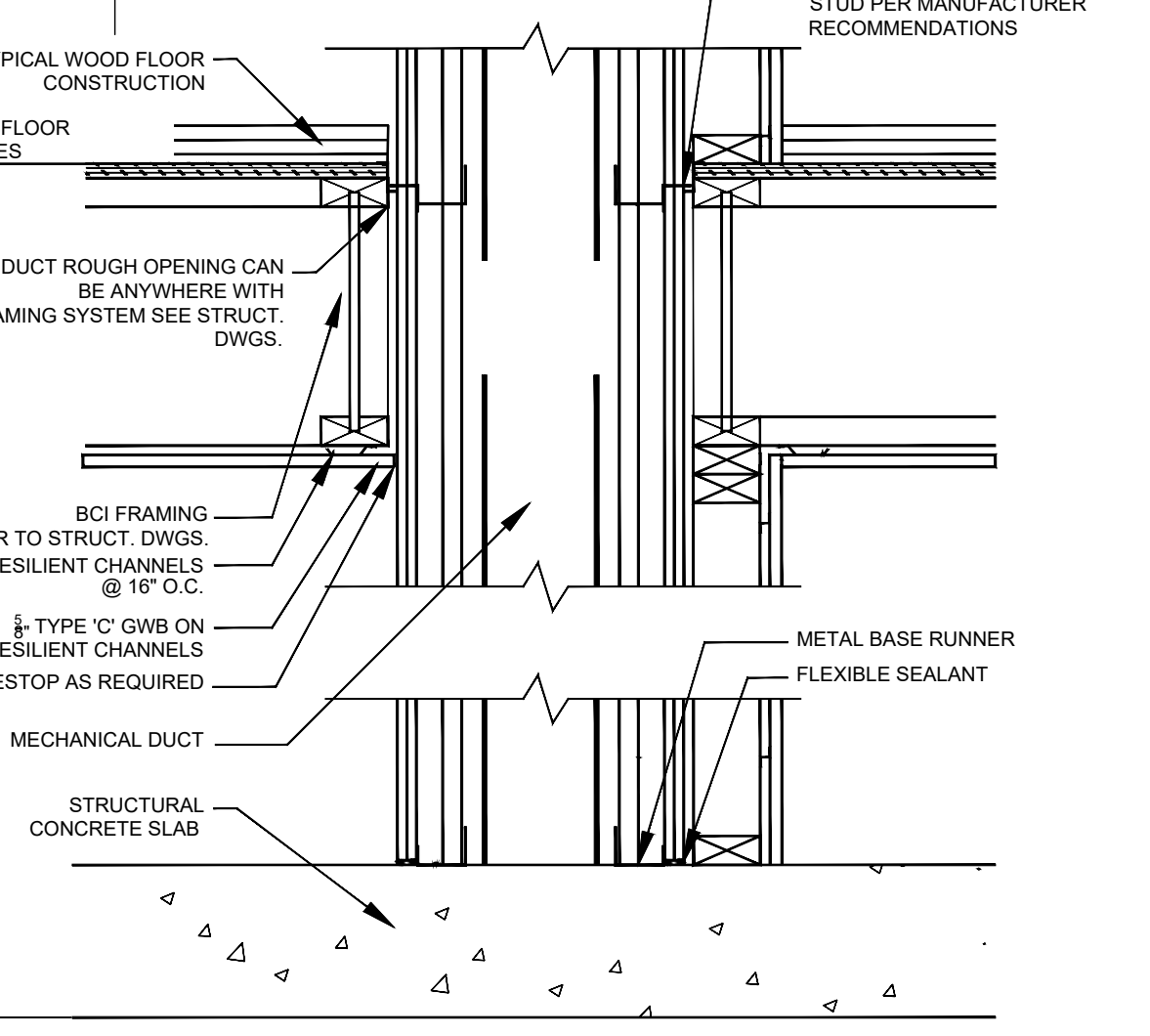
4 NON-RATED WALL DETAIL
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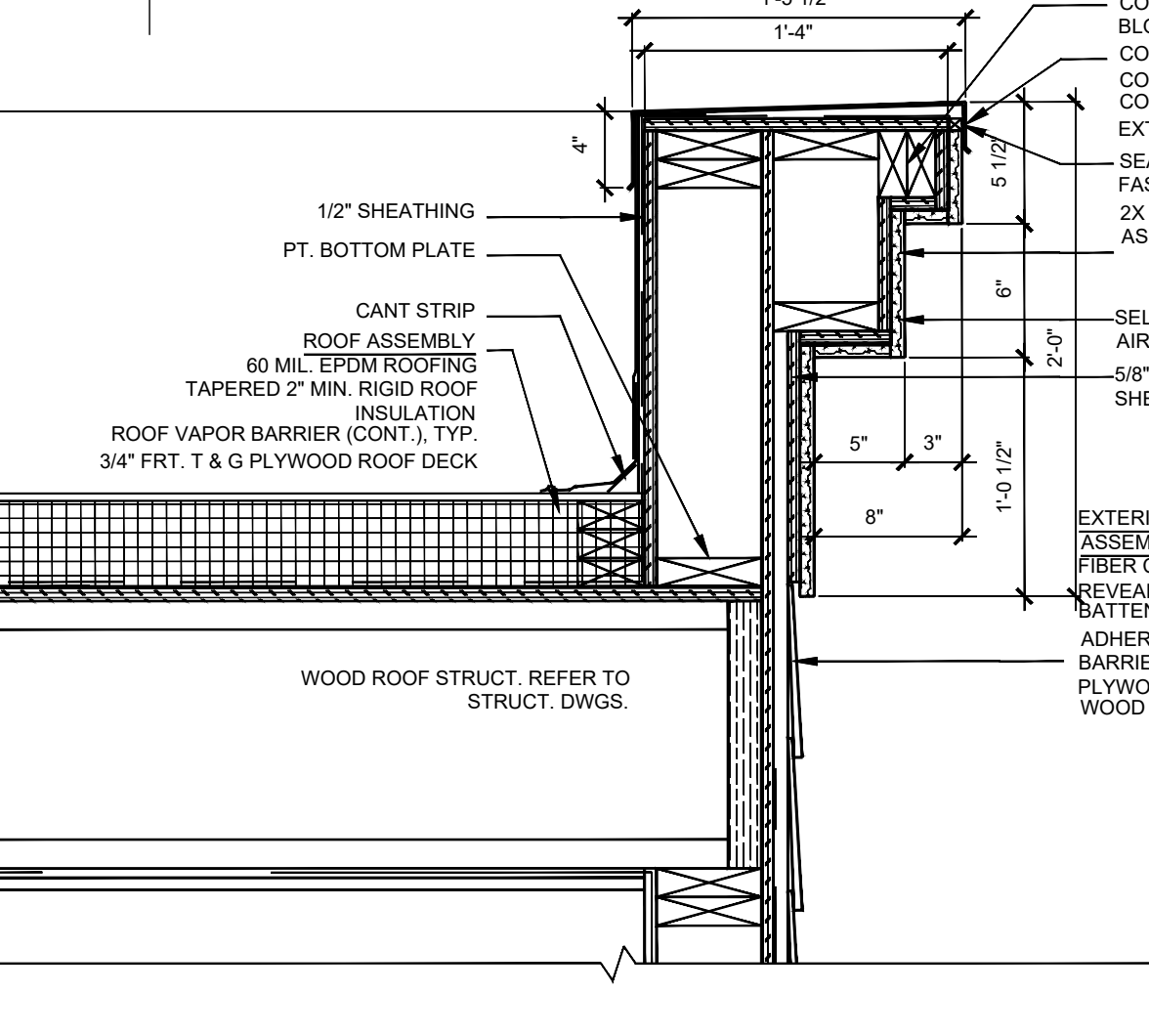
5 TYP. WALL INTERSECT. PLAN DETAIL
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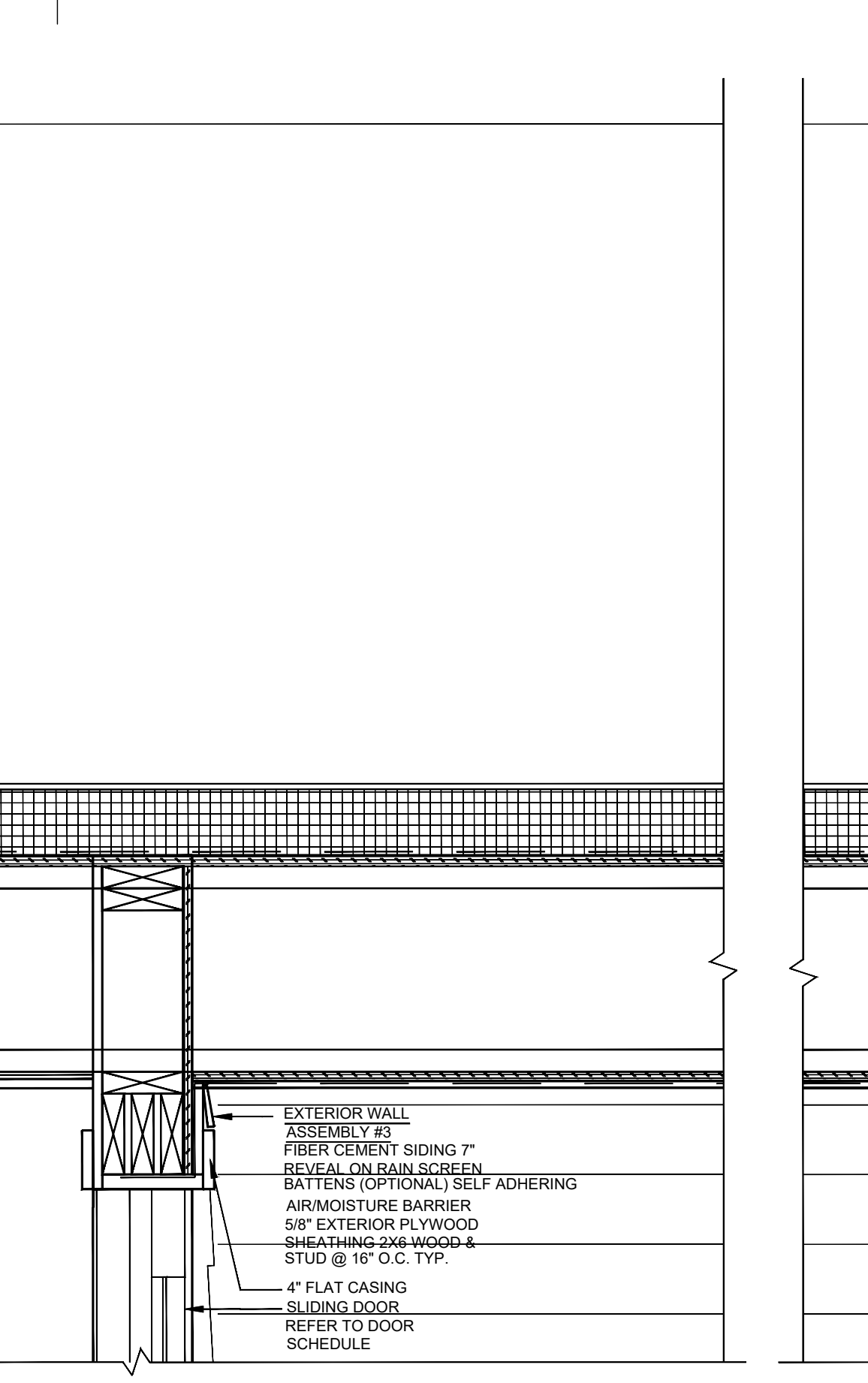
6 WALL INT. PLAN DETAIL
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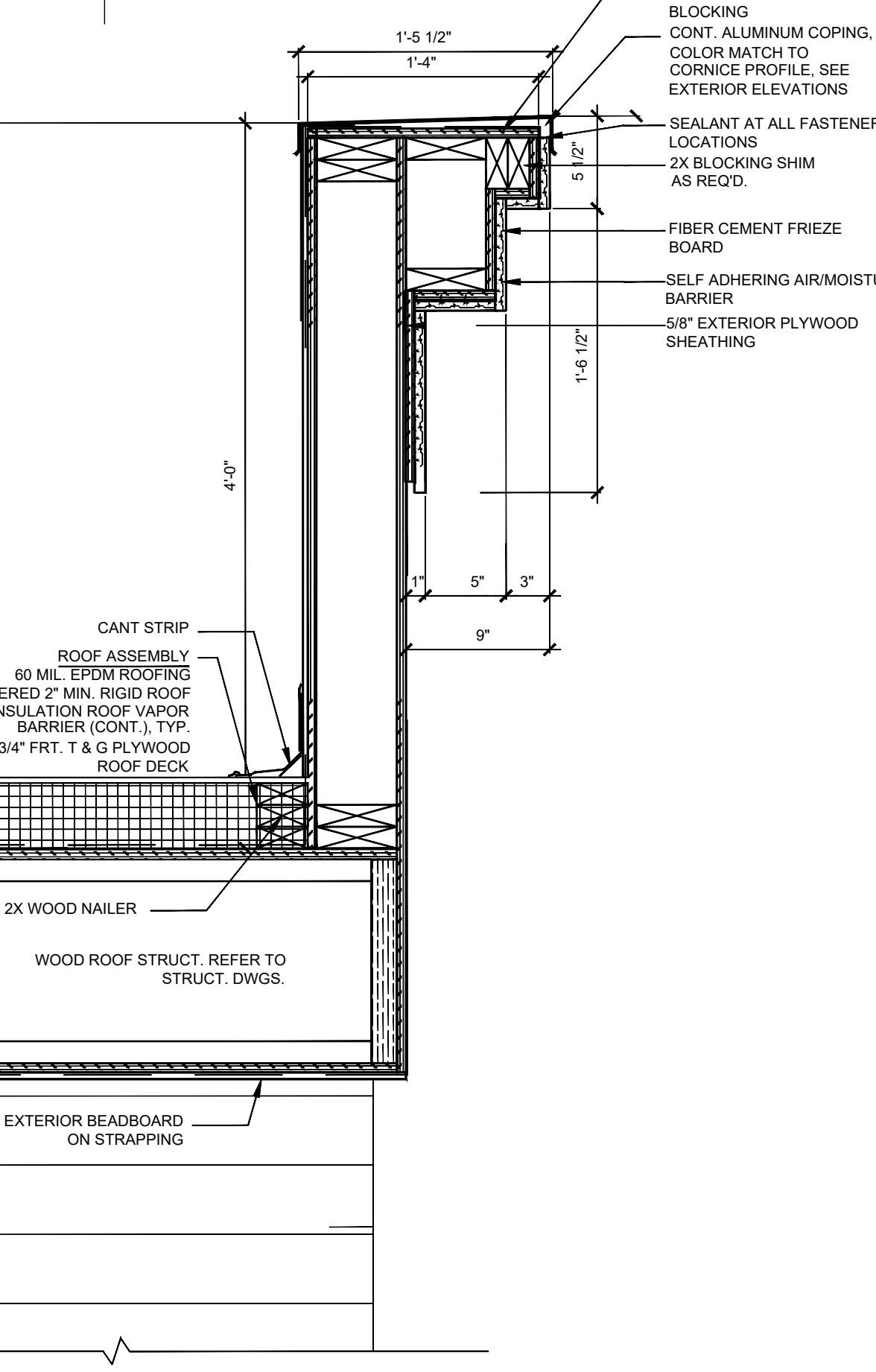
7 TYPICAL SHAFT WALL SECTION @ BCI
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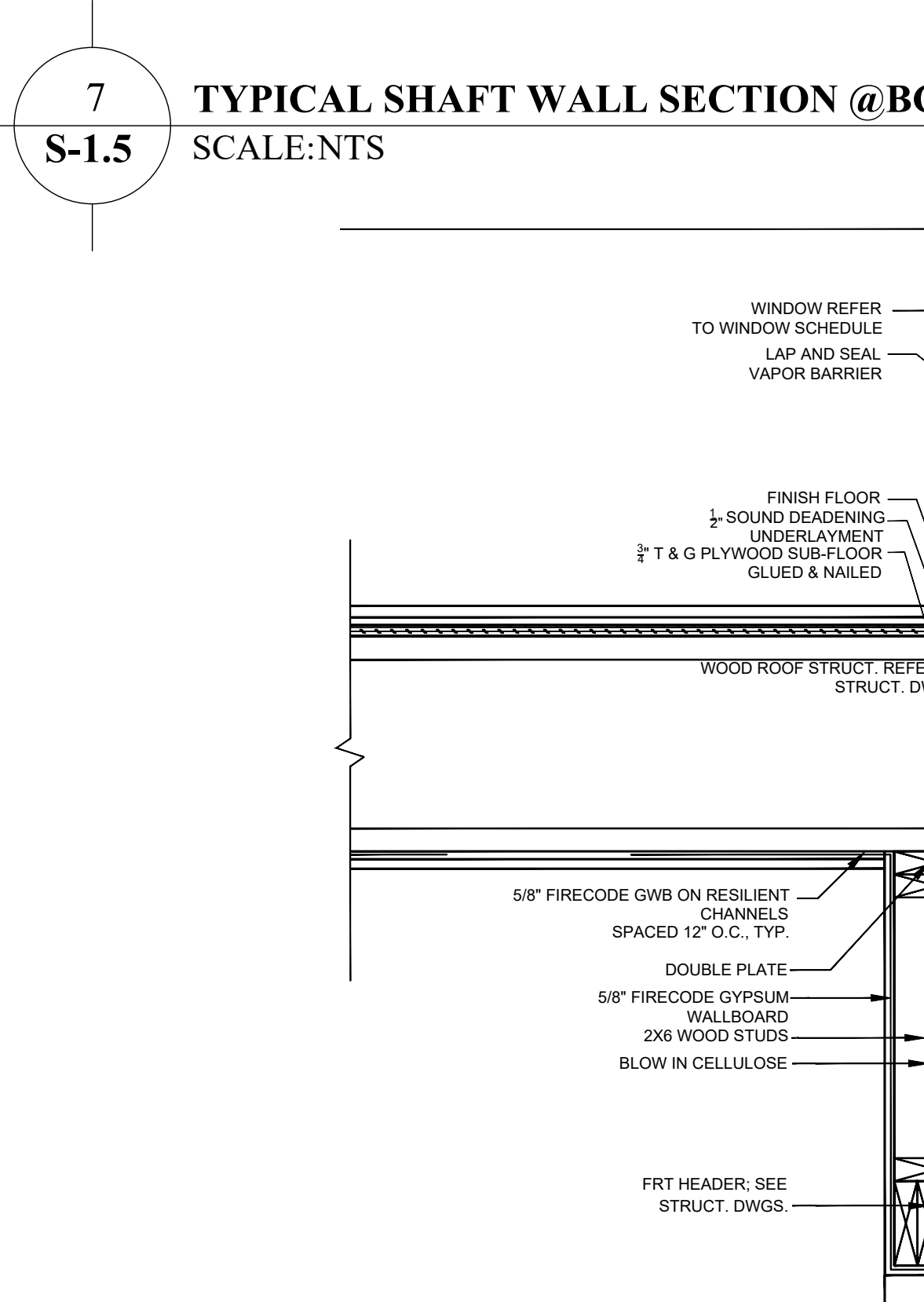
8 TYP. SECTION @ HIGHER PARAPET
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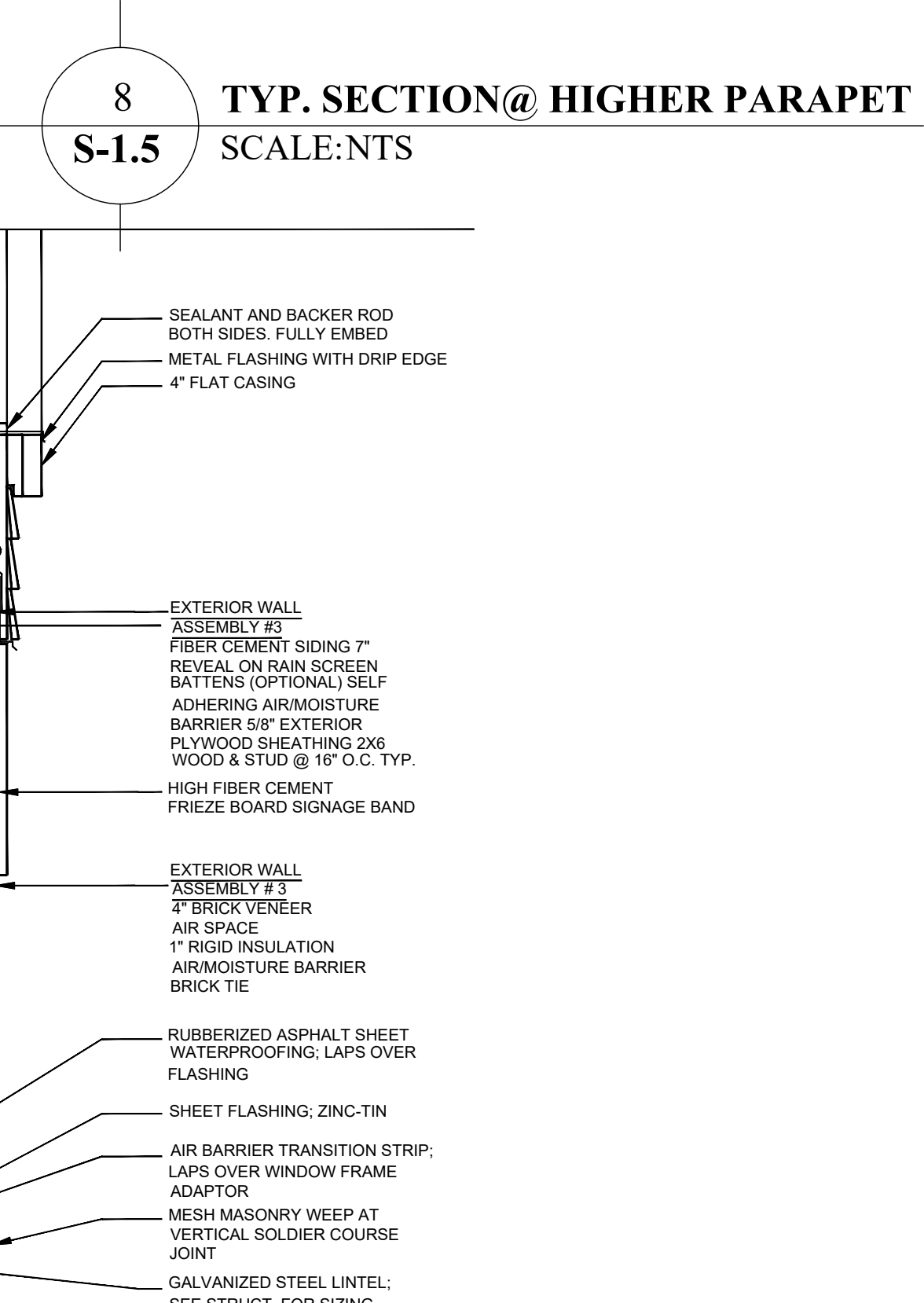
9 SECTION @ ROOF
SCALE: NTS



10 SECTION @ FLOOR STRUCTURE
SCALE: NTS



10 SECTION @ FLOOR STRUCTURE
SCALE: NTS



10 SECTION @ FLOOR STRUCTURE
SCALE: NTS

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